

Staff Report

9 Addition to existing single family residence- # 7 Sunset Key Drive, Sunset Key- Applicant: Adele V. Stones (H11-01-249)

This application is for new construction of two buildings connected through hallways in Sunset Key. One of the proposed hallways is attached to the existing non historic house. The site where the new design is proposed is lot #7, which is located on the North West tip of the island and not visible from Key West. The proposed application is for the construction of an addition on the east side of the lot. The main house is not historic, nor the surrounding structures.

The new design incorporates two one story pavilions connected by a hallway that creates a U shape footprint. The northernmost structure will be a pool pavilion with a studio and will measure approximately 31'-8" depth by 20'-0" wide. This structure will have a flat roof crowned with a balustrade. A fireplace is proposed in the center of the structure. The second pavilion includes a living room area, bedroom bathrooms and a golf cart barn. This structure has hip roofs and a fireplace is part of the east façade.

Both pavilions will be stucco and will have aluminum high impact resistant doors and windows. The proposed hallways that will connect the two pavilions and the main house will be lower in height than the proposed two structures. They will have gable roofs and their exterior walls will also be finished in stucco. For the proposed golf cart area barn doors they will be custom made with mahogany.

Although Sunset Key does not have historic structures staff understands that new construction guidelines should be reviewed for this application;

Key West's historic district's tightly spaced blocks contain a wide variety of architectural styles, which relate well to each other. The relationships between the buildings create much of the character of the district. Their height, detailing, mass roof forms, and landscaping all contribute to its visual harmony. It is important that new construction harmonize with the existing historical building stock and streetscapes.

1. **Siting** - *New construction must conform to all current city easement, setback and building requirements. No existing building shall be relocated and no new structure shall be placed closer to the sidewalk, street or visible alley, than the distance of pre-existing historic structures. Areas reserved for parks or open space must be retained.*

According to the submitted plans the proposed addition will conform to actual setbacks and height for this particular historic zone district HPRD;

Front yard- 5 ft

Street side- 5 ft

Side- 2.5 ft

Rear- 10 ft
Maximum height 35 ft

2. **Elevation of finished floor above grade** - Applications for buildings with the first finished floor above the minimum height necessary to comply with federal flood regulations will not be approved unless the applicant demonstrates that such elevation does not interfere with the essential form and integrity of properties in the neighborhood. In situations wherein parking is proposed below the first finished floor, HARC shall consider how visible the parking is from the public right-of-way; whether the parking area is enclosed or otherwise concealed by walls, louvers, lattice, landscaping or other features; and whether fill and/or berms are used to minimize the gap between the first finished floor and the crown of the nearest road.

This will not be the case.

3. **Height** - must not exceed two and a half stories. There must be a sympathetic relationship of height between new buildings and existing adjacent structures of the neighborhood. New buildings must be compatible with historic floor elevations. The height of all new construction shall be based upon the height of existing structures within the vicinity.

The proposed structure will be one story.

4. **Proportion, scale and mass** - massing, scale and proportion shall be similar to that of existing historical buildings in the historical zone. No new construction shall be enlarged so that its proportions are out of scale with its surroundings. No new construction shall be more than two and a half stories. No structure shall outsize the majority of structures in the streetscape or historic zone.

The proportion, mass and scale are in keeping with the main house, which is a two story building. The proposed addition will not outsize any surrounding structure.

5. **Compatibility** - Design must be compatible with Key West architectural characteristics in the historical zones. All new construction must be in keeping with the historic character in terms of size, scale, design, materials, color and texture.

The proposed design is compatible with architectural features found in the existing house and in the surrounding structures.

6. **Building Detail** – All new buildings shall incorporate a level of detail that assures compatibility with the surrounding historic context. New construction shall not precisely mimic the details of historic buildings but should have features that are compatible with the lines of historic architecture.

The new proposed building will incorporate details that can be found in the main house.

7. **Relationship of materials** – Materials used on new construction shall be of similar color, dimension, texture, and appearance as historic fabrics. The predominant exterior finish in historic zones is wood weatherboard, clapboard, drop siding, or board and batten. Exceptions for the use of composite materials may be permissible. Roofing is primarily sheet metal or metal shingles. New construction shall establish a relationship with existing historic structures by utilizing similar finishes and metals.

The proposed new construction materials for the building are compatible with existing materials found in the surrounding buildings.

Although Sunset Key does not have any historic structures staff understands that the proposed design is in keeping with the surrounding non historic urban context. The proposed design will not have any visual effect in Old Town.

Application



CITY OF KEY WEST Fax 809-3978
BUILDING DEPARTMENT

CERTIFICATE of APPROPRIATENESS

APPLICATION # H-11-a-249

OWNER NAME: Tam & Linde Walsh

DATE: 2/25/11

OWNERS ADDRESS: 7 Sunset Key Dr.
Key West, FL 33040

PHONE #: (305) 296-7700

APPLICANT'S NAME: Adele V. Jones

PHONE #: 294 0252

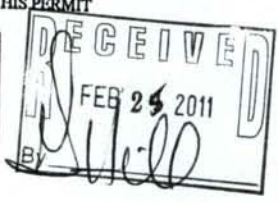
APPLICANT'S ADDRESS: 221 Simonton St KW

ADDRESS OF CONSTRUCTION:
7 Sunset Key Dr., Key West, FL 33040

OF UNITS: 1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:
Addition to existing single family residential unit as shown on plans.



Chapter 837.06 F.S.- False Official Statements- Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or s. 775.083

This application for Certificate of Appropriateness must precede applications for building permits, variances and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required submittals will be considered incomplete and will not be reviewed for approval.

REQUIRED SUBMITTALS

<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TREE REMOVAL PERMIT (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings or additions)
<input type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

Date: 2/25/11

Applicant Signature: Adele V. Jones

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

Not listed in surveys / Not historic
Guidelines for Additions, Alterations
and new construction (pages 36-38).

Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

Historic Architectural
Review Commission

Project Photos

7 Sunset Key



View of pool and house, looking North.



View of yard where proposed addition to be located, looking West.

7 Sunset Key



View of yard where proposed addition to be located, looking southwest.



Roadway view of front gate and beach to far right, looking southwest.

7 Sunset Key



View from roadway, of house and yard where addition to be located, looking South.



View from roadway, of yard where addition to be located, looking South.

Meeting Minutes

Site Plans

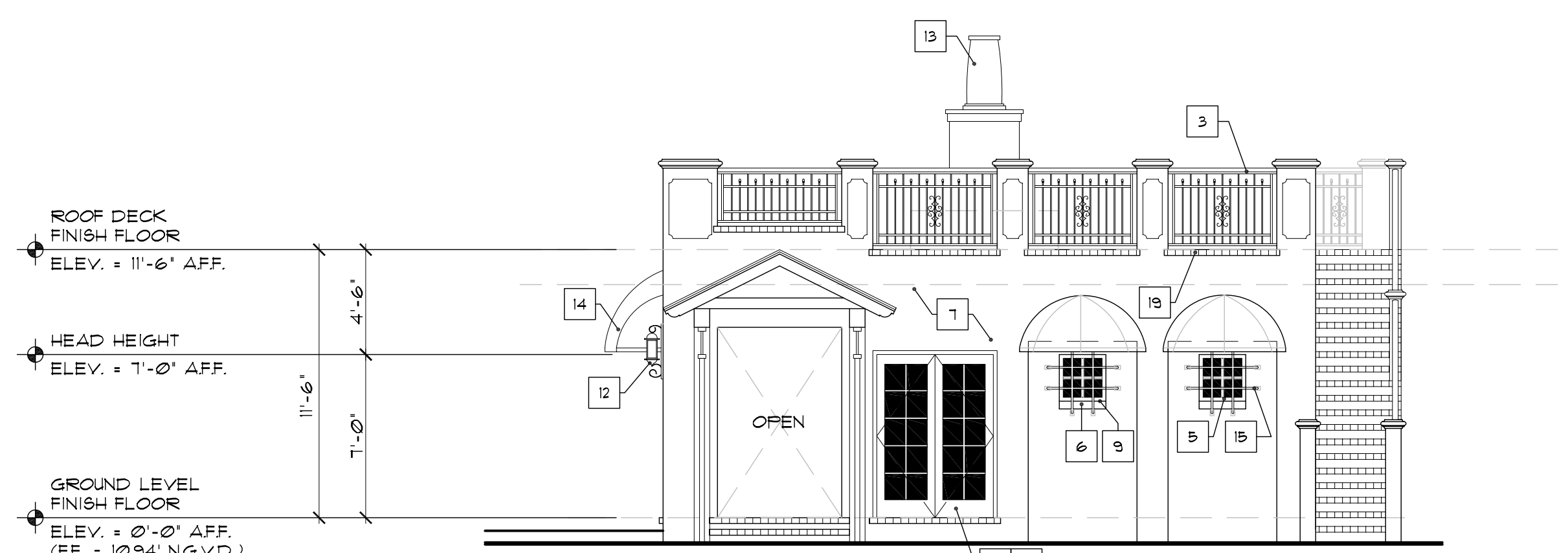
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ELEVATION NOTES

- 01 STANDING BEAM ROOFING SYSTEM 'ENBERT' - SERIES 1300 W/ 1" HIGH 180° BEAM W/ 240° ALUMINUM ALLOY #2025-H14 PANELS W/ SANDSTONE 'RSI-E25' KYNAR 500 FINISH OR EQUAL (COLOR TO MATCH MAIN HOUSE) OVER 'ICE & WATER SHIELD' ON 3/8" FELT T.T. TO 19/32" A.P.A. RATED EXTERIOR GRADE FLYWOOD SHEATHING (TYP.)
- 02 2" x 8" S4S CLEAR CEDAR OUTRIGGERS (NOTE: KING OUTRIGGERS LONGER) - PAINTED - @ 2'-0" O.C. ON 1" x 6" T & G SMOOTH CLEAR CEDAR SOFFIT (PAINTED) - SEE REFLECTIVE CEILING PLAN FOR LAYOUT. PROVIDE SAMPLE ALUM. DECORATIVE RAIL W/ E.S.F. POWDER COAT FINISH (COLOR WHITE TO MATCH MAIN HOUSE) - TOP OF RAIL MIN. 36" W/ VERTICAL PICKETS SPACED TO BLOCK PASSAGE OF 4" SPHERE (BOTTOM RAIL MAX. 2" AFF. - TYP.) - PROVIDE SHOP DRAWINGS FOR STYLE SIZES AND DESIGN SAFETY. SAMPLE BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL. (NOTE: ALL EXT. RAILINGS SHALL COMPLY W/ F.B.C. 2001 EDITION).
- 03 CONT. ALUM. DRIP EDGE TO MATCH ROOFING SYSTEM ON CONT. P.T. 1 x 2 ON CONT. 2 x 6 SMOOTH CLEAR CEDAR FASCIA - PAINTED
- 04 'CGI' CASEMENT FIXED ALUM. WINDOWS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE
- 05 1" TH. x 4" HT. SMOOTH RAISED STUCCO SILL WINDOW BANDING, PAINTED (TYP.)
- 06 EXTERIOR FRAME WALLS TO RECEIVE 1/8" H. - 3-COATS SMOOTH STUCCO FINISH (TO MATCH MAIN HOUSE) ON 3/4 HI-RIB GALV. MTL. LATH - PAINTED.
- 07 'CGI' ALUM. FRENCH DOORS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE
- 08 ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN MASTIC OVER (1) LAYER OF 'ETERNABOND' OR EQUAL.
- 09 ALL EXTERIOR DOORS & WINDOWS TO HAVE 'VULKEM' CAULKING @ BUCK/WD. FRAME/ALUM. FRAME CONDITIONS (TYP.)
- 10 ALL WINDOWS TO HAVE 1 x P.T. WD BUCKS ANCHORED TO WOOD JAMB W/ #4 SCREWS 1/4" 884 CRETE-FLEX INSTALLED PER PRODUCT APPROVAL.
- 11 SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER PRIOR TO PURCHASE).
- 12 WELLINGTON CHIMNEY TOP BY SUPERIOR CLAY CORPORATION OR EQUAL.
- 13 CANVAS DOME AWNING MANUF. SUNBRELLA FIRE RESIST. BY 'TROPICAL AWINGS' OR EQUAL (COLOR TO MATCH MAIN HOUSE) - TO BE WRAPPED ON STEEL PIPE (SCHEDULE 40 GALV. STEEL - PAINTED TO MATCH FABRIC. (SEPARATE PERMIT)
- 14 WALL MOUNTED DECORATIVE ALUMINUM WINDOW BARS W/ E.S.F. POWDER COAT FINISH (COLOR BLACK) BY SOUTH FLORIDA ALUMINUM OR EQUAL.
- 15 1/4" RAISED SMOOTH STUCCO BASE, TYPICAL AROUND ENTIRE STRUCTURE.
- 16 EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP. @ ENTIRE PERIMETER).
- 17 2 LAYER STEP BANDING W/ 'TOUGH COAT FINISH' - TOP LAYER 2" H. W/ 1/2" PROJECTION - BOTT. LAYER 1" H. W/ A 1" PROJECTION.
- 18 IMITATION COQUINA OR EQUAL-NON-SLIP W/ BULLNOSE AT THE OUTER EDGE. ENTIRE DECK TO BE MUDSET & GROUTED OVER 125" LIQUID WATERPROOFING ON CONCRETE DECK. 'VULKEM 360' OR EQUAL (TYP.).
- 19 'BUNFORD FIREPLACE' BY SUPERIOR CLAY CORP. MODEL #R4848 W/ CLASS 'A' METAL FLUE (NOTE: THIS FIREPLACE WILL NOT HAVE ANY GAS CONNECTION).
- 20 FIREPLACE SHALL RECEIVE A HEARTH AS PER SECT. 2111.9 FBC 2001 ED. - VERIFY WITH OWNER ON MATERIALS



1 PROPOSED NORTH ELEVATION
A3.03 SCALE : 3/16"=1'-0"



2 PROPOSED SOUTH COURTYARD ELEVATION
A3.03 SCALE : 3/16"=1'-0"



3 PROPOSED SOUTH ELEVATION
A3.03 SCALE : 3/16"=1'-0"

EXTERIOR STUCCO

- METAL LATH APPLICATION:
1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROUPEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
 2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
 3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
 4. TWO (2) COAT WORKS (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS: TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
 5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH: TOTAL (1) INCH THICK. AREAS: TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
 6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
 7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
 8. ALL POLYSTYRENE BOARD SHALL BE INSTALLED AS PER CURRENT MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR INSTALLATION OF SYSTEM AS APPLICABLE TO EACH TYPE OF SUBSTRATE INDICATED. REINFORCING FABRIC CONSISTS OF A BALANCED, ALKALINE-RESISTANT OPEN-WEAVE GLASS-FIBER COMPLYING WITH ASTM D 578 AND WEIGHING NOT LESS THAN 8 OZ. PER SQUARE YARD.

