



**Historic Architectural Review Commission
Staff Report for Item 5**

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Jared Beck
Consultant

Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: February 27, 2024

Applicant: Evan Amato T.S.N Architects

Application Number: H2024-0004

Address: 1000 Virginia Street (1101 Grinnell Street)

Description of Work:

Two new elevated single-family houses. Two new pools and decks at rear. New fences and parking spaces.

Site Facts:

The site under review is located on the southeast corner at Virginia and Grinnell Streets that currently has a non-contributing single-story ranch house constructed in 1963. 1912 and 1926 Sanborn Maps indicates the American Catholic Church of the Holy Innocents was located on this parcel. The 1948 Sanborn Map shows the church was occupied by the El Salvador Methodist Church, and by 1962 a community building was constructed on this same parcel adjacent to the church.

The 1965 photograph inventory does not identify any structure at either 1000 Virginia Street or 1101 Grinnell Street. The existing structure is identified as a non-contributing structure to the historic district.



Existing structure.



Site context.

Guidelines Cited on Review:

- New construction (pages 38a – 38q), specifically guideline 2 on page 38c, and guidelines 1, 2, 3, 5, 6, 7, 8, 9, 11, 12, 13, 14, 15, 16, 17, 18, 21, 22, 23, and 24.
- Decks, pools (page 39a), specifically first paragraph and guideline 3.
- Air conditioning units (pages 42 – 43), specifically guidelines 2c, 5, and 6.
- Parking areas, landscaping, and open space environment (page 43), specifically first paragraph and guidelines 2, 3, 4, and 5.

As the application proposes new construction on a vacant lot, the *Evaluation by Guidelines* (pages 38p – 38q) are included:

(1) Does the new building or structure have a similar height to the immediately adjacent buildings?

No, this building is taller than the adjacent buildings. Nevertheless, the site is on a corner lot, where there is a full two-story house across the southwest corner of Grinnell and Virginia Streets. These new homes are elevated to comply with flood requirements.

(2) Is the new building or structure sensitive and harmonious to the immediate urban context in which it will be located?

The front elevation of each structure can be comparable to other houses within the nearby area.

(3) The new building or structure does not parody any existing building within the urban block.

No, this is not the case.

(4) The new building or structure does not overpower adjacent buildings or structures.

Yes, in contrast to the immediately adjacent house on Virginia Street, the new house will be taller. Nevertheless, the houses have roof forms and walling setbacks that provides visual reduction of scale and mass.

(5) Does the new building or structure maintain the required setbacks and relationship to the street and or site.

Yes, this is the case.

(6) For new buildings or structures facing a street, does any façade facing a street maintain similar rhythm, and composition found in adjacent buildings and or same typology?

Yes, this is the case.

(7) The new design does not propose a carport or garage that is visible from any street?

No, this is not the case.

(8) Does the new building or structure have a similar scale, mass, and form to the buildings immediately adjacent to where it will be built?

No, this is not the case. Nevertheless, the site is on a corner lot, where there is a full two-story house across the southwest corner of Grinnell and Virginia Streets. The easternmost house includes a one-story half porch and covers over the first level windows facing Virginia Street that provides a visual element that reduces the scale at pedestrian level.

(9) Are the exterior materials for the new building or structure similar to those used on the immediate adjacent properties or same typology?

Yes, exterior materials fit within the seen on adjacent homes.

(10) The new building or structure does not include elements such as roof decks, balconies, dormers, roof forms, openings, doors, and windows, among others, that are incompatible or would unnecessarily intrude on the privacy of the immediate adjacent buildings or structures?

No, the elements on these homes are compatible with the immediately adjacent homes.

Staff Analysis:

The Certificate of Appropriateness under review proposes construction of two new single-family houses with decks, pools, fencing, and two off-street parking spaces. The two two-story new wood frame structures display a combination of gabled and hipped roofs and partial front porches. The houses will have Hardie board lap siding with 5-V crimp roofs. Front doors will be wood, and the remainder of the windows and doors will be impact resistant aluminum with decorative wood shutters. Decorative columns, trim, brackets, and exposed rafter tails will be used on the facades of both structures.

The finish floor elevation of both structures will be approximately 4-feet above finish grade, and the overall height of both will be 28-feet. Based on the plan data provided, the proposed house complies with setbacks, building height, impervious area, open space, building coverage, accessory structure rear yard coverage, and front yard green space coverage.

1000 Virginia Street:

This house will be approximately 1,784 sq. ft. The street frontage will include a partial width front porch and varying façade depths. Decorative elements as noted above will be present on the front porch, front, and side facades of the home. A second story side porch will also be visible from the street.

The side portion of the parcel will include a 2-feet, 6-inch masonry retaining wall and wood picket fence atop it for a total height not to exceed 6-feet, spanning from the side of the house to the property line. Behind it and adjacent to the house will be a composite wood deck and pool. The side profile of a water feature wall at the rear along the pool may likely be visible from the street.

A brick single vehicle parking pad and sidewalk are also included in front of the retaining wall and wood picket fence.

1101 Grinnell Street:

This house will be approximately 1,648 sq. ft. and will have two frontages – Grinnell Street and Virginia Street. The primary street frontage will include a two-story partial width gabled front porch. Decorative elements as noted above will be present on the front porch and other facades of the home. A second-floor false window with closed shutters is also indicated.

The interior side portion of the parcel will include a 2-feet, 6- inch masonry retaining wall with stucco and a wood picket fence atop it for a total height not to exceed 6-feet. Behind

this and to the side and rear of the structure will be a composite wood deck and pool. A water feature wall at the rear of the structure may likely be visible from the front street.

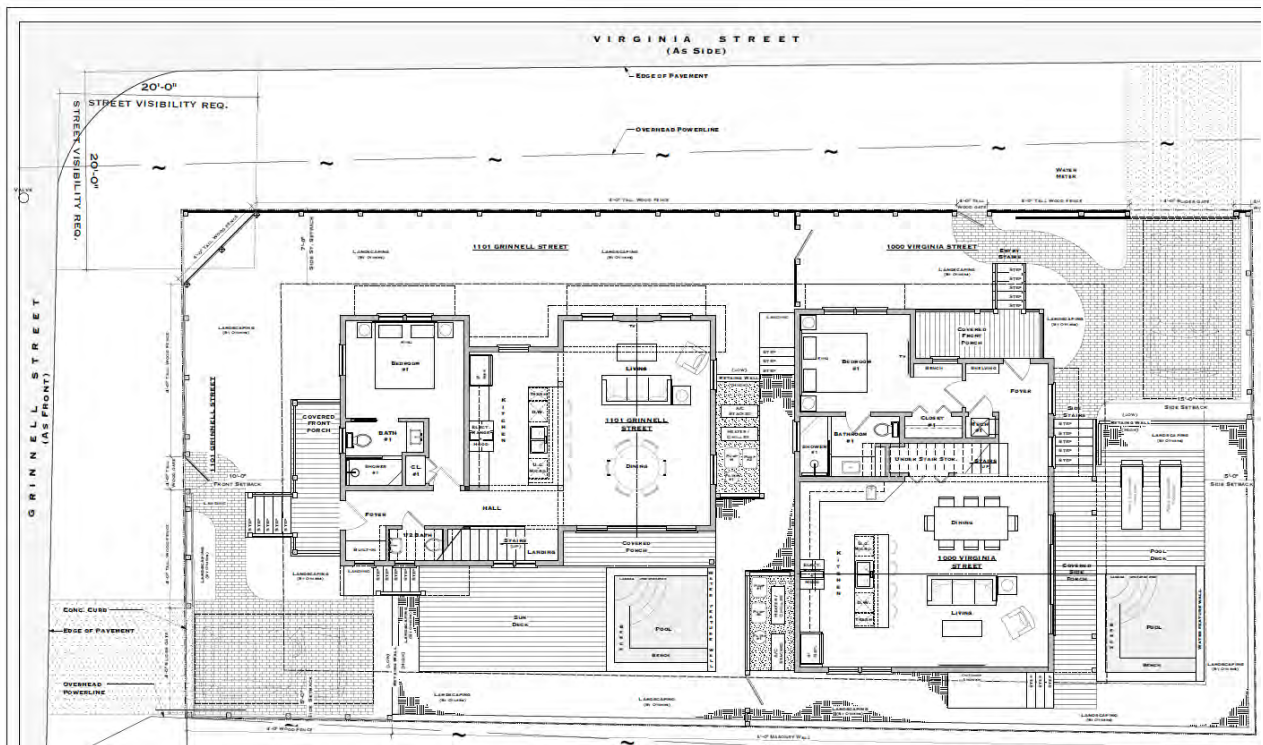
A brick single vehicle parking pad and sidewalk are also included on the interior side portion of the parcel, and in front of the retaining wall and wood picket fence.

The visible side façade fenestration (Virginia Street) incorporates a variety of roof, awning, variation of siding, window placement, shutters, and decorative features that create a pleasing appearance and is compatible with the detailing and scale of the front façade.

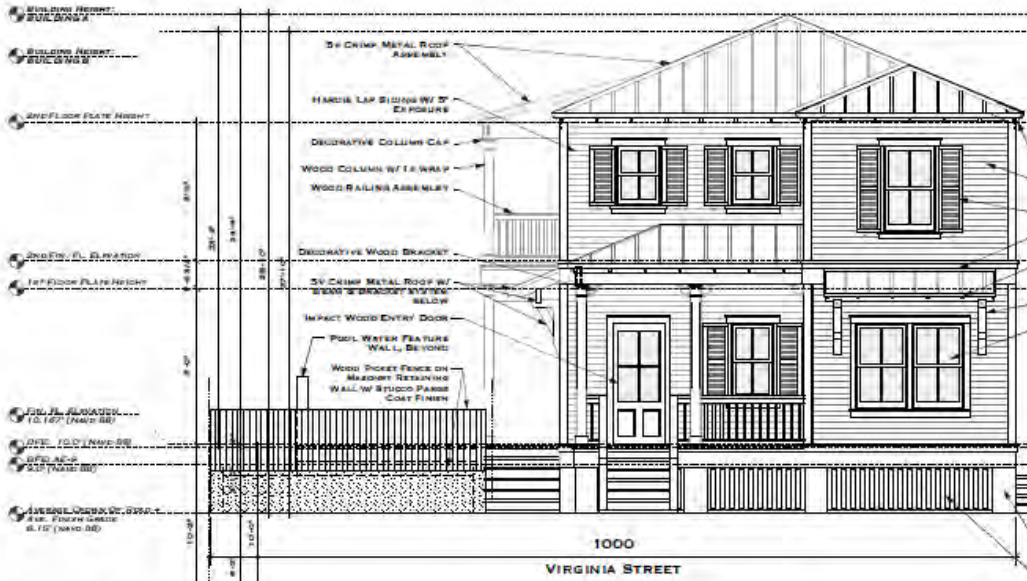
This street frontage will also include a retaining wall and wood picket fencing set back from the façade on the interior portion of the parcel that will hide the AC units, pool equipment, and other mechanicals.

Compatibility:

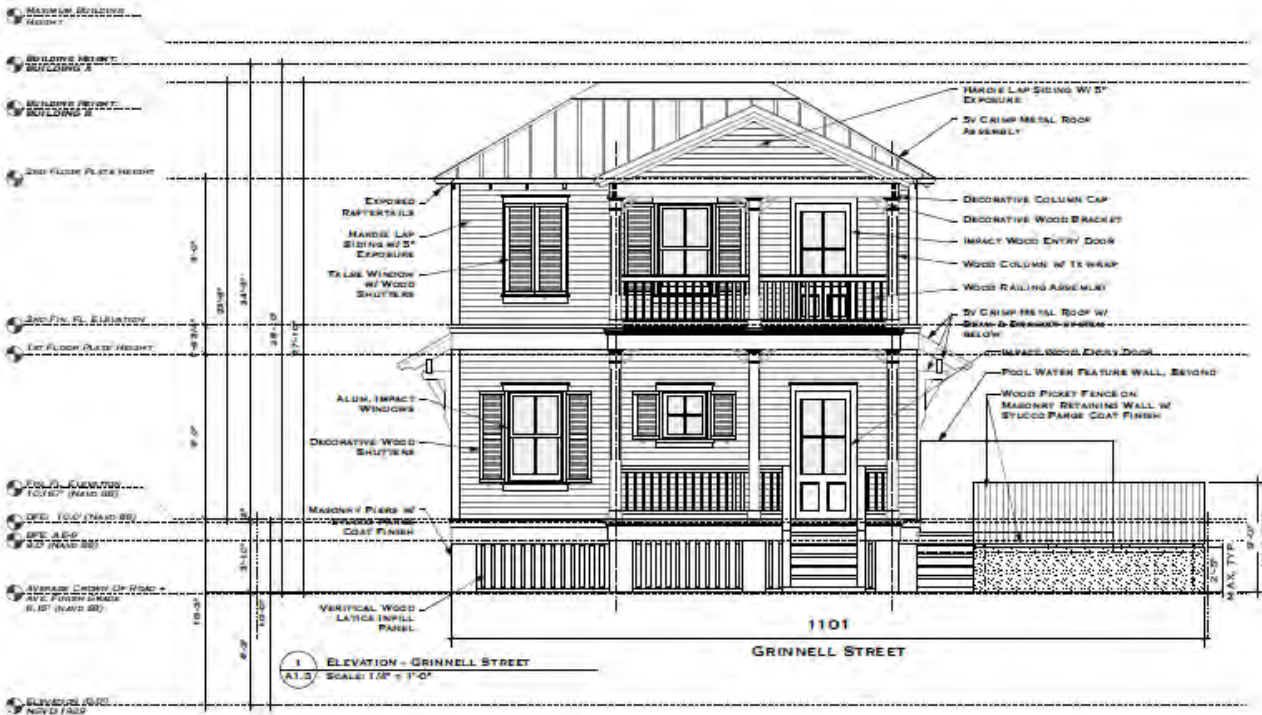
Adjacent homes on both Grinnell and Virginia Streets are a combination of one and two-story structures. Generally, they appear much smaller in overall scale (height and / or width) than the proposed structures.



Proposed site plan.



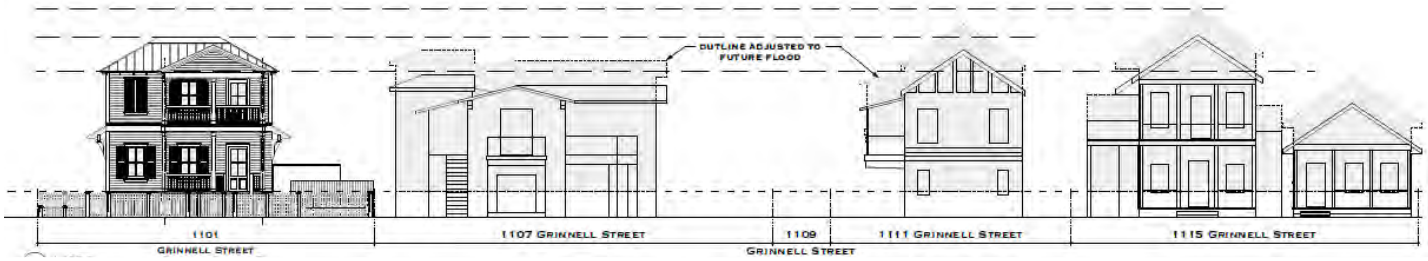
Elevation of Virginia Street façade.



Elevation of Grinnell Street façade – primary structure.



Elevation of Virginia Street façade – both structures.



Grinnell Street context.



Virginia Street context.



