



Staff Report for Item 10a

To: Chairman Michael Miller and Historic Architectural Review
Commission Members

From: Kelly Perkins
HARC Assistant Planner

Meeting Date: April 28, 2015

Applicant: Glenn Anderson, Owner

Application Number: H15-01-0408

Address: #1233 South Street

Description of Work:

New addition on contributing house.

Site Facts:

#1233 South Street is listed as a contributing resource and was constructed in 1951 according to the survey. It is located at the corner of South and Tropical Streets, located at the edge of the historic district. The structure first appears on the 1962 Sanborn map, but seems to be a smaller footprint than what exists today. The proportion of the building looks much larger, suggesting there have been some additions already to the house. A more modern siding has been applied over the old novelty siding, which has been previously approved to remove. Unfortunately, there are no historic photographs of this house. The back porch, shed, and carport are not historic and do not appear on the 1962 Sanborn map.

Guidelines Cited in Review:

Secretary of the Interior's Standards for Rehabilitation (pages 16-17), specifically Standards 9 and 10.

Additions and Alterations (pages 36-37), specifically guidelines 1, 3, 4, 5, 6, 7, and 8.

Staff Analysis

This Certificate of Appropriateness proposes constructing a new addition on the rear and side of the house. The new addition will not be highly visible to the public right-of-way, and will be 15 feet tall, one foot shorter than the main house. The addition will have wood novelty siding and a v-crimp gable roof, differentiating it from the rest of the house, which currently has asphalt shingles.

Consistency with the Guidelines

1. The structure will not be altered or expanded so that its character-defining features will be disguised or concealed. It appears that the house has been altered over time already.
2. The addition won't be very visible to the public and will not alter the streetscape.
3. The addition will be attached to a less publicly visible elevation, although the design would be more appropriate if it did not extend out on the side of the historic house. The side addition will alter the balance of the historic house, though it will be set far back.

Overall, the project does comply with the guidelines. Staff does feel the addition would be more appropriate without the side extension from the historic house, but the house appears to have been altered over the years. The addition has been placed on secondary elevations that are not as publicly visible. Therefore, staff believes the project is consistent with the guidelines regarding additions and alterations.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE

Blody



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

| | | | | |
|--|---------|--|---|----------------|
| HARC PERMIT NUMBER 15-01-408 | | BUILDING PERMIT NUMBER 15-1041 | | INITIAL & DATE |
| FLOODPLAIN PERMIT | | | | REVISION # |
| FLOOD ZONE | PANEL # | ELEV. L. FL. | SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ % | |

| | | | |
|---|---------------------------------|--------------|-----------------------------------|
| ADDRESS OF PROPOSED PROJECT: | 1233 South St Key West Fl 33040 | | # OF UNITS |
| RE # OR ALTERNATE KEY: | 1042684 | | |
| NAME ON DEED: | Glenn R Anderson | PHONE NUMBER | 305-922-2480 |
| OWNER'S MAILING ADDRESS: | 1233 South St Key West Fl | EMAIL | glenn.anderson82@yahoo.com |
| CONTRACTOR COMPANY NAME: | Owner | PHONE NUMBER | MAR 2, 2015 |
| CONTRACTOR'S CONTACT PERSON: | | EMAIL | BY: MC 8:45 |
| ARCHITECT / ENGINEER'S NAME: | Jim Reynolds | PHONE NUMBER | 305-394-5987 |
| ARCHITECT / ENGINEER'S ADDRESS: | 22330 Lafitte Dr. Cudjoe Key | EMAIL | jim@reynoldsengeeringservices.com |
| Note: Owner is architect & builder, please contact owner first w/questions. | | | |

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MATL., LABOR & PROFIT: 20,000.00

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

| | | | | | |
|---------------|---|--|-------------------------------------|--|---|
| PROJECT TYPE: | <input checked="" type="checkbox"/> ONE OR TWO FAMILY | <input type="checkbox"/> MULTI-FAMILY | <input type="checkbox"/> COMMERCIAL | <input type="checkbox"/> NEW | <input type="checkbox"/> REMODEL |
| | <input type="checkbox"/> CHANGE OF USE / OCCUPANCY | <input checked="" type="checkbox"/> ADDITION | <input type="checkbox"/> SIGNAGE | <input type="checkbox"/> WITHIN FLOOD ZONE | |
| | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> SITE WORK | <input type="checkbox"/> INTERIOR | <input type="checkbox"/> EXTERIOR | <input type="checkbox"/> AFTER-THE-FACT |

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., ^{GN} partial demo of rear patio and patio roof, and construction of 483 sq.ft. Master Suite addition. Addition includes bedroom, 1 and 1/2 baths and closet.
Addition includes two exterior doors and 7 exterior windows. Scrap part of shed.

| | |
|--|---|
| I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT: | |
| OWNER PRINT NAME: Glenn R Anderson | QUALIFIER PRINT NAME: |
| OWNER SIGNATURE: <i>[Signature]</i> | QUALIFIER SIGNATURE: |
| Notary Signature as to owner: | Notary Signature as to qualifier: |
| STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <u>19</u> DAY OF <u>March</u> , 20 <u>15</u> . <i>Marta Cabaleiro</i> | STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____ * BUILDING PERMIT # _____ User: KEYWBLD Date: 3/23/15 5:58 Type: BP Drawer: 1 Receipt no: 17867 |
| | Trans number: 1.00 \$50.00 CK CHECK 1661 \$230.00 Trans date: 3/23/15 Time: 8:18:02 |
| Personally known or produced _____ as identification. | Personally known or produced _____ as identification. |

10-691-0K
2270-199-0K

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW

SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A / C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS
 RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov
 INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER
 ADDITIONAL INFORMATION: New addition will match existing structure siding and color.

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

| ARCHITECTURAL FEATURES TO BE ALTERED: | ORIGINAL MATERIAL: | PROPOSED MATERIAL: |
|---------------------------------------|--------------------|--------------------|
| See roofing permit | | |
| | | |
| | | |
| | | |

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.
 DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

| SIGN SPECIFICATIONS | | |
|--|---------------------|--------------------------|
| SIGN COPY: | PROPOSED MATERIALS: | SIGNS WITH ILLUMINATION: |
| | | TYPE OF LTG.: |
| | | LTG. LINEAL FTG.: |
| MAX. HGT. OF FONTS: | | COLOR AND TOTAL LUMENS: |
| IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS. | | |

| | | | |
|-----------------------------------|---------------------------------------|--|---|
| OFFICIAL USE ONLY: | | HARC STAFF OR COMMISSION REVIEW | |
| <input type="checkbox"/> APPROVED | <input type="checkbox"/> NOT APPROVED | <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | <input type="checkbox"/> Tabled for ADD'L. INFO. <input type="checkbox"/> |
| HARC MEETING DATE: | HARC MEETING DATE: | HARC MEETING DATE: | |
| REASONS OR CONDITIONS: | | | |
| | | | |
| STAFF REVIEW COMMENTS: | | | |
| | | | |
| HARC PLANNER SIGNATURE AND DATE: | | HARC CHAIRPERSON SIGNATURE AND DATE: | |

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

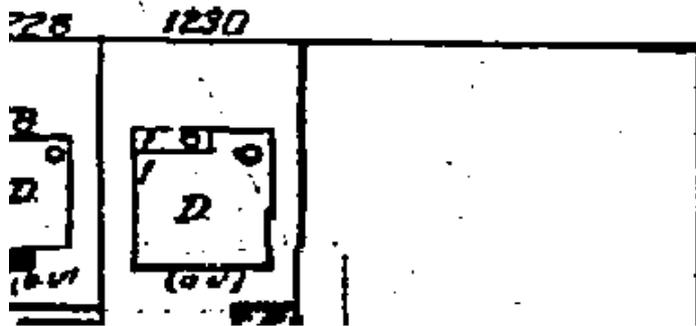
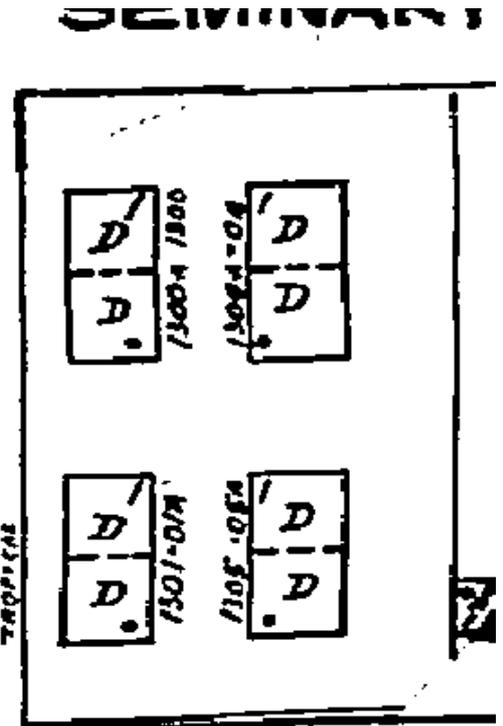
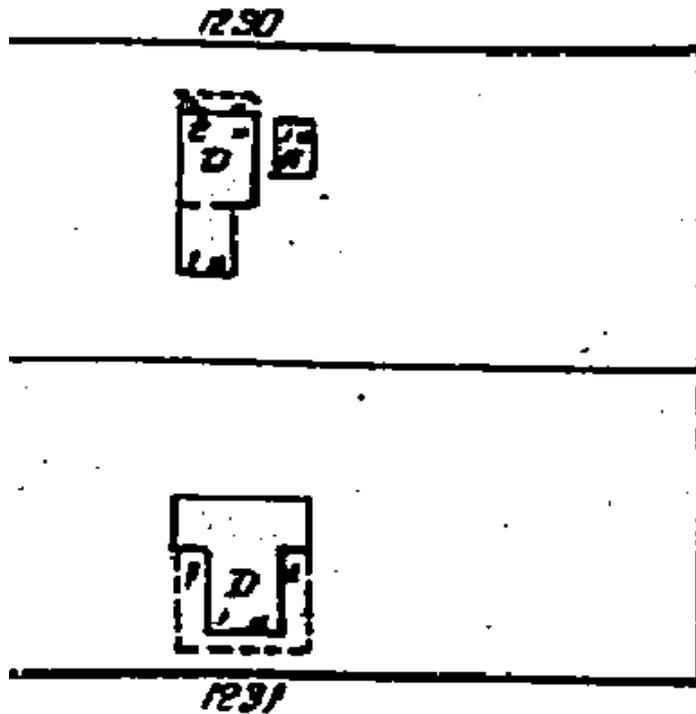
FLORIDA STATUTE 469: ASBESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

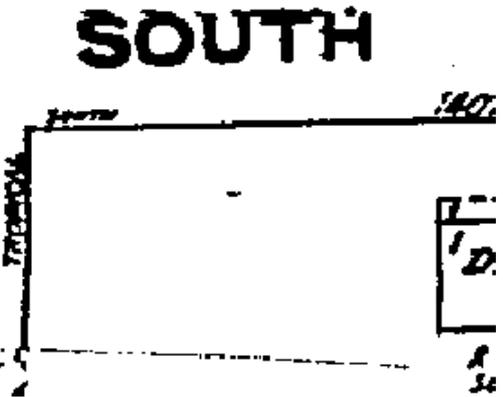
| OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL: | | | | CBO OR PL. EXAM. APPROVAL: | |
|---|--|-------------------|--------------|--|---|
| HARC FEES: | BLDG. FEES: | FIRE MARSHAL FEE: | IMPACT FEES: | | |
| Oper: KEYWBLD Date: 4/01/15 50 2015 1000438 PT * BUILDING PERMITS NEW Trans number: CK CHECK 1664 \$38.00 Trans date: 4/01/15 Time: 8:55:43 | Type: BP Drawer: 1 Receipt no: 15044 1.00 \$50.00 3044805 | | | Oper: KEYWBLD Date: 3/23/15 90 2015 1000007E PT * BUILDING PERMITS-NEW Trans number: CK CHECK 1661 \$28.00 Trans date: 3/23/15 Time: 8:18:02 | Type: BP Drawer: 1 Receipt no: 17067 |

Paid \$100.00 total
for HARC app fee.