ELEVATION NOTES

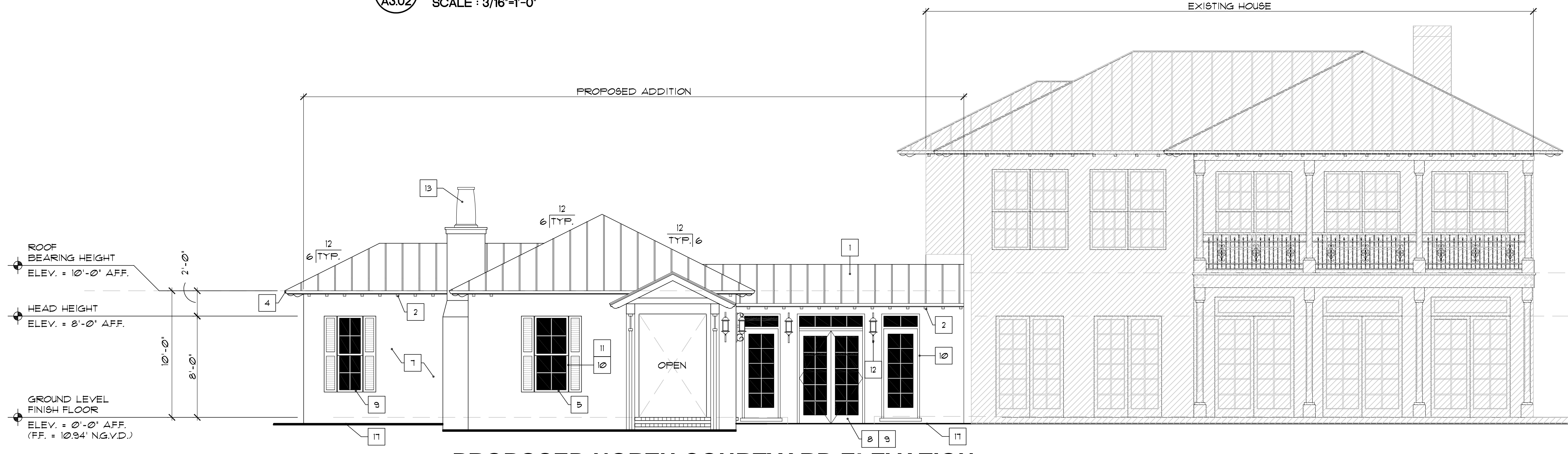
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- 20 'TRUMFORD FIREPLACE' BY SUPERIOR CLAY CORP. MODEL #R498 W/ GLASS 'A1' METAL FLUE (NOTE: THIS FIREPLACE WILL NOT HAVE ANY GAS CONNECTION).
- 21 FIREPLACE SHALL RECEIVE A HEARTH AS PER SECT. 2111.9 FBC 2007 ED. - VERIFY WITH OWNER ON MATERIALS



1 PROPOSED EAST ELEVATION
A3.02 SCALE: 3/16"=1'-0"



2 PROPOSED WEST ELEVATION
A3.02 SCALE: 3/16"=1'-0"



3 PROPOSED NORTH COURTYARD ELEVATION
A3.02 SCALE: 3/16"=1'-0"

EXTERIOR STUCCO

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Architect, Planner and Designer
AA-26002044
205 George Bush Blvd.
Delray Beach, Florida 33444
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR
BIDS
PERMIT
CONSTRUCTION

PROJECT TITLE
**SUNSET KEY
EXISTING WALSH
RESIDENCE
ADDITION**

**SUNSET KEY,
KEY WEST, FL.**

CLIENT APPROVAL

REVISIONS

FILE NUMBER
317A302

DRAWING TITLE
**PROPOSED
ELEVATION**

DATE
2.14.11 | DRAWN BY
GE/JC

JOB NUMBER
2010317

DRAWING NUMBER

A3.02

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FLOOR PLAN NOTES

- 01 TYP. WALL FRAMING DETAIL - SEE STRUCT. DWG'S FOR STRAPPING AND SIZE 4 FOR ALL CONNECTIONS (TYP.)
- 02 SEE BUILDING SECTIONS 4 FINISH SCHEDULES FOR ALL FINISHES 4 MILLWORK (NOTE: ALL ARCHITECTURAL FINISHES 4 MILLWORK ARE FOR PRICING PURPOSES ONLY)
- 03 SEE ROOM FINISH SCHEDULES FOR ALL WALLS, CEILING 4 FLOOR COVERINGS (TYP.)
- 04 ELECT. METER - SEE ELECTRICAL DRAWINGS
- 05 2' x 2' NON-SLIP MARBLE SHOWER FLR. TO SLOPE TO DRAIN SET IN SHOWER PAN. ALL MARBLE TO BE PLACED ON 5/16" 'DUROCK' (TYP.) SUBFLOORING @ AREAS TO RECEIVE TILE OR MARBLE.
- 06 20" H x 20" D TILED BENCH W/ 5/16" 'DUROCK' OVER 3 5/8" 20 GA. METAL STUDS @ 20" O.C.
- 07 FURRED OUT WALL 6' TO 8' FOR PLUMBING STACK - SEE PLUMBING PLANS FOR LOCATIONS.
- 08 BATT SOUND INSULATION TO BE INSTALLED IN ALL WALLS.
- 09 WATER CLOSET (STYLE AND COLOR TO BE SELECTED BY OWNER).
- 10 LAV. (STYLE AND COLOR TO BE SELECTED BY OWNER).
- 11 TEMPERED FRAMELESS GLASS SHOWER ENCLOSURE 4 DOOR 3/8" MIN. THICKNESS W/ BRUSHED CHROME CLIPS.
- 12 9" WIDE SS. BAR SINK (VERIFY W/OWNER)
- 13 GRANITE BAR COUNTERTOP.
- 14 'SUB-ZERO' F-UC-24R-RH 24" REF (VERIFY W/ OWNER ON STYLE 4 FINISH).
- 15 ELECT. WATER HEATER: CAPACITY AS DETERMINED BY MECHANICAL ENGINEER - SEE PLUMBING PLAN.
- 16 'CGI' ALUM. FRENCH DOORS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE
- 17 'CGI' FIXED 4 CASEMENT ALUM. WINDOWS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE
- 18 ALL EXTERIOR DOORS 4 WINDOWS TO HAVE 'VULKEM' CAULKING @ BUCK / WD. FRAME / ALUM. FRAME OR METAL CONDITIONS (TYP.).
- 19 ALUM. EXT. DOOR THRESHOLD SET IN MASTIC W/ 'FEEL 4 STICK' MEMBRANE W/ 1/2" MAX. HT.
- 20 AIR HANDLING UNIT. CAPACITY AS DETERMINED BY MECH. ENGINEER - SEE HVAC PLAN. ALL UNITS TO BE EQUIPPED W/ UV LIGHT AT COIL 4 DRAIN PAN. (NOTE: LOCATED IN ATTIC)
- 21 A/C COMPRESSOR ON 4TH CONC. PAD (VERIFY W/STRUCTURAL); CAPACITY AS DETERMINED BY MECH. ENGINEER - SEE HVAC PLAN 4 SITE PLAN.
- 22 4" FLOOR DRAIN - SEE PROPOSED PLUMBING DRAWINGS FOR ALL CONNECTIONS.
- 23 ALL WINDOW CORNERS 4 SILLS TO BE WRAPPED W/ 'ETERNABOND WINDOW SEAL, TURNING UP 12" @ JAMBS (NOTE: WINDOW TO HAVE STRUCTURAL FRAMED SILLS - SEE STRUCT. DWG'S.

- 24 1 x 12 CEDAR SHELVING AND ROD AT 68" AFF. COORDINATE WITH OWNER.
- 25 LINE OF ROOF OVERHANG ABOVE
- 26 22' x 36' ATTIC ACCESS. SEE ROOF FRAMING PLAN.
- 27 VANITY - TO RECEIVE MARBLE W/BULLNOSE EDGE (VERIFY W/OWNER COLOR)
- 28 ALUM. DECORATIVE RAIL W/ E.S.P. POWDER COAT FINISH (COLOR WHITE) TO MATCH MAIN HOUSE - TOP OF RAIL MIN. 42" W/ VERT. PICKETS SPACED TO BLOCK PASSAGE OF 4" SPHERE (BTM. RAIL MAX. 2" AFF. -TYP.) - PROVIDE SHOP DWG'S. FOR STYLE, SIZES AND DESIGN SAFETY SAMPLE BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL. (NOTE: ALL EXT. RAILINGS SHALL COMPLY W/ F.B.C. 2001 EDITION).
- 29 EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- 30 UPPER AND LOWER WOOD RAISED PANEL CABINETS W/ CROWN MOLDING. CONTRACTOR TO PROVIDE SHOP DWG'S. (CABINETS TO PROVIDE LIP FOR HIDDEN OPTIONAL LOW VOLTAGE LIGHTING).
- 31 TELEPHONE 4 CABLE PANEL @ 60" AFF
- 32 ELECTRICAL SERVICE PANEL @ 60" ABOVE FLOOR.
- 33 4" H CONC. SLAB (3000 PSI) W/ 6 x 6-W/4 x W/4 W/W.F. OVER 10-MIL POLYETHYLENE VAPOR BARRIER LAP 6" AND TAPE ALL JOINTS ON WELL COMPACTED FILL. TERMITE TREATED (SOIL PREPARATION - 'DURBAN-TC' 1% - 5 GAL PER 10 SF. OF SLAB AREA.
- 34 CONTRACTOR TO VERIFY W/ OWNER ALL REQUIRED HT'S 4 BACKING FOR ALL PLASMA/ FLAT SCREEN TV LOCATIONS (TYP.).
- 35 ALL PORCHES TO RECEIVE IMITATION COQUINA OR EQUAL NON-SLIP W/ BULLNOSE AT THE OUTER EDGE. ENTIRE DECK TO BE MUDSET 4 GROUTED OVER 125' LIQUID WATERPROOFING ON CONCRETE DECK. 'VULKEM 360' OR EQUAL (TYP.).
- 36 FIREPLACE SHALL RECEIVE A HEARTH AS PER SECT. 211.9 FBC 2001 ED. -VERIFY WITH OWNER ON MATERIALS
- 37 46" x 42" STANDARD ISOKERN W/ STEEL DAMPER FIREBRICK IN HERRING BONE PATTERN BY 'FIRESIDE' OR EQUAL W/ CLASS 'A' METAL FLUE (NOTE: THIS FIREPLACE WILL NOT HAVE ANY GAS CONNECTION - VERIFY W/OWNER).

WALL LEGEND

1 - - - - -
EXISTING WALLS, WINDOWS 4 DOORS TO BE REMOVED.

2 - - - - -
EXISTING 4' TO 6' INTERIOR WALL PARTITION TO REMAIN 'AS IS'.

3 - - - - -
EXISTING EXT. WALLS, 8' CONCRETE BLOCK WALL W/ 2-COAT SMOOTH STUCCO SIDING FIN. PAINTED @ EXTERIOR FACE. ON INTERIOR FACE, 3/8" GYPSUM WALL BOARD. PAINTED ON 1 x 2 P.T. FURRING @ 24" O.C. (INTERIOR LOAD BEARING WALL W/ 3/4" PLASTER BOARD ON EA. SIDE OVER 8' CONCRETE BLOCK).

