

9 Addition to existing single family residence- # 7 Sunset Key Drive, Sunset Key- Applicant: Adele V. Stones (H11-01-249)

This application is for new construction of two buildings connected through hallways in Sunset Key. One of the proposed hallways is attached to the existing non historic house. The site where the new design is proposed is lot #7, which is located on the North West tip of the island and not visible from Key West. The proposed application is for the construction of an addition on the east side of the lot. The main house is not historic, nor the surrounding structures.

The new design incorporates two one story pavilions connected by a hallway that creates a U shape footprint. The northernmost structure will be a pool pavilion with a studio and will measure approximately 31'-8" depth by 20'-0" wide. This structure will have a flat roof crowned with a balustrade. A fireplace is proposed in the center of the structure. The second pavilion includes a living room area, bedroom bathrooms and a golf cart barn. This structure has hip roofs and a fireplace is part of the east façade.

Both pavilions will be stucco and will have aluminum high impact resistant doors and windows. The proposed hallways that will connect the two pavilions and the main house will be lower in height than the proposed two structures. They will have gable roofs and their exterior walls will also be finished in stucco. For the proposed golf cart area barn doors they will be custom made with mahogany.

Although Sunset Key does not have historic structures staff understands that new construction guidelines should be reviewed for this application;

Key West's historic district's tightly spaced blocks contain a wide variety of architectural styles, which relate well to each other. The relationships between the buildings create much of the character of the district. Their height, detailing, mass roof forms, and landscaping all contribute to its visual harmony. It is important that new construction harmonize with the existing historical building stock and streetscapes.

 Siting – New construction must conform to all current city easement, setback and building requirements. No existing building shall be relocated and no new structure shall be placed closer to the sidewalk, street or visible alley, than the distance of pre-existing historic structures. Areas reserved for parks or open space must be retained.

According to the submitted plans the proposed addition will conform to actual setbacks and height for this particular historic zone district HPRD;

Front yard- 5 ft Street side- 5 ft Side- 2.5 ft

#### Rear- 10 ft Maximum height 35 ft

2. **Elevation of finished floor above grade** - Applications for buildings with the first finished floor above the minimum height necessary to comply with federal flood regulations will not be approved unless the applicant demonstrates that such elevation does not interfere with the essential form and integrity of properties in the neighborhood. In situations wherein parking is proposed below the first finished floor, HARC shall consider how visible the parking is from the public right-of-way; whether the parking area is enclosed or otherwise concealed by walls, louvers, lattice, landscaping or other features; and whether fill and/or berms are used to minimize the gap between the first finished floor and the crown of the nearest road.

This will not be the case.

3. **Height** – must not exceed two and a half stories. There must be a sympathetic relationship of height between new buildings and existing adjacent structures of the neighborhood. New buildings must be compatible with historic floor elevations. The height of all new construction shall be based upon the height of existing structures within the vicinity.

The proposed structure will be one story.

4. **Proportion, scale and mass** – massing, scale and proportion shall be similar to that of existing historical buildings in the historical zone. No new construction shall be enlarged so that its proportions are out of scale with its surroundings. No new construction shall be more than two and a half stories. No structure shall outsize the majority of structures in the streetscape or historic zone.

The proportion, mass and scale are in keeping with the main house, which is a two story building. The proposed addition will not outsize any surrounding structure.

5. **Compatibility** – Design must be compatible with Key West architectural characteristics in the historical zones. All new construction must be in keeping with the historic character in terms of size, scale, design, materials, color and texture.

The proposed design is compatible with architectural features found in the existing house and in the surrounding structures.

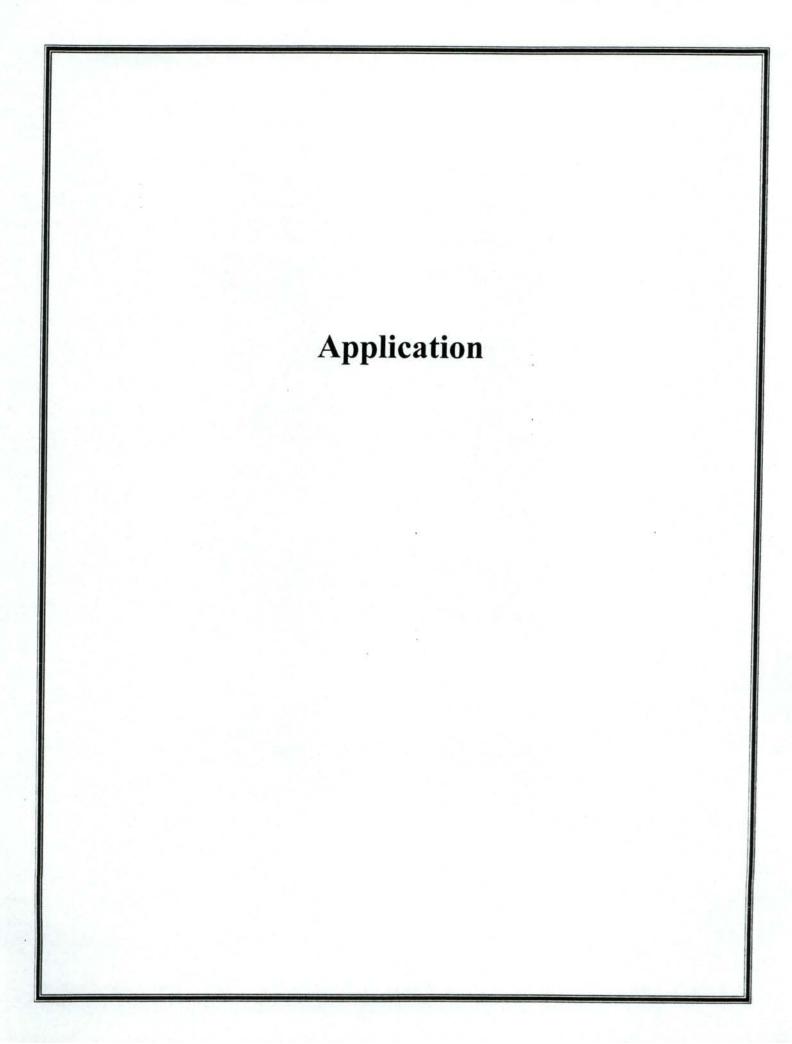
6. **Building Detail** – All new buildings shall incorporate a level of detail that assures compatibility with the surrounding historic context. New construction shall not precisely mimic the details of historic buildings but should have features that are compatible with the lines of historic architecture.

The new proposed building will incorporate details that can be found in the main house.

7. **Relationship of materials** – Materials used on new construction shall be of similar color, dimension, texture, and appearance as historic fabrics. The predominant exterior finish in historic zones is wood weatherboard, clapboard, drop siding, or board and batten. Exceptions for the use of composite materials may be permissible. Roofing is primarily sheet metal or metal shingles. New construction shall establish a relationship with existing historic structures by utilizing similar finishes and metals.

The proposed new construction materials for the building are compatible with existing materials found in the surrounding buildings.

Although Sunset Key does not have any historic structures staff understands that the proposed design is in keeping with the surrounding non historic urban context. The proposed design will not have any visual effect in Old Town.



#### CITY OF KEY WEST BUILDING DEPARTMENT CERTIFICATE of APPROPRIATENESS APPLICATION# OWNER NAME: Tom & Lindz Walsh DATE: 2/25/11 7 Sunset Key Dr. OWNERS ADDRESS: PHONE #: 305) 296-7700 33040 APPLICANTS NAME: Adele V. Jones PHONE #: 2940252 APPLICANT'S ADDRESS: 221 Simonton St KW ADDRESS OF CONSTRUCTION: 7 Sunset Key Dr., Key West, FL THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT DETAILED DESCRIPTION OF WORK: Addition to existing single family residential unit as shown on plans.

Chapter 837.06 F.S.- False Official Statements- Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or s. 775.083

This application for Certificate of Appropriateness must precede applications for building permits, variances and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required submittals will be considered incomplete and will not be reviewed for approval.

Date: 2/25/11		
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Applicant Signature:_	Halle	V & vous

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V	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
+	TREE REMOVAL PERMIT (If applicable)
V	PHOTOGRAPHS OF EXISTING BUILDING (repairs, reliabs, or expansions)
	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings or additions)
	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED STRUCK

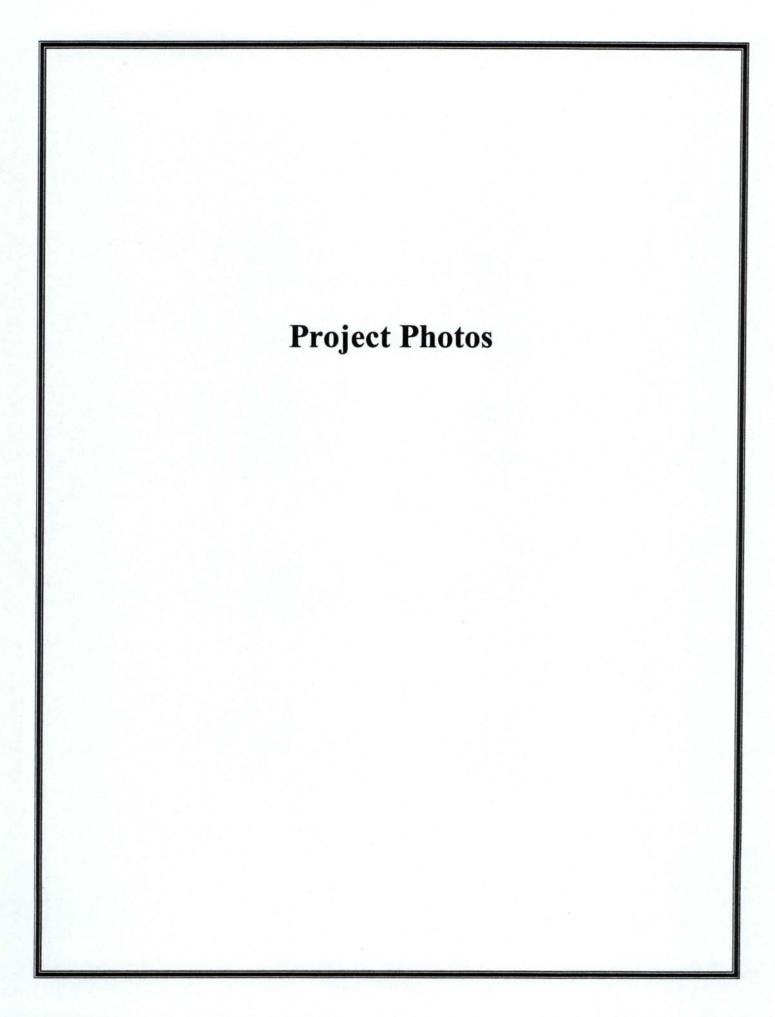
LLUSTRATIONS OF MANUFACTURES
PRODUCTS TO BE USED SUCH AS
SHUTTERS, DOORS, WINDOWS,
PAINT COLOR CHIPS, AND
AWNING FABRIC SAMPLES

Staff Use Only	
Date:	_
Staff Approval:	-
Fee Due:	

## HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

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Approved	Denied		Deferred
Reason for Deferr	al or Denial:		
			9
ARC Comments:	sorveys /No	+ historic	
Guide	clines for	natilitions,	Alterations
	ind new a	pristuction	Alterations 1 (pages 34:38
Changes:	proved, Conditions	or Approvar and	Jor Suggested
			-
Date:	_ Signature: _	Tilet - I - A	h:1
		Historic Arc Review Cor	



7 Sunset Key



View of pool and house, looking North.



View of yeard where proposed addition to be located, looking west.



View of yeard where proposed eddition to be located, looking southwest.

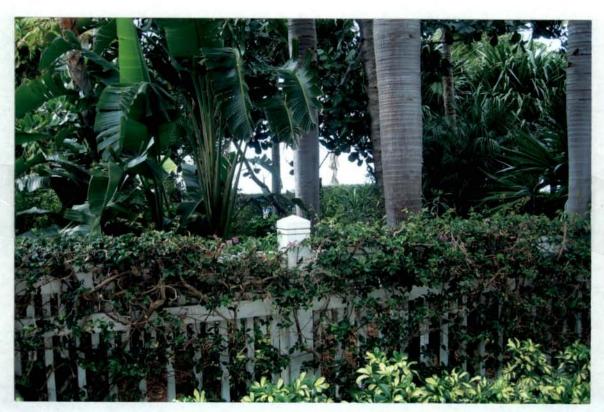


Rozdway view of Front gate and neach to Par right, looking Southwest.

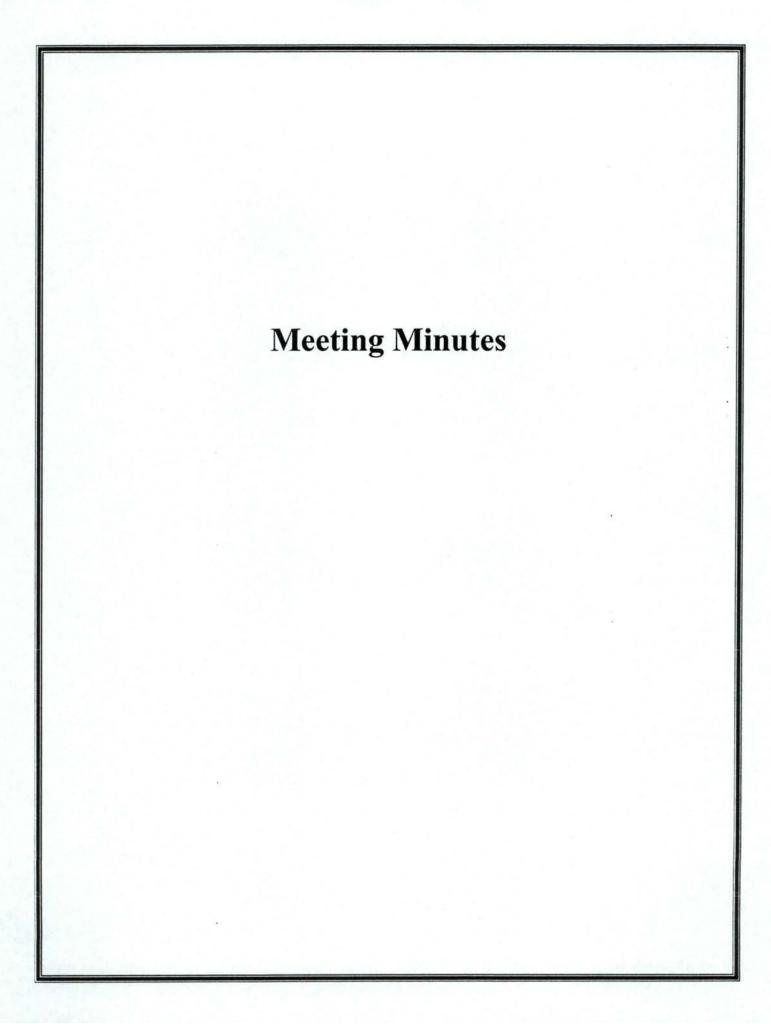
#### 7 Sonset Key

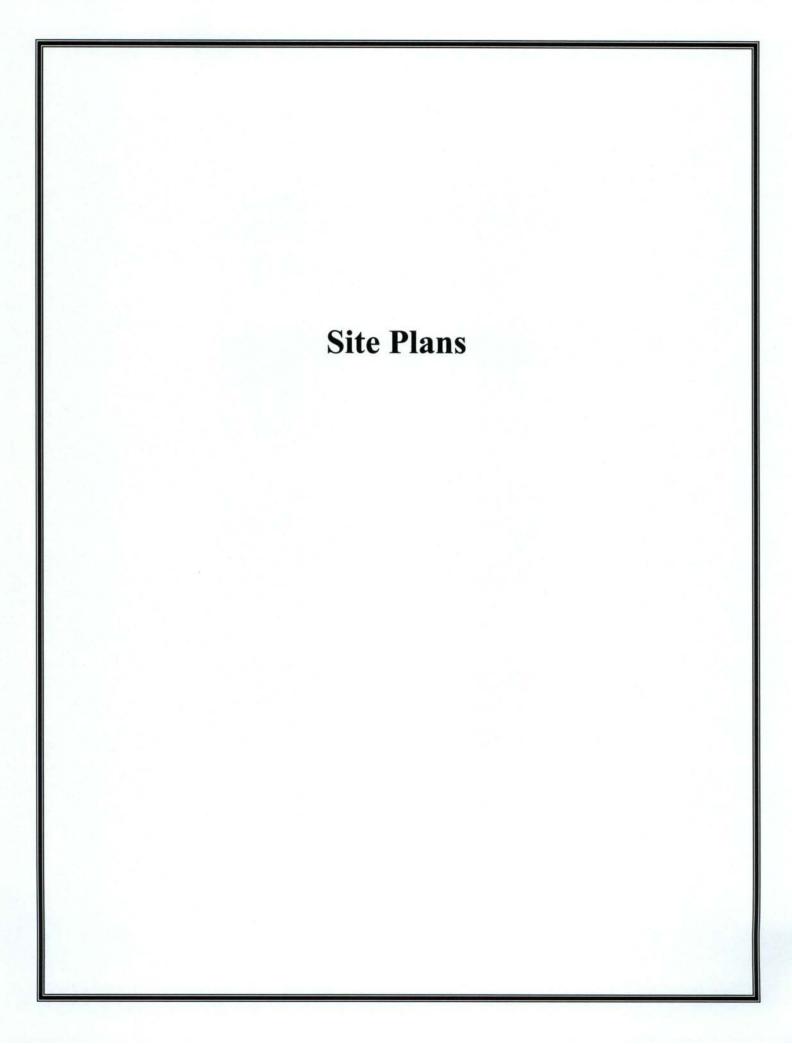


View from rozdury, of house and yard where addition to be located, looking South.