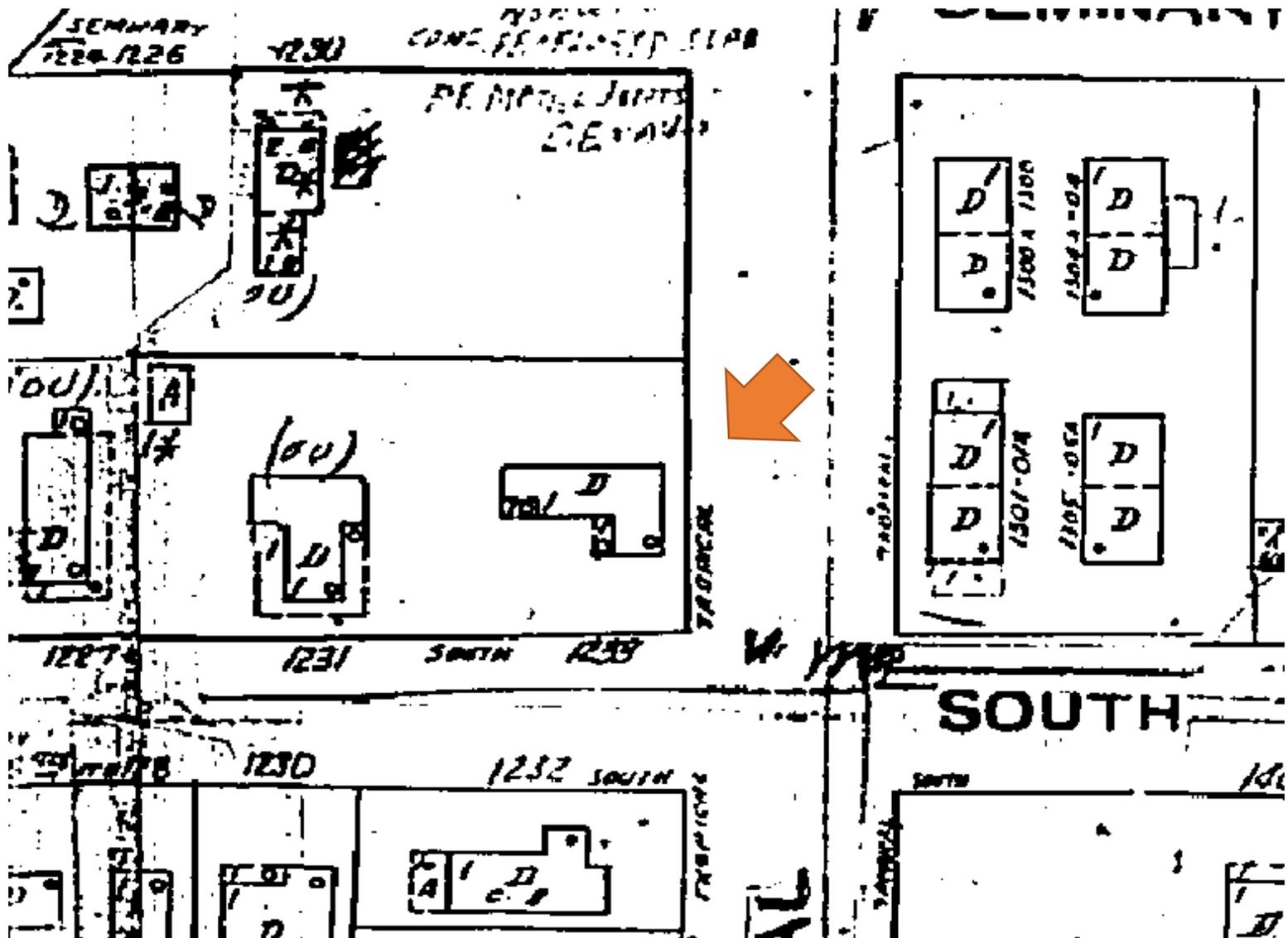
SANBORN MAPS



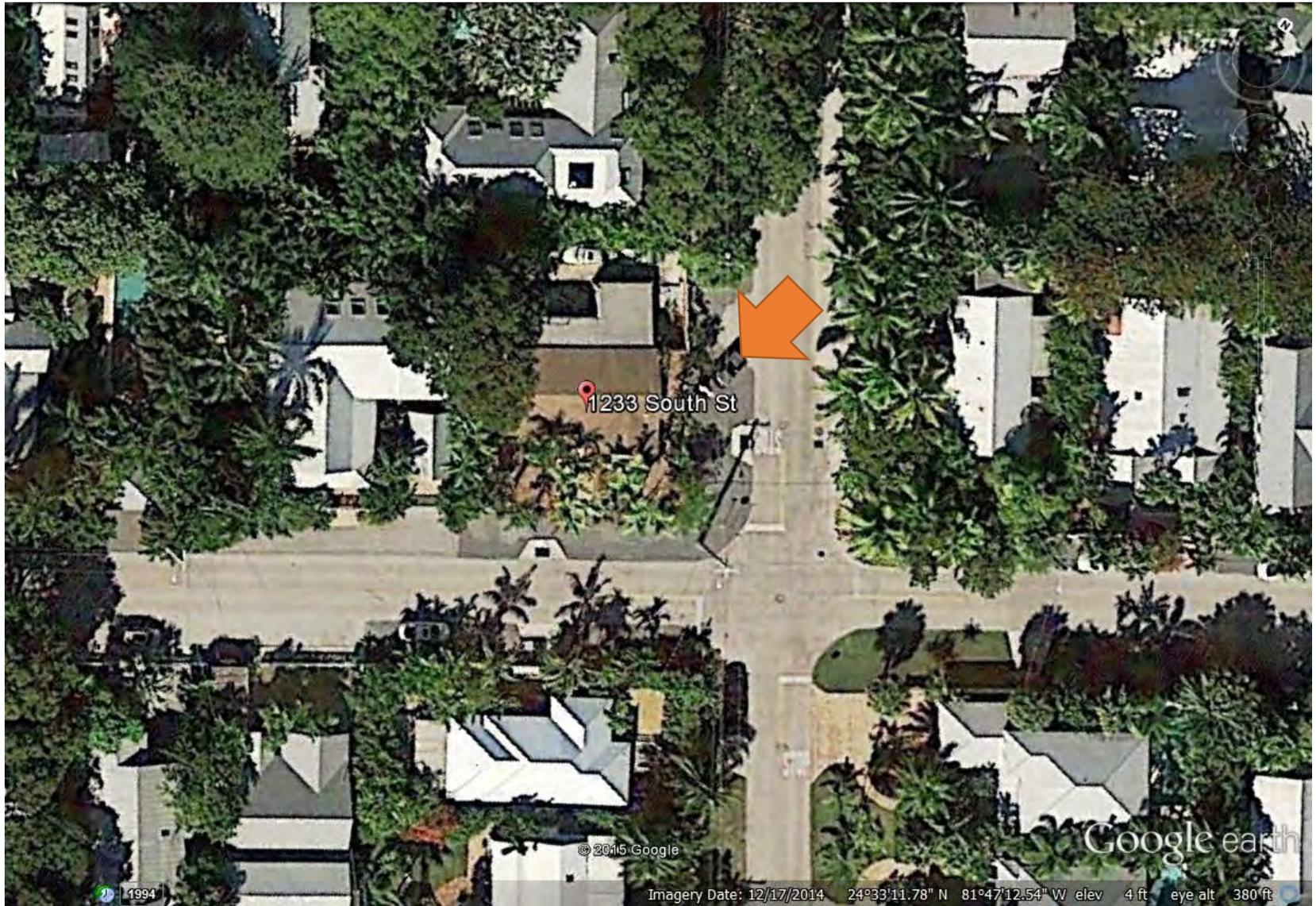
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1948 Sanborn Map



1962 Sanborn Map



2011 Google Earth Aerial

PROJECT PHOTOS







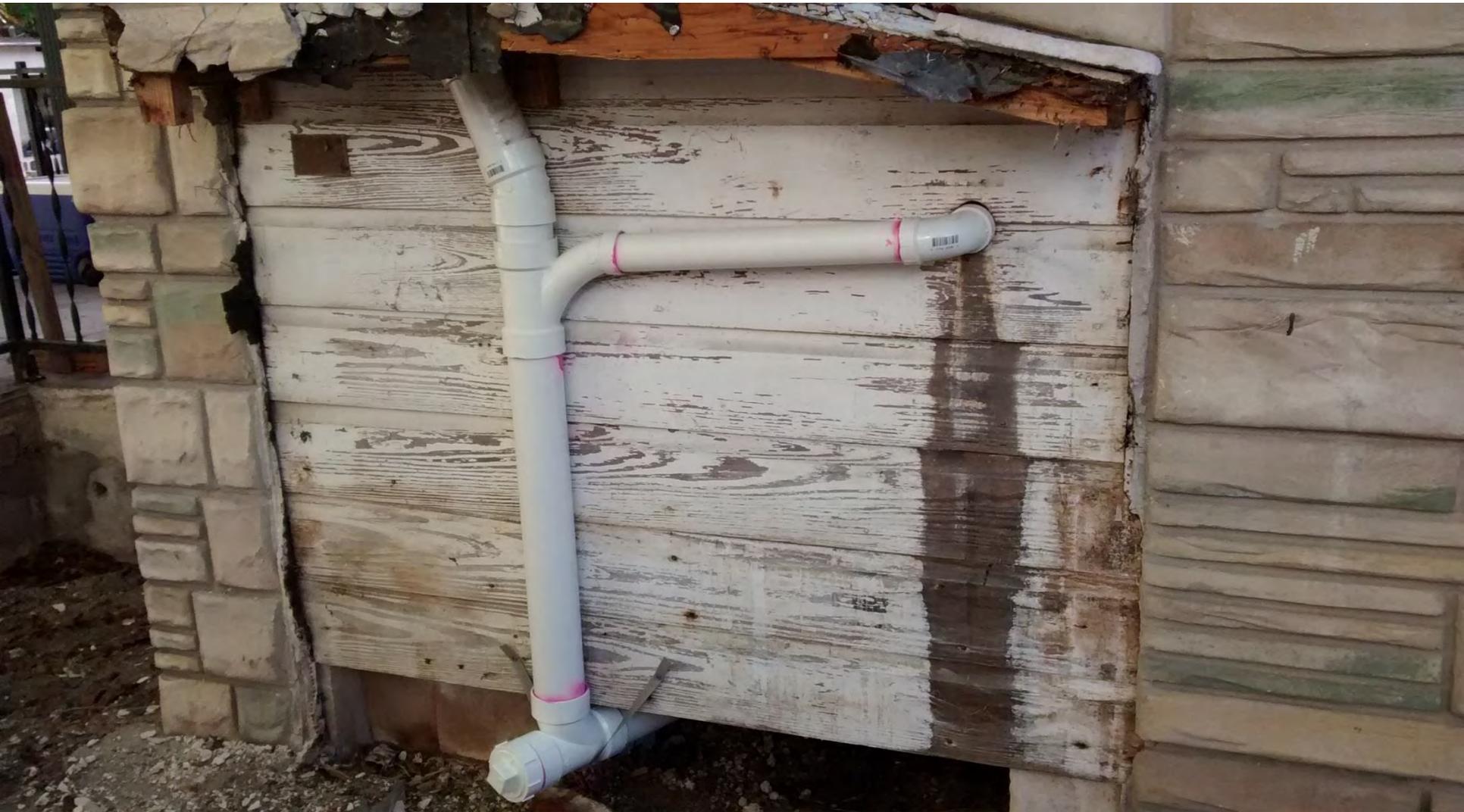






COUNTROCK SAND
56 80

Home
800-447-7777
www.
The



Wood novelty siding found underneath.