4 [Hatched Box]
NON-LOAD BEARING, 4 1/8" MIN. INT. PARTITION WALL W/ (1) LAYER OF 5/8" TYPE-'X' G.W.B. W/ SMOOTH LEVEL IV FINISH - PAINTED (MATCH EXISTING) ON EA. SIDE OF 3 5/8" 25GA METAL STUDS @ 24" O.C. (SEE DIM. FLR. PLANS FOR ACTUAL WALL THICKNESS) (M.R. DRYWALL @ BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE).

5 [Cross-hatched Box]
LOAD BEARING 5/8" INT. PARTITION WALL W/ (1) LAYER OF 5/8" TYPE-'X' G.W.B. W/ SMOOTH LEVEL IV FINISH - PAINTED ON EA. SIDE OF 4 1/4" 25GA METAL STUDS @ 16" O.C. (SEE DIM. FLR. PLANS FOR ACTUAL WALL THICKNESS) (M.R. DRYWALL @ BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE). (NOTE: CONTRACTOR TO PROVIDE ALTERNATE, IN LIEU OF 4" METAL STUDS, P.T. 2 x 6 @ 16" O.C. - NEED TO FIELD ADJUST DIMENSIONS FOR THICKNESS).

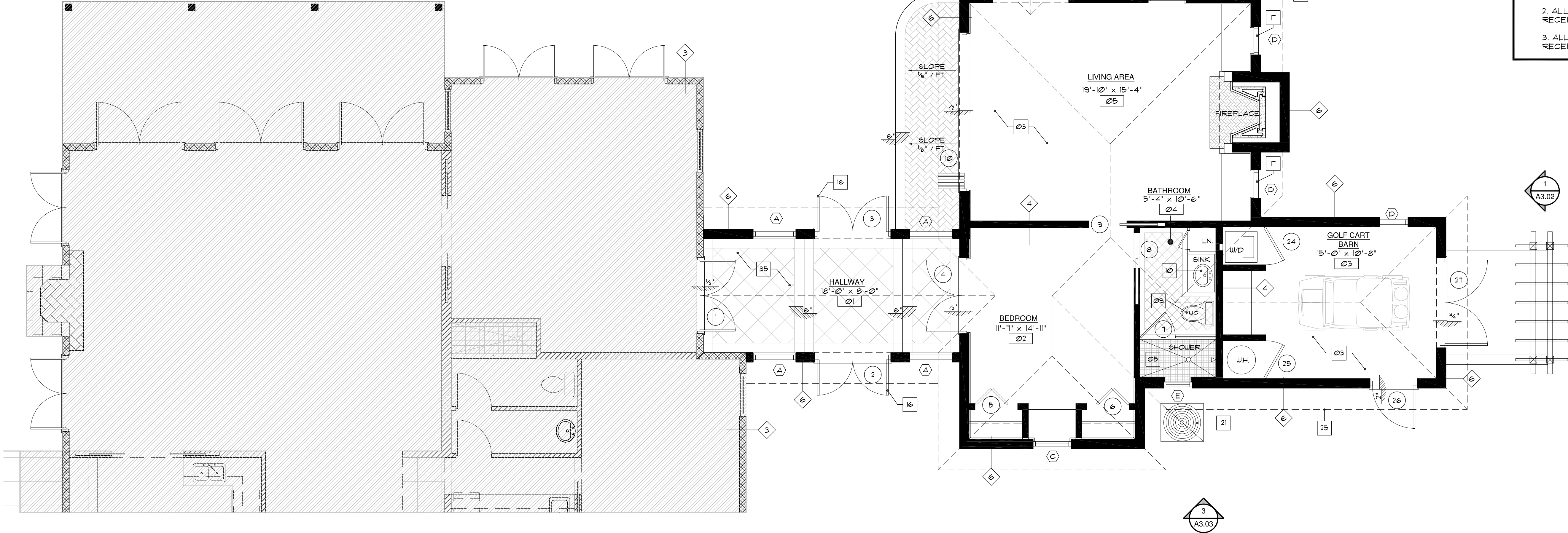
6 [Solid Box]
EXT. WALLS, 8' CONCRETE BLOCK WALL W/ 2-COAT SMOOTH STUCCO FIN. PAINTED @ EXTERIOR FACE (MATCH EXISTING FIN. 4 PAINT - VERIFY W/ OWNER ON FINISH). ON INTERIOR FACE, 3/8" GYPSUM WALL BOARD ON 1 x 2 P.T. FURRING @ 24" O.C. W/ R4.1 FI-FOIL BACK INSULATION BETWEEN FURRING STRIPS 4 G.W.B. (M.R. G.W.B. @ WET BATHROOMS 4 KITCHEN AREAS) W/ SMOOTH LEVEL IV FINISH - PAINTED - MATCH EXISTING.

[Square with X]
EXT. CONCRETE COLUMN TO REMAIN 'AS IS'

[Circle with B]
WINDOW NUMBER

[Circle with 2]
DOOR NUMBER

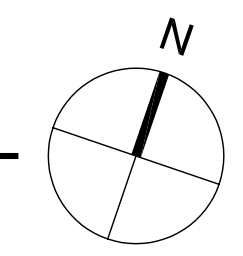
NOTE:
1. ALL INT. WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" PLYWOOD OR WOOD BLOCKING.
2. ALL BATHROOM 4 KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
3. ALL TILED FLOORS AND WALLS TO RECEIVE 5/16" 'DUROCK' BACKING OR EQUAL.



2
A2.00

FLOOR PLAN (NOTED)

SCALE : 1/4"=1'-0"



Architect, Planner and Designer
AA-26002044
 205 George Bush Blvd.
 Delray Beach, Florida 33444
 TEL: 561-276-6011
 FAX: 561-276-6129

ISSUED FOR HARC.
 BIDS
 PERMIT 02.25.11
 CONSTRUCTION

PROJECT TITLE
**SUNSET KEY
 EXISTING WALSH
 RESIDENCE
 ADDITION**

**SUNSET KEY
 KEY WEST, FL.**

CLIENT APPROVAL

REVISIONS

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FILE NUMBER
317A200N

DRAWING TITLE
**PROPOSED
 FLOOR PLAN**

DATE
2.14.11 DRAWN BY
GE/JC

JOB NUMBER
2010317

DRAWING NUMBER

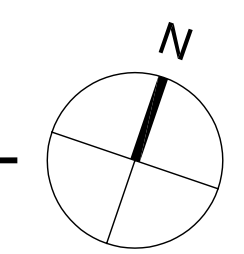
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WALL LEGEND

- 1 EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.
 - 2 EXISTING 4' TO 6' INTERIOR DRYWALL PARTITION TO REMAIN 'AS IS'.
 - 3 EXISTING EXT. WALLS, 8' CONCRETE BLOCK WALL W/ 2-COAT SMOOTH STUCCO SIDING FIN. PAINTED @ EXTERIOR FACE. ON INTERIOR FACE, 5/8" GYPSUM WALL BOARD. PAINTED ON 1 x 2 FT. FURRING @ 24" O.C. (INTERIOR LOAD BEARING WALL W/ 3/4" PLASTER BOARD ON EA. SIDE OVER 8' CONCRETE BLOCK).
 - 4 NON-LOAD BEARING, 4 1/8" MIN. INT. PARTITION WALL W/ (1) LAYER OF 5/8" TYPE-'X' G.W.B. W/ SMOOTH LEVEL IV FINISH - PAINTED (MATCH EXISTING) ON EA. SIDE OF 3 5/8" 25GA METAL STUDS @ 24" O.C. (SEE DIM. FLR. PLANS FOR ACTUAL WALL THICKNESS) (MR. DRYWALL @ BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE.) (NOTE: CONTRACTOR TO PROVIDE ALTERNATE IN LIEU OF 4" METAL STUDS, P.T. 2 x 6 @ 16" O.C. - NEED TO FIELD ADJUST DIMENSIONS FOR THICKNESS.)
 - 5 LOAD BEARING 5/4" INT. PARTITION WALL W/ (1) LAYER OF 5/8" TYPE-'X' G.W.B. W/ SMOOTH LEVEL IV FINISH - PAINTED ON EA. SIDE OF 4(400@162-54) 16 GA. MTL. STUDS @ 16" O.C. (SEE DIM. FLR. PLANS FOR ACTUAL WALL THICKNESS) (MR. DRYWALL @ BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE.) (NOTE: CONTRACTOR TO PROVIDE ALTERNATE IN LIEU OF 4" METAL STUDS, P.T. 2 x 6 @ 16" O.C. - NEED TO FIELD ADJUST DIMENSIONS FOR THICKNESS.)
 - 6 EXT. WALLS, 8' CONCRETE BLOCK WALL W/ 2-COAT SMOOTH STUCCO FIN. PAINTED @ EXTERIOR FACE (MATCH EXISTING FIN. & PAINT - VERIFY W/ OWNER ON FINISH). ON INTERIOR FACE, 5/8" GYPSUM WALL BOARD ON 1 x 2 FT. FURRING @ 24" O.C. W/ R41 FI-FOIL BACK INSULATION BETWEEN FURRING STRIPS & G.W.B. (MR. G.W.B. @ WET BATHROOMS & KITCHEN AREAS) W/ SMOOTH LEVEL IV FINISH - PAINTED - MATCH EXISTING.
 - EXT. CONCRETE COLUMN TO REMAIN 'AS IS'
 - WINDOW NUMBER
 - DOOR NUMBER
- NOTE:
1. ALL INT. WALLS W/ CABINETS TO BE PROVIDED W/ 1/2" PLYWOOD OR WOOD BLOCKING.
 2. ALL BATHROOM & KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
 3. ALL TILED FLOORS AND WALLS TO RECEIVE 5/16" 'DUROCK' BACKING OR EQUAL.