1010 Virginia Street – adjacent to subject site (northeast).



1024 Grinnell Street – opposite corner to subject site (northwest).



1107 Grinnell Street – adjacent to subject site (southwest).



1104 Watson Street – adjacent intersection – Virginia & Watson Streets (northeast).

Consistency with Guidelines Cited Guidelines:

It is the staff's opinion that the proposed design for Certificate of Appropriateness H2024-0004 conforms with cited guidelines. The general design and style of the houses are appropriate for Key West and this location. The design incorporates elements that break the scale and mass of both buildings and gives a visual relationship at pedestrian level with small window covers supported with brackets.

APPLICATION

RECEIVED
 JAN 22 2024
 BY: TK

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET



City of Key West

1300 White Street
 Key West, Florida 33040

HARC COA # HARC 2024-	REVISION # 0004	INITIAL & DATE TK 1/22/24
FLOOD ZONE FLOOD CONE X	ZONING DISTRICT HMDR	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1101 GRINNELL ST / 1000 VIRGINIA ST, KEY WEST FL 33040	
NAME ON DEED:	SONI HANSA V. LIVING TRUST	PHONE NUMBER (305) 879-0358
OWNER'S MAILING ADDRESS:	830 TRUMAN AVE. KEY WEST FL 33040	EMAIL KRISTSONI@GMAIL.COM
APPLICANT NAME:	EVAN AMATO	PHONE NUMBER 802.922.0478
APPLICANT'S ADDRESS:	1207 FLORIDA ST, KEY WEST FL 33040	EMAIL EVAN@JTSNARCHITECTS.COM
APPLICANT'S SIGNATURE:		DATE 01-11-2024

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ___ RELOCATION OF A STRUCTURE ___ ELEVATION OF A STRUCTURE ___
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ___ NO X INVOLVES A HISTORIC STRUCTURE: YES X NO ___
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ___ NO X

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: EXISTING STRUCTURE TO BE DEMOLISHED & REPLACED WITH (2) NEW, ELEVATED STRUCTURES WITH RAISED REAR YARDS, EACH HAVING SEPARATE POOLS & POOL DECKS, SEE PLANS FOR MORE INFORMATION.
MAIN BUILDING: THE (2) NEW STRUCTURES WILL BE WOOD FRAMED W/ HARDIE LAP SIDING & BOARD & BATTEN SIDING - THEY WILL HAVE WOOD ENTRY DOORS ALONG W/ ALUM. DOORS & WINDOWS, ALL WILL BE IMPACT. SOME OF THE WINDOWS WILL RECEIVE DECORATIVE SHUTTERS, SEE PLANS & ELEVATIONS.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):
EXISTING HISTORIC, NON-CONTRIBUTING STRUCTURE WILL BE DEMOLISHED, SEE PLANS.

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): THE WATER FEATURE WALLS ON THE (2) NEW POOLS WERE INCLUDED WITHIN THIS SITE AREA CALCULATION. THERE ARE NO OTHER ACCESSORY STRUCTURES.	
PAVERS: BRICKED PARKING & WALKWAYS. SEE PLANS.	FENCES: WOOD / MASONRY, SEE PLANS
DECKS: POOL DECKS, SEE PLAN	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC): PARTIAL FILLING OF REAR YARDS	POOLS (INCLUDING EQUIPMENT): YES (2) NEW SMALL POOLS, SEE PLAN
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC): A/C	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

RECEIVED
 JAN 24 2024
 BY TK

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



City of Key West

1300 White Street
 Key West, Florida 33040

HARC COA #	INITIAL & DATE
HARC2024-0004	TK
ZONING DISTRICT	BLDG PERMIT #
HMPR	

ADDRESS OF PROPOSED PROJECT: 1000 VIRGINIA ST. KEY WEST, FL 33040

PROPERTY OWNER'S NAME: SOWI HANSA V. LIVING TRUST

APPLICANT NAME: EVAN AMATO, T.S. NEAL ARCHITECTS

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval PRIOR to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.

PROPERTY OWNER'S SIGNATURE [Signature] DATE AND PRINT NAME 01/23/2024

DETAILED PROJECT DESCRIPTION OF DEMOLITION

THE EXISTING, HISTORIC, NON-CONTRIBUTING, SINGLE STORY CMU WALLED STRUCTURE WITH LOW SLOPE METAL ROOF IS TO BE COMPLETELY DEMOLISHED.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

THE EXISTING STRUCTURE ON 1000 VIRGINIA ST. IS STRUCTURALLY SOUND.

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

1000 VIRGINIA STREET DOES NOT EMBODY ANYTHING MENTIONED ABOVE, IS NOT SIGNIFICANT OR DISTINGUISHABLE.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

CORRECT

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

CORRECT

(d) Is not the site of a historic event with significant effect upon society.

CORRECT

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

CORRECT

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

CORRECT

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

1000 VIRGINIA ST IS NOT PART OF, OR RELATED TO ANYTHING MENTIONED ABOVE.

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

CORRECT

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history,
<i>CORRECT.</i>

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):

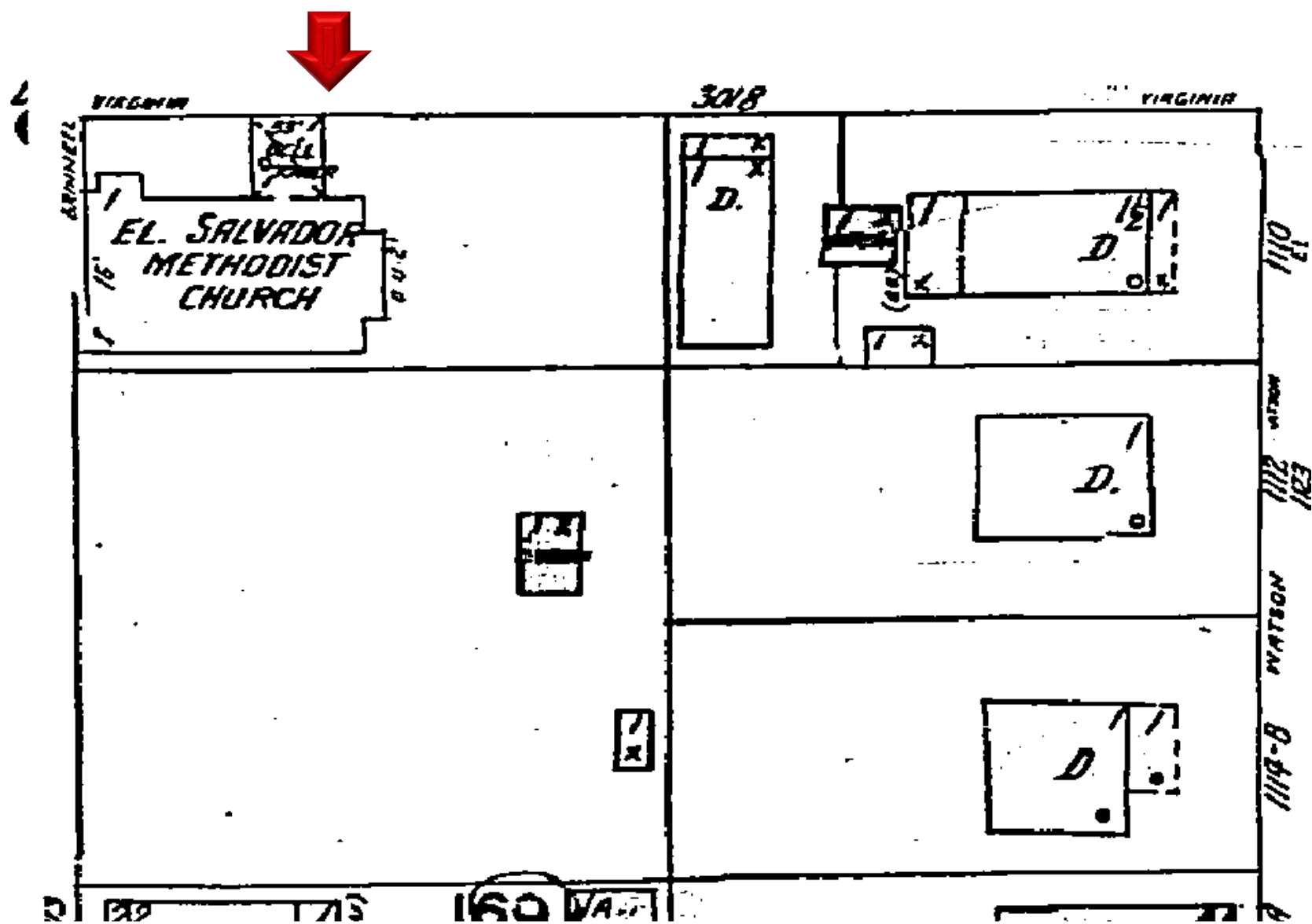
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

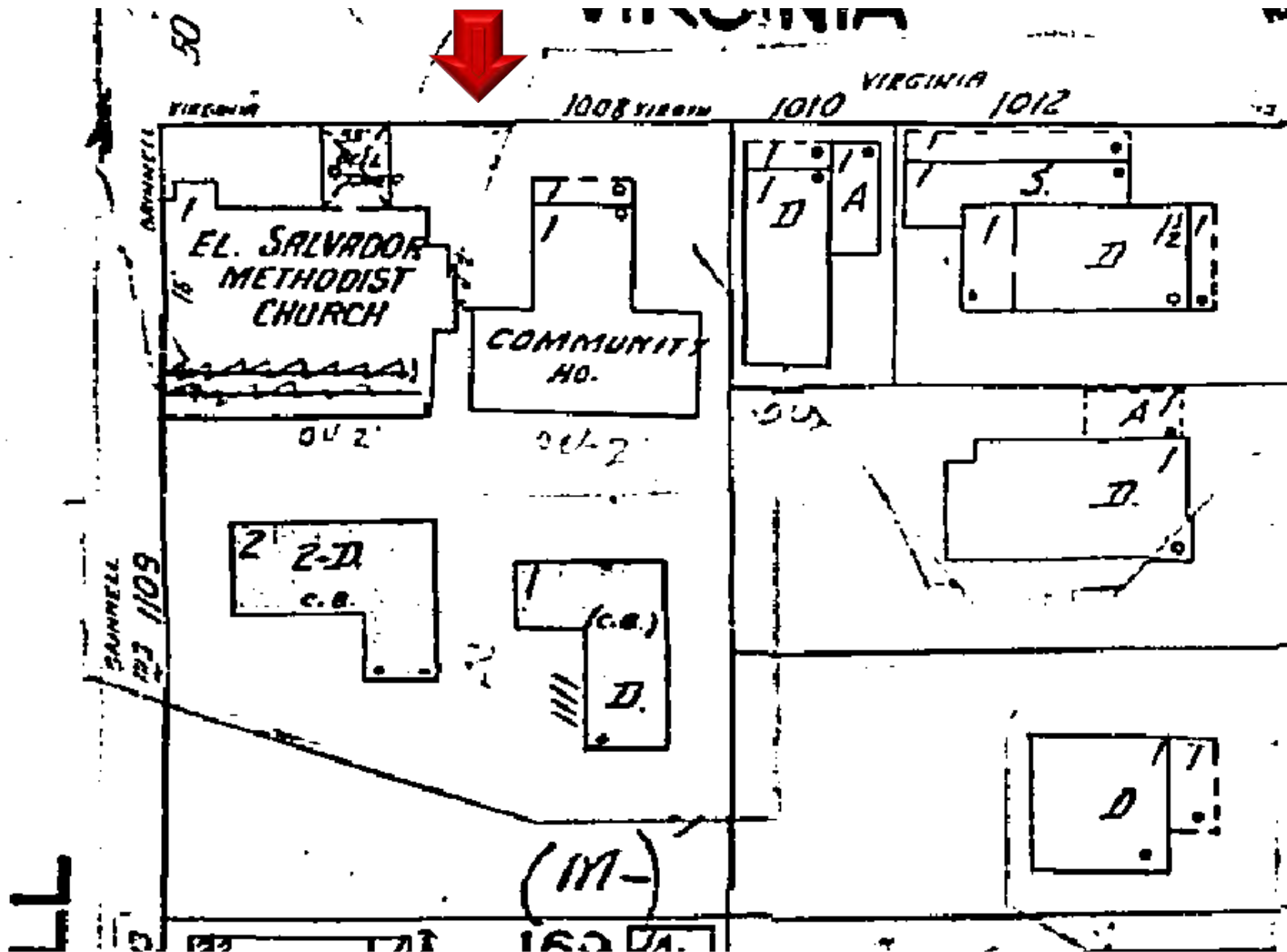
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

(4) Removing buildings or structures that would otherwise qualify as contributing.

SANBORN MAPS

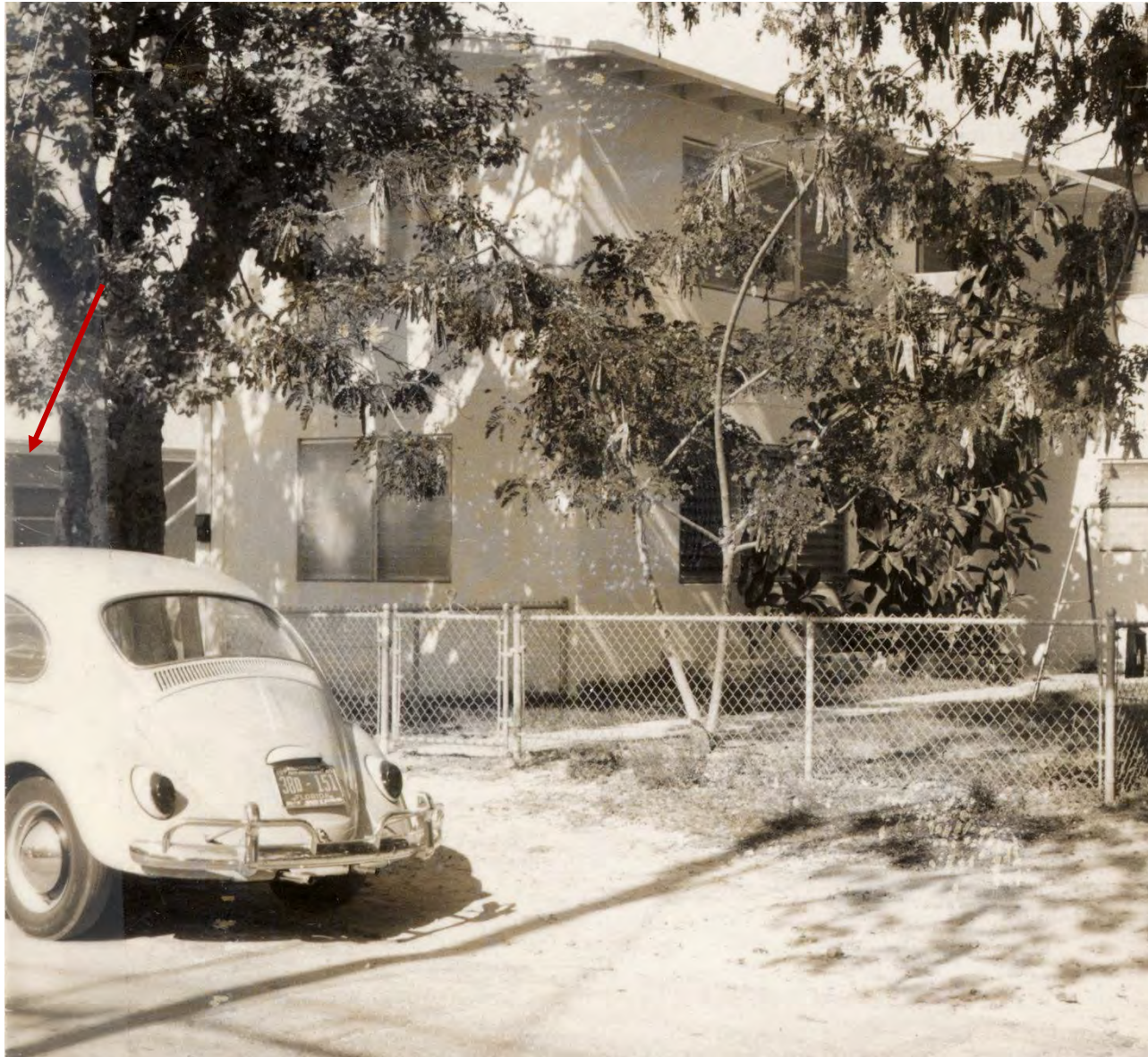


1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



1107 Grinnell Street circa 1965. Notice portions of 1000 Virginia Street. Monroe County Library.



1100 GRINNELL STREET: NORTHEAST (STREET VIEW)



NO. 216521



RESIDENTIAL PERMIT
PARKING
ONLY
THIRD SIDE
OF STREET
←



1010 GRINNELL STREET: SOUTHWEST (STREET VIEW)



1111 GRINNELL STREET: SOUTHWEST (STREET VIEW)



GRINNELL ST

KEY WEST
CHOUSE MUSEUM





1115 GRINNELL STREET: SOUTHWEST (STREET VIEW)

SURVEY

ADDRESS:
1000 VIRGINIA STREET, KEY WEST, FLORIDA 33040

BEARING BASE:
N55°50'36"E ALONG THE CENTERLINE OF VIRGINIA STREET ASSUMED

ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED

ELEVATIONS SHOWN AS
X.XX REFER TO NGVD 1929
UNLESS OTHERWISE INDICATED

BENCHMARK USED: NGS PID AA0020
STAMPING: D 121 1945
MARK LOGO: CGS
ELEVATION: 3.91' NGVD29

FLOOD ZONE DATA:
COMMUNITY NUMBER: 120168
MAP NUMBER: 12087C-1516K
MAP DATE: 02/18/05
REVISED EFFECTIVE DATE: 02/18/05
FLOOD ZONE: X
BASE FLOOD ELEVATION: NONE

** 5J-17.052 Standards of Practice: Specific Survey, Map, and Report Requirements.
(b) Boundary monuments:
f. "When a corner falls in a hard surface such as asphalt or concrete, alternate monumentation may be used that is durable and identifiable."
(examples: fence post, bldg. corners, etc.)