View from vozdazy, of yzrd where eddition to be located, looking south.





- THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK, MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS. WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.
- 2) THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.
- ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S / CONTRACTOR'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN.
- 4) ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING, OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA
  BUILDING CODE 2007 EDITION, AND ALL APPLICABLE NATIONAL, STATE,
  AND LOCAL RULES, REGULATIONS AND ORDINANCES.
- 6) ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.
- 1) IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- 8) THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT
- EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

  THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF
- 10) THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN)
- 11) DO NOT SCALE THE DRAWINGS.
- 12) ALL AREA CALCULATIONS ARE APPROXIMATE
- 13) FIELD VERIFY ALL DIMENSIONS.

BY OWNER.

- 14) ALL INTERIOR FINISHES TO BE SUPPLIED BY CONTRACTOR AND APPROVED
- THE DESIGN AND CONSTRUCTION OF ACCESSIBLE BUILDING ELEMENTS SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1996.

  FAC 2007 & ALL LOCAL CODES OR STANDARDS FOR ACCESSIBILITY SHALL APPLY WHEN THEY SPECIFY A MORE STRINGENT REQUIREMENT.
- THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY OF THESE CONTRACT DOCUMENTS OR SHOULD DISCOVER ANY DISCREPANCIES OR CONFLICT HERE IN, THE BIDDER SHALL TELEPHONE OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER FAILS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, THE BIDDER IS DEMANDED TO HAVE ESTIMATED THE MOST EXPENSIVE WAY OF DOING THE WORK.
- 17) THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT.
- 18) THE CONTRACTOR SHALL BE RESPONSIBLE TO THE ARCHITECT FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.
- 19) NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- 20) DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR, UNO. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.
- PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE. WATERPROOF ALL WEATHER-EXPOSED SURFACES AND INSTALL ALL THERMAL BARRIERS AS TO FORM A COMPLETE INSULATING BLANKET AROUND THE HEATED AREAS OF THE BUILDING. INSULATE ALL HEAT- BEARING PIPES, DUCTS, OR OTHER FIXTURES THAT PENETRATE THE INSULATED BLANKET. INSTALL ALL OTHER WATER PIPES IN A MANNER TO PREVENT FREEZING.
- 22) ALL WORK, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS.
- 24) DISPOSAL: CONTRACTOR IS RESPONSIBLE FOR REMOVAL FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- 25) NOTE: NO ATTEMPT IS MADE ON THESE DRAWINGS TO SHOW EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL VISIT SITE TO DETERMINE WHETHER OR NOT SMALLER ITEMS NOT SHOWN ARE TO BE REMOVED. CONTRACTOR IS HEREBY NOTIFIED TO STUDY THE ARCHITECTURAL PLANS TO DETERMINE THE FINISH DESIGN CONTENT. ANY QUESTIONS SHALL BE DIRECTED TO THE GEN. CONTRACTOR CONCERNING ALL ITEMS TO BE REMOVED OR TO REMAIN.
- 26) CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF ARCHITECT FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION. SUCH DRAWINGS SHALL SHOW THE DESIGN, DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS: AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.
- 28) ALL SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES ARE SUBJECT TO REVIEW BY THE ARCHITECT, AT THE ARCHITECT'S DISCRETION.
- 29) SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR ONLY FOR REVIEW PRIOR TO FABRICATION.
- THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR COMPLETE ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS TO MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION. DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN I" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE "CLEAR" OR "HOLD" DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS.
- 31) CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS.
- 32) ALL WOOD SHALL BE PRESSURE TREATED WHEN IN CONTACT WITH CONCRETE OR MASONRY.

CONCRETE SLAB (10.94' N.G.V.D.).

- 33) ALL METAL FASTENERS, NAILS, AND BOLTS TO BE HOT DIPPED GALVANIZED.
- 34) PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.

  35) ELEVATIONS ARE TAKEN FROM AN ASSUMED DATUM OF 0'-0" TOP OF
- 36) THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE.

  CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- ALL FRAMED EXTERIOR OR PARTYWALLS TO RECEIVE R-11 BATT. INSULATION FOR 4" WALLS AND R-19 FOR 6" AND 8" WALLS. ROOF TO RECEIVE R-30 TO THE UNDERSIDE OF NEW AND EXISTING ROOF SHEATHING FOR A "CLOSED SYSTEM" (NOTE: CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR ROOF TO BE "CLOSED SYSTEM" USING BLOWN ON R-20 "ICYNENE" INSULATION BY "GALE INSULATION" OR EQUAL TO THE UNDERSIDE OF THE ROOF SHEATHING



#### APPLICABLE CODES

2007 FLORIDA BUILDING CODE

2007 FLORIDA MECHANICAL CODE

2007 FLORIDA PLUMBING CODE
2007 NATIONAL ELECTRICAL CODE (NFPA-70)

SUNSET KEY
EXISTING WALSH
RESIDENCE ADDITION
Key West, FL

## OCCUPANCY CLASSIFICATION GROUP R, SINGLE FAMILY

### TYPE OF CONSTRUCTION

TYPE V - UNPROTECTED / SPRINKLERED ALLOWABLE HEIGHT

GROUP R-1 / 40'-0"
FLORIDA BUILDING CODE, 2007 EDITION.

(MAX. ALLOWABLE BUILDING

(MAX. ALLOWABLE BUILDING HEIGHT ON SUNSET KEY: 30'-0" ABOVE CROWN OF ROAD).

	SHEET SCHEDULE						
SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE		
	ARCHITECTURAL						
A1.00E	EXISTING SITE PLAN						
A1.00	PROPOSED COTTAGE SITE PLAN						
A2.00D	PROPOSED ADDITION DIMENSION FLOOR PLAN						
A2.00N	PROPOSED ADDITION NOTED FLOOR PLAN						
A3.02	PROPOSED ELEVATIONS						
A3.03	PROPOSED ELEVATIONS						

## GENERAL CONTRACTOR NORTH SOUTH CONSTRUCTION

1001 EAST ATLANTIC AVE. Delray Beach, Florida 33483

PH. (561) 279-9900 FAX (561) 921-0340

## STRUCTURAL ENGINEERS

McCARTHY ENGINEERING 75 N.E. 6TH AVE., SUITE 108 Delray Beach, Florida 33483

PH. (561) 921-0338 FAX (561) 921-0340

## M.E.P. ENGINEERS

THOMPSON & YOUNGROSS
ENGINEERING CONSULTANT
112 SOUTHEAST 10TH STREET
Delray Beach, FLORIDA 33483

PH. (561) 274-0200 FAX (561) 274-0222

#### ARCHITECTS

ELIOPOULOS ARCHITECTURE, INC 205 GEORGE BUSH BLVD. Delray Beach, Florida 33444 FL. LIC. AA0003179

PH. (561) 276-6011 FAX (561) 276-6129



- 38) INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ABUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS, ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS.
- 39) PRIOR TO PLACEMENT OF ANY STUCCO OVER FRAMED (EXTERIOR)
  SURFACES, SUCH SURFACES SHALL BE TREATED WITH BONDING AGENT
  APPLIED IN FULL CONFORMANCE WITH MANUFACTURER'S
  RECOMMENDATIONS.
- 40) CURE ALL APPLIED STUCCO WITH FOG SPRAYED WATER FOR SEVERAL DAYS AFTER APPLICATION - PRIOR TO PAINTING- ALL HAIRLINE CRACKS SHALL BE
- 41) ALL GYPSUM WALLBOARD TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, 17TH EDITION. (OR LATEST EDITION)
- 42) CONTRACTOR TO PROVIDE TECHNICAL DATA SHEETS ON ALL CHEMICALS TO BUILDING DEPT. FOR APPROVAL.-HEPTACHIOR, TECHNICAL CHLORDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH E.P.A. REGULATIONS.
- 43) CONTRACTOR TO VERIFY AND COORDINATE ALL FINISH MATERIALS WITH OWNER.
- 44) DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE. (INTERIOR BUILD-OUT)
- 45) ALL EXTERIOR PAINT COLORS FOR PRICING PURPOSES ONLY, VERIFY W/OWNER/ARCHITECT.
- 46) ALL INTERIOR PAINT COLORS SELECTED BY OWNER.
- 47) NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE: COATING OF BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVOE, DUPONT, & PORTER ARE CONSIDERED EQUAL.
- 48) CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL
- APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.

  49) PROVIDE 5/8" TYPE 'X' HUMITEK GYPSUM WALL BOARD IN ALL BATHROOMS.
- 50) ALL CONTRACTORS AND SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXIST'G CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL.
- 51) THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.
- 52) THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 53) ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.
- 54) THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:
  - MAKE-WAY/HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).
  - PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING TELEPHONE SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.
  - TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY
  - CHARGES DURING CONSTRUCTION.

     COORDINATION WITH AGENT FOR DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO/FROM SITE.
  - REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS
  - DIRECTED BY AGENT. REMOVE ALL TRASH FROM PREMISES.

     ISSUE ALL ADDENDUM'S, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MAINIER.
  - A TIMELY MANNER.

     CONTRACTOR SHALL COORDINATE W/ AGENT WITH REGARDS TO MAINTAINING ACCESS TO THE OCCUPIED PORTIONS OF THE RESORT (ADJACENT
- RESIDENCES). CLEARLY MARKING ALL DRIVE ISLES W/ PROPER PROTECTION FROM CONSTRUCTION SITE.

  55) ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECTS PROPERTY. NO CHANGES, ADDITIONS OR DELETIONS SHALL BE MADE WITH OUT WRITTEN CONSENT OF THE

ARCHITECT. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND

CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOB SITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNERS RECORD COPY.

56) ALL WORK SHALL BE LAID OUT TRUE, SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR

MUST NOTIFY THE OWNER/ ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE

ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION NOTICE. THE

- CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS.

  57) ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UN.O.). FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER
- THE MANUFACTURERS RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALTIY.

  58) CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR

SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING.

- 59) PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECTS APPROVAL IN
- WRITING PRIOR TO PURCHASE OR INSTALLATION.

  60) ALL DOOR FRAMES TO BE LOCATED 4" FROM ADJACENT PARTITIONS, U.N.O.
- 61) ALL DRYWALL PARTITIONS WILL BE TAPED, SPAKLED, SANDED, PRIMED AND PAINTED.
- 62) CONCEAL ALL FASTENINGS AND ATTACHMENTS FROM VIEW.
- 63) ALL REQUIRED CABINETRY, SHELVING TO BE PROVIDED W/ PROPER PRESSURE TREATED WOOD BACKING- PRESSURE TREATED ½" PLYWOOD, 2" × 4" PRESSURE TREATED BLOCK, ETC...

#### NOTES:

DO NOT SCALE DRAWINGS!
 FIELD VERIFY ALL DIMENSIONS!

(SEE GENERAL NOTES)

- FIELD VERIFY ALL DIMENSIONS!
   CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS.
- 4. ALL AREA CALCULATIONS ARE APPROX.

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.





PROPOSED SOUTH COURTYARD ELEVATION

A3.03 SCALE: 3/16"=1"-0"



PROPOSED SOUTH ELEVATION

3.03 SCALE: 3/16"=1'-0"

#### **ELEVATION NOTES**

- STANDING SEAM ROOFING SYSTEM "ENGERT" SERIES 1300 W/ 1" HIGH 1804 SEAM W/.040" ALUMINUM ALLOY \*3105-HI4 PANELS W/'SANDSTONE \*R.51-E.85" KYNAR 500 FINISH OR EQUAL (COLOR TO MATCH MAIN HOUSE) OVER "ICE & WATER SHIELD" ON 30\* FELT T.T. TO 19/32" A.P.A. RATED EXTERIOR GRADE PLYWOOD SHEATHING (TYP.)
- 2" x 8" \$4\$ CLEAR CEDAR OUTRIGGERS (NOTE: KING OUTRIGGERS LONGER) -PAINTED - @ 2'-0" O.C. ON 1" x 6" T & G SMOOTH CLEAR CEDAR SOFFIT (PAINTED) -SEE REFLECTIVE CEILING PLAN FOR LAYOUT. PROVIDE SAMPLE
- ALUM. DECORATIVE RAIL W/ E.S.P. POWDER COAT FINISH (COLOR WHITE TP MATCH MAIN HOUSE) TOP OF RAIL MIN. 36" W/ YERTICAL PICKETS SPACED TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX. 2" AF.F. -TYP.) PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE. BY "SOUTH FLORIDA ALUMINUM" OR EQUAL. (NOTE: ALL EXT. RAILINGS SHALL COMPLY W/ F.B.C. 2007 EDITION).
- CONT. ALUM. DRIP EDGE TO MATCH ROOFING SYSTEM ON CONT. P.T. 1 x 2 ON CONT. 2 x 6 SMOOTH CLEAR CEDAR FASCIA -PAINTED
- "CGI" CASEMENT FIXED ALUM. WINDOWS TO BE IMPACT
  RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND
  WIND CYCLING TESTING REQUIREMENTS CONTRACTOR TO
  PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) COLOR WHITE
- 06 1" TH. x 4"HT. SMOOTH RAISED STUCCO SILL WINDOW BANDING, PAINTED (TYP.)
- EXTERIOR FRAME WALLS TO RECEIVE 1/2 "th. -3-COATS SMOOTH STUCCO FINISH (TO MATCH MAIN HOUSE) ON 3.4 HI-RIB GALV. MTL. LATH -PAINTED.
- "CGI" ALUM. FRENCH DOORS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) COLOR WHITE
- ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN MASTIC OVER (1) LAYER OF "ETERNABOND" OR EQUAL.
- ALL EXTERIOR DOORS & WINDOWS TO HAVE "VULKEM"

  CAULKING @ BUCK/WD. FRAME/ALUM. FRAME CONDITIONS (TYP.)
- ALL WINDOWS TO HAVE 1 x P.T. WD BUCKS ANCHORED TO WOOD JAMB W/ #14 SCREWS 1/4" SS4 CRETE-FLEX INSTALLED PER PRODUCT APPROVAL.
- 9EE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER PRIOR TO PURCHASE).
- 13 WELLINGTON CHIMNEY TOP BY SUPERIOR CLAY CORPORATION OR EQUAL.

| 17 | GRADE (TYP. @ ENTIRE PERIMETER).

- CANVAS DOME AWNING, MANUF: SUNBRELLA FIRESIST BY "TROPICAL AWNING" OR EQUAL (COLOR TO MATCH
  MAIN HOUSE)- TO BE WRAPPED ON STEEL PIPE
  (SCHDULE 40 GALV. STEEL-PAINTED TO MATCH
  FABRIC. (SEPARATE PERMIT)
- WALL MOUNTED DECORATIVE ALUMINUM WINDOW BARS W/ E.S.P. POWDER COAT FINISH (COLOR BLACK) BY SOUTH FLORIDA ALUMINUM OR EQUAL.
- 14" RAISED SMOOTH STUCCO BASE, TYPICAL AROUND
- EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW
- 2 LAYER STEP BANDING W/ "TOUGH COAT FINISH" TOP LAYER 2"ht. W/ 11/2" PROJECTION BOTT. LAYER 1" ht.
- W/ A 1" PROJECTION.

  IMATATION COQUINA OR EQUAL-NON-SLIP W/
  BULLNOSE AT THE OUTER EDGE. ENTIRE DECK TO BE
  MUDSET & GROUTED OVER .125" LIQUID
- OR EQUAL (TYP.).

  "RUMFORD FIREPLACE" BY SUPERIOR CLAY CORP.

  MODEL #R4848 W/ CLASS "A' METAL FLUE (NOTE: THIS
- FIREPLACE WILL NOT HAVE ANY GAS CONNECTION).

  21 FIREPLACE SHALL RECEIVE A HEARTH AS PER SECT.
  2111.9 FBC 2001 ED. -VERIFY WITH OWNER ON MATERIALS

WATERPROOFING ON CONCRETE DECK, "VULKEM 360"

# architecture, inc.

## Architect, Planner and Designer AA-26002044

205 George Bush Blvd.
Delray Beach, Florida 33444
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ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

## SUNSET KEY EXISTING WALSH RESIDENCE ADDITION

#### SUNSET KEY KEY WEST, FL.

CLIENT APPROVAL

REVISIONS

FILE NUMBER

317A303

DRAWING TITLE

## PROPOSED ELEVATION

2.14.11 DRAWN BY GE/JC

JOB NUMBER

DRAWING NUMBER

A3.03

2010317

#### **EXTERIOR STUCCO**

METAL LATH APPLICATION:

1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH.
TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.

2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER.
LEAVE ROUGH TO RECEIVE FINISH COAT.

3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY

3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.

4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE

5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH: TOTAL (1) INCH THICK. AREAS: TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.

