



**Historic Architectural Review Commission
Staff Report for Item 4**

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kelly Perkins, MHP
HARC Assistant Planner

Meeting Date: April 24, 2018

Applicant: William Rowan

Application Number: 18-0572

Address: #1419 Thompson Street

Description of Work:

Extension of first floor rear porch and new second floor rear porch. Replacement of windows to doors at rear.

Site Facts:

The two-story structure with a two-story wrap around porch is listed as contributing to the Key West Historic District, even though the structure is located outside of the district. The survey states that the structure was built c.1899, but first appears on the 1926 Sanborn map. The 1912 Sanborn map in that area is vacant, though it is just as likely that the structure was moved there. After 1962, a two-story addition was added onto the rear.

The neighboring two-story structure (1415 Thompson St) is also listed as contributing to the district.

Guidelines Cited in Review:

Secretary of the Interior's Standards for Rehabilitation (pages 16-17), specifically Standards 2, 3, 4, 5, 6, 9, and 10.

HARC Guidelines for Additions and Alterations (pages 37a-37k), specifically guidelines 5, 6, 11, 12, 13, 14, 19, 22, 23, 29, 30, and 31.

Staff Analysis

This Certificate of Appropriateness proposes adding an expanded deck and a new second floor balcony on the rear of 1419 Thompson Street. The balcony will be connected to the historic portion of the house. It will be approximately 13 feet by 12 feet. Both the balcony and the deck will be made of wood. Fenestrations on the rear of the house will be changed and replaced with fiberglass doors.

Consistency with Guidelines

Staff believes that the proposed balcony and deck will not greatly alter or expand the massing of the historic structure, and it will not have an impact on the neighboring contributing structure at 1415 Thompson Street. Normally, additions and alterations are analyzed for their impact on the neighboring historic context and the historic district. As this structure is located outside of the historic district, that impact cannot be analyzed. Therefore, it is staff's opinion that the proposed design is consistent with the guidelines for additions and alterations.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC
\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

1300 WHITE STREET
 KEY WEST, FLORIDA 33040
 Phone: 305.809.3956
 BLDG@CITYOFKEYWEST-FL.GOV

HARC PERMIT NUMBER		BUILDING PERMIT NUMBER	INITIAL & DATE
		18-0572	
FLOODPLAIN PERMIT		ZONING	REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT
			<input type="checkbox"/> YES <input type="checkbox"/> NO _____ %

6788/267

ADDRESS OF PROPOSED PROJECT:	1419 Thompson St.	# OF UNITS	1
RE # OR ALTERNATE KEY:	00042840-000000		
NAME ON DEED:	KW Trent 1419 Thompson LLC	PHONE NUMBER	262-248-4441
OWNER'S MAILING ADDRESS:	1103 Geneva St.	EMAIL	taratrent@yahoo.com
	Lake Geneva, WI 53147		
CONTRACTOR COMPANY NAME:	SHP General Contractor	PHONE NUMBER	305-797-1263
CONTRACTOR'S CONTACT PERSON:	Steve	EMAIL	shpkwoff@live.com
ARCHITECT / ENGINEER'S NAME:	William Rowan	PHONE NUMBER	305-296-3784
ARCHITECT / ENGINEER'S ADDRESS:	321 Peacon Ln.	EMAIL	
	Key West, FI 33040		

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT: **\$ 65,000.00**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

DETAILED Project Description...(The applicant further hereby acknowledges that the scope of work as described shall be the scope of work that is considered by the City. Should further action be taken by the City for exceeding the scope of the description of work as described herein versus the scope of work shown on the plans or other documents submitted with the application, the forementioned description of work shall be controlling.)

New partial concrete foundation, footers and beams. New interior framing and flooring plan 1st and 2nd floor. Relocate existing kitchen total. Relocate bathroom 1st floor. Relocate bathroom and add laundry room, renovate additional bathrooms and bedroom closet@ 2nd floor. New spiral staircase from 2nd to 3rd floor. Install 4 new exterior doors and 1 sliding pocket door system (exterior) as indicated in schedule. Refinish additional doors and windows. Install two new wood decks with detailed railings on concrete footers at 1st and 2nd floors. Expand 3rd floor Art/Storage with new framing/railing, frame in existing drop down access.

Printed name of property owner or licensed contractor.	Signature.
Steven Prine	<i>[Signature]</i>

Notary Signature as to applicant. State of Florida, County of Monroe, Sworn to and subscribed before me.

