

Historic Architectural Review Commission

Staff Report Item 8

Meeting Date: April 23, 2013

Applicant: William Shepler, Architect

Application Number: H13-01-527

Address: #811 White Street

Description of Work: New two story single family house on vacant lot.

Building Facts: The proposed new two story house will be built on a vacant lot. A one story, non-contributing, frame structure was demolished in 2005. According to HARC files a two story, rectangular in footprint, frame structure was approved by the Commission on August 9, 2005. The approval was conditioned to the removal of gingerbread brackets on the front and back porches; which latter was submitted to staff and approved. Those plans are still valid for construction since they were approved before the actual expiration date for Certificates of Appropriateness was adopted (August 1, 2006). The new potential owner has different needs and is submitting new plans for review. Actual owner have submitted a consent document for the plans to be presented to HARC. The site is on a corner lot facing White and Petronia Streets.

Guidelines Cited in Review:

Secretary of the Interior's Standards (pages 16-17), specifically Standards 3 and 9.

Additions, alterations and new construction (pages 36-38a), specifically guidelines for new construction 1 through 7 of pages 38-38a.

Staff Analysis

The Certificate of Appropriateness proposes the construction of a two story frame structure on a vacant lot. The proposed design is contemporary in

concept and it is inspired by traditional forms and textures found in the historic district. The proposed new structure has a two story front wrap porch, being the second story uncovered. A small balcony is proposed on the side façade facing Petronia Street. This balcony will be flush with the façade. The main roof of the new house will be a front gable with a small cross gable towards the south façade with a 9:12 ratio slope. Proposed materials for siding are fiber cement clapboard and panels and corrugated aluminum panels anodized finish installed vertically. The plans also include stainless steel cable systems for the upper decks, aluminum impact rated windows, aluminum rated doors on the back and sides, and a single panel wood front door.

A wood deck and a swimming pool are proposed on the back portion of the site. A 4' high picket fence is proposed on White and Petronia Streets. The fence on Petronia Street will rise up to 6' height where the house ends and will extend towards the back property line.

Consistency with Guidelines

1. The proposed design is contemporary and does not mimic traditional houses. The use of forms and textures found within the historic district makes this design a sympathetic solution as an infill structure.
2. The proportions, mass and scale of the proposed new house are in keeping with two story structures found in the historic district. Although the surrounding houses are one story in height the proposed setbacks for the second floor plan create a significant buffer towards the two adjacent houses.
3. The design takes into account the corner condition by creating a second floor wrap porch.
4. The design conforms to all zoning requirements, including setbacks, impervious surfaces and building coverage.
5. The use of individual awnings over some of the windows protect them from the elements, gives shade and also creates an additional layer of textures towards the facades, which lowers the massing of a flush

It is staff's opinion that the proposed plans are consistent with the Secretary of the Interior's Standards and the Historic Architectural Guidelines. The buildings surrounding the site are not listed as contributing resources. The proposed design is fresh and innovative and will blend with the historic urban fabric that exists within the area.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # 04-11-113-100527

OWNER'S NAME: PAUL MISCH DATE: 4/11/13

OWNER'S ADDRESS: 101 GULFVIEW DR., 8205 ISLAMORADA FL, 33036 PHONE #: 219-793-2232

APPLICANT'S NAME: WILLIAM SHEPLER ARCHITECT PHONE #: 305-890-6191

APPLICANT'S ADDRESS: 206 TRUMAN AVE., KEY WEST

ADDRESS OF CONSTRUCTION: 811 WHITE ST., KEY WEST # OF UNITS: 1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: NEW 2 1/2 STORY FRAME HOUSE W/ GABLE ROOFS ON VACANT LOT. FIBER CEMENT LAP SIDING W/ CORRUGATED METAL & BOARD/BATTEN ACCENTS. PORCHES FRONT & REAR. OPEN PICKET WD. FENCE @ PERIMETER. ONE PARKING SPACE (OFF STREET).

Chapter 837.06 F.S.-False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 4/11/13

Applicant's Signature: William Shepler

Required Submittals

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Owner: CMS Type: RE Drawer: 1

Date: 4/11/13 Staff Approval: 100527 Receipt no: 58972

PT 2013

Trans number: 2904977

CK CHECK Fee Due: \$100.00

Trans date: 4/12/13 Time: 13:35:44

PAST DUE

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

Vacant lot

Guidelines for new construction

Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

Historic Architectural
Review Commission



Enid Torregrosa <etorregr@keywestcity.com>

Fwd: HARC submission for 811 White St

1 message

Ralph <c21rjsanchez@aol.com>
To: etorregr@keywestcity.com

Fri, Apr 12, 2013 at 10:01 AM

Ralph Sanchez

Century 21 All Keys Inc.
1223 White Street, Unit 105
Key West, FL 33040
c21rjsanchez@aol.com
Office: 305-294-4200
Fax: 305-292-1495
Cell: 305-304-0090

-----Original Message-----

From: Bascom Grooms <bascom@bascomgrooms.com>
To: Ralph <c21rjsanchez@aol.com>
Sent: Fri, Apr 12, 2013 8:16 am
Subject: Fwd: HARC submission for 811 White St

Bascom L Grooms, IV
Principal Broker
Bascom Grooms Real Estate
1716 North Roosevelt Blvd
Key West, FL 33040
305-304-7444
www.bascomgrooms.com

Begin forwarded message:

From: "Kutcher family" <summertimehouse@cox.net>
Date: April 12, 2013, 7:10:37 AM EDT
To: "Bascom Grooms" <bascom@bascomgrooms.com>
Subject: HARC submission for 811 White St

Dear Bascom,

Please forward this letter of intent to the appropriate persons at HARC:

I, Alison Kutcher give permission for Paul Misch of PMLLC to submit plans to HARC in regards to my property located at 811 White Street, Key West, Florida.

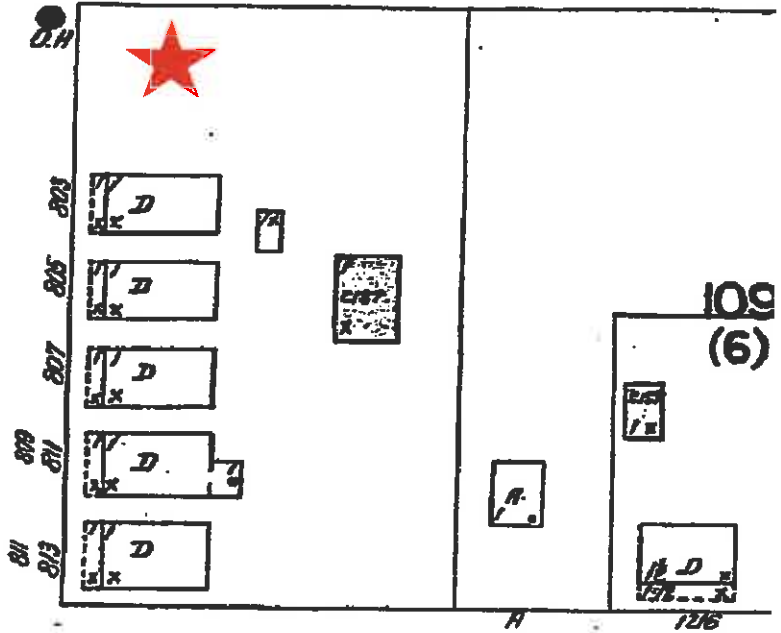
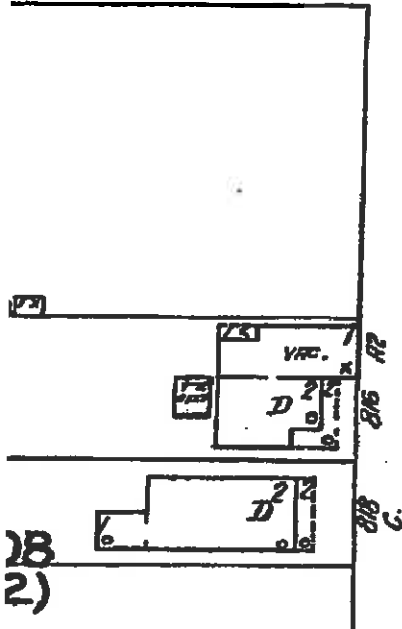
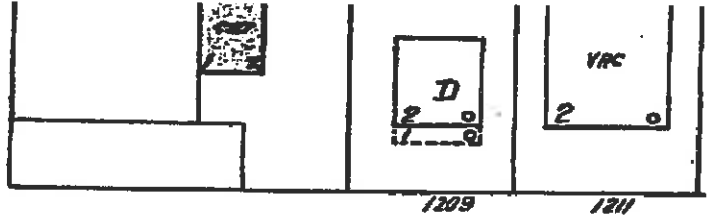
Thank you,