SCALE:	1"=20'
FIELD WORK DATE:	08/29/22
REVISION DATE:	-/-
SHEETS:	1 OF 1
DRAWN BY:	GF
CHECKED BY:	RER
INVOICE NO.:	22080404

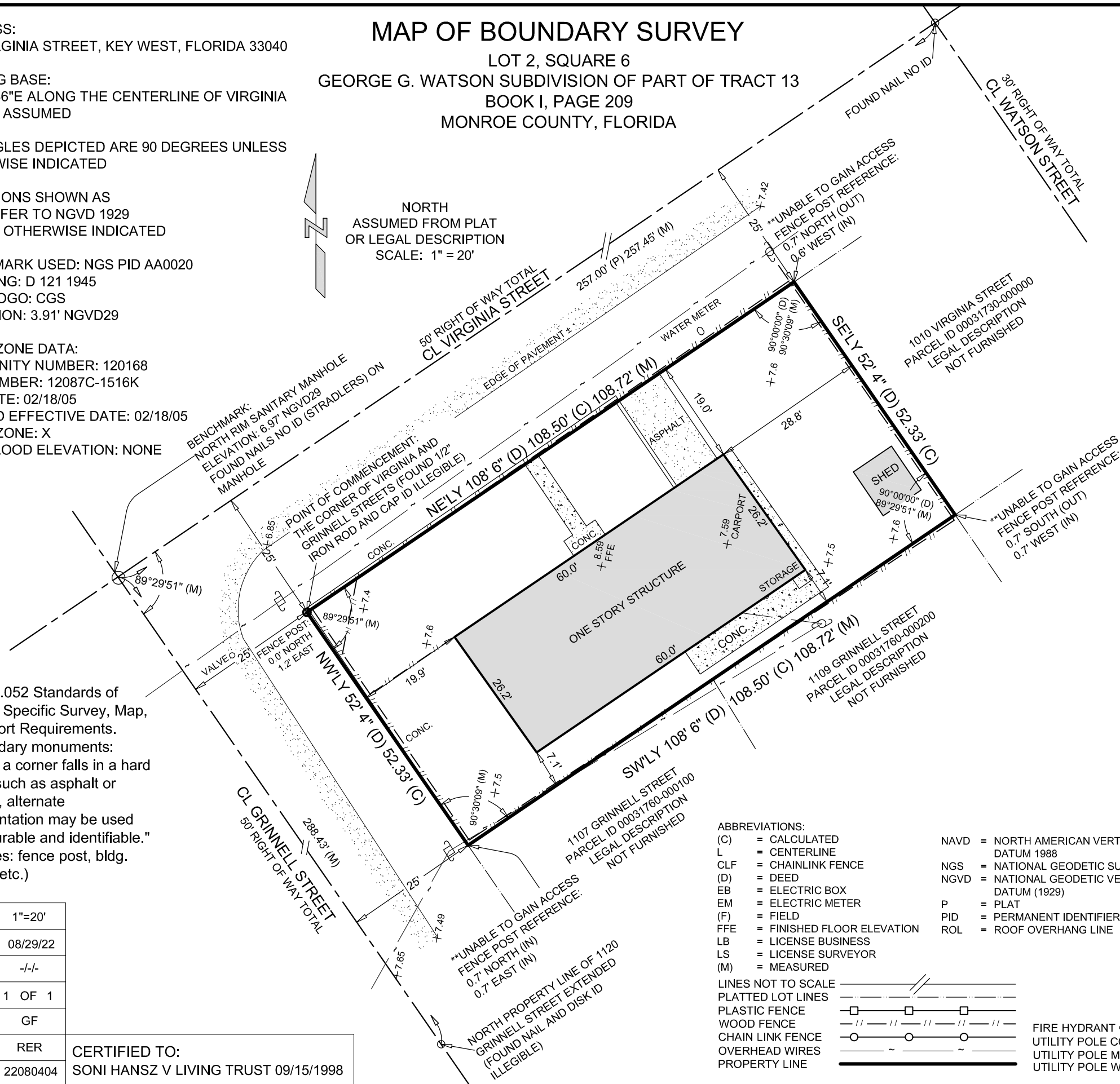
CERTIFIED TO:
SONI HANSZ V LIVING TRUST 09/15/1998

MAP OF BOUNDARY SURVEY

LOT 2, SQUARE 6
GEORGE G. WATSON SUBDIVISION OF PART OF TRACT 13
BOOK I, PAGE 209
MONROE COUNTY, FLORIDA



NORTH
ASSUMED FROM PLAT
OR LEGAL DESCRIPTION
SCALE: 1" = 20'



- ABBREVIATIONS:
- | | |
|--------------------------------|--|
| (C) = CALCULATED | NAVD = NORTH AMERICAN VERTICAL DATUM 1988 |
| L = CENTERLINE | NGS = NATIONAL GEODETIC SURVEY |
| CLF = CHAINLINK FENCE | NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929) |
| (D) = DEED | P = PLAT |
| EB = ELECTRIC BOX | PID = PERMANENT IDENTIFIER |
| EM = ELECTRIC METER | ROL = ROOF OVERHANG LINE |
| (F) = FIELD | |
| FFE = FINISHED FLOOR ELEVATION | |
| LB = LICENSE BUSINESS | |
| LS = LICENSE SURVEYOR | |
| (M) = MEASURED | |

- LINES NOT TO SCALE
- | | |
|-------------------|---------------|
| PLATTED LOT LINES | --- |
| PLASTIC FENCE | —□—□—□— |
| WOOD FENCE | — — — — — |
| CHAIN LINK FENCE | —○—○—○—○— |
| OVERHEAD WIRES | —~—~—~—~— |
| PROPERTY LINE | — |
- FIRE HYDRANT
- UTILITY POLE CONC.
- UTILITY POLE METAL
- UTILITY POLE WOOD

LEGAL DESCRIPTION (Official Records Book 3079, Page 1985):
Lot number Two (2) in Square Six (6), of George G. Watson Subdivision of part of Tract Thirteen (13) according to diagram recorded in Book I, Monroe County records on Page 209;
COMMENCING at corner of Virginia and Grinnell Streets and running thence along the line of Virginia Street in a Northeasterly direction One hundred Eight (108) feet and six (6) inches; thence at right angles in a Southeasterly direction Fifty-three (53) feet and Four (4) inches; thence at right angles in a Southwesterly direction One hundred Eight (108) feet and six (6) inches; thence along the line of Grinnell Street to the place of beginning. Being the same land as described in that certain deed of conveyance recorded in Deed Book A-4, Page 330 in the Office of the Clerk of the Circuit Court in and for Monroe County, Florida.

Reference being had to deed of conveyance by the Board of Missions of the Methodist Episcopal Church, South, to the District of National Missions of the Board of Missions of the Methodist Church, recorded in Official Records Book 69, Page 207, Monroe County, Florida.

GENERAL NOTES:

- THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.
- LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS.
- THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN.
- MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.
- UNITS OF MEASUREMENT ARE U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- THE EXPECTED USE OF THE PROPERTY IS RESIDENTIAL WITH AN ACCURACY STANDARD OF ONE FOOT IN 7,500 FEET. ACCURACY WAS VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS TO MEET OR EXCEED CLOSURE.
- SYMBOLS SHOWN HEREON AND IN THE LEGEND MAY HAVE BEEN ENLARGED FOR CLARITY, THESE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.

REECE & ASSOCIATES
PROFESSIONAL SURVEYORS AND MAPPERS
LICENSED BUSINESS (LB) NO. 7846

31193 AVENUE A, BIG PINE KEY, FL. 33043
OFFICE (305) 872 - 1348
EMAIL: INFO@RECESURVEYING.COM

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 9, SUBPARAGRAPH 1(B) 1(SETBACKS), 1(B)3(ENCROACHMENTS), & 1(B)4(EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

SIGNED NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

ROBERT E. REECE
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS 5632

PROPOSED DESIGN

SITE DATA 1101 GRINNELL ST. / 1000 VIRGINIA ST.

RE # 00031740-000000

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HMDR	HMDR	HMDR	HISTORIC MEDIUM DENSITY RESIDENTIAL
SITE AREA	5,645 Sq. Ft.	4,000 Sq. Ft.	EXISTING	NO CHANGE, SEE SURVEY
LOT SIZE	SEE SURVEY	40' X 90' (MIN)	EXISTING	NO CHANGE, SEE SURVEY
IMPERVIOUS	2,332 Sq. Ft. (41.3%)	3,387 Sq. Ft. (60% MAX)	3,214 Sq. Ft. (56.9%)	CONFORMING
OPEN SPACE	3,313 Sq. Ft. (58.7%)	1,976 Sq. Ft. (35% MIN)	2,050.6 Sq. Ft. (36.3%)	CONFORMING
BUILDING COV.	2,035 Sq. Ft. (36.0%)	2,258 Sq. Ft. (40% MAX)	2,113.4 sq. Ft. (37.4%)	CONFORMING
ACCESSORY STRUCTURE REAR YARD COV.	69 Sq. Ft. (4.5%)	463 Sq. Ft. (30% MAX COV.) 1,548 Sq. Ft. REAR YARD AREA	10 sq. Ft. (2.1%)	CONFORMING
FRONT YARD 50% GREEN SPACE COV.	137 Sq. Ft. (12.7%)	257.5 sq. Ft. (50% MIN) 540.5 Sq. Ft. FRONT YARD AREA	331 Sq. Ft. (61.2%)	CONFORMING

SETBACKS				
SIDE SETBACK	26'-2 1/2"	5'	5'-1"	CONFORMING
SIDE STREET SETBACK	17'-7 1/2"	7'-6"	7'-6"	CONFORMING
REAR SETBACK	3'-5"	15'	15'-4 1/2"	IMPROVED, CONFORMING
FRONT SETBACK	15'-5 1/2"	10'	10'-2"	CONFORMING
BUILDING HEIGHT	13'-5"	30'	1101 GRINNELL: 27'-10" 1000 VIRGINIA: 28'-10"	CONFORMING

FEMA MAP FLOOD ZONE X	SITE LOCATION MAP
	

GENERAL NOTES:

- DO NOT SCALE ANY DRAWING.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DETAILS HAVE PRECEDENCE OVER SMALLER SCALE DETAILS. ANY DISCREPANCIES ARE TO REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION.
- CONSULT THE ARCHITECT IN THE EVENT ANY ITEM OF WORK NECESSARY FOR THE PROPER COMPLETION OF THE PROJECT IS NOT SPECIFICALLY COVERED IN THE DRAWINGS.
- ALL WORK SHALL BE OF SUPERIOR QUALITY PERFORMED IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS, ALL BUILDING CODE REQUIREMENTS AND IN A PROFESSIONAL MANNER BY MECHANICS SKILLED AND LICENSED IN THEIR RESPECTIVE TRADES.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED AND CONNECTED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS, LOCAL CODES, BUILDING INSPECTOR REQUIREMENTS AND/OR EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR RESOLUTION. ALL DIMENSIONS AND CONDITIONS OF EACH TRADE ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR THE WORK OF EACH SPECIFIC TRADE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, AND CONVENTIONAL GUIDELINES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE WORK SHALL BE REMOVED, REPLACED, AND RECTIFIED.
- ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE OBTAINED.
- ALL TIE-INS AND UTILITY SERVICES ARE TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL EXISTING TREES, SHRUBS, VEGETATION, AND LANDSCAPE ELEMENTS OR FEATURES ADJACENT TO AND IN THE VICINITY OF THE BUILDING AND STAGING AREAS SHALL BE PROTECTED DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- ANY REVISIONS MUST BE APPROVED BY: ARCHITECT PRIOR TO TO CONSTRUCTION.
- ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND ENGINEER. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

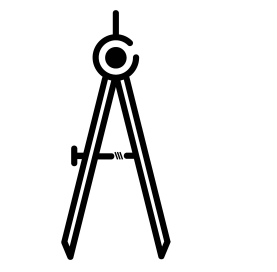
COMMENTS:	DESIGN NOTES:	SCOPE OF WORK:	SQUARE FOOT TABLE:

DRAWING SCHEDULE:

- T1.1 TITLE, SITE DATA & PROJECT INFORMATION
- CO.1 SURVEY & FEC + TREE PROTECTION
- EX1.1 EXISTING FLOOR PLAN + ELEVATIONS
- A1.0 PROPOSED SITE PLAN
- A1.1 1ST FLOOR PLANS
- A1.2 2ND FLOOR PLANS + SITE CALCULATIONS & DIAGRAM
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A3.3 HARC STREETSCAPE

ABBREVIATION LEGEND:

- ADJ. = ADJUSTABLE
- A.F.F. = ABOVE FINISH FLOOR
- A.A.G. = ABOVE ADJACENT GRADE
- ALUM. = ALUMINUM
- ARCH. = ARCHITECTURAL
- BALC. = BALCONY
- BD. = BOARD
- C.I.P. = CAST IN PLACE
- C.J. = CONTROL JOINT
- CL. = CLOSET
- CL. = CENTERLINE
- CONC. = CONCRETE
- COORD. = COORDINATE
- C.O.R. = CROWN OF ROAD
- D. = DRYER
- DIM. = DIMENSION
- DN. = DOWN
- DTL. = DETAIL
- DW. = DISHWASHER
- DWG. = DRAWING
- ELECT. = ELECTRICAL
- ELEV. = ELEVATOR
- E.P. = ELECTRICAL PANEL
- EQ. = EQUAL
- EX. = EXISTING
- E.J. = EXPANSION JOINT
- F.F.E. = FINISH FLOOR ELEVATION
- FIN. = FINISH
- FREZ. = FREEZER
- GYP. BD. = GYPSUM WALL BOARD
- HORZ. = HORIZONTAL
- HR. = HOUR
- MAX. = MAXIMUM
- MECH. = MECHANICAL
- MIC. = MICROWAVE OVEN
- MIN. = MINIMUM
- M.R. = MOISTURE RESISTANT
- N.A. = NOT APPLICABLE
- N.I.C. = NOT IN CONTRACT
- O.H. = OPPOSITE HAND
- PT. = PAINTED
- P.T. = PRESSURE TREATED
- R.A. = RETURN AIR
- REF. = REFERENCE
- REFR. = REFRIGERATOR
- REQ. = REQUIRED
- SCHED. = SCHEDULE
- S.F. = SQUARE FOOT
- SIM. = SIMILAR
- STOR. = STORAGE
- STRUCT. = STRUCTURAL
- SQ. = SQUARE
- TL. = TILE
- TYP. = TYPICAL
- U.C. = UNDER COUNTER
- U.N.O. = UNLESS NOTED OTHERWISE
- VERT. = VERTICAL
- V.I.F. = VERIFY IN FIELD
- W. = WASHER
- W/ = WITH
- WD. = WOOD
- W.H. = WATER HEATER



T.S. NEAL
ARCHITECTS INC.
22974 OVERSEAS HWY
CUDJOE KEY, FL
33042
305-340-8857
251-422-9547

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

1101 GRINNELL / 1000 VIRGINIA STREET
KEY WEST, FL 33040

DRAWING TITLE:
TITLE, SITE DATA, SURVEY &
PROJECT INFORMATION

DRAWN: EDSA
CHECKED:
DATE: 09-20-2023

REVISION #	DATE

T1.1
SHEET #



T.S. NEAL ARCHITECTS, INC.

