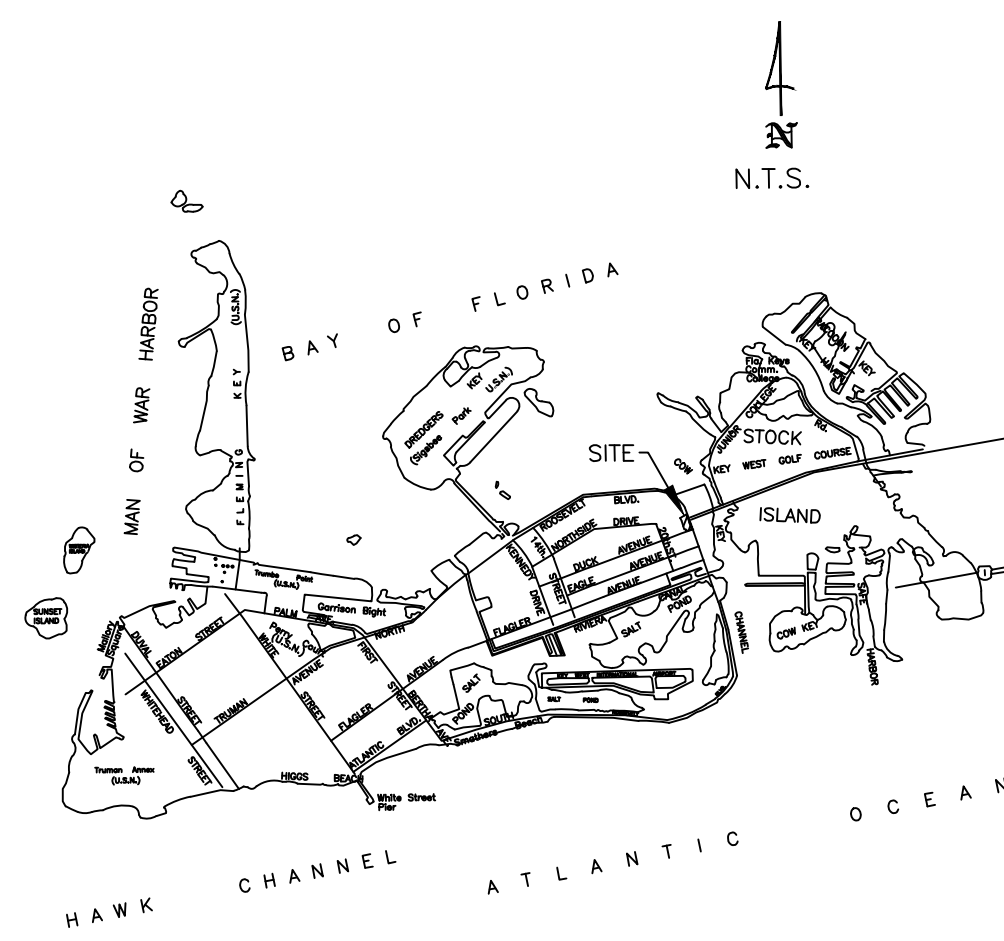


**Site A:**  
**Survey and Site Plans**

1. Survey
2. Existing and Proposed Site Plans
3. Elevations and Floor Plans
4. Civil Plans
5. Landscape Plans
6. Waste Handling Plan
7. Scooter Parking Plan
8. Life Safety Plan



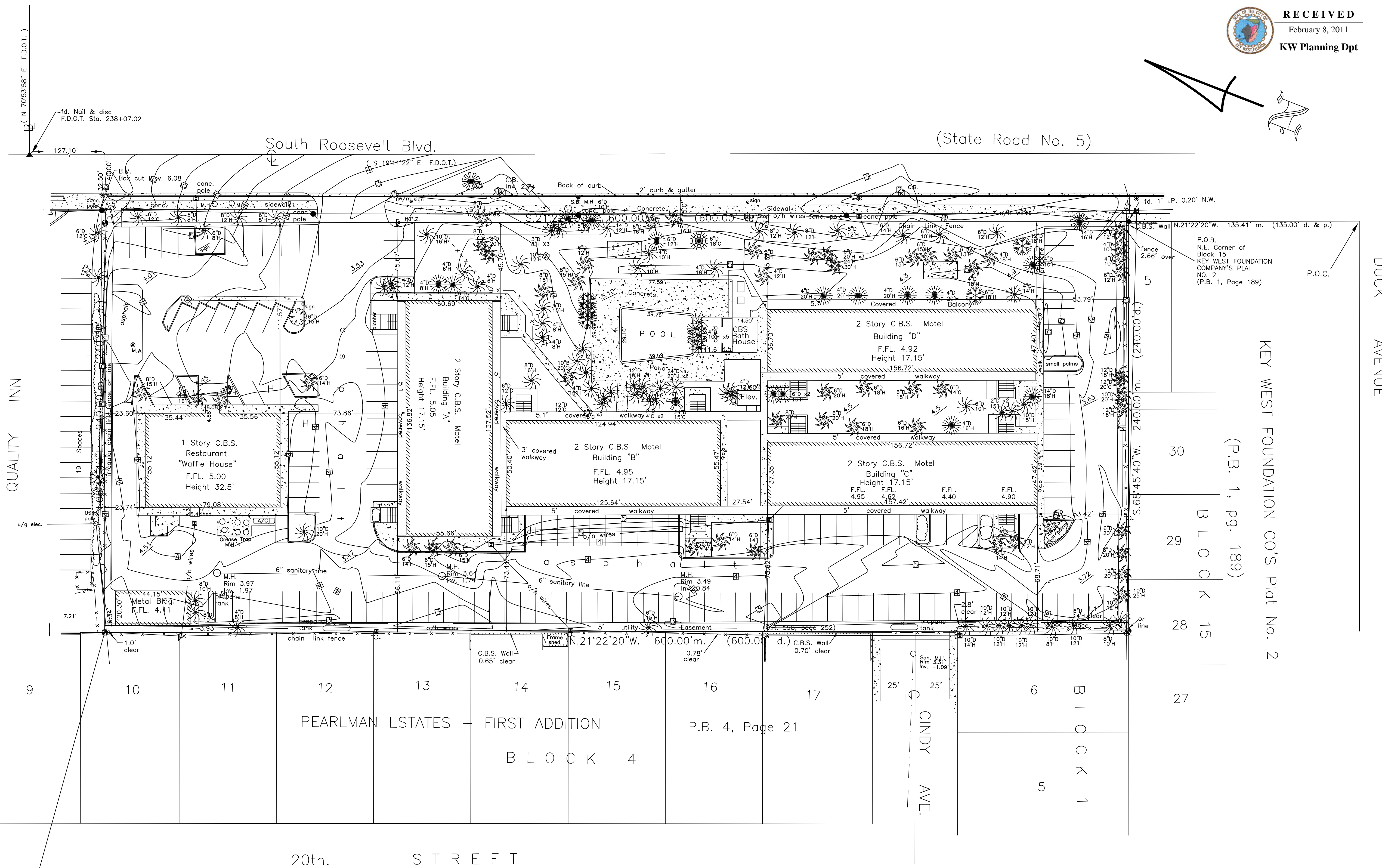


LOCATION MAP  
City of Key West & Stock Island

**LEGAL DESCRIPTION:**  
A Parcel of land located and situate on the Island of Key West, County of Monroe, State of Florida, being more particularly described by metes and bounds as follows:  
Starting at the intersection of the Northerly property line of Duck Avenue and the Southeast corner of Block 15, KEY WEST FOUNDATION COMPANY'S PLAT NO. 2, as recorded in Plat Book 1, page 189; thence N 21°22'20" W, 135 feet along the Westerly property line of Roosevelt Boulevard to the Point of Beginning; thence S 68°45'40" W, 240 feet to a corner; thence N 21°22'20" W, 600 feet; thence N 68°45'40" E, 240 feet to the Westerly property line of Roosevelt Boulevard; thence S 21°22'20" E, 600 feet along the Westerly property line of Roosevelt Boulevard to the place of beginning, all in Tract 22 of the lands of the Key WEST IMPROVEMENT COMPANY, INC..

6"D = Diameter of tree.  
12"C = Canopy diameter of tree.

- = Palm
- = Almond
- = Buttonwood
- = Tree, Unknown
- = Coconut
- = Pine
- = Gumbo Limbo
- = Umbrella
- = Ficus
- = Papaya
- = Rubber
- = Hong Kong Tulip
- = Seagrape



**SURVEYOR'S NOTES:**  
North arrow based on plot  
Reference Bearing: R/W So. Roosevelt Blvd. per deeds  
denotes existing elevation  
Elevations based on N.G.V.D. 1929 Datum  
Bench Mark No.: NOS 1982 Elevation: 5.1440  
Monumentation:  
● = set 1/2" Iron Pipe, P.L.S. No. 2749  
● = Found 1/2" Iron Bar  
▲ = Set P.K. Nail, P.L.S. No. 2749  
▲ = Found P.K. Nail

**Abbreviations:**  
Sty. = Story  
R/W = Right-of-Way  
fd. = Found  
p. = Plot  
m. = Measured  
d. = Deed  
M.H.W. = Mean High Water  
O.R. = Official Records  
Sec. = Section  
Twp. = Township  
Rge. = Range  
N.T.S. = Not to Scale  
C = Centerline  
Elev. = Elevation  
B.M. = Bench Mark  
P.C. = Point of Curvature  
P.T. = Point of Tangency  
P.O.C. = Point of Commence  
P.O.B. = Point of Beginning  
P.B. = Plat Book  
pg. = page  
Elec. = Electric  
Tel. = Telephone  
Ench. = Encroachment  
O.L. = On Line  
C.L.F. = Chain Link Fence

a/h = Overhead  
u/g = Underground  
F.F.L. = Finish Floor Elevation  
L.B. = Low Beam  
Rad. = Radius  
Irr. = Irregular  
conc. = concrete  
I.P. = Iron Pipe  
I.B. = Iron Bar  
B. = Baseline  
C.B. = Concrete Block  
C.B.S. = Concrete Block Stucco  
cov'd. = Covered  
P.I. = Point of Intersection  
wd. = Wood  
R = Radius  
A = Arc (Length)  
D = Delta, (Central angle)  
w.m. = Water Meter  
Bal. = Balcony  
Pl. = Planter  
Hydr. = Fire Hydrant  
F.W. = Fire Well  
A/C = Air Conditioner

☒ = Concrete Utility Pole  
☉ = Wood utility Pole  
☒ = Wood Utility Pole with Guy wire  
☒ = Fire Well  
☒ = Monitoring Well  
☒ = Water Meter  
☒ = Water Valve  
☒ = Electric Manhole  
☒ = Electric Utility Vault  
☒ = Man Hole  
☒ = Sanitary  
☒ = Storm Water Catch Basin  
☒ = Water Meter  
R.P.Z. = Backflow Prevention Valve  
P.V.C. = Polyvinyl Pipe  
R.C.P. = Reinforced Concrete pipe  
☒ = Fire Hydrant  
☒ = Light  
☒ = sign  
F.D.O.T. = Florida Department of Transportation

Field Work performed on: 11/13/12

12/5/12: Updated, trees, contours misc.  
12/5/06: Update, trees  
10/19/06: Update, cert, detail  
7/30/99: New Certification

Sheet 1 of 2

JL WOOD, LTD - Days Inn 3852 South Roosevelt Blvd., Key West, FL.			
BOUNDARY SURVEY		Dwn No.: 12-374A	
Scale: 1"=30'	Ref. file 141-54	Flood panel No. 1309 K	Dwn. By: F.H.H.
Date: 3/3/99		Flood Zone: AE	Flood Elev.:
REVISIONS AND/OR ADDITIONS			
3/11/99: Certification	7/28/99: Utility Easements		
5/28/99: Parking, Zoning, Area, Cert., Setbacks			
7/8/99: Typo's, cert, easements			
c:\drawing\key west\spottwood properties\days inn			

ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive  
Suite 201  
Key West, FL 33040  
(305) 293-0466  
Fax: (305) 293-0237  
thide@spelsouth.net  
L.E. No. 7700



**SURVEYOR'S CERTIFICATE**

This Certificate and the attached survey are made for the benefit of:  
~~Spottswood Hotels, Inc., a Florida corporation, and its assigns~~  
~~Spottswood Companies, Inc., a Florida corporation, and its assigns~~  
~~J.L.Woode Ltd., LLC, a Delaware limited liability company, and its assigns~~  
~~LaSalle Bank National Association~~  
~~Baker & Hostetler LLP~~  
~~Chicago Title Insurance Company~~  
~~JLW Key West 1, LLC, a Florida limited liability company~~  
~~SH Key West, LTD., a Florida limited partnership~~  
~~DLA Piper US LLP~~

I hereby certify

1. That the survey was made on the ground and is correct.
2. That the survey shows a complete legal description of the land and any easements appurtenant to the land necessary for access or utilities and an indication of the total acreage or square foot area of the land.
3. That the survey shows the location of the perimeter of the subject property by courses and distances and all lines described by reference to the line of another piece of property.
4. That all field measurements on the survey are balanced, both as to angles and distances, so as to provide a mathematical closure. That the survey shows the point of beginning, if applicable, basis of bearings, assumed or otherwise, the scale and a north arrow. That the survey shows the following information for any curve: length of arc, radius, central angle and bearing to the radius point from the beginning and end points of the curve.
5. That the survey shows the location of all easements and rights-of-way, including all easements and rights-of-way shown as exceptions on Chicago Title Insurance Company commitment for title insurance No. 630601391 dated October 4, 2006 at 5:00 p.m. That the survey shows the location of all easements referred to in the title binder, showing the book and page of recording of all easements on the survey, and stating that all easements are located pursuant to the book and page of the recorded easements.
6. That the survey shows established building lines and setback, height and bulk restrictions of record or disclosed by applicable zoning or building codes (in addition to those recorded in subdivision maps).
7. That the survey shows all dedicated public streets, easements or rights-of-way providing access to the land, and whether such access is paved to the property line of the land and that the width of all of the foregoing are indicated.
8. That the survey shows lines of streets abutting the subject property and the width thereof, and that ingress and egress to the subject property is provided by South Roosevelt Blvd., (U.S. Highway 1) (State Road No. 5), the same being a dedicated public right-of-way maintained by the Island of Key West, and the State of Florida.
9. That the survey shows encroachments and the extent thereof in feet and inches (if practicable) upon the subject property, including, but without limitation, over, under or across buildings, easements and encroachments either way across the boundary lines of the subject property (or if any improvements located upon the land encroach upon other lands).
10. That the survey shows the exterior dimensions of all buildings at ground level and the square footage of the exterior footprint of all buildings, or gross floor area of all buildings at ground level and the height of all buildings above grade at a defined location, if applicable.
11. That the survey shows all substantial, visible improvements (in addition to buildings) such as signs, parking areas or structures, swimming pools, tennis courts, etc.
12. That the survey shows the relation of the improvements by distances to the perimeter of the subject property, the established building lines and the street lines.
13. That the survey shows all parking areas and, if striped, the striping and the type (e.g. handicapped, motorcycle, regular, etc) and number of parking spaces, if applicable.
14. That the survey shows the location of all easements necessary to bring utilities to the Property, together with the location of all utilities (i.e., sewer, water, electric, telephone and gas service) serving or existing on the property as evidenced by on-site observation or as determined by records provided by client, utility companies and other appropriate sources (with reference as to the source of information) (for example): (a) railroad tracks and sidings; (b) manholes, catch basins, valve vaults or other surface indications of subterranean uses; (c) wires and cables (including their function) crossing the surveyed premises, all poles on or within ten feet of the surveyed premises, and the dimensions of all crosswires or overhangs affecting the surveyed premises; and (d) utility company installations on the surveyed premises.
15. That the survey shows the location of all matters affecting the land, including fences, pipelines and streams.
16. That the survey shows all observable evidence of earth moving work, building construction or building additions within recent months.
17. That the survey shows all observable evidence of site use as a solid waste dump, sump or sanitary landfill.
18. That if the subject property is described as being on a field map or plat, a legend relating the survey to said map or plat is on the survey.
19. That the survey shows any coastal body of water or navigable waterway within 150 feet of the subject property, if applicable.
20. That the survey shows all applicable coastal construction lines, bulkhead lines, mean high water marks and erosion control lines must be shown on the survey or a statement contained therein that same do not lie within the boundary of the subject property.
21. That the subject property does not serve any adjoining property for drainage, ingress or egress or any other purpose, except as shown on the survey.
22. That the subject property is within special flood hazard area 120168, Panel 1509 K, AE, Elevation 8', dated 2/18/05 as shown in the most recent Flood Hazard Boundary Maps prepared by the Department of Housing and Urban Development.
23. That the Subject Property is zoned General Commercial under zoning codes of the Island of Key West.
24. That the survey shows any significant observations not otherwise disclosed.
25. That the survey represented hereon meets the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 2005, and pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey. This instrument is not valid unless it bears an original signature and an embossed surveyor's seal.