Personally known or produced as identification.		<i>[Signature]</i>
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User: newuser Date: 2/05/18 61 2018 572 Type: BP Drawn: 1 Receipt no: 7703
 PT * BUILDING PERMITS-NEW 1.00 \$100.00
 Trans number: 3122804
 CK CHECK 3421 \$100.00
 Trans date: 2/05/18 Time: 7:43:12

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE: _____

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A/C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS LPG TANKS
 RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkissimmee-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: Match existing exterior colors

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
Replace existing decks and railings at the back of the residence	wood	wood
Replace/add some windows and doors at the back of the residence		metal Impact

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY: HARC STAFF OR COMMISSION REVIEW		
___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION ___ TABLED FOR ADD'L. INFO.		
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
HARC PLANNER SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

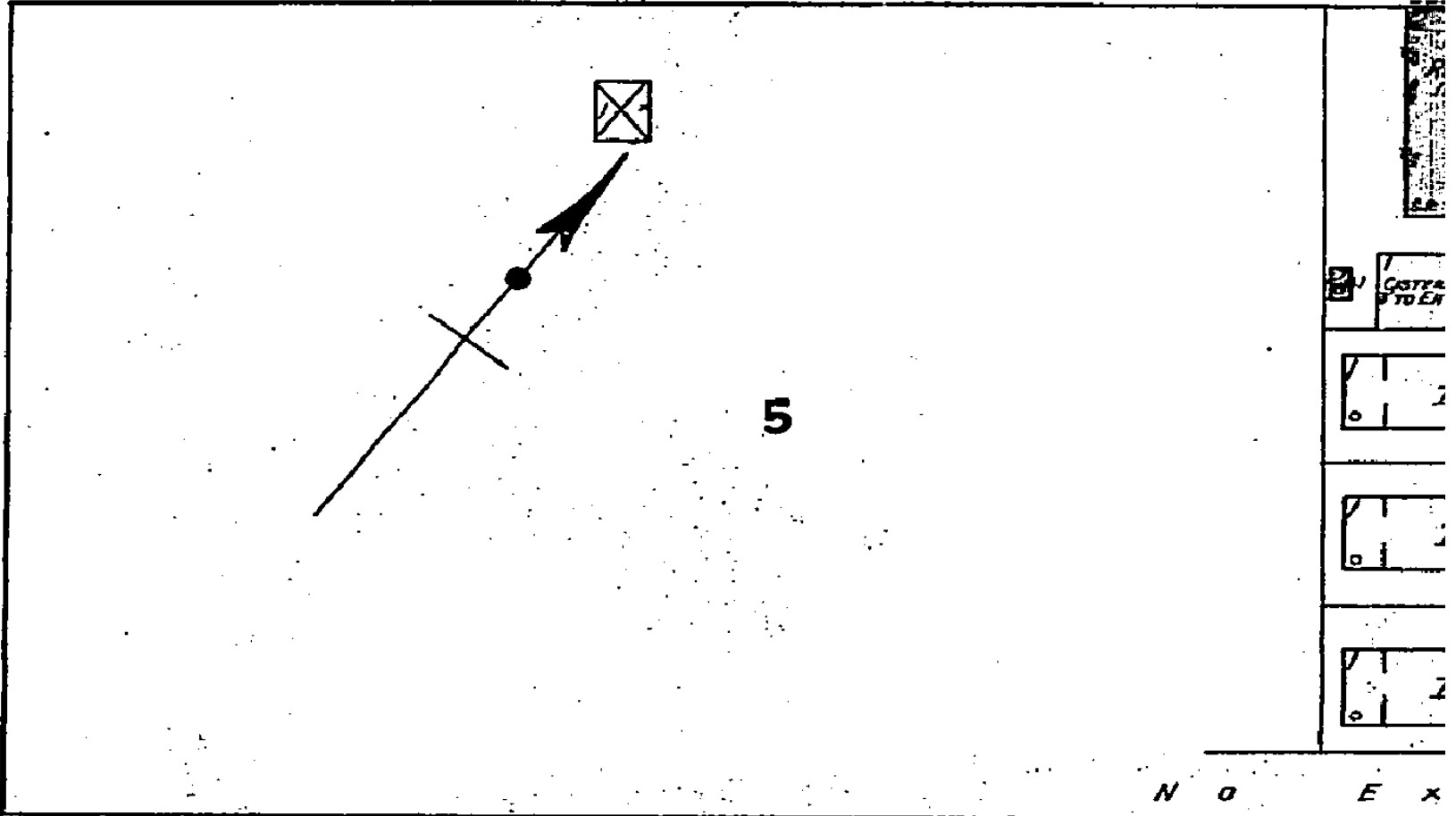
FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T. AGENCIES, AND OTHER PARTIES ARE THE APPLICANT'S RESPONSIBILITY.