1 DIMENSION FLOOR PLAN
A2.00D SCALE: 1/4"=1'-0"



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FAX: 561-276-6129

ISSUED FOR HARC.
BIDS
PERMIT 02.25.11
CONSTRUCTION

PROJECT TITLE
**SUNSET KEY
EXISTING WALSH
RESIDENCE
ADDITION**

**SUNSET KEY
KEY WEST, FL.**

CLIENT APPROVAL
REVISIONS

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FILE NUMBER
317A200D

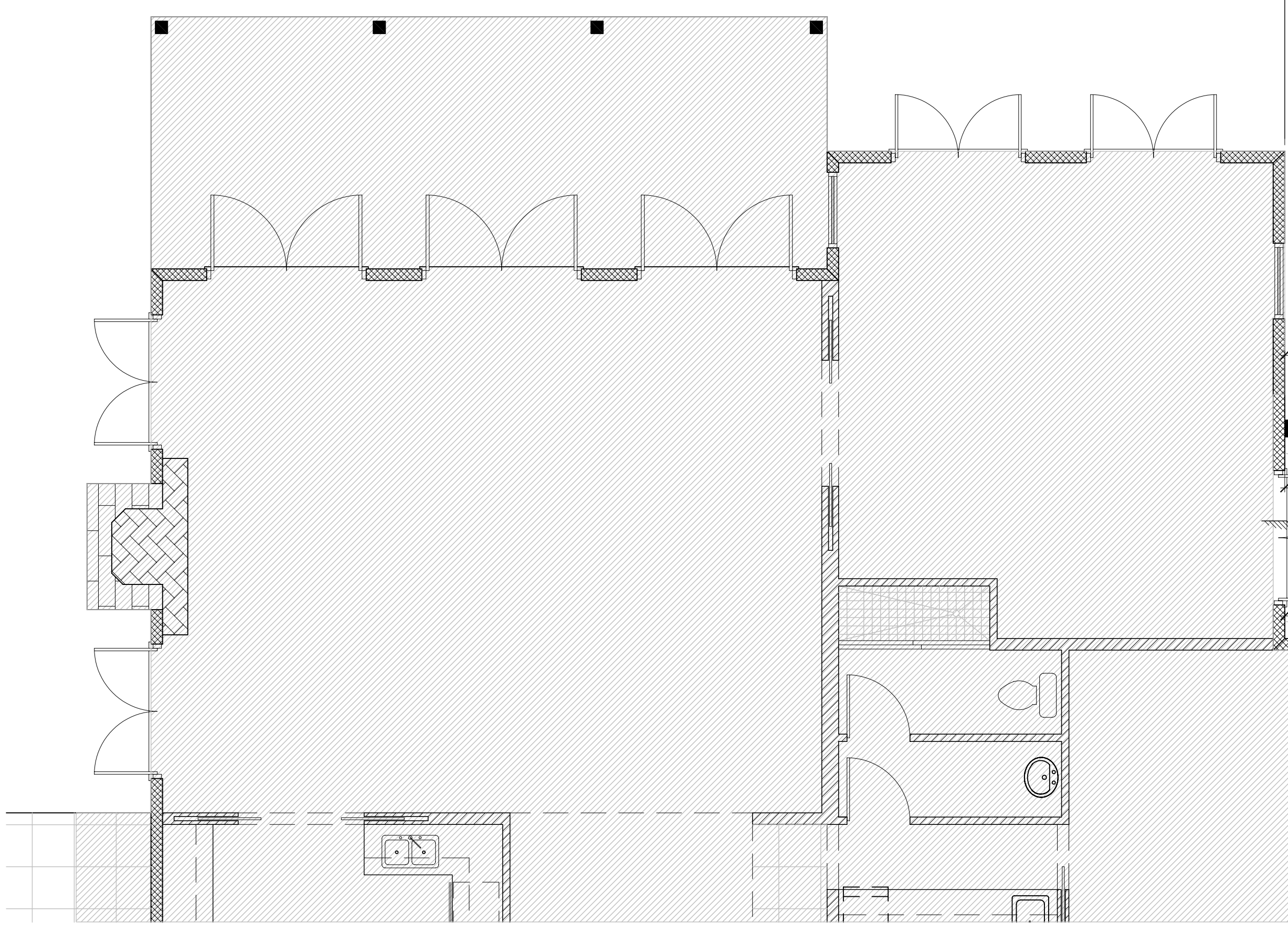
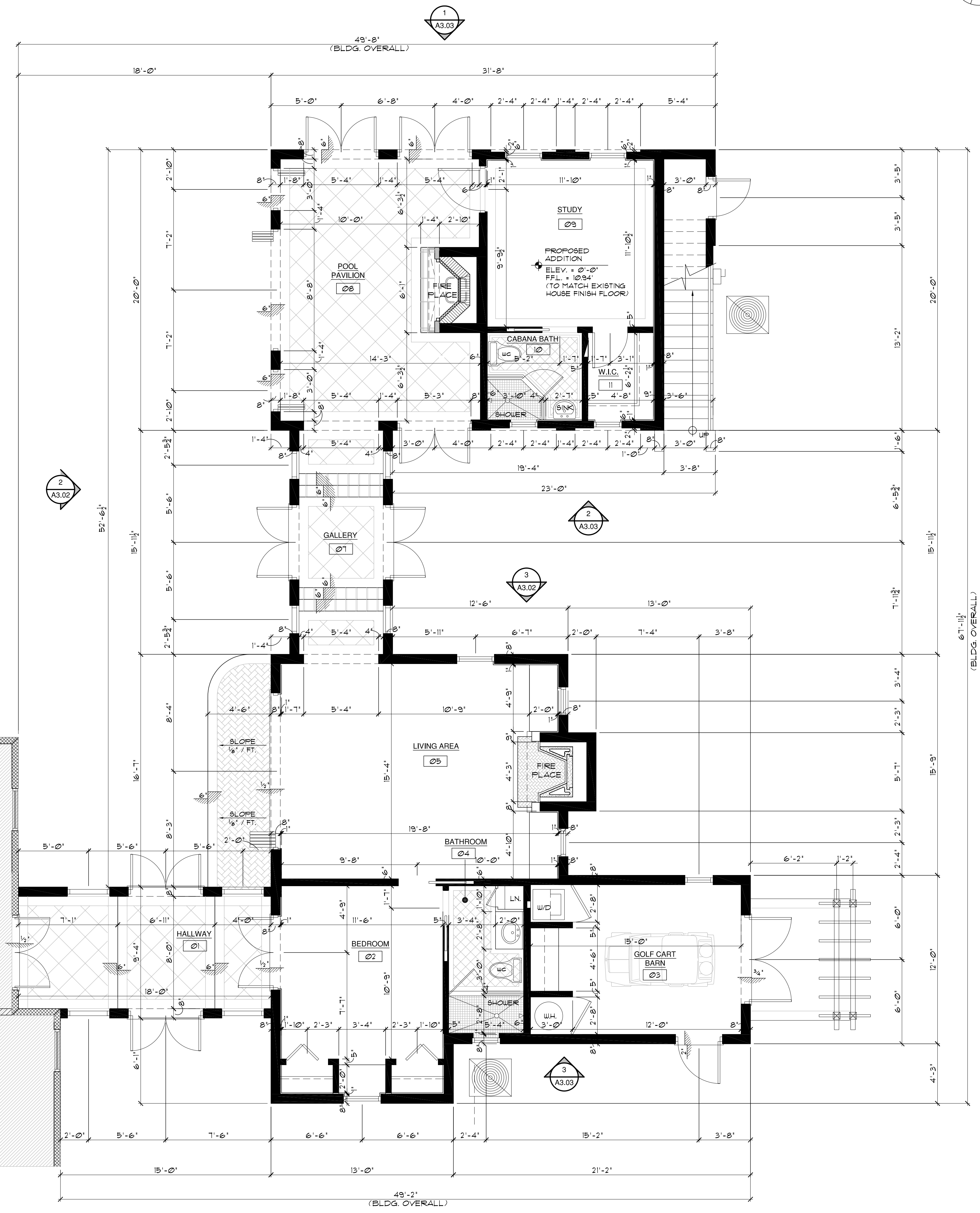
DRAWING TITLE
**PROPOSED
DIMENSION
FLOOR PLAN**

DATE
2.14.11 DRAWN BY
GE/JC

JOB NUMBER
2010317

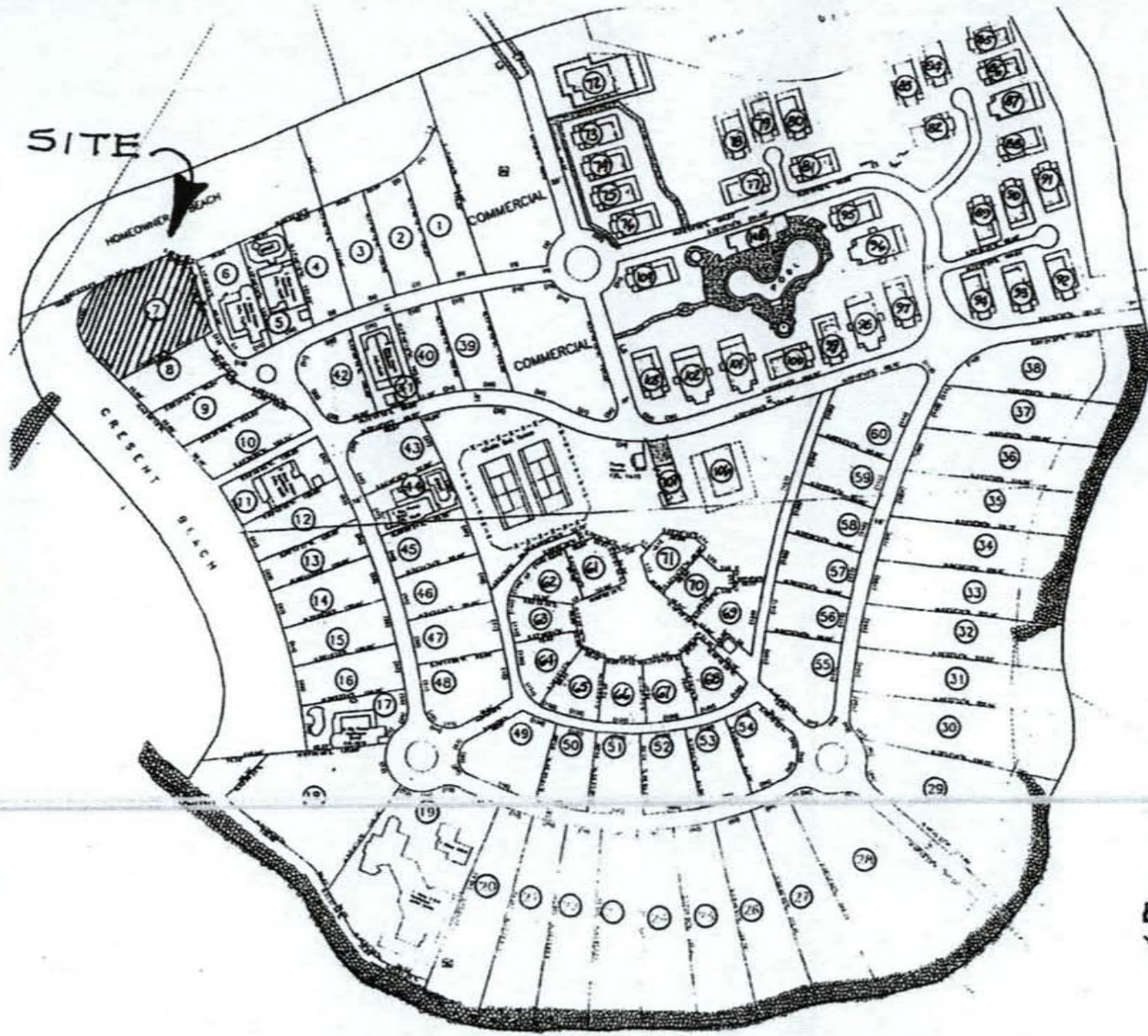
DRAWING NUMBER

A2.00D



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SITE



Note: All roadways on Sunset Key are named Sunset Key Dr.

SUNSET KEY

— STREET ADDRESSES —

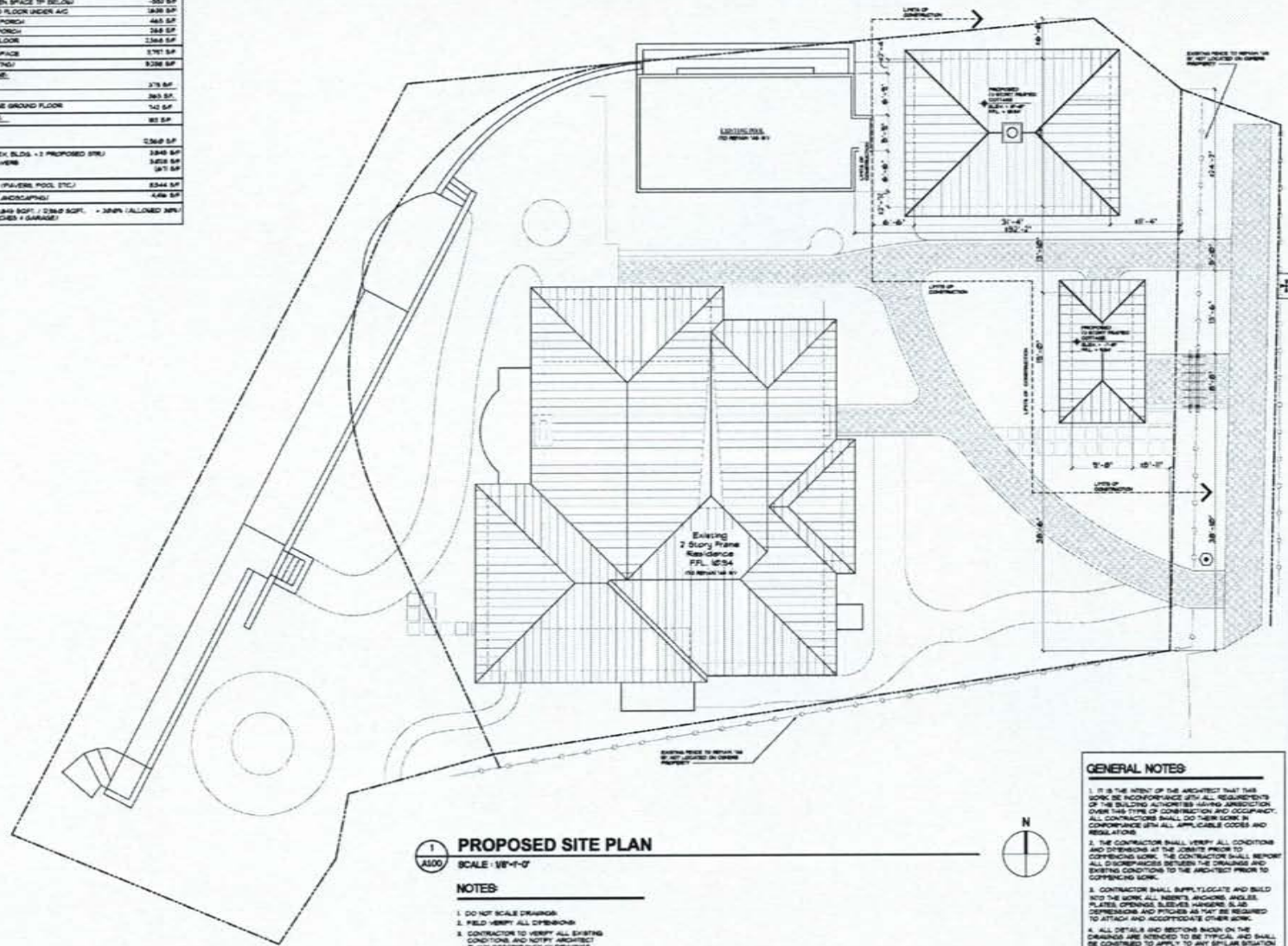
6/11/98 JPY.