SURVEY

PROPOSED DESIGN

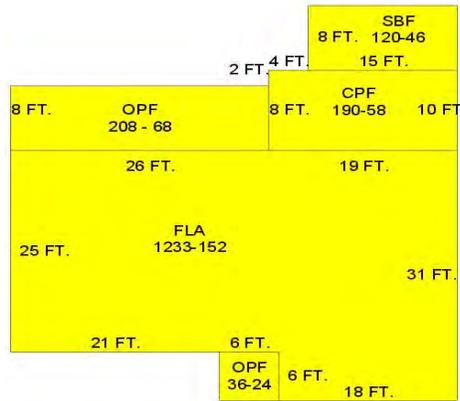
Structure and Impervious Coverage Calculation

Address: 1233 South St.
Key West Fl 33040

Alt Key # 1042684
Prepared by Glenn Anderson

Lot 6606 sq ft
Structure 40% 2642.4 sq ft
Impervious 60% 3963.6 sq ft

From the County Appraisers office



| Existing Structure Calculation: | Structure | Additonal Overhang | Totals | |
|---------------------------------|-------------|--------------------|-------------------|---------------|
| House (FLA) | 1233 | 82 | 1315 sq ft | |
| Front Porch (OPF) | 36 | 6 | 42 sq ft | |
| Rear Porch (OPF) | 208 | 52 | 260 sq ft | |
| Carport (CPF) | 190 | 0 | 190 sq ft | |
| Shed (SBF) | 120 | 30 | 150 sq ft | |
| Totals | 1787 | 170 | 1957 sq ft | 29.62% |

Proposed Structural Calculation

| | | | | |
|-------------------|-----|----|-------------------|---------------|
| Existing | | | 1957 sq ft | |
| Less porch demo | | | -100 sq ft | |
| Proposed Addition | 483 | 77 | 560 sq ft | |
| Total | | | 2417 sq ft | 36.59% |

Impervious Calculation

| | | | | |
|-------------------------------|--|--|-------------------|---------------|
| Structure | | | 2417 sq ft | |
| Front walkway | | | 141 sq ft | |
| Driveway (approved/not built) | | | 900 sq ft | |
| Total | | | 3458 sq ft | 52.35% |

Project Information:

Address: 1233 South St. Key West FL 33040
Owner/Contractor: Glenn R Anderson 305-922-2480
Parcel ID: 00042040-00000

Legal address:

KW TROPICAL BLDG AND INVESTMENT CO SUB PT LOT 11-12 SQR 8 TR 19
PB 1-34 G43-309-310 OR278-152/53 OR2687-365/66 OR2700-1076/77C

Flood Zone: AE, Base elevation 6'
Zoning: HMDR
HARC: Yes.

Project Description: Remove portion of existing rear patio and patio roof and construct 483 sf.ft. Master Suite addition

Coverage calculations:

Lot: 6606 s/f
Coverage limits: Structure - 40% (2642 s/f) & Impervious - 60% (3963 s/f)
Existing: Structure - 18.7% (1233 s/f) & Impervious* - 36% (2345 s/f)
Planned: Structure - 26% (1717 s/f) & Impervious - 43% (2829 s/f)

*note: impervious calculation includes 900 s/f brick driveway that has been permitted but not built. See permit: 14-00003371-000-000

Setbacks: Front yard (South St.) - 10', Front side (Tropical) 7.5', Side - 5', Rear - 15'

All Elevations Based on NGVD29 Datum

General Engineering Notes:

1. All work shall comply with applicable codes.
2. Owner/Builder shall follow the manufacture specifications and recommendations when selecting the correct connector for the environment and wood type.
3. The Builder using these plans shall be responsible for the means, methods, techniques, sequences, procedures and all safety aspects of construction.
4. The Builder shall check and verify all dimensions and elevations.
5. This design is based on the 2010 Florida Building Code.
6. Existing underground utilities are not shown and Builder shall contact all utility companies prior to any excavation. Builder shall protect all utilities and shall be responsible for any damages at his expense.
7. All lumber for structural members shall be pressure treated Southern Pine.
8. Exterior wall windows and doors must be certified and/or listed by an independent laboratory to be structurally capable of resisting a 180 mph wind load as determined by ASCE Standard 7-10 Minimum Design Loads for Building and Other Structures.
9. Connections: all connections and connectors for this project have been specified in this design and cannot be changed or substituted without written permission from the engineer of record. Connectors shall be installed as recommended and specified by the manufacturer.
10. Concrete shall be a mix designed by a recognized testing lab to achieve a strength of 4000 psi at 28 days with a plastic and workable mix. Concrete to be mixed, placed and cured according to ACI standards and specifications.
11. Reinforcing steel shall be ASTM A 615 Grade 60 deformed bars of new billet steel free from oil, scale and loose rust and placed in accordance with ACI standards and specifications.
- 12 Soil supporting concrete slabs on grade shall be compacted to a density of not less than 95 percent of the maximum density as determined by the Standard Proctor Method.

Site Plan



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
FLORIDA P.E.#46885
28330 LAFFITE DRIVE GULF BEECH, FL 39042
(906) 394-5987

Site Plan

SHEET TITLE:

PROJECT DESCRIPTION:
**Master Suite addition at
1233 South St.
Key West FL 33040**

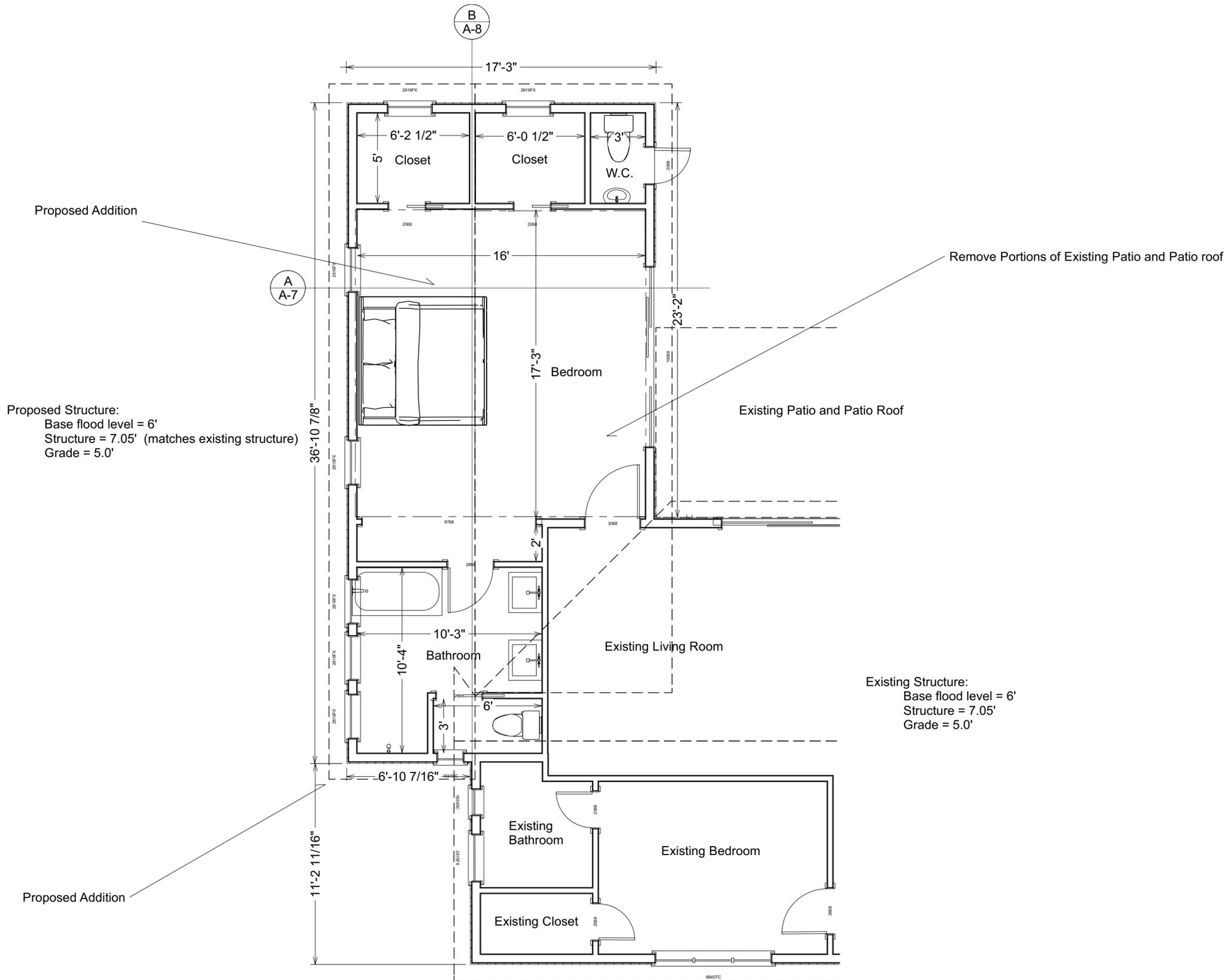
DRAWINGS by:
Glenn R. Anderson
1233 South St Key West FL 33040
Tel: 305-922-2480

DATE:

3/12/2015

SHEET:

A-1
of 10



Floor Plan - Addition

1/4" = 1'



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
 FLORIDA P.E.#46885
 22330 LAFFITE DRIVE CUDOE KEY, FL 33042
 (305) 394-5997

SHEET TITLE:
Floor Plan

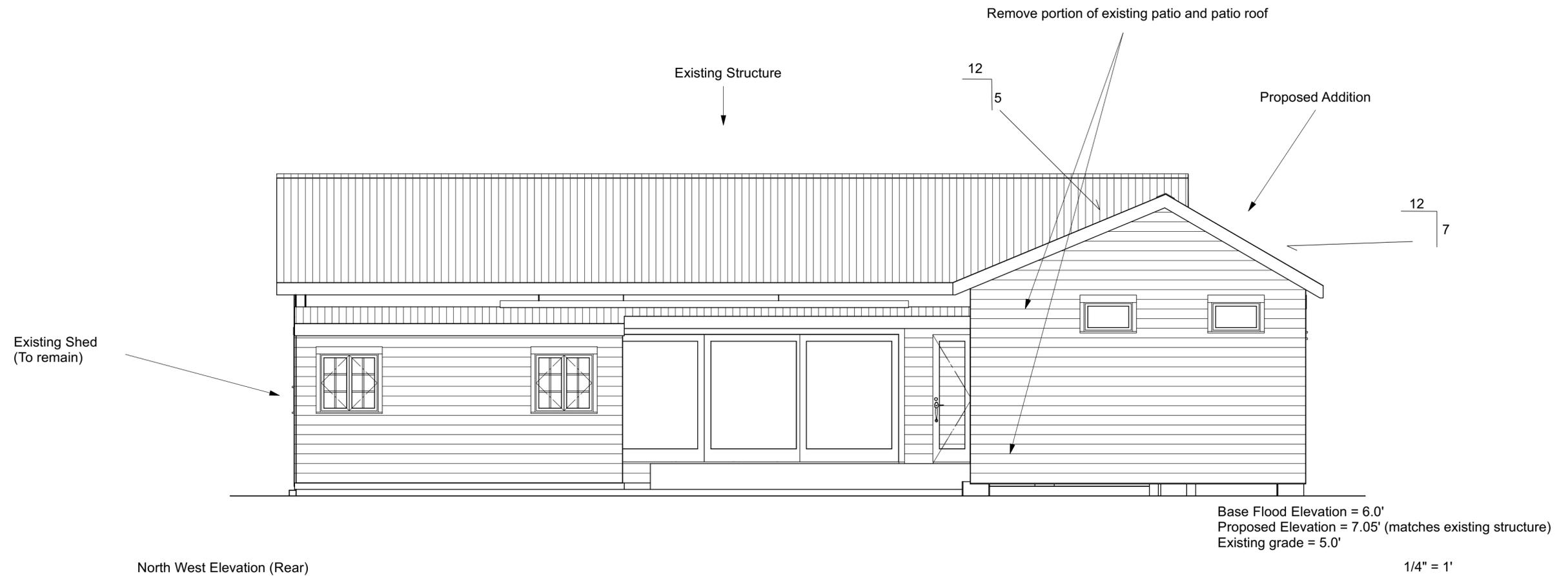
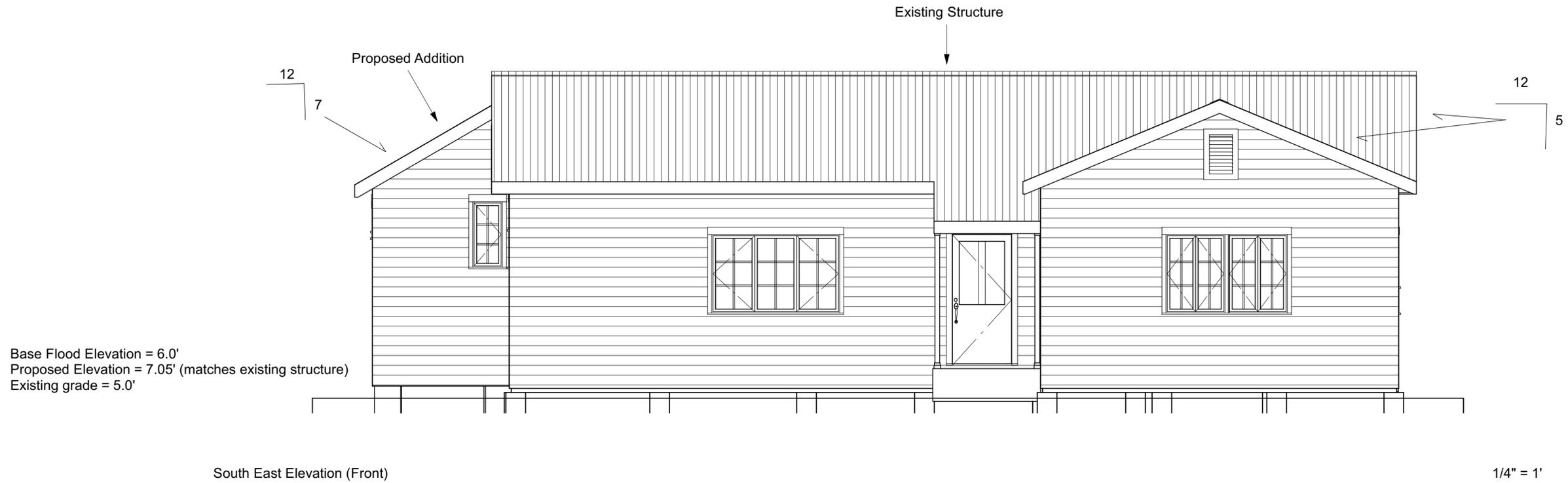
PROJECT DESCRIPTION:
**Master Suite addition at
 1233 South St.
 Key West FL 33040**