6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR

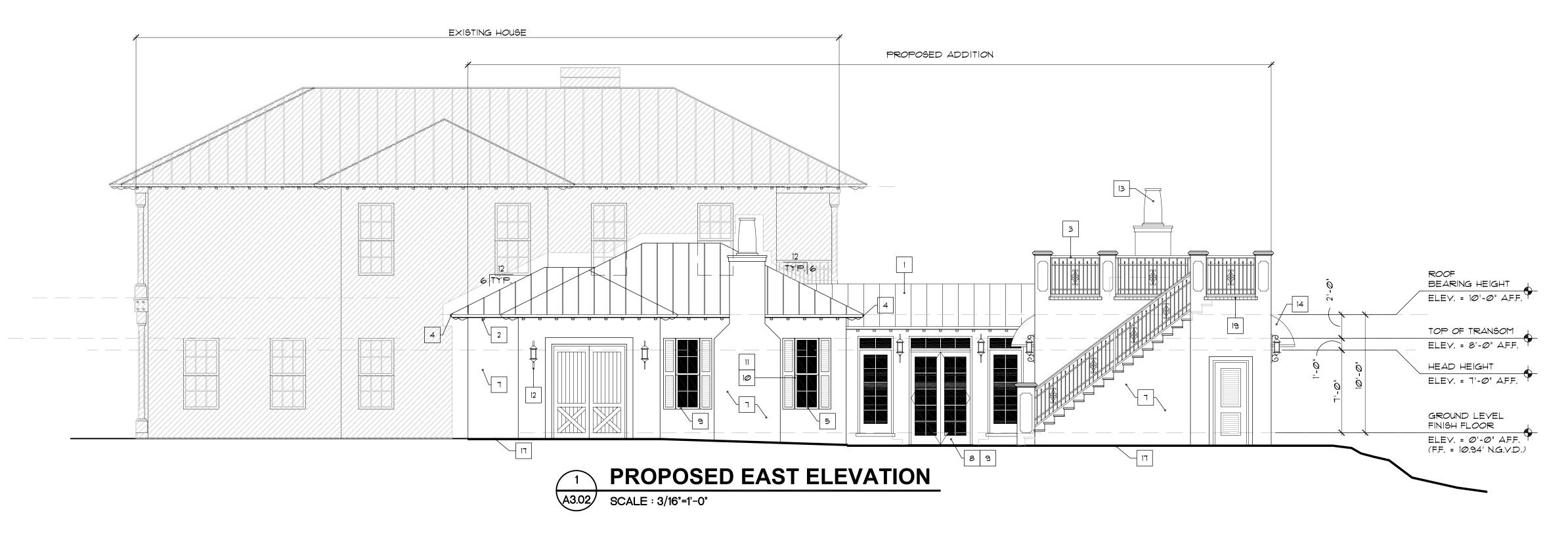
AND MASONRY AREAS' TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.

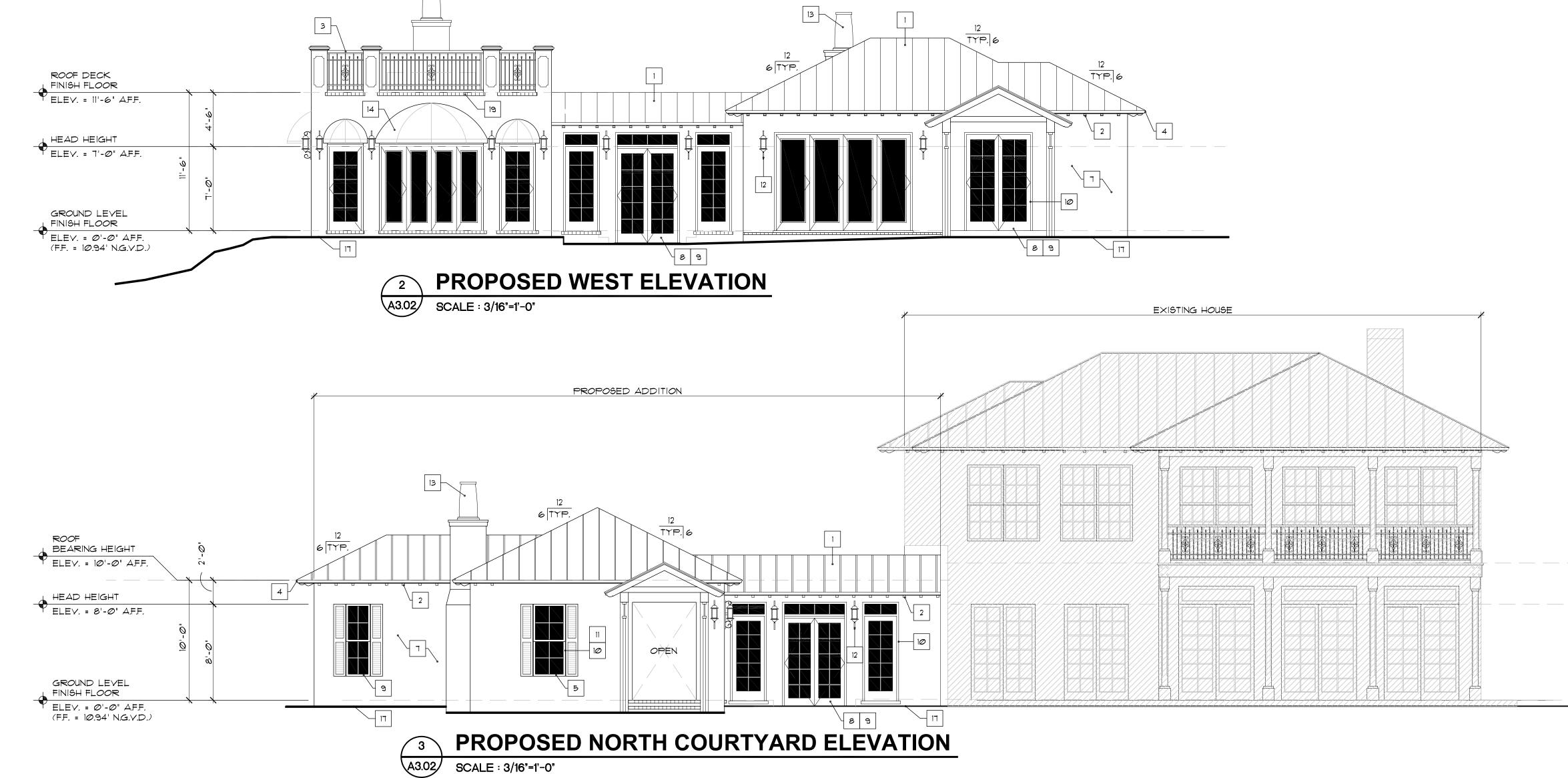
1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.

6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.

1. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN.

8. ALL POLYSTYRENE BOARD SHALL BE INSTALLED AS PER CURRENT MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR INSTALLATION OF SYSTEM AS APPLICABLE TO EACH TYPE OF SUBSTRATE INDICATED. REINFORCING FABRIC CONSISTS OF A BALANCED, ALKALINE-RESISTANT OPEN-WEAVE GLASS-FIBER COMPLING WITH ASTM D 578 AND WEIGHING NOT LESS THAN 8 OZ. PER SQUARE YARD.





#### **ELEVATION NOTES**

- STANDING SEAM ROOFING SYSTEM "ENGERT" SERIES 1300 W/ 1" HIGH 1800 SEAM W/.040" ALUMINUM ALLOY \*3105-HI4 PANELS W/"SANDSTONE #R.51-E.85" KYNAR 500 FINISH OR EQUAL (COLOR TO MATCH MAIN HOUSE) OVER "ICE & WATER SHIELD" ON 30\* FELT T.T. TO 19/32" A.P.A. RATED EXTERIOR GRADE PLYWOOD SHEATHING (TYP.)
- 2" x 8" 545 CLEAR CEDAR OUTRIGGERS (NOTE: KING OUTRIGGERS LONGER) -PAINTED- @ 2'-0" O.C. ON 1" x 6" T \$ G SMOOTH CLEAR CEDAR SOFFIT (PAINTED) -SEE REFLECTIVE CEILING PLAN FOR LAYOUT. PROVIDE SAMPLE
- ALUM. DECORATIVE RAIL W/ E.S.P. POWDER COAT FINISH (COLOR WHITE TP MATCH MAIN HOUSE) TOP OF RAIL MIN. 36" W/ VERTICAL PICKETS SPACED TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX. 2" A.F.F. -TYP.) - PROVIDE SHOP DRAWINGS FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE. BY "SOUTH FLORIDA ALUMINUM" OR EQUAL. (NOTE: ALL EXT. RAILINGS SHALL COMPLY W/ F.B.C. 2007 EDITION).
- CONT. ALUM. DRIP EDGE TO MATCH ROOFING SYSTEM ON 04 CONT. P.T. 1 x 2 ON CONT. 2 x 6 SMOOTH CLEAR CEDAR
- "CGI" CASEMENT FIXED ALUM. WINDOWS TO BE IMPACT 05 RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE
- 06 1" TH. X 4"HT. SMOOTH RAISED STUCCO SILL WINDOW BANDING, PAINTED (TYP.)
- EXTERIOR FRAME WALLS TO RECEIVE 1/2"th. -3-COATS SMOOTH EXTERIOR FRAME WALLS TO RECEIVE 18 UT. - 3 COLOR CONTROL OF STUCCO FINISH (TO MATCH MAIN HOUSE) ON 3.4 HI-RIB GALV. MTL. LATH -PAINTED.
- "CGI" ALUM. FRENCH DOORS TO BE IMPACT RESISTANT AND 08 COMPLY W ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE
- ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN MASTIC OVER (1) LAYER OF "ETERNABOND" OR EQUAL.
- ALL EXTERIOR DOORS & WINDOWS TO HAVE "VULKEM" CAULKING @ BUCK/WD. FRAME/ALUM. FRAME CONDITIONS (TYP.)
- ALL WINDOWS TO HAVE I x P.T. WD BUCKS ANCHORED TO WOOD JAMB W/ #14 SCREWS 14" SS4 CRETE-FLEX INSTALLED PER PRODUCT APPROVAL.
- 9EE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER PRIOR TO PURCHASE).
- WELLINGTON CHIMNEY TOP BY SUPERIOR
- CLAY CORPORATION OR EQUAL.
- CANVAS DOME AWNING, MANUF: SUNBRELLA FIRESIST -14 BY "TROPICAL AWNING" OR EQUAL (COLOR TO MATCH MAIN HOUSE)- TO BE WRAPPED ON STEEL PIPE (SCHDULE 40 GALY. STEEL-PAINTED TO MATCH FABRIC. (SEPARATE PERMIT)
- WALL MOUNTED DECORATIVE ALUMINUM WINDOW BARS 15 W/ E.S.P. POWDER COAT FINISH (COLOR BLACK) BY igsquare south florida aluminum or Equal.
- 16 14" RAISED SMOOTH STUCCO BASE, TYPICAL AROUND ENTIRE STRUCTURE.
- EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW

GRADE (TYP. @ ENTIRE PERIMETER).

- 2 LAYER STEP BANDING W/ "TOUGH COAT FINISH" TOP LAYER 2"ht. W/ I1/2" PROJECTION BOTT. LAYER 1" ht.
- W/ A 1" PROJECTION.
- 19 IMATATION COQUINA OR EQUAL-NON-SLIP W/ BULLNOSE AT THE OUTER EDGE. ENTIRE DECK TO BE MUDSET & GROUTED OVER .125" LIQUID WATERPROOFING ON CONCRETE DECK, "VULKEM 360" OR EQUAL (TYP.).
- "RUMFORD FIREPLACE" BY SUPERIOR CLAY CORP.
  MODEL #R4848 W/ CLASS "A' METAL FLUE (NOTE: THIS FIREPLACE WILL NOT HAVE ANY GAS CONNECTION).
- FIREPLACE SHALL RECEIVE A HEARTH AS PER SECT. 21 2111.9 FBC 2007 ED. -VERIFY WITH OWNER ON MATERIALS

#### Architect, Planner and Designer AA-26002044

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ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

#### **SUNSET KEY EXISTING WALSH** RESIDENCE **ADDITION**

#### **SUNSET KEY** KEY WEST, FL.

CLIENT APPROVAL

REVISIONS

FILE NUMBER

DRAWING TITLE

317A302

#### **PROPOSED ELEVATION**

2.14.11 GE/JC

DRAWING NUMBER

JOB NUMBER 2010317

A3.02

#### **EXTERIOR STUCCO**

METAL LATH APPLICATION: 1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROWEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.

2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.

3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.

4. TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE

AND MASONRY AREAS' TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM. 5. THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH± TOTAL (1) INCH THICK. AREAS± TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH

6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.

7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER. 8. ALL POLYSTYRENE BOARD SHALL BE INSTALLED AS PER CURRENT MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR INSTALLATION OF SYSTEM AS

APPLICABLE TO EACH TYPE OF SUBSTRATE INDICATED. REINFORCING FABRIC CONSISTS OF A BALANCED, ALKALINE-RESISTANT OPEN-WEAVE GLASS-FIBER

COMPLING WITH ASTM D 578 AND WEIGHING NOT LESS THAN 8 OZ. PER SQUARE YARD.

#### FLOOR PLAN NOTES TYP. WALL FRAMING DETAIL - SEE STRUCT. DWG'S. FOR 1 x 12 CEDAR SHELVING AND ROD AT 68" A.F.F., COORDINATE WITH OWNER. 01 STRAPPING AND SIZE & FOR ALL CONNECTIONS (TYP.) SEE BUILDING SECTIONS & FINISH SCHEDULES FOR ALL 25 LINE OF ROOF OVERHANG ABOVE | 02 | FINISHES & MILLWORK (NOTE: ALL ARCHITECTURAL FINISHES # MILLWORK ARE FOR PRICING PURPOSES ONLY) SEE ROOM FINISH SCHEDULES FOR ALL WALLS, 26 $22" \times 36"$ ATTIC ACCESS. SEE ROOF FRAMING PLAN. CEILINGS & FLOOR COVERINGS (TYP.). VANITY - TO RECEIVE MARBLE W/BULLNOSE EDGE ELECT. METER - SEE ELECTRICAL DRAWINGS (YERIFY W/OWNNER COLOR) 2" x 2" NON-SLIP MARBLE SHOWER FLR. TO SLOPE TO ALUM. DECORATIVE RAIL W/ E.S.P. POWDER COAT FINISH 28 (COLOR WHITE) TO MATCH MAIN HOUSE - TOP OF RAIL DRAIN SET IN SHOWER PAN. ALL MARBLE TO BE PLACED MIN. 42" W/ VERT. PICKETS SPACED TO BLOCK PASSAGE ON 5/16" "DUROCK" (TYP.) SUBFLOORING @ AREAS TO RECEIVE TILE OR MARBLE). OF 4" SPHERE. (BTM. RAIL MAX. 2" A.F.F. -TYP.) -20"H × 20"D TILED BENCH W/ 5/16" "DUROCK" OVER 3 5/8" PROVIDE SHOP DWG'S. FOR STYLE, SIZES AND DESIGN SAFETY / SAMPLE. BY "SOUTH FLORIDA ALUMINUM" OR 20 GA. METAL STUDS @ 20" O.C. EQUAL. (NOTE: ALL EXT. RAILINGS SHALL COMPLY W/ F.B.C. 2007 EDITION). FURRED OUT WALL 6" TO 8" FOR PLUMBING STACK - SEE EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PLUMBING PLANS FOR LOCATIONS. PERMIT THE OPENING OF THE LOCKED DOOR FROM THE Ø8 BATT SOUND ALL WALLS. BATT SOUND INSULATION TO BE INSTALLED IN OUTSIDE IN AN EMERGENCY. UPPER AND LOWER WOOD RAISED PANEL CABINETS W/ WATER CLOSET (STYLE AND COLOR TO BE SELECTED BY OWNER). CROWN MOLDING. CONTRACTOR TO PROVIDE SHOP DWG'S. (CABINETS TO PROVIDE LIP FOR HIDDEN OPTIONAL LOW YOLTAGE LIGHTING). $\mid$ 10 $\mid$ LAV. (STYLE AND COLOR TO BE SELECTED BY OWNER). TELEPHONE & CABLE PANEL @ 60" AFF TEMPERED FRAMELESS GLASS SHOWER ENCLOSURE & DOOR 3/8" MIN. THICKNESS W/ BRUSHED CHROME CLIPS. 32 | ELECTRICAL SERVICE PANEL @ 60" ABOVE FLOOR. 12 | 9" WIDE S.S. BAR SINK (VERIFY W/OWNER) | 4"th CONC SLAB (3000 PSI) W/ $6 \times 6$ -W1.4 $\times$ W1.4 W.W.F. 33 OVER 10-MIL POLYETHYLENE VAPOR BARRIER LAP 6"

| 13 | GRANITE BAR COUNTERTOP.

14 STYLE & FINISH).

COLOR WHITE

CONDITIONS (TYP.).

22 FOR ALL CONNECTIONS.

SEE STRUCT. DWG'S.

"SUB-ZERO" #F-UC-24R-RH 24" REF (VERIFY W/ OWNER ON

"CGI" ALUM. FRENCH DOORS TO BE IMPACT RESISTANT AND

16 COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING

"CGI" FIXED & CASEMENT ALUM. WINDOWS TO BE IMPACT

RESISTANT AND COMPLY W/ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS CONTRACTOR

TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE

CERTIFICATE OF COMPLIANCE (TYP.) - COLOR WHITE

TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.) -

ALL EXTERIOR DOORS & WINDOWS TO HAVE "YULKEM"

ALUM. EXT. DOOR THRESHOLD SET IN MASTIC W/

A/C COMPRESSOR ON 4"TH CONC. PAD (VERIFY 21 A/C COMPRESSOR ON 4 15 CONC. THE WISTRUCTURAL): CAPACITY AS DETERMINED BY MECH.

ALL WINDOW CORNERS & SILLS TO DE WINTER DE JAMBS

"ETERNABOND WINDOW SEAL, TURNING UP 12" @ JAMBS

"PEEL & STICK" MEMBRANE W/ 1/2 " MAX. HT.

ENGINEER. SEE HVAC PLAN & SITE PLAN.

CAULKING @ BUCK / WD. FRAME / ALUM. FRAME OR METAL

AIR HANDLING UNIT: CAPACITY AS DETERMINED BY MECH.

W/ UY LIGHT AT COIL & DRAIN PAN. (NOTE: LOCATED IN ATTIC)

ENGINEER. SEE HVAC PLAN. ALL UNITS TO BE EQUIPPED

4" FLOOR DRAIN - SEE PROPOSED PLUMBING DRAWINGS

(NOTE: WINDOW TO HAVE STRUCTURAL FRAMED SILLS -

ELECT. WATER HEATER: CAPACITY AS DETERMINED

BY MECHANICAL ENGINEER. SEE PLUMBING PLAN.

AND TAPE ALL JOINTS ON WELL COMPACTED FILL.