Zoning: CG General Commercial  
 Area: 144,000 S.F. (3.3058 Ac.)  
 Parking: 138 Spaces  
 2 Handicapped

Setbacks: Side: 20'  
 Front & Back: 48'  
 (note Motel grandfathered in)

FIRM: 120168, 1509 K  
 Zone: AE 8'  
 2/18/06

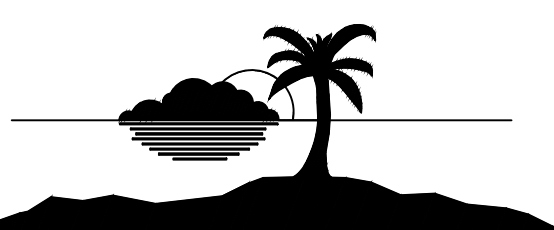
BASED ON commitment from 2006

- Schedule B, Section 2 Items:
1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest of mortgage thereon covered by this Commitment. Not plottable on survey.
  2. Standard Exceptions:
    - a. Rights or claims of parties in possession not shown by Public Records. Not applicable.
    - b. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises. Shown on survey.
    - c. Easements, or claims of easements, not shown by the Public Records. Not applicable.
    - d. Any lien, or right to a lien, for service, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records. Not applicable.
    - e. Taxes or special assessments which are not shown as existing liens by the Public Records. Not applicable.
    - f. Any claim that any portion of said lands are sovereign lands of the State of Florida, including submerged, filled or artificially exposed lands and lands accreted to such lands. Not applicable.
    - g. Taxes and assessments for the year 2006 and subsequent years. Not applicable.
  3. Standard exceptions (b) and (c) may be removed from the policy when a satisfactory survey and surveyor's report and inspection of the premises is made.
  4. Standard exceptions (a) and (d) may be removed upon receipt of a satisfactory affidavit-indemnity from the party shown in title and in possession stating who is in possession of the lands and whether there are improvements being made at date of commitment or contemplated to commence prior to the date of closing which will not have been paid for in full prior to the closing.
  5. Easement to the Utility Board of the City of Key West, Florida recorded in Official Records Book 598, Page 252, Public Records of Monroe County, Florida. Shown on survey.
  6. Easement to the Utility Board of the City of Key West, Florida recorded in Official Records Book 601, Page 547, Public Records of Monroe County, Florida. Covers entire property.
  7. State Law under Chapter 76-190 and Chapter 22FB.02 of the Florida Administrative Code for Land Planning for the Florida Keys Area of Critical Concern recorded in Official Records Book 668, Page 43, and Final Judgment recorded in Official Records Book 1788, Page 1257, Public Records of Monroe County, Florida. Not plottable.
  8. City of Key West Area of Critical State Concern, Rule 27F-15 of the Florida Administrative Code, adopted by the Administration Commission pursuant to section 380.05, Florida Statutes, on February 7, 1984, effective February 28, 1984, recorded in Official Records Book 906, Page 200, Public Records of Monroe County, Florida. Not plottable.
  9. City Ordinance No. 81-43 and Amendment 82-5 thereof, which provides for the assessment and collection of waste in the City of Key West, Monroe County, Florida. Not plottable.
  10. Code of Ordinances of the City of Key West, Section 74, which provides for the assessment and collection of sewer charges. Not plottable.
  11. Terms, covenants, conditions and other matters contained in the Lease dated January 2, 1998, and made by Jupiter Hotels Limited Partnership, an Illinois limited partnership and Northlake Foods, Inc., a Georgia corporation, a Memorandum/Short Form of which was recorded June 17, 1998, in Official Records Book 1521, Page 1338, of the Public Records of Monroe County, Florida. Covers entire property.
  12. Declaration of License Agreement between Days Inn of America, Inc., a Delaware corporation and SH Key West, Ltd., a Florida limited partnership recorded in Official Records Book 1628, Page 2456, Public Records of Monroe County, Florida. Covers entire property.
  13. Agreement for Grant of Easement to TCI Cablevision of Georgia, Inc. recorded in Official Records Book 1755, Page 224, Public Records of Monroe County, Florida. Covers entire property.
  14. Terms, covenants, conditions and other matters contained in any unrecorded Lease(s) and all rights hereunder of the Lessee(s) and of any person claiming by, through or under the Lessee(s). Not plottable.

DATED: \_\_\_\_\_  
 FREDERICK H. HILDEBRANDT  
 Professional Land Surveyor & Mapper No. 2749  
 Professional Engineer No. 36810  
 State of Florida

12/5/12: Updated, trees, contours misc.  
 10/19/06: Update, cert, detail  
 7/30/99: New Certification

JL WOOD, LTD - Days Inn 3852 South Roosevelt Blvd., Key West, FL.			
BOUNDARY SURVEY			Dwn No.: 12-274A
Scale: 1"=30'	Ref. file	Flood panel No. 141-54 1509 K	Dwn. By: F.H.H.
Date: 3/3/99		Flood Zone: AE	Flood Elev.:
REVISIONS AND/OR ADDITIONS			
3/11/99: Certification		7/28/99: Utility Easements	
3/28/99: Parking, Zoning, Area, Cert., Setbacks			
7/8/99: typo's, cert, easements			



ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive  
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Key West, FL 33440

(305) 293-0466  
Fax: (305) 293-0237





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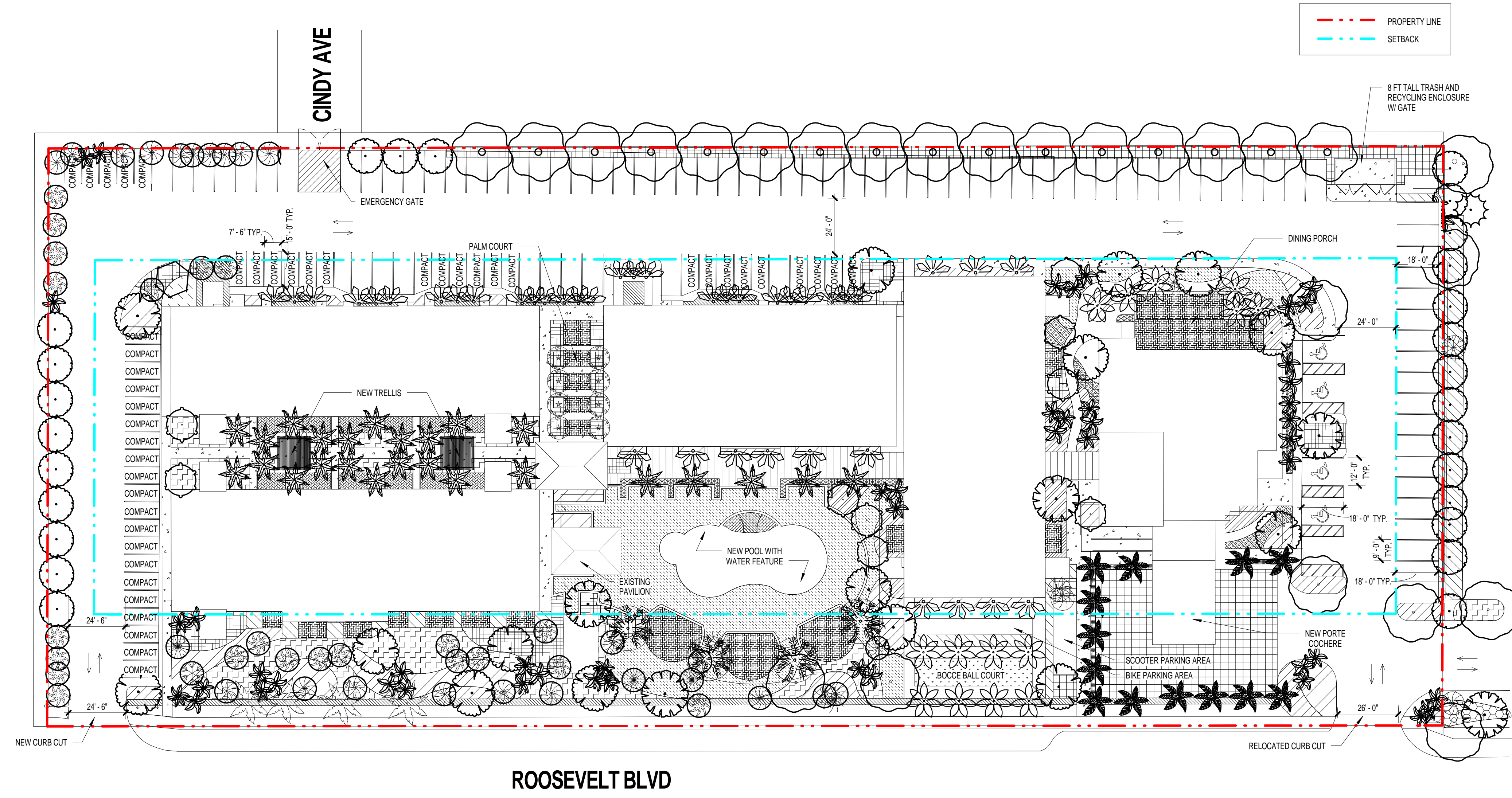
### SCOPE DOCUMENTS

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

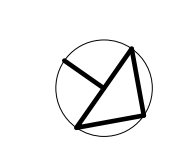
ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	2013-02-01

## SITE A

CHARACTERISTIC	REQUIRED	EXISTING	PROPOSED	REMARKS
ZONING	CG - GENERAL COMMERCIAL, BOULEVARD SAFETY/APPEARANCE ZONE			
SITE SIZE	MIN LOT SIZE 15,000 SF	144,000 SF	144,000 SF	
LEGAL DESCRIPTION	ON SURVEY			
FLOOD ELEVATION	ZONE AE 8'; DFE = 9'-1" NGVD			DFE AT NEW PUBLIC BUILDING ONLY, ALL OTHER FEE TO REMAIN
BUILDING SIZE	MAX 115,200 SF PER F.A.R.	71,048 SF	77,456 SF	INCLUDES ALL BUILDINGS ON SITE
BUILDING HEIGHT	MAX 40'-0"	31'-0"	27'-9"	MEASUREMENTS FROM CROWN OF ROAD
FLOOR AREA RATIO	MAX 0.8	0.494	0.538	INCLUDES BALCONIES PER CODE
BUILDING COVERAGE	MAX 40%	40,096 / 144,000 = 27.847%	42,343 / 144,000 = 29.405%	INCLUDES BALCONIES AND CANOPIES PER CODE
IMPERVIOUS SURFACE	MAX 60%	115,940 / 144,000 = 80.50%	108,174 / 144,000 = 75.13%	
PERVIOUS SURFACE		28,040 SF	35,826 SF	
LANDSCAPE AREA	144,000 X 20% = 28,800SF	31,291 SF	30,437 SF	
PARKING SPACES	134	138	135	PROP. INCLUDES (5) HDOP AND (46) COMPACT
BIKE PARKING SPACES	35% HOTEL SPACES	0	48	
LOCATION OF STRUCTURES	TO BE SHOWN ON SURVEY AND TECHNICAL DRAWINGS			
# AND TYPE OF UNITS		134	133	ALL ARE TRANSCIENT LODGING UNITS
LAND USE	MAX 16 DU/ACRE	134 / 3.3058 = 40.5 DU/ACRE	133 / 3.3058 = 40.2 DU/ACRE	
CONSUMPTION SPACE		2,175 SF	1,897 SF	EXISTING = WAFFLE HOUSE; NEW = BREAKFAST AREA FOR HOTEL
SETBACKS	PULLED FROM SURVEY			
FRONT	48 FT	45.51 FT	25 FT	
REAR	48 FT	3.93 FT	56.11 FT	
SIDE	20 FT	6.34 FT	53.07 FT	
STREET SIDE	20 FT	N/A	N/A	



PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: A0.0 - ARCHITECTURAL SITE PLAN  
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3/20/2013 3:15:57 PM



1 ARCHITECTURAL SITE PLAN  
A0.0 SCALE: 1" = 30'-0"

## KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.  
ARCHITECTURAL SITE PLAN

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	02/01/13
Design Director	Date
ANDRES RUBIO	
Project Manager	
T.JACK BAGBY	
Project Architect	

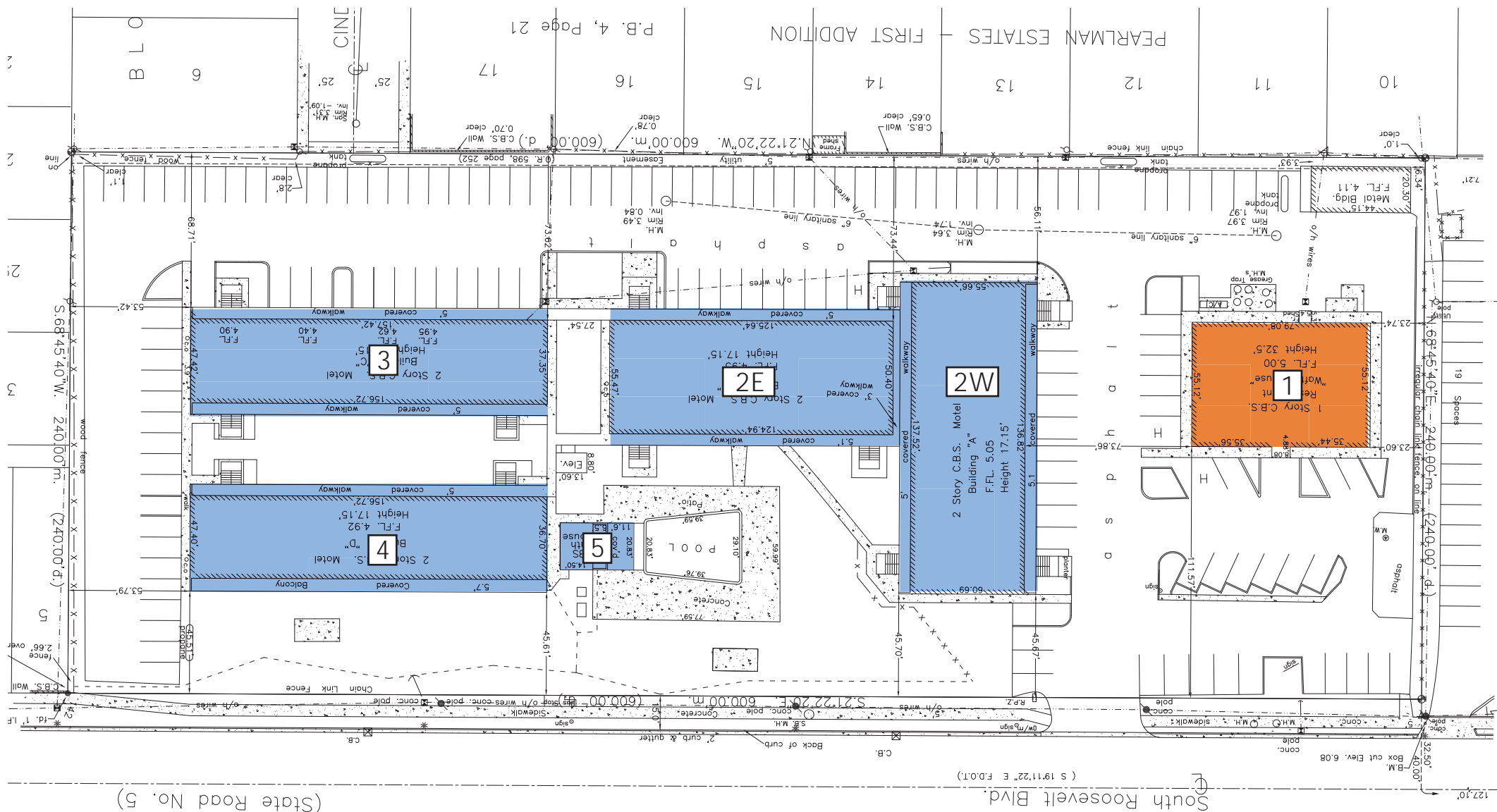
# A0.0

NOT ISSUED FOR CONSTRUCTION



LEGEND

- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO DEMOLISH
- NEW BUILDING
- 1 EXISTING LOBBY AND RESTAURANT TO BE DEMOLISHED
- 2W EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 2E EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 3 EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 4 EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 5 EXISTING POOL-SIDE BUILDING TO BE RENOVATED



PROJECT N<sup>o</sup> 20120295.00 | REVISION N<sup>o</sup> 000 | DATE 02 27 2013

Notes

SITE A EXISTING SITE PLAN



KEY WEST DEVELOPMENT PACKAGE  
Key West, Florida 33040

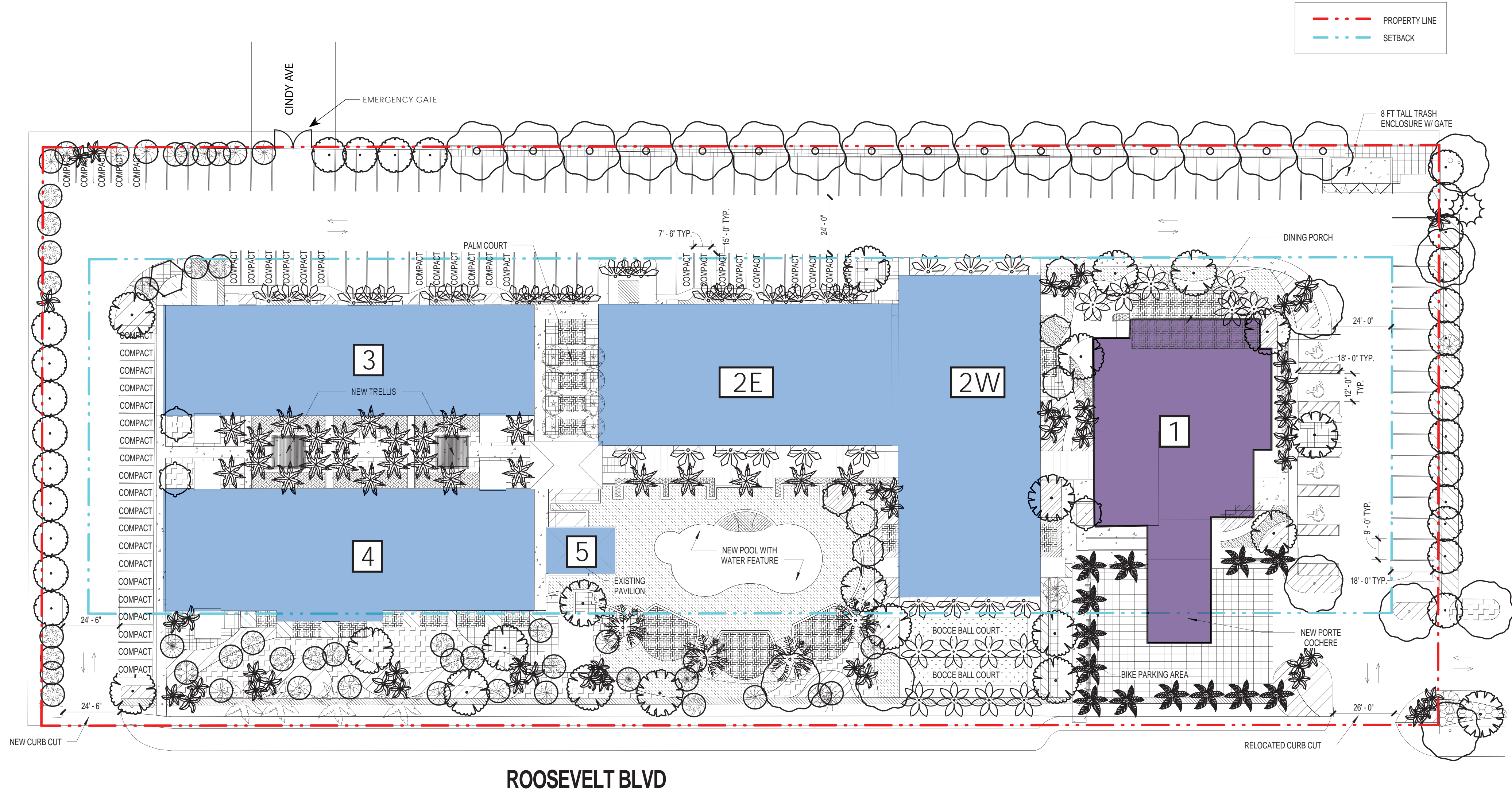




SITE A				
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**LEGEND**

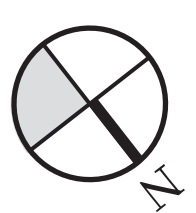
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- 2E EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 3 EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 4 EXISTING GUEST ROOM BUILDING TO BE RENOVATED
- 5 EXISTING POOL-SIDE BUILDING TO BE RENOVATED