NEW RESIDENCES FOR 1101 GRINNELL / 1000 VIRGINIA STREET KEY WEST, FL 33042

GENERAL SITE NOTES:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN ENGINEER/SURVEYOR CERTIFIED STAKE OUT FOR THE BUILDING, DRIVEWAY, PARKING AREAS, PORCHES AND POOL IN COORDINATION WITH THE DRAWINGS AND ANY REQUIRED ZONING SETBACKS. THE BUILDING LOCATION AND FINISH FLOOR LEVEL SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO EXCAVATION WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, PROPERTY LINES, EASEMENTS, AND SETBACKS PRIOR TO PROCEEDING WITH EXCAVATION.

2. THE GENERAL CONTRACTOR SHALL OBTAIN A LINE LOCATION SERVICE & DISCONNECT ANY EXISTING UTILITIES REQUIRED FOR CONSTRUCTION & SITE WORK. THE EXISTING UTILITIES SHALL BE REMOVED TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND AS APPROVED BY LOCAL UTILITIES REPRESENTATIVES. INSTALL NEW UTILITIES AND SERVICES AS REQUIRED FOR NEW HOUSE CONSTRUCTION. PROVIDE UNDERGROUND SERVICE UNLESS DIRECTED & AGREED OTHERWISE. AREAS WHERE SERVICES ARE REMOVED SHALL BE EXCAVATED TO MINIMUM EXTENT REQUIRED.

3. THE DRAWINGS SHALL BE COORDINATED WITH THE ACTUAL EXISTING SITE CONDITIONS, EXISTING TREE LOCATIONS, AND REMOVAL OF ANY EXISTING STRUCTURES OR FENCES ETC. ANY POTENTIAL CONFLICTS OR DISCREPANCIES THAT MAY AFFECT THE HOUSE LOCATION OR ANY SIGNIFICANT FEATURES SHALL BE REPORTED TO THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE AND MAKE ADJUSTMENTS AS MAY BE AGREED UPON AT THAT TIME TO ALL FINISH FLOOR ELEVATIONS WITH THE ARCHITECT AND OWNER AT THE TIME OF BUILDING STAKEOUT. ACTUAL NUMBERS OF TREADS AND RISERS OR STEPS MAY VARY FROM THE NUMBER SHOWN ON THE DRAWINGS BASED ON ACTUAL FIELD CONDITIONS.

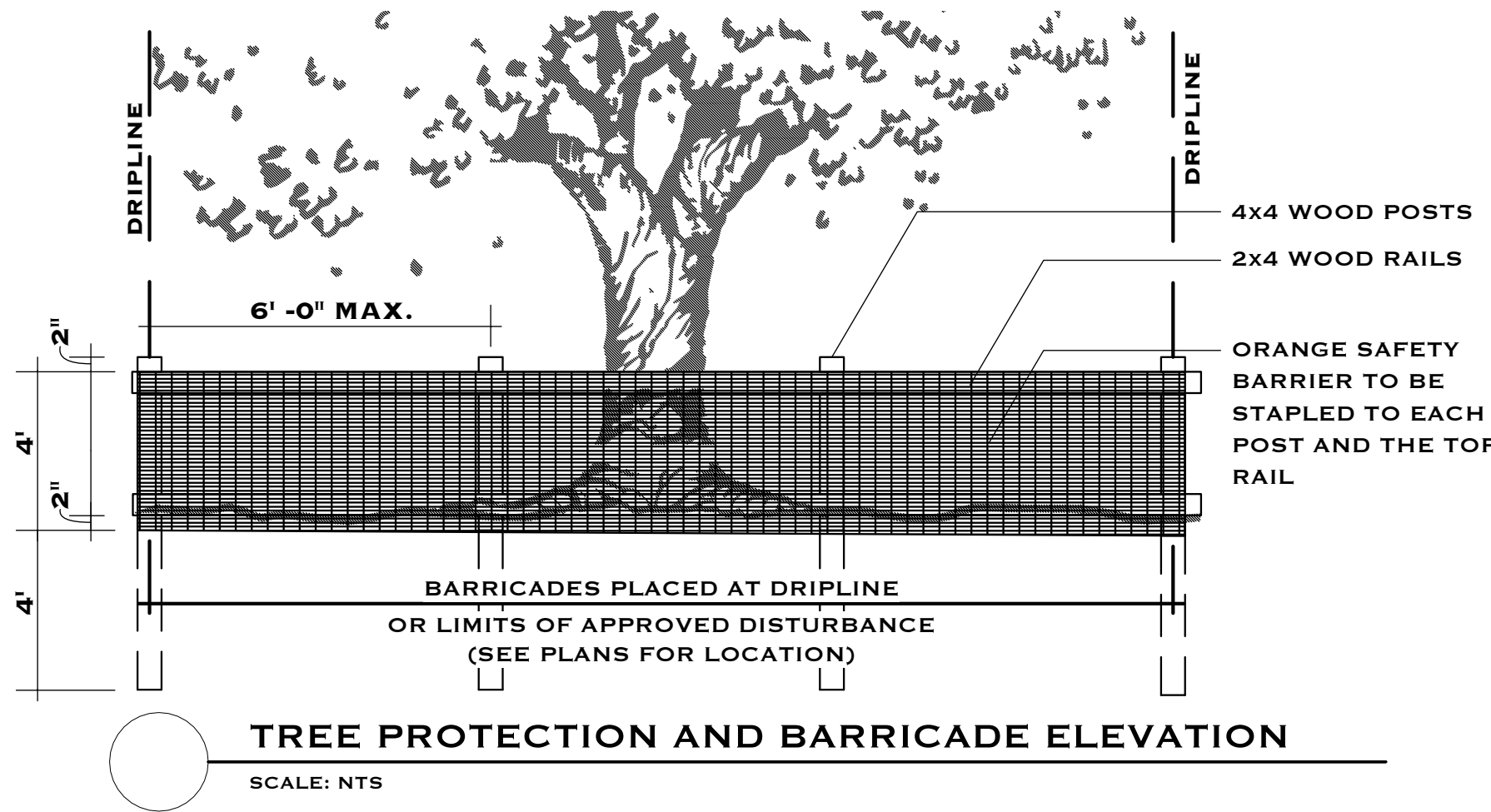
4. THE GENERAL CONTRACTOR SHALL MAINTAIN ON SITE DRAINAGE AWAY FROM FOOTING TRENCHES AND SHALL PROVIDE POSITIVE SLOPES AWAY FROM HOUSE AND DRIVES. BUT UNDER NO CIRCUMSTANCE CAUSE ADDITIONAL DRAINAGE OR EROSION TO ADJACENT PROPERTIES. PROVIDE TEMPORARY DIVERSIONS & SILT FENCES AS NECESSARY.

5. THE GENERAL CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND ALL ON SITE VEGETATION AND TREES OUTSIDE THE BUILDING FOOTPRINT FROM ANY HARM OR ADVERSE CONDITIONS RELATED TO CONSTRUCTION ACTIVITIES DURING THE ENTIRE TIME OF CONSTRUCTION. THE REMOVAL OF ANY TREES OR VEGETATION IN THE AREA OF THE BUILDING FOOTPRINT SHALL BE COORDINATED WITH THE ARCHITECT & OWNER PRIOR TO REMOVAL. IF TREES OCCUR IN THE AREA ADJACENT TO NEW CONSTRUCTION, THEIR REMOVAL SHALL BE APPROVED BY THE OWNER & ARCHITECT. PROVIDE A FENCED TREE PROTECTION ZONE AROUND SIGNIFICANT AND PROTECTED TREES REMAINING. NO PARKING OR STACKING OF MATERIALS, DEBRIS, OR SOIL SHALL BE PERMITTED UNDER TREE CANOPY OR ON TOP OF TREE ROOTS. MEET ON SITE WITH ARCHITECT & OWNER TO DETERMINE SPECIFIC TREES TO PROTECT PRIOR TO ANY SITE WORK & TO IDENTIFY BOUNDS OF CONTRACTORS STAGING & MATERIALS STORAGE AREAS & EMPLOYEE PARKING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE SITE CLEAN & ORDERLY EACH & EVERY DAY & IN NO CIRCUMSTANCE IS TRASH OR LITTER ALLOWED TO REMAIN IN VIEW OR OUTSIDE OF SECURE CONTAINERS. THE PORT-O-LET & DUMPSTERS & TRASH CONTAINERS MUST BE PLACED IN AN AREA AGREEABLE TO BOTH THE OWNER & SERVICING AGENCY. THEY MAY NOT BE ALLOWED TO OVERFLOW OR BECOME AN NUISANCE OR EYESORE AND SHALL BE EMPTIED REGULARLY.

6. THE GENERAL CONTRACTOR SHALL PROVIDE EROSION CONTROL MEANS & METHODS TO PREVENT SITE EROSION & SHALL DIRECT GROUNDWATER IN A NATURAL FLOW DIRECTION TO COLLECTOR AREAS. NO EXCESS DIRT, MUD, DEBRIS, WASTE, CONSTRUCTION DEBRIS, WASHOUT, OR CLEANING OPERATIONS SHALL BE ALLOWED OFF SITE OR ALLOWED TO FLOW OFF SITE. ALL SILT FENCING OR OTHER EROSION CONTROL METHODS SHALL BE MAINTAINED IN GOOD WORKING CONDITION.

7. THE LOCATION OF ANY EXISTING AND PROPOSED SITE UTILITIES AND SERVICE ENTRANCES & ROUTES SHALL BE DETERMINED ON SITE WITH THE OWNER PRIOR TO ANY WORK BEING PERFORMED. LOCAL UTILITY REPRESENTATIVES SHALL BE INFORMED AND SHALL AGREE AND APPROVE ALL UTILITY WORK BEING PERFORMED. PROVIDE UNDERGROUND SERVICE TO FULLEST EXTENT POSSIBLE AS AGREEABLE TO THE OWNER.

8. SHOULD THE OWNER OR CONTRACTOR DECIDE TO PLACE FILL DIRT ON SITE IN THE BUILDING AREA THEY SHALL NOTIFY THE ARCHITECT & GEOTECHNICAL ENGINEERS FOR RECOMMENDATIONS ON PLACEMENT OF FILL SO AS NOT TO CAUSE ANY ADVERSE EFFECT ON TREES OR EXISTING SOILS.



TREE PROTECTION AND PRESERVATION NOTES

- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN PROTECTION BARRIER
- PROTECTION BARRIERS (TREE BARRICADES) SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT WITHIN THE BARRICADE.
- FOR ALL TREES TO BE PRESERVED, SEE TREE PROTECTION AND BARRICADE ELEVATION DETAIL.
- NO GRADE CHANGES SHALL BE MADE WITHIN THE PROTECTIVE BARRIER ZONES WITHOUT PRIOR APPROVAL.
- THE METHOD OF PROTECTION IS TO MAKE CERTAIN THAT 50% OF THE AREA UNDER THE CANOPY DRIPLINE REMAINS UNDISTURBED (NO GRADE CHANGE OR ROOT CUT) AND THERE SHALL BE NO DISTURBANCE TO THE ROOT PLATE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND MITIGATION COSTS OF TREES DAMAGED BEYOND REPAIR THAT HAVE BEEN IDENTIFIED AS PROTECTED AND PRESERVED. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.
- ROOT PRUNING SHALL BE DONE BY OR UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST, AND MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS. A CERTIFIED ARBORIST MUST BE ONSITE DURING THE ENTIRETY OF ROOT PRUNING.
- NO ROOT PRUNING SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER THE TREE UNLESS AUTHORIZED BY THE ARBORIST.
- NO MORE THAN 30% OF THE TREES ROOTS MAY BE PRUNED.
- A PRUNING TRENCH SHALL BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT. USE HAND TOOLS OR AN AIR KNIFE. LIMITS OF TRENCH TO BE DETERMINED BY THE ARBORIST.
- ALL ROOTS OUTSIDE OF THE PROTECTIVE BARRICADE TO BE REMOVED DURING THE DEVELOPMENT SHALL BE SEVERED CLEAN USING A SHARP TOOL TO PROVIDE A CLEAN CUT. ROOTS SHALL BE LEFT WITH CLEAN SMOOTH ENDS AND NO RAGGED EDGES AND A TWO-INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS DURING DEVELOPMENT WITHIN ONE HOUR OF DAMAGE OR EXPOSURE.
- AFTER PRUNING, TREE ROOTS SHALL BE COVERED AND KEPT MOIST. FILL PRUNING TRENCH WITH TOPSOIL AND WATER DAILY FOR A PERIOD DETERMINED BY THE ARBORIST.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A. FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. Policy Number:
1000 Virginia Street

City State ZIP Code Company NAIC Number
KEY WEST Florida 33040

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, ARA, ARAE, ARA1–A30, ARAH, ARAO. Complete items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
Benchmark Utilized: PIDAA0023 Elevation 4.27 Vertical Datum: NGVD 1929

Indicate elevation datum used for the elevations in items a) through h) below.
 NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

		Check the measurement used.
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	8.6	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	N/A	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	N/A	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	N/A	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	N/A	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	7.4	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	7.5	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	7.4	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