CONTRACTOR TO VERIFY W/ OWNER ALL REQUIRED

ALL PORCHES TO RECEIVE IMATATION COQUINA OR

EQUAL-NON-SLIP W/ BULLNOSE AT THE OUTER EDGE

ENTIRE DECK TO BE MUDSET & GROUTED OVER .125"

LIQUID WATERPROOFING ON CONCRETE DECK, "YULKEM

FIREPLACE SHALL RECEIVE A HEARTH AS PER SECT.

FIREBRICK IN HERRING BONE PATTERN BY "FIRESIDE"

46" x 42" STANDARD ISOKERN W/ STEEL DAMPER,

OR EQUAL W/ CLASS "A' METAL FLUE (NOTE: THIS

FIREPLACE WILL NOT HAVE ANY GAS CONNECTION -

2111.9 FBC 2007 ED. - VERIFY WITH OWNER ON MATERIALS

34 HT'S & BACKING FOR ALL PLASMA/ FLAT SCREEN TV

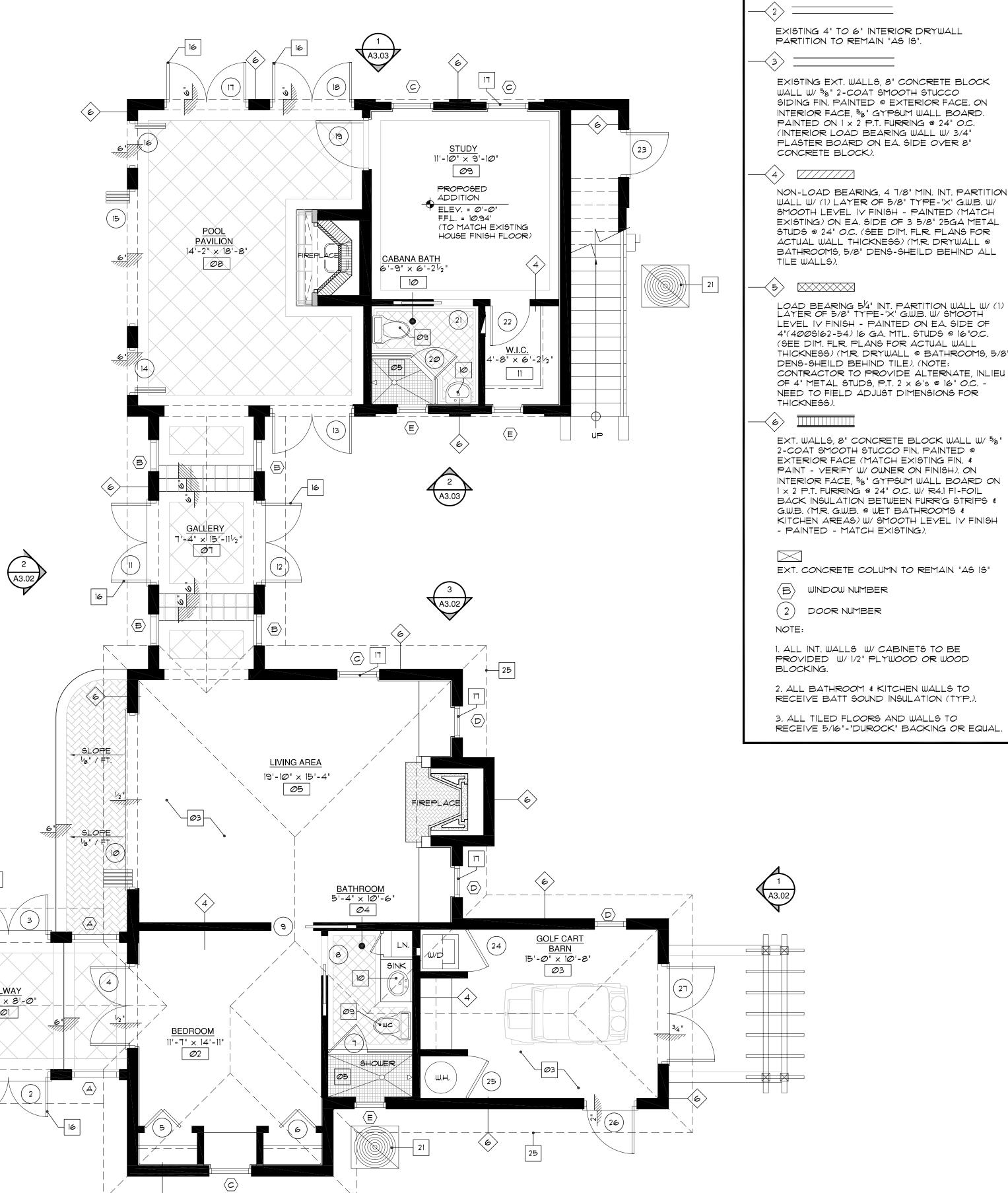
1% - 5 GAL PER 10 S.F. OF SLAB AREA.

LOCATIONS (TYP.).

YERIFY W/OWNER).

360" OR EQUAL (TYP.).

TERMITE TREATED. (SOIL PREPARATION - "DURBAN-TC"







WALL LEGEND

EXISTING WALLS, WINDOWS & DOORS TO BE

REMOVED.

#### Architect, Planner and Designer AA-26002044

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BIDS

PERMIT Ø2. 25. 11 CONSTRUCTION

PROJECT TITLE

#### **SUNSET KEY EXISTING WALSH RESIDENCE ADDITION**

#### **SUNSET KEY** KEY WEST, FL.

CLIENT APPROVAL

REVISIONS

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING

FILE NUMBER 317A200N

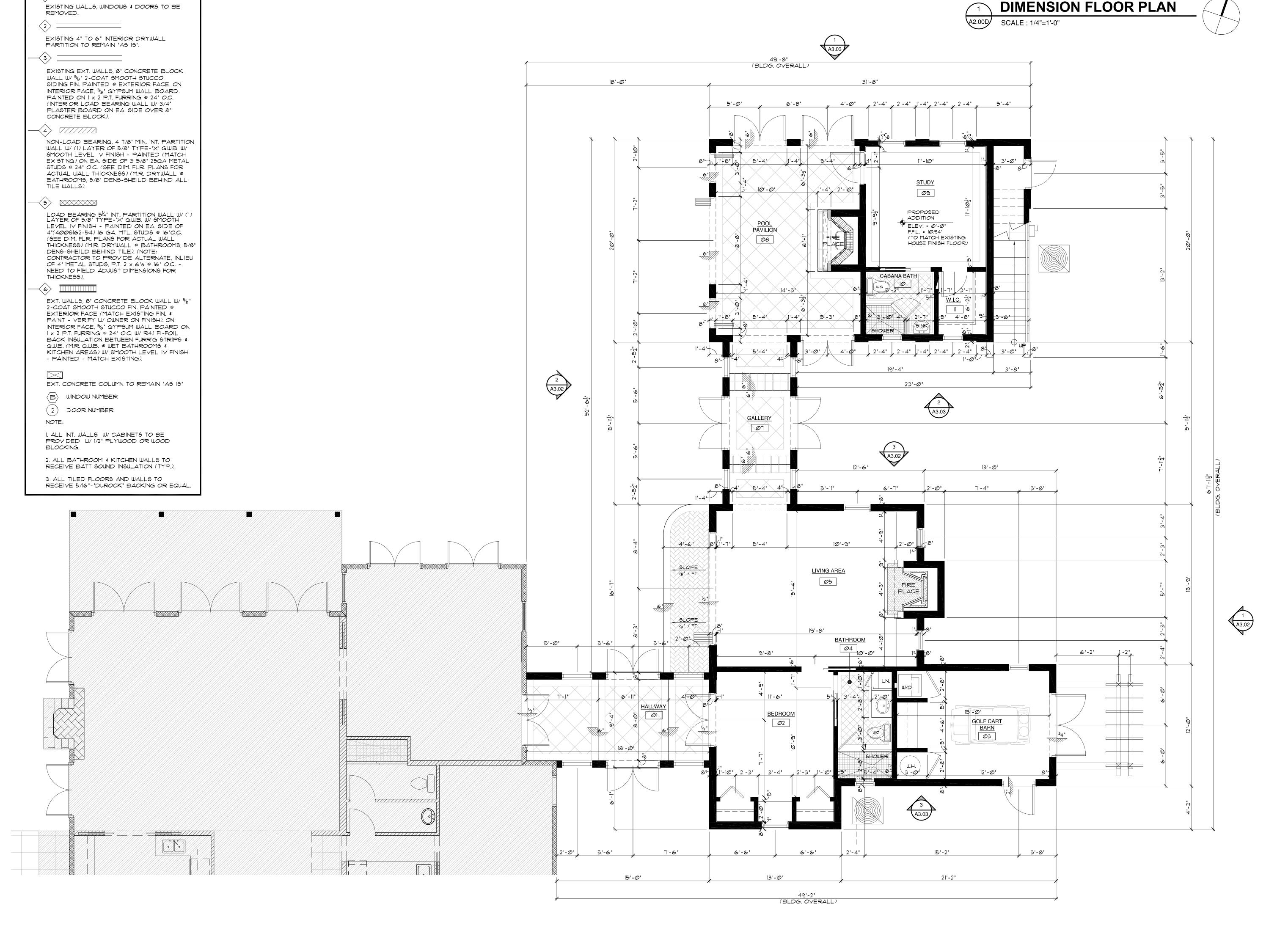
DRAWING TITLE **PROPOSED** 

**FLOOR PLAN** 

GE/JC 2.14.11 JOB NUMBER 2010317

DRAWING NUMBER

**A2.00N** 



WALL LEGEND



#### Architect, Planner and Designer AA-26002044

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Delray Beach, Florida 33444 TEL: 561-276-6011 FAX: 561-276-6129

! ISSUED FOR HARC.

BIDS

PERMIT Ø2. 25. 11

CONSTRUCTION

PROJECT TITLE

#### **SUNSET KEY EXISTING WALSH RESIDENCE ADDITION**

**SUNSET KEY** 

KEY WEST, FL.

REVISIONS

CLIENT APPROVAL

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING

FILE NUMBER 317A200D

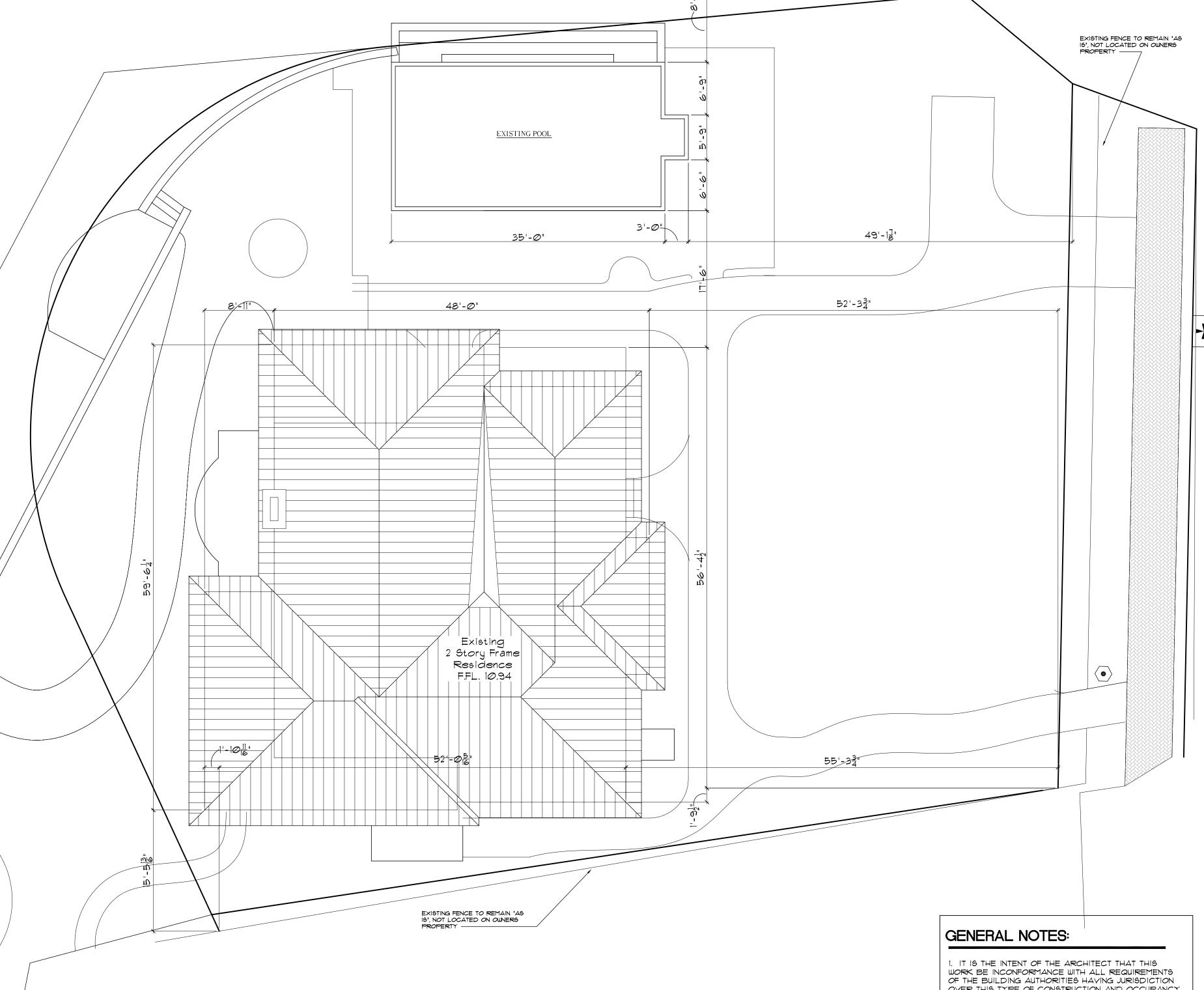
DRAWING TITLE **PROPOSED DIMENSION FLOOR PLAN** 

2.14.11 GE/JC JOB NUMBER

2010317

A2.00D

AREA CALCULATIONS	
EXISTING TWO STORY FRAMED HOUSE:	
EXISTING FIRST FLOOR UNDER A/C	2,162 S/F
EXISTING FRONT COVERED PORCH	49Ø S/F
EXISTING SIDE COVERED PORCH	268 S/F
TOTAL EXISTING GROUND FLOOR	2,92Ø S/F
EXISTING SECOND FLOOR UNDER A/C (-552 SQUARE FEET OF OPEN SPACE TP BELOW)	2,187 S/F -552 S/F
EXISTING EXISTING SECOND FLOOR UNDER A/C	1,635 S/F
EXISTING REAR COVERED PORCH	465 S/F
EXISTING SIDE COVERED PORCH	268 S/F
TOTAL EXISTING SECOND FLOOR	2,368 S/F
TOTAL AIR CONDITIONED SPACE	3,797 S/F
TOTAL UNDER ROOF	5,288 S/F



**EXISTING SITE PLAN** 

SCALE : 1/8"=1'-0"

1. DO NOT SCALE DRAWINGS!

(SEE GENERAL NOTES)

2. FIELD VERIFY ALL DIMENSIONS!

3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT

IF ANY DESCRIPANCY W/ DRAWINGS.

4. ALL AREA CALCULATIONS ARE APPROX.

NOTES:

OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND

REGULATIONS.

(FOR REFERENCE ONLY)

2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.

3. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.

4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.

5. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED

PRIOR WRITTEN CONSENT FROM THE ARCHITECT. 6. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 2500 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.

#### LEGAL DESCRIPTION

LEGAL DESCRIPTION, LOT T: A parcel of filled land lying in the Gulf of Mexico, Westerly of the Island of Key West, Monroe County, Florida and being more particularly described as follows: Commence at a found PK. Nail and brass washer stamped \$2431 being the Westerly Right-of-Way Line of Front Street and the Southerly Right-of-Way Line of Whitehead Street, all as shown on the unrecorded Map of the Town of Key West together with the Island as surveyed and delineated 56'59' E (Bearings derived : February 1829 by W.A. Whitehead: thence \$0'10 from the State Plane Coordinate System, Florida East Zone, National Geodetic Survey 1982 Adjustment), along the said Westerly Right-of-Way Line of Front 31'09' : Street for 99.02 feet: thence leaving the said Right-of-Way Line, N 10 : 41'42' W for 20.04 feet thence N 11: W for 220.71 feet: thence \$10 43'15' W for 315.95 feet to the stem of a brass disc stamped 'N.O.3. PIER A 1981', the cap of which has been destroyed, the State Plane Coordinates 54'06' W for . for which are North 82419.34, East 231252582' thence N 33 187466 feet to a point of intersection with the Mean High Water Line of 'SUNSET ISLAND', formerly known as 'TANK ISLAND', as located by TASK Surveyors, Inc., on 3/29/94 and Referenced to Tide Station 812-4580' KEY WEST ISLAND': thence N 89.24'02' W for 1064.79 feet to the Southwesterly Right-of-Way Line of a 16 foot wide cart path and the Point of Beginning: thence 6.62.33'02'W, a distance of 109.51 feet: thence N.43.36'15'W, a distance of 44.40 feet to the point of curvature of a curve to the right, having: a radius of 50.00 feet, a central angle of 109.92'21', a chord bearing of Nillo8'26'E, and a chord length of 81.66 feet: thence along the arc of said curve, an arc length of 95.55 feet to the point of tangency of said curve: thence N.65.53'0'TE., a distance of 14.36 feet: thence \$6.90.65'3'E., a distance of 18.66 feet to the point of Beginning: Parcel contains 12966 square feet or 0.30 acres, more or less.