PROJECT N<sup>o</sup> 20120295.00 | REVISION N<sup>o</sup> 000 | DATE 02 27 2013

Notes

SITE A ARCHITECTURAL SITE PLAN



KEY WEST DEVELOPMENT PACKAGE  
Key West, Florida 33040







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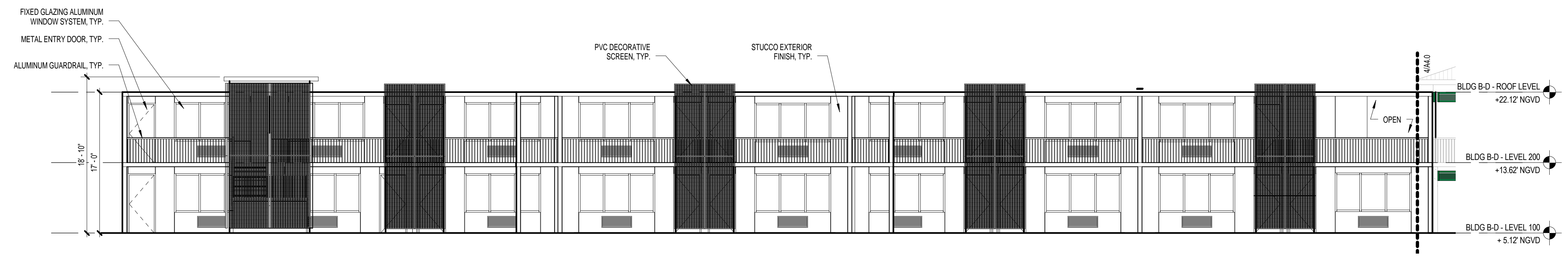
191 Peachtree Street NE  
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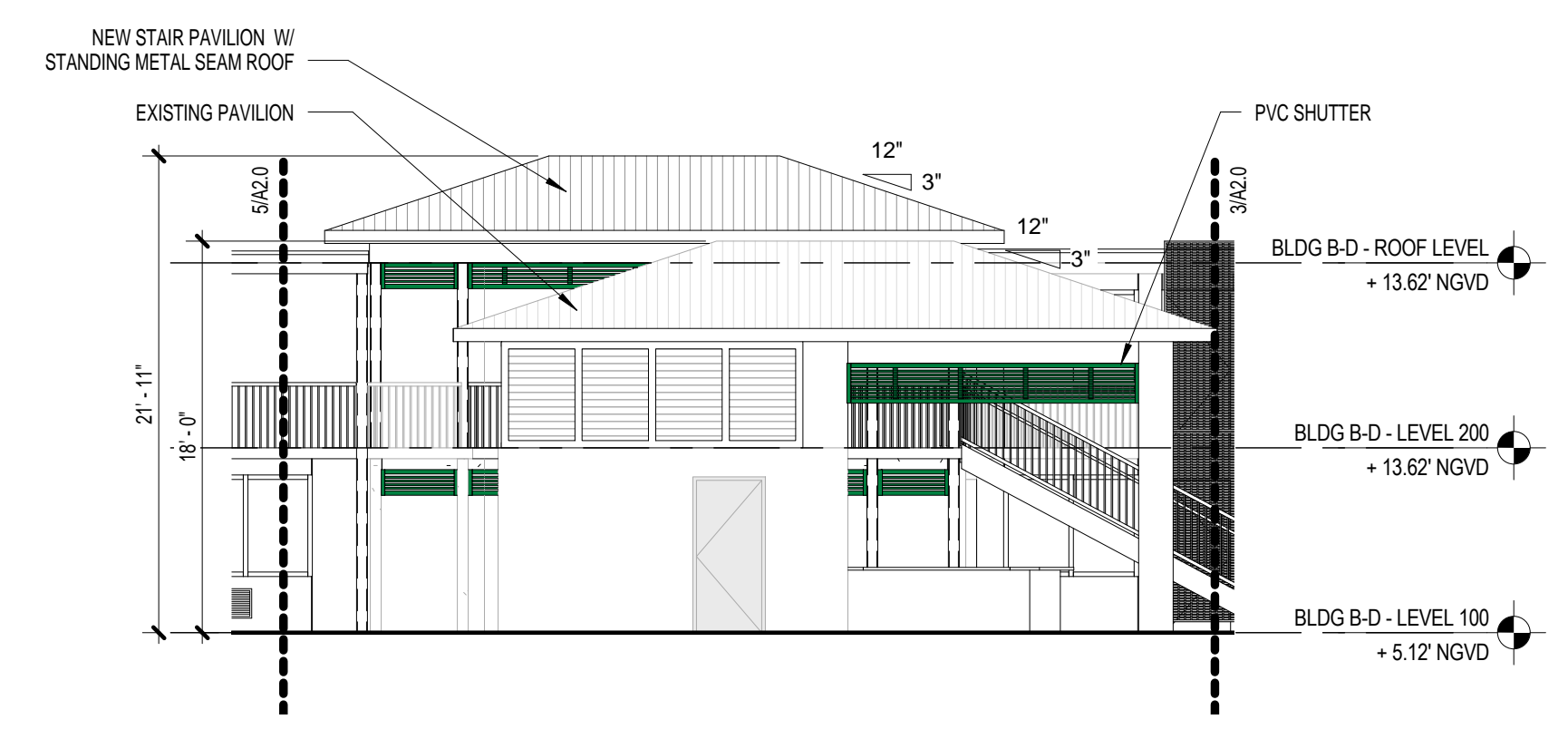
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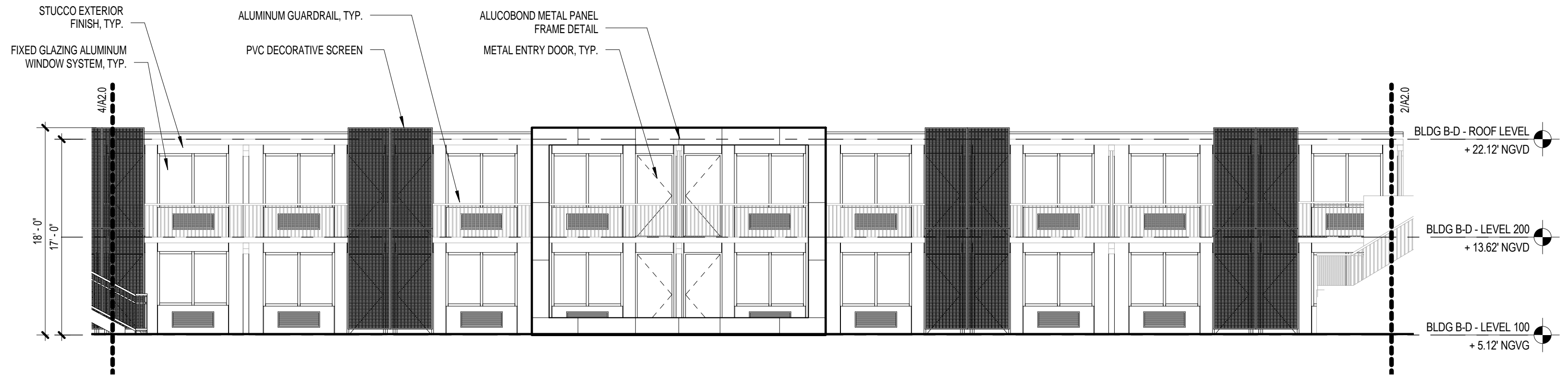
ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	2013-02-01



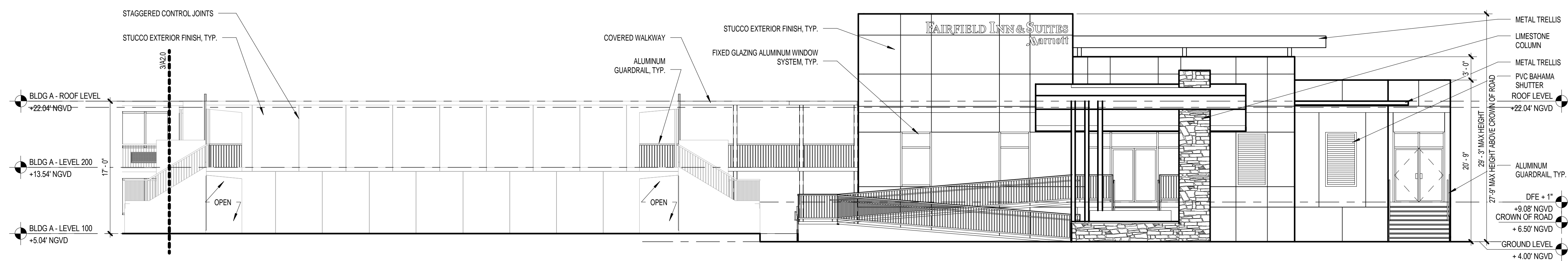
**5 ENLARGED SOUTH ELEVATION**  
A2.0 SCALE: 1/8" = 1'-0"



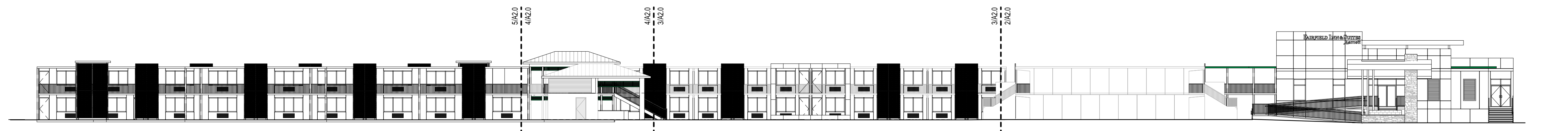
**4 ENLARGED SOUTH ELEVATION**  
A2.0 SCALE: 1/8" = 1'-0"



**3 ENLARGED SOUTH ELEVATION**  
A2.0 SCALE: 1/8" = 1'-0"



**2 ENLARGED SOUTH ELEVATION**  
A2.0 SCALE: 1/8" = 1'-0"



**1 COMPOSITE NORTH ELEVATION**  
A2.0 SCALE: 1" = 20'-0"

## KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

### ELEVATIONS

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

# A2.0

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: A2.0 - ELEVATIONS  
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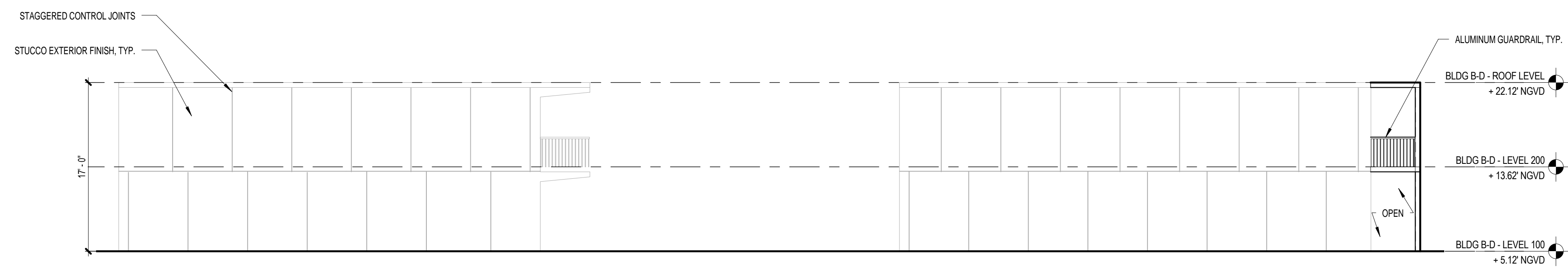
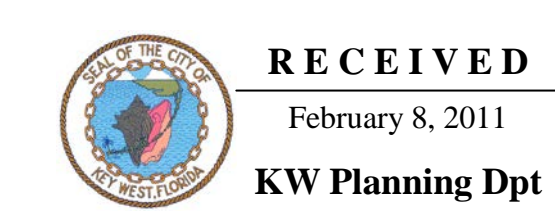
# COOPER CARRY

ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

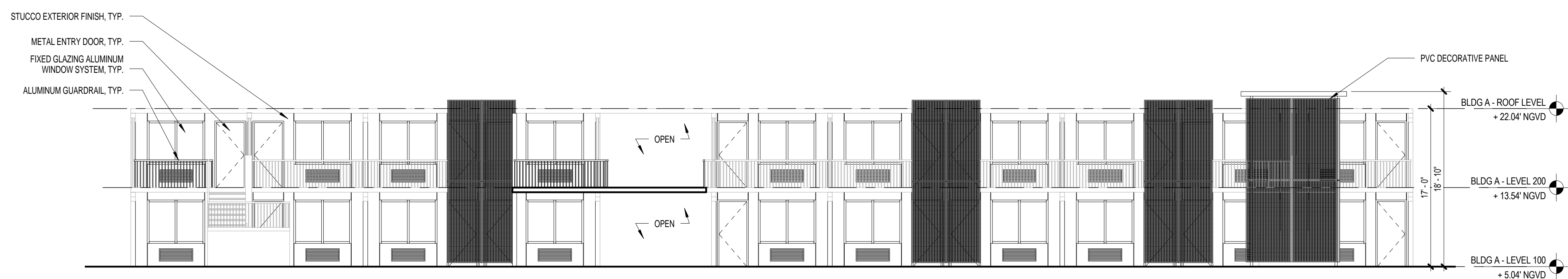
191 Peachtree Street NE  
Suite 2400  
Atlanta, GA 30303-1770  
(404) 237-2000

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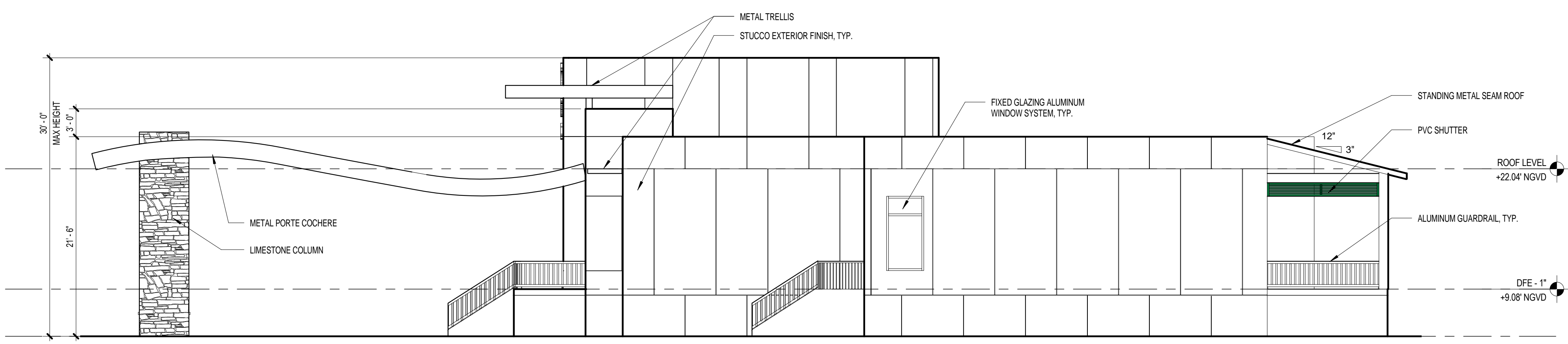
**SCOPE DOCUMENTS**  
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**2 EAST ELEVATION**  
A4.0 SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION - GUEST ROOMS**  
A4.0 SCALE: 1/8" = 1'-0"



**1 WEST ELEVATION - LOBBY**  
A4.0 SCALE: 1/8" = 1'-0"

ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	2013-02-01

## KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

## ELEVATIONS

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/01/2013 Date
ANDRES RUBIO Project Manager	
T. JACK BAGBY Project Architect	

# A4.0

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: A4.0 - ELEVATIONS  
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# COOPER CARRY

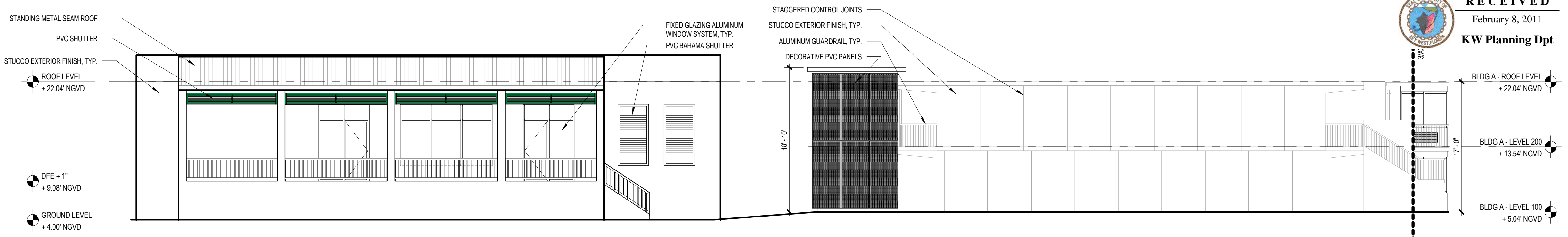
ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