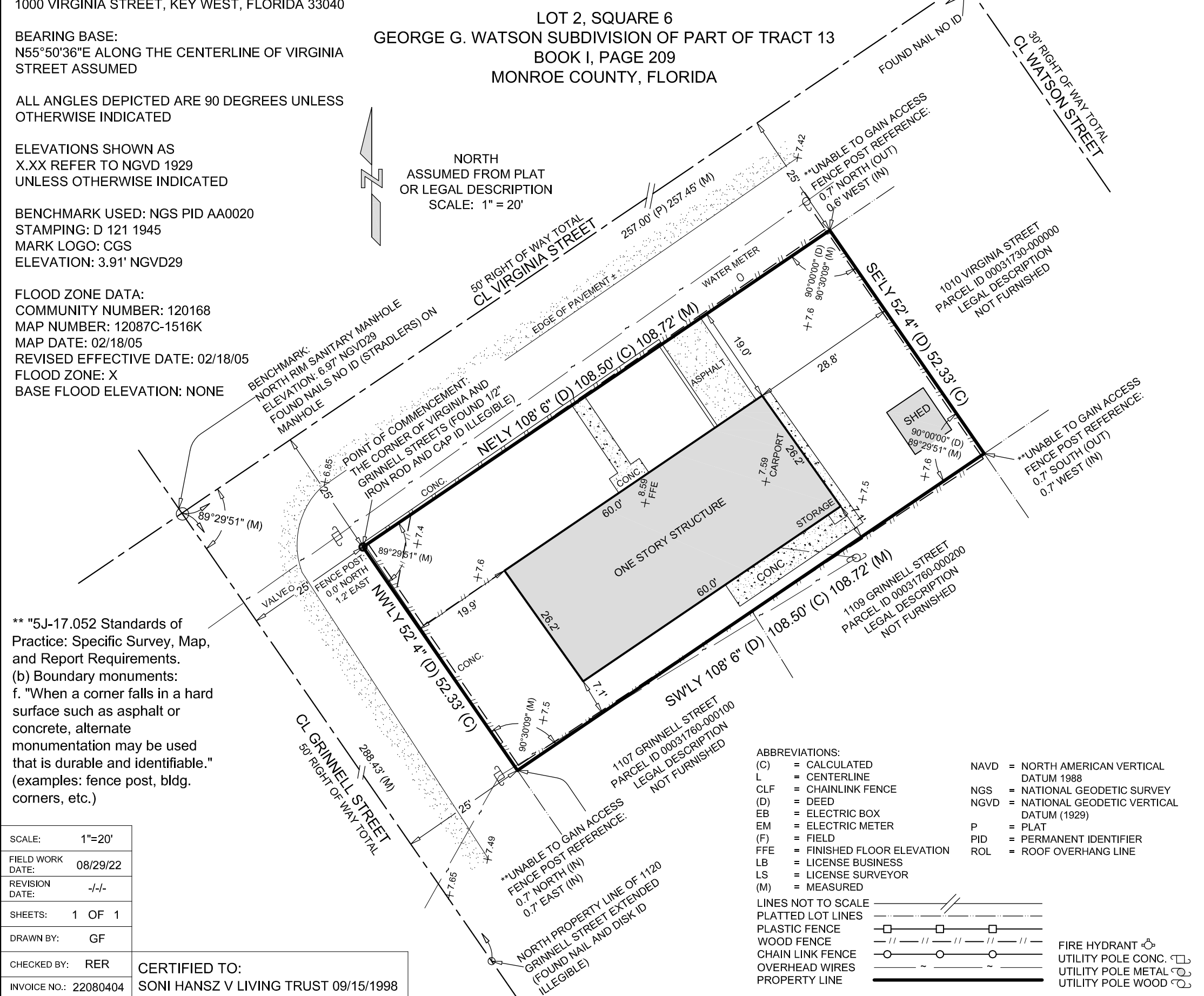
Certifier's Name Robert E. Reece	License Number LS 5632
Title Professional Surveyor and Mapper	
Company Name Reece & White Land Surveying, Inc.	
Address 31193 Avenue A	
City Big Pine Key	State ZIP Code Florida 33043
Signature <i>Robert E. Reece</i>	Date Telephone Ext. 08-30-2022 (305) 872-1348

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
A5. Hand Held Device, B8. 0.2 PCT ANNUAL CHANCE FLOOD HAZARD; C2.e) A/Cs observed as window/wall units. Bottom of electric meter box at the rear of the home at elevation 13.8 feet.

ADDRESS: 1000 VIRGINIA STREET, KEY WEST, FLORIDA 33040
BEARING BASE: N55°50'36"E ALONG THE CENTERLINE OF VIRGINIA STREET ASSUMED
ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED
ELEVATIONS SHOWN AS X.XX REFER TO NGVD 1929 UNLESS OTHERWISE INDICATED
BENCHMARK USED: NGS PID AA0020
STAMPING: D 121 1945
MARK LOGO: CGS
ELEVATION: 3.91' NGVD29
FLOOD ZONE DATA:
COMMUNITY NUMBER: 120168
MAP NUMBER: 12087C-1516K
MAP DATE: 02/18/05
REVISED EFFECTIVE DATE: 02/18/05
FLOOD ZONE: X
BASE FLOOD ELEVATION: NONE

MAP OF BOUNDARY SURVEY



LEGAL DESCRIPTION (Official Records Book 3079, Page 1985):
Lot number Two (2) in Square Six (6), of George G. Watson Subdivision of part of Tract Thirteen (13) according to diagram recorded in Book I, Monroe County records on Page 209; COMMENCING AT CORNER OF VIRGINIA AND GRINNELL STREETS AND RUNNING THENCE ALONG THE LINE OF VIRGINIA STREET IN A NORTHEASTERLY DIRECTION ONE HUNDRED EIGHT (108) FEET AND SIX (6) INCHES; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FIFTY-THREE (53) FEET AND FOUR (4) INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION ONE HUNDRED EIGHT (108) FEET AND SIX (6) INCHES; THENCE ALONG THE LINE OF GRINNELL STREET TO THE PLACE OF BEGINNING. BEING THE SAME LAND AS DESCRIBED IN THAT CERTAIN DEED OF CONVEYANCE RECORDED IN DEED BOOK A-4, PAGE 330 IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR MONROE COUNTY, FLORIDA.

Reference being had to deed of conveyance by the Board of Missions of the Methodist Episcopal Church, South, to the District of National Missions of the Board of Missions of the Methodist Church, recorded in Official Records Book 69, Page 207, Monroe County, Florida.

- REFERENCE BEING HAD TO DEED OF CONVEYANCE BY THE BOARD OF MISSIONS OF THE METHODIST EPISCOPAL CHURCH, SOUTH, TO THE DISTRICT OF NATIONAL MISSIONS OF THE BOARD OF MISSIONS OF THE METHODIST CHURCH, RECORDED IN OFFICIAL RECORDS BOOK 69, PAGE 207, MONROE COUNTY, FLORIDA.
- LEGAL DESCRIPTION (Official Records Book 3079, Page 1985):
Lot number Two (2) in Square Six (6), of George G. Watson Subdivision of part of Tract Thirteen (13) according to diagram recorded in Book I, Monroe County records on Page 209; COMMENCING AT CORNER OF VIRGINIA AND GRINNELL STREETS AND RUNNING THENCE ALONG THE LINE OF VIRGINIA STREET IN A NORTHEASTERLY DIRECTION ONE HUNDRED EIGHT (108) FEET AND SIX (6) INCHES; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION FIFTY-THREE (53) FEET AND FOUR (4) INCHES; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION ONE HUNDRED EIGHT (108) FEET AND SIX (6) INCHES; THENCE ALONG THE LINE OF GRINNELL STREET TO THE PLACE OF BEGINNING. BEING THE SAME LAND AS DESCRIBED IN THAT CERTAIN DEED OF CONVEYANCE RECORDED IN DEED BOOK A-4, PAGE 330 IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR MONROE COUNTY, FLORIDA.
- REFERENCE BEING HAD TO DEED OF CONVEYANCE BY THE BOARD OF MISSIONS OF THE METHODIST EPISCOPAL CHURCH, SOUTH, TO THE DISTRICT OF NATIONAL MISSIONS OF THE BOARD OF MISSIONS OF THE METHODIST CHURCH, RECORDED IN OFFICIAL RECORDS BOOK 69, PAGE 207, MONROE COUNTY, FLORIDA.

REECE & ASSOCIATES
PROFESSIONAL SURVEYORS AND MAPPERS
LICENSED BUSINESS (L.B.) NO. 7846
31193 AVENUE A, BIG PINE KEY, FL 33043
OFFICE: (305) 872-1348
EMAIL: INFO@REECESURVEYING.COM

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 9-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM B, SUBPARAGRAPH (B) (1) (SETBACKS), (B)(3)(ENCROACHMENTS), & (B)(4)(EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

SIGNED: *Robert E. Reece*
ROBERT E. REECE
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS 5632

SURVEY & FEC FOR REFERENCE ONLY. CONTRACTOR TO SUBMIT ORIGINAL SIGNED & SEALED SURVEY

KEY WEST

KEY WEST

PB RES 2023-10 Year BPAS Awards & Staff Report.pdf

OBJECTID_1 94673
Edit_Date 12/7/2023
Un_Id_Tr A16194
Num_SG 1101
APT_SG
HOUSE_NSC 1101
Address GRINNELL ST
KEYNAME KEY WEST
rechar 00031740-000000
CITYCODE KEY
PLAN_AREA Old Town
PRE_DIR
PRE_ST_TYP
STREET_NAM GRINNELL
POST_ST_TY ST
POST_DIR
CONDO_NAME
ZIP_CODE 33040
APT_SUITE
LABEL
NOTES 2022 Bpas
GH_TRL
Parent_Par 0



T.S. NEAL ARCHITECTS INC.
22974 OVERSEAS HWY
CUDJOE KEY, FL 33042
305-340-8857
251-422-9547

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

1101 GRINNELL / 1000 VIRGINIA STREET
KEY WEST, FL 33040

DRAWING TITLE: SURVEY & FEC + TREE PROTECTION

DRAWN: EDSA
CHECKED:
DATE: 09-20-2023

REVISION #	DATE

CO.1 SHEET #

T.S. NEAL ARCHITECTS, INC.