Alison Kutcher

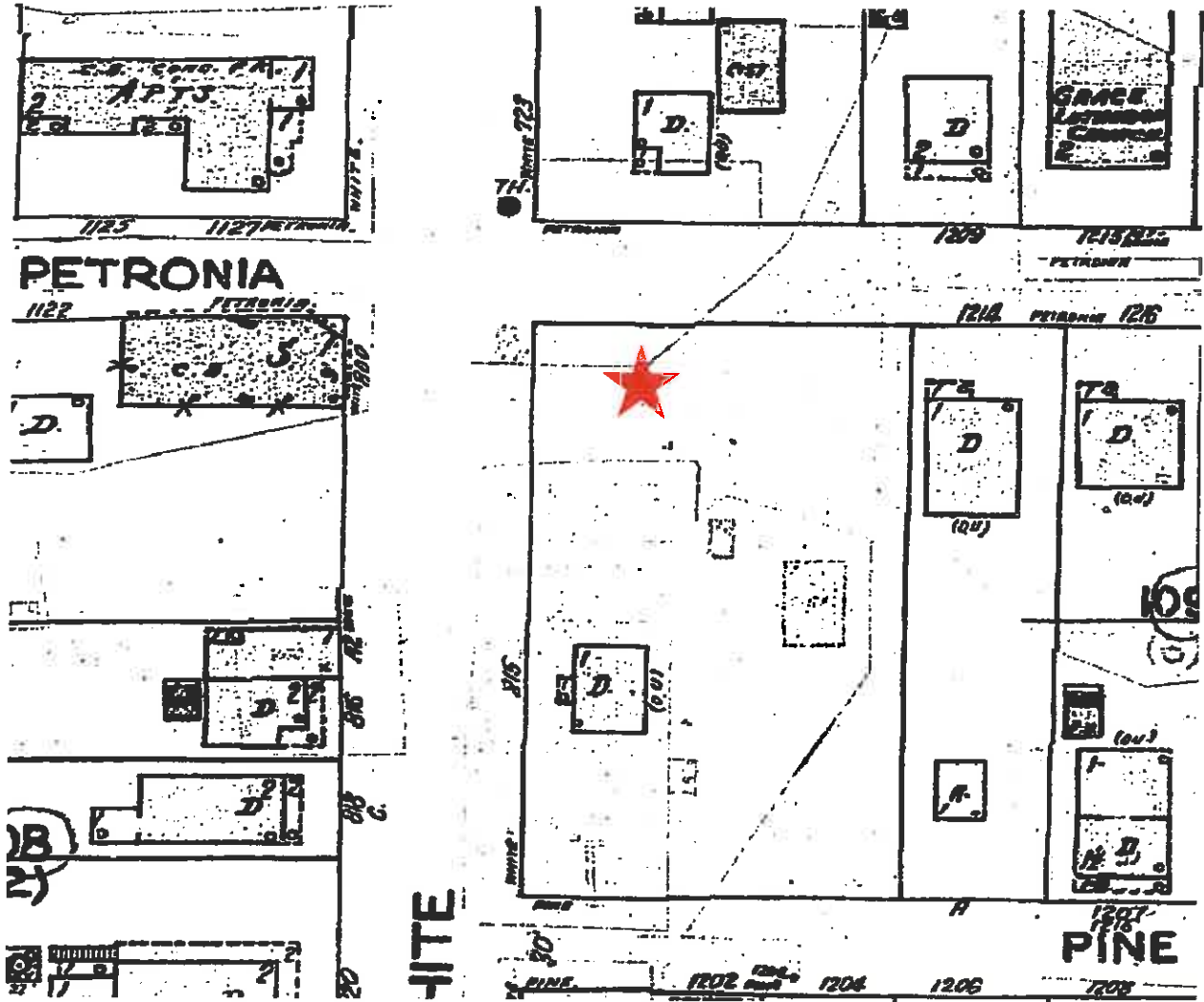
Sanborn Maps



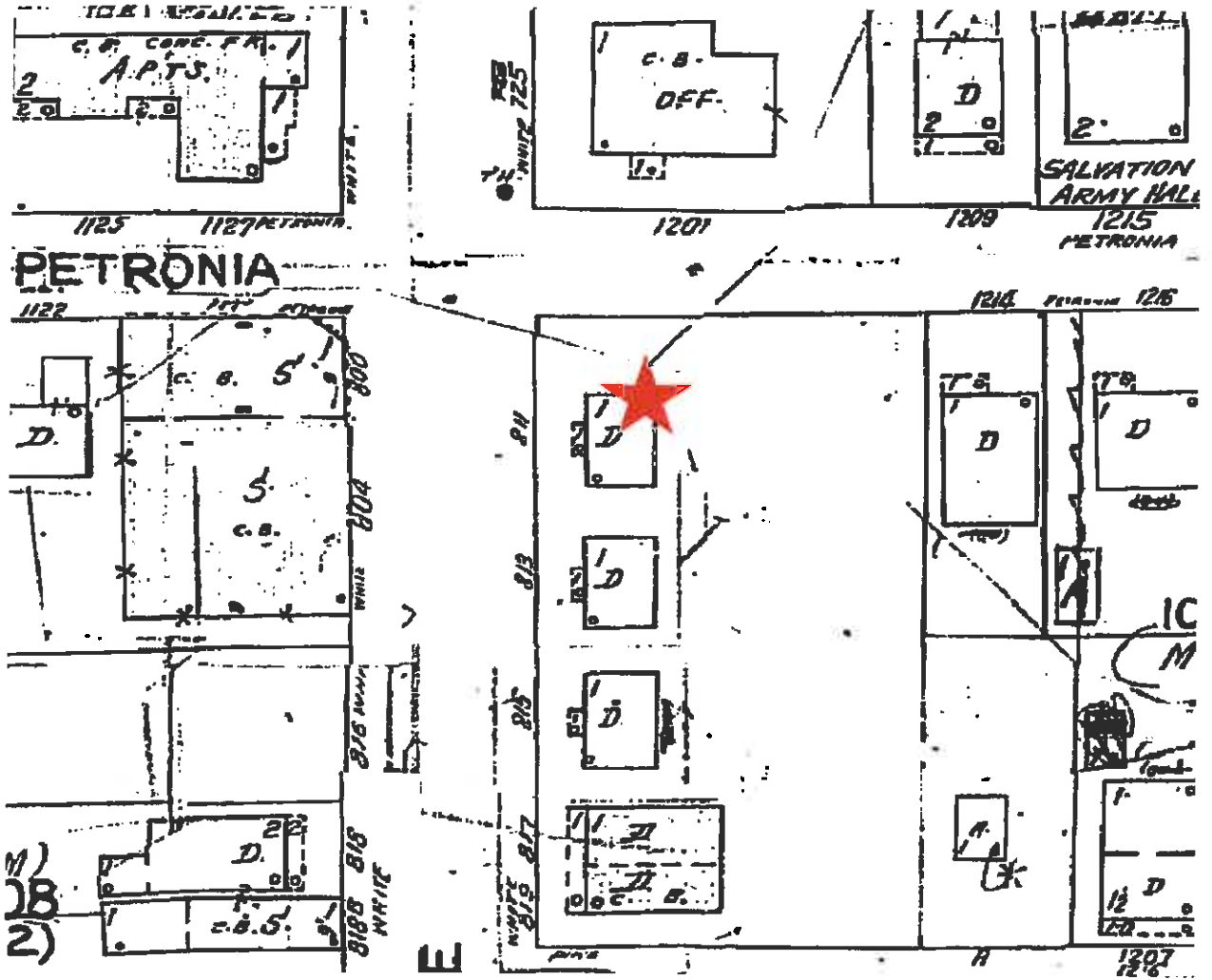
PETRONIA



#811 White Street Sanborn map 1926



#811 White Street Sanborn map 1948



#811 White Street Sanborn map 1962

Project Photos



Photo taken by the Property Appraiser's office c1965; 811 White St.; Monroe County Library

811 WHITE STREET
H.A.R.C. APPLICATION PHOTOS 4.11.13



811 White Street - Vacant Lot



813 White Street - Adjacent Property



1216 Petronia Street - Adjacent Property at Rear of Lot



Authors Guest House - Property Directly Across Petronia Street

811 WHITE STREET
H.A.R.C. APPLICATION PHOTOS 4.11.13



Commercial Property Directly Across White Street From Lot



White Street Looking South From Lot



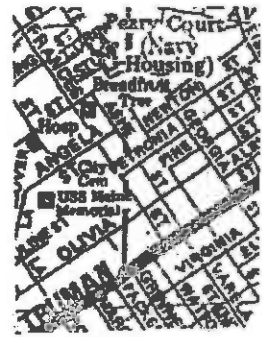
Multi-Family Property Diagonal Corner From 811 White Street



View North From 811 White Street

Survey

MAP OF BOUNDARY SURVEY LOT 1 AND PART OF LOT 2 SQUARE 6, OF TRACT 7 MALONEY SUBDIVISION



LOCATION MAP -



SCALE: 1" = 20'

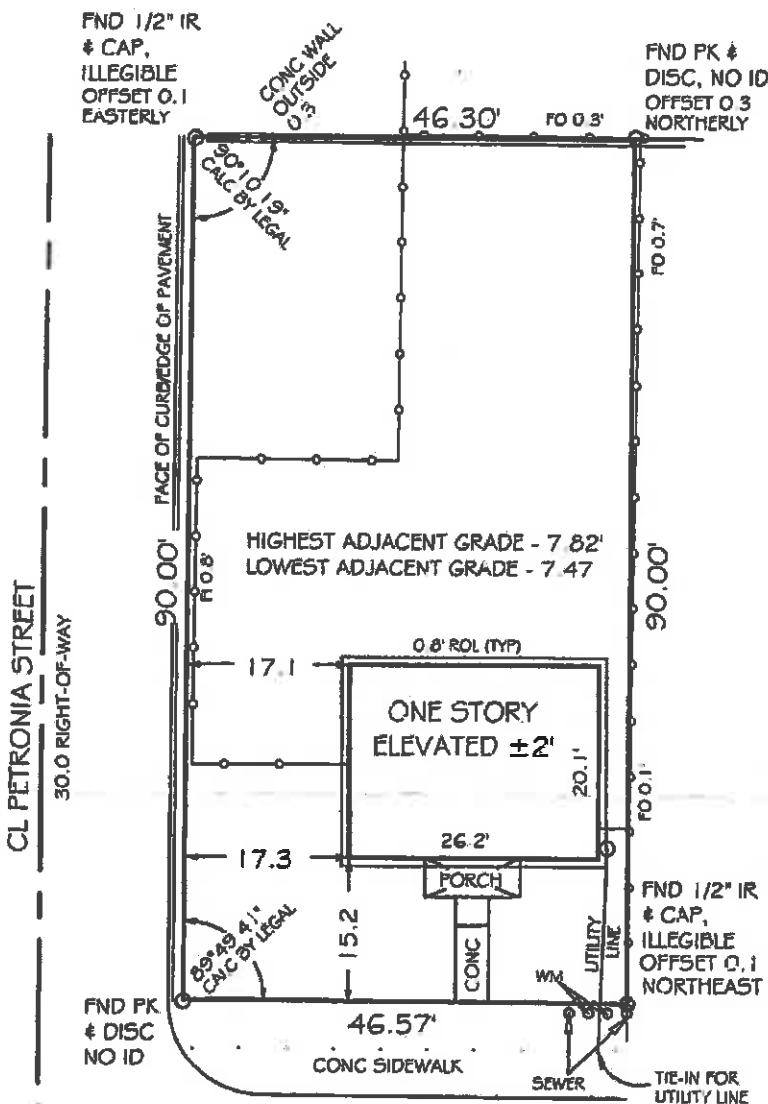
BEARING BASE:
DERIVED FROM PLAT

ALL ANGLES DEPICTED
ARE 90 DEGREES UNLESS
OTHERWISE INDICATED

ADDRESS:
811 WHITE STREET
KEY WEST, FL 33040

ELEVATIONS SHOWN AS
+X.XX' REFER TO NGVD
1929 VERTICAL DATUM
ABOVE SEALEVEL

COMMUNITY NO.: 120168
MAP NO.: 12087C-1516K
MAP DATE: 02/18/05
FLOOD ZONE: X



LEGAL DESCRIPTION:

A parcel of land on the island of Key West and known as of Lot 1 and part of Lot 2, Square 6, of Tract 7, MALO SUBDIVISION, according to the plat thereof as recorded Plat Book 1, Page 22 of the Public Records of Monroe County, Florida, said parcel being more particularly described by metes and bounds as follows:

BEGIN at the intersection of the SEly right-of-way line o Petronia Street with the NEly right-of-way line of White Street and run thence SEly along the NEly right-of-way

**Previous submitted plans
2005 and
approved plans August 9, 2005
H05-06-13-0918**

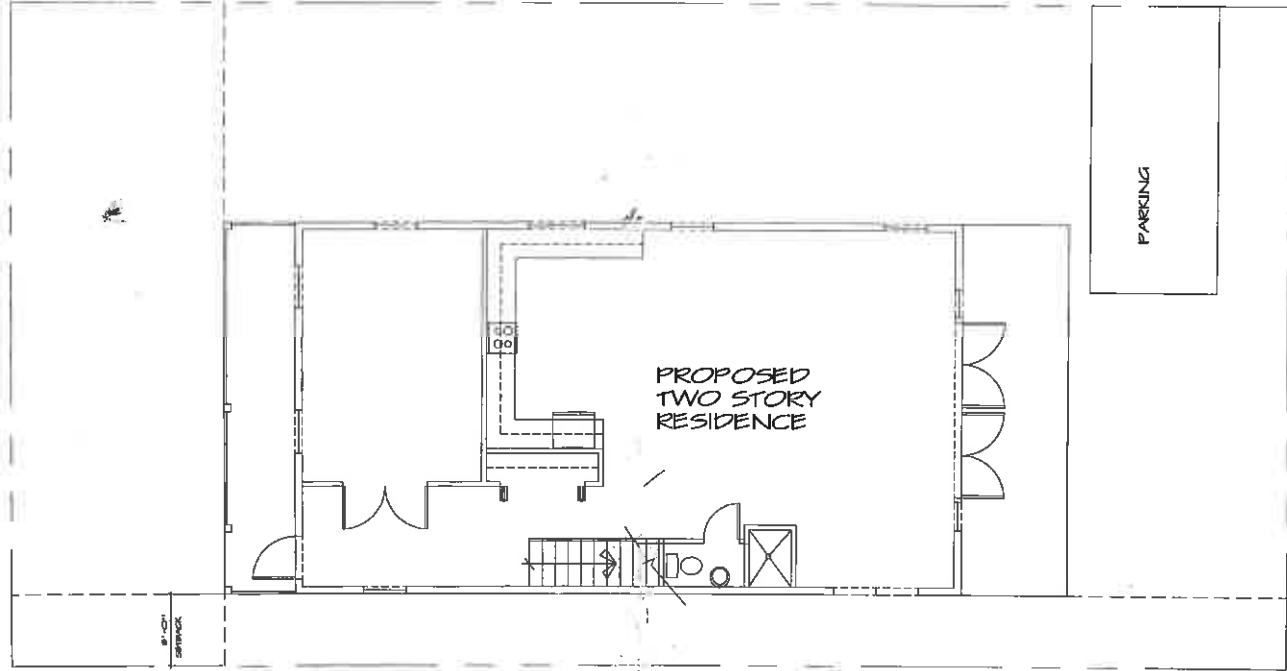
RESIDENCE
 811 WHITE STREET KEY WEST, FLORIDA

PETRONIA STREET

90.00'

WHITE STREET

46.3'



90.00'



SITE PLAN

SCALE: 1/4" = 1'-0"

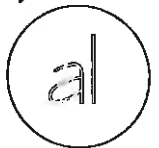
NORTH

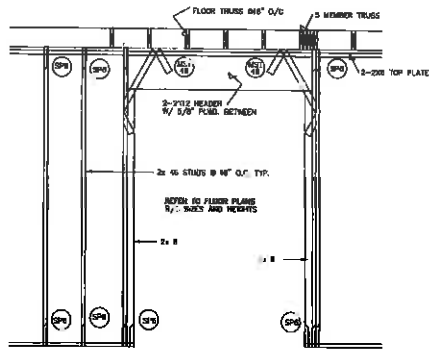
RESIDENCE
 811 WHITE STREET
 KEY WEST, FLORIDA

Certified Recording and Mapping, LLC
 State of Florida
 F0000693558
 06/01/2008
 01111001001