191 Peachtree Street NE  
Suite 2400  
Atlanta, GA 30303-1770  
(404) 237-2000

www.coopercarry.com  
FL STATE LICENSE # AA26000496

**SCOPE DOCUMENTS**  
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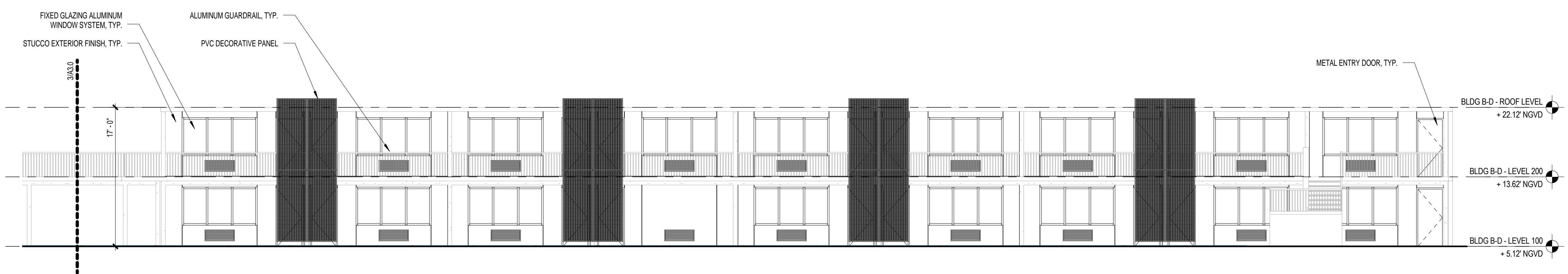
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February 8, 2011  
KW Planning Dpt



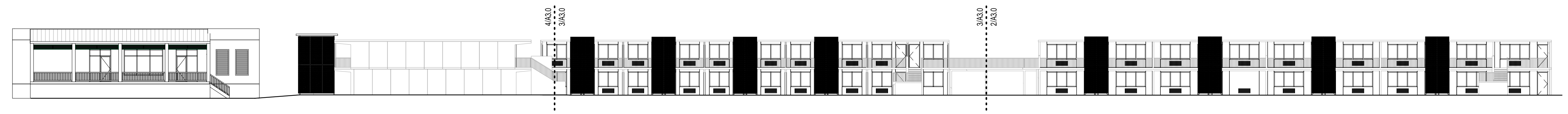
**4 ENLARGED NORTH ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"



**3 ENLARGED NORTH ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"



**2 ENLARGED NORTH ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"



**1 COMPOSITE SOUTH ELEVATION**  
A3.0 SCALE: 1" = 20'-0"

ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	2013-02-01

## KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

### ELEVATIONS

Designer	20120295
Principal-in-Charge	Project No.
Approver	02/01/2013
Design Director	Date
Checker	
Project Manager	
Author	
Project Architect	

# A3.0

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: A3.0 - ELEVATIONS  
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# COOPER CARRY

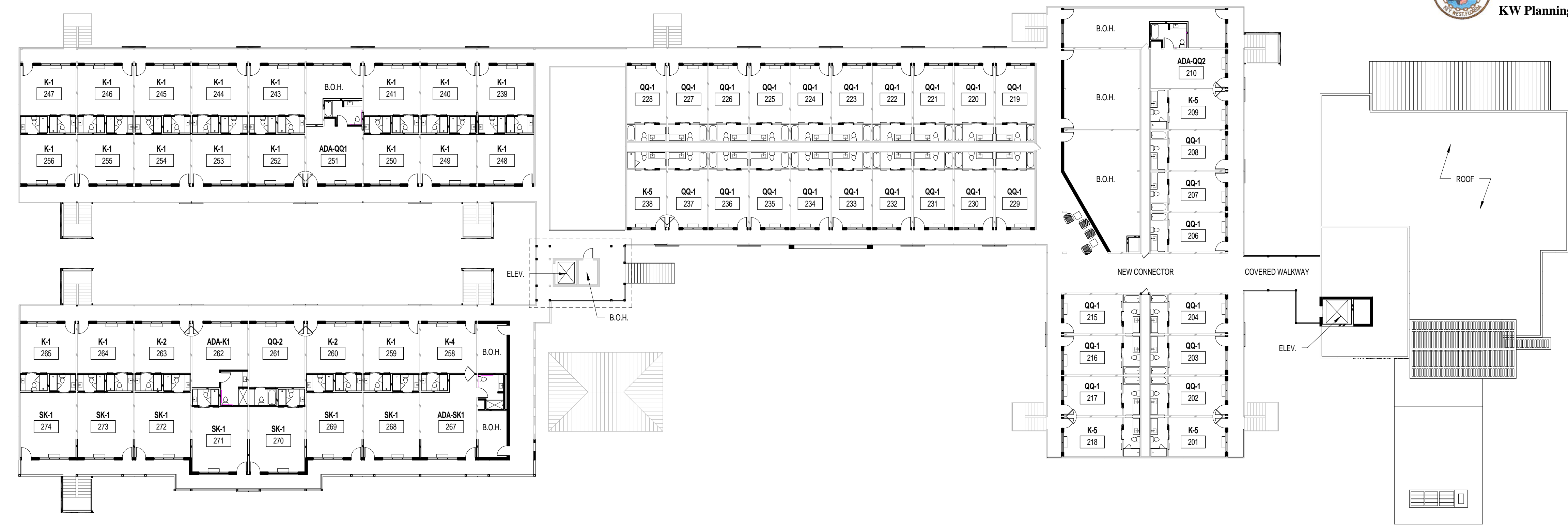
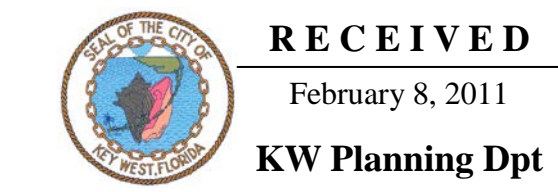
ATLANTA WASHINGTON NEW YORK NEWPORT BEACH

191 Peachtree Street NE  
Suite 2400  
Atlanta, GA 30303-1770  
(404) 237-2000

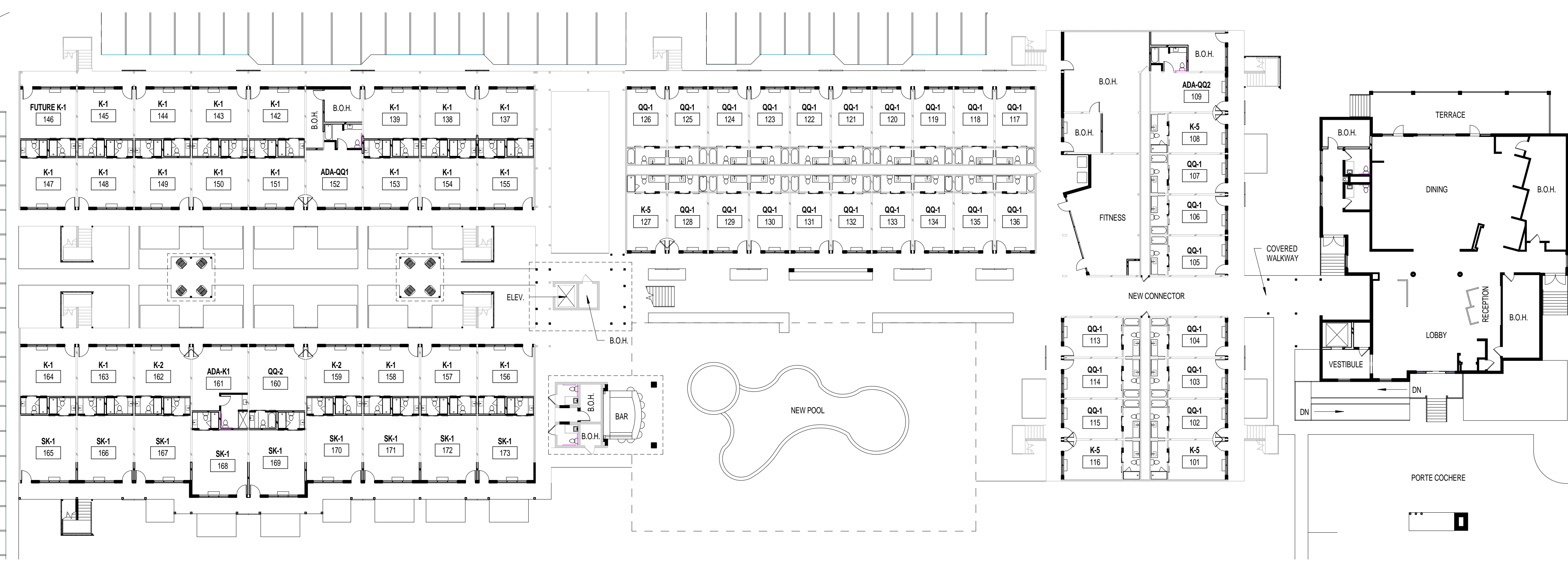
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**SCOPE DOCUMENTS**  
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ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	2013-02-01



**2 SECOND LEVEL FLOOR PLAN**  
A1.0 SCALE: 1" = 20'-0"



**1 GROUND LEVEL FLOOR PLAN**  
A1.0 SCALE: 1" = 20'-0"

## KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

### FLOOR PLANS

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	02/01/2013
Design Director	Date
ANDRES RUBIO	
Project Manager	
T. JACK BAGBY	
Project Architect	

**A1.0**

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: A1.0 FLOOR PLANS  
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February 8, 2011  
KW Planning Dept

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SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	2013-02-01



PEREZ ENGINEERING & DEVELOPMENT, INC.  
CERTIFICATE OF AUTHORIZATION NO. B579  
1010 Kennedy Drive, Suite 201  
Key West, FL 33040  
Tel (305) 293-9440  
Fax (305) 296-0243  
aperez@perezeng.com

KEY WEST HOTEL  
COLLECTION - FAIRFIELD INN  
& SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

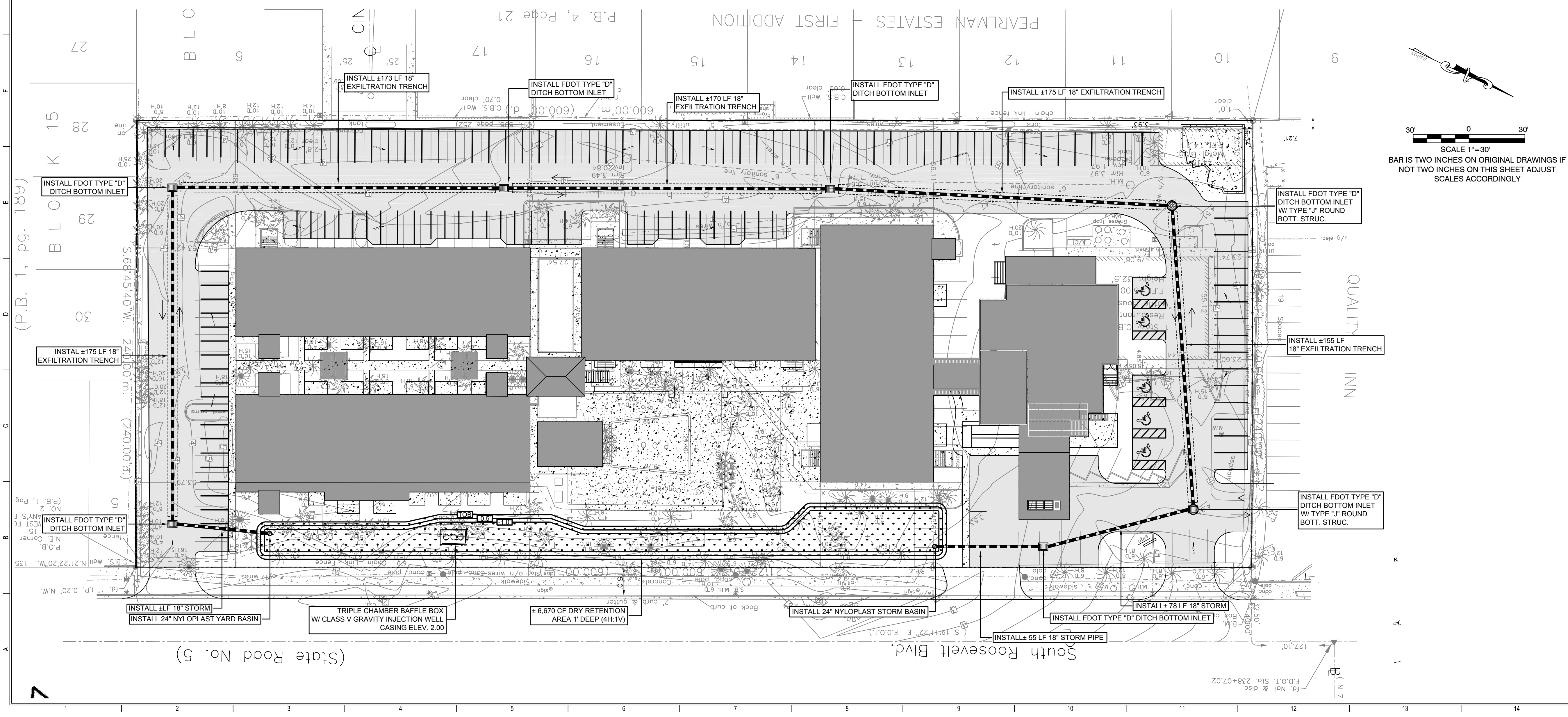
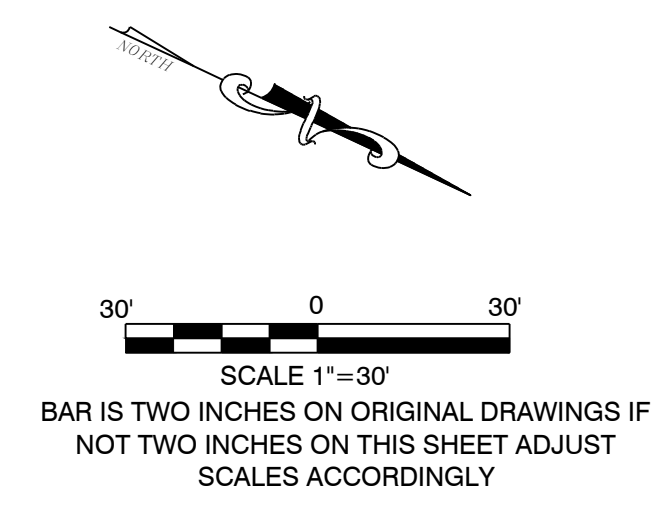
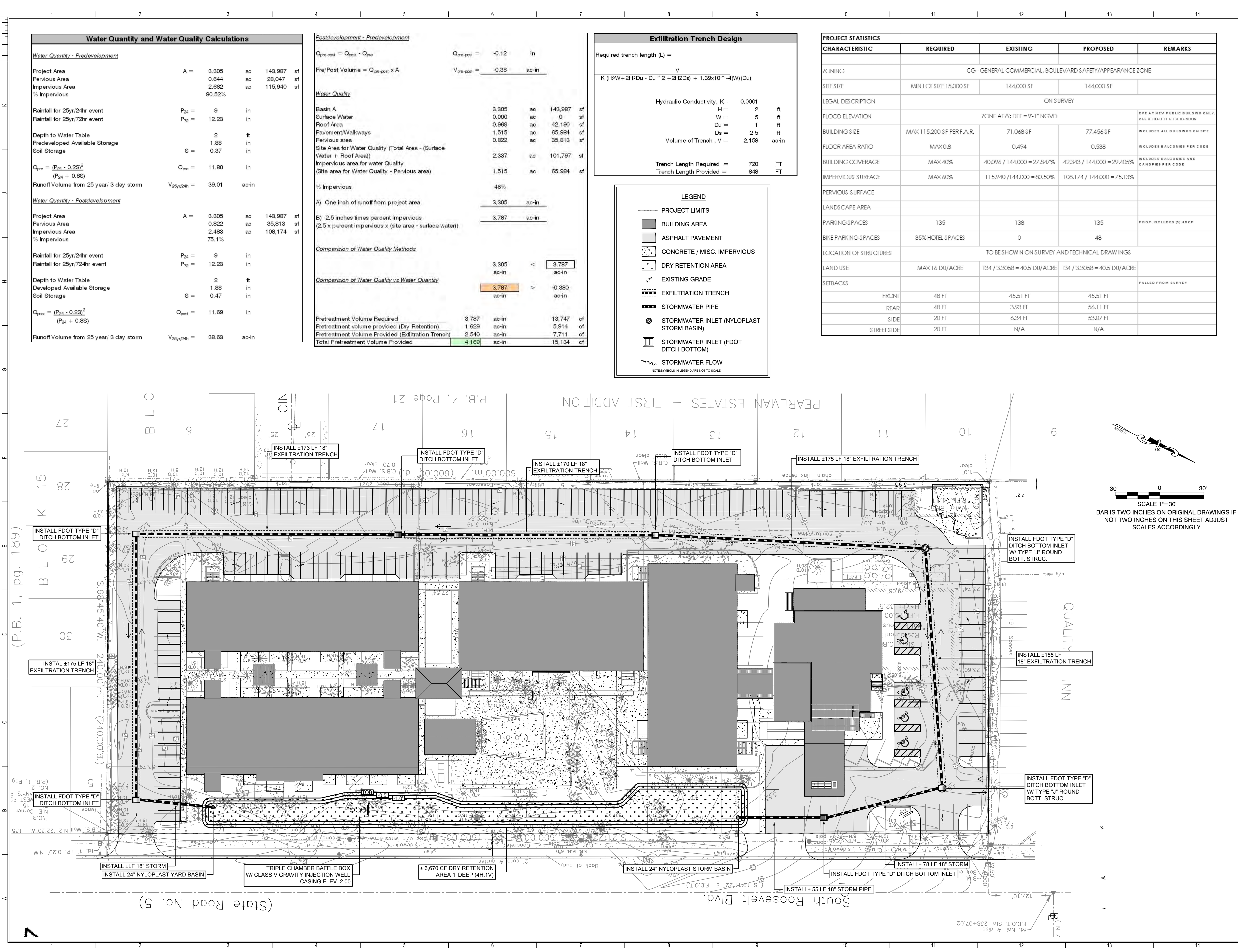
J.L. Woode Ltd.