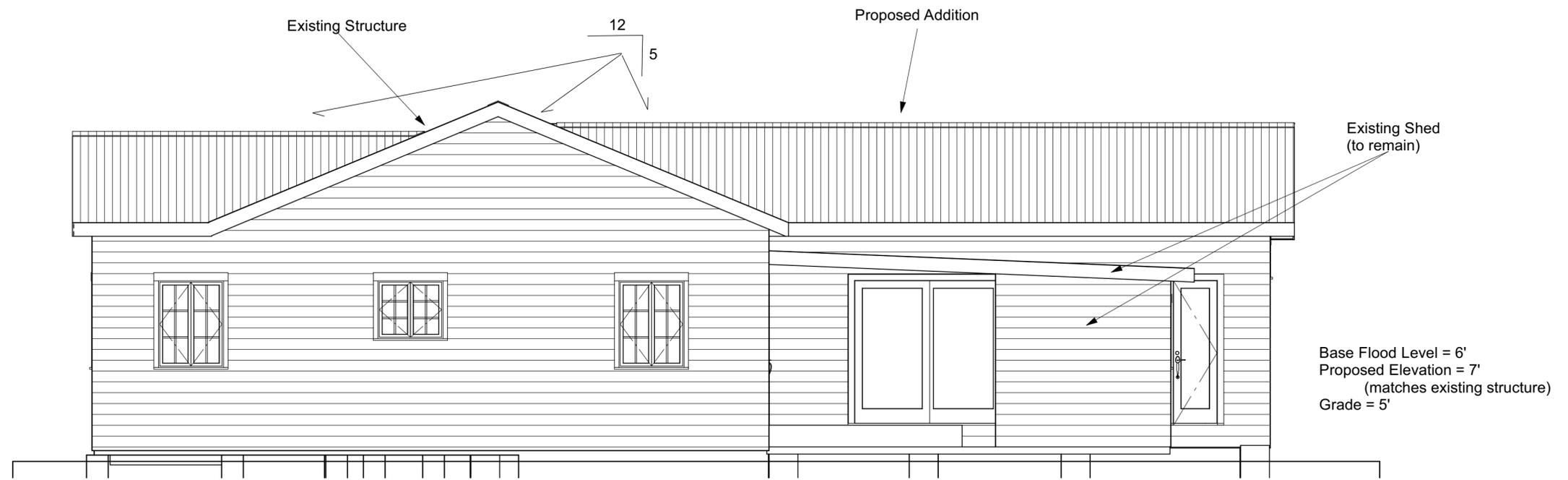
DRAWINGS by:
 Glenn R. Anderson
 1233 South St Key West FL 33040
 Tel: 305-922-2480

DATE:
 3/10/2015

SHEET:

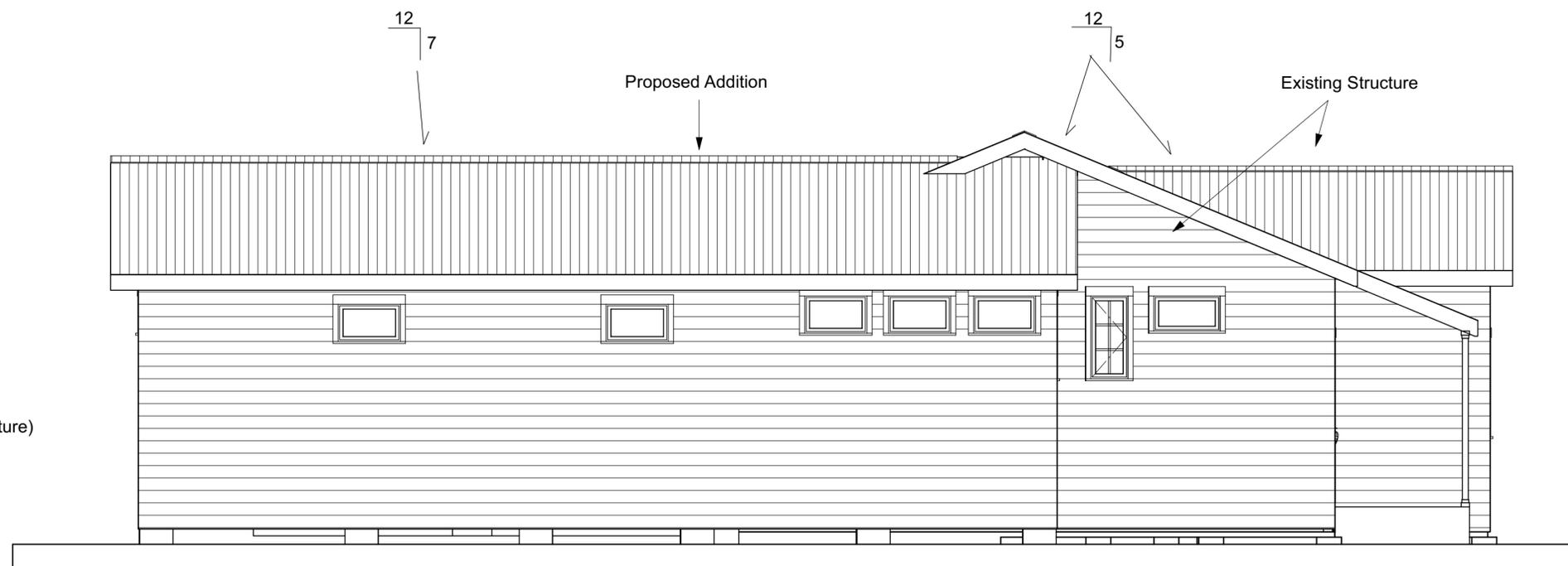
A-2
 of 10





North East Elevation

1/4" = 1'



South West Elevation

1/4" = 1'



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
FLORIDA P.E.#46885
28350 LAUREL DRIVE SUITE 1000 KEY, FL 33042
(305) 394-5987

SHEET TITLE:
Side Elevations

PROJECT DESCRIPTION:
**Master Suite Addition at
1233 South St.
Key West FL 33040**

DRAWINGS BY:
Glenn R. Anderson
1233 South St Key West FL 33040
Tel: 305-922-2480

DATE:
3/13/2015

SHEET:

A-4
of 10

GENERAL NOTES:

- Design based on Florida Building Code 2010
- All work shall comply with applicable codes
- Contractor (owner) shall follow the manufacture specifications and recommendations when selecting the correct connector for the environment and wood type.
- The Builder (owner) using these plans shall be responsible for the means, methods, techniques, sequences, procedures an all safety aspects of construction.
- Design loads are as follows:
 - Wind load @180 MPH ASCE 7-10 Exposure C
 - Floor Live 40, Dead 20, Deflection L/360
 - Ceiling Live 20, Dead 10, Deflection L/240
 - Roof Live 20, Dead 20, Deflection L/240
- Roof Wind pressures: Zone 1 = +17.3 psf, -34.7 psf Zone 2 = +23.3 psf, -64.6 psf Zone 3 = +23.9 psf, -97.6 psf
- Existing underground utilities are not shown and contractor (owner) shall contact all utility companies prior to any excavation.
- All lumber for structural members shall be Pressure-Treated Southern Pine. #2 or better.
- See Windows/Doors section of this package for window and door NOA and Design Pressure calculations.

Materials: walls & roof

- Exterior Wall studs and plates: 2 x 6 @16" o.c. w/solid blocking mid-span. Treated Southern Pine #2 Lumber
- Interior wall studs and plates: 2 x 4 @ 16" o.c. w/solid blocking mid-span. Treated Southern Pine #2 Lumber
- Plates: all walls (1) bottom plate, (2) top plates. Minimum 48" overlap on plate ends.
- Exterior wall sheathing: 5/8" Treated plywood sheathing. Any seams will be backed by solid 2x4" blocking.
- Exterior wall wrap: Tyvek wrap
- Exterior cladding: 1x8" Novelty (profile #105) treated wood siding - siding will match siding on front of existing structure
- Interior walls: 1/2" mold resistant gypsum drywall
- Roof framing: trusses - see Deco Truss design package for details on trusses and scissor truss portion of roof assembly. See design for detail on the stick-built portion of the roof.
- Roof sheathing - 5/8" treated plywood sheathing installed with spacing clips
- Roof underlayment - Grace Ice & Water shield HT membrane or equivalent installed per manufacture specifications. Miami-Dade County Code Report NOA10-0415.02 and Florida State Approval Report No. FL14166.1
- Roof panels: Firestone 5-V-Crimp Metal Roof Panel System or equivalent. NOA 10-1214.01
- Insulation: Exterior Walls and Attic: Open cell foam insulation. Approx. R-21 on walls and R-50 in attic. Under subfloor: Closed cell foam insulation. Approx. R-21.

Connections: walls and roof (all connectors to be installed per manufacturer specifications.)