A parcel of filled land lying in the Gulf of Mexico, Westerly of the Island of Key West, Monroe County, Florida and being more particularly described as follows: Commence at a found P.K. Nail and brass washer stamped \*2437 follows: Commence at a found PK. Nail and brass washer stamped 7437 being the Westerly Right-of-Way Line of Front Street and the Southerly Right-of-Way Line of Whitehead Street, all as shown on the unrecorded Map of the Town of Key West together with the Island as surveyed and delineated 56/59° E (Bearings derived · February 1829 by W.A. Whitehead± thence 9 Øl from the State Plane Coordinate System, Florida East Zone, National Geodetic Survey 1982 Adjustment), along the said Westerly Right-of-Way Line of Front 31/09° · Street for 99.02 feet± thence leaving the said Right-of-Way Line, N TØ · 41/42° W for 220.41 feet thence N TI · W for 220.72 feet± thence \$\int \text{ brace} \circ \text{ } \int \text{ All } \text{ feet: thence \$ 10 43"15" W for 315.95 feet to the stem of a brass disc stamped "N.O.S. PIER A 1981", the cap of which has been destroyed, the State Plane Coordinates 54"06" W for for which are North 82419.914, East 231252.582: thence N 39 1814.66 feet to a point of intersection with the Mean High Water Line of 'SUNSET ISLAND', formerly known as 'TANK ISLAND', as located by TASK Surveyors, Inc., on 3/29/94 and Referenced to Tide Station 872-4580 'KEY WEST ISLAND'± thence N 89:24'02' W for 1064.79 feet to the Southwesterly Right-of-Way Line of a 16 foot wide cart path± Parcel contains 4280 square feet or 0.10 acres, more or less.

thence \$62.33'02'W, a distance of 109.51 feet to the Point of Beginning! thence \$62.33'02'W, a distance of 24.06 feet! thence \$07.46'\text{lo'} E for a distance of 10.62 feet! thence \$14.38'\text{lo'} W for a distance of 16.40 feet! thence \$N 8624'43' W for a distance of 16.40 feet! thence \$N 8624'43' W for a distance of 46.69 feet! thence \$N 80.24'\text{lo'} E for a distance of 136.02 feet! thence \$N 8553'\text{07'} E, a distance of 36.19 feet to the point of curvature of a curve to the left, having: a radius of 50.00 feet, a central angle of 109.29'\text{12'}, a chord bearing of \$11.08'\text{26'W}. and a chord length of 81.66 feet! thence along the arc of said curve, an arc length of 95.55 feet to the point of tangency of said curve! thence \$.43.36'\text{15'E}, and along the Southwesterly boundary line of Lot \$T\$ a distance o

LEGAL DESCRIPTION, FENCE EASEMENT A parcel of filled land lying in the Gulf of Mexico, Westerly of the Island of Key West, Monroe County, Florida and being more particularly described as follows: Commence at a found PK. Nail and brass washer stamped \*2437 being the Westerly Right-of-Way Line of Front Street and the Southerly Right-of-Way Line of Whitehead Street, all as shown on the unrecorded Map of the Town of Key West together with the Island as surveyed and delineated February 1829 by W.A. Whitehead: thence \$01.56'59' E (Bearings derived from the State Plane Coordinate System, Florida East Zone, National Geodetic Survey 1982 Adjustment), along the said Westerly Right-of-Way Line of Front Street for 99.02 feet: thence leaving the said Right-of-Way Line, N 10.31'09' W for 220.72 feet: thence \$10.47'42' W for 220.41 feet thence N 11.43'15' W for 315.95 feet to the stem of a brass disc stamped 'N.O.5, PIER A 1981', the cap of which has been destroyed, the State stamped 'NO.9. PIER A 1981', the cap of which has been destroyed, the State Plane Coordinates for which are North 82419.914, East 231252.582± thence N 39.54/06' W for 1874/66 feet to a point of intersection with the Mean High Water Line of "SUNSET ISLAND", formerly known as "TANK ISLAND", as located by TASK Surveyors, Inc., on 3/29/94 and Referenced to Tide Station 872-4580 "KEY WEST ISLAND'± thence N 88/4/58" W for 1039.31 feet to the

Southwesterly Right-of-Way Line of a 18 foot wide cart path ±

 $_{\odot}$  N 43:36°15° W for 2.30 feet t thence N 62:39'02° E for 107.51 feet to the said Southwesterly Right-of-Way line of a 18 foot wide cart paths thence S 61:28'09° W and leaving the said Southwesterly Right-of-Way Line of a 18 foot wide cart path for 106.89 feet to the Point of Beginning.

Containing 118.46 Square Feet, more or less.

#### Architect, Planner and Designer AA-26002044

205 George Bush Blvd.
Delray Beach, Florida 33444
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

#### **SUNSET KEY EXISTING WALSH RESIDENCE ADDITION**

## **SUNSET KEY**

KEY WEST, FL.

CLIENT APPROVAL

REVISIONS

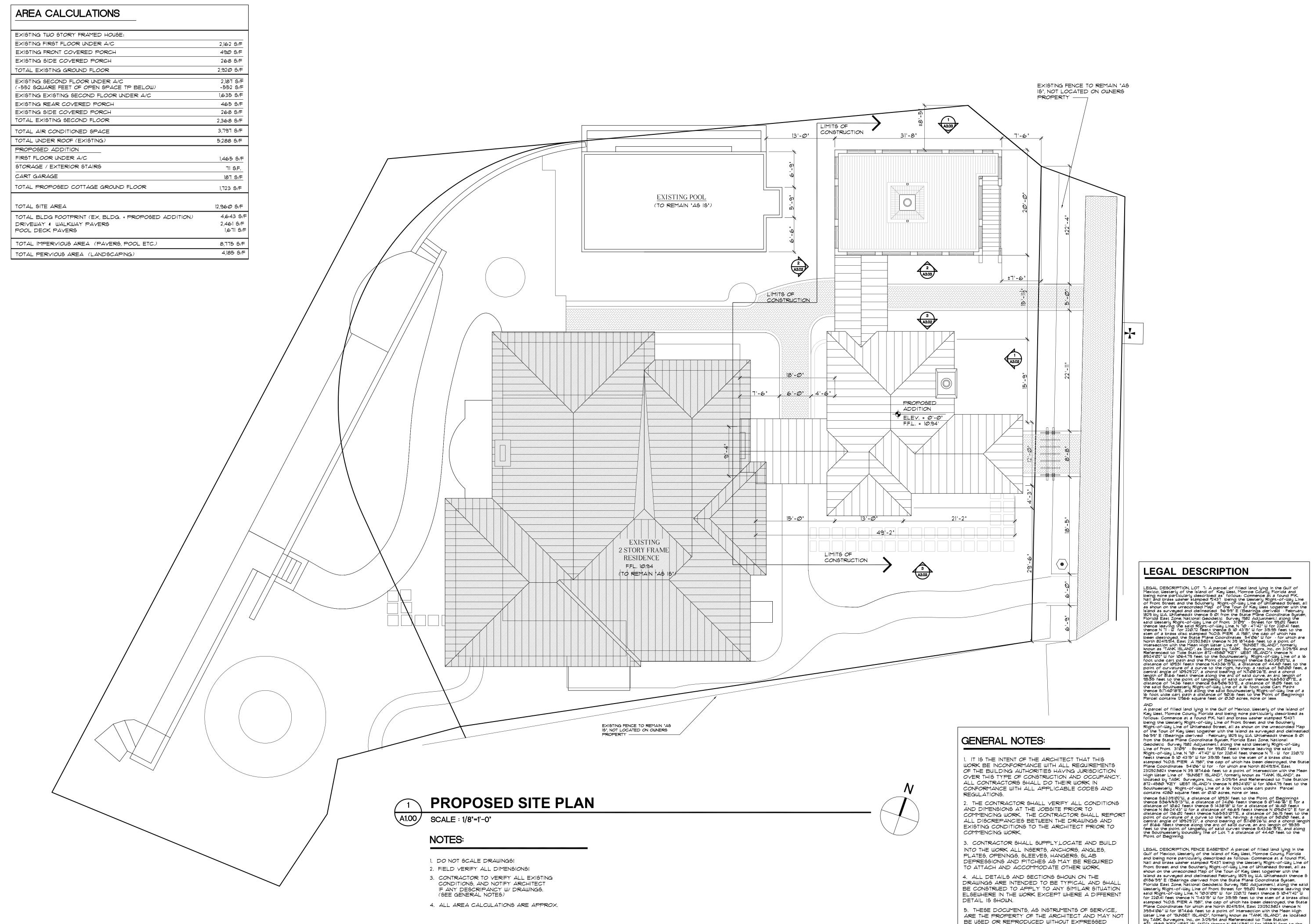
FILE NUMBER 317A100E

#### DRAWING TITLE **EXISTING SITE PLAN**

2.14.11 GE/JC

2010317 DRAWING NUMBER

JOB NUMBER





#### Architect, Planner and Designer AA-26002044

205 George Bush Blvd. Delray Beach, Florida 33444 TEL: 561-276-6011 FAX: 561-276-6129

ISSUED FOR H.A.R.C.

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

#### **SUNSET KEY EXISTING WALSH** RESIDENCE **ADDITION**

#### **SUNSET KEY** KEY WEST, FL.

CLIENT APPROVAL

REVISIONS

A parcel of filled land lying in the Gulf of Mexico, Westerly of the Island of Key West, Monroe County, Florida and being more particularly described as follows: Commence at a found P.K. Nail and brass washer stamped \$2437 follows: Commence at a found PK. Nail and brass washer stamped \$243T being the Westerly Right-of-Way Line of Front Street and the Southerly Right-of-Way Line of Whitehead Street, all as shown on the unrecorded Map of the Town of Key West together with the Island as surveyed and delineated 56/59° E (Bearings derived · February 1829 by W.A. Whitehead± thence 9 Øl from the State Plane Coordinate System, Florida East Zone, National Geodetic Survey 1982 Adjustment), along the said Westerly Right-of-Way Line of Front 31/09° · Street for 99.02 feet± thence leaving the said Right-of-Way Line, N TO · 41/42° W for 220.41 feet thence N TI · W for 220.72 feet± thence \$1,043° W for 1895 feet to the stem of a brass disc feet; thence \$ 10/43'15' W for 315.95 feet to the stem of a brase disc stamped 'N.O.5. PIER A 1981', the cap of which has been destroyed, the State Plane Coordinates 54'06' W for for which are North 82419.914, East 231252.582; thence N 39 1874.66 feet to a point of intersection with the Mean

High Water Line of 'SUNSET ISLAND', formerly known as 'TANK ISLAND', as located by TASK Surveyors, Inc., on 3/29/94 and Referenced to Tide Station 872-4580 'KEY WEST ISLAND': thence N 89:24'02' W for 1064.79 feet to the Southwesterly Right-of-Way Line of a 16 foot wide cart path: Parcel contains 4280 square feet or 0.10 acres, more or less. thence \$.62.39'\text{\text{0}}2'\text{\text{W}}, a distance of \$|\text{\text{0}}9.5|\$ feet to the Point of Beginning! thence \$.56\text{\text{\text{0}}}\text{\text{1}}\text{\text{0}}, a distance of \$2.4\text{\text{\text{0}}}\$ feet to the Point of Beginning! thence \$5.56\text{\text{\text{0}}}\text{\text{1}}\text{\text{0}}, a distance of \$1.40'\text{\text{1}}\$ for a distance of \$1.40'\text{\text{0}}\$ feet: thence \$\text{\text{0}}\text{\text{0}}\text{\text{0}}\text{\text{1}}\$ for a distance of \$1.40'\text{\text{0}}\$ feet to the point of curvature of a curve to the left, having: a radius of \$0.40'\text{\text{0}}\$ feet, a central angle of \$10.92\text{\text{0}}\text{\text{2}}\$, a chord bearing of \$1.10\text{\text{0}}\text{\text{2}}\text{\text{w}} and a chord length of \$1.66'\text{\text{feet}}\text{\text{thence}}\$ along the arc of \$1.40'\text{\text{0}}\$ feet to the point of tangency of \$1.40'\text{\text{0}}\$ feet to the \$0.43.36'\text{\text{0}}\$ feet to the Point of Beginning.

LEGAL DESCRIPTION, FENCE EASEMENT A parcel of filled land lying in the Gulf of Mexico, Westerly of the Island of Key West, Monroe County, Florida and being more particularly described as follows: Commence at a found PK. Nail and brass washer stamped \*2431 being the Westerly Right-of-Way Line of Front Street and the Southerly Right-of-Way Line of Whitehead Street, all as shown on the unrecorded Map of the Town of Key West together with the Island as surveyed and delineated February 1829 by W.A. Whitehead: thence 5 Ø156'59' E (Bearings derived from the State Plane Coordinate System, Florida East Zone, National Geodetic Survey 1982 Adjustment), along the said Westerly Right-of-Way Line of Front Street for 99.02 feet: thence leaving the said Right-of-Way Line, N T031'09' W for 220.12 feet: thence 5 10.41'42' W for 220.41 feet thence N 11.43'15' W for 315.95 feet to the stem of a brass disc stamped 'NOS. PIER A 1981', the cap of which has been destroyed, the State stamped 'N.O.S. PIER A 1981', the cap of which has been destroyed, the State Plane Coordinates for which are North 82419.914, East 231252.582± thence N Plane Coordinates for which are North 52419-314, East 25125-2552 thence N 39-54/06' W for 1874-66 feet to a point of intersection with the Mean High Water Line of 'SUNSET 19LAND', formerly known as "TANK 19LAND', as located by TASK Surveyors, Inc., on 3/29/34 and Referenced to Tide Station 872-4580 "KEY WEST 19LAND'! thence N 88-14'58' W for 1039.31 feet to the Southwesterly Right-of-Way Line of a 18 foot wide cart path ± thence \$ 62.39'02" W for 98.24 feet: thence N 43.36'15" W for 49.78 feet to the Point of Beginning: thence continue N 43:36'15' W for 2:30 feet: thence N 62:39'02' E for 107.51 feet to the said Southwesterly Right-of-Way line of a 18 foot wide cart path: thence S 61:28'09' W and leaving the said Southwesterly Right-of-Way Line of a 18 foot wide cart path for 106.89 feet to the Point of Beginning.

Containing 118.46 Square Feet, more or less.

PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

ARCHITECT PRIOR TO COMMENCING WORK.

6. SUBSURFACE SOIL CONDITION INFORMATION IS NOT

AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A SOIL

BEARING CAPACITY OF 2500 PSF. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING

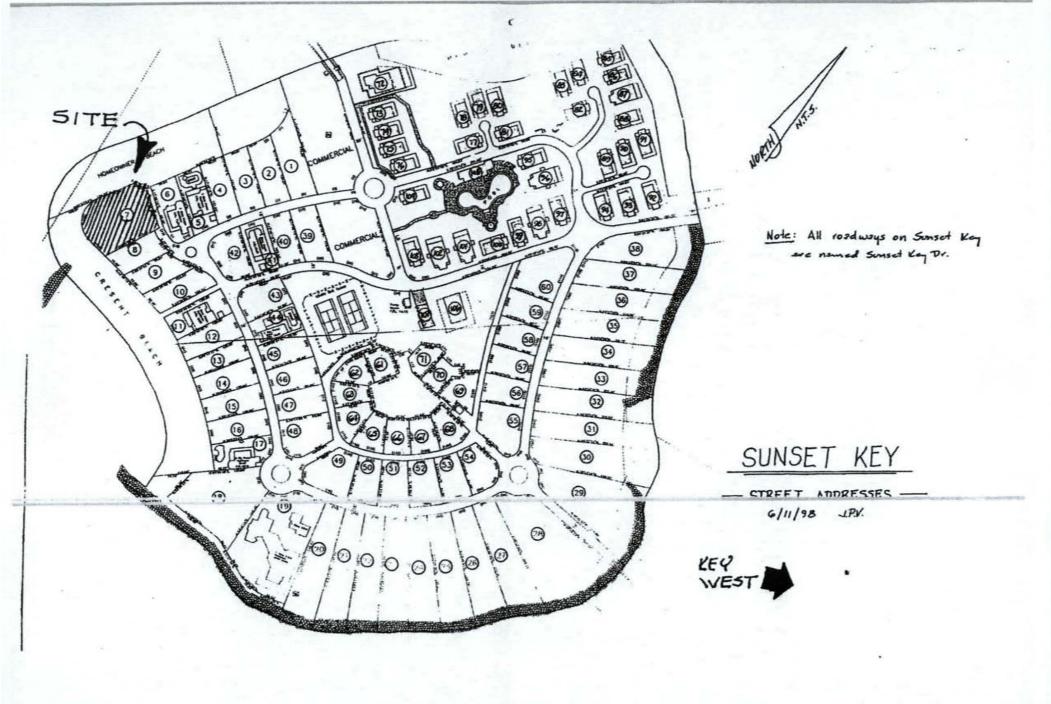
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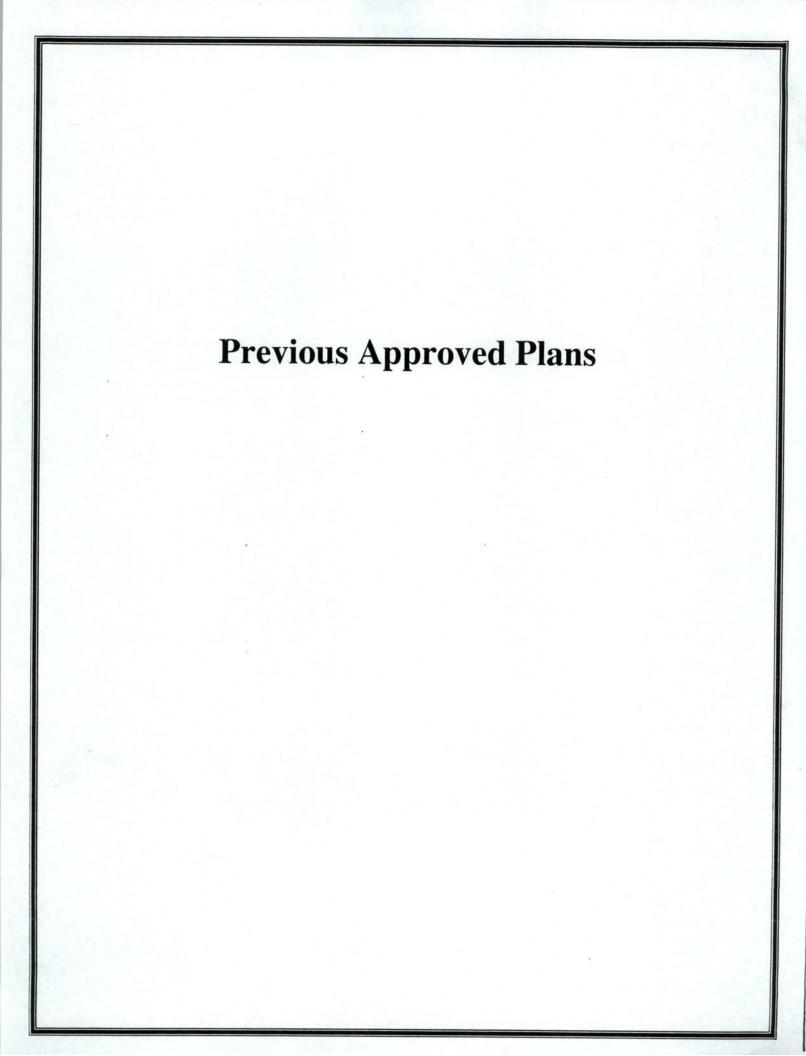
DRAWING TITLE

**PROPOSED SITE PLAN** 

> 2.14.11 GE/JC JOB NUMBER

2010317 DRAWING NUMBER



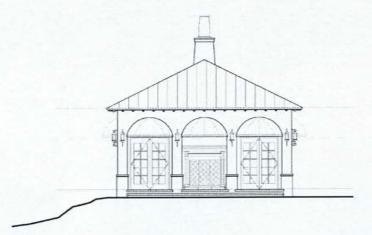


#### GENERAL NOTES

- DO NOT SCALE THE DRAWNIE.
- DI PRED VERFY ALL DIRENGOS.