SITE / CONCEPTUAL  
DRAINAGE PLAN

BOB NEAL	20120295
Principal/Designer	Project No.
MANNY DOMINGUEZ	02/01/13
Design Director	Date
ANDRES RUBIO	
Project Manager	
T.JACK BAGBY	
Project Architect	

C-1

NOT ISSUED FOR CONSTRUCTION







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### SCOPE DOCUMENTS

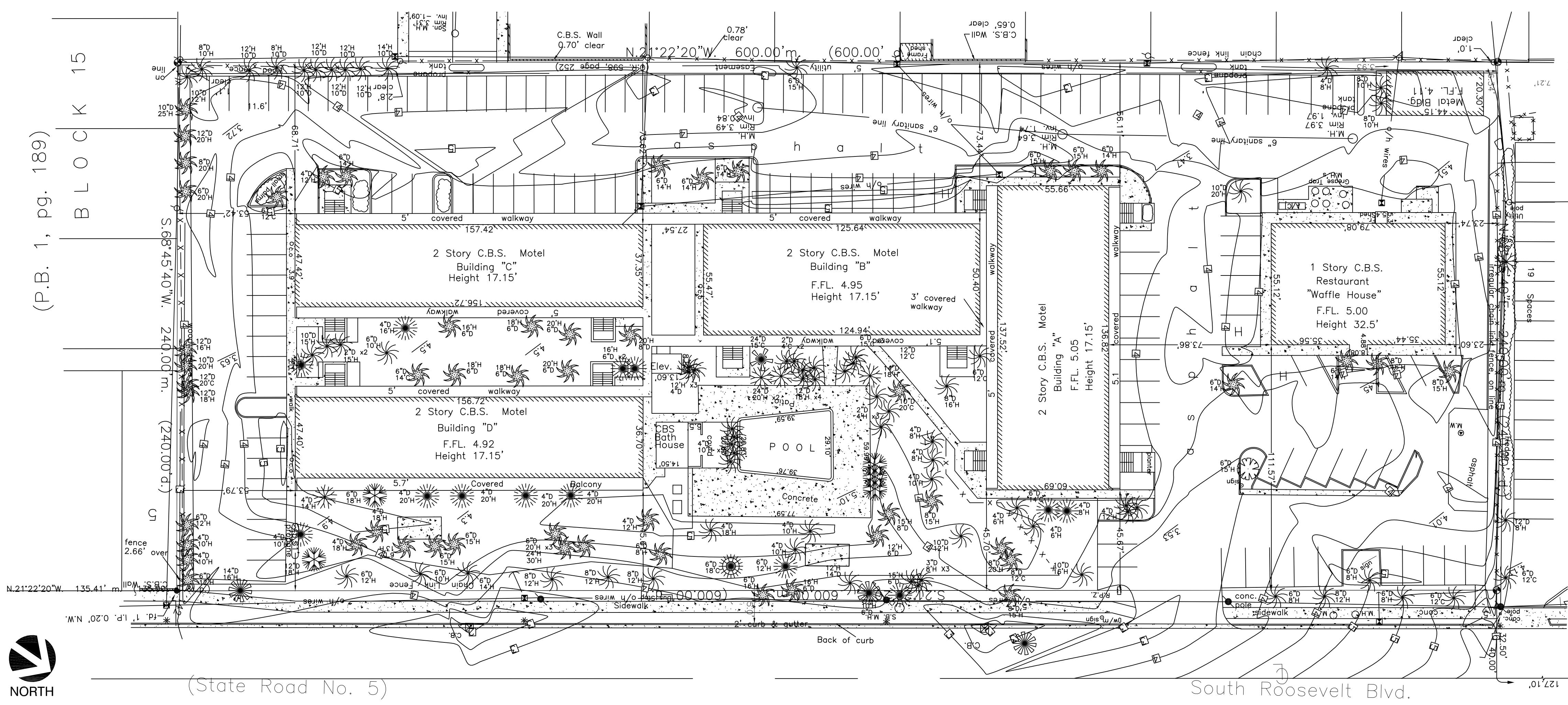
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### ISSUANCES

No.	Drawing Issue Description	Date
	DEVELOPMENT PLAN	02/01/2013
	TREE PERMIT APPLICATION	02/20/2013

**EXISTING TREE LEGEND.**  
 6"D = Diameter of tree.  
 12"C = Canopy diameter of tree.

- = Palm
- = Almond
- = Buttonwood
- = Tree, Unknown
- = Coconut
- = Pine
- = Gumbo Limbo
- = Umbrella
- = Ficus
- = Papaya
- = Rubber
- = Hong Kong Tulip
- = Seagrape



(P.B. 1, pg. 189)



(State Road No. 5)

South Roosevelt Blvd.

**1** LANDSCAPE PLAN  
 L2.00 SCALE: 1" = 30'-0"

**NOTE: SURVEY DONE BY OTHERS.  
 ALL INVASIVE EXOTIC PLANTS TO  
 BE REMOVED.**

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	02/01/13
Design Director	Date
ANDRES RUBIO	
Project Manager	
T. JACK BAGBY	
Project Architect	

L2.00

ISSUED FOR TREE PERMIT APPLICATION ONLY





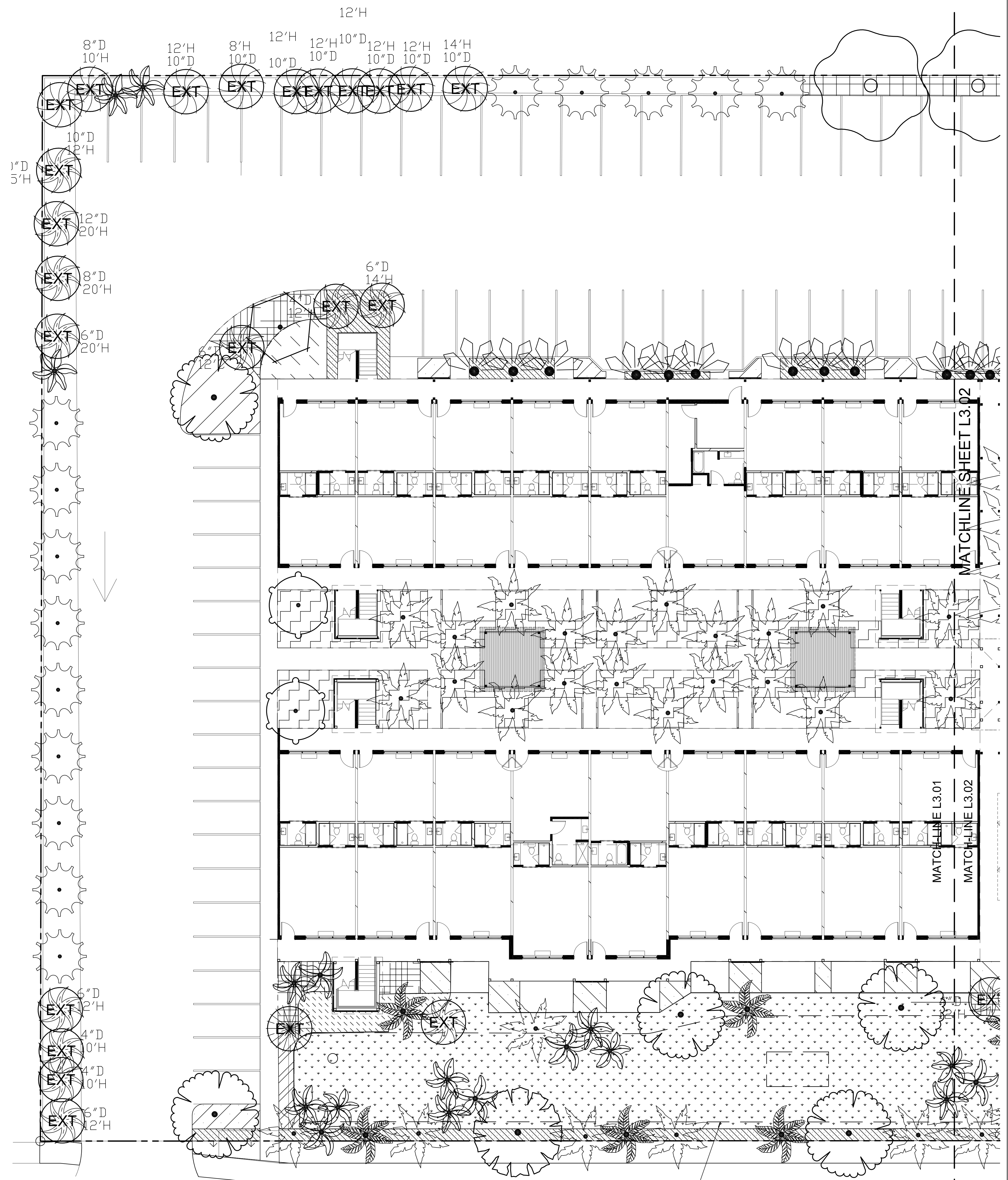
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ISSUANCES		
No.	Drawing Issue Description	Date
1	SCHEMATIC DESIGN	12/17/2012
2	DESIGN DEVELOPMENT	02/25/2013

PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	REMARKS
	16	BURSERIA SIMARUBA	GUMBO LIMBO	B&B OR FG	3" CAL, 13-15' HT	NATIVE
	6	CONOCARPUS ERECTUS	BUTTONWOOD	B&B OR FG	8-10' HT, MULT-TRUNK	NATIVE
	9	CORDIA SEBESTENA	ORANGE GEIGER TREE	B&B OR FG	8-10' HT.	NATIVE
	35	EXISTING TREE TO REMAIN		NA	VARIES	
	23	ILEX CASSINE	DAHOON HOLLY	25 GAL	8-10' HT	NATIVE
	1	MAGNOLIA VIRGINIANA	SWEET BAY	B&B OR FG	10-12' HT	NATIVE
	5	SIMAROUBA GLAUCA	PARADISE TREE	B&B OR FG	8-10' HT	NATIVE
	16	SWIETENIA MAHAGONI	WEST INDIAN MAHOGANY	B&B OR FG	14-16' HT	NATIVE
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	REMARKS
	6	ACOEORRHAPHE WRIGHTII	PAUROTIS PALM	FG	10' CT	NATIVE
	14	COCOS NUCIFERA	COCONUT PALM	FG	12' CT	
	4	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	FG	10' CT	
	40	RAVENALA MADAGASCARIENSIS	TRAVELER'S TREE	FG	10'-12' HT	
	46	ROYSTONIA ELATA	FLORIDA ROYAL PALM	FG	14' CT	NATIVE
	15	SABAL PALMETTO	CABBAGE PALMETTO	FG	10' CT	NATIVE
	20	SABAL PALMETTO	CABBAGE PALMETTO	FG	12' CT	NATIVE
	17	SABAL PALMETTO	CABBAGE PALMETTO	FG	14' CT	NATIVE
	8	THRINAX RADIATA	FLORIDA THATCH PALM	B&B OR FG	10' CT	NATIVE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	1	CYCAS CIRCNALIS	QUEEN SAGO	5 GAL	AS SHOWN	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	51	BLECHNUM SERRULATUM	SWAMP FERN	3 GAL 18-24" H @ 36" OC		
	453	CHRYSOBALANUS ICACO	COCO PLUM	3 GAL 18-24" H @ 36" OC		
	450	IXORA COCCINEA	RED IXORA	3 GAL 18-24" H @ 30" OC		
	364	NEPHROLEPIS BISERRATA	GIANT SWORDFERN	3 GAL 18-24" H @ 36" OC		
	80	PODOCARPUS MACROPHYLLUS	YEW PINE	30 GAL 6" HT @ 72" OC		
	478	SCHAEFFERIA FRUTESCENS	FLORIDA BOXWOOD	1 GAL 12" H @ 12" OC		
	220	SERENOA REPENS	SAW PALMETTO	3 GAL 14-18" H @ 48" OC		
	284	ZAMIA FURFURACEA	CARDBOARD PALM	3 GAL 18-24" H @ 42" OC		
	270	ZAMIA PUMILA	COONTIE	3 GAL 12-14" H @ 36" OC		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	5,623 SF	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE GRASS	SOD		

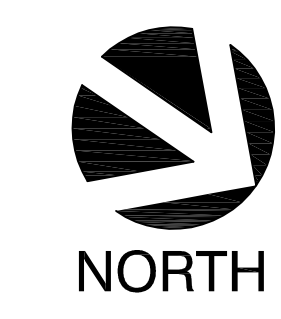
NOTE:  
1. ALL TREES AND PALMS TO BE FLORIDA GRADE #1  
2. AN IRRIGATION PLAN WILL BE FORTHCOMING BY THE SECOND TREE COMMISSION REVIEW.

TREE PERMIT APPLICATION NOTES  
PALMS TO BE REPLACED:61  
NATIVE PALMS PLANTED:64  
NON NATIVE PALMS TO BE PLANTED:104  
CANOPY TREES TO BE REPLACED:25  
NATIVE CANOPY TREES TO BE PLANTED:76  
EXISTING TREES TO REMAIN ON SITE:34



PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: A2.02 - GROUND LEVEL FLOOR PLAN  
DRAWING DATE: 02/25/2013 12:40:03 PM  
DRAWING USER: mcdanielj

1 LANDSCAPE PLAN  
SCALE: 1" = 10'-0"



KEY WEST HOTEL  
COLLECTION - FAIRFIELD INN  
& SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

LANDSCAPE PLAN

BOB NEAL	20120295
Principal/Charge	Project No.
MANNY DOMINGUEZ	02/25/2013
Design Director	Date
ANDRES RUBIO	
Project Manager	
T.JACK BAGBY	
Project Architect	
GARY WARNER	
Director of Landscape Architecture	

L3.01





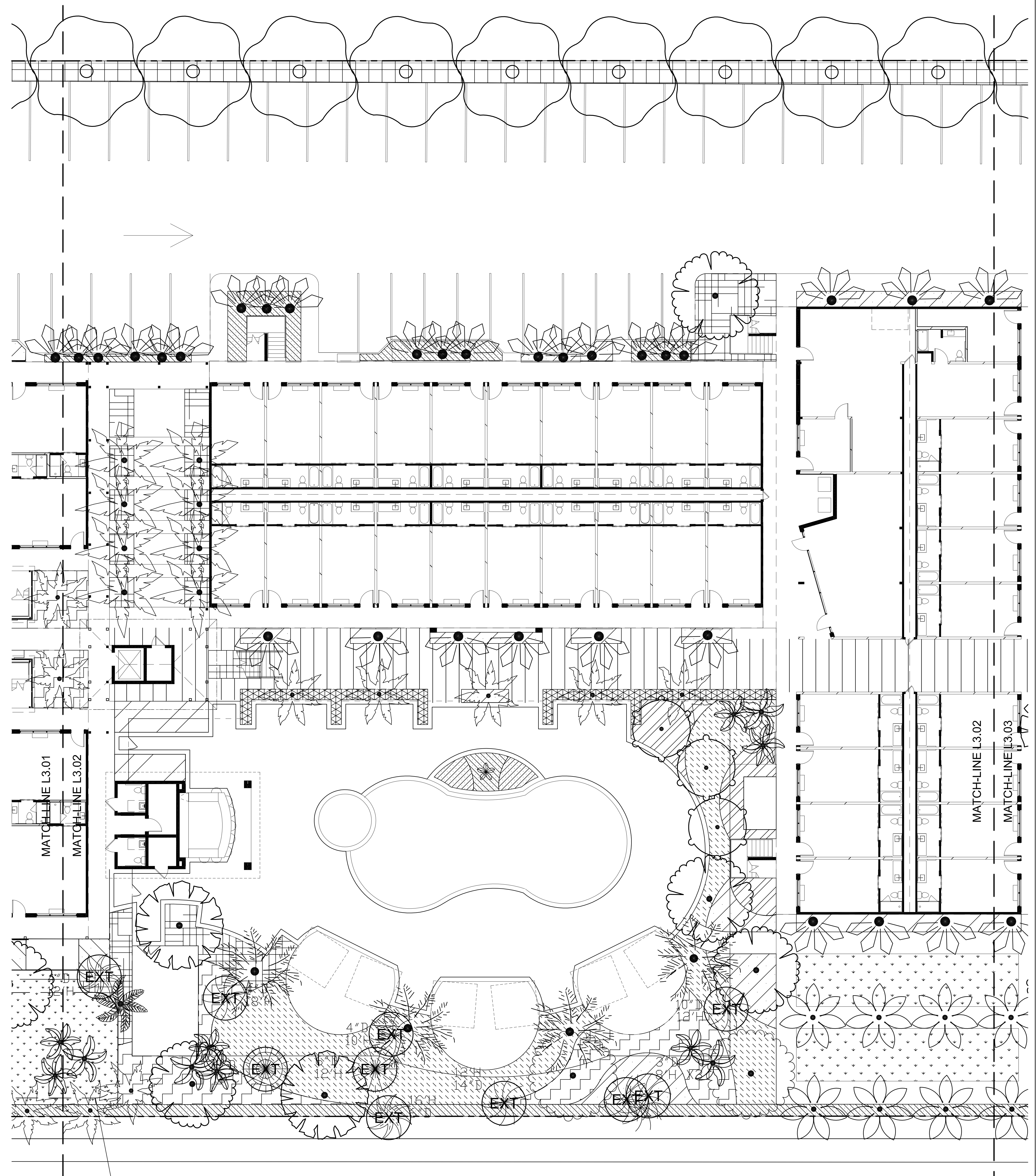
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ISSUANCES		
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2	DESIGN DEVELOPMENT	02/25/2013

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TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	REMARKS
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	9	CORDIA SEBESTENA	ORANGE GEIGER TREE	B&B OR FG	8-10' HT.	NATIVE
	35	EXISTING TREE TO REMAIN		NA	VARIES	
	23	ILEX CASSINE	DAHOON HOLLY	25 GAL	8-10' HT	NATIVE
	1	MAGNOLIA VIRGINIANA	SWEET BAY	B&B OR FG	10-12' HT	NATIVE
	5	SIMAROUBA GLAUCA	PARADISE TREE	B&B OR FG	8-10' HT	NATIVE
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	20	SABAL PALMETTO	CABBAGE PALMETTO	FG	12' CT	NATIVE
	17	SABAL PALMETTO	CABBAGE PALMETTO	FG	14' CT	NATIVE
	8	THRINAX RADIATA	FLORIDA THATCH PALM	B&B OR FG	10' CT	NATIVE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	1	CYCAS CIRINALIS	QUEEN SAGO	5 GAL	AS SHOWN	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	51	BLECHNUM SERRULATUM	SWAMP FERN	3 GAL 18-24" H @ 36" OC		
	453	CHRYSOBALANUS ICACO	COCO PLUM	3 GAL 18-24" H @ 36" OC		
	450	IXORA COCCINEA	RED IXORA	3 GAL 18-24" H @ 30" OC		
	364	NEPHROLEPIS BISERRATA	GIANT SWORDFERN	3 GAL 18-24" H @ 36" OC		
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	478	SCHAEFFERIA FRUTESCENS	FLORIDA BOXWOOD	1 GAL 12" H @ 12" OC		
	220	SERENOA REPENS	SAW PALMETTO	3 GAL 14-18" H @ 48" OC		
	284	ZAMIA FURFURACEA	CARDBOARD PALM	3 GAL 18-24" H @ 42" OC		
	270	ZAMIA PUMILA	COONTIE	3 GAL 12-14" H @ 36" OC		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	5,623 SF	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE GRASS	SOD		

NOTE:  
1. ALL TREES AND PALMS TO BE FLORIDA GRADE #1  
2. AN IRRIGATION PLAN WILL BE FORTHCOMING BY THE SECOND TREE COMMISSION REVIEW.