SANBORN MAPS

WASHINGTON

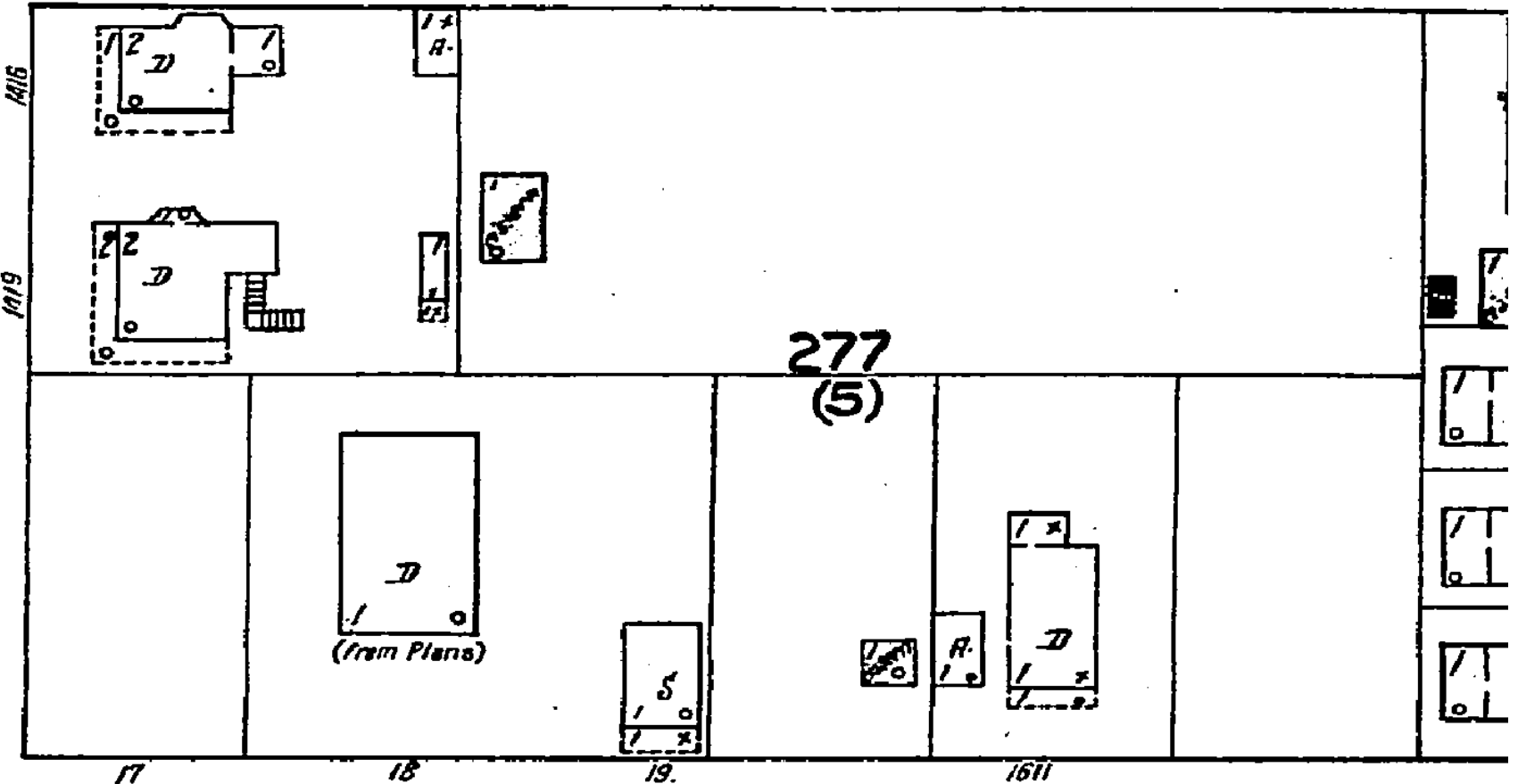
HOMPSON



1912 Sanborn Map

WASHINGTON