- THE CONTRACTOR SHIELL BE REPROBLED TO THE ARCHTECT FOR THE ACTS AND CHISSIONS OF ITS COMPLETION OF THE WORK.

- SSI ALL PRITAL PARTENERS HALLS AND BOLTS TO BE NOT DIFFED GALVANIES 34. PROVIDE PIER STOPPING AT NOOF WALLS, AND CELLING AS REQUIRED.



#### APPLICABLE CODES

- 2007 PLORIDA BUILDING CODE
- 2007 FLORIDA MECHANICAL CODE 2007 FLORIDA PLUMBING CODE
- 2007 NATIONAL ELECTRICAL CODE (NFPA-70)

#### SUNSET KEY WALSH RESIDENCE GUEST COTTAGE Key West, FL

#### OCCUPANCY CLASSIFICATION GROUP R. SINGLE FAMILY

TYPE OF CONSTRUCTION

TYPE V - UNPROTECTED / SPRINKLERED

ALLOWABLE HEIGHT

GROUP R-1 / 40'-0"
FLORIDA BUILDING CODE, 2007 EDITION.

(MAX. ALLOWABLE BUILDING

HEIGHT ON SUNSET KEY: 30'-0" ABOVE CROWN OF ROAD).

SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE
	ARCHITECTURAL.		STRUCTURAL		MECHANICAL, ELECTRICAL & PLUMBING
A1.00E	EXISTING SITE PLAN	50.1	SPECIFICATIONS	E-1	POWER & LICHTING PLAN
A1.00	PROPOSED COTTAGE SITE PLAN	S0.2	SPECIFICATIONS	P-1	PLUMBING FLOOR PLAN
42.00	PROPOSED COTTAGE DIMENSION & NOTED PLANS	S1.0	GRADE BEAM, PILE & POUNDATION PLAN	M-1	PLUMBING FLOOR PLAN
A2.01	PROPOSED COTTAGE CEILING & ROOF PLANS	S2.0	ROOF FRAMING PLAN & DETAILS		
12.03	PROPOSED CART/STORAGE FLOOR, ROOF PLAN, ELEVATION & SECTON				
k3.00	PROPOSED COTTAGE ELEVATIONS				
17.00	PROPOSED COTTAGE BUILDING SECTIONS				
48.00	TYPICAL DETAILS				
48.01	TYPICAL DETAILS				
\$0.84	TYPICAL DETAILS				
19.00	DOOR, WINDOW & ROOM FINISH SCHEDULE				

#### GENERAL CONTRACTOR NORTH SOUTH CONSTRUCTION

1001 EAST ATLANTIC AVE. Delray Beach, Florida 33483

PH. (561) 279-9900 FAX (561) 921-0340

#### STRUCTURAL ENGINEERS

McCARTHY ENGINEERING 75 N.E. 6TH AVE., SUITE 108 Delray Beach, Florida 33483

#### PH. (561) 921-0338 FAX (561) 921-0340

#### M.E.P. ENGINEERS

THOMPSON & YOUNGROSS ENGINEERING CONSULTANT 112 SOUTHEAST 10TH STREET. Deiray Beach, FLORIDA 33483

PH. (561) 274-0200 FAX (561) 274-0222

#### ARCHITECTS

ELIOPOULOS ARCHITECTURE, INC. 205 GEORGE BUSH BLVD. Delray Beach, Florida 33444 FL. LIC. AA0003179

PH. (561) 276-6011 FAX (561) 276-6129



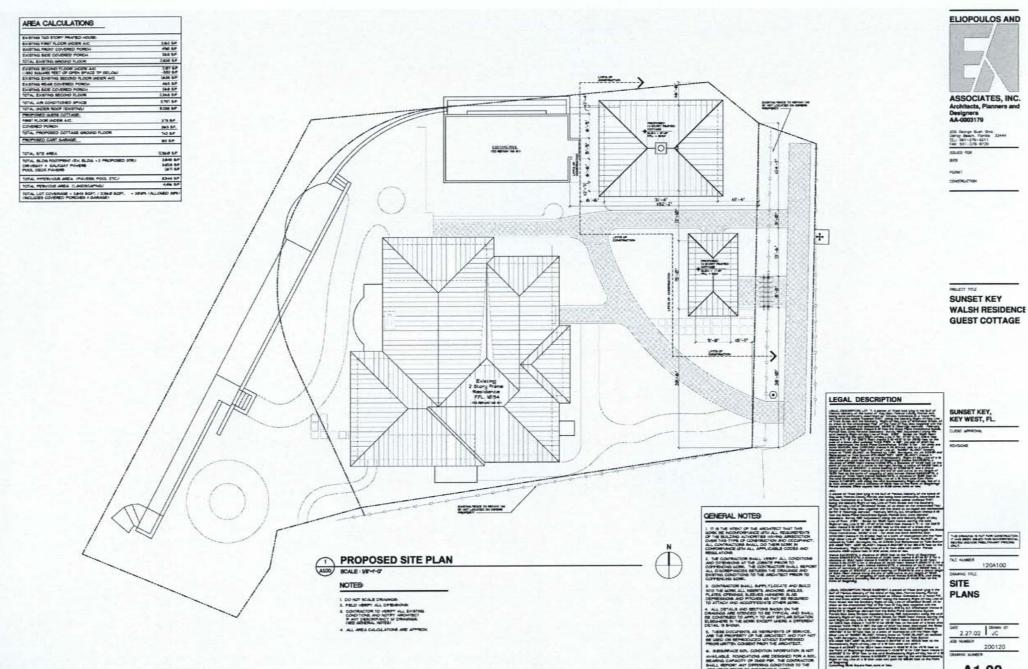
- - Orthwoton is resignated for the following some 

    HAVE SATINGON OF SCHEDULING OF ALL TRADES AND SOME FINGUE 
    SOME OF CITATING SATING SOME STATEMENT EXISTS.

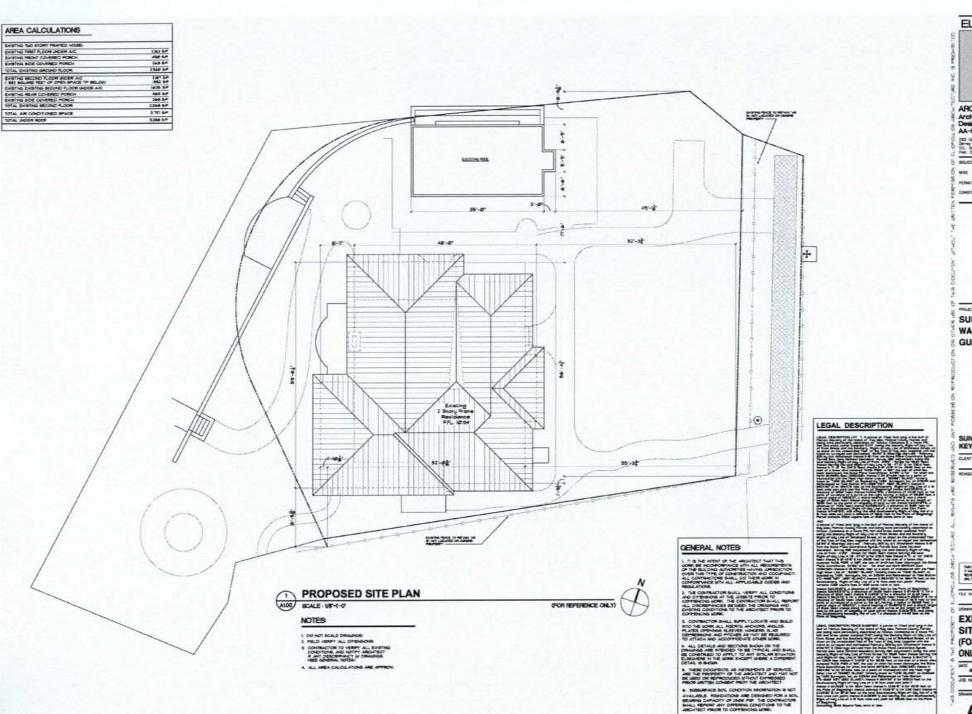
- ATT CONCEAL ALL TANTONNA AND ATTACHMENTS PROTI VIEW
- 63. AL REGIREO CARRETRY, SELVIGI TO BE PROVIDED IN PROPER PRESSURE TREATED MODI BLOCKIE; PRESSURE TREATED IF PLYIN 3 4" PRESSURE TREATED BLOCK ETC.

#### NOTES

THE DRAWING IS NOT FOR CONSTRUCTION. REVEN AND/OR PRELIMENT PRICING



A1.00



**ELIOPOULOS** 

ARCHITECTURE, INC. Architect, Planner and Designer AA-0003179

200 George Built Stv5. Derey Beech, Florida 33444 Till. 561-275-8011 FAX: 561-275-6128

SSUED FOR BADNE

PERMIT

CONSTRUCTION

PROJECT TITLE

SUNSET KEY WALSH RESIDENCE **GUEST COTTAGE** 

SUNSET KEY, KEY WEST, FL.

DUDN'T APPROVIL

317A100E

JUST DAWNED

**EXISTING** SITE PLAN (FOR REFERENCE ONLY)

4.22.10 GE

CE HAMER 2010317

A1.00E

#### FLOOR PLAN NOTES

- THE SALL FRAMING DETAL SEE STREET, DISS'S FOR
- SEE BULDING SECTIONS I FINISH SCHEDULES FOR ALL PINISHES I HILLISON, NOTIS ALL ARCHITECTURAL FINISHES I HILLISON, ARE FOR PRICING PURPOSES OILY?
- 63 SEE ROOM FINSH SCHEDULES FOR ALL WALLS. CELINGS & FLOOR COVERINGS (TYP.)
- 64 BLECT HETER SEE BLECTRICAL DRAWNOS
- 59 2" » 2" NON-SUP MARSUE SHOURR FUR TO SUCPE TO DRAIN SET IN SHOURR FAIR ALL MARSUE TO SE PLACED ON SHIP "DIRPOOR" (TYP.) SUPLOONING \* AREAS TO RECEIVE TUE OR HARRUEZ!
- 20 SA HETAL STIDS # 30" OC. TUROOK" OVER 3 540"
- 51 PLANSED OUT BALL 6' TO 8' FOR PLANSING STACK SEE
- SE BATT SOUND HOLLATION TO BE INSTALLED IN MATER CLOSET (STYLE AND COLOR TO BE SELECTED BY OWER)

6.0

61

E LAY ISTYLE AND COLOR TO BE SELECTED BY OWERS

- DOOR 24, UN LHOUSES IN BETREO CHACLE O'LLO
- 2 Y UDE SA BAR SIK IVERPT WOMEN
- B GRANTE BAR COUNTERTOP.

(1) (a)

BLDG OVERALL

0

BLDG OVERALL

- HESTERO F-UC-SAR-RAISE REF (VERFT W OURSE ON
- ELECT, MATER WEATER CAPACITY AS DETERMINED BY MECHANICAL ENGINEER, SEE PLUMBING PLAN
- TOP ALM PRENCH DONE TO BE SPACT
  RESISTANT AND COTPLY IF ALL DADE COUNTY
  SPACE AND UND CYCLING TESTING REQUIRES
  CONTRACTION TO PROVIDE CERTIFICATE OF
  COMPLIANCE (TYP) COLOR UNITE \*
- TOUT FINED I CASETERT ALLY INFORMS TO BE PRACT RESISTANT AND COPPLY WALL DADE CONTY INFACT AND UND CYCLANS TERMON REQUIREMENTS CONTRACTOR TO PROVIDE CENTRICATE OF COPPLIANCE (TIP) COLOR WHITE

14, 80 , 80 14, 80 , 30 14,

BEDROOM 60

TEN NOVE

20 14, 20, 20 14,

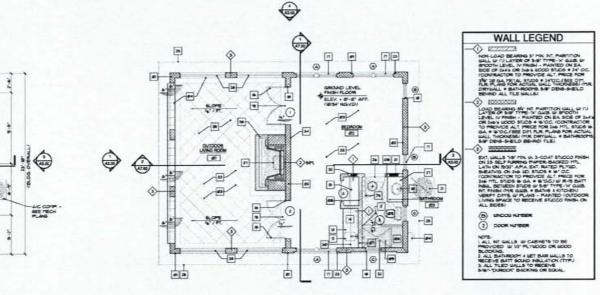
B CALLEYS BUCK / ID. FRAME / ALIM FRAME OR METAL

- THEL I STICK HEYBRANE W Nº MAX MT.
- 29 AR HANDLING INIT: CAPACITY AS DETERMINED BY HECK ENGINEER SEE HYAC PLAN ALL UNITS TO BE EQUIPMED IN UTILITY TOOL 4 DRAIN PAIN INSTELL DATED IN ATTIC!
- AC COMMENSOR ON 41TH CONC. PAD IVERPT UNITED THAT CAPACITY AS DETERMINED BY HISCA BYONEER SEE HIVAC PLAN & SITE PLAN. 4" FLOOR DRAN - SEE PROPOSED PLUTSING DRAUNGS FOR ALL CONSCTIONS.
- 22 ALL UNDOU CORRERS + SELES TO BE URAPPED W TETERNISOND UNDOU SEAL, TURNING UP 5" + JATES ONCE UNDOW TO HAVE STRUCTURAL PRAYED SELES -SEE STRUCT, DIGS.
- 14 I CEDAR SHELVING AND ROD AT HE" AFF.
- 25 LINE OF ROOF OVERHANG ABOVE
- 26 22" + 36" ATTIC ACCESS. SEE ROOF FRAMING PLAN
- TO VANITY TO RECEIVE MARRIE SHRULLNOSE BOOK
- ALLY DECORATIVE RAIL W E.S.P. POLICIER COAT PINSHCOLOR WATER TO WATCH MAIN HOUSE. TOP OF RAIL
  OF A SHAPE SHIP RAIL HOUSE AND DESON
  SHOP DISSE FOR STILL SIZES AND DESON
  SHIPTY A SHAPE SHIP AND PLOSON ALLYMOTH OR
  SHAPE SHIPTE SHIPTY AND PLOSON ALLYMOTH OR
  SHAPE SHAPE SHIPTY AND PLOSON ALL COPPLY TO
  SHAPE SHAPE SHIPTY AND SHALL COPPLY TO
  SHAPE SHAPE SHIPTY AND SHALL COPPLY TO
  SHIPTY THE OPENING OF THE LOCKED DOOR FROM THE
  OUTSIDE IN AN SHIPTY AND THE SHAPE SHAPE SHIPTY AND THE SHAPE SHA
- WHEN AND LOUEN MOOD RAISED PANEL CASINETS IN CROWN HOLDING, CONTRACTOR TO PROVIDE SHOP DIX ICASINETS TO PROVIDE LIP FOR HIDDEN OPTIONAL LO VOLTAGE LIGHTINGS
- N TELEPHONE I CABLE PAREL . 46" AFF
- 32 ELECTRICAL SERVICE PAVEL + 68" ABOVE FLOOR
- 33 ANN CONC. BLAS (1900 PRI) IN 8 x 6-014 x 014 BUS.

  33 OVER 60-11, POLYETHYLESS VASTOR BURREUK LAF 6'
  AND TAPE ALL, DOINS ON GELL COTFACTED TO.

  TERRITE TREATED, (501, PREPARATION DURBAN-TO'
  TO 5 GAL, PRI 68 FOR BLAS AREA.