Previous Approved Plans

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AREA CALCULATIONS	
EXISTING TWO STORY TRINITY HOUSE	1362 SF
EXISTING FIRST FLOOR UNDER A/C	426 SF
EXISTING FRONT COVERED PORCH	426 SF
EXISTING SIDE COVERED PORCH	148 SF
TOTAL EXISTING SECOND FLOOR	1362 SF
EXISTING SECOND FLOOR UNDER A/C	1362 SF
EXISTING EXISTING SECOND FLOOR UNDER A/C	1362 SF
EXISTING REAR COVERED PORCH	443 SF
EXISTING SIDE COVERED PORCH	148 SF
TOTAL EXISTING SECOND FLOOR	2368 SF
TOTAL AIR CONDITIONED SPACE	3761 SF
TOTAL UNDER ROOF EXISTING	8336 SF
PROPOSED SUBS. COTTAGE	
1ST FLOOR UNDER A/C	373 SF
COVERED PORCH	263 SF
TOTAL PROPOSED COTTAGE GROUND FLOOR	142 SF
PROPOSED GART GARAGE	83 SF
TOTAL SITE AREA	12369 SF
TOTAL BLDG FOOTPRINT (EX. BLDG. + 1 PROPOSED STRU)	3249 SF
DRIVEWAY + GARAGE PAVEMENT	3078 SF
POOL DECK PAVEMENT	3871 SF
TOTAL PAVEMENT AREA (PAVEMENT, POOL, ETC.)	8344 SF
TOTAL PAVED AREA (LANDSCAPING)	4466 SF
TOTAL LOT COVERAGE + 100% SQFT. + 1200% SQFT. + 300% ALLOWED SQFT.	
INCLUDES COVERED PORCHES + GARAGE	



1
A100
PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"

- NOTES:**
- DO NOT SCALE DRAWINGS.
 - FIELD VERIFY ALL DIMENSIONS.
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS. (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.

GENERAL NOTES

- IT IS THE INTENT OF THE ARCHITECT THAT THE WORK BE ACCORDANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL REINFORCING ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, ETC. DIMENSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMPANISH OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONTRASTED TO APPLY TO ANY SIMILAR SITUATION UNLESS SHOWN IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.
- SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 1500 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.

LEGAL DESCRIPTION

LEGAL DESCRIPTION: A certain parcel of land situated in the City of Key West, Florida, and County of Monroe, Florida, known as Lot 12 of Block 12, of the Sunset Key Subdivision, as shown on the plat of said subdivision filed for record in Public Records of Monroe County, Florida, at Key West, Florida, on this 15th day of August, 1988, and as more fully described in the plat of said subdivision, the legal description of which is as follows: ...

SUNSET KEY, KEY WEST, FL.

CLIENT APPROVAL: _____
REVISED: _____

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FILE NUMBER: 12GA100

DRAWING TITLE
SITE PLANS

DATE: 2.27.02
JOB NUMBER: 200120

DRAWING NUMBER: **A1.00**

E.L. OIPOULOS AND ASSOCIATES, INC.
Architects, Planners and Designers
AA-0003179

220 George Bush Blvd.
Sunny Beach, Florida 33444
TEL: 561-276-6011
FAX: 561-276-8720

ISSUES FOR:
BOS
HUNT
CONSTRUCTION





ISSUED FOR: BUILDING
 BIDS
 PERMIT: N/A
 CONSTRUCTION

PROJECT TITLE
**SUNSET KEY
 WALSH
 RESIDENCE
 GUEST COTTAGE**

**SUNSET KEY
 KEY WEST, FL.**

CLIENT APPROVAL

REVISIONS

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FILE NUMBER: 317A201

DRAWING TITLE

**PROPOSED
 COTTAGE
 CEILING &
 ROOF PLANS**

DATE: 04.07.10 | DRAWN BY: MAJUC
 JOB NUMBER: 280430
 DRAWING NUMBER

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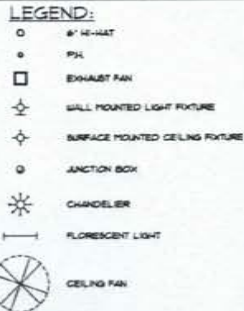
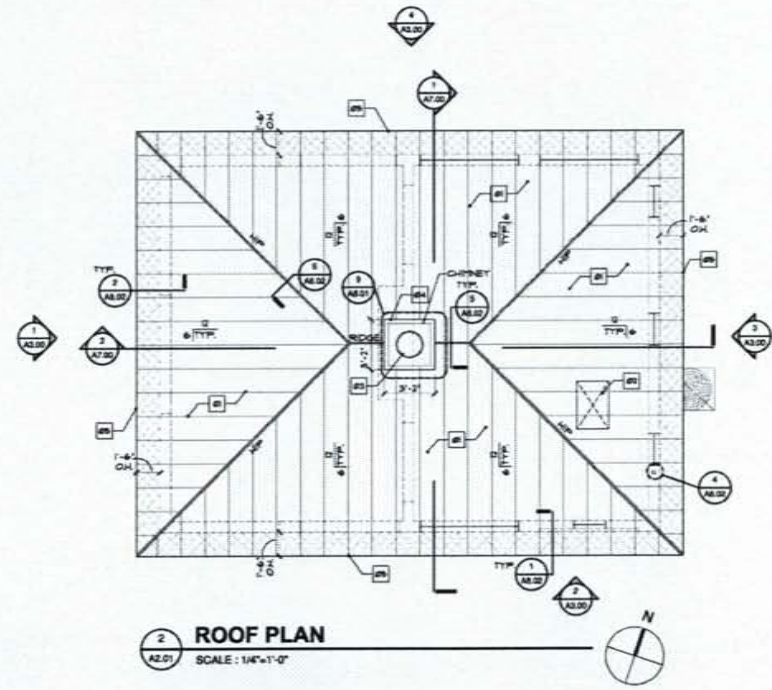
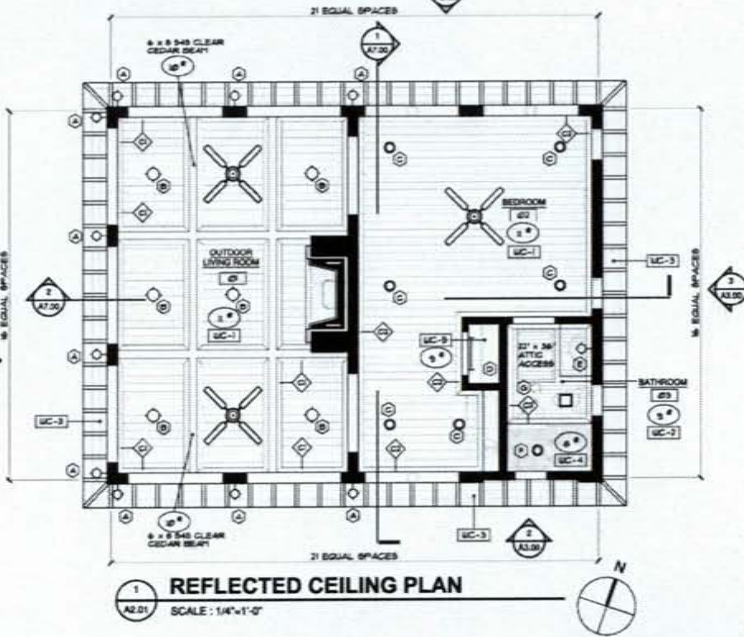
CEILING SCHEDULE

LABEL	MANUFACTURER	DIMENSIONS	REMARKS
UC-1	PALM CITY MILLWORK	3/4" x 9 1/2"	1" x 8" T&G SMOOTH CLEAR CEDAR - PAINTED
UC-2	PALM CITY MILLWORK	3/4" x 2 1/2"	BEAD BOARD - PAINTED
UC-3	PALM CITY MILLWORK	2" x 6"	T & G V-JOINT S&S CLEAR CEDAR - PAINTED
UC-4	WATERWORKS	2" x 2"	MARBLE TILE
UC-5	USG GYPSUM	5/8" TYPE 'X'	GYP. WALL BD. - PAINTED - SLICK FINISH
UC-6	USG GYPSUM	5/8" TYPE 'X'	FR. GYP. WALL BD. - PAINTED - SLICK FINISH
UC-7	SMOOTH STUCCO	3-COAT 1/8" @	SMOOTH STUCCO - PAINTED

CROWN MOULDING SCHEDULE

LABEL	MANUF. / MODEL NO.	DIMENSIONS	WOOD TYPE
CM	PALM CITY MILLWORK	3/4" x 1 1/4"	FINGER JOINT PAINT GRADE POPLAR
CM	PALM CITY MILLWORK	3/4" x 5 1/2"	FINGER JOINT PAINT GRADE POPLAR

NOTE:
 ALL CEILING CORNERS ARE TO BE PAINTED WHITE UNLESS OTHERWISE NOTED.
 ALL CEILINGS ARE TO RECEIVE 5/8" TYPE 'X' GYPSUM UNLESS OTHERWISE NOTED.
 ALL PORCHES TO HAVE 7/8" T&G - S&S SMOOTH CLEAR CEDAR PAINTED (TYP.)



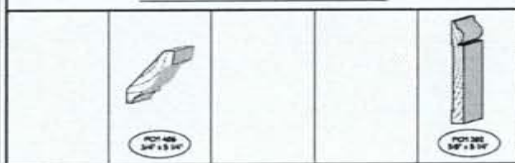
NOTE:
 ALL CEILING PENETRATIONS LIGHTS, JUNCTION BOXES, A/C VENTS, ETC. TO BE CALICULATED & SEALED AS PER THE FLORIDA ENERGY CODE.
 ALL CEILING HEIGHTS ARE GIVEN IN FEET AND INCHES FROM THE HEIGHT OF THE FLOOR DIRECTLY BELOW EACH CORRESPONDING AREA (NOT FROM ACTUAL FINISH FLOOR).

LIGHT FIXTURE SCHEDULE

TYPE	QTY.	MANF.	CATALOG NUMBER	VOL.	LACE	COATING	NOTES
A	13	THOMAS LIGHTING	7415730	DP	3/8" LIPENET	WALL	Exterior
B	6	HALO	HOB-LYAT-30PT-SH05	DP	3/8" HUB PL.	Recess	3" aperture down light (up to 1100')
C	6	CAPRI	CR1-RH02	DP	1/2" SQUARE	Recess	White ceiling down
D	1	LITHONIA	PL1000	DP	7/8" x 1/2" SQUARE	WALL	3" T, linear light fixture with acrylic diff.
E	1	AMERICAN FOUR SQUARE VANITY LIGHT	V52481 / 314382	DP	1/2" x 2 1/2" RECT. BRASS	WALL	Guest Suite - Bronze
F	1	CAPRI	CR1-SH-81CP	DP	1/2" x 4" x 8"	Surface	Shower/Tub
G	1	DAYRITE	SL8893	DP	1/2" x 4" x 8"	TRUSSES	Attic Access light

* CONTRACTOR TO HAVE ELECT. LIGHTING PLAN COORDINATED BY A/C PLAN TO AVOID CONFLICT BETWEEN LIGHTS & DUCT WORK - NOTE: ALL LIGHT FIXTURES FOR PRICING PURPOSES ONLY - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO PURCHASE.

TYPICAL MOULDING DETAIL

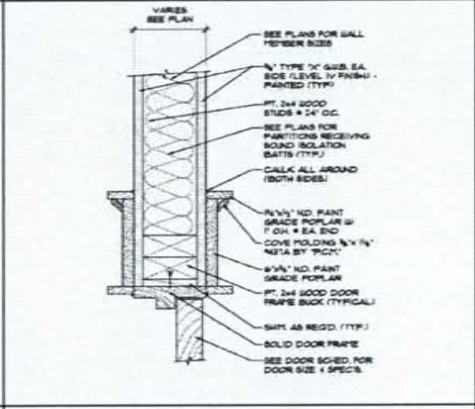


LEGEND

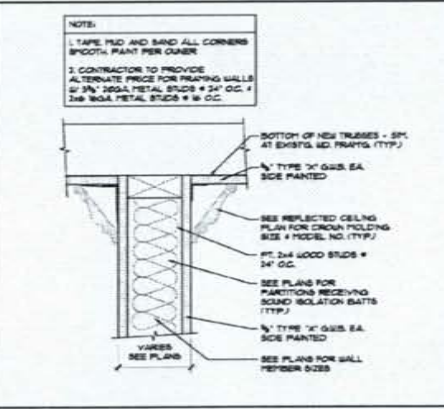
- * DENOTES CEILING HEIGHT
- VOL. DENOTES VOLUME CEILING HEIGHT
- ARCH. DENOTES FLAT ARCH CEILING
- VAR. DENOTES SLOPED CEILING