TREE PERMIT APPLICATION NOTES  
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NATIVE PALMS PLANTED:64  
NON NATIVE PALMS TO BE PLANTED:104  
CANOPY TREES TO BE REPLACED:25  
NATIVE CANOPY TREES TO BE PLANTED:76  
EXISTING TREES TO REMAIN ON SITE:34



LIMITS OF DRY RETENTION AREA  
(SEE CIVIL C-1)

PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: L3.02 - GROUND LEVEL FLOOR PLAN  
DRAWING NUMBER: 12-2013-12-24-031 PM



KEY WEST HOTEL  
COLLECTION - FAIRFIELD INN  
& SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

LANDSCAPE PLAN

BOB NEAL	20120295
Principal/Designer	Project No.
MANNY DOMINGUEZ	02/25/2013
Design Director	Date
ANDRES RUBIO	
Project Manager	
T.JACK BAGBY	
Project Architect	
GARY WARNER	
Director of Landscape Architecture	

L3.02





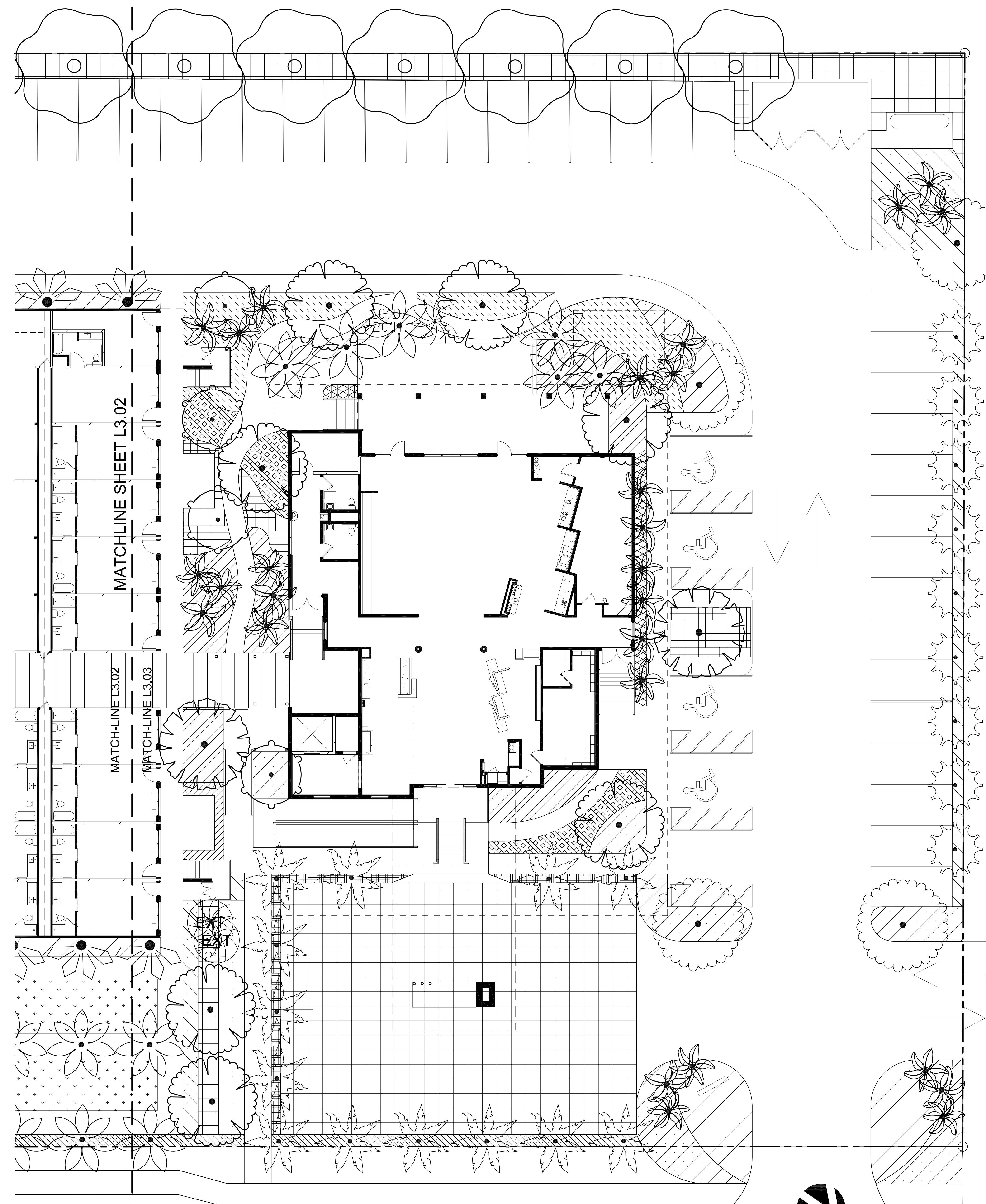
SCOPE DOCUMENTS  
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ISSUANCES		
No.	Drawing Issue Description	Date
1	SCHEMATIC DESIGN	12/17/2012
2	DESIGN DEVELOPMENT	02/25/2013

PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	REMARKS
	16	BURSERA SIMARUBA	GUMBO LIMBO	B&B OR FG	3" CAL, 13-15' HT	NATIVE
	6	CONOCARPUS ERECTUS	BUTTONWOOD	B&B OR FG	8-10' HT, MULTI-TRUNK	NATIVE
	9	CORDIA SEBESTENA	ORANGE GEIGER TREE	B&B OR FG	8-10' HT.	NATIVE
	35	EXISTING TREE TO REMAIN		NA	VARIES	
	23	ILEX CASSINE	DAHOON HOLLY	25 GAL	8-10' HT	NATIVE
	1	MAGNOLIA VIRGINIANA	SWEET BAY	B&B OR FG	10-12' HT	NATIVE
	5	SIMAROUBA GLAUCA	PARADISE TREE	B&B OR FG	8-10' HT	NATIVE
	16	SWIETENIA MAHAGONI	WEST INDIAN MAHOGANY	B&B OR FG	14-16' HT	NATIVE
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	REMARKS
	6	ACOELORRHAPHE WRIGHTII	PAUROTIS PALM	FG	10' CT	NATIVE
	14	COCOS NUCIFERA	COCONUT PALM	FG	12' CT	
	4	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	FG	10' CT	
	40	RAVENALA MADAGASCARIENSIS	TRAVELER'S TREE	FG	10'-12' HT	
	46	ROYSTONIA ELATA	FLORIDA ROYAL PALM	FG	14' CT	NATIVE
	15	SABAL PALMETTO	CABBAGE PALMETTO	FG	10' CT	NATIVE
	20	SABAL PALMETTO	CABBAGE PALMETTO	FG	12' CT	NATIVE
	17	SABAL PALMETTO	CABBAGE PALMETTO	FG	14' CT	NATIVE
	8	THRINAX RADIATA	FLORIDA THATCH PALM	B&B OR FG	10' CT	NATIVE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	1	CYCAS CIRGINALIS	QUEEN SAGO	5 GAL	AS SHOWN	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	51	BLECHNUM SERRULATUM	SWAMP FERN	3 GAL 18-24" H@ 36" OC		
	453	CHRYSOBALANUS ICACO	COCO PLUM	3 GAL 18-24" H@ 36" OC		
	450	IXORA COCCINEA	RED IXORA	3 GAL 18-24" H@ 30" OC		
	364	NEPHROLEPIS BISERRATA	GIANT SWORDFERN	3 GAL 18-24" H@ 36" OC		
	80	PODOCARPUS MACROPHYLLUS	YEW PINE	30 GAL 6' HT@ 72" OC		
	478	SCHAEFFERIA FRUTESCENS	FLORIDA BOXWOOD	1 GAL 12"H @ 12" OC		
	220	SERENOA REPENS	SAW PALMETTO	3 GAL 14-18" H @ 48" OC		
	284	ZAMIA FURFURACEA	CARDBOARD PALM	3 GAL 18-24" H@ 42" OC		
	270	ZAMIA PUMILA	COONTIE	3 GAL 12-14" H@ 36" OC		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	5,623 SF	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE GRASS	SOD		

NOTE:  
1. ALL TREES AND PALMS TO BE FLORIDA GRADE #1  
2. AN IRRIGATION PLAN WILL BE FORTHCOMING BY THE SECOND TREE COMMISSION REVIEW.

TREE PERMIT APPLICATION NOTES  
PALMS TO BE REPLACED:61  
NATIVE PALMS PLANTED:64  
NON NATIVE PALMS TO BE PLANTED:104  
CANOPY TREES TO BE REPLACED:25  
NATIVE CANOPY TREES TO BE PLANTED:76  
EXISTING TREES TO REMAIN ON SITE:34



KEY WEST HOTEL  
COLLECTION - FAIRFIELD INN  
& SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

LANDSCAPE PLAN

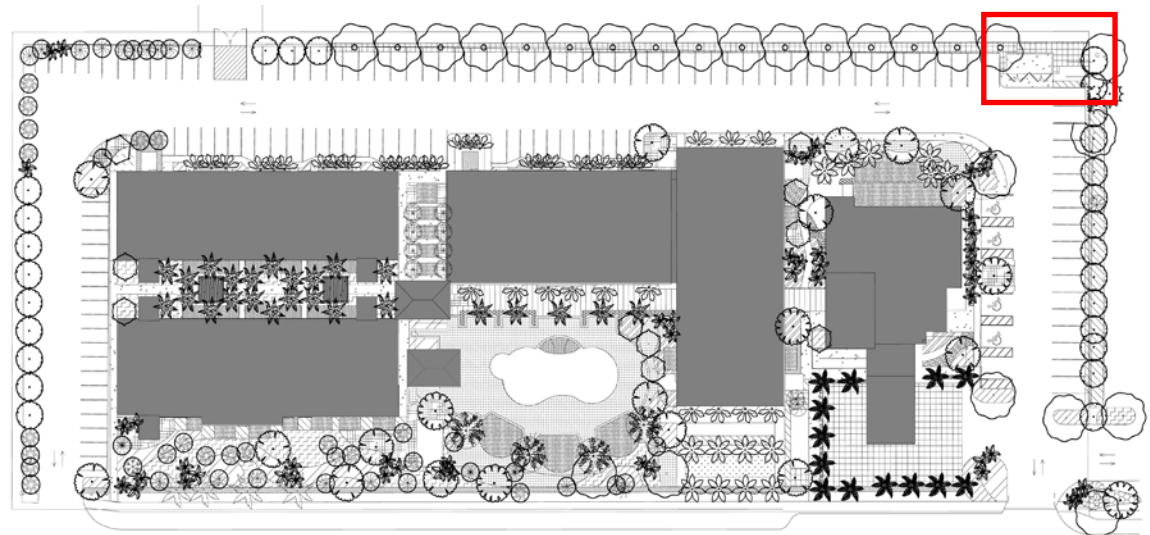
BOB NEAL	20120295
Principal/Designer	Project No.
MANNY DOMINGUEZ	02/25/2013
Design Director	Date
ANDRES RUBIO	
Project Manager	
T.JACK BAGBY	
Project Architect	
GARY WARNER	
Director of Landscape Architecture	

L3.03

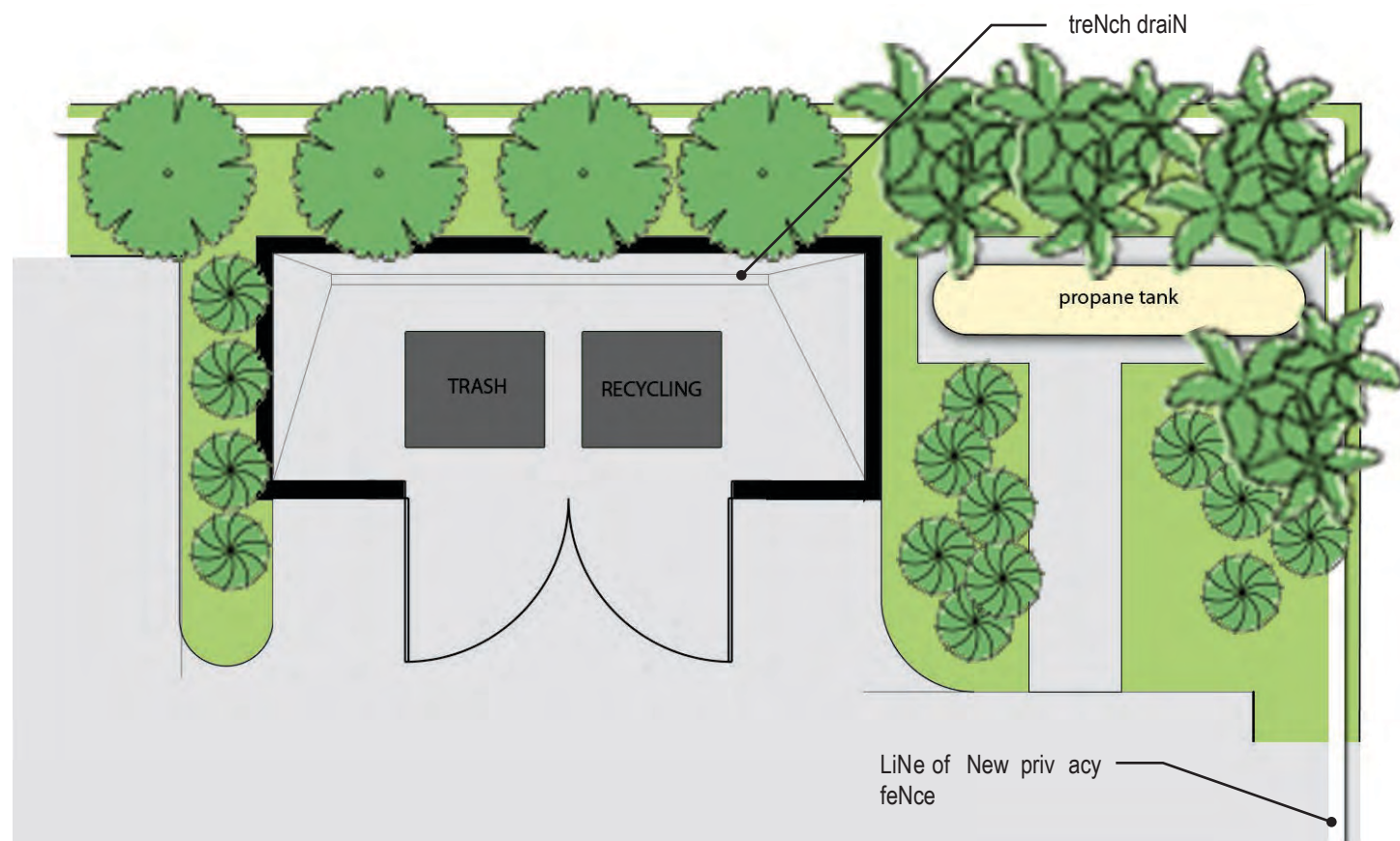


PROJECT NUMBER: 20120295 PROJECT NAME: KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: L3.03 - GROUND LEVEL FLOOR PLAN  
DRAWING NO: 17-11 revitusers20120295\_2011\_fairfield\_mcdanield.rvt  
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KEY PLAN



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dUMPster eN cL os Ure - eLevatio N

project N° 20120295.00 | revisio N N° 000 | date 03 06 2013

Notes

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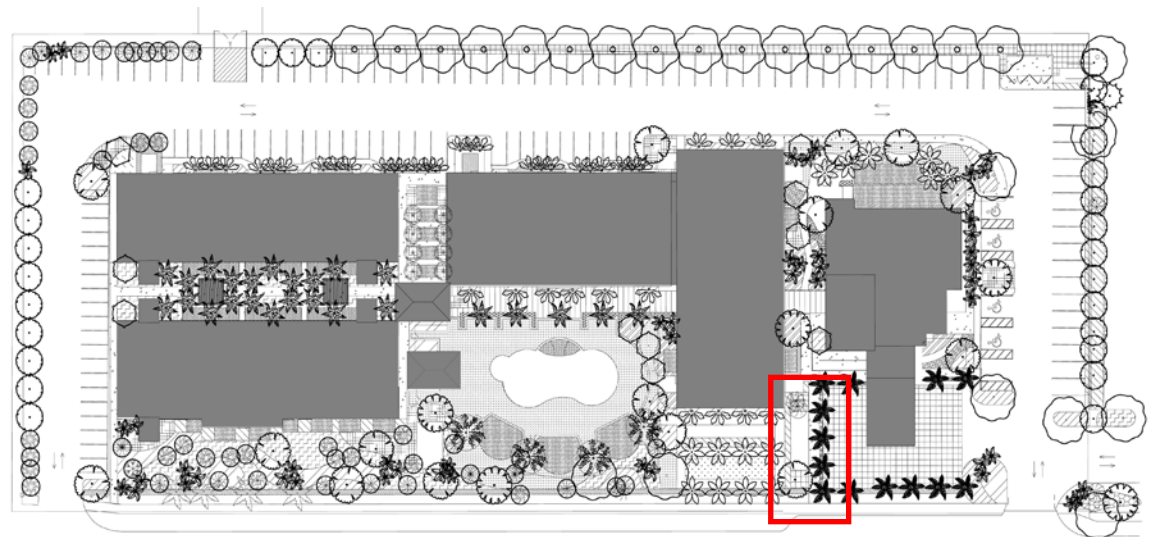


KEY WEST HOTEL COLLECTION - TOWNEPLACE SUITES  
3852 North Roosevelt Blvd, Key West, Florida 33040

© 2013 Cooper Carry, Inc., 191 Peachtree Street NE, Suite 2400, Atlanta, Georgia 30303 Tel. 404-237-2000 Fax 404-237-0276