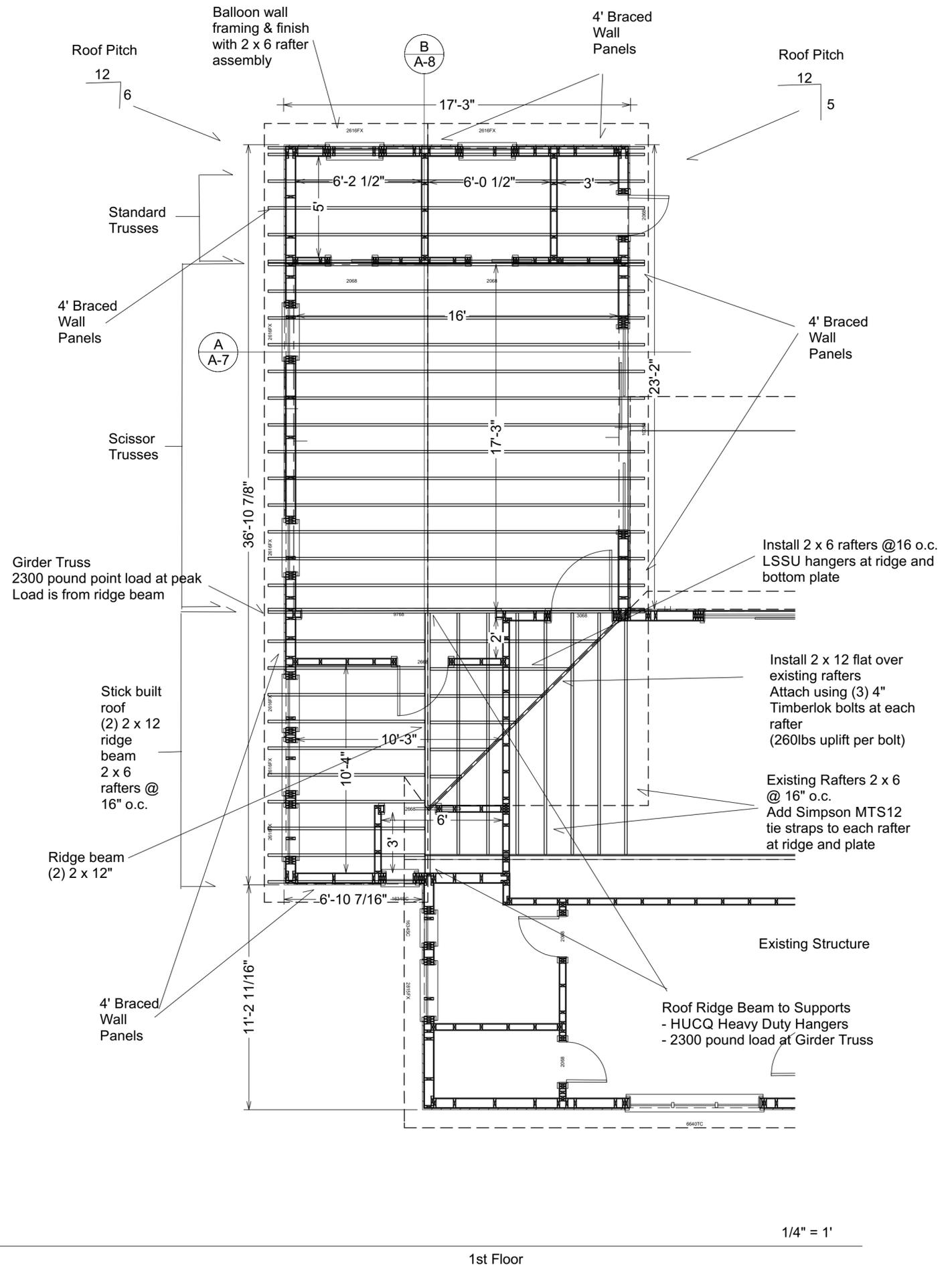
- Studs to Bottom Plate and perimeter beam (at every stud): (3) 10d nails at each stud to plate connection, (2) 10d nails @ 8" o.c. plate to perimeter beam and Simpson H6 straps
- Double top plate to stud: (3) 10d nails for plate to stud and (2) 10d nails @ 8" o.c. for plate to plate connections and Simpson H6 Straps. Minimum 48" overlap on plate ends
- Sheathing to Bottom plate: 8d nails or screws @ 3" o.c.
- Sheathing to studs: 10d nails or screws @ 6" o.c.
- Sheathing to top plates: 8d nails or screws @ 2" o.c. staggered into both top plates.
- Rafter/trusses top plates and walls: Simpson MTS16
- Ridge beam to girder truss and wall: Simpson HUCQ412 SDS Heavy duty hanger
- Rafters to ridge beam: Simpson LSSU
- Rafter to Rafter (over ridge beam): Simpson MTS12
- Roof sheathing: 8d nails @ 4" o.c. edge and @ 6" o.c. field.
- Roof underlayment: self-adhesive
- Roof panels: Panel overlap and center ribs are to be installed using #9 x 1 1/2" HWD wood screws 1" from the panel end and maximum fastener spacing of 12" o.c. thereafter.

Wall Bracing:

Continuous Sheathing - Wood Structural Panel Method (CS-WSP) Wall bracing usings 5/8" Treated Plywood sheathing. Locations as indicated on plan. Braced Wall Panels are 48" wide using connection schedule outlined above. Panels are within 12.5' of corners and two per 25' of braced wall line.

Window/Door Headers:

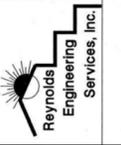
Eight small windows & WC door (32" RO): (2) 2x6" header w/ one Jack w/ Simpson MTS12 straps on each end.
 10' sliding glass door: (3) 2x12" header w/ two Jacks w/ Simpson MTS 24 straps on each end.



Wall and Roof Framing Plan - Addition

1/4" = 1'

1st Floor



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
 FLORIDA P.E.#46885
 2830 LAUREL DRIVE SUITE 101
 GULF BAY, FL 33707
 (813) 394-5987

SHEET TITLE:
Wall and Roof Framing Plan

PROJECT DESCRIPTION:
**Master Suite Addition at
 1233 South St.
 Key West FL 33040**

DRAWINGS BY:
 Glenn R. Anderson
 1233 South St Key West FL 33040
 Tel: 305-922-2480

DATE:

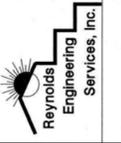
3/10/2015

SHEET:

A-6
 of 10

GENERAL NOTES:

For Foundation and Flooring materials, connector, and connection details, see A-5, Foundation plan
 For Walls and Roof materials, connector, and connection details, see A-6, Wall Roof plan
 Roof trusses designed by delegate engineer licensed in the state of Florida, see Deco Truss attachment



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
 FLORIDA P.E.#46885
 2830 LAFFITE DRIVE SUITE 101, FL 33042
 (305) 394-5977

Profile A

SHEET TITLE:

PROJECT DESCRIPTION:
Master Suite Addition at
1233 South St.
Key West FL 33040

DRAWINGS BY:
 Glenn R. Anderson
 1233 South St Key West FL 33040
 Tel: 305-922-2480

DATE:
 3/12/2015

SHEET:

A-7
 of 10

Roof Framing - Manufactured trusses
 - see Deco Truss attachment for specifications and installation details
 - 5/8" sheathing w/ spacing clips
 - adhesive Water shield membrane
 - Firestone V-crimp roofing
 - 1/2" Gypsum interior
 - Open cell foam insulation

See Deco Truss documentation for exact roof and ceiling slopes

Straps:
 - Rafter/truss to wall: MTS18
 - Top plates to studs: H6
 - Studs/Bottom plate to perimeter beam: H6

2x6 exterior walls @ 16" o.c.
 - Solid blocking mid span & behind any sheathing seams
 - Single bottom plate
 - Double top plate - minimum 48" overlap
 - 5/8" exterior sheathing w/Tyvek wrap
 - 1x8" Novelty siding
 - 1/2" gypsum interior
 - Open cell foam insulation

Base flood elevation = 6'
 Proposed floor elevation = 7' (same as existing structure)
 Grade = 5'

Approximate Grade
 Approximate Caprock

Pier to Perimeter Beam connection:
 - STHD12SDS

(3) 2x12 Perimeter Beam

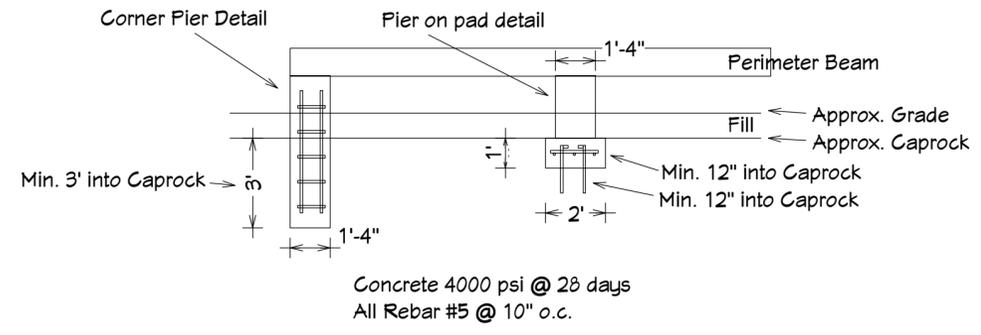
See insert for Pier detail

Closed cell foam insulation under floor

2x8 Joist @16" o.c.
 - LSSU hangers
 - w/solid blocking

3/4" T&G Flooring - glue and screw

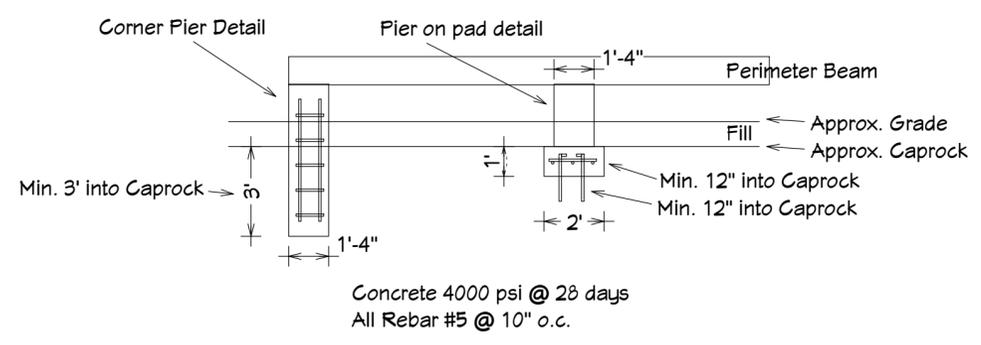
Pier Foundation detail



Profile A

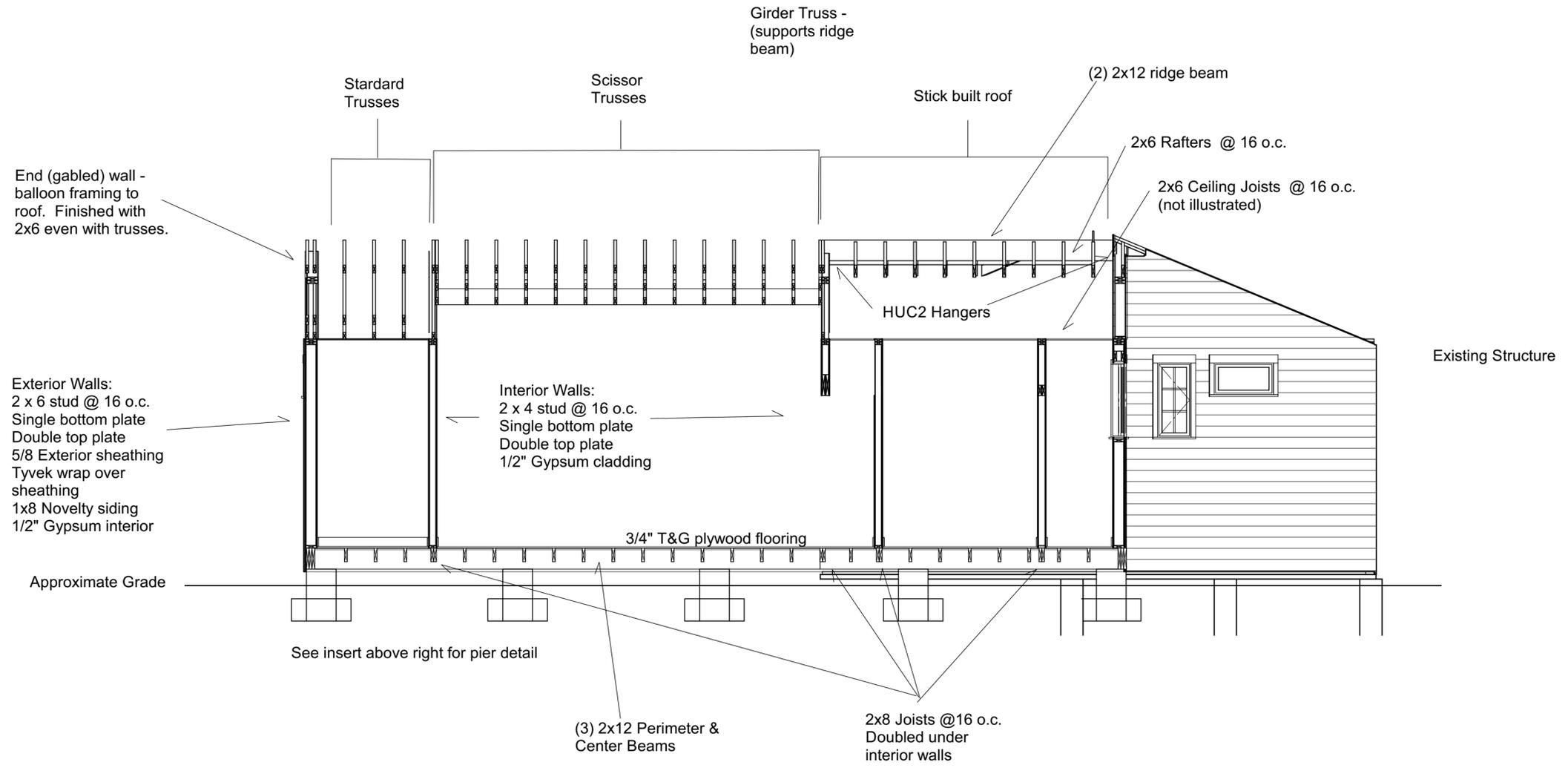
1/4" = 1'