J.W. JOHNSON
 DESIGN CONSULTANTS
 7190 SE. PETRONIA HWY. (US #1) SUITE #12
 STUART, FLORIDA 34997 (772) 285-2972

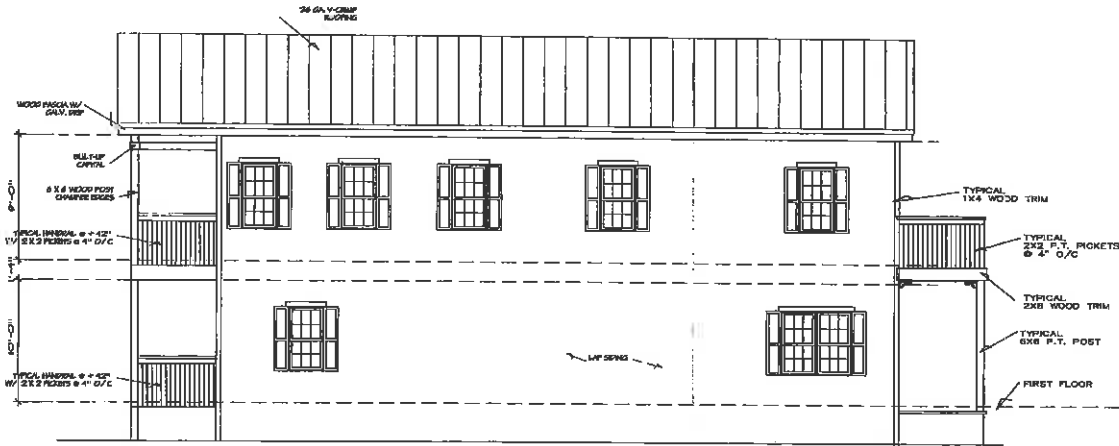
REVISED
 JUN 7 2008
 FILE NO.
 PROJ NO.
 DATE: 1 JUNE 2008





- 1. UNK SHIP RING STEEL CLIP
- 2. 18 C. STRAP FROM 2\"/>

HEADER DETAIL

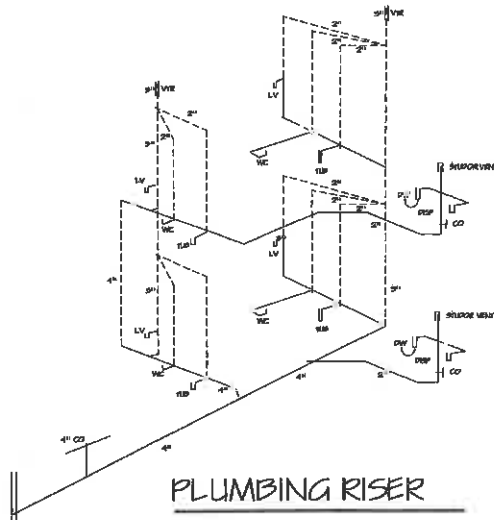


RIGHT ELEVATION

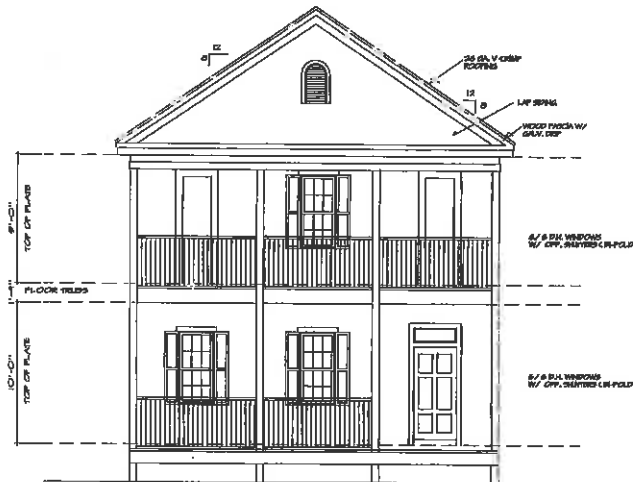
SCALE 1/4\"/>

PLUMBING NOTES:

- 1. MEMBERS OF CHILL IN 1/2\"/>
- 2. ALL MEASUREMENTS AND MATERIALS SHALL BE EXACTLY ACCORDANCE WITH APPROVALS IN FORCE, STATE, LOCAL, CODES, RULES AND ORDINANCES.
- 3. DIMENSIONS ARE DIMENSIONAL. DO NOT SCALE FOR THE EXACT LOCATION OF FITTINGS, PIPES, EQUIPMENT, ETC.
- 4. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- 5. VERIFY LOCATION, SIZE, ELEVATION AND ALL DIMENSIONS RELATED TO THE PLUMBING CONNECTION. VERIFY EXISTENCE OF ANY OBSTRUCTIONS.
- 6. PLUMBING CONTRACTOR SHALL VERIFY THE EXISTING A/C CONDENSATE PIPING AND VENT. USE A/C PLANS FOR LOCATION OF UNITS AND PIPING. CONFIRM SIZE AND TYPE OF PIPING.
- 7. PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND CONDITIONS AS TO THE SIZE OF THROUGH PENETRATIONS OF PARTITIONS AND PARTITIONS.
- 8. ALL NEW AND OLD PIPING LINES SHALL BE COVERED WITH 1/2\"/>



PLUMBING RISER



FRONT ELEVATION

SCALE 1/4\"/>

RESIDENCE
811 WHITE STREET
KEY WEST, FLORIDA

J.W. JOHNSON
DESIGN CONSULTANTS
7120 S.E. BENTLEY LANE, (15 #) SUITE #100
SUNGLASS, FLORIDA 34997 (772) 285-2872

REVISION JUN 8 2008
FILE NO.
PLU NO.
DATE: JUNE 2008

24

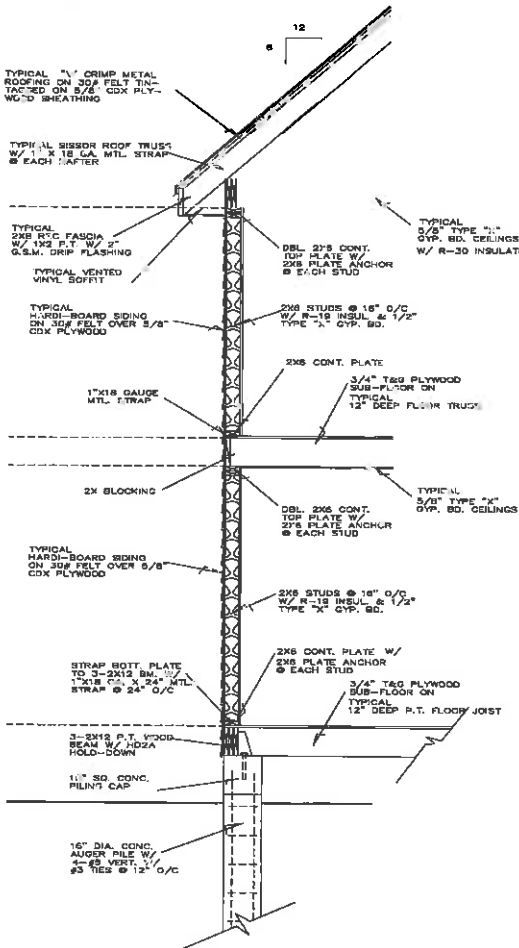
RESIDENCE
811 WHITE STREET
KEY WEST, FLORIDA

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DESIGN CONSULTANTS
7190 SE. FEDERAL HWY. (US #1) SUITE #12
STUART, FLORIDA 34997 (772) 285-2572

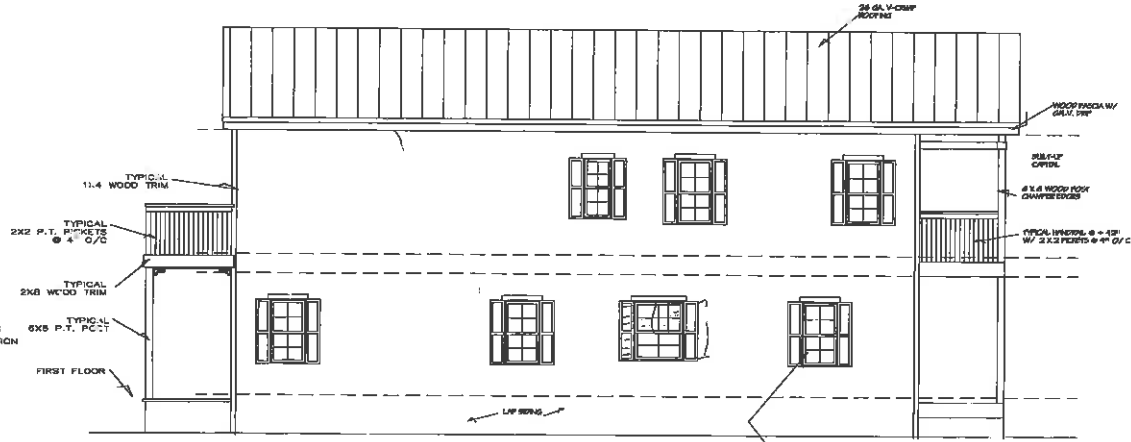
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PROJECT:
DATE: 1 JUN 2005

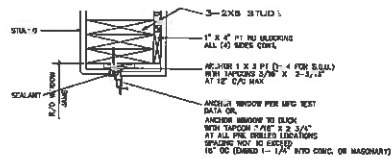
as



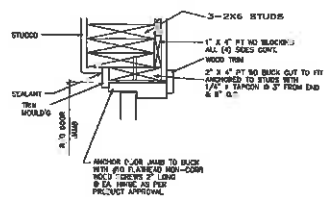
WALL SECTION
SCALE 1/2"



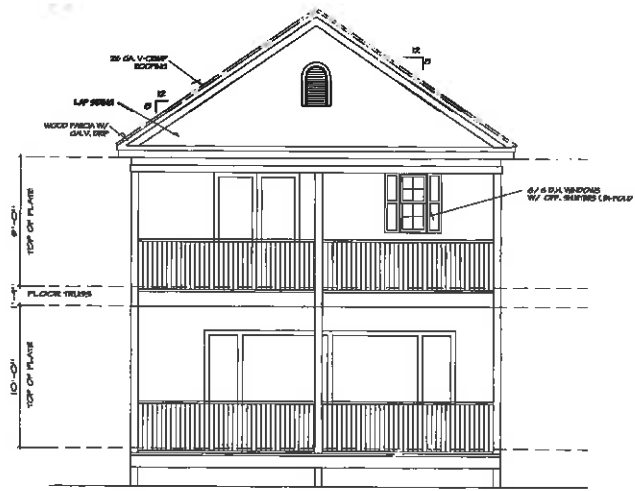
LEFT ELEVATION
SCALE 1/4" = 1'-0"



WINDOW JAMB DETAIL
NO SCALE

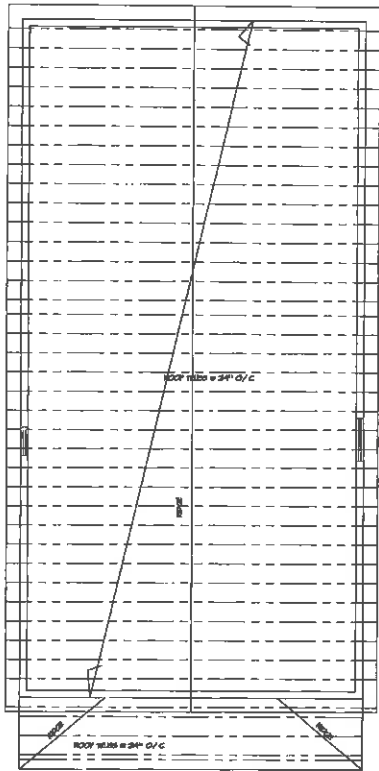


DOOR JAMB DETAIL
NO SCALE



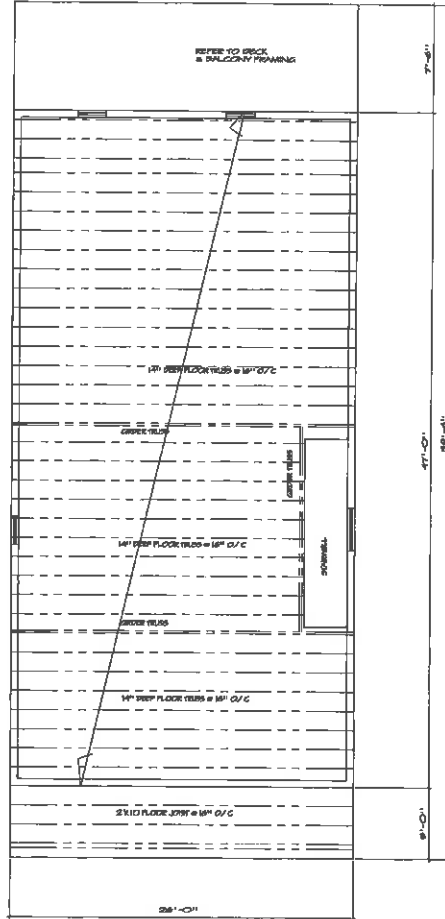
REAR ELEVATION
SCALE 1/4" = 1'-0"