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

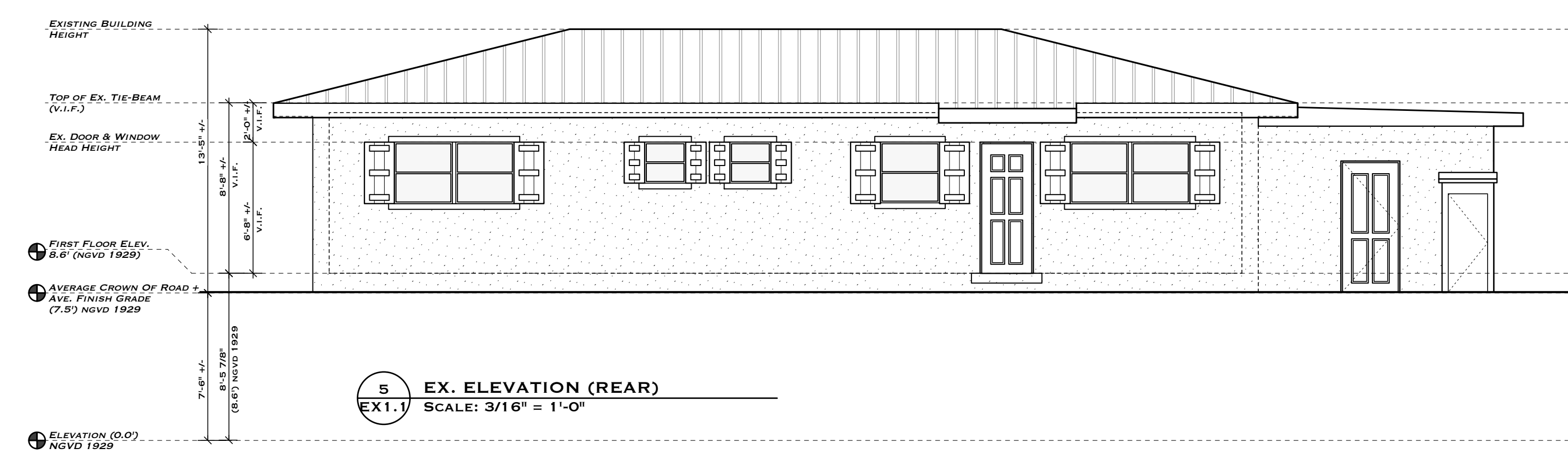
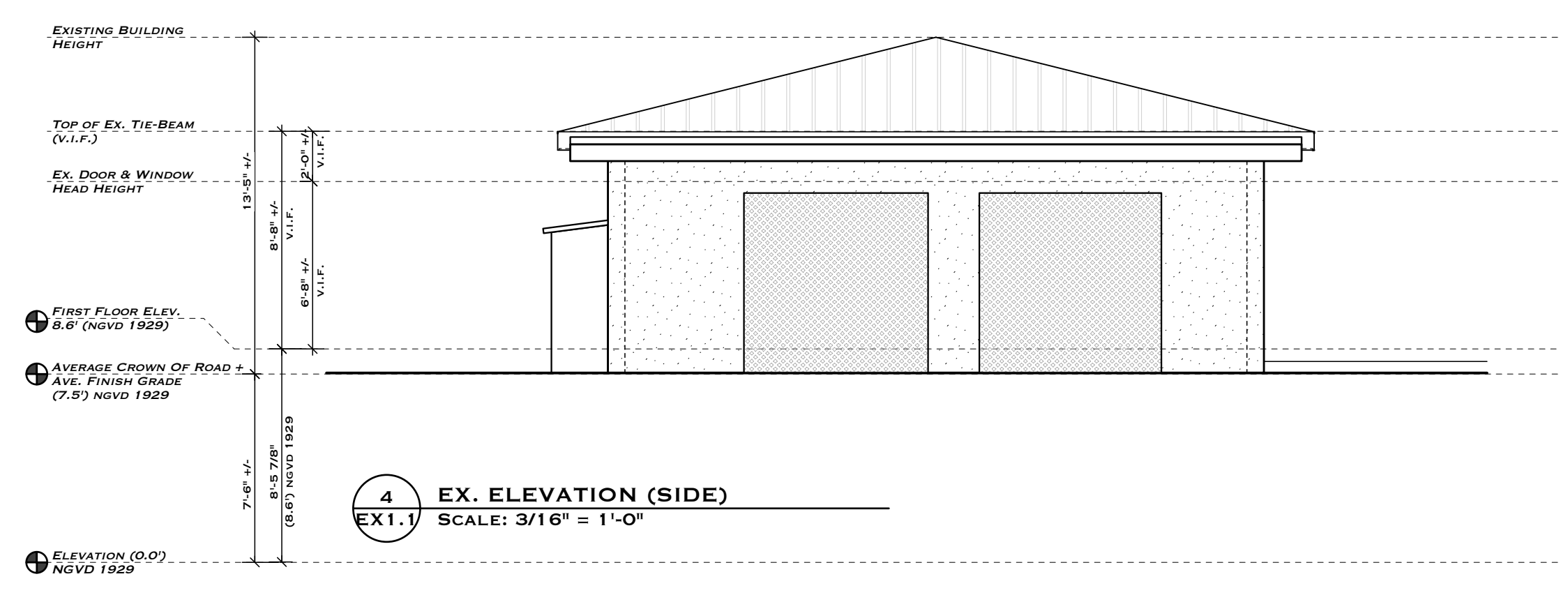
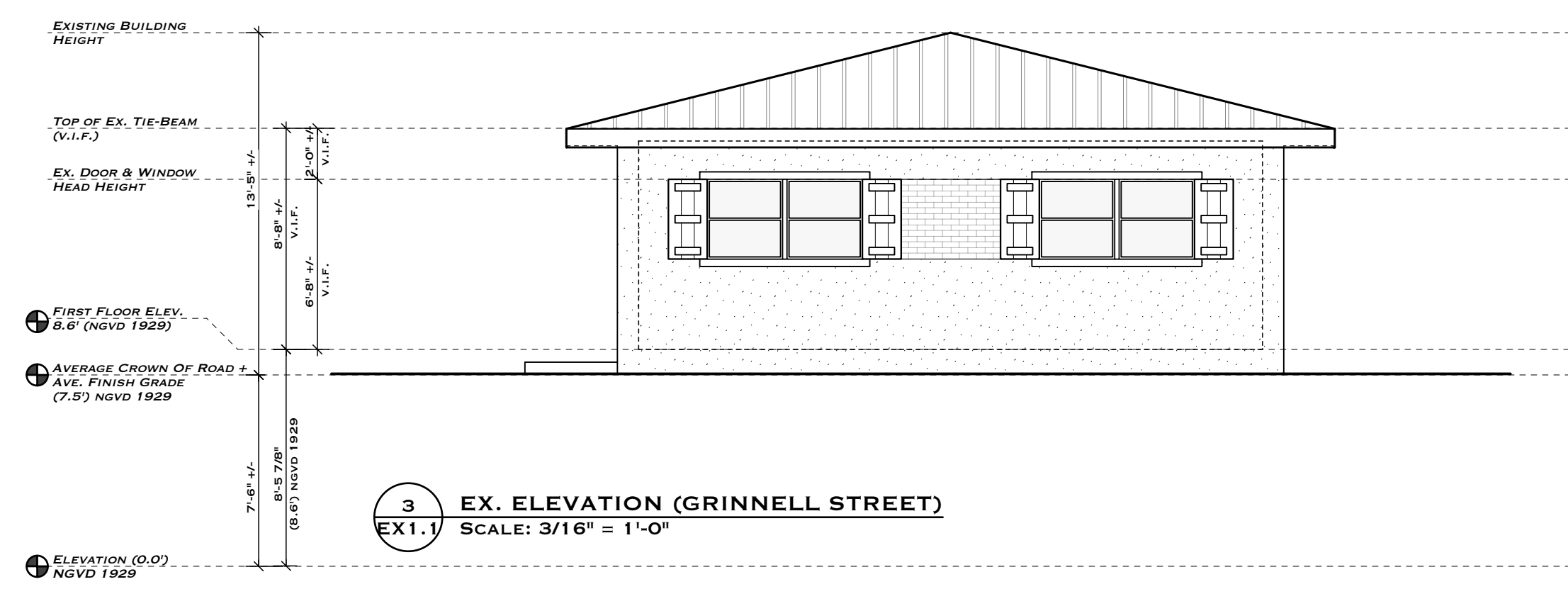
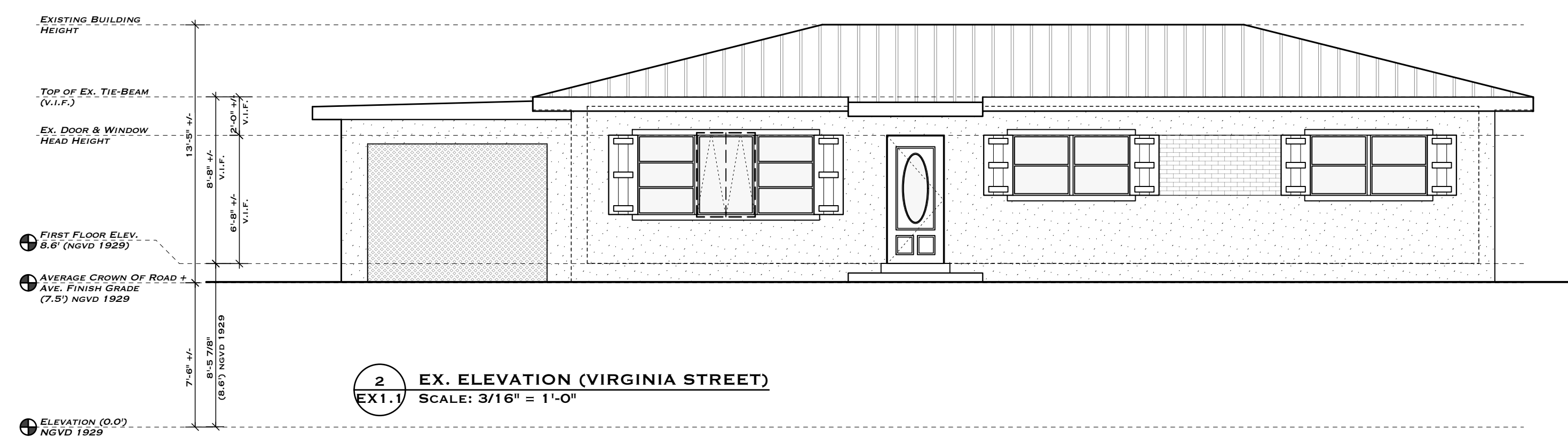
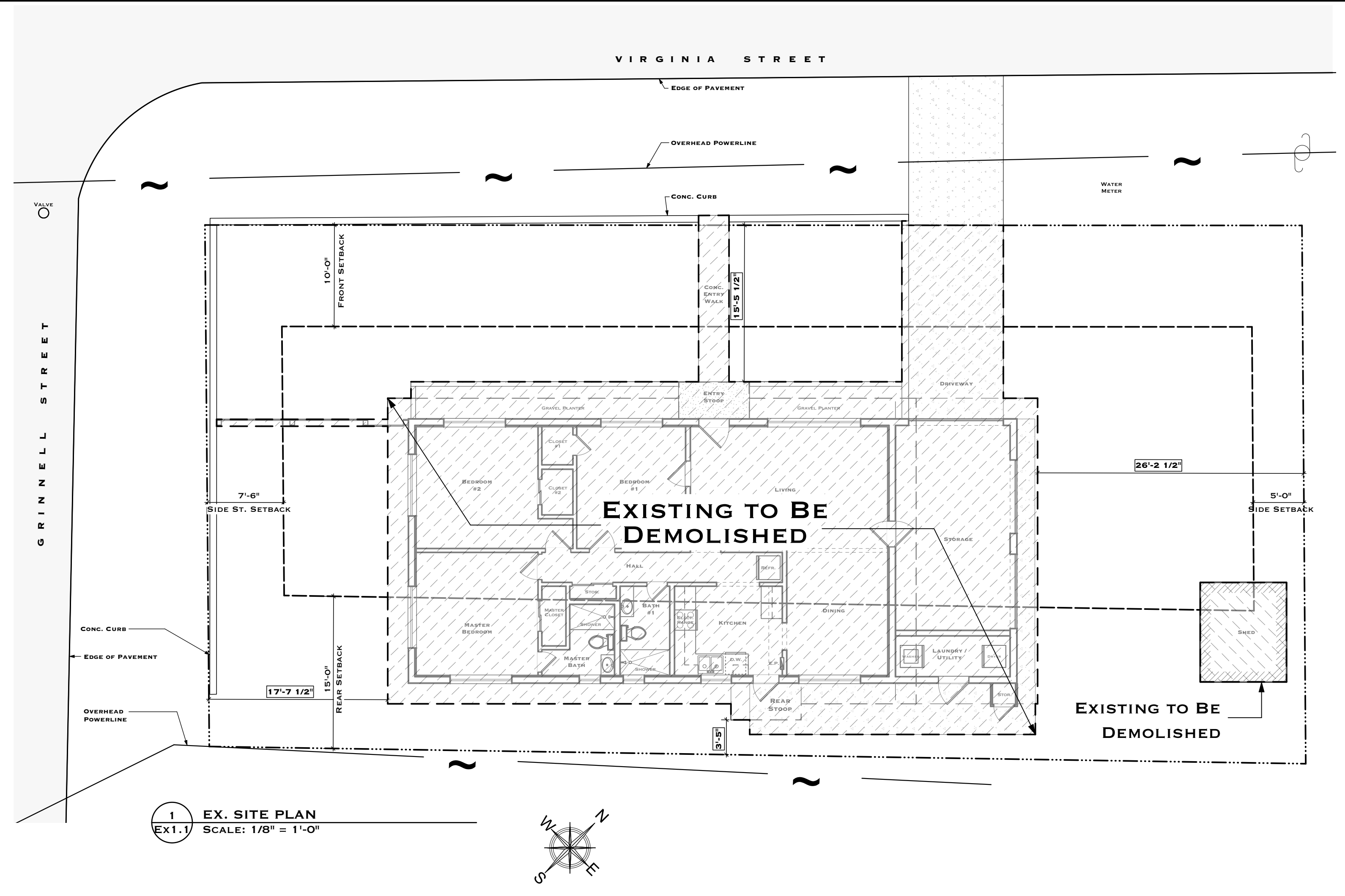
1101 GRINNELL / 1000 VIRGINIA STREET
 KEY WEST, FL 33040

DRAWING TITLE:
 EX. SITE PLAN + EX. ELEVATIONS

DRAWN: EDSA
 CHECKED:
 DATE: 09-20-2023

REVISION # DATE

EX1.1
 SHEET #



VIRGINIA STREET
(AS SIDE)

T.S. NEAL
ARCHITECTS INC.
22974 OVERSEAS HWY
CUDJOE KEY, FL
33042
305-340-8857
251-422-9547

FOR REVIEW
ONLY - NOT FOR
CONSTRUCTION

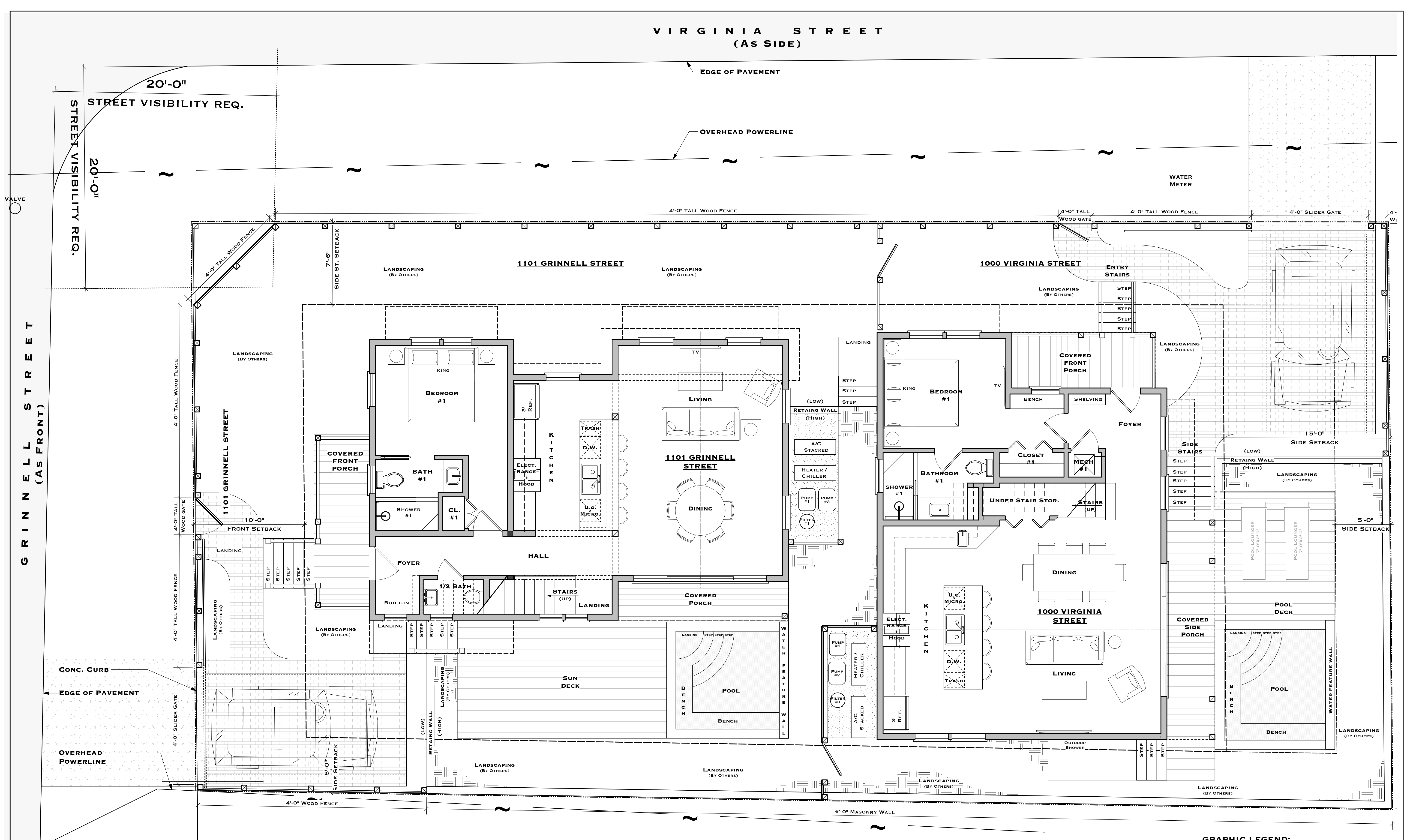
1101 GRINNELL / 1000 VIRGINIA
STREET
KEY WEST, FL 33040

DRAWING TITLE:
PROPOSED SITE & FLOOR PLAN +
ELEVATIONS & ENLARGED PLAN:
UNIT #2

DRAWN: EDSA
CHECKED:
DATE: 09-20-2023

REVISION # DATE
A1.1
SHEET #

T.S.N.
T. S. NEAL ARCHITECTS, INC.



1 SITE & FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"

1101 GRINNELL

1ST FLOOR CONDITIONED SPACE:	876 SQ FT
1ST FLOOR COVERED PORCH SPACE:	132 SQ FT
2ND FLOOR CONDITIONED SPACE:	772 SQ FT
2ND FLOOR COVERED PORCH SPACE:	58 SQ FT
TOTAL CONDITIONED SPACE:	1,648 SQ FT
TOTAL COVERD PORCH SPACE:	190 SQ FT
POOL DECK:	202 SQ FT
POOL:	115 SQ FT

1000 VIRGINIA

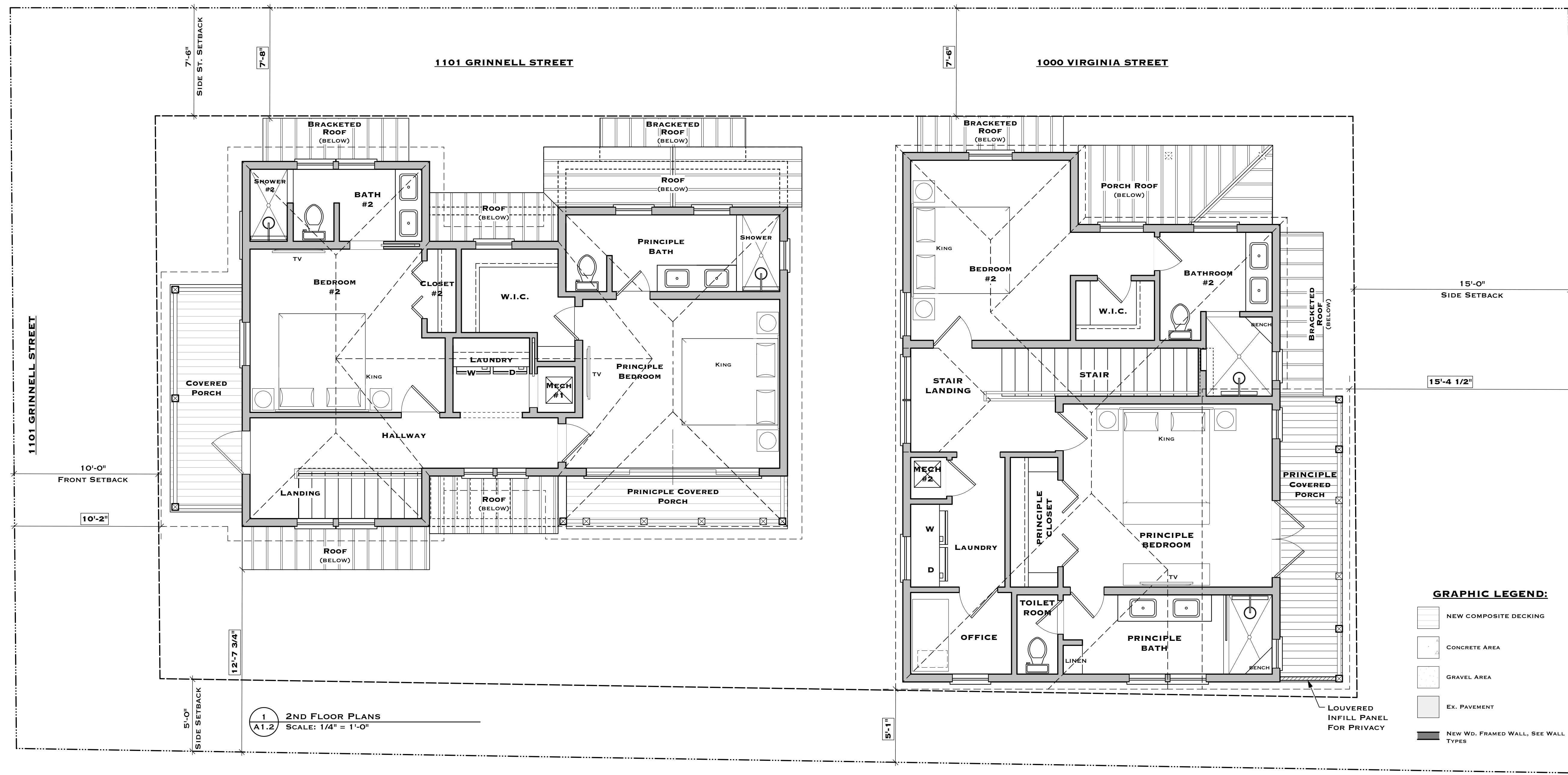
1ST FLOOR CONDITIONED SPACE:	892 SQ FT
1ST FLOOR COVERED PORCH SPACE:	151 SQ FT
2ND FLOOR CONDITIONED SPACE:	892 SQ FT
2ND FLOOR COVERED PORCH SPACE:	151 SQ FT
TOTAL CONDITIONED SPACE:	1,784 SQ FT
TOTAL COVERD PORCH SPACE:	302 SQ FT
POOL DECK:	147 SQ FT
POOL:	126 SQ FT