Pier Foundation Detail



GENERAL NOTES:

For Foundation and Flooring materials, connector, and connection details, see A-5, Foundation plan
For Walls and Roof materials, connector, and connection details, see A-6, Wall Roof plan
Roof Truss designed by delegate engineer licensed in the state of Florida. See Deco Truss attachment



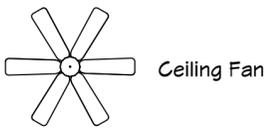
Profile B

1/4" = 1'

GENERAL NOTES, Electrical:

1. 200 Electrical Panel, 40 breaker - Existing
2. New circuits (all circuits AFCI protected)
 - a. Master Suite outlets, 15 amp, 110v, 14 gauge first outlet GFCI
 - b. Master Suite lights, 15 amp, 110v, 14 gauge
 - c. Master Bath outlets, 15 amp 110v, 14 gauge, first outlet GFCI
 - d. Master Bath Lights, 15 amp, 110v, 14 gauge
 - e. Jucuzzi tub power, 20 amp, 110v, 12 gauge, GFCI
 - f. Exterior Lights, 15 amp, 110v, 14 gauge
3. Two outlets, 20 amp, 110v, 12 gauge will be added to an existing circuit for the airhandlers. Airhandler draw is 2.8 amp max.

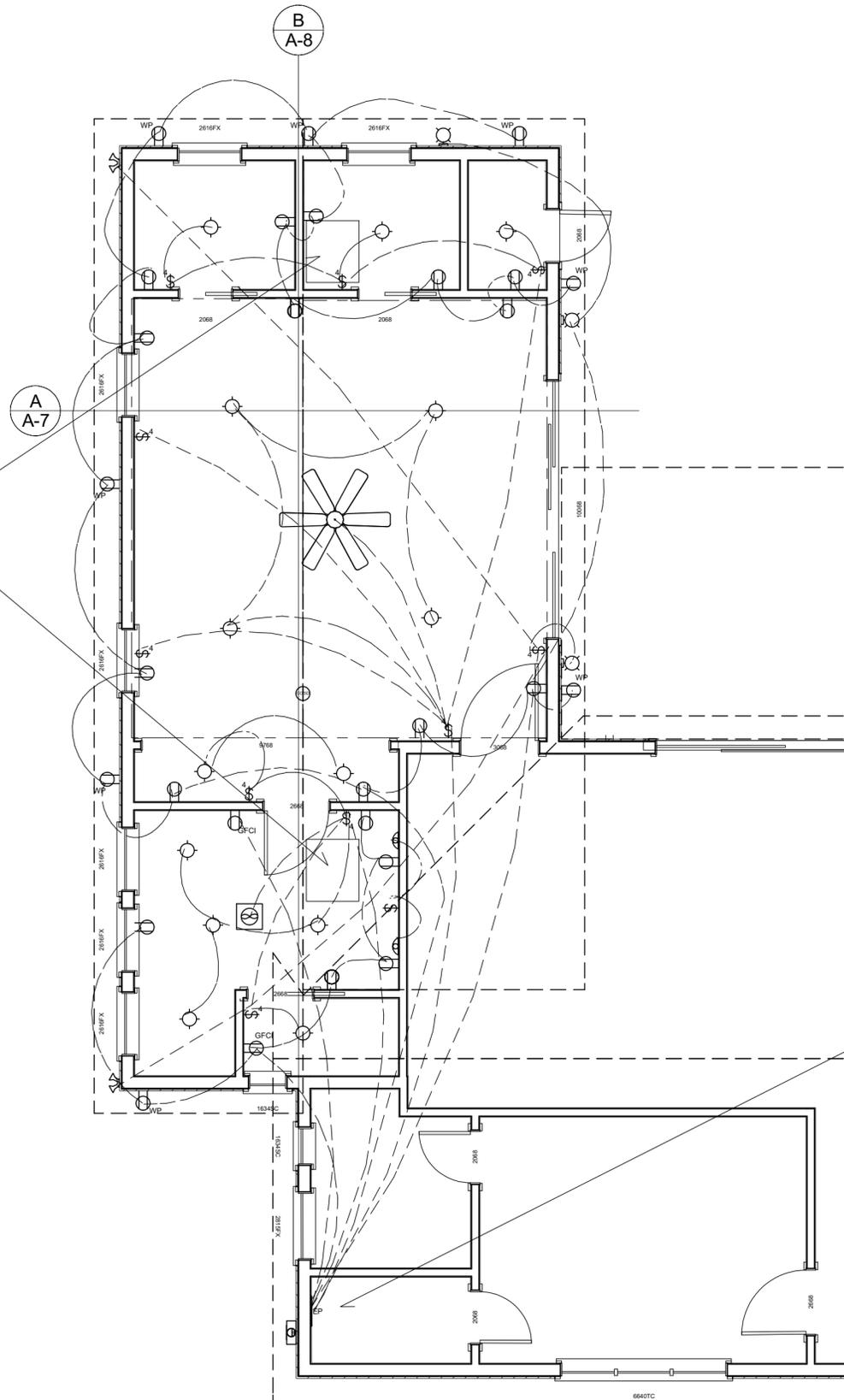
-  Duplex Outlet, GFCI
-  Duplex Outlet
-  Single Pole Switch
-  Multi Pole Switch
-  CO and Smoke Detector
-  Outside Light
-  Outside Floodlight
-  Recessed Light
-  Bathroom Vent



GENERAL NOTES, HVAC:

Air Conditioning and Heat to be provided by (2) SZSP Spacepak Airhandlers, 38 lbs each.
 Air handlers to be connected into existing Spacepak Chiller system
 Spacepak Chiller system was designed and sized to include these two Airhandlers under work permit # 14-00004743 (HARC #14-01001661)
 Manual J worksheet submitted under that work permit included this addition and equipment
 Ducting is via (16) 2" ducts that are routed to various locations throughout the addition

Spacepak SZSP Airhandlers
(in attic)



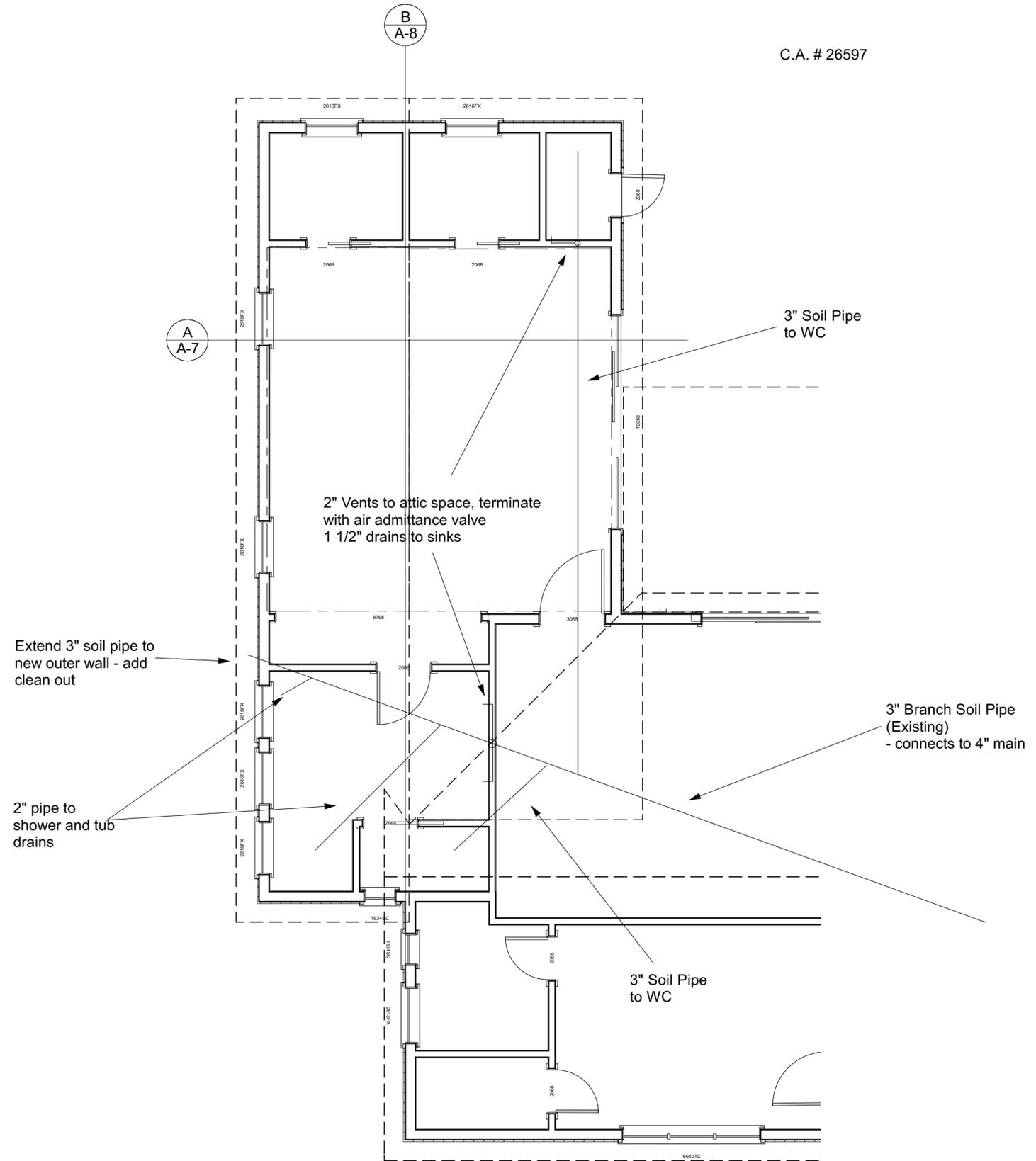
Electrical Plan

1/4" = 1'

GENERAL NOTES:

1. Design based on Florida Building Code 2010
2. All work shall comply with applicable codes
3. Materials - PVC
4. Trap/Drain and Vent sizing:
 - Main soil pipe - 3"
 - WC - 3"
 - Shower and Bath - 2"
 - Sinks - 1 1/2"
 - Vents - 2"
4. DFU calculations:
 - Branch soil pipe (Existing, connects to 4" main) 20 DFU available
 - WC (2) - 8 DFU
 - Shower and Bath (2) - 4 DFU
 - Sinks (3) - 3
 - total DFU 15*
 - *or two bathroom groups = 12 DFU

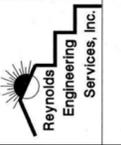
C.A. # 26597



Plumbing Plan

1st Floor

1/4" = 1'



STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
FLORIDA P.E.#46885
28350 LAUREL DRIVE SUITE 101, FL 33042
(305) 394-5987