JUN 1 2005



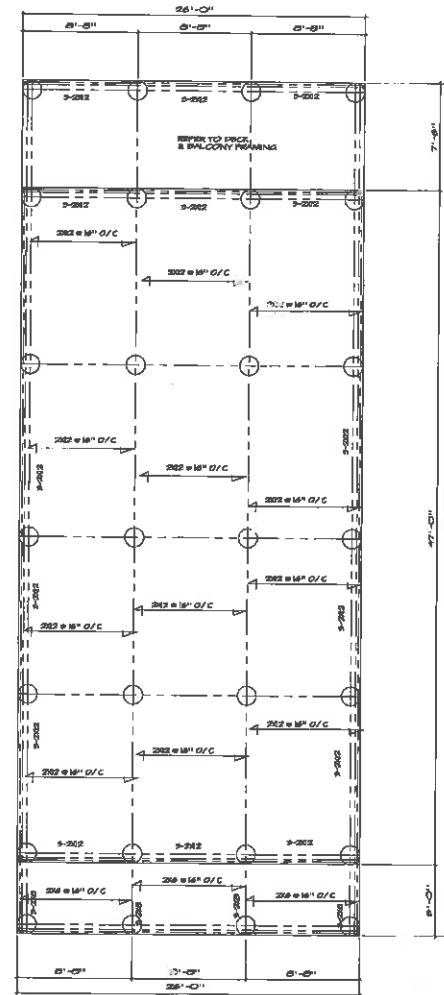
ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"



FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"



FOUNDATION PLAN

SCALE 1/4" = 1'-0"

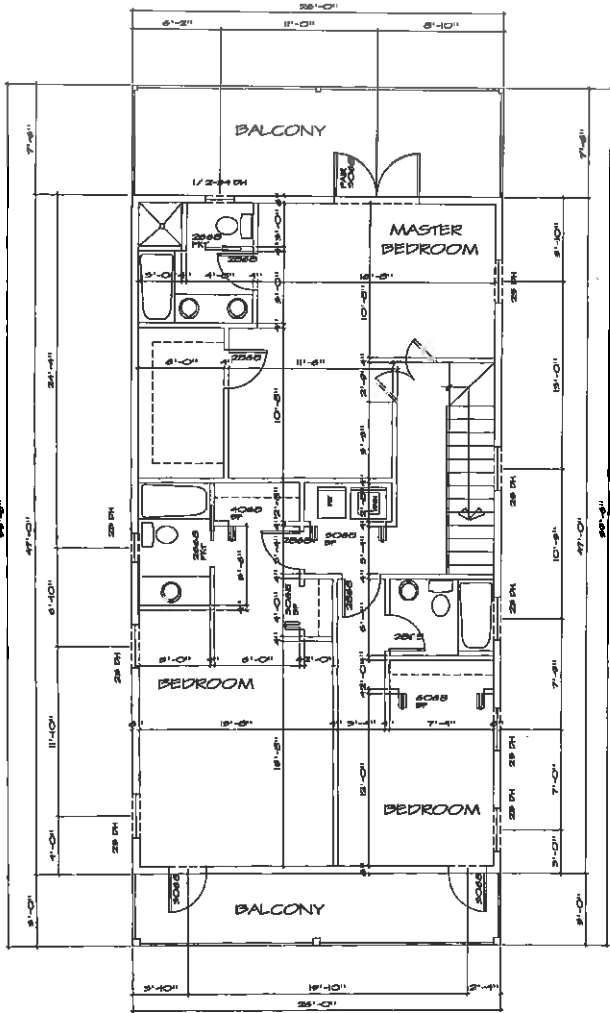
RESIDENCE
811 WHITE STREET
KEY WEST, FLORIDA

J.W. JOHNSON
DESIGN CONSULTANTS
7190 SE. FEDERAL HWY. (US #1) SUITE #12
STUART, FLORIDA 34997 (772) 288-2572

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FILE NO.	
PLN NO.	
DATE 1 - JUNE 2005	

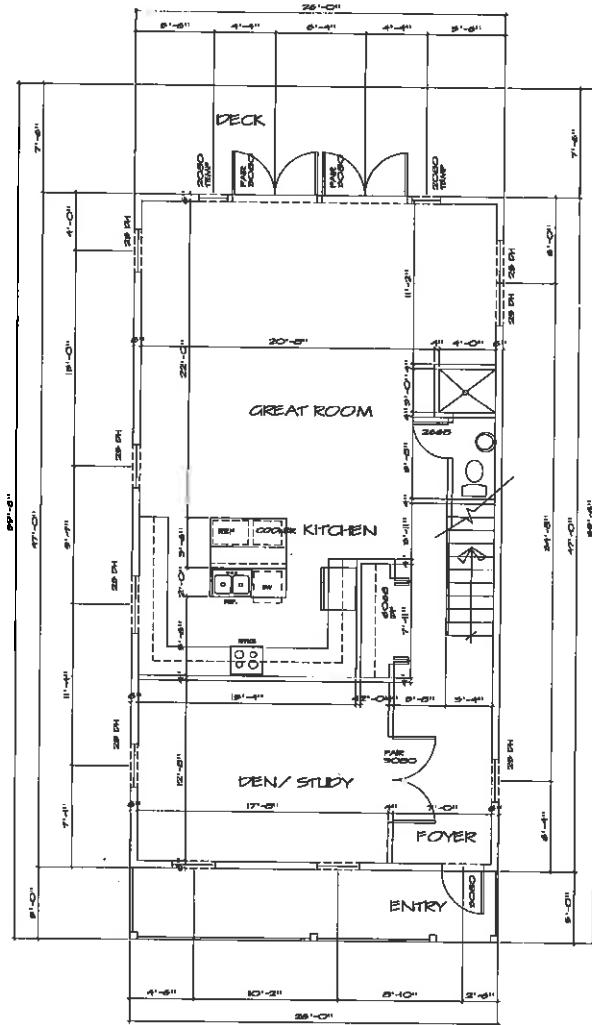
a2

JUN 7 2005



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISED JUN 7 2006
FILE NO.
PLN NO.
DATE 1 JUN 2006

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RESIDENCE
811 WHITE STREET
KEY WEST, FLORIDA

RESIDENCE
 811 WHITE STREET
 KEY WEST, FLORIDA

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 7190 S.E. FEDERAL HWY. (US #1) SUITE #12
 STUART, FLORIDA 34997 (772) 285-2572

REVISIONS
 JUN 7 2005
 FILE NO.
 PROJ. NO.
 DATE: JUNE 2009

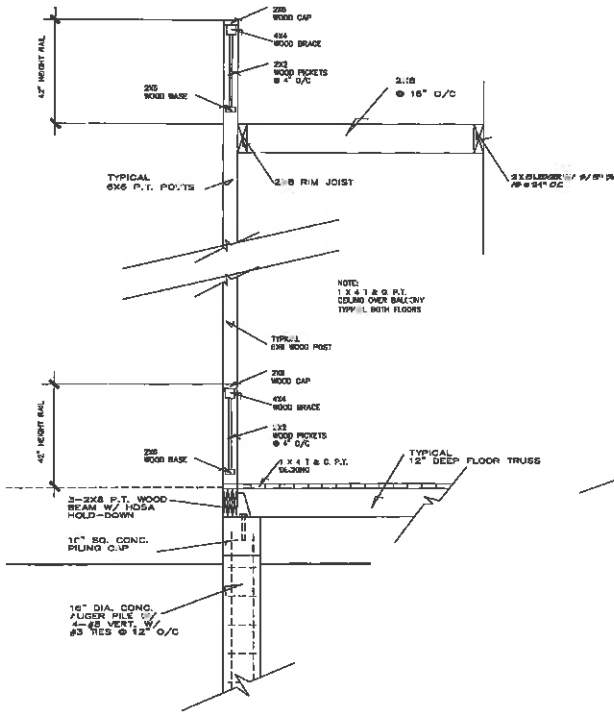
26

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS FURNISHED AND REPORT TO OWNER THROUGH ARCHITECT IMMEDIATELY UPON EACH MEETING AND SHALL PROTECT ALL DIMENSIONS AND FINISHES FROM DAMAGE. ALL DIMENSIONS AND FINISHES SHALL BE VERIFIED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK IN THE AREA IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONS THAT MAY HAVE BEEN OBTAINED OTHERWISE.
- 2. CONDITIONS FROM THE DRAWING OR SPECIFICATIONS OR THE INTERPRETATION OF DETAILS OF WORK (WOOD AND METAL) TO CARRY OUT THE MEANING OF THE DIMENSIONS AND SPECIFICATIONS, OR WHICH ARE EXTREMELY FORMALIZED, SHALL NOT RELY ON THE CONTRACTOR'S OWN JUDGMENT AND SHALL BE REFERRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONS THAT MAY HAVE BEEN OBTAINED OTHERWISE.
- 3. THE CONTRACTOR SHALL VERIFY SHOP DRAWINGS, PRODUCT DATA, AND/OR SAMPLES AS DEVELOPED IN WRITTEN COOPERATION. THESE SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND COMMENT PRIOR TO PROCUREMENT OF INDIVIDUAL ITEMS OR ASSEMBLY. THESE SUBMITTALS ARE NOT PROPERLY REVIEWED, THESE SHALL BE REJECTED IF THERE ARE ANY DEVIATIONS FROM THE CONTRACT REQUIREMENTS.
- 4. SUBSTITUTIONS: IN THE EVENT THAT A SPECIFIED ITEM CANNOT BE OBTAINED TO THE JOB OR IS UNOBTAINABLE AND THE CONTRACTOR ASKS TO CHANGE NO DELAY, THEN THE CONTRACTOR MAY PRODUCE A NEW MATERIAL. SUCH SUBSTITUTION SHALL BE OF EQUAL OR BETTER VALUE, OR AN ADJUSTMENT IN THE CONTRACT PRICE SHALL BE MADE.

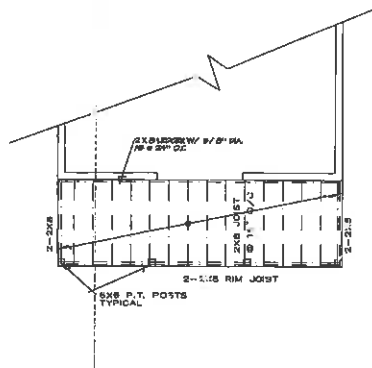
STRUCTURAL NOTES:

- 1. SLURF LOADS:
 FOOT/4 x (12) = 33 PSF
 FOOT/36 x (12) = 48 PSF (LIVING AREA)
 50 PSF (BALCONY)
 - 2. SOIL BEARING CAPACITY: 2,000 PSF
 - 3. ALL STRUCTURAL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSF AT 28 DAYS.
 - 4. ALL REINFORCING: STEEL, SHALL BE GRADE 60, TENSILE YIELD STRESS F_y=60.
 - 5. ALL STRUCTURAL STEEL USED FOR COLUMNS AND PLATES SHALL MEET AISC SPEC. 36-26 AND SHALL BE PROTECTED WITH TWO (2) COATS OF RUST INHIBITING PAINT. ALL ANCHOR BOLTS TO BE A 30Y ZINC.
 - 6. USE NIPER FOR STRUCTURAL GRADE (F) WOOD WITH A NOMINAL TREES DIMENSION OF 2" x 4" FOR 2" OR EQUAL.
 - 7. ALL JOISTS, GIRDERS, SCHEFFER, ROBBERS, BRACED, ANCHOR BOLTS AND DRAG BOLTS, BE SPECIFIED BEFORE TOP OF WALL. FOR SPECIFICATIONS AND QUALIFICATIONS GOVERNED BY THESE PLANS, SEE ARCHITECTURAL ANALYSIS AND MECHANICAL DRAWINGS.
 - 8. MINIMUM CORNER PROTECTION FOR REINFORCING BARS:
 FOOTING: 1" BOARD 1" SPOUNED BOARD
 IF FILLER COLLS ARE USED, PROVIDE TYPICAL FILLED COLLS BLOCK FILLS FILLED WITH 1/2" SAND, AND ONE (1) NUMBER 3 REINFORCING FROM FOOTING TO GRADE. PROVIDE ALMINA 5 COATS IN FOOTING FOR EACH LEGAL.
 - 9. LAP REINFORCING STEEL IN 90 DEGREE ANGLES.
- W/TO BEARING WALLS:**
- 1. PROVIDE 2 x 4 STUDS AT 16" O.C. MAXIMUM UNLESS OTHERWISE NOTED ON DRAWING. PROVIDE A MINIMUM 2" x 4 P.T. STUD AND 2" x 4 x 4 TOP UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM 2" x 4 x 4 x 4 TOP UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM 2" x 4 x 4 x 4 TOP UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM 2" x 4 x 4 x 4 TOP UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM 2" x 4 x 4 x 4 TOP UNLESS OTHERWISE NOTED.
 - 2. ALL EXTERIOR WALLS AND INTERIOR BUILT WALLS AS NOTED SHALL BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" x 1/2" x 1/2" FORM FROM BOTTOM TO TOP PLATE. ATTACH BRACKETS TO TOP AND BOTTOM PLATE. PROVIDE 2" x 4 P.T. WALLS FOR UNFINISHED WALLS USE 5/8" DIA. WALLS.
 - 3. PROVIDE REINFORCING CLIPS TOP AND BOTTOM TO EACH STUD OF BEARING WALLS.