GRAPHIC LEGEND:

- NEW COMPOSITE DECKING
- CONCRETE AREA
- GRAVEL AREA
- EX. PAVEMENT
- NEW WD. FRAMED WALL, SEE WALL TYPES

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

1101 GRINNELL / 1000 VIRGINIA STREET
 KEY WEST, FL 33040



1 2ND FLOOR PLANS
 A1.2 SCALE: 1/4" = 1'-0"

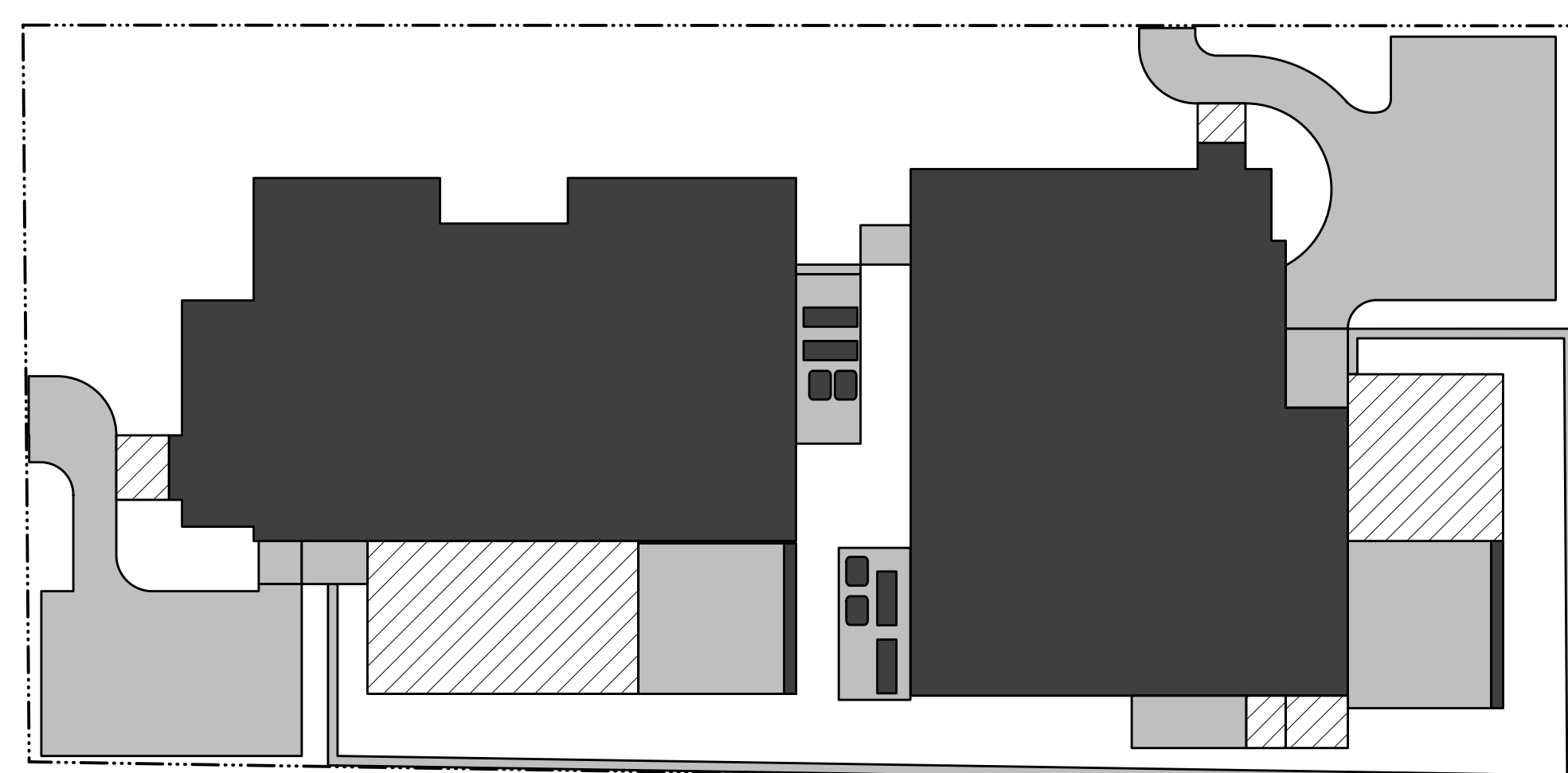
GRAPHIC LEGEND:

- NEW COMPOSITE DECKING
- CONCRETE AREA
- GRAVEL AREA
- EX. PAVEMENT
- NEW WD. FRAMED WALL, SEE WALL TYPES

LOUVERED INFILL PANEL FOR PRIVACY

SITE DATA 1101 GRINNELL ST. / 1000 VIRGINIA ST.
 RE # 00031740-000000

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HMDR	HMDR	HMDR	HISTORIC MEDIUM DENSITY RESIDENTIAL
SITE AREA	5,645 SQ. FT.	4,000 SQ. FT.	EXISTING	NO CHANGE, SEE SURVEY
LOT SIZE	SEE SURVEY	40' X 90' (MIN)	EXISTING	NO CHANGE, SEE SURVEY
IMPERVIOUS	2,332 SQ. FT. (41.3%)	3,387 SQ. FT. (60% MAX)	3,214 SQ. FT. (56.9%)	CONFORMING
OPEN SPACE	3,313 SQ. FT. (58.7%)	1,976 SQ. FT. (35% MIN)	2,090.6 SQ. FT. (36.2%)	CONFORMING
BUILDING COV.	2,035 SQ. FT. (36.0%)	2,258 SQ. FT. (40% MAX)	2,113.4 SQ. FT. (37.4%)	CONFORMING
ACCESSORY STRUCTURE REAR YARD COV.	69 SQ. FT. (4.3%)	463 SQ. FT. (80% MAX COV.) 1,546 SQ. FT. REAR YARD AREA	10 SQ. FT. (2.1%)	CONFORMING
FRONT YARD 50% GREEN SPACE COV.	137 SQ. FT. (12.7%)	287.5 SQ. FT. (50% MIN) 540.5 SQ. FT. FRONT YARD AREA	331 SQ. FT. (61.2%)	CONFORMING
SETBACKS				
SIDE SETBACK	26'-2 1/2"	5'	5'-1"	CONFORMING
SIDE STREET SETBACK	17'-7 1/2"	7'-6"	7'-6"	CONFORMING
REAR SETBACK	3'-5"	15'	15'-4 1/2"	IMPROVED, CONFORMING
FRONT SETBACK	15'-5 1/2"	10'	10'-2"	CONFORMING
BUILDING HEIGHT	13'-5"	30'	1101 GRINNELL: 27'-10" 1000 VIRGINIA: 28'-10"	CONFORMING



SITE CALCULATION DIAGRAM LEGEND:

- EXTENT OF IMPERVIOUS AREA
- EXTENT OF BUILDING COVERAGE AREA
- EXTENT OF NON-OPEN SPACE
- PROPERTY LINE

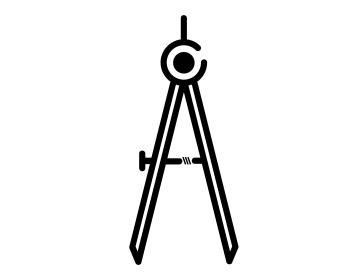
SITE CALCULATION DIAGRAM

DRAWING TITLE:
 2ND FLOOR PLANS

DRAWN: EDSA
 CHECKED:
 DATE: 09-20-2023

REVISION #	DATE

A1.2
 SHEET #



T.S. NEAL ARCHITECTS INC.

22974 OVERSEAS HWY
CUDJOE KEY, FL
33042

305-340-8857
251-422-9547

FOR REVIEW
ONLY - NOT FOR
CONSTRUCTION

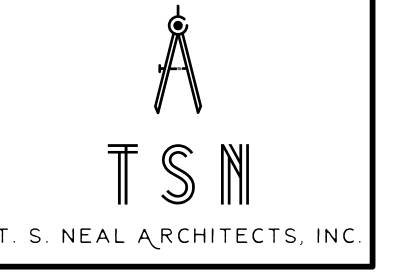
1101 GRINNELL / 1000 VIRGINIA
STREET
KEY WEST, FL 33040

DRAWING TITLE:
HARC ELEVATIONS

DRAWN: EDSA
CHECKED:
DATE: 09-20-2023

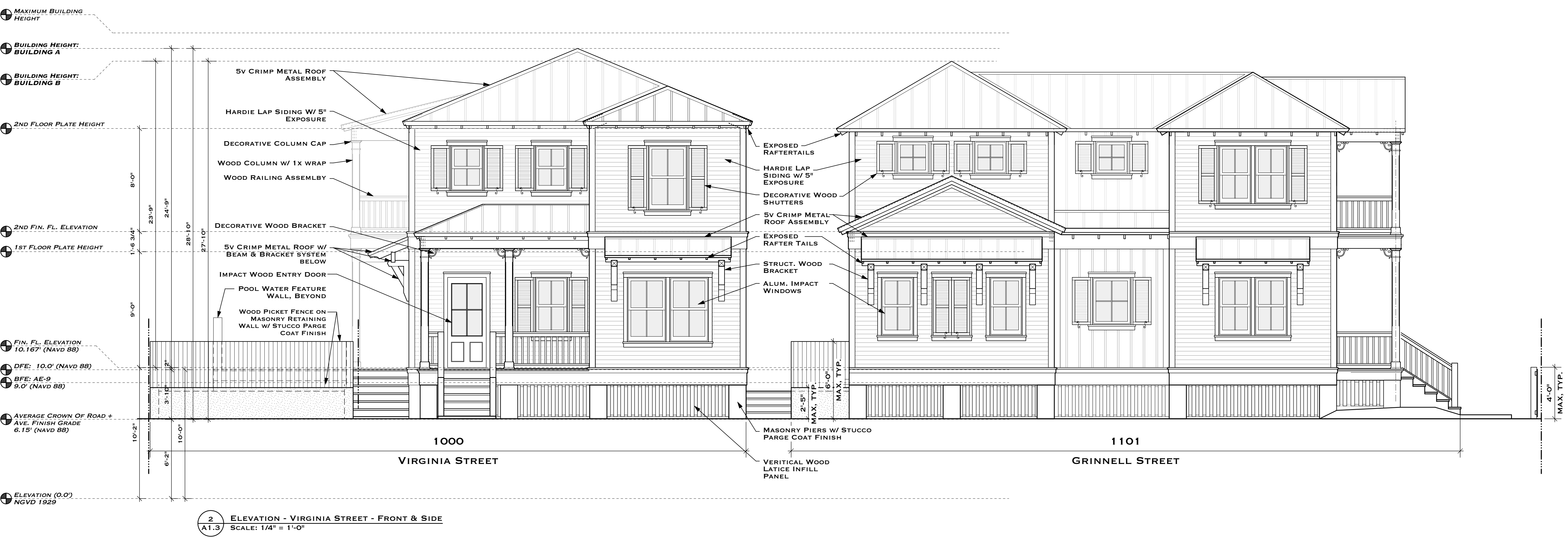
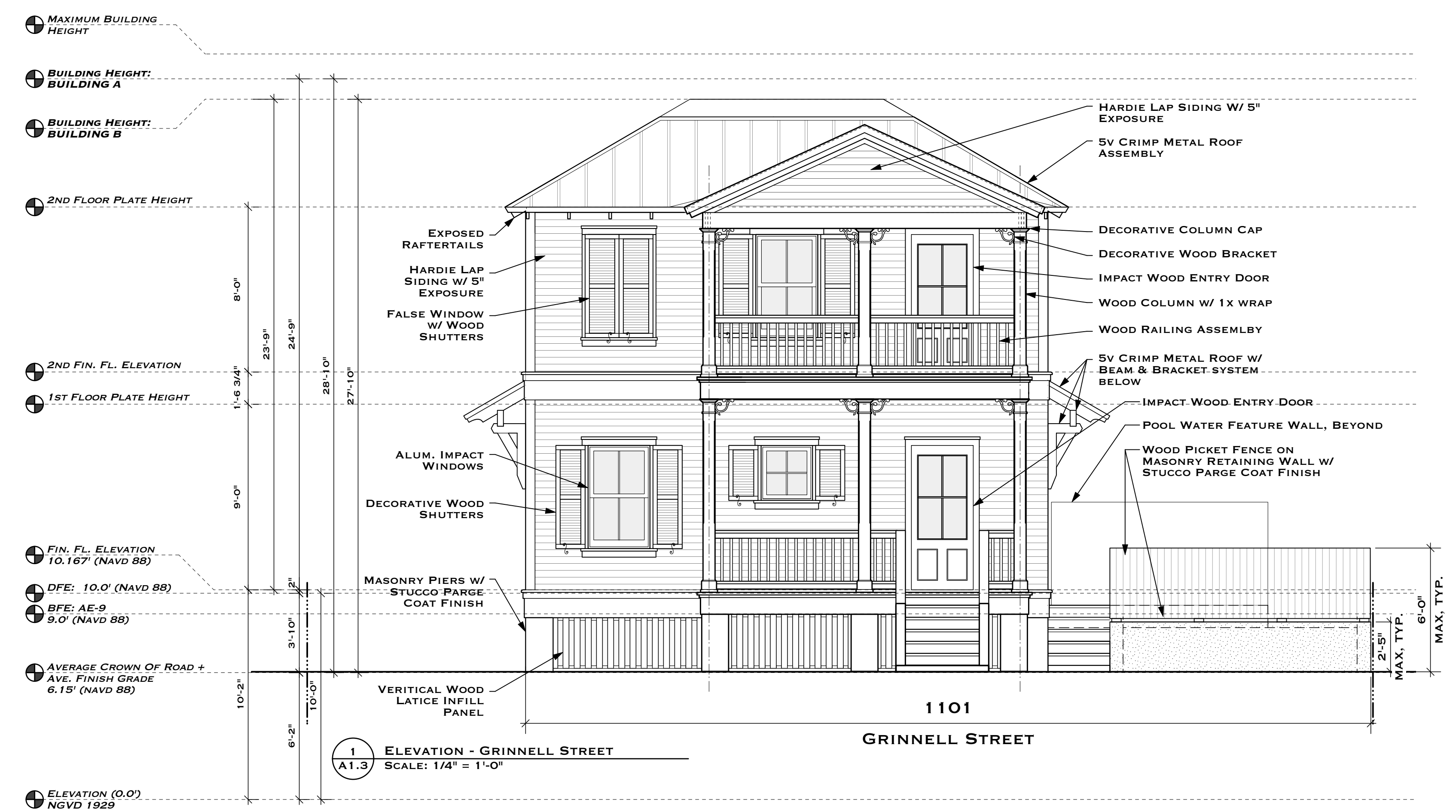
REVISION # DATE

A1.3
SHEET #



T.S. NEAL ARCHITECTS, INC.

TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505



MAXIMUM BUILDING HEIGHT
BUILDING HEIGHT: BUILDING A
BUILDING HEIGHT: BUILDING B
2ND FLOOR PLATE HEIGHT
2ND FIN. FL. ELEVATION
1ST FLOOR PLATE HEIGHT
FIN. FL. ELEVATION 10.167' (NAVD 88)
DFE: 10.0' (NAVD 88)
BFE: AE-9 9.0' (NAVD 88)
AVERAGE CROWN OF ROAD + AVE. FINISH GRADE 6.15' (NAVD 88)
ELEVATION (0.0') NGVD 1929

MAXIMUM BUILDING HEIGHT
BUILDING HEIGHT: BUILDING A
BUILDING HEIGHT: BUILDING B
2ND FLOOR PLATE HEIGHT
2ND FIN. FL. ELEVATION
1ST FLOOR PLATE HEIGHT
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ELEVATION (0.0') NGVD 1929

FOR REVIEW
 ONLY - NOT FOR
 CONSTRUCTION

1101 GRINNELL / 1000 VIRGINIA
STREET
 KEY WEST, FL 33040

DRAWING TITLE:
 ELEVATIONS

DRAWN: EDSA
 CHECKED:
 DATE: 09-20-2023

REVISION # DATE

A1.4
 SHEET #



FOR REVIEW ONLY - NOT FOR CONSTRUCTION

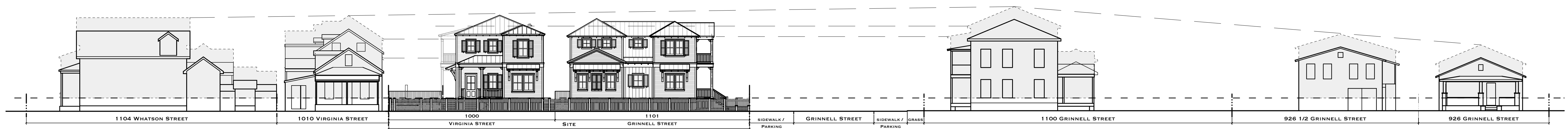
1101 GRINNELL / 1000 VIRGINIA STREET
 STREET
 KEY WEST, FL 33040

DRAWING TITLE:
HARC STREETSCAPE ELEVATIONS

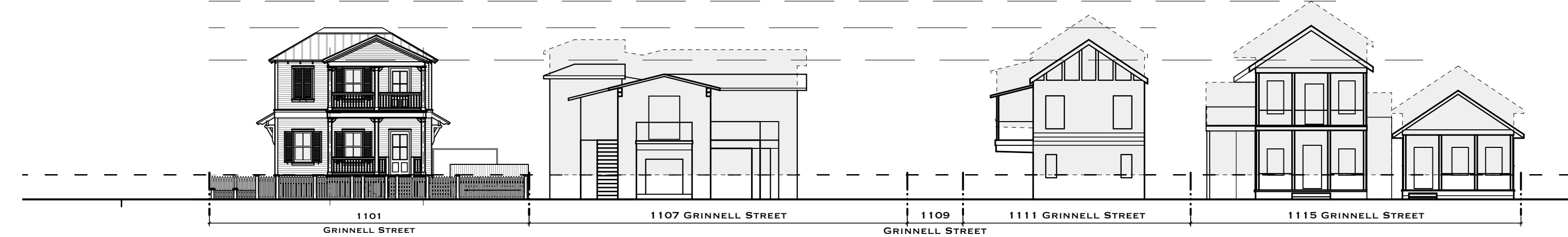
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 CHECKED:
 DATE: 09-20-2023

REVISION # DATE

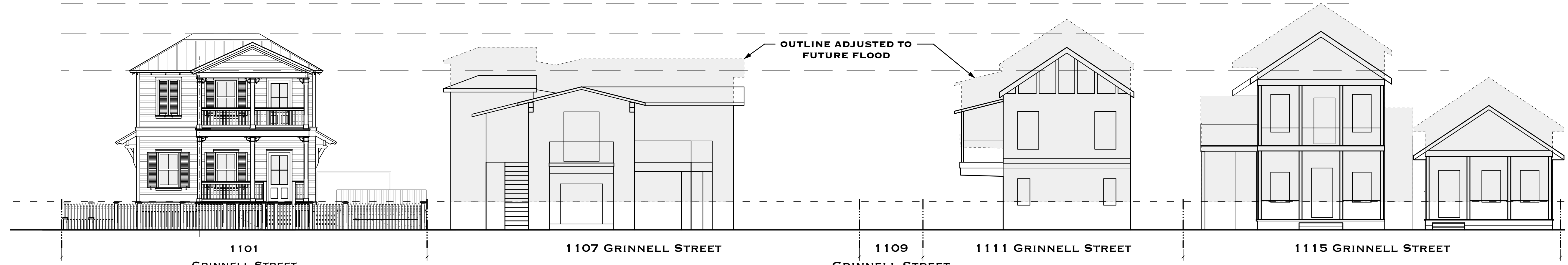
A1.5
 SHEET #



1 HARC STREET SCAPE - VIRGINIA STREET
 A1.5 SCALE: 1/16" = 1'-0"



2 HARC STREET SCAPE - GRINNELL STREET
 A1.5 SCALE: 1/16" = 1'-0"



3 HARC STREET SCAPE - GRINNELL STREET - ENLARGED
 A1.5 SCALE: 1/8" = 1'-0"



4 HARC STREET SCAPE - VIRGINIA STREET - ENLARGED
 A1.5 SCALE: 1/8" = 1'-0"

5 HARC STREET SCAPE - VIRGINIA STREET - ENLARGED
 A1.5 SCALE: 1/8" = 1'-0"

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., February 27, 2024, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

TWO NEW ELEVATED SINGLE-FAMILY HOUSES. TWO NEW POOLS AND DECKS AT REAR. NEW FENCES AND TWO PARKING SPACES. DEMOLITION OF SINGLE-STORY NON-CONTRIBUTING HOUSE.

#1000 VIRGINIA STREET/(#1101 GRINNELL STREET)

Applicant – Evan Amato T.S.N Architects Application #H2024-0004

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared EVAN AMATO, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
1000 VIRGINIA STREET KEY WEST FL on the 20 day of FEBRUARY, 2024.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on FEB. 27 2024, 2024.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is #H2024-0004

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]

Date: 02-21-2024

Address: 1007 FLORIDA ST

City: KEY WEST

State, Zip: 33040

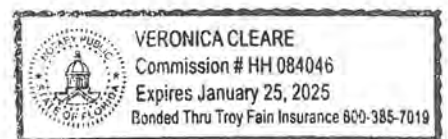
The forgoing instrument was acknowledged before me on this 21 day of February, 2024.

By (Print name of Affiant) Evan Amato who is personally known to me or has produced personally known as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: [Signature]
Print Name: Veronica Cleare

Notary Public - State of Florida (seal)
My Commission Expires: 1/25/25



1000

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting on **8:00 a.m. - 10:00 a.m., February 27, 2024**, at City Hall, 1300 White Street, Key West, Florida. The purpose of the meeting will be to consider a request for:

TWO NEW ELEVATED SINGLE-FAMILY HOUSES, TWO NEW POOLS AND DECKS AT REAR, NEW FENCES AND TWO PARKING SPACES, DEMOLITION OF SINGLE-STORY NON-CONTRIBUTING HOUSE.

#1000 VIRGINIA STREET/#1101 GRINNELL STREET

Applicant - Evan Amato T.S.N Architects Application #12824-0004

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-899-5979 or visit us at www.cityofkeywest.com.

LEGAL NOTICE: A PUBLIC NOTICE BY RESOLUTION OF THE BOARD OF CITY COMMISSIONERS, CITY OF KEY WEST, FLORIDA, IS HEREBY GIVEN.

FOR ADDITIONAL INFORMATION, CONTACT THE PLANNING DEPARTMENT AT 1300 WHITE STREET, KEY WEST, FLORIDA 33440-2000.

FOR THE CITY OF KEY WEST, I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF THE PUBLIC NOTICE AS APPROVED BY THE BOARD OF CITY COMMISSIONERS.

PROPERTY APPRAISER INFORMATION

Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00031740-000000
Account# 1032522
Property ID 1032522
Millage Group 10KW
Location Address 1000 VIRGINIA St, KEY WEST
Legal Description KW G G WATSON SUB I-206 LOT 2 SQR 6 TR 13 OR307-460/64 OR1418-1905/07 OR2731-1718 OR3079-1985
 (Note: Not to be used on legal documents.)
Neighborhood 6097
Property Class SINGLE FAMILY RESID (0100)
Subdivision
Sec/Twp/Rng 05/68/25
Affordable No
Housing



Owner

SONI HANSA V LIVING TRUST 09/15/1998
 830 Truman Ave
 Key West FL 33040

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$124,082	\$125,880	\$106,807	\$109,858
+ Market Misc Value	\$3,114	\$3,114	\$3,114	\$3,114
+ Market Land Value	\$791,669	\$680,723	\$556,613	\$556,613
= Just Market Value	\$918,865	\$809,717	\$666,534	\$669,585
= Total Assessed Value	\$806,506	\$733,187	\$666,534	\$669,585
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$918,865	\$809,717	\$666,534	\$669,585

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$680,723	\$125,880	\$3,114	\$809,717	\$733,187	\$0	\$809,717	\$0
2021	\$556,613	\$106,807	\$3,114	\$666,534	\$666,534	\$0	\$666,534	\$0
2020	\$556,613	\$109,858	\$3,114	\$669,585	\$669,585	\$0	\$669,585	\$0
2019	\$545,331	\$99,178	\$3,114	\$647,623	\$647,623	\$0	\$647,623	\$0
2018	\$580,191	\$100,703	\$3,078	\$683,972	\$683,972	\$0	\$683,972	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	5,786.00	Square Foot	0	0

Buildings

Building ID	2485	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1963
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	1999
Building Name		Foundation	CONCR FTR
Gross Sq Ft	1585	Roof Type	GABLE/HIP
Finished Sq Ft	1273	Roof Coverage	TAR & GRAVEL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	150	Bedrooms	2
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	32	Grade	500
Interior Walls	PLYWOOD PANEL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	252	0	0
FLA	FLOOR LIV AREA	1,273	1,273	0
SBF	UTIL FIN BLK	60	0	0
TOTAL		1,585	1,273	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1973	1974	0x0	1	168 SF	2
LC UTIL BLDG	1989	1990	0x0	1	90 SF	1
FENCES	1997	1998	109 x 4	1	436 SF	2
FENCES	1997	1998	134 x 6	1	804 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
3/3/2021	\$100	Quit Claim Deed	2307095	3079	1985	30 - Unqualified	Improved		
3/23/2015	\$0	Order (to be used for Order Det. Heirs, Probate in		2731	1718	11 - Unqualified	Improved		
8/1/1996	\$165,500	Warranty Deed		1418	1905	Q - Qualified	Improved		

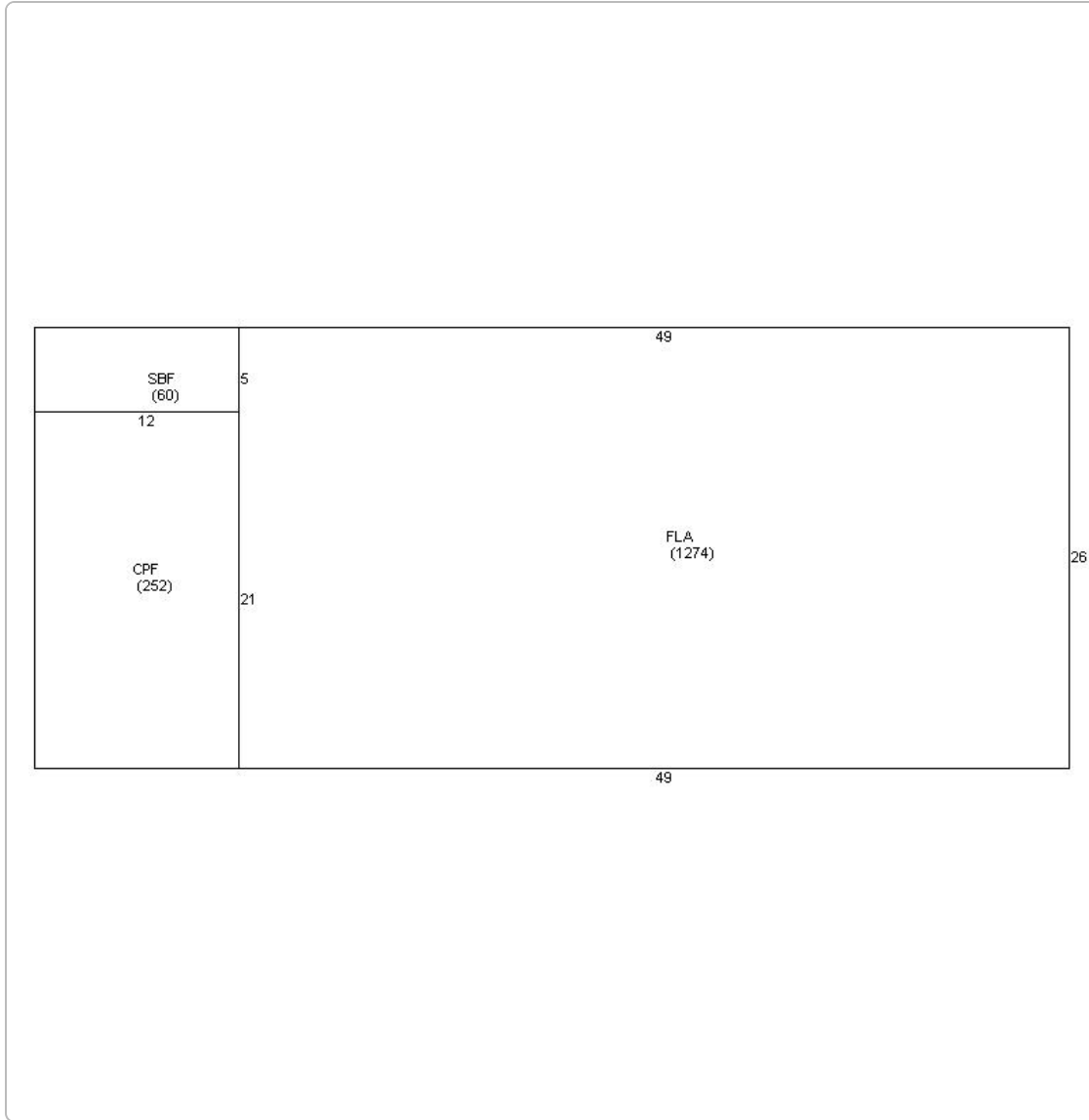
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
07-0647	2/12/2007	7/17/2008	\$11,865	Residential	REPLACE 15 SQS OF ASPHALT SHINGLES W3ITH FLAT ROLL RUBBER
9704285	3/30/1998	4/12/2018	\$10,000	Residential	WOOD PICKET FENCE
97-4285	1/22/1998	7/17/2008	\$10,000	Residential	FENCE

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

2023 TRIM Notice (PDF)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 2/22/2024, 5:14:32 AM

Contact Us