SHEET TITLE:
Plumbing Plan

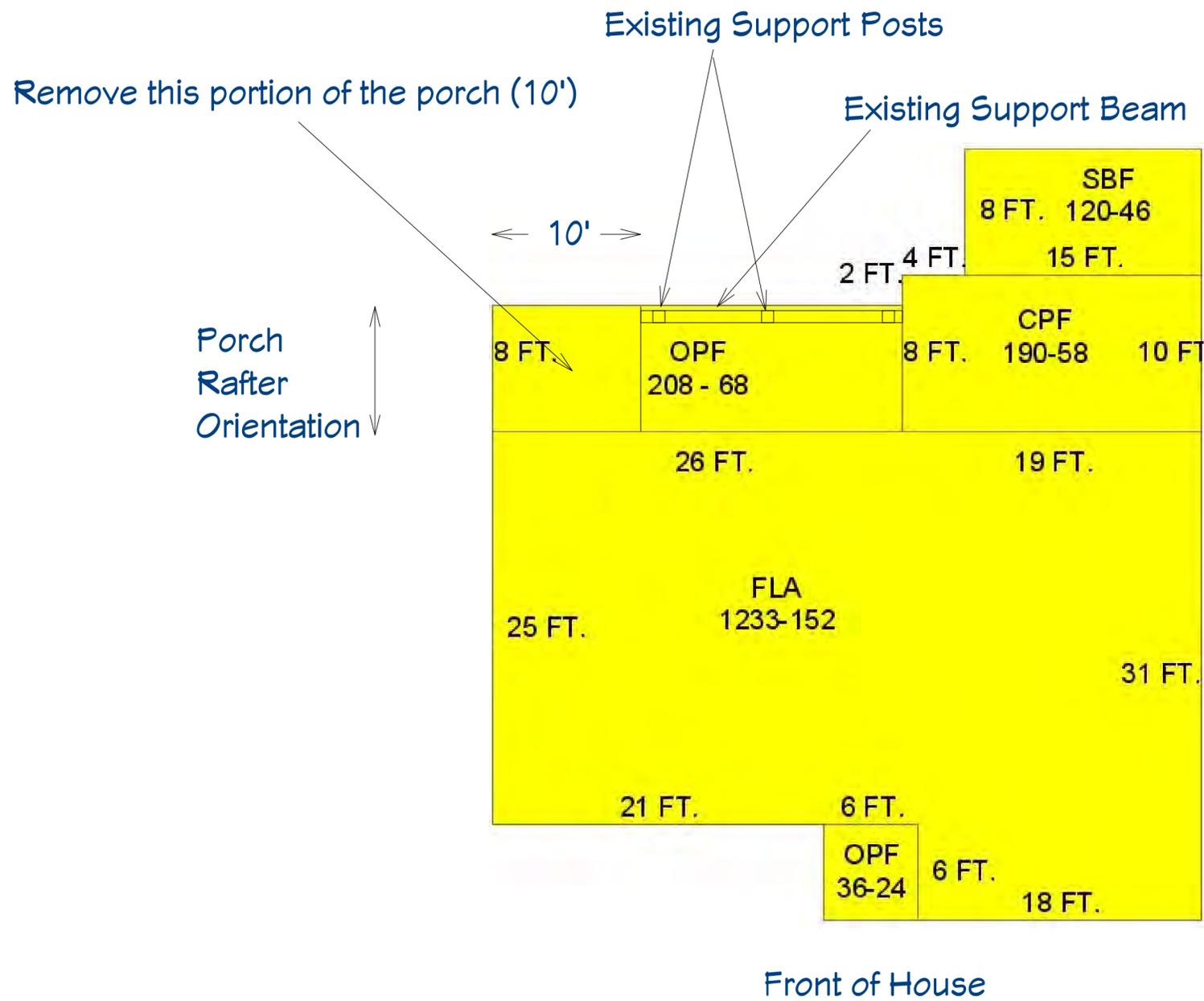
PROJECT DESCRIPTION:
**Master Suite Addition at
1233 South St.
Key West FL 33040**

DRAWINGS by:
Glenn R. Anderson
1233 South St Key West Fl 33040
Tel: 305-922-2480

DATE:
3/12/2015

SHEET:

A-10
of 10



SHEET TITLE:

Rear Porch Demo Plan

PROJECT DESCRIPTION:

1233 South St.
Key West FL 33040

DRAWINGS by:

Glenn R. Anderson
1233 South St Key West Fl 33040
Tel: 305-922-2480

DATE:

3/30/2015

SHEET:

D-1

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., April 28, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW ADDITION ON CONTRIBUTING HOUSE. DEMOLITION OF
REAR PATIO, CARPORT, AND SHED.**

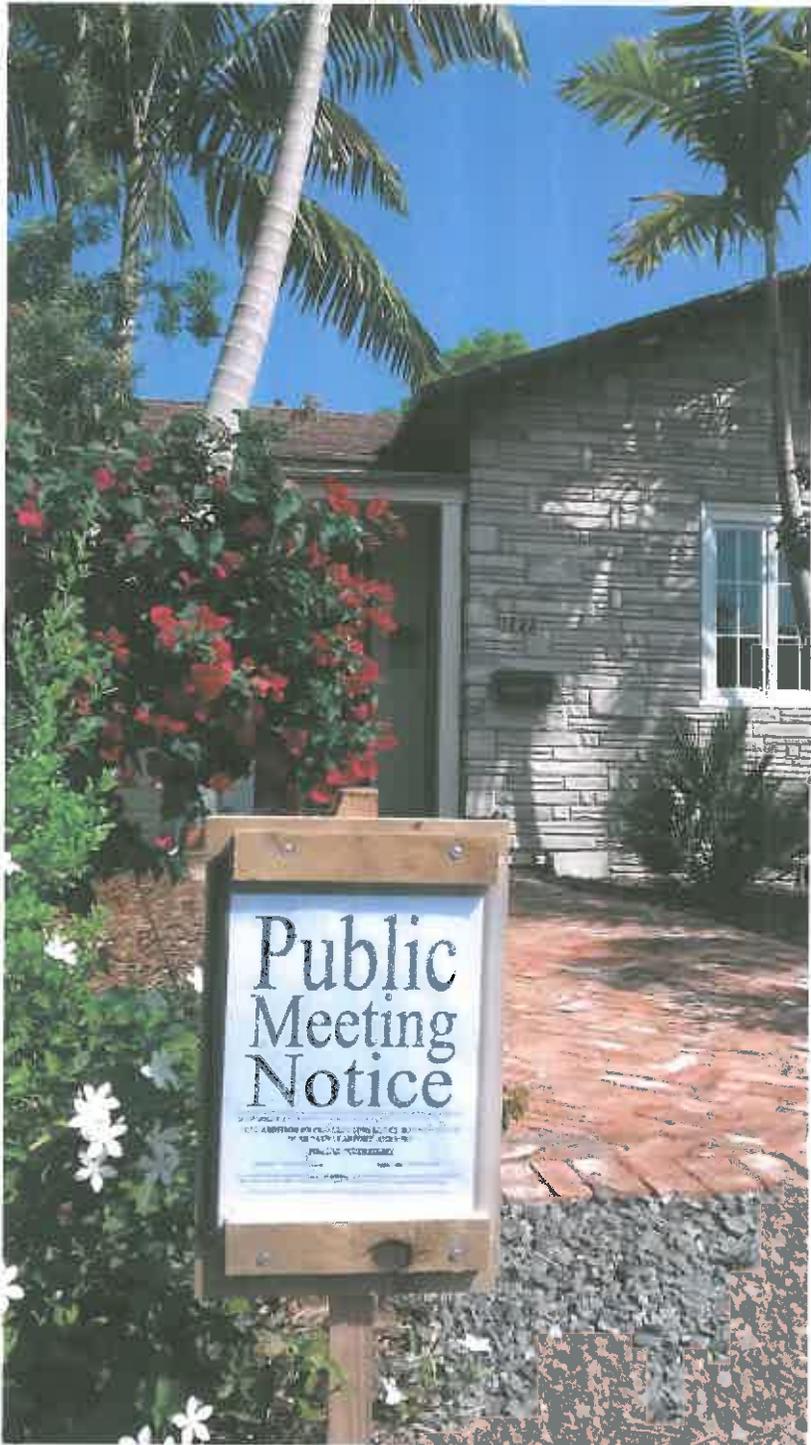
FOR- #1233 SOUTH STREET

Applicant – Glenn Anderson

Application # H15-01-0408

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION



HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared _____
____ Glenn Anderson _____, who, first being duly sworn, on oath, depose and
says that the following statements are true and correct to the best of his/her
knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural
Review Commission (HARC) was placed on the following address:
_____ 1233 South St _____ on the __ 22 __ day
of __ April _____, 2015 ____.

This legal notice(s) contained an area of at least 8.5"x11".

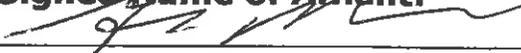
The property was posted to notice a public hearing before the Key West Historic
Architectural Review Commission to be held on __ April
28th _____, 2015 ____.

The legal notice(s) is/are clearly visible from the public street adjacent to the
property.

The Certificate of Appropriateness number for this legal notice is H15-01-0408.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:



Date: _ April 22, 2015 _____

Address: _ 1233 South St _____

City: _ Key West _____

State, Zip: _ Fl 33040 _____

The forgoing instrument was acknowledged before me on this __ 22 __ day of
__ April _____, 2015 ____.

By (Print name of Affiant) __ Glenn Anderson _____ who is personally known to
me or has produced _____ as identification and
who did take an oath.

NOTARY PUBLIC

Sign Name: 

Print Name: Miriam Cleare

Notary Public - State of Florida (seal)

My Commission Expires: 03/30/19



PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1042684 Parcel ID: 00042040-000000

Ownership Details

Mailing Address:

ANDERSON GLENN R AND CATHERINE M
1233 SOUTH ST
KEY WEST, FL 33040-3405

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 10KW

Affordable Housing: No

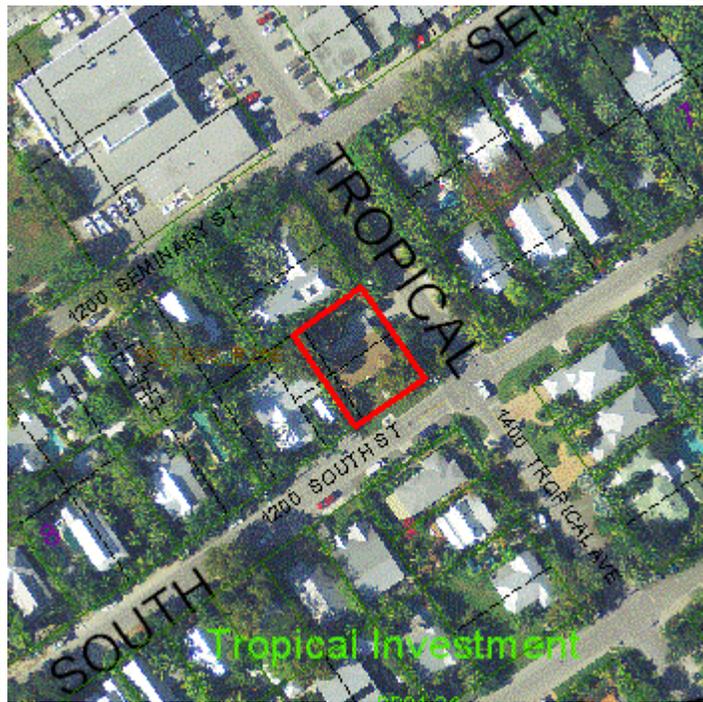
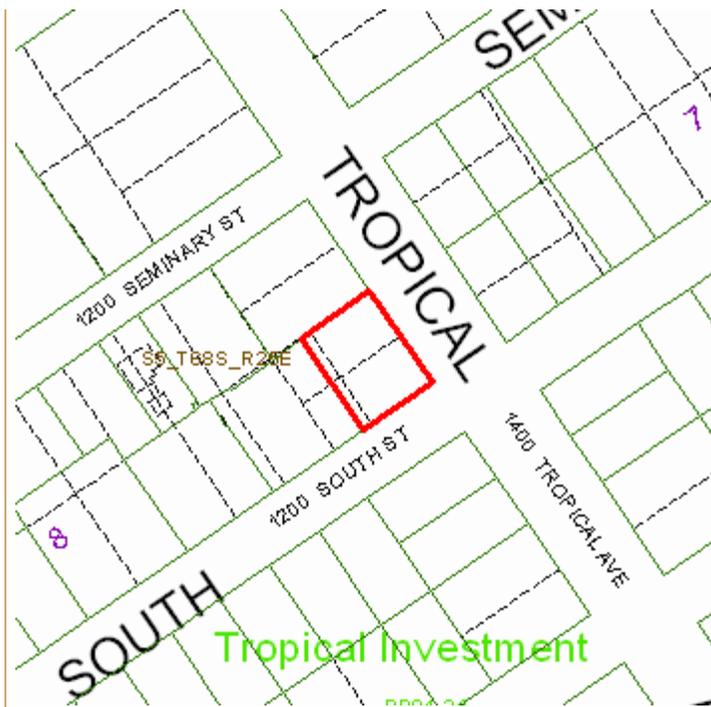
Section-Township-Range: 05-68-25