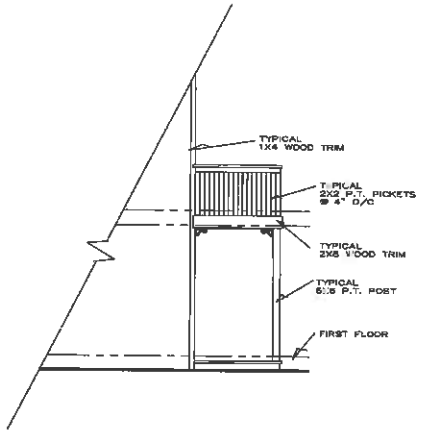
TYPICAL RAIL SECTION

SCALE 1/2"



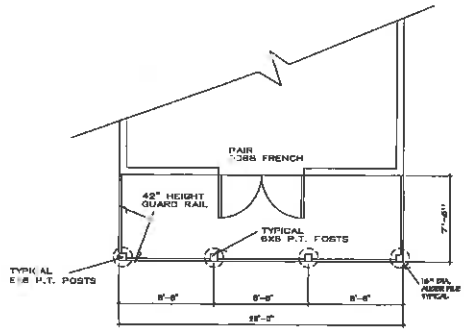
BALCONY FRAMING

SCALE 1/4" = 1'-0"



BALCONY ELEVATION

SCALE 1/4" = 1'-0"



BALCONY PLAN

SCALE 1/4" = 1'-0"

decorative trim visible. Drawings should be submitted for staff review. Terry Garcia seconded the motion.

APPROVE DISAPPROVE _____ TABLE _____

T8. H05-06-21-0964 814 Simonton Street, Rick Dostal

Move house (rear house) approx. 15' back.

Rick Dostal is proposing to move 814 Simonton Street back 15' to the setback line to give more room between the two existing structures. The rear structure is not visible from the street.

Tim Root motioned to approve the proposed relocation. The structure must remain at its current elevation. Don Craig seconded the motion. A survey of the property and photographs of the structure must be submitted for the file. Mr. Dostal will come back for any other changes to the building. No alterations or demolitions are approved.

APPROVE DISAPPROVE _____ TABLE _____

T9. H05-06-24-0987 805 United Street, Bender & Associates

Construct carport.

No one was present to answer the Commission's questions. Tim Root motioned to table. Don Craig seconded the motion.

APPROVE _____ DISAPPROVE _____ TABLE

T10. H05-06-13-0918 811 White Street, Michael Demchak

Demolish existing 500 sq/ft structure. Construct new 2400 sq/ft Res. As per plans 4' white picket fence in front, 6' white picket on side siding white with Hunter Green shutters.

George Born explained this item was previously tabled as the structure was too high. He was advised to look at an American Four Square structure on the corner of Newton and Petronia.

Michael Demchak revised the design to create an American Four-Square structure as recommended. The height has been reduced to a little over 27 feet. The structure will have 6/6 windows.

Mr. Born asked about the gingerbread. He explained that it does not go with this early 20th century style.

Tim Root motioned to approve the revision with the hip roof. The gingerbread should be removed. Terry Garcia seconded the motion. Pages A-4 and A-5 should be revised and submitted for staff review.

APPROVE X DISAPPROVE _____ TABLE _____

T11. H05-04-06-0528 **704 Olivia Street, R.E. Reece**

Remodel/restore entire home including doors, windows foundation. Repair interior walls & floors & ceilings, baths & kitchen.

Randy Sublette, the project manager, explained they are now proposing to raise the roof 4 or 5 feet to provide legal headroom for a stairway and bathroom. They have eliminated the proposed dormers and plan to raise the roof and re-install the historic scuttles. While this would change the view from the street many of the historic elements would be retained. The overall height would be about 26 feet.

Gene Giacumbo said the neighbors are pleased with the proposed work.

George Born explained the minutes from the previous meeting suggested they redesign the proposed dormers with a gable roof.

Mr. Sublette said they would need two dormers one on each side for headroom. One would be for the stairwell and the other for the bathroom. The problem with gable roof dormers is they will allow for only a narrow space.

Tim Root and Don Craig said perhaps they can raise the section at the very rear of the structure behind the historic scuttles at least 10 feet.

Mr. Craig said they misunderstood and thought they were discussing an addition. This would not be appropriate at all. The best solution would be to add dormers.

The Commission agreed shed roof dormers with a low sloped roof, exposed rafter tails and casement windows would be acceptable. This would give them a bungalow style. The dormer width should not exceed 6 feet.

Tim Root motioned to table. Terry Garcia seconded the motion.

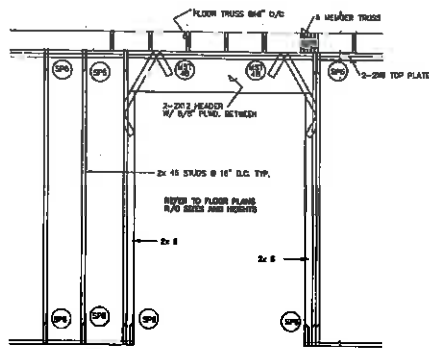
APPROVE _____ DISAPPROVE _____ TABLE X

T12. H05-04-15-0592 **830 Truman Avenue, Gonzalez Architects**

Demolish existing structures & construct new 50 unit motel.

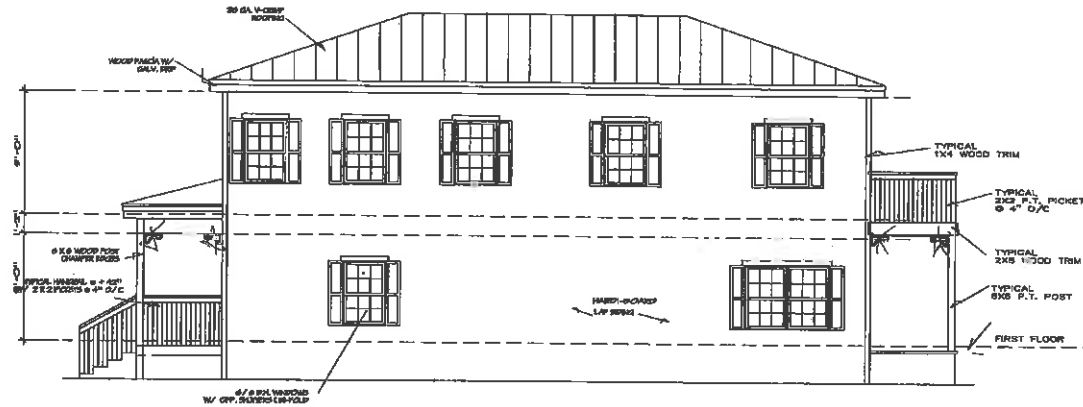
Withdrawn from the agenda.

APPROVE _____ DISAPPROVE _____ TABLE _____



- SPK USE SHIP SPK STRUD CLIP
- 16 GA STRIP FROM 2x8 ACROSS HEADER TO TOP PLATE WITH FASTENERS (14) 10# NAIL UP-LIFT ONLY

HEADER DETAIL

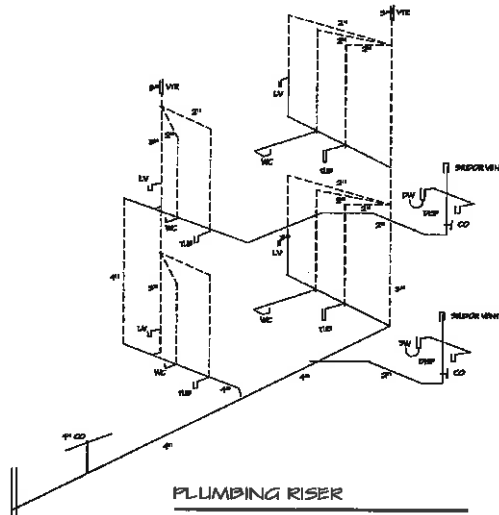


RIGHT ELEVATION

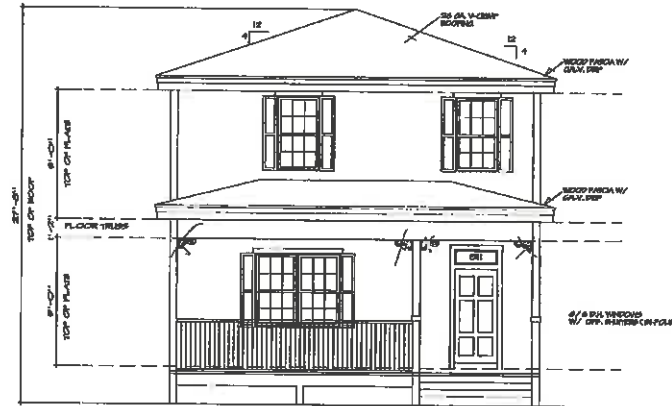
SCALE: 1/4" = 1'-0"

PLUMBING NOTES:

- 1. MINIMUM SLOPE SHALL BE 1/8" PER FOOT.
- 2. ALL WATERWAYS AND WATERS SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL, COUNTY AND ORDINANCES.
- 3. STANDARD AND TRADEMAN'S SYMBOLS SHALL BE USED FOR THE EXACT LOCATION OF FIXTURES, PIPES, ETC.
- 4. ALL WORK SHALL BE ACCORDING TO THE CODES AND ANY VARIATIONS WITH THE PERMISSON OF THE COMMUNITY.
- 5. VERIFY LOCAL AND STATE CODES FOR ALL SPECIFICATIONS WITH PERMITS TO INSURE COMPLIANCE. PERMITS DETERMINE ANY REQUIREMENTS.
- 6. PLUMBING CODES REQUIRE PERMITS, PLUMBING AND SEWER APPLICABLE. CONSULT LOCAL PERMITS OFFICE FOR THE LOCATION OF MAIN WATER AND SEWER MAINS. PERMITS SHALL BE OBTAINED BEFORE ANY WORK BEGINS.
- 7. PLUMBING CODES REQUIRE PERMITS, PLUMBING AND SEWER APPLICABLE. CONSULT LOCAL PERMITS OFFICE FOR THE LOCATION OF MAIN WATER AND SEWER MAINS. PERMITS SHALL BE OBTAINED BEFORE ANY WORK BEGINS.
- 8. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL, COUNTY AND ORDINANCES.



PLUMBING RISER



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

Revised drawings AUG 1 2003
as requested - 10/10/03 RECEIVED
Georgetown to be administered.

10/10/03

RESIDENCE
811 WHITE STREET
KEY WEST, FLORIDA

J.W. JOHNSON
DESIGN CONSULTANTS
7190 S.E. FEDERAL HWY. (U.S. #1) SUITE #12
STUART, FLORIDA 34997 (772) 285-2572

REVISIONS AUG 8 2003
FILE NO. DRAWING NO. DATE: 1 JUN 2003

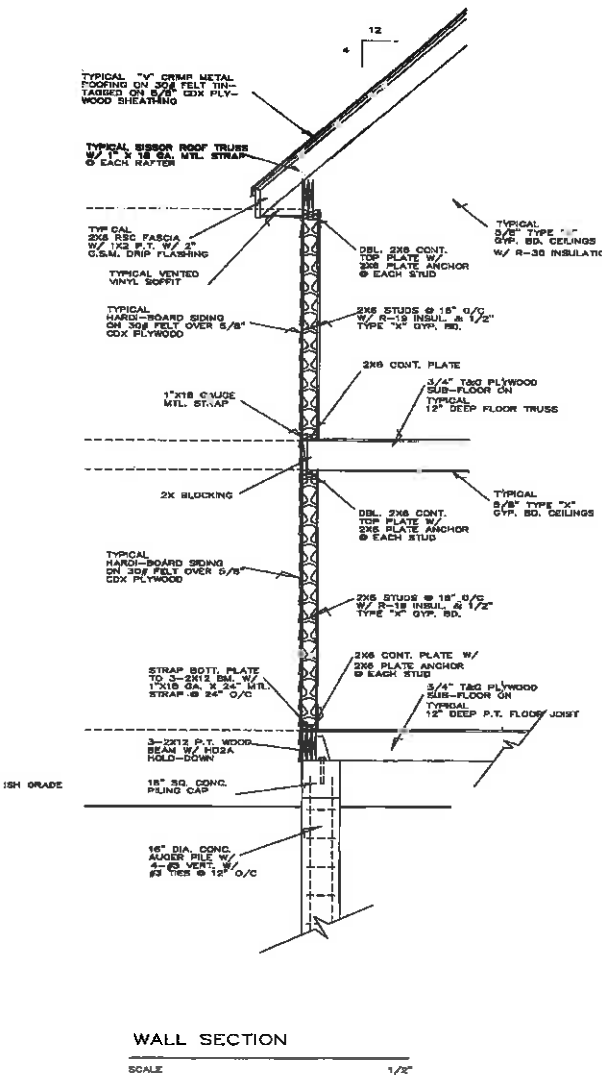
a4

RESIDENCE
811 WHITE STREET
KEY WEST, FLORIDA

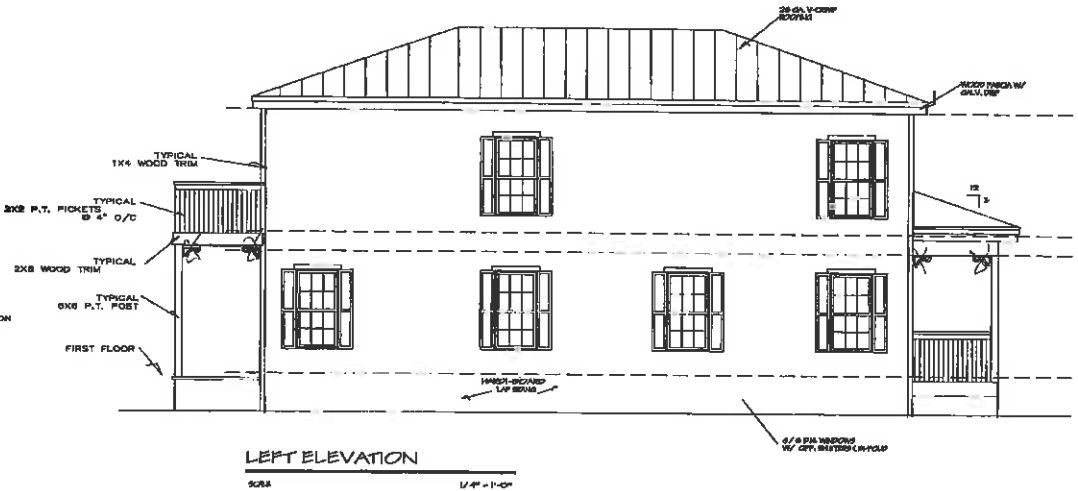
J.W. JOHNSON
DESIGN CONSULTANTS
7190 S.E. FEDERAL HWY. (US #1) SUITE #12
STUART, FLORIDA 34997 (772) 285-2572