ROOF NOTES

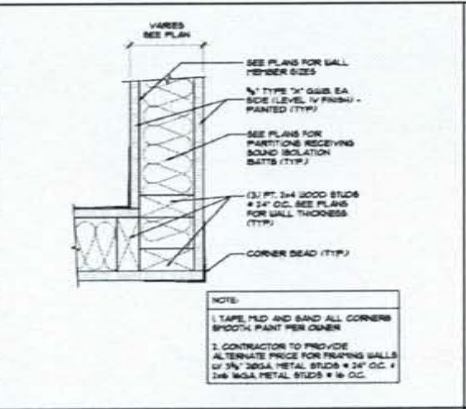
- R1 STANDING SEAM ROOFING SYSTEM 'ENBERT' - SERIES 200 5/8" HIGH 80# SEAM 5/8" HAT ALUMINUM ALLOY 1508-16 PANELS w/ SANDSTONE 'MARBLE' KYNAR 800 FINISH OR EQUAL OVER 1/2" WATER SHIELD ON 30# FELT 17.10 902' ALPHA RATED EXTERIOR GRADE PLYWOOD SHEATHING (TYP.)
- R2 12" x 36" ATTIC ACCESS w/ PULL DOWN LADDER- SEE ROOF FRAMING PLAN FIELD COORDINATE EXACT LOCATION FOR PROPER CLEARANCES!
- R3 BELLINGTON CHIMNEY TOP BY SUPERIOR CLAY CORPORATION OR EQUAL
- R4 CHIMNEY TO RECEIVE 3-COAT 7/8" SMOOTH STUCCO FINISH ON 25 SELF FURRING PAPER BACKED GALV. METAL LATH OVER 1/2" EXTERIOR GRADE PLYWOOD - PAINTED (TYP.)
- R5 NEARLESS HALF ROUND COPPER GUTTERS w/ COPPER CONDUCTOR HEADS COPPER DOWNPOUTS - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION AS PER WORLD GUTTER SYSTEM 48 PER B.L.S. AND COPPER DIALS GO



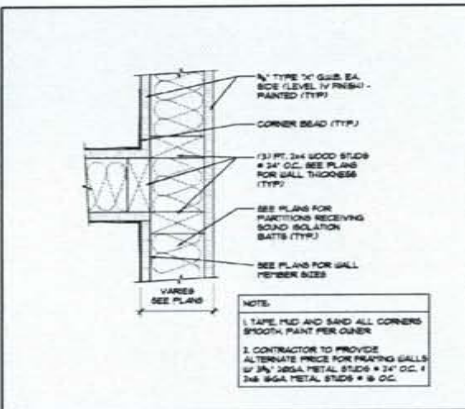
4 TYPICAL DOOR HEAD DETAIL
 A8.00 SCALE: 3" = 1'-0" AT G.W.B. PARTITIONS



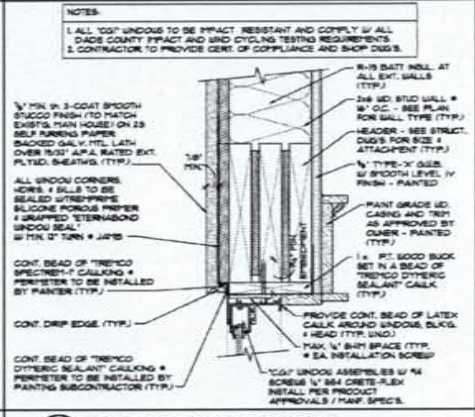
3 TYPICAL HEADER DETAIL
 A8.00 SCALE: 3" = 1'-0" AT G.W.B. PARTITIONS



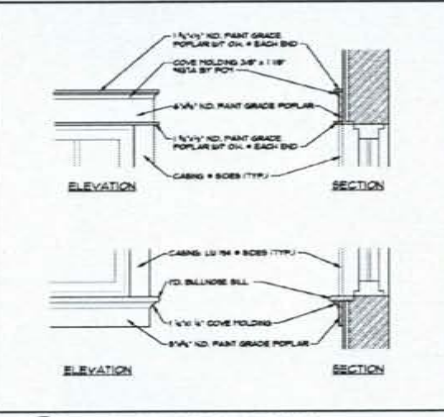
2 TYPICAL CORNER DETAIL
 A8.00 SCALE: 3" = 1'-0" AT G.W.B. PARTITIONS



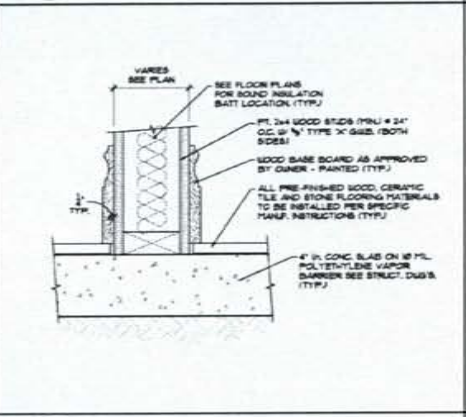
1 TYPICAL INTERSECTION DETAIL
 A8.00 SCALE: 3" = 1'-0" AT G.W.B. PARTITIONS



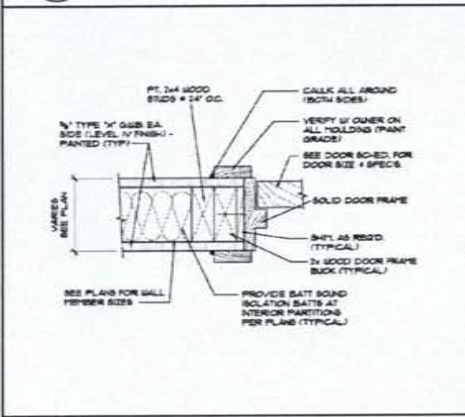
8 TYPICAL WINDOW HEAD DETAIL
 A8.00 SCALE: 3" = 1'-0"



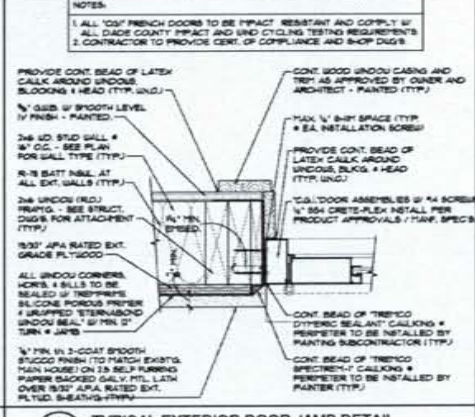
7 TYPICAL INTERIOR TRIM DETAIL
 A8.00 SCALE: N.T.S.



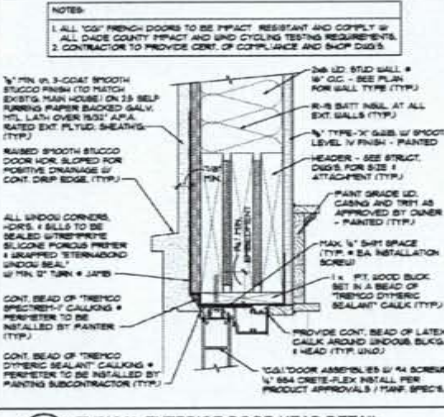
6 TYPICAL SILL DETAIL
 A8.00 SCALE: 3" = 1'-0"



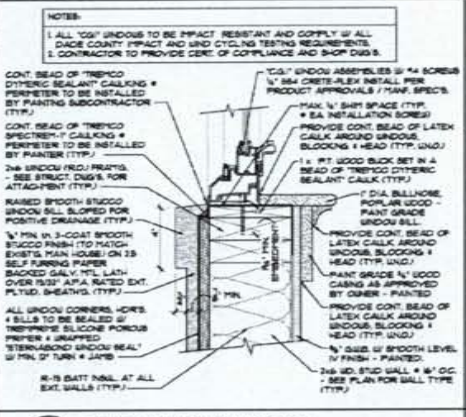
5 TYPICAL DOOR HEAD DETAIL
 A8.00 SCALE: 3" = 1'-0" AT G.W.B. PARTITIONS



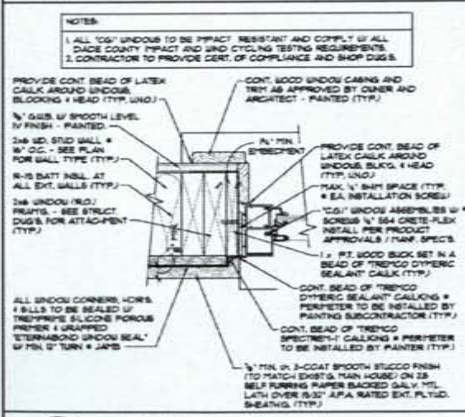
12 TYPICAL EXTERIOR DOOR HEAD DETAIL
 A8.00 SCALE: 3" = 1'-0"



11 TYPICAL EXTERIOR DOOR JAMB DETAIL
 A8.00 SCALE: 3" = 1'-0"

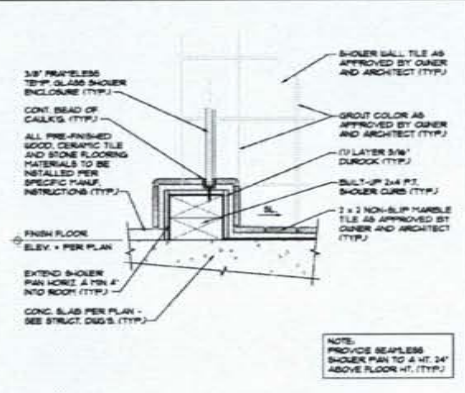


10 TYPICAL WINDOW SILL DETAIL
 A8.00 SCALE: 3" = 1'-0"

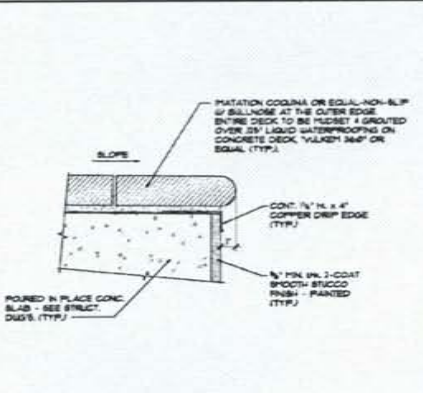


9 TYPICAL WINDOW JAMB DETAIL
 A8.00 SCALE: 3" = 1'-0"

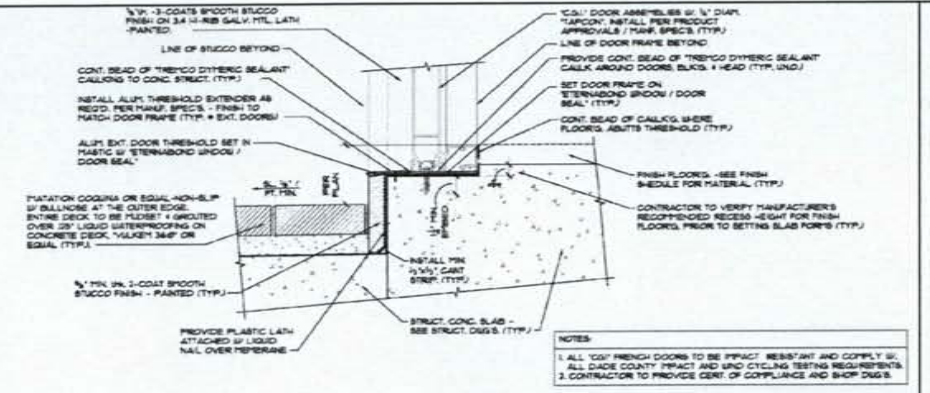
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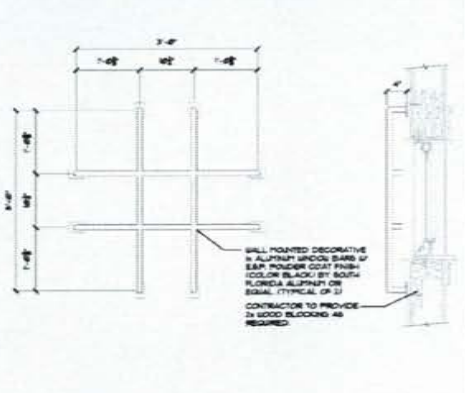
3 TYPICAL SHOWER CURB DETAIL
 A8.01 SCALE: 3" = 1'-0"



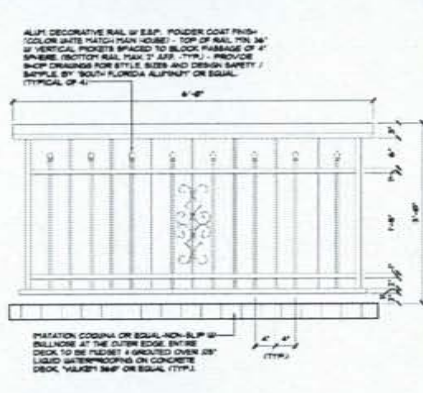
2 TYPICAL PAVER EDGE DETAIL
 A8.01 SCALE: 3" = 1'-0"



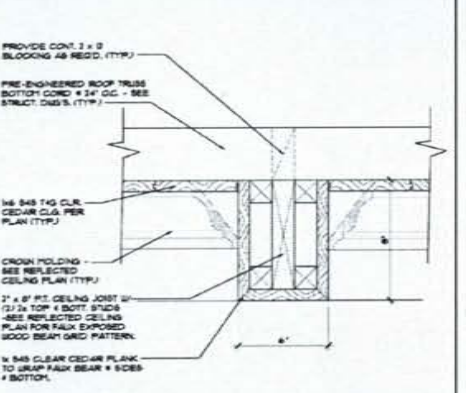
1 TYPICAL EXTERIOR DOOR THRESHOLD DETAIL
 A8.01 SCALE: 3" = 1'-0"