- CONTRACTOR TO VERFT W OWER ALL REQUIRED HTS 4 SACKING FOR ALL FLASHW FLAT SCREEN TV LOCATIONS (TYP.)
- ALL PORCIES TO RECEIVE MATATION COQUINA OR EQUIA. HOW-BUT MY BALLHOSE AT THE QUITER EDICE ENTIRE DECK TO BE PURDER! I GOVERNE DECK, "MUK MAP OR EQUIA, (TITAL)." 25
- PREPLACE SHALL RECEIVE A HEARTH AS PER SECT. 385 FBC 1007 ED. -VERFY SITH OWER ON HATERIALS
- 46's 47' STANDARD MOKERN W STEEL DATTER, ST TREES ON EQUAL TO CASE AND THE MARKET ON EQUAL TO CASE AND THE MARK THE MARK THE TARK THE MOKE THE TREES ON EQUAL THE MOT HAVE ANY GAS CONNECTION YESTER WOLLDERS. 37



#### **COTTAGE DIMENSION PLAN**

A200 SCALE: 14"-1"-0"



2.0 04

EP 1

AREA CALCULATION			
A/C FLOOR AREA	378 6F		
COVERED PORCH AREA	343 BF.		
TOTAL UNDER ROOF	747 55		

**COTTAGE NOTED PLAN** 

SCALE: 1/4"=1"-0"



#### NOTES:

- DO NOT SCALE DRAWNS
- 1 PELD YERFY ALL DITERSON
- CONTRACTOR TO VERFT ALL EXISTING CONDITIONS, AND NOTEY ARCHITECT F ANY DESCRIPANCY OF DRAINGS, USES OPERAL NOTES!
- 4 ALL AREA CALGRAPIONS

**ELIOPOULOS** 



Architect, Planner and AA-0003179

200 George Bush Blv6. Delray Beach, Florido 161: 561-276-4011 FAX: 561-276-6129

SSUED FOR

BOS

PERMIT CONSTRUCTOR

PROJECT TITLE

SUNSET KEY WALSH RESIDENCE **GUEST COTTAGE** 

SUNSET KEY KEY WEST, FL.

CLENT APPROVA

2174200 THE SHARE

PROPOSED COTTAGE **DIMENSION & NOTED PLANS** 

04.07.10 GEUC

20 MARER 250430

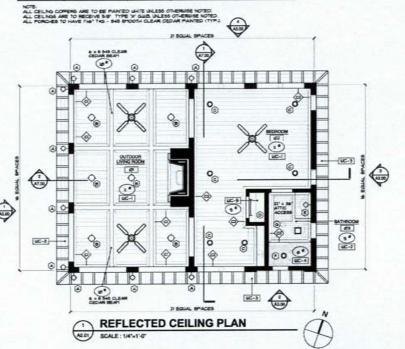
A2.00

CEILING SCHEDULE						
& LABEL	HANFACTURER	DMENSIONS	RETURKS			
UC-I	PALH CITY MILLIONS	3/4" # 9 1/2"	FIX 8" TIG FEMOOTH CLEAR GEDAR - PAINTED			
UC-3	PALM CITY MILLIONK	3/4" x 2 1/2"	BEAD BOARD - PANTED			
uc-3	PALM CITY HILLUORK	7'16'	T 4 G V-JONT 645 CLEAR CEDAR - PANTED			
UC-4	UATERLORKS	FEF	HARBLE TILE			
UC-b	USG. GYPSU1	SHETTER X	GYP, WALL BDPANTED - SLICK FINISH			
UC-s	USO, GTPSUM	SHE' TYPE X	HR GYP WALL BDPANTED - SLICK PINSH			
UC-7	SMOOTH STUCCO	3-GOAT 7/8" th	SMOOTH STUCCO -PAINTED			

PLORESCENT LIGHT

CEILING FAN

	CROWN M	OULDING	SCHEDULE
LABEL	HANR / HODEL NO.	DPENSONS	BOOD TIME
а	PALH CITY HILLIONK	34' x 114'	PINSER JONT PANT GRADE POPLAR
a	FALM CITY MILLUORK	34 × 5 10"	FINGER JOINT PAINT GRADE POPLAR

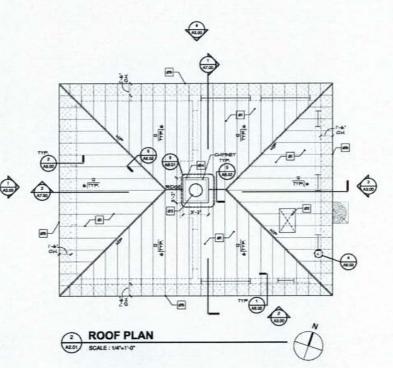


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#### **ROOF NOTES**

**ELIOPOULOS** 



ARCHITECTURE, INC. Architect, Planner and Designer AA-0003179

205 George Blue Blvs. Delay Beach, Flories 33444 TEL: 561-275-6011 FAC: 561-275-6129

S ISSUED FOR

PERMIT

PROJECT TILE

SUNSET KEY WALSH RESIDENCE **GUEST COTTAGE** 

SUNSET KEY KEY WEST, FL.

CLERT APPROVA

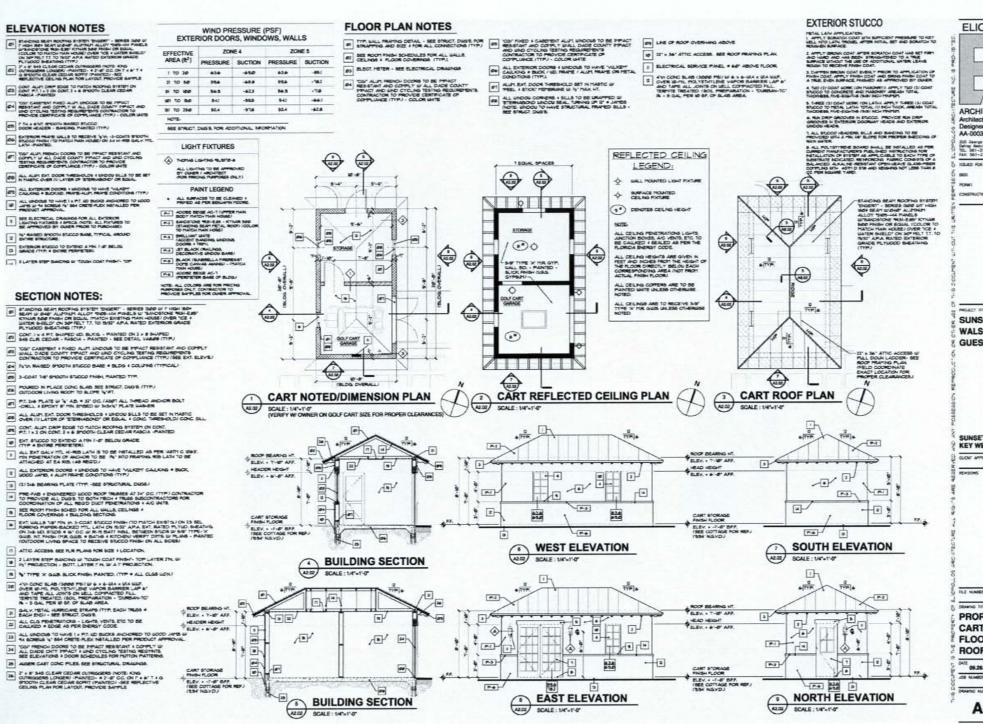
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PROPOSED COTTAGE **CEILING & ROOF PLANS** 

94.07.10 | SHAN EY

JOB NUMBER

A2.01



**ELIOPOULOS** 

ARCHITECTURE, INC. Architect, Planner and Designer AA-0003179

205 George Bust Stvt. Daing Sect., Floride 33444 TDL: 561-276-8011 Fax: 561-276-6129

BOS

PORMI CONSTRUCTION

MOJET THE

SUNSET KEY WALSH RESIDENCE **GUEST COTTAGE** 

SUNSET KEY KEY WEST, FL.

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PROPOSED CART STORAGE FLOOR &

**ROOF PLAN** 09.28.08 GE

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#### **ELEVATION NOTES**

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#### **EXTERIOR STUCCO**

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Designer AA-0003179

205 George Burn Bivd. George Besch. Floride 33444 TO, 561-276-6011 FAX: 561-275-6129

SSLED FOR

805 CONSTRUCTION

PROJECT TILL

SUNSET KEY WALSH RESIDENCE **GUESS COTTAGE** 

SUNSET KEY KEY WEST, FL.

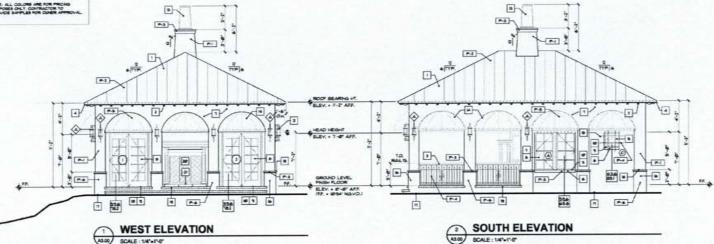
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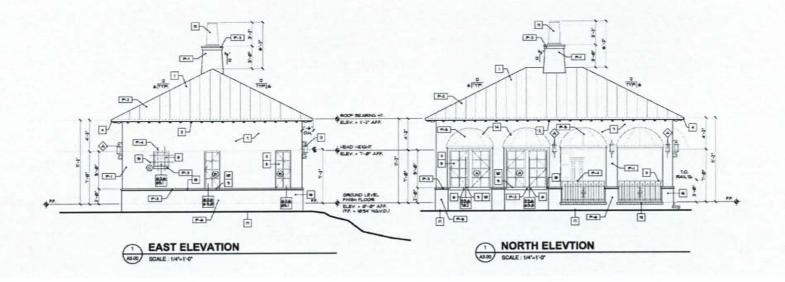
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PROPOSED COTTAGE **ELEVATIONS** 

09.29.06 GE JOB NOMBOX 2910317

A3.00





#### SECTION NOTES:

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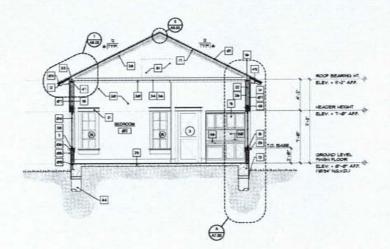
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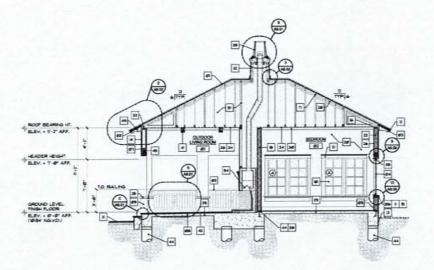
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BUILDING SECTION AT.00 SCALE: 147-T-0"



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NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY, CONTRACTOR TO PROVIDE NATIFICES FOR CHIEF APPRIC

POWER NAME CONSTRUCTION

PROJECT TITLE

WALSH RESIDENCE **GUEST COTTAGE** 

**ELIOPOULOS** 

ARCHITECTURE, INC.

Architect, Planner and

205 George Bush Blvs. Derroy Betch, Florido 33444 102: 561-276-6011 FMC 561-275-6129

SNED FOR BACKS

Designer AA-0003179

acs

SUNSET KEY KEY WEST, FL.

CLENT APPROVAL

PLE NAMES 317A700

DEWING TILL

PROPOSED COTTAGE BUILDING

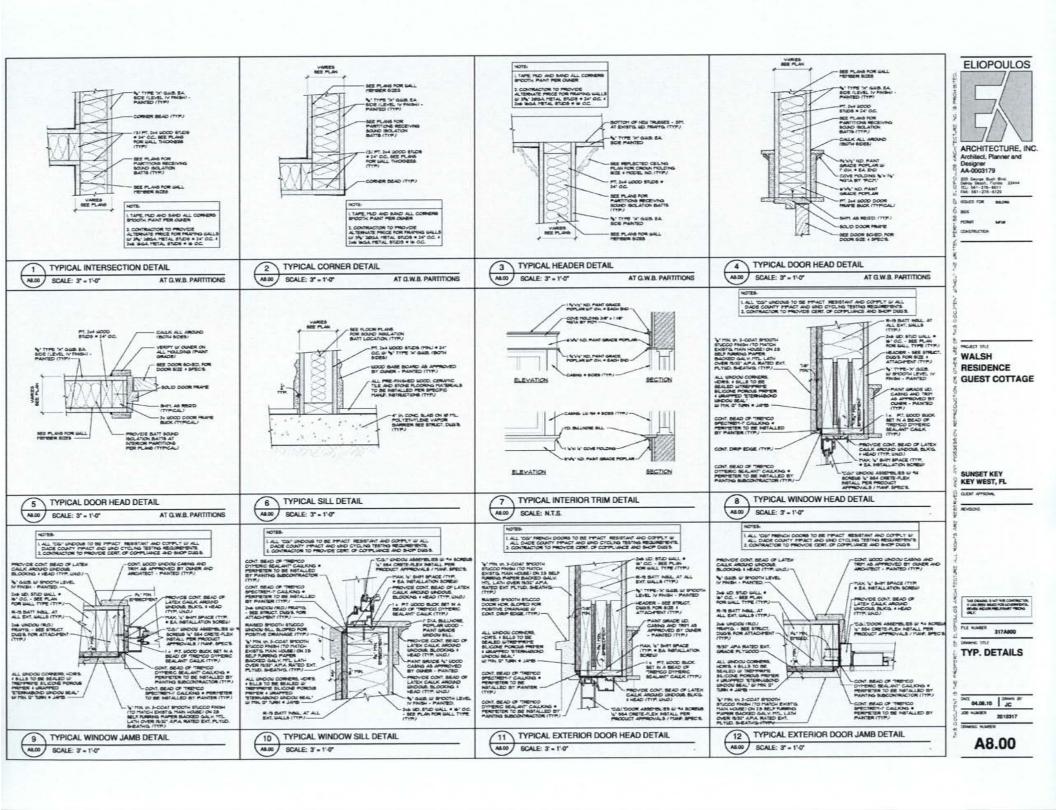
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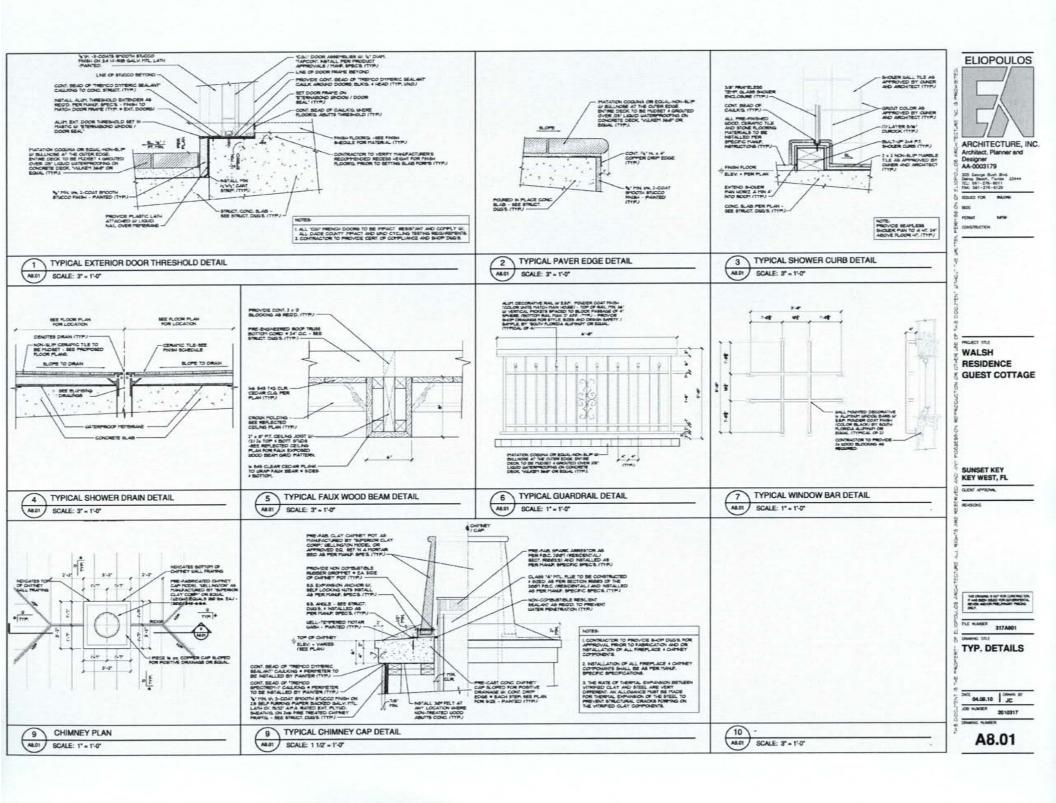
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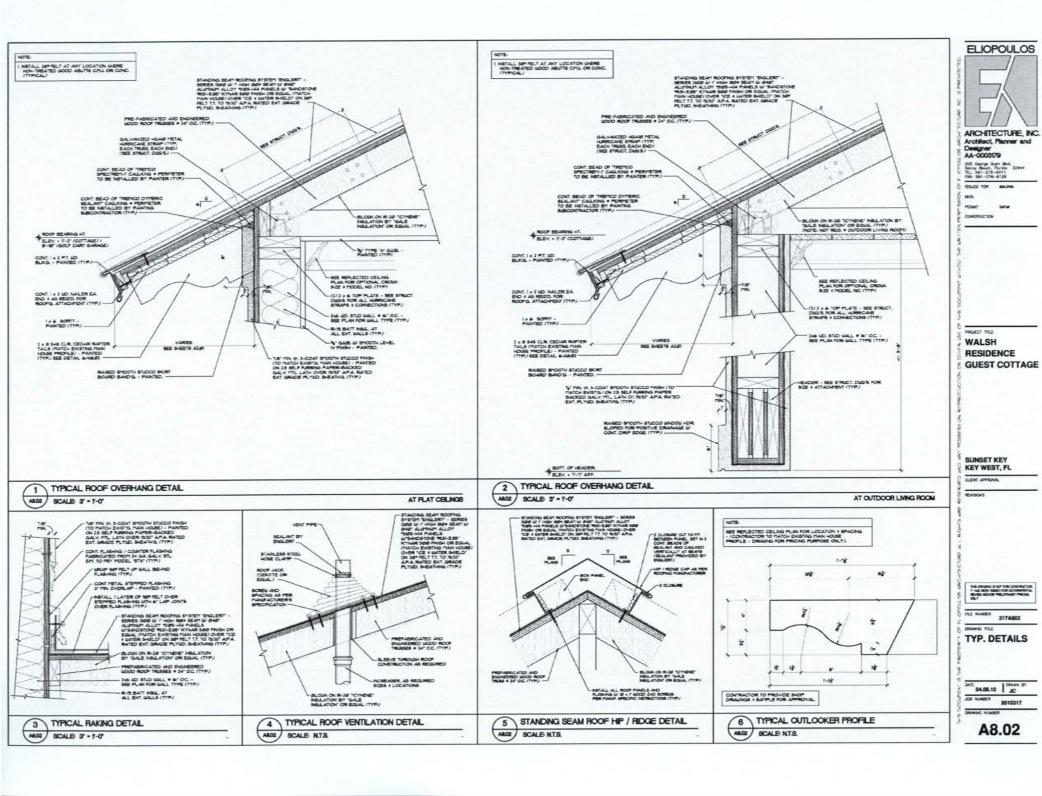
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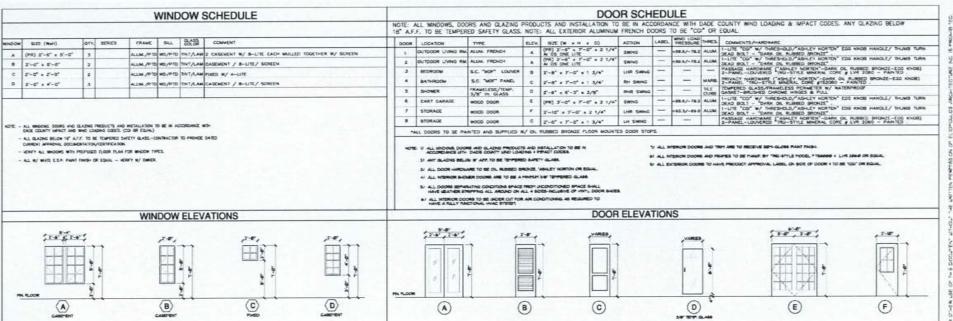
BUILDING SECTION