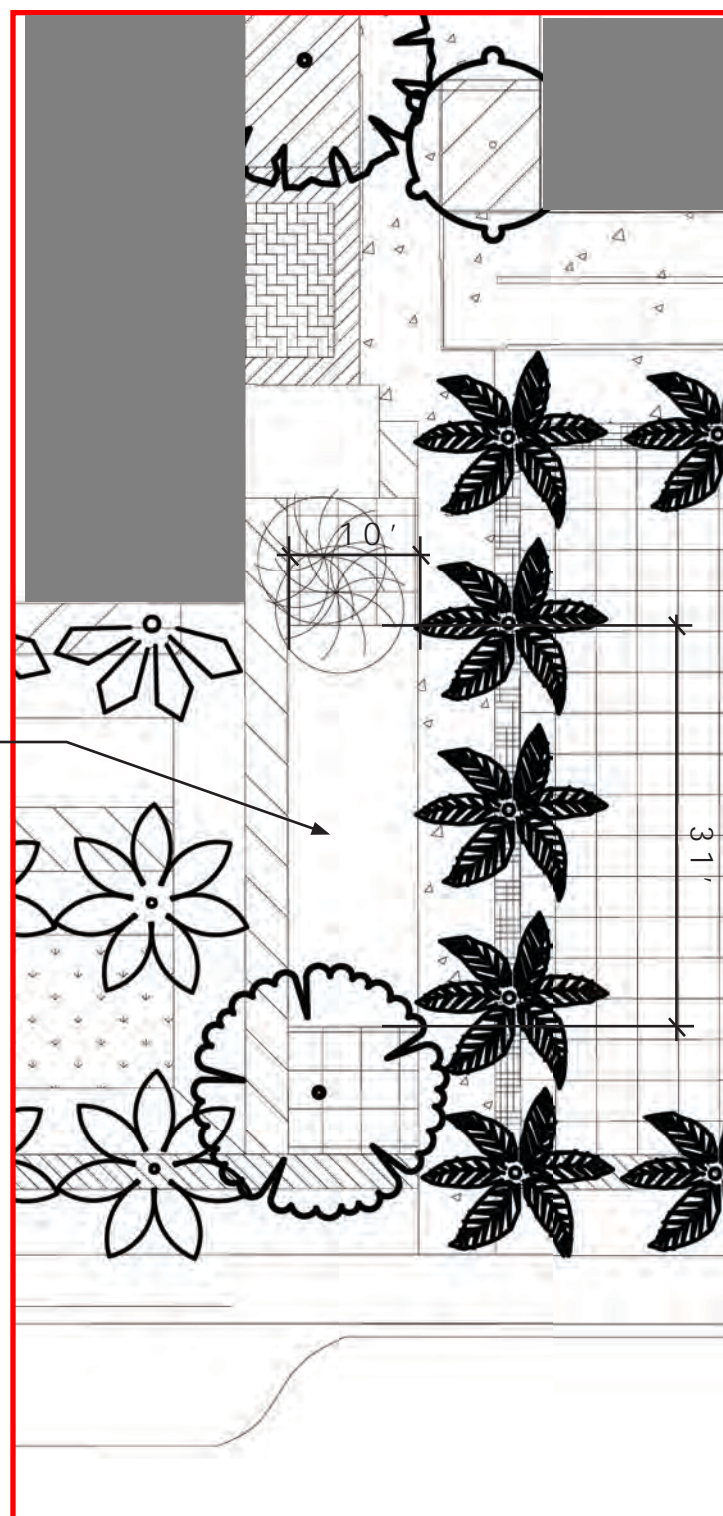






KEY PLAN

SCOOTER PARKING AREA





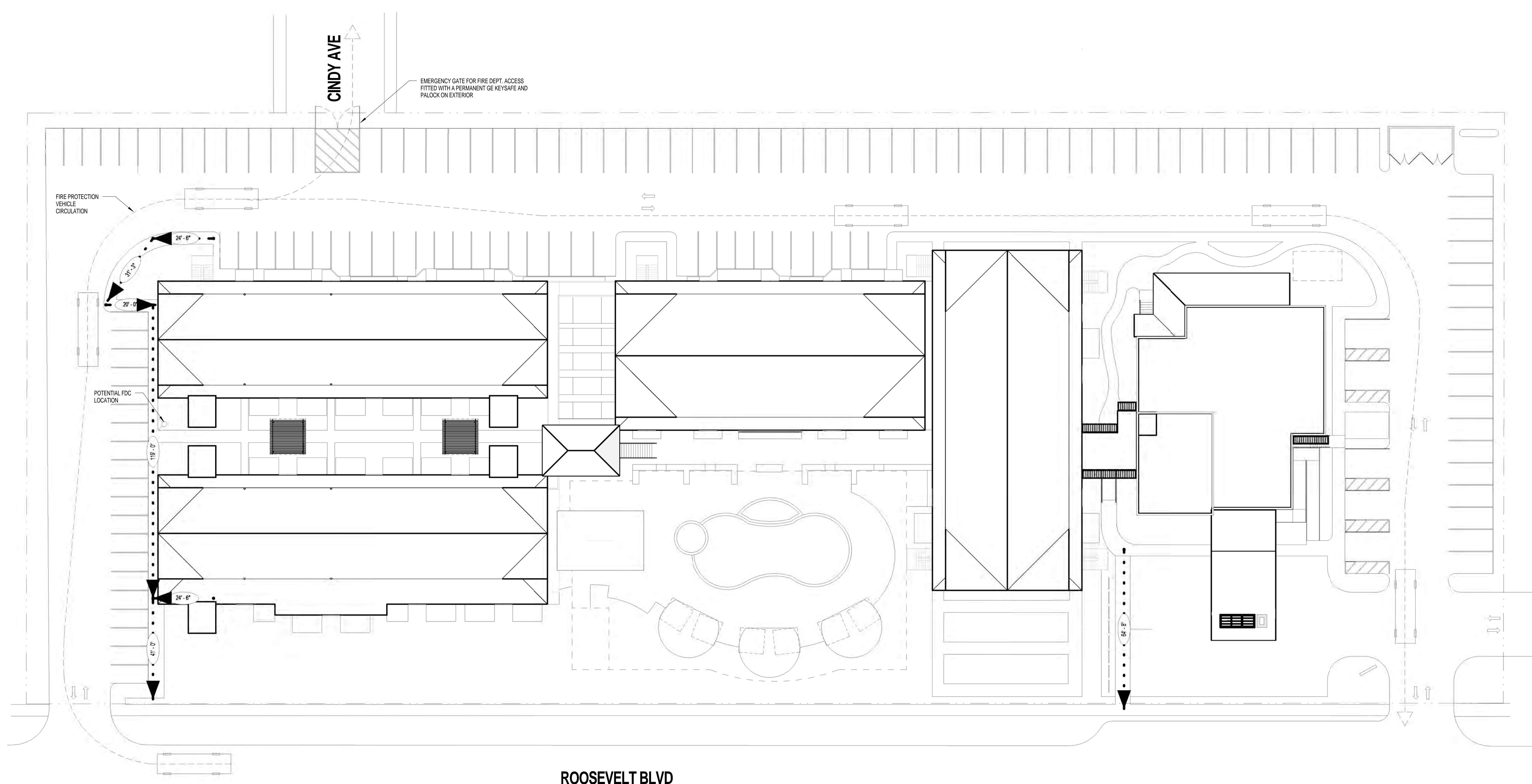


SCOPE DOCUMENTS

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ISSUANCES

No.	Drawing Issue Description	Date
1	DESIGN DEVELOPMENT	2013-02-25



1 MEANS OF EGRESS SITE PLAN  
G1.01 SCALE: 1" = 20'-0"

GENERAL NOTE:  
ALL BUILDINGS (EXISTING AND NEW) TO  
HAVE FULLY AUTOMATIC FIRE SPRINKLERS.

MEANS OF EGRESS LEGEND

<p><b>WALL RATINGS</b></p> <p>1 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>2 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>3 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>4 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION</p> <p>SMOKE SEPARATION ASSEMBLY</p>	<p><b>DISTANCES</b></p> <p>COMMON PATH OF TRAVEL (A = 250 FT. MAX; R = 200 FT. MAX)</p> <p>DEAD END CORRIDOR (20 FT. MAX)</p> <p>TRAVEL DISTANCE</p> <p>MAX DIAGONAL DISTANCE</p> <p>EXIT SEPARATION</p>	<p><b>LEVEL EXIT LOAD / CAPACITY</b></p> <p>LEVEL EXIT LOAD / CAPACITY @ DOORWAY</p> <p>LEVEL EXIT LOAD / CAPACITY @ CORRIDOR</p> <p>EXIT CAPACITY = (DOOR WIDTH - REDUCTION TO ACHIEVE CLEAR OPENING) X LOAD FACTOR</p> <p>EXIT CAPACITY = CLEAR OPENING X LOAD FACTOR</p>	<p><b>STAIR EXIT LOAD / CAPACITY</b></p> <p>MEASUREMENT OF MEANS OF EGRESS: THE WIDTH OF MEANS OF EGRESS SHALL BE MEASURED IN THE CLEAR AT THE NARROWEST POINT OF THE EGRESS COMPONENT UNDER CONSIDERATION. PROJECTIONS WITHIN THE MEANS OF EGRESS OF NOT MORE THAN 4 1/2" IN STAIR (4" OTHERWISE) ON EACH SIDE SHALL BE PERMITTED AT A HEIGHT OF 38" AND BELOW.</p>
<p><b>OCCUPANCY AREA LABELS</b></p> <p>AREA NAME 150 SF</p>	<p><b>PORTABLE EXTINGUISHER SYMBOLS</b></p> <p>RECESSED FIRE EXTINGUISHER CABINET</p> <p>FIRE EXTINGUISHER CABINET ON POST</p>	<p>REFERENCE MEASUREMENT OF MEANS OF EGRESS UNDER STAIR EXIT CAPACITY</p>	<p>CLEAR EXIT WIDTH: FACE OF WALL TO FACE OF GUARD</p> <p>38" HIGH X 4.5" WIDE ALLOWABLE PROJECTION AREA ON EACH SIDE</p> <p>42" HIGH GUARD RAIL</p> <p>34" HIGH HANDRAIL LOCATED WITHIN PROJECTION AREA</p> <p>RAISED STRINGER LOCATED WITHIN PROJECTION AREA</p>

PROJECT NUMBER: 20120295  
SHEET NUMBER: G1.01 - MEANS OF EGRESS SITE PLAN  
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KEY WEST HOTEL  
COLLECTION - FAIRFIELD INN  
& SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

MEANS OF EGRESS SITE PLAN

BOB NEAL Principal-in-Charge	20120295 Project No.
MANNY DOMINGUEZ Design Director	02/25/2013 Date
ANDRES RUBIO Project Manager	
T.JACK BAGBY Project Architect	

G1.01

Drawing No.

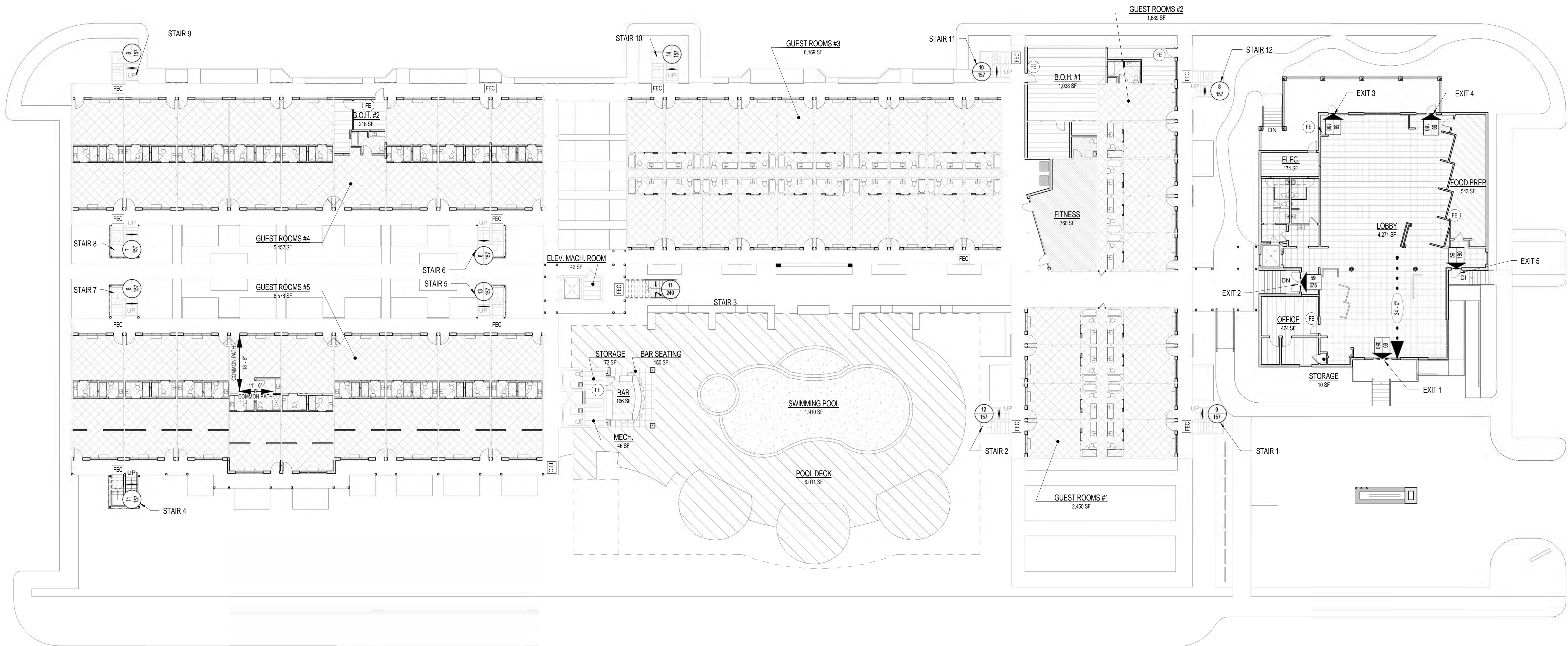




SCOPE DOCUMENTS

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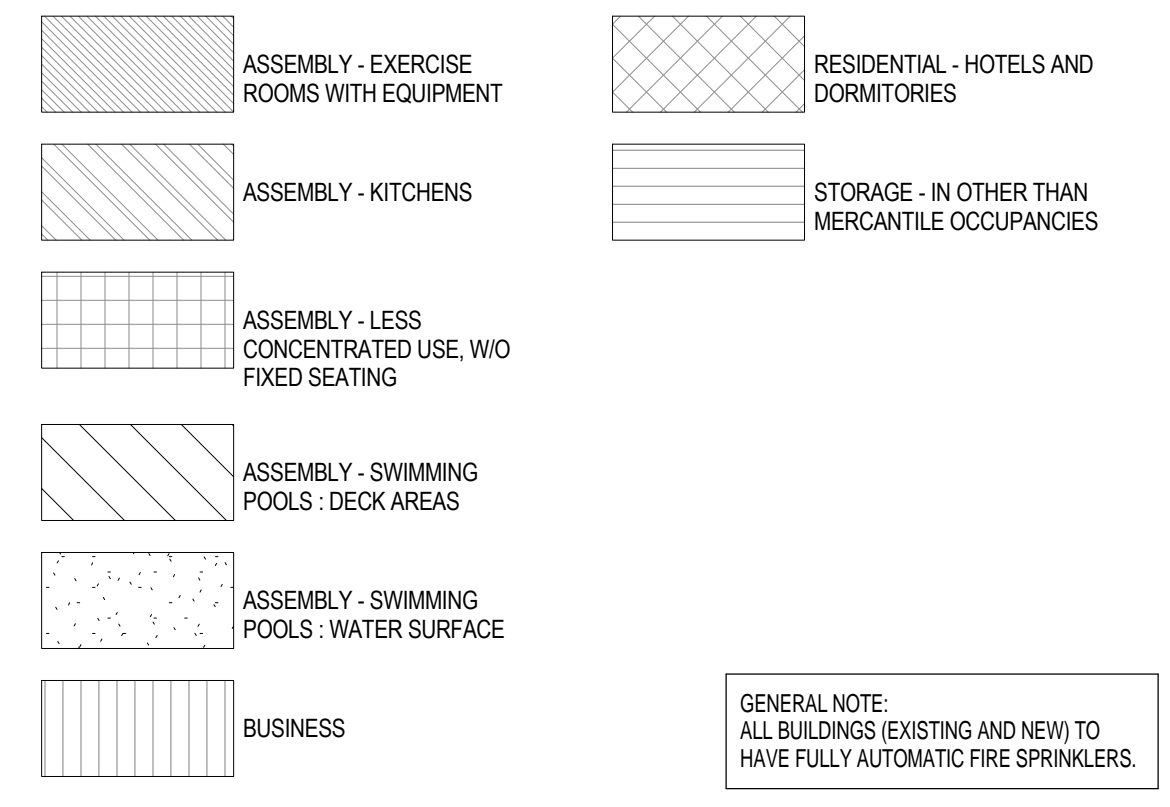
ISSUANCES		
No.	Drawing Issue Description	Date
	DESIGN DEVELOPMENT	2013-02-25



ROOSEVELT BLVD

1 LEVEL 100 (A)  
G2.01 SCALE: 1/16" = 1'-0"

MEANS OF EGRESS OCCUPANCY LEGEND



EXIT CAPACITY: FLOOR LEVEL 1

STAIR EXITS: EGRESS WIDTH (inches per occupant):	STAIR CAPACITY (0.30)	DOOR CAPACITY (0.20)	GOVERNING CAPACITY	OCCUPANT LOAD @ STAIR EXIT
STAIR NO. 1	157	235	157	9
STAIR NO. 2	157	235	157	12
STAIR NO. 3	240	360	240	11
STAIR NO. 4	157	235	157	11
STAIR NO. 5	157	235	157	13
STAIR NO. 6	157	235	157	8
STAIR NO. 7	157	235	157	8
STAIR NO. 8	157	235	157	7
STAIR NO. 9	157	235	157	8
STAIR NO. 10	157	235	157	14
STAIR NO. 11	157	235	157	10
STAIR NO. 12	157	235	157	8