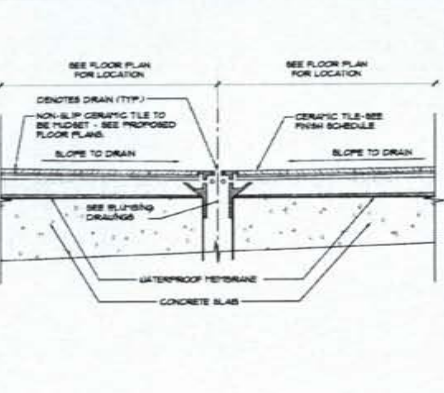
7 TYPICAL WINDOW BAR DETAIL
 A8.01 SCALE: 1" = 1'-0"



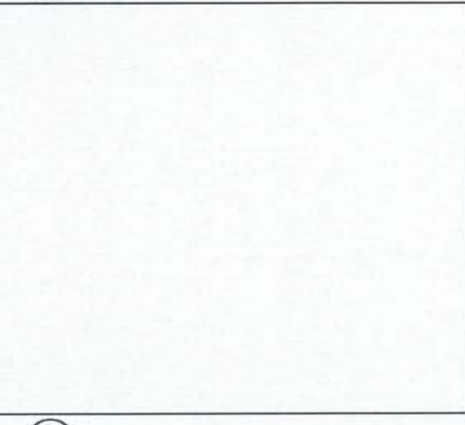
6 TYPICAL GUARDRAIL DETAIL
 A8.01 SCALE: 1" = 1'-0"



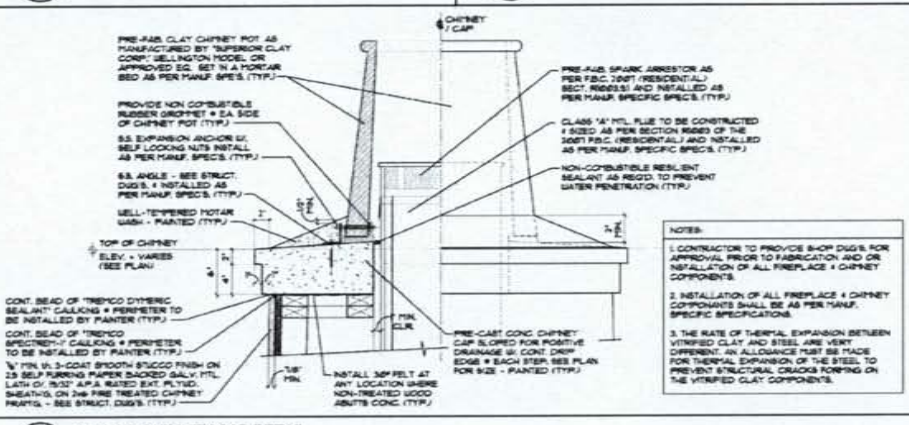
5 TYPICAL FAUX WOOD BEAM DETAIL
 A8.01 SCALE: 3" = 1'-0"



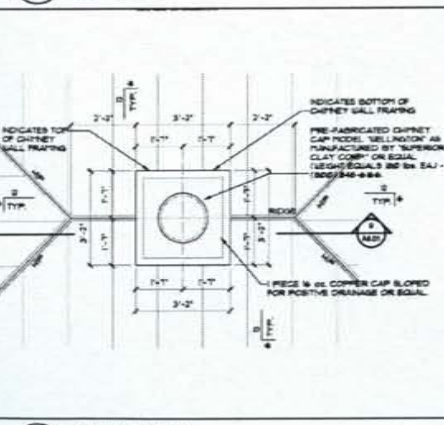
4 TYPICAL SHOWER DRAIN DETAIL
 A8.01 SCALE: 3" = 1'-0"



10 TYPICAL CHIMNEY CAP DETAIL
 A8.01 SCALE: 3" = 1'-0"



9 TYPICAL CHIMNEY PLAN
 A8.01 SCALE: 1" = 1'-0"



9 CHIMNEY PLAN
 A8.01 SCALE: 1" = 1'-0"



ARCHITECTURE, INC.
Architect, Planner and Designer
AA-0003179
225 George Bush Blvd.
Dunwoody, Georgia 30444
TEL: 561-275-6011
FAX: 561-275-8129

ISSUED FOR: 3/2/16
NO: 1
PERMIT: MFL
CONSTRUCTION

PROJECT TITLE
**WALSH
RESIDENCE
GUEST COTTAGE**

SUNSET KEY
KEY WEST, FL.
CLIENT APPROVAL

REVISION

NO DRAWING TO BE USED FOR CONSTRUCTION
IF THE SEALS ARE NOT PRESENT
OR IF THE SEALS ARE NOT PROPERLY
MAINTAINED

FILE NUMBER: 317A900

DRAWING TITLE
**DOOR, WINDOW
& ROOM FINISH
SCHEDULE**

DATE: 04.06.16 | DRAWN BY: JC

JOB NUMBER: 2010217

DRAWING NUMBER

A9.00

WINDOW SCHEDULE

DOOR SCHEDULE

NOTE: ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH DADE COUNTY WIND LOADING & IMPACT CODES. ANY GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS. NOTE: ALL EXTERIOR ALUMINUM FRENCH DOORS TO BE "CG" OR EQUAL.

WINDOW	SIZE (FIN)	QTY.	SERIES	FRAME	SILL	GLASS COLOR	COMMENT
A	(PR) 2'-6" x 5'-0"	3		ALUM./PTD	INT./LAM		2 CASEMENT W/ 8-LITE EACH MULLED TOGETHER W/ SCREEN
B	2'-0" x 5'-0"	2		ALUM./PTD	INT./LAM		CASEMENT / 8-LITE / SCREEN
C	2'-0" x 2'-0"	2		ALUM./PTD	INT./LAM		FIXED W/ 4-LITE
D	2'-0" x 4'-0"	3		ALUM./PTD	INT./LAM		CASEMENT / 8-LITE / SCREEN

DOOR	LOCATION	TYPE	ELEV.	SIZE (W x H x D)	ACTION	LABEL	WIND LOAD PRESSURE	THRES.	COMMENTS/HARDWARE
1	OUTDOOR LIVING RM.	ALUM. FRENCH	A	(PR) 2'-6" x 5'-0" x 2 1/4" A/C OS ONE LITE	SWING	---	+58.4/-78.2	ALUM.	1-LITE "CG" W/ THRESHOLD / "ASHLEY NORTON" EGG KNOB HANDLE / THUMB TURN DEAD BOLT - "DARK OIL RUBBED BRONZE"
2	OUTDOOR LIVING RM.	ALUM. FRENCH	A	(PR) 2'-6" x 5'-0" x 2 1/4" A/C OS ONE LITE	SWING	---	+58.4/-78.2	ALUM.	1-LITE "CG" W/ THRESHOLD / "ASHLEY NORTON" EGG KNOB HANDLE / THUMB TURN DEAD BOLT - "DARK OIL RUBBED BRONZE"
3	BEDROOM	S.C. "MOT" LOUVER	B	2'-8" x 7'-0" x 1 3/4"	LHR SWING	---	---	---	PASSAGE HARDWARE ("ASHLEY NORTON" - "DARK OIL RUBBED BRONZE" - EGG KNOB) 2-PANEL - LOUVERED - "TRU"-STYLE MINERAL CORE W/SCREEN - PAINTED
4	BATHROOM	S.C. "MOT" PANEL	C	2'-8" x 7'-0" x 1 3/4"	RH SWING	---	---	MARB.	PASSAGE HARDWARE ("ASHLEY NORTON" - "DARK OIL RUBBED BRONZE" - EGG KNOB) 2-PANEL - "TRU"-STYLE MINERAL CORE W/SCREEN - PAINTED
5	SHOWER	FRAMELESS/TEMP. 3/8" IN. GLASS	D	2'-8" x 6'-0" x 3/8"	RHR SWING	---	---	---	TEMPERED GLASS/FRAMELESS PERIMETER W/ WATERPROOF GASKET - BRUSHED CHROME HINGES & PULL
6	CART GARAGE	WOOD DOOR	E	(PR) 3'-0" x 7'-0" x 2 1/4"	SWING	---	+88.1/-78.2	ALUM.	1-LITE "CG" W/ THRESHOLD / "ASHLEY NORTON" EGG KNOB HANDLE / THUMB TURN DEAD BOLT - "DARK OIL RUBBED BRONZE"
7	STORAGE	WOOD DOOR	F	2'-10" x 7'-0" x 2 1/4"	LHR SWING	---	+63.3/-89.6	ALUM.	1-LITE "CG" W/ THRESHOLD / "ASHLEY NORTON" EGG KNOB HANDLE / THUMB TURN DEAD BOLT - "DARK OIL RUBBED BRONZE"
8	STORAGE	WOOD DOOR	C	2'-6" x 7'-0" x 1 3/4"	LH SWING	---	---	---	PASSAGE HARDWARE ("ASHLEY NORTON" - "DARK OIL RUBBED BRONZE" - EGG KNOB) 2-PANEL - LOUVERED - "TRU"-STYLE MINERAL CORE # LVR 2060 - PAINTED

NOTE: - ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH DADE COUNTY WIND AND IMPACT CODES (CG OR EQUAL)
- ALL GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS - CONTRACTOR TO PROVIDE DADED CURRENT APPROVAL DOCUMENTATION/CERTIFICATION
- VERIFY ALL WINDOWS WITH PROPOSED FLOOR PLAN FOR WINDOW TYPES
- ALL W/ WHITE E.S.F. PAINT FINISH OR EQUAL - VERIFY W/ OWNER

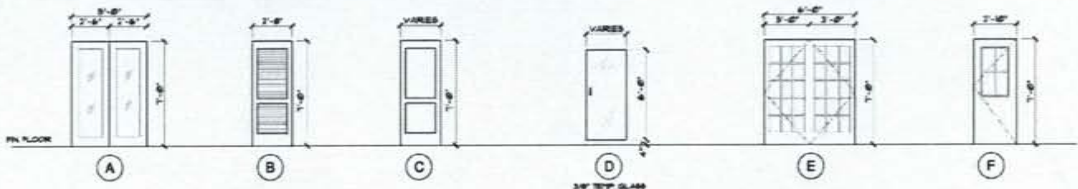
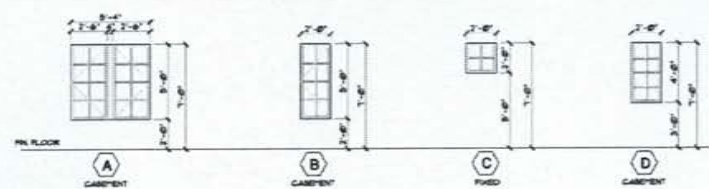
*ALL DOORS TO BE PAINTED AND SUPPLIED W/ OIL RUBBED BRONZE FLOOR MOUNTED DOOR STOPS.

NOTE: 1) ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH DADE COUNTY WIND LOADING & IMPACT CODES.
2) ANY GLAZING BELOW 18" AFF TO BE TEMPERED SAFETY GLASS.
3) ALL DOOR HARDWARE TO BE OIL RUBBED BRONZE, "ASHLEY NORTON" OR EQUAL.
4) ALL INTERIOR SHOWER DOORS ARE TO BE FINISH W/ TEMPERED GLASS.
5) ALL DOORS SEPARATING UNCONDITIONED SPACE FROM UNCONDITIONED SPACE SHALL HAVE WEATHER STRIPPING ALL AROUND ON ALL 4 SIDES-EXCLUSIVE OF VENT. DOOR SHOES.
6) ALL INTERIOR DOORS TO BE UNDER CUT FOR AIR CONDITIONING AS REQUIRED TO HAVE A FULLY FUNCTIONAL HVAC SYSTEM.

7) ALL INTERIOR DOORS AND TRIM ARE TO RECEIVE EPP-GLOSS PAINT FINISH
8) ALL INTERIOR DOORS AND FRAMES TO BE PAINT BY "TRU"-STYLE MODEL # 736600 + LVR 2060 OR EQUAL
9) ALL EXTERIOR DOORS TO HAVE PRODUCT APPROVAL LABEL ON BOTTOM OF DOOR # TO BE "CG" OR EQUAL.