REVISION
AUG 8 2015
FILE NO.
PROJECT NO.
DATE 1 JUNE 2009

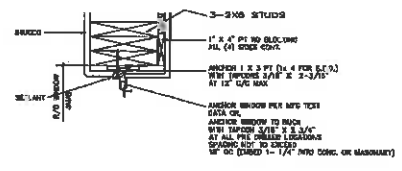
25



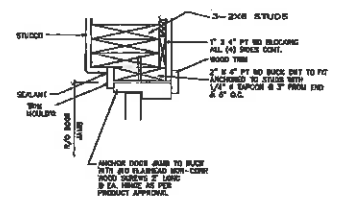
WALL SECTION
SCALE 1/2\"/>



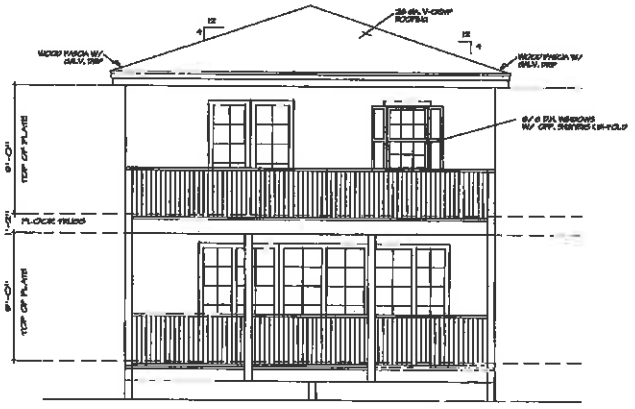
LEFT ELEVATION
SCALE 1/4\"/>



WINDOW JAMB DETAIL
NO SCALE



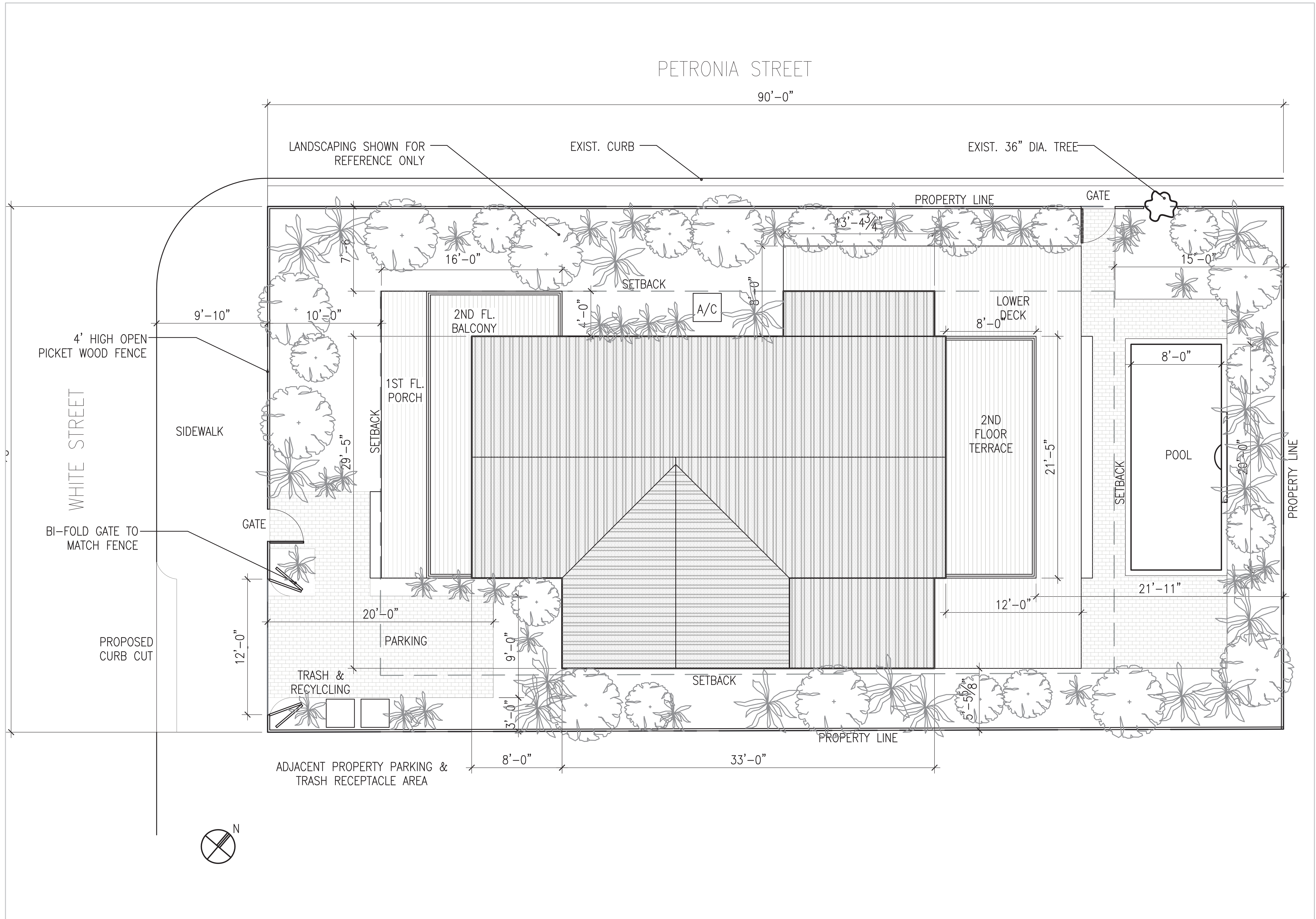
DOOR JAMB DETAIL
NO SCALE



REAR ELEVATION
SCALE 1/4\"/>

0

Proposed design



811 WHITE STREET
KEY WEST, FL
NEW CONSTRUCTION
RESIDENTIAL PROJECT

Drawing Size: 11X17
Project #: 13-013

Title:

SITE PLAN

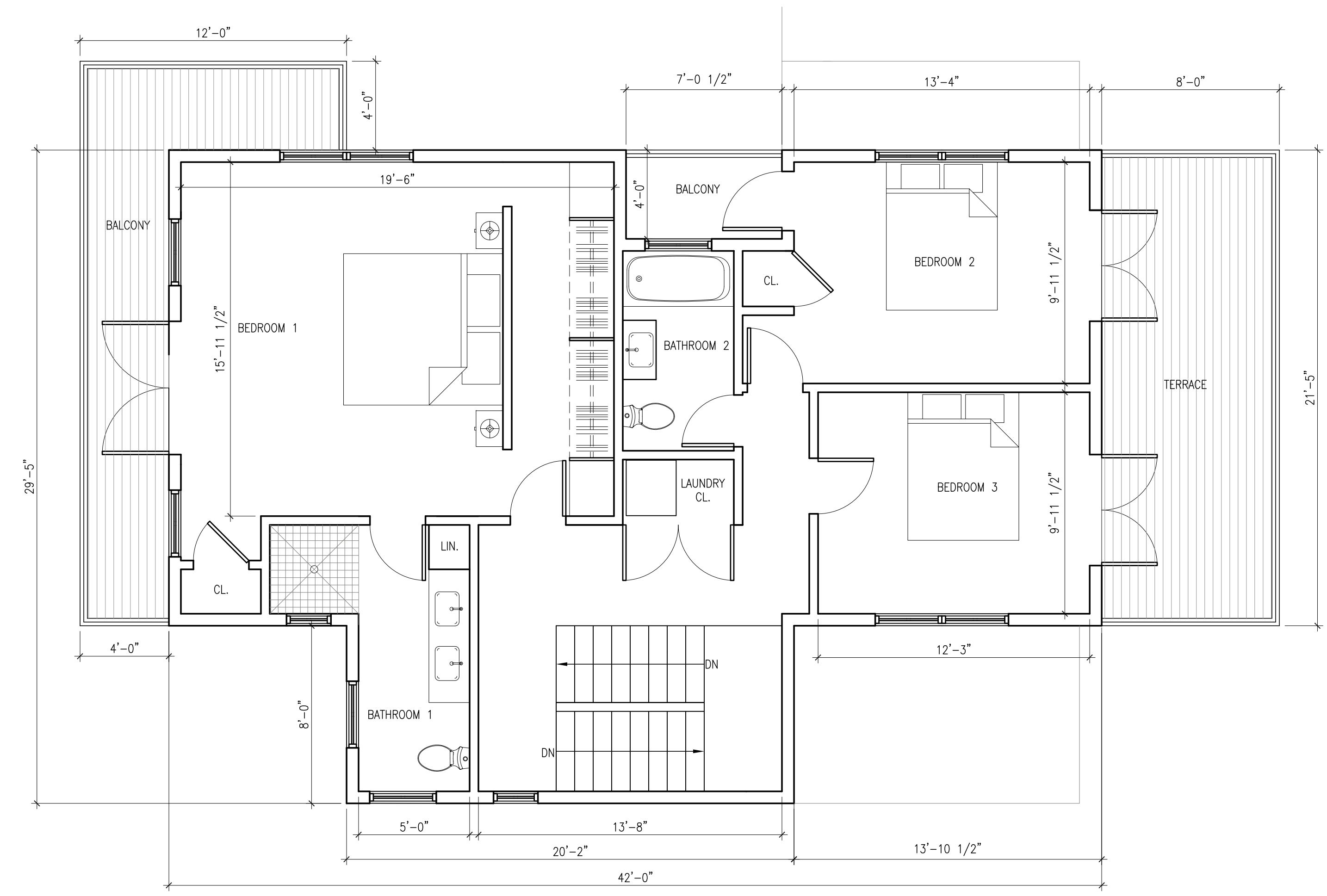
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Sheet Number:

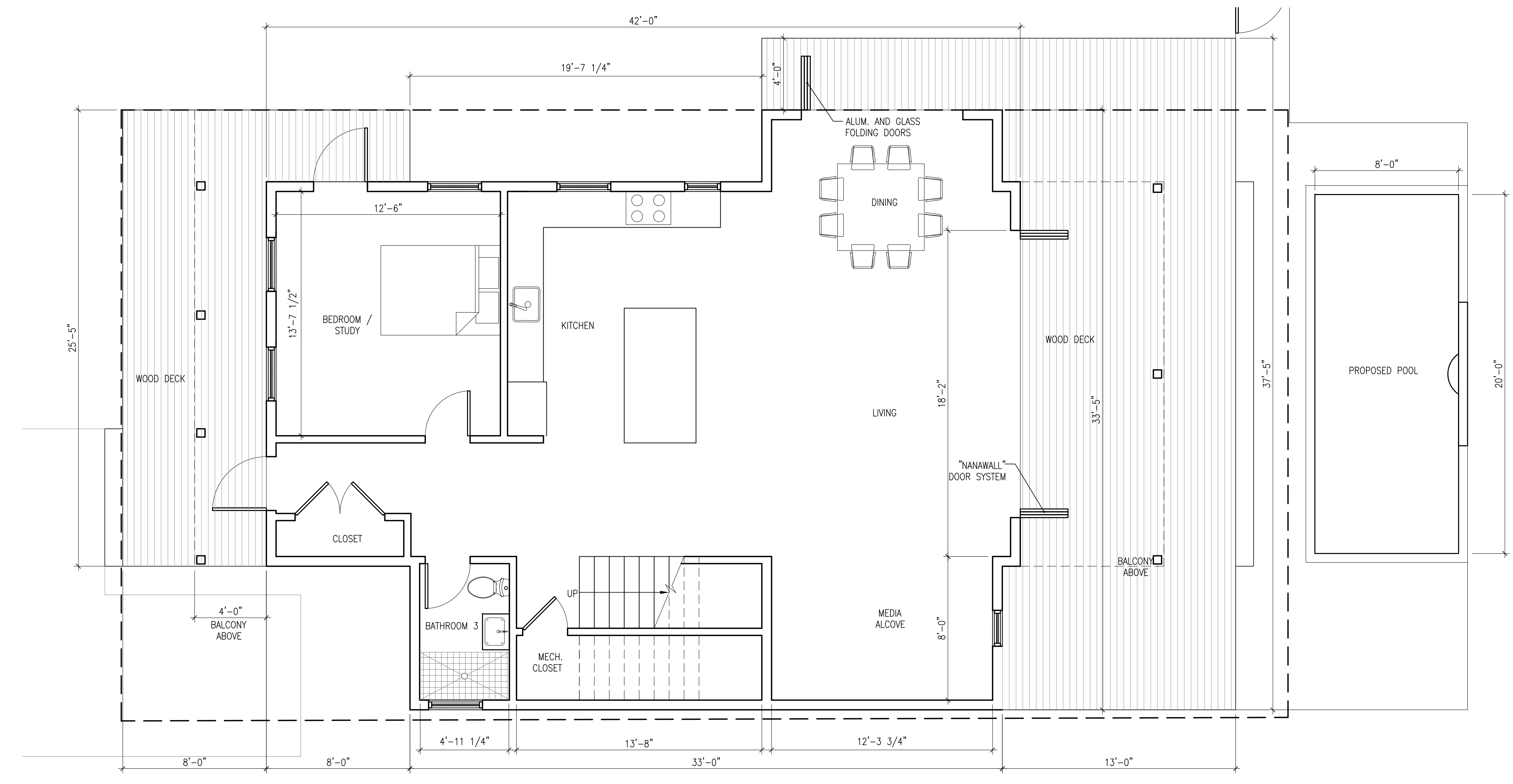
A-1.1

Date: April 9, 2013

©2013 by William Shepler Architect



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

811 WHITE STREET
KEY WEST, FL
NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE

Drawing Size 24x36 | Project #: 13014

FLOOR PLANS

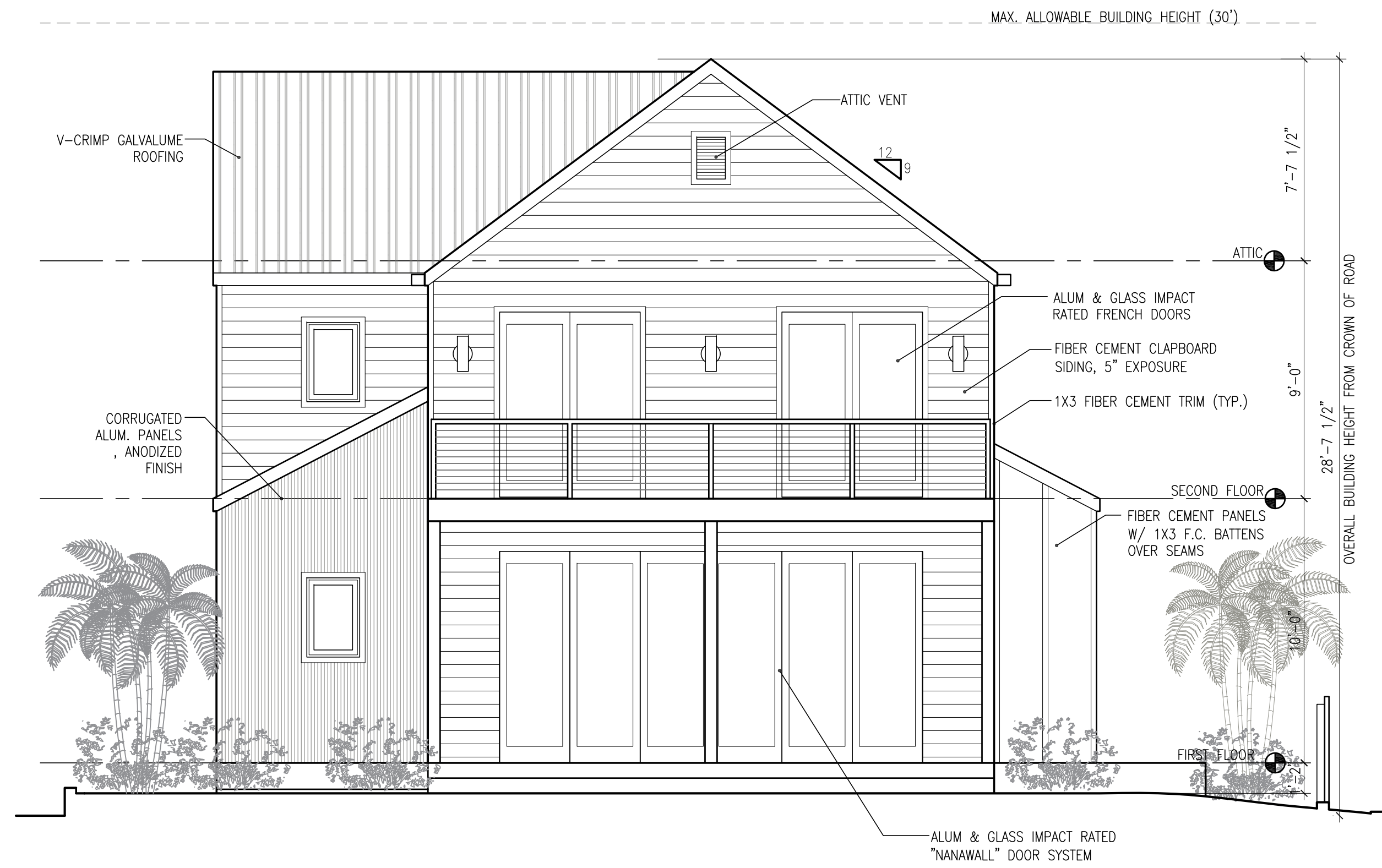
SCALE: 1/4" = 1'-0"
Sheet Number:

A-2.1

Seal:

Consultants:

Submissions / Revisions:
H.A.R.C. - 2013.04.11



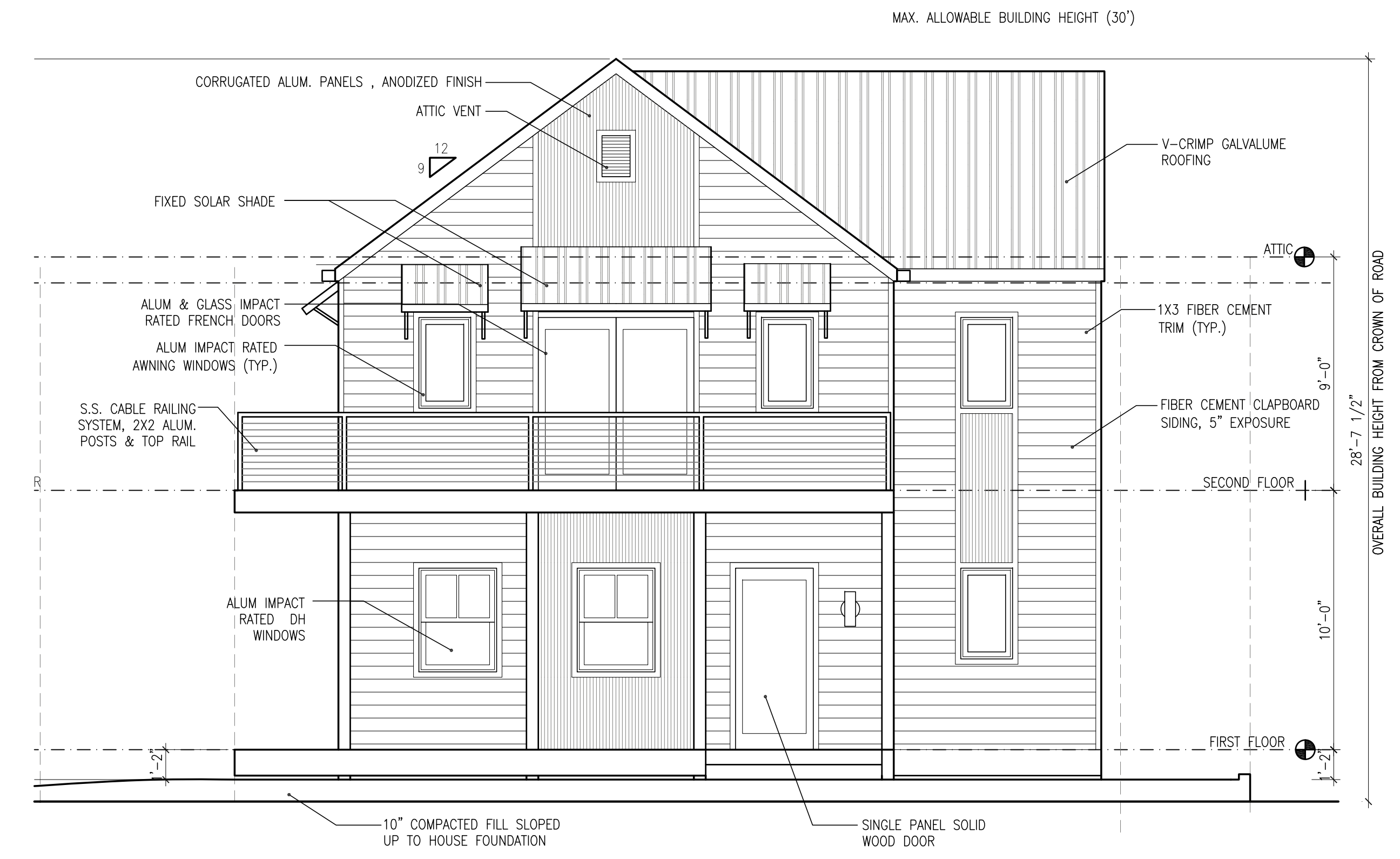
4 EAST ELEVATION
A2.1 SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
A2.1 SCALE: 1/4"=1'-0"



3 NORTH ELEVATION
A2.1 SCALE: 1/4"=1'-0"



1 WEST ELEVATION
A2.1 SCALE: 1/4"=1'-0"

811 WHITE STREET
KEY WEST, FL
NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE

Drawing Size: 24x36 | Project #: 13014

Title:

ELEVATIONS

SCALE: 1/4"=1'-0"
Sheet Number:

A-3.1

Date: - APRIL 19, 2013
©2013 by William Shepler Architect



2
AC-1
PETRONIA STREET LOOKING SOUTH
SCALE: 1/16"=1'-0"



1
AC-1
WHITE STREET LOOKING EAST
SCALE: 1/16"=1'-0"

811 WHITE STREET
KEY WEST, FL

NEW CONSTRUCTION
RESIDENTIAL PROJECT

Drawing Size: 11X17 | Project #: 13-013

Title:

CONTEXTUAL
ELEVATIONS

Scale:

Sheet Number:

AC-1

Date: April 9, 2013

©2013 by William Shepler Architect

Property Address: 811 White Street

Zoning District: HMDR

	ALLOWED	PROPOSED	COMPLIANCE
HEIGHT	30'	28'-7.5"	Yes
BUILDING COVERAGE	40%	1,624 s.f. (38.7%)	Yes
INPERVIOUS SURFACE RATIO	60%	2,397 s.f. (57%)	Yes
LOT SIZE	Min. 4,000 s.f.	4,191.3 s.f.	Yes
LOT WIDTH	Min. 40'	46.57 '	Yes
LOT DEPTH	Min. 90'	90'	Yes
FRONT SETBACK	Min. 10'	10'	Yes
SIDE SETBACK	Min. 5'	5-5"	Yes
STREET SIDE SETBACK	Min. 7.5'	7'-6"	Yes
REAR SETBACK	Min. 15'	21'-11"	Yes

The Leader in Opening Glass Walls

NanaWall SL73 Miami Dade/AAMA Hurricane Folding System for Mid-Rises



The SL73 large opening glass wall offers maximum protection during storms.

Maximum Storm Protection and Wide Open Space for Mid-Rises

NanaWall, the industry leader in Opening Glass Walls introduces the SL73, the first monumental folding wall system with Miami/Dade and AAMA Hurricane certification suitable for mid-rises.

The SL73 builds upon the technology of the groundbreaking NanaWall SL72 system introduced in 2002 and the first folding door system to achieve the stringent Miami/Dade hurricane certification.

The NanaWall SL73 Hurricane System provides the ultimate in weather protection, sophisticated style, energy efficiency, and durable engineering. This stunning opening glass wall system combines the beauty of a wide open NanaWall with maximum protection during storms and is ideal for residential and commercial use in coastal communities.