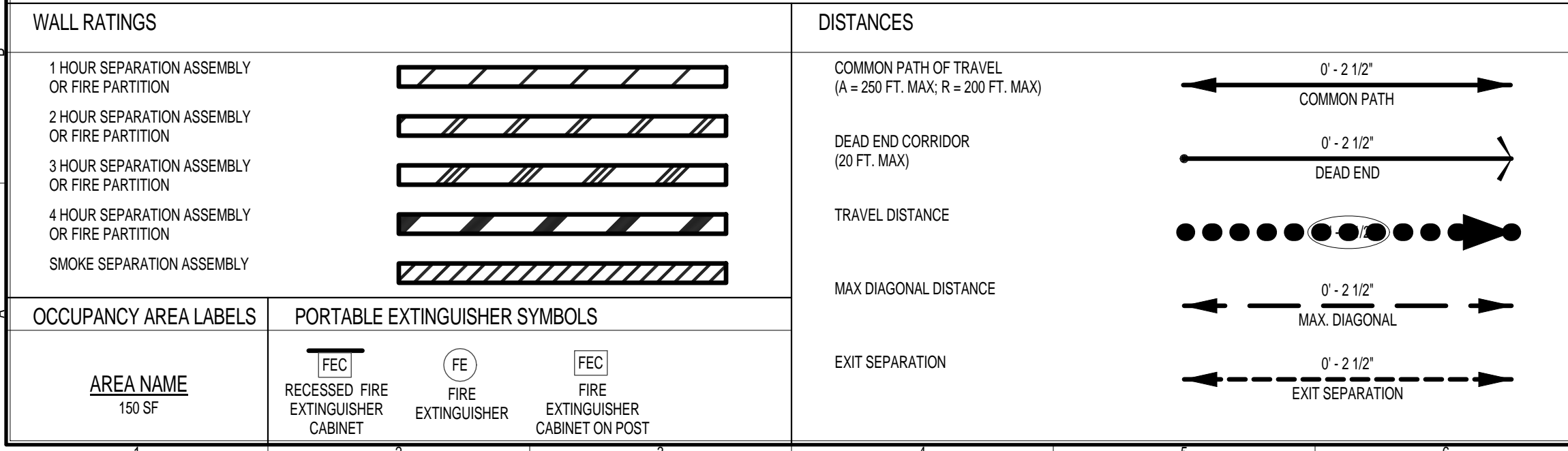
LOBBY LEVEL EXITS: EGRESS WIDTH (inches per occupant):	DOOR CAPACITY (0.20)	OCCUPANT LOAD @ LEVEL EXIT
LEVEL EXIT NO. 1 - DOOR	350	60
LEVEL EXIT NO. 2 - DOOR	375	59
LEVEL EXIT NO. 3 - DOOR	180	59
LEVEL EXIT NO. 4 - DOOR	180	59
LEVEL EXIT NO. 5 - DOOR	180	59

TOTAL EXIT CAPACITY FOR LOBBY FLOOR: 1265 296

NFPA 101 LSC - OCCUPANCY LOAD SCHEDULE LEVEL 1

NAME	OCCUPANT USE GROUP (LSC TABLE 7.3.1.2)	AREA	OCC. LOAD FACTOR	SOFT TYPE	FIXED OCC. LOAD	OCCUPANT LOAD
GUEST ROOMS #1	RESIDENTIAL - HOTELS AND DORMITORIES	2,450 SF	200	GROSS		13
FITNESS	ASSEMBLY - EXERCISE ROOMS WITH EQUIPMENT	760 SF	50	GROSS		16
GUEST ROOMS #2	RESIDENTIAL - HOTELS AND DORMITORIES	1,689 SF	200	GROSS		9
B.O.H. #2	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	218 SF	500	GROSS		1
B.O.H. #1	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	1,038 SF	500	GROSS		3
GUEST ROOMS #3	RESIDENTIAL - HOTELS AND DORMITORIES	6,169 SF	200	GROSS		31
ELEV. MACH. ROOM	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	42 SF	500	GROSS		1
GUEST ROOMS #5	RESIDENTIAL - HOTELS AND DORMITORIES	6,578 SF	200	GROSS		33
GUEST ROOMS #4	RESIDENTIAL - HOTELS AND DORMITORIES	5,452 SF	200	GROSS		28
LOBBY	ASSEMBLY - LESS CONCENTRATED USE, W/O FIXED SEATING	4,271 SF	15	NET		285
ELEC.	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	174 SF	500	GROSS		1
FOOD PREP	ASSEMBLY - KITCHENS	543 SF	100	GROSS		6
BAR	ASSEMBLY - KITCHENS	166 SF	100	GROSS		2
MECH.	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	46 SF	500	GROSS		1
STORAGE	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	73 SF	500	GROSS		1
SWIMMING POOL	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	1,910 SF	50	GROSS		39
POOL DECK	ASSEMBLY - SWIMMING POOLS - DECK AREAS	6,011 SF	30	GROSS		201
BAR SEATING	ASSEMBLY - LESS CONCENTRATED USE, W/O FIXED SEATING	150 SF	15	NET		11
OFFICE	BUSINESS	474 SF	100	GROSS		5
STORAGE	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	10 SF	500	GROSS		1

MEANS OF EGRESS LEGEND



PROJECT NUMBER: 20120295 KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)  
SHEET NUMBER: G2.01 - MEANS OF EGRESS PLAN - LEVEL 100  
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KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

MEANS OF EGRESS PLAN - LEVEL 100

BOB NEAL 20120295  
Principal-in-Charge Project No.  
MANNY DOMINGUEZ 02/25/2013  
Project Manager Date  
ANDRES RUBIO  
Project Architect  
T.JACK BAGBY  
Staff Architect

G2.01

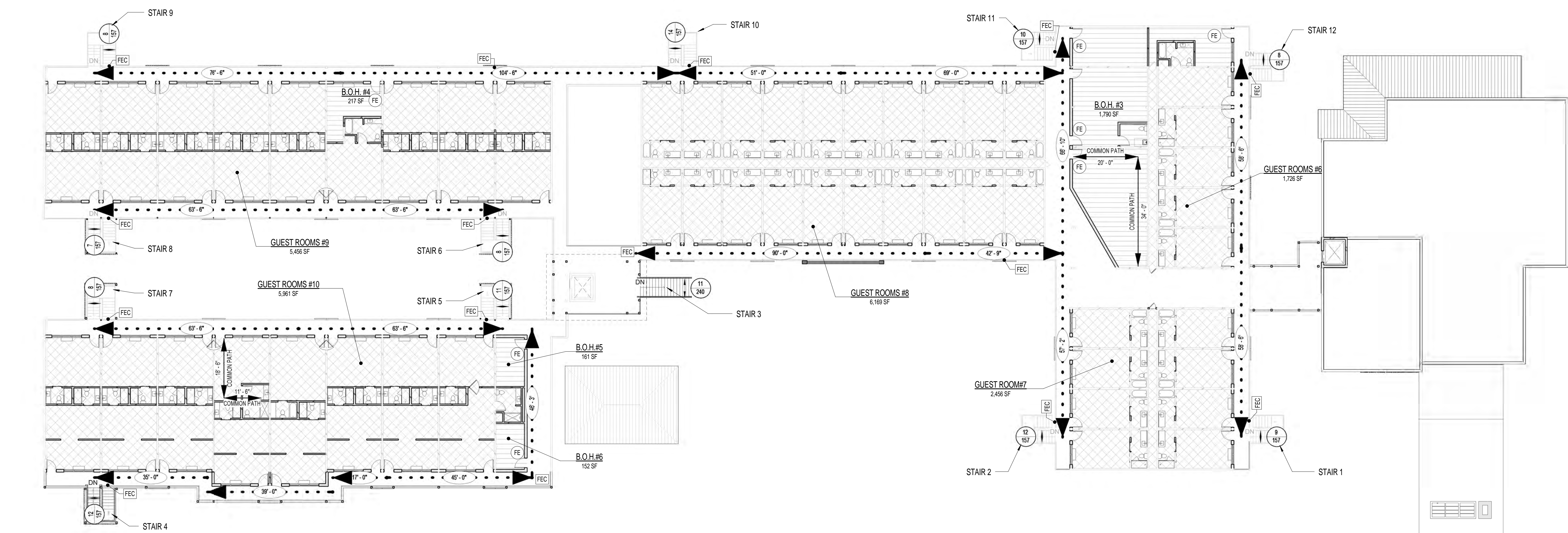




SCOPE DOCUMENTS

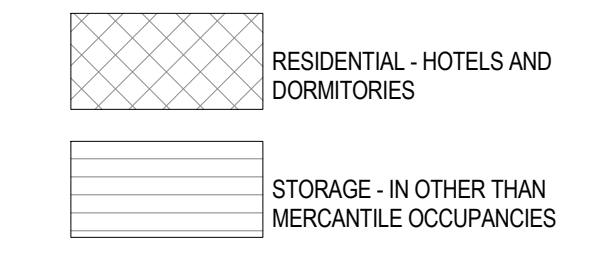
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ISSUANCES		
No.	Drawing Issue Description	Date
	DESIGN DEVELOPMENT	2013-02-25



1 LEVEL 200 (A)  
G2.02 SCALE: 1/16" = 1'-0"

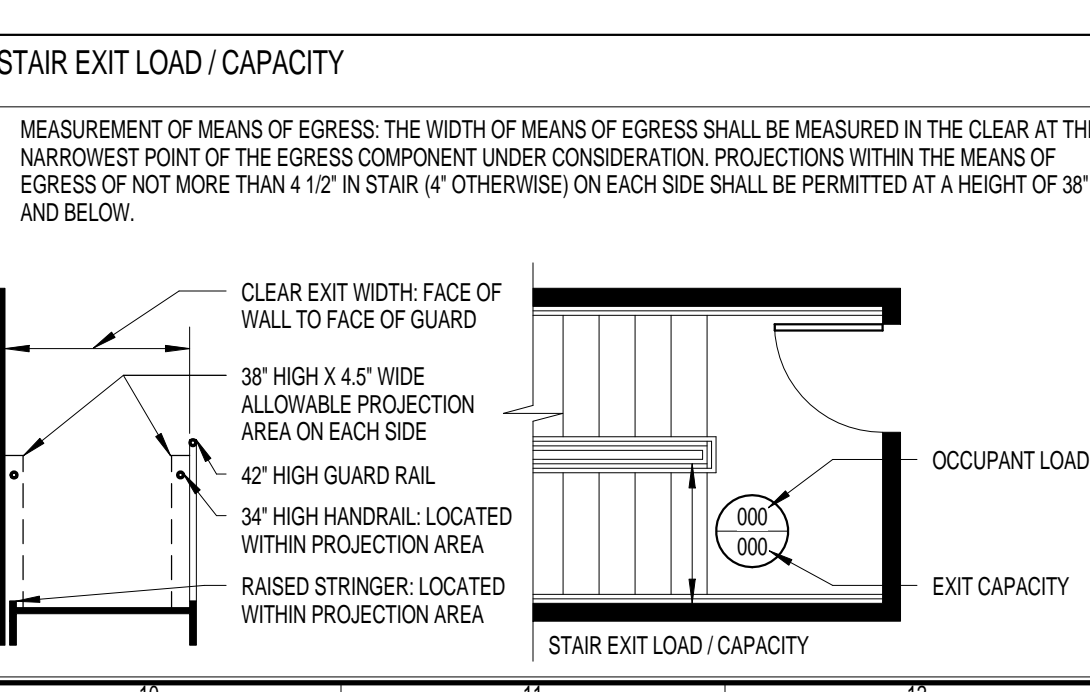
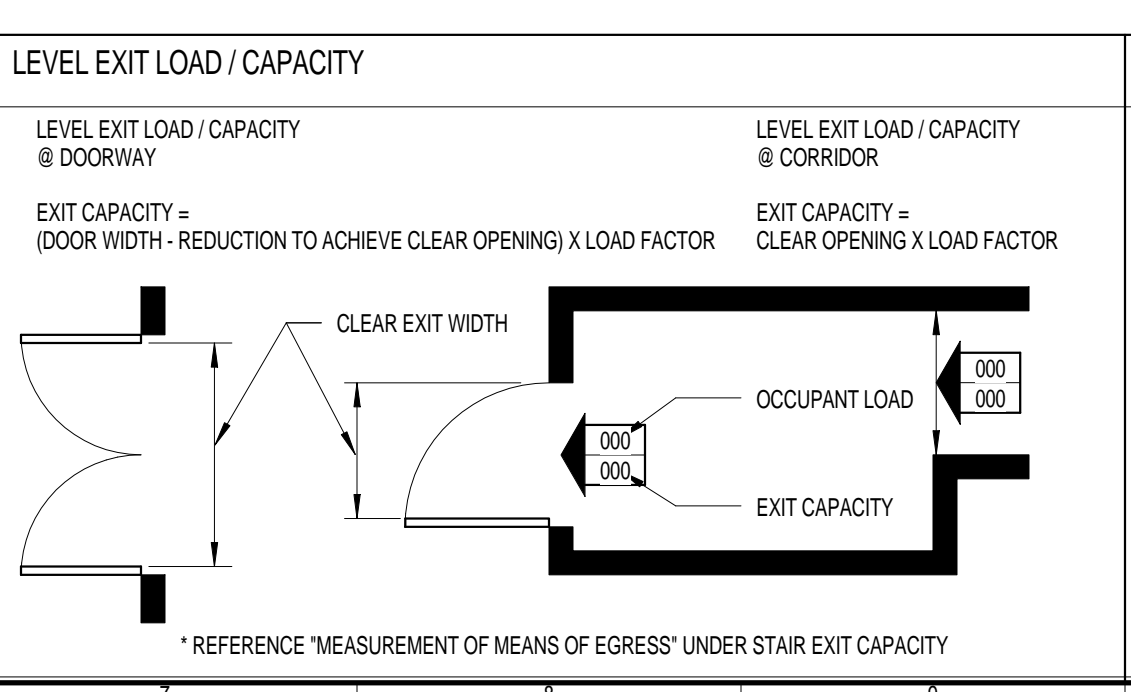
MEANS OF EGRESS OCCUPANCY LEGEND



GENERAL NOTE:  
ALL BUILDINGS EXISTING AND NEW TO  
HAVE FULLY AUTOMATIC FIRE SPRINKLERS.

MEANS OF EGRESS LEGEND

WALL RATINGS	DISTANCES	LEVEL EXIT LOAD / CAPACITY	STAIR EXIT LOAD / CAPACITY
1 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION 2 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION 3 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION 4 HOUR SEPARATION ASSEMBLY OR FIRE PARTITION SMOKE SEPARATION ASSEMBLY	COMMON PATH OF TRAVEL (A = 250 FT. MAX. R = 200 FT. MAX.) DEAD END CORRIDOR (20 FT. MAX.) TRAVEL DISTANCE MAX. DIAGONAL DISTANCE EXIT SEPARATION	LEVEL EXIT LOAD / CAPACITY @ DOORWAY EXIT CAPACITY = (DOOR WIDTH - REDUCTION TO ACHIEVE CLEAR OPENING) X LOAD FACTOR 	MEASUREMENT OF MEANS OF EGRESS: THE WIDTH OF MEANS OF EGRESS SHALL BE MEASURED IN THE CLEAR AT THE NARROWEST POINT OF THE EGRESS COMPONENT UNDER CONSIDERATION. PROJECTIONS WITHIN THE MEANS OF EGRESS OF NOT MORE THAN 4 1/2" IN STAIR (4" OTHERWISE) ON EACH SIDE SHALL BE PERMITTED AT A HEIGHT OF 36" AND BELOW. 



EXIT CAPACITY: FLOOR LEVEL 2

STAIR NO.	EGRESS WIDTH (feet per occupant)	STAIR CAPACITY (0.30)	DOOR CAPACITY (0.25)	GOVERNING CAPACITY	OCCUPANT LOAD @ STAIR EXIT
STAIR NO. 1	157	235	157	157	9
STAIR NO. 2	157	235	157	157	12
STAIR NO. 3	240	360	240	240	11
STAIR NO. 4	157	235	157	157	12
STAIR NO. 5	157	235	157	157	11
STAIR NO. 6	157	235	157	157	8
STAIR NO. 7	157	235	157	157	8
STAIR NO. 8	157	235	157	157	7
STAIR NO. 9	157	235	157	157	8
STAIR NO. 10	157	235	157	157	14
STAIR NO. 11	157	235	157	157	10
STAIR NO. 12	157	235	157	157	8
TOTAL EXIT CAPACITY FOR FLOOR:				2945	118

NFPA 101 LSC - OCCUPANCY LOAD SCHEDULE LEVEL 2

NAME	OCCUPANT USE GROUP (LSC TABLE 7.3.1.2)	AREA	OCC. LOAD FACTOR	SOFT	FIXED OCC. LOAD	OCCUPANT LOAD
B.O.H. #3	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	1,790 SF	500	GROSS		4
GUEST ROOMS #9	RESIDENTIAL - HOTELS AND DORMITORIES	1,728 SF	200	GROSS		9
GUEST ROOMS #8	RESIDENTIAL - HOTELS AND DORMITORIES	6,169 SF	200	GROSS		31
GUEST ROOMS #10	RESIDENTIAL - HOTELS AND DORMITORIES	5,961 SF	200	GROSS		30
B.O.H. #4	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	217 SF	500	GROSS		1
GUEST ROOMS #9	RESIDENTIAL - HOTELS AND DORMITORIES	5,456 SF	200	GROSS		28
GUEST ROOM #7	RESIDENTIAL - HOTELS AND DORMITORIES	2,456 SF	200	GROSS		13
B.O.H.#5	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	161 SF	500	GROSS		1
B.O.H.#6	STORAGE - IN OTHER THAN MERCANTILE OCCUPANCIES	152 SF	500	GROSS		1
						118

PROJECT NUMBER: 20120295  
SHEET NUMBER: G2.02 - MEANS OF EGRESS PLAN - LEVEL 200  
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KEY WEST HOTEL COLLECTION - FAIRFIELD INN & SUITES - (SITE A)

3852 North Roosevelt Boulevard  
Key West, Florida 33040

J.L. Woode Ltd.

MEANS OF EGRESS PLAN - LEVEL 200

BOB NEAL	20120295
Principal-in-Charge	Project No.
MANNY DOMINGUEZ	02/25/2013
Project Manager	Date
ANDRES RUBIO	
Project Architect	
T.JACK BAGBY	
Staff Architect	

G2.02