WINDOW ELEVATIONS

DOOR ELEVATIONS



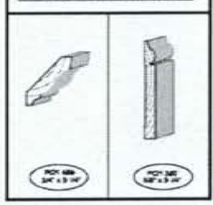
FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR FINISH	BASE	WALLS	CEILING FINISH	CEILING HEIGHT	REMARKS (SEE NOTES)
1	OUTDOOR LIVING RM.	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	8'-0"	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS
2	BEDROOM	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	8'-0"	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS
3	BATHROOM	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	8'-0"	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS
4	SOFTY CART GARAGE	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	8'-0"	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS
5	STORAGE	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS	8'-0"	SEE REFLECTIVE CEILING PLAN + BUILDING SECTIONS

GENERAL NOTES:

- BATHROOM CEILING TO BE FINISH WITH KALIT ALKO PRIMER FINISH
- COATS WITH BENEFIT TO BE INTERIOR LATEX BE SHELL FINISH APPLIED AT 4 MILS SET AND A DRY FILM THICKNESS OF 12 MILS
- CEILING (WHERE NECESSARY) THE PERIMETER EXTERIOR SIDE OF EXTERIOR DOORS AND WINDOWS WITH POLYURETHANE GASKETING OR EQUAL
- STYPH WALLBOARD SYSTEM (PLAT GLOSS FINISH) SHALL BE GIVEN ONE COAT INTERIOR LATEX GUL PRIMER APPLIED AT 4 MILS SET AND DRY FILM THICKNESS OF 12 MILS. TOP COAT WITH TWO (2) INTERIOR LATEX PLAT SHALL PAINT APPLIED AT 4 MILS SET AND DRY FILM THICKNESS OF 12 MILS.
- CEILING INTERIOR BASE TRIM (WALL DOOR JAMB) + WINDOW WITH ACRYLIC POLYURETHANE GASKETING ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS
- ALL INTERIOR FINISHES SHALL BE CLASS "A" OR CLASS "B" (TYP. THROUGHOUT STRUCTURE)
- ALL SURFACES TO BE CLEANED + PRIMED TO RECEIVE PAINT AS PER MANUFACTURER'S INSTRUCTIONS
- ALL COLORS TO INTERIOR FINISHES ARE TO BE "LIVEN WHITE" (SEE GLOSS ON WALLS) + DOOR WHITE" (SEE GLOSS ON ALL MOLDING) THIS IS FOR PRICING PURPOSES ONLY - VERIFY WITH OWNER
- ALL TILE + STONE WORK TO RECEIVE GROUT SYSTEM AS PER MANUFACTURER'S SPECIFICATIONS (SUBMIT ALL COLORS TO OWNER FOR APPROVAL)
- ALL WOOD MOLDING TRIM TO BE "TRU" CITY PINEWORK OR EQUAL
- ALL EXPOSED 1 1/2" x 2 1/2" x 3/4" V-JOINT + 6/16" PINE WOOD TO BE PAINTED OR STAINED VERIFY W/ OWNER
- BATHROOM TILED WALLS SHALL RECEIVE "DINK-SHELD"
- ALL WALLS TO BE PROVIDED WITH 2x4 HD BLOOMS OR 1/2" PL WOOD FOR BRACING + CABINETRY - SEE FLOOR PLAN
- ALL WALLS + CEILING TO RECEIVE SLICK / SMOOTH FINISH UNLESS NOTED OTHERWISE
- ALL CLOSETS AND ROOMS NOT RECEIVING ROOM NUMBERS ARE TO HAVE FINISHES MATCHING THE ADJACENT ROOM'S FLOOR FINISH FOR BEDROOM # 2 ARE TO MATCH BEDROOM # 3
- ALL PORCHES TO RECEIVE PLANTATION COULINA - NON SLIP W/ BULLNOSE + OUTER EDGE. SHIPR DECK TO BE FINISH OVER 2x4 LIQUID WATERPROOFING ON CONCRETE DECK. VALLEY ON EQUAL + SLOPE 1/4" PER FOOT AS SHOWN ON FLOOR PLAN. PULSET TO MAX 1/4" HEIGHT (TYP)
- NOTE: IF 1/4" HD WOOD FLOORING IS TO BE INSTALLED IN COTTAGE BEDROOM FLOOR SLAB, SHALL BE OVER 1/4" EXT. GRADE PLWOOD ON IMP. PELL. (TYP)
- WALL TILE - BY WATERLOOS - 3 x 6 CERAMIC SUBWAY TILE
- 1 x 6 "WATERLOOS" CERAMIC TILE WALL
- ALL SHOWER CEILING TO RECEIVE W/ "DINK-O" GRAP" ALL BENCHES W/ SHOWER PAN (WALLS TO RECEIVE "DINK-SHELD")
- ALL INTERIOR DOORS TO BE TRIMMED AS PER TYPICAL DETAIL ON SHEET YHAB02
- ALL WINDOW AND DOORS TO BE TRIMMED AS PER TYPICAL DETAIL ON SHEET YHAB02
- TYPE "X" GALS W/ SMOOTH SLICK FINISH-PAINTED W/ON
- PROVIDE AND INSTALL GULLY METAL AND PAN DRAIN AND OVERFLOW DRAIN LINE TO EXTERIOR FROM PAN IN ALL UNIT W/ ATIC
- CONTRACTOR TO COORDINATE W/ OWNER FOR ADDITIONAL 1/2" PL WOOD BRACING SUPPORT FOR FUTURE LOCATION OF WALL MOUNTED SHELVES OR PLAT SCREEN TV.

TYPICAL MOLDING DETAIL



Meeting Minutes

APPROVED

- 11 Request to build a two story addition on back of house and a new 20' by 12' in ground pool.- #621 Thomas Street- Applicant Paul Cox (H10-01-786)**

Paul Cox presented the project.

No public comment

Enid Torregrosa presented her staff report.

Nils Muench made a motion to approve; the motion was seconded by Bryan Green.

The Chairman requested the clerk call the roll.

Yeas: Commissioners Metzler, Muench, Rojas, Green and Chairman Molinet.

Nays: None.

APPROVED

- 12 Request to add new deck and stairs off the back of the existing house approximately 18'-4" wide and 6' deep. -#313 Amelia Street- Applicant Sea Tech of the Florida Keys, Inc. (H10-01-796)**

Ryan Lachapelle presented the project.

No public comment.

Enid Torregrosa presented her staff report.

Nils Muench made a motion to approve; the motion was seconded by Daniel Metzler.

The Chairman requested the clerk call the roll.

Yeas: Commissioners Metzler, Muench, Rojas, Green and Chairman Molinet.

Nays: None.

APPROVED

- 13 Request to built a pool house/ guest cottage and carport on existing residential lot.- #7 Sunset Key Drive- Sunset Key- Applicant James P. Vernon (H10-01-798)**

James P. Vernon presented the project.

No public comment.

Enid Torregrosa presented her staff report.

Nils Muench reviewed the guidelines concerning carports.

Enid Torregrosa stated that Sunset Key has non-historic context and therefore would not have to conform to most of the Historic neighborhood guidelines.

Bryan Green stated that the building is more like an ancillary building than a carport.

Carlos Rojas pointed out that there are no cars on Sunset Key.

Enid Torregrosa stated that it is proposed to be used as a "cartport" for a golf cart type vehicle.

Carlos Rojas made a motion to approve; the motion was seconded by Bryan Green.

The Chairman requested the clerk call the roll.

Yeas: Commissioners Metzler, Rojas, Green and Chairman Molinet.

Nays: Commissioner Muench.

APPROVED



HARC Planner's Report

Enid Torregrosa stated that HARC had received 1,345 applications in the last year, 260+ more than last year.

Comments from Commissioners

Nils Muench discussed the amount of application the board reviews.

Ron Ramsingh stated that 936 United Street will appear before the magistrate at the end of next month.

Adjournment

Carlos Rojas made a motion to adjourn; the motion was seconded by Bryan Green. Motion carried.

Interested parties may appear at the public meeting and be heard with respect to the proposed items. Copies of the applications are available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm. Applications can also be viewed online at www.keywestcity.com.

Anyone who may wish to appeal any decision made by the HARC Commission at this meeting will need to ensure that a verbatim record of the proceeding is made which includes the testimony and evidence which the appeal will be based. Florida Statute 286.0105.

Please note that one or more City Commission members and/or Planning Board members may be present at this meeting.

**Property Appraiser
Information**

Ervin A. Higgs, CFA
Property Appraiser
Monroe County, Florida

office (305) 292-3420
fax (305) 292-3501

Property Record View

Alternate Key: 8982920 Parcel ID: 00000200-000507

Ownership Details

Mailing Address:

WALSH THOMAS T AND LINDA R
7 SUNSET KEY DR
KEY WEST, FL 33040

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 10KW

Affordable Housing: No

**Section-Township-
Range:** 36-67-24

Property Location: 7 SUNSET KEY DR SUNSET KEY

Legal Description: KW PARCEL OF FILLED LAND LYING W'LY OF THE ISLAND OF KEY WEST (LOT 7 & PT BEACH AREA SUNSET ISLAND) .4837 AC OR1678-2325/34(LG)

Land Details

Land Use Code	Frontage	Depth	Land Area
01WB - WATER FRONT BEACH	0	0	21,070.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 4526
 Year Built: 2000

Building 1 Details

Building Type R1
 Effective Age 10
 Year Built 2000
 Functional Obs 0

Condition G
 Perimeter 432
 Special Arch 0
 Economic Obs 0

Quality Grade 780
 Depreciation % 11
 Grnd Floor Area 4,526

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type IRR/CUSTOM
 Heat 1 FCD/AIR DUCTED
 Heat Src 1 ELECTRIC

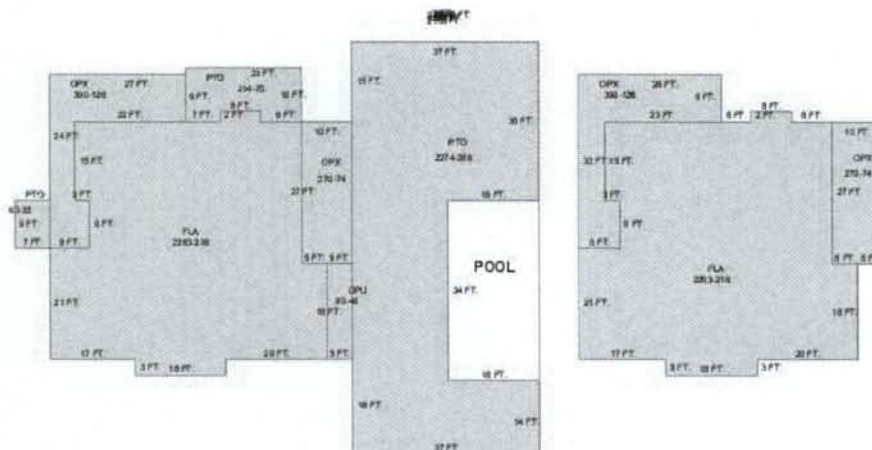
Roof Cover METAL
 Heat 2 NONE
 Heat Src 2 NONE

Foundation CONCR FTR
 Bedrooms 3

Extra Features:

2 Fix Bath 2
 3 Fix Bath 2
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 1
 Intercom 0
 Fireplaces 2
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	10:CUSTOM	1	2000	N	Y	0.00	0.00	2,263
2	OPU		1	2000	N	N	0.00	0.00	90
3	OPX		1	2000	N	N	0.00	0.00	270
4	PTO		1	2000	N	N	0.00	0.00	214
5	OPX		1	2000	N	N	0.00	0.00	390
6	PTO		1	2000	N	Y	0.00	0.00	63
7	PTO		1	2000	N	N	0.00	0.00	2,274
8	FLA	5:C.B.S.	1	2000	N	Y	0.00	0.00	2,263
9	OPX		1	2000	N	N	0.00	0.00	399
10	OPX		1	2000	N	N	0.00	0.00	270

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PO4:RES POOL	612 SF	34	18	2000	2001	2	50
2	WF2:WATER FEATURE	1 UT	0	0	2000	2001	1	20
3	PT5:TILE PATIO	60 SF	0	0	2000	2001	1	50
4	PT2:BRICK PATIO	1,360 SF	0	0	2000	2001	3	50
5	PT4:PATIO	150 SF	0	0	2000	2001	4	50
6	FN2:FENCES	1,045 SF	209	5	2000	2001	5	30
7	FN2:FENCES	440 SF	110	4	2000	2001	2	30
8	FN2:FENCES	310 SF	62	5	2000	2001	2	30
9	FN2:FENCES	165 SF	55	3	2000	2001	2	30

Appraiser Notes

2001 CUT OUT DONE

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	9900558	02/19/1999	09/25/2000	350,000		2 STORY SINGLE FAMILY
	9900776	03/05/1999	09/25/2000	30,000		POOL

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	928,194	52,758	4,899,196	5,880,148	3,071,354	25,000	3,046,354

2009	1,044,498	54,350	5,978,929	7,077,777	2,990,608	25,000	2,965,608
2008	959,754	56,077	5,815,320	6,831,151	2,987,620	25,000	2,962,620
2007	969,964	49,563	5,815,320	6,834,847	2,900,602	25,000	2,875,602
2006	2,161,400	50,970	2,528,400	4,740,770	2,829,856	25,000	2,804,856
2005	1,185,517	52,514	2,059,593	3,297,624	2,747,433	25,000	2,722,433
2004	1,059,083	53,922	2,059,593	3,172,598	2,667,411	25,000	2,642,411
2003	882,355	55,328	2,107,000	3,044,683	2,617,676	25,000	2,592,676
2002	919,202	56,873	1,580,250	2,556,325	2,556,325	25,000	2,531,325
2001	909,101	58,279	1,580,250	2,547,630	2,547,630	25,000	2,522,630

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
9/29/2000	1678 / 2325	1,280,000	WD	K

This page has been visited 3,164 times.

Monroe County Property Appraiser
Ervin A. Higgs, CFA
P.O. Box 1176
Key West, FL 33041-1176