The SL73 is approved for buildings 8 - 10 stories high.



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RAILEASY™ SPECTRUM

A SQUARE POST SYSTEM WITH MANY OPTIONS

The RailEasy™ Spectrum features pre-drilled square posts and fittings to fascia mount the posts and mount handrails. The cable infill offers a choice between using HandiSwage fittings with 1/8" cable or RailEasy™ Studs with 5/32" cable. You can find installation instructions specific to your cable railing infill choice at www.atlantisrail.com or by asking your Atlantis Rail Sales Representative for more information. Customers must source their own flat handrail. Choose from the stock colors below or special order the color that best fits your application.



COLOR SELECTION

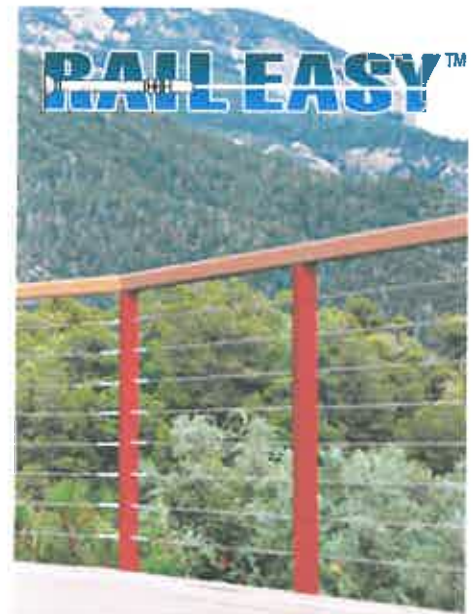
STANDARD	 BLACK	 CLEAR COATED STAINLESS	
SPECIAL ORDER	 GREEN	 WHITE	 LIGHT GRAY
	 RED	 BLUE	 AGED COPPER

*Custom colors available upon request.

CABLE INFILL OPTIONS

HandiSwage

The HandiSwage cable infill option features a line of stainless steel hand swage fittings and 1/8" cable, making it one of the simplest and most economical cable railing systems available. All fittings, cable and accessories are made from 316L stainless steel for corrosion resistance. They are offered in 1/8" cable size and include standard studs, small studs and a variety of nut sets.



RailEasy™

The RailEasy™ cable infill option features patented mechanical swage capabilities. The cable used is a 5/32" diameter, 1x19 strand cable. All fittings, cable and accessories are made from 316L stainless steel for corrosion resistance. They are offered in 5/32" cable size and include the RailEasy™ Stud and a variety of nut sets to provide a finished look.

SAFEGUARD
YOUR HOME,
WITHOUT
LIFTING
A FINGER.

"After 25 years of boarding up my home during storm threats, I was thrilled to learn that a product like WinGuard existed in the industry. You can be sure that my next home will use WinGuard and that we will encourage and specify PGT in our custom and spec homes.

The WinGuard product immediately sets a beach house apart."

Mickey Hayes, President
Kitty Hawk Land Development
Kitty Hawk, NC

Your home. It's your refuge, your sanctuary, the place you and your family feel safest. It's the reason you need PGT® WinGuard® Impact-Resistant Windows and Doors.

WinGuard products meet Florida's most stringent code requirements for hurricane-force winds and flying debris, to ensure that even after impact, the glass remains in the frame. But WinGuard does so much more for your home, your family and your belongings. Providing year-round added security against thieves and intruders. Dramatically reducing outdoor noise. Filtering out 99% of the UV light that enters your home causing fading. And our laminated insulating glass improves energy efficiency, which significantly reduces cooling and heating costs. It's continuous, overall protection – without having to think twice.

Cover photo:
2004 PGT® WinGuard® Home Showcase Photo Contest Winner
Westwater Construction, Inc., Builder, Randall Paul Sample, Architect, Sarasota, FL
Photography provided by Matt and Courtney, McCourtney Photography.

ENGINEERED
TO MEET
HURRICANES
HEAD-ON.



French Style SGT1780. Also available in Premium Frame Colors: Arizona Beige, Pebble Khaki, Venetian Bronze, Clear Rhodium and Emerald Plus.

When flying debris pierces regular windows or doors, internal air pressure can cause the roof to blow off, resulting in wind and water damage.



AUGUST 1992. MIAMI, FLORIDA. HURRICANE ANDREW, CATEGORY FIVE.

This catastrophic storm taught researchers that violent winds alone are not the major cause of window failure and the devastation that follows. More significant is the impact of flying objects. This discovery changed hurricane codes forever. Codes now focus on impact protection for windows and doors in addition to the ability to withstand high wind velocities. PGT® was the first to offer a complete line of residential aluminum impact-resistant windows and doors over ten years ago and helped develop the testing protocols still used today.

Our exclusive windows and doors combine heavy-duty frames with impact-resistant laminated glass to ensure nothing unwarranted invades your home in the event of a major storm. A special silicone glazing process is used to keep the glass from breaking



ALUMINUM FRAME

Impact-resistant glass is comprised of two panes of glass bonded together with a special interlayer of clear polyvinylbutyral. A combination of this glass and heavy-duty aluminum frames provides amazing protection from flying debris and high winds.



WinGuard with aluminum frames is also available with a laminated insulating glass option.

Optional piece of insulating glass



away from its frame. Although wind-borne debris may crack the glass on impact, the interlayer keeps the overall window intact, preventing destructive winds from entering your home.

The WinGuard® product line was designed to the highest standards. WinGuard with aluminum frames meets Florida's most stringent code requirements for wind-borne debris protection. The products have Miami-Dade and Florida State Product Approvals and pass TAS 201, 202 and 203 for air, water, structural, and both small and large missile impact protection.

What does all this mean to you and your home? WinGuard can withstand blow after blow by a nine-pound, 2 x 4 beam traveling at 34 miles per hour, followed by hurricane-force winds and the glass will still remain in its frame.



Should the impact-resistant glass crack on contact, the durable interlayer keeps the window intact and in place.

METAL ROOFING PRODUCTS

2-1/2" & 1-1/4" CORRUGATED

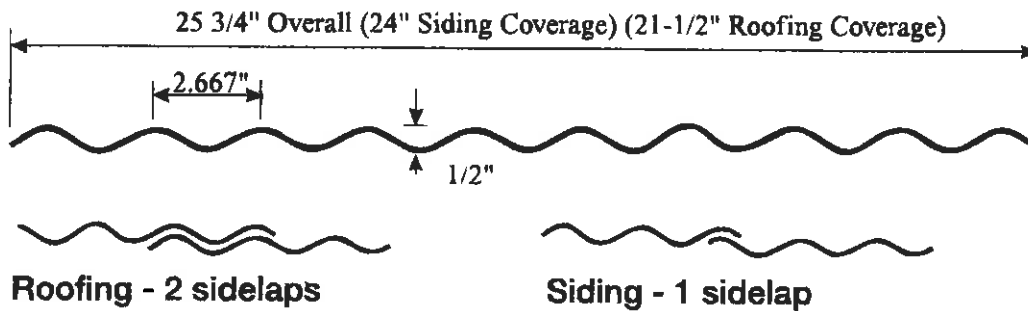


Design Features: Architectural exposed fastener panel.

- 21-1/2" width coverage (roof) and 24" width coverage (siding).
- 1-1/4" and 2-1/2" corrugations on center spacing availability
- 1/2" corrugation height
- Utility, 29, 26 and 24 gauge
- Minimum roof slope 3/12 pitch

Material: Galvanized Steel, Galvalume, SemCoat & SemCoat Plus

2 1/2" Corrugated



Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing **at 5:30 p.m., April 23, 2013 at Old City Hall, 510 Greene Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW TWO STORY SINGLE FAMILY HOUSE
ON VACANT LOT.**

FOR- #811 WHITE STREET

Applicant- William Shepler

Application # H13-01-527

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 809-3973 or visit our website at www.keywestcity.com.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Ralph Sanchez, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
811 White Street Key West, FL 33040 on the 18th day of April, 2013.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on April 23rd, 2013.
The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H13-01-527.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

R. Sanchez
Date: 4/18/13
Address: 13 Cypress Ave
City: Key West
State, Zip: FL, 33040

The forgoing instrument was acknowledged before me on this 18th day of April, 2013.

By (Print name of Affiant) Ralph Sanchez who is personally known to me or has produced DRIVERS LICENSE as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Jo Bennett
Print Name: Jo Bennett

Notary Public - State of Florida (seal)
My Commission Expires: May 26, 2015



Public Meeting Notice

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FOR- #811 WHITE STREET

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THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION



Property Appraiser Information

Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -
Maps are now launching the new map application version

Website tested on IE8,
IE9, & Firefox.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1025968 Parcel ID: 00025180-000000

Ownership Details

Mailing Address:
KUTCHER ALISON A
24 CEDAR ST
NARRAGANSETT, RI 02882-3930

Property Details

PC Code: 00 - VACANT RESIDENTIAL
Millage Group: 10KW
Affordable Housing: No
Section-Township -Range: 05-68-25
Property Location: 811 WHITE ST KEY WEST
Legal Description: KW W C MALONEY DIAGRAM PB1-22 LOT 1 AND PT LOT 2 SQR 6 TR 7 G11-458 H2-341 OR942-935Q/C OR959-1879Q/C OR1038-1240 OR1287-65/66 OR1366-449/51 OR1635-183 OR2113-1003-C OR2114-451 OR2487-501/02

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
M10D - RESIDENTIAL DRY	47	90	4,179.00 SF

Appraiser Notes

TPP 8909365 - RENTAL

2008-01-28 MLS \$519,000 VACANT. DKRAUSE
2008-01-18 MLS \$529,000 VACANT HARC APPROVED. DKRAUSE
2006-02-10 VACANT LOT FOR SALE FOR \$877,000. HARC APPROVAL AND PERMITS- FROM THE MLS LISTINGS-SKI
2009-03-20 MLS \$499,000 VACANT AND CLEARED CORNER LOT IN PRIME OLD TOWN LOCATION IN THE MEADOWS. HARC APPROVED PLANS CONVEY ALONG WITH ONE ROGO UNIT.
2005-08-29 BEING OFFERED FOR \$2,185,000. FROM THE MLS REPORT 3BD/4BA-SKI

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
1	B942448	07/01/1994	11/01/1994	650	Residential	FENCE
3	9803128	10/22/1998	06/10/1998	675	Residential	SECURITY ALARM SYSTEM
2	05-3587	08/29/2005	12/20/2005	8,000	Residential	DEMOLISH EXISTING 500SF HOUSE

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2012	0	0	225,775	225,775	225,775	0	225,775
2011	0	0	243,151	243,151	243,151	0	243,151
2010	0	928	309,463	310,391	310,391	0	310,391
2009	0	1,738	481,387	483,125	483,125	0	483,125
2008	0	1,797	515,062	516,859	516,859	0	516,859
2007	0	1,876	710,430	712,306	712,306	0	712,306
2006	0	1,935	397,005	398,940	398,940	0	398,940
2005	152,939	1,995	250,740	405,674	405,674	0	405,674
2004	110,940	2,074	250,740	363,754	363,754	0	363,754
2003	125,732	2,133	117,012	244,877	244,877	0	244,877
2002	146,826	2,192	92,983	242,001	242,001	0	242,001
2001	102,778	2,271	92,983	198,032	198,032	0	198,032
2000	81,867	2,044	75,222	159,134	159,134	0	159,134
1999	57,226	1,616	75,222	134,064	134,064	0	134,064
1998	55,447	1,554	75,222	132,223	132,223	0	132,223
1997	50,555	1,454	66,864	118,873	118,873	0	118,873
1996	44,032	1,297	66,864	112,193	112,193	0	112,193
1995	31,018	1,220	70,344	102,582	102,582	0	102,582
1994	27,740	310	70,344	98,394	98,394	0	98,394
1993	27,803	0	70,344	98,147	98,147	0	98,147
1992	27,803	0	70,344	98,147	98,147	0	98,147
1991	27,803	0	70,344	98,147	98,147	0	98,147
1990	37,051	0	59,597	96,648	96,648	0	96,648

1989	33,683	0	58,620	92,303	92,303	0	92,303
1988	18,221	0	44,942	63,163	63,163	0	63,163
1987	10,882	0	26,770	37,652	37,652	0	37,652
1986	10,943	0	25,793	36,736	36,736	0	36,736
1985	10,609	0	15,751	26,360	26,360	0	26,360
1984	9,939	0	15,751	25,690	25,690	0	25,690
1983	9,939	0	15,751	25,690	25,690	0	25,690
1982	10,125	0	15,751	25,876	25,876	0	25,876

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
10/12/2010	2487 / 501	238,500	WD	02
4/27/2005	2114 / 451	727,000	WD	Z
5/24/2000	1635 / 0183	225,000	WD	Q
8/1/1995	1366 / 0449	160,000	WD	Q
12/1/1993	1287 / 0065	1	WD	M
12/1/1987	1038 / 1240	1	WD	M

This page has been visited 261,143 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176