Property Location: 1233 SOUTH ST KEY WEST

Subdivision: Tropical Building and Investment Co

Legal Description: KW TROPICAL BLDG AND INVESTMENT CO SUB PT LOT 11-12 SQR 8 TR 19 PB 1-34 G43-309-310
OR278-152/53 OR2687-365/66 OR2700-1076/77C

Click Map Image to open interactive viewer



Exemptions

| Exemption | Amount |
|----------------------|-----------|
| 39 - 25000 HOMESTEAD | 25,000.00 |
| 44 - ADDL HOMESTEAD | 25,000.00 |

Land Details

| Land Use Code | Frontage | Depth | Land Area |
|------------------------|----------|-------|-------------|
| 010D - RESIDENTIAL DRY | 70 | 93 | 6,606.00 SF |

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 1233
 Year Built: 1950

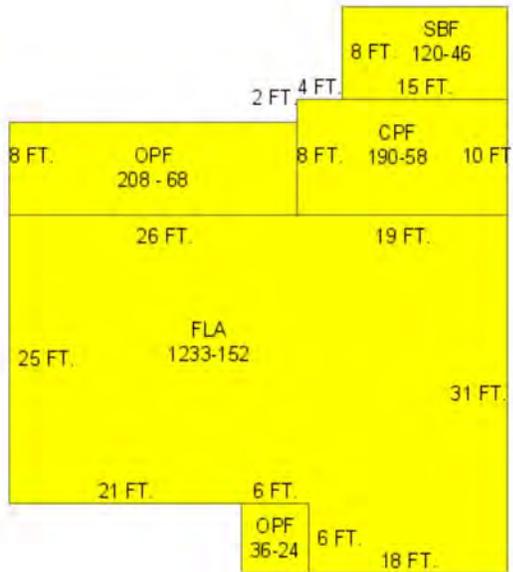
Building 1 Details

Building Type R1 Condition A Quality Grade 450
 Effective Age 20 Perimeter 152 Depreciation % 27
 Year Built 1950 Special Arch 0 Grnd Floor Area 1,233
 Functional Obs 0 Economic Obs 0

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.
 Roof Type GABLE/HIP Roof Cover ASPHALT SHINGL Foundation WD CONC PADS
 Heat 1 NONE Heat 2 NONE Bedrooms 3
 Heat Src 1 NONE Heat Src 2 NONE

Extra Features:

| | | | |
|------------|---|------------------|---|
| 2 Fix Bath | 1 | Vacuum | 0 |
| 3 Fix Bath | 0 | Garbage Disposal | 0 |
| 4 Fix Bath | 0 | Compactor | 0 |
| 5 Fix Bath | 0 | Security | 0 |
| 6 Fix Bath | 0 | Intercom | 0 |
| 7 Fix Bath | 0 | Fireplaces | 0 |
| Extra Fix | 0 | Dishwasher | 0 |



Sections:

| Nbr | Type | Ext Wall | # Stories | Year Built | Attic | A/C | Basement % | Finished Basement % | Area |
|-----|------------|---------------|-----------|------------|-------|-----|------------|---------------------|-------|
| 0 | <u>OPF</u> | | 1 | 2002 | | | | | 208 |
| 1 | <u>FLA</u> | 9:STONE/BRICK | 1 | 1949 | N | Y | 0.00 | 0.00 | 1,233 |

| | | | | | | | | |
|---|------------|---|------|---|---|------|------|-----|
| 2 | <u>OPF</u> | 1 | 1949 | N | N | 0.00 | 0.00 | 36 |
| 3 | <u>CPF</u> | 1 | 1949 | N | N | 0.00 | 0.00 | 190 |
| 4 | <u>SBF</u> | 1 | 1949 | N | N | 0.00 | 0.00 | 120 |

Misc Improvement Details

| Nbr | Type | # Units | Length | Width | Year Built | Roll Year | Grade | Life |
|-----|-------------------|---------|--------|-------|------------|-----------|-------|------|
| 0 | PT2:BRICK PATIO | 88 SF | 22 | 4 | 2014 | 2015 | 2 | 50 |
| 1 | FN2:FENCES | 146 SF | 0 | 0 | 2014 | 2015 | 5 | 30 |
| 2 | PO2:LOW COST POOL | 100 SF | 0 | 0 | 1984 | 1985 | 2 | 40 |

Building Permits

| Bldg Number | Date Issued | Date Completed | Amount | Description | Notes |
|-------------|-------------|----------------|--------|-------------|---|
| 14-3263 | 07/15/2014 | 12/01/2014 | 20,000 | | REMOVE FACADE AND REPLACE WITH T&G SIDING, REMOVE CLAMSHELL SHUTTERS AND SECURITY BARS, REPLACE 5 WINDOWS. CLOSE IN WINDOWS AND DOORS ON 2 OUTER WALLS AND DOORS, REPLACE FRONT DOOR, INSTALL NEW WALKWAY |
| 14-3264 | 07/15/2014 | 12/01/2014 | 1,000 | | REMOVE EXISTING FENCE ON WEST SIDE, INSTALL 6'SOLID FENCE BETWEEN WES FRONT CORNER REMOVE AND REPLACE FENCE FROM NORTH CORNER AND REPLACE WITH 4'SOLE2'OPEN |
| 14-4743 | 10/27/2014 | 12/16/2014 | 7,500 | | INSTALL HVAC 5 TO 10 TON AND STANDBY GENERATOR |
| 14-5188 | 11/19/2014 | | 750 | | REPLACE WOOD SIDING AS NEEDED . BUILD BATHROOM AND CLOSET IN EXSISTING SPACE INCLUDES SHOWER, TOILET , AND SINK. |
| 14-5186 | 11/19/2014 | | 150 | | INSTALL LIGHTS AND OUTLETS IN BATHROOM WITH FAN |
| 14-5187 | 11/19/2014 | | 800 | | INSTALL SINK, TOILET AND SHOWER IN NEW BATH |
| A951588 | 05/01/1995 | 09/01/1995 | 3,785 | | 16 SQS ASPHALT SHINGLES |
| 01-3816 | 12/07/2001 | 10/03/2002 | 1,200 | | UPGRADE ELECTRIC |
| 02-0872 | 04/11/2002 | 10/03/2002 | 2,500 | | ROOFING |

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

| Roll Year | Total Bldg Value | Total Misc Improvement Value | Total Land Value | Total Just (Market) Value | Total Assessed Value | School Exempt Value | School Taxable Value |
|-----------|------------------|------------------------------|------------------|---------------------------|----------------------|---------------------|----------------------|
| 2014 | 130,360 | 1,150 | 402,751 | 534,261 | 206,926 | 25,500 | 181,426 |
| 2013 | 111,628 | 1,166 | 376,089 | 488,883 | 203,868 | 25,500 | 178,368 |
| 2012 | 113,345 | 1,182 | 354,598 | 469,125 | 200,460 | 25,500 | 174,960 |
| 2011 | 113,345 | 1,198 | 343,853 | 458,396 | 194,621 | 25,500 | 169,121 |
| 2010 | 115,063 | 1,214 | 214,908 | 331,185 | 191,745 | 25,500 | 166,245 |
| 2009 | 128,330 | 1,230 | 349,226 | 478,786 | 186,704 | 25,500 | 161,204 |
| 2008 | 125,997 | 1,246 | 506,048 | 633,291 | 186,517 | 25,500 | 161,017 |
| 2007 | 145,108 | 1,262 | 926,100 | 1,072,470 | 181,084 | 25,500 | 155,584 |

| | | | | | | | |
|------|---------|-------|---------|---------|---------|--------|---------|
| 2006 | 224,208 | 1,278 | 496,125 | 721,611 | 176,667 | 25,500 | 151,167 |
| 2005 | 224,208 | 1,294 | 363,825 | 589,327 | 171,521 | 25,500 | 146,021 |
| 2004 | 145,320 | 1,310 | 363,825 | 510,455 | 166,525 | 25,500 | 141,025 |
| 2003 | 174,384 | 1,326 | 152,145 | 327,855 | 163,421 | 25,500 | 137,921 |
| 2002 | 126,383 | 1,342 | 152,145 | 279,870 | 159,591 | 25,500 | 134,091 |
| 2001 | 114,231 | 1,358 | 114,109 | 229,698 | 157,078 | 25,500 | 131,578 |
| 2000 | 110,369 | 1,153 | 97,571 | 209,093 | 152,503 | 25,500 | 127,003 |
| 1999 | 101,280 | 1,069 | 97,571 | 199,920 | 148,494 | 25,500 | 122,994 |
| 1998 | 75,744 | 809 | 97,571 | 174,123 | 146,156 | 25,000 | 121,156 |
| 1997 | 69,251 | 747 | 84,341 | 154,339 | 143,713 | 25,000 | 118,713 |
| 1996 | 58,431 | 664 | 84,341 | 143,436 | 139,528 | 25,000 | 114,528 |
| 1995 | 53,237 | 636 | 84,341 | 138,214 | 136,125 | 25,000 | 111,125 |
| 1994 | 47,610 | 596 | 84,341 | 132,547 | 132,547 | 25,000 | 107,547 |
| 1993 | 47,651 | 151 | 84,341 | 132,143 | 132,143 | 25,000 | 107,143 |
| 1992 | 47,651 | 151 | 84,341 | 132,143 | 132,143 | 25,000 | 107,143 |
| 1991 | 47,651 | 151 | 84,341 | 132,143 | 132,143 | 25,000 | 107,143 |
| 1990 | 47,651 | 151 | 67,804 | 115,606 | 115,606 | 25,000 | 90,606 |
| 1989 | 43,319 | 137 | 66,150 | 109,606 | 109,606 | 25,000 | 84,606 |
| 1988 | 21,796 | 137 | 56,228 | 78,161 | 78,161 | 25,000 | 53,161 |
| 1987 | 21,532 | 137 | 37,375 | 59,044 | 59,044 | 25,000 | 34,044 |
| 1986 | 21,644 | 137 | 35,721 | 57,502 | 57,502 | 25,000 | 32,502 |
| 1985 | 20,986 | 137 | 25,028 | 46,151 | 46,151 | 25,000 | 21,151 |
| 1984 | 19,581 | 137 | 25,028 | 44,746 | 44,746 | 25,000 | 19,746 |
| 1983 | 19,626 | 137 | 25,028 | 44,791 | 44,791 | 25,000 | 19,791 |
| 1982 | 20,025 | 137 | 18,754 | 38,916 | 38,916 | 25,000 | 13,916 |

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

| Sale Date | Official Records Book/Page | Price | Instrument | Qualification |
|-----------|----------------------------|---------|------------|---------------|
| 8/20/2014 | 2700 / 1076 | 0 | <u>WD</u> | <u>11</u> |
| 6/2/2014 | 2687 / 365 | 636,000 | <u>WD</u> | <u>02</u> |

This page has been visited 215,183 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176