A7.00 SCALE: 145-1-0"









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ARCHITECTURE, INC. Architect, Planner and Designer AA-0003179

205 George Bush Brid. Derroy Besch, Floring. 33444 161: 561-276-6011 FAX: 561-275-6129

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PERMIT CONSTRUCTION

PROJECT TITLE

WALSH RESIDENCE GUEST COTTAGE

SUNSET KEY KEY WEST, FL

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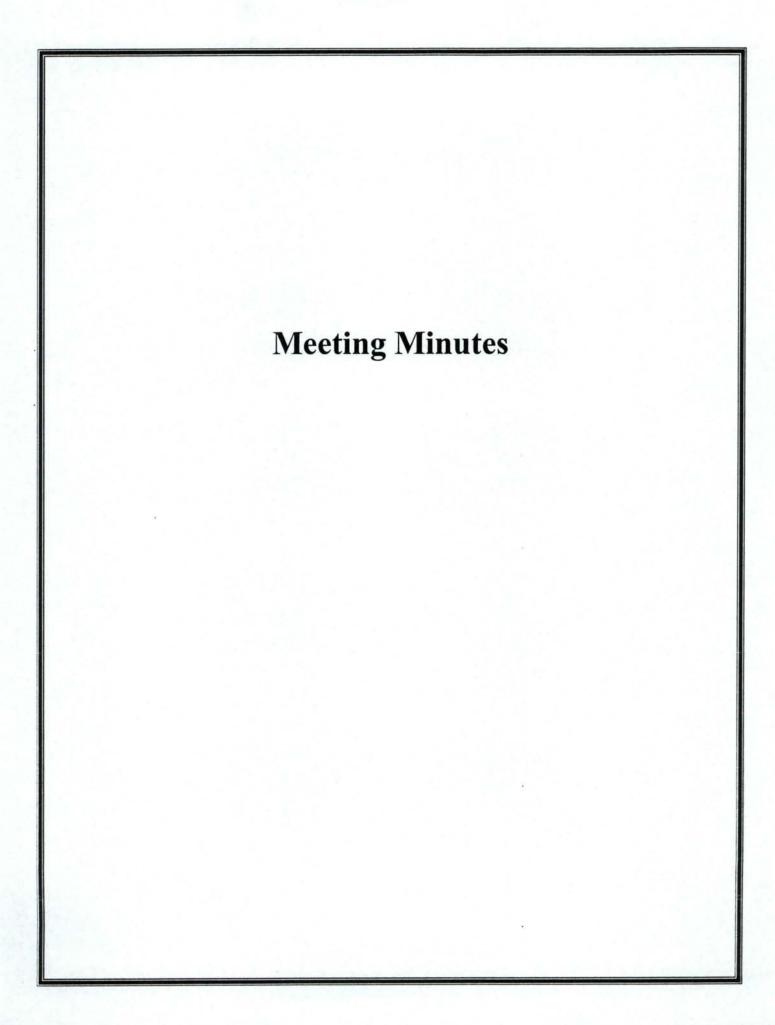
NAMES TO E

DOOR, WINDOW & ROOM FINISH SCHEDULE

04.09.10 | Staus Br

JOS HOWECK 2010317

A9.00



#### APPROVED

11 Request to build a two story addition on back of house and a new 20' by 12' in ground pool.- #621 Thomas Street- Applicant Paul Cox (H10-01-786)

Paul Cox presented the project.

No public comment

Enid Torregrosa presented her staff report.

Nils Muench made a motion to approve; the motion was seconded by Bryan Green.

The Chairman requested the clerk call the roll.

Yeas: Commissioners Metzler, Muench, Rojas, Green and Chairman Molinet.

Nays: None.

APPROVED

12 Request to add new deck and stairs off the back of the existing house approximately 18'-4" wide and 6' deep. -#313 Amelia Street- Applicant Sea Tech of the Florida Keys, Inc. (H10-01-796)

Ryan Lachapelle presented the project.

No public comment.

Enid Torregrosa presented her staff report.

Nils Muench made a motion to approve; the motion was seconded by Daniel Metzler.

The Chairman requested the clerk call the roll.

Yeas: Commissioners Metzler, Muench, Rojas, Green and Chairman Molinet.

Nays: None.

**APPROVED** 

13 Request to built a pool house/ guest cottage and carport on existing residential lot.- #7 Sunset Key Drive-Sunset Key-Applicant James P. Vernon (H10-01-798)

James P. Vernon presented the project.

No public comment.

Enid Torregrosa presented her staff report.

Nils Muench reviewed the guidelines concerning carports.

Enid Torregrosa stated that Sunset Key has non-historic context and therefore would not have to conform to most of the Historic neighborhood guidelines.

Bryan Green stated that the building is more like an ancillary building than a carport.

Carlos Rojas pointed out that there are no cars on Sunset Key.

Enid Torregrosa stated that it is proposed to be used as a "cartport" for a golf cart type vehicle.

Carlos Rojas made a motion to approve; the motion was seconded by Bryan Green.

The Chairman requested the clerk call the roll.

Yeas: Commissioners Metzler, Rojas, Green and Chairman Molinet.

Nays: Commissioner Muench.

**APPROVED** 

#### **HARC Planner's Report**

Enid Torregrosa stated that HARC had received 1,345 applications in the last year, 260+ more than last year.

#### **Comments from Commissioners**

Nils Muench discussed the amount of application the board reviews.

Ron Ramsingh stated that 936 United Street will appear before the magistrate at the end of next month.

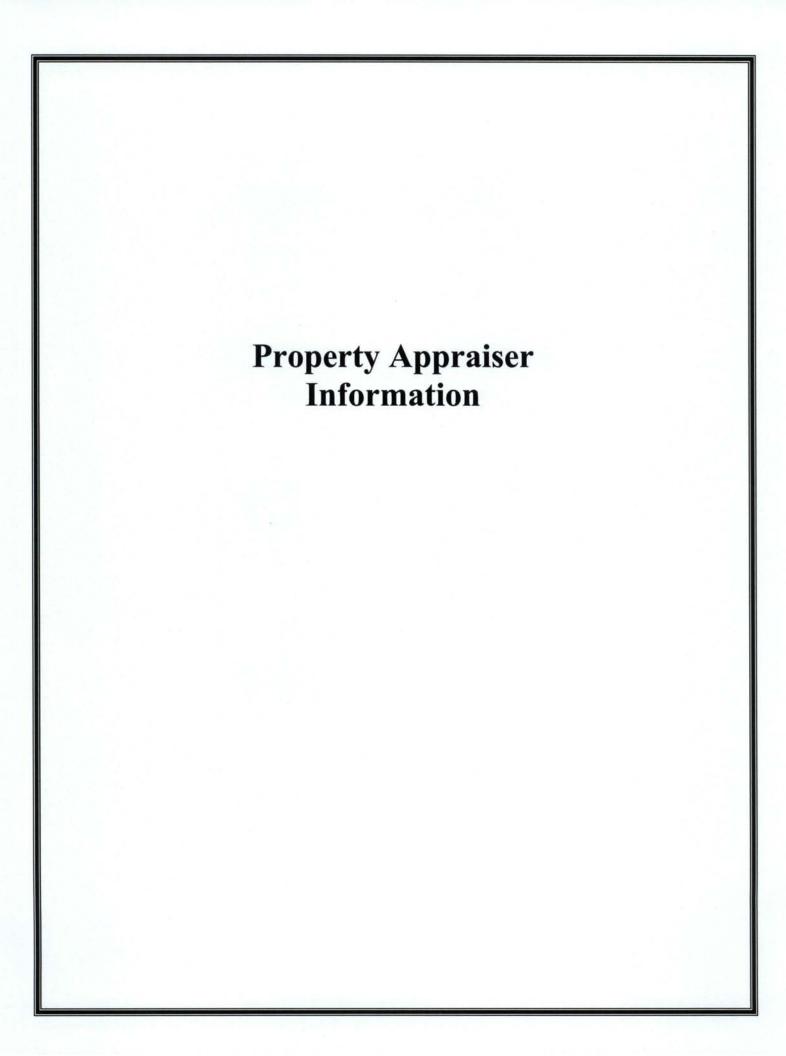
#### Adjournment

Carlos Rojas made a motion to adjourn; the motion was seconded by Bryan Green. Motion carried.

Interested parties may appear at the public meeting and be heard with respect to the proposed items. Copies of the applications are available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm. Applications can also be viewed online at <a href="https://www.keywestcity.com">www.keywestcity.com</a>.

Anyone who may wish to appeal any decision made by the HARC Commission at this meeting will need to ensure that a verbatim record of the proceeding is made which includes the testimony and evidence which the appeal will be based. Florida Statute 286.0105.

Please note that one or more City Commission members and/or Planning Board members may be present at this meeting.



#### Ervin A. Higgs, CFA **Property Appraiser** Monroe County, Florida

office (305) 292-3420 fax (305) 292-3501

#### **Property Record View**

Alternate Key: 8982920 Parcel ID: 00000200-000507

#### Ownership Details

Mailing Address:

WALSH THOMAS T AND LINDA R 7 SUNSET KEY DR KEY WEST, FL 33040

#### **Property Details**

PC Code: 01 - SINGLE FAMILY

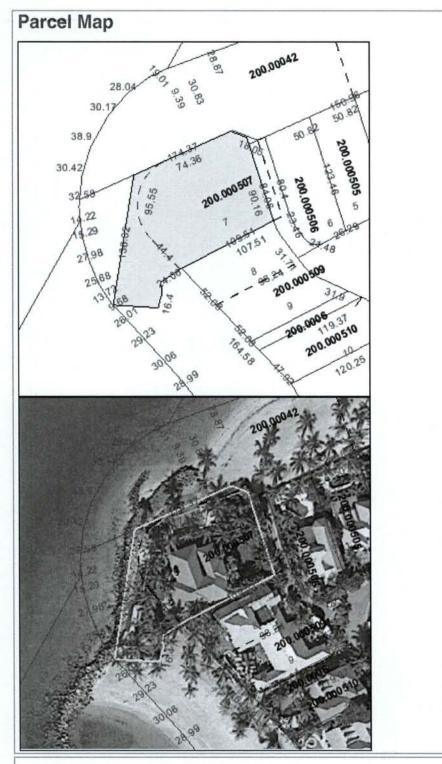
Millage Group: 10KW Affordable Housing: No

Section-Township-Range: 36-67-24

Property Location: 7 SUNSET KEY DR SUNSET KEY

Legal Description: KW PARCEL OF FILLED LAND LYING WLY OF THE ISLAND OF KEY WEST (LOT 7 & PT BEACH AREA

SUNSET ISLAND) .4837 AC OR1678-2325/34(LG)



#### Exemptions

Exemption	Amount
44 - ADDL HOMESTEAD	25,000.00
39 - 25000 HOMESTEAD	25,000.00

#### **Land Details**

Land Use Code	Frontage	Depth	Land Area
01WB - WATER FRONT BEACH	0	0	21,070.00 SF

#### **Building Summary**

Number of Buildings: 1 Number of Commercial Buildings: 0

Total Living Area: 4526 Year Built: 2000

#### **Building 1 Details**

Building Type R1 Effective Age 10 Year Built 2000 Functional Obs 0 Condition G Perimeter 432 Special Arch 0

Roof Cover METAL

Quality Grade 780
Depreciation % 11
Grnd Floor Area 4,526

Inclusions:

R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type IRR/CUSTOM Heat 1 FCD/AIR DUCTED Heat Src 1 ELECTRIC

Heat 2 NONE Heat Src 2 NONE

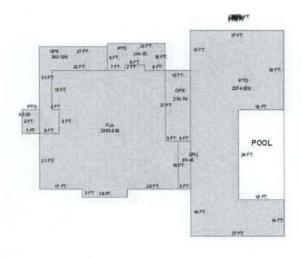
Economic Obs 0

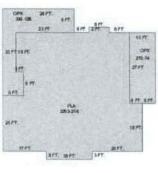
Foundation CONCR FTR

Bedrooms 3

**Extra Features:** 

2 Fix Bath 2 3 Fix Bath 2 4 Fix Bath 0 5 Fix Bath 0 6 Fix Bath 0 7 Fix Bath 0 Extra Fix 0 Vacuum 0
Garbage Disposal 0
Compactor 0
Security 1
Intercom 0
Fireplaces 2
Dishwasher 0





#### Sections:

Nbr	Туре	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	10:CUSTOM	1	2000	Ν	Υ	0.00	0.00	2,263
2	OPU		1	2000	N	Ν	0.00	0.00	90
3	OPX		1	2000	Ν	Ν	0.00	0.00	270
4	PTO		1	2000	Ν	Ν	0.00	0.00	214
5	OPX		1	2000	N	Ν	0.00	0.00	390
6	PTO		1	2000	N	Υ	0.00	0.00	63
7	PTO		1	2000	Ν	Ν	0.00	0.00	2,274
8	FLA	5:C.B.S.	1	2000	N	Υ	0.00	0.00	2,263
9	OPX		1	2000	N	Ν	0.00	0.00	399
10	OPX		1	2000	N	Ν	0.00	0.00	270

#### **Misc Improvement Details**

Nbr	Туре	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PO4:RES POOL	612 SF	34	18	2000	2001	2	50
2	WF2:WATER FEATURE	1 UT	0	0	2000	2001	1	20
3	PT5:TILE PATIO	60 SF	0	0	2000	2001	1	50
4	PT2:BRICK PATIO	1,360 SF	0	0	2000	2001	3	50
5	PT4:PATIO	150 SF	0	0	2000	2001	4	50
6	FN2:FENCES	1,045 SF	209	5	2000	2001	5	30
7	FN2:FENCES	440 SF	110	4	2000	2001	2	30
8	FN2:FENCES	310 SF	62	5	2000	2001	2	30
9	FN2:FENCES	165 SF	55	3	2000	2001	2	30

#### **Appraiser Notes**

2001 CUT OUT DONE

#### **Building Permits**

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	9900558	02/19/1999	09/25/2000	350,000		2 STORY SINGLE FAMILY
	9900776	03/05/1999	09/25/2000	30,000		POOL

#### **Parcel Value History**

Certified Roll Values.

View Taxes for this Parcel.

Roll	Total Bldg	Total Misc	Total Land	Total Just	Total Assessed	School	School Taxable
Year	Value	Improvement Value	Value	(Market) Value	Value	Exempt Value	Value
2010	928,194	52,758	4,899,196	5,880,148	3,071,354	25,000	3,046,354

2009	1,044,498	54,350	5,978,929	7,077,777	2,990,608	25,000	2,965,608
2008	959,754	56,077	5,815,320	6,831,151	2,987,620	25,000	2,962,620
2007	969,964	49,563	5,815,320	6,834,847	2,900,602	25,000	2,875,602
2006	2,161,400	50,970	2,528,400	4,740,770	2,829,856	25,000	2,804,856
2005	1,185,517	52,514	2,059,593	3,297,624	2,747,433	25,000	2,722,433
2004	1,059,083	53,922	2,059,593	3,172,598	2,667,411	25,000	2,642,411
2003	882,355	55,328	2,107,000	3,044,683	2,617,676	25,000	2,592,676
2002	919,202	56,873	1,580,250	2,556,325	2,556,325	25,000	2,531,325
2001	909,101	58,279	1,580,250	2,547,630	2,547,630	25,000	2,522,630

#### **Parcel Sales History**

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
9/29/2000	1678 / 2325	1,280,000	WD	K

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Monroe County Property Appraiser Ervin A. Higgs, CFA P.O. Box 1176 Key West, FL 33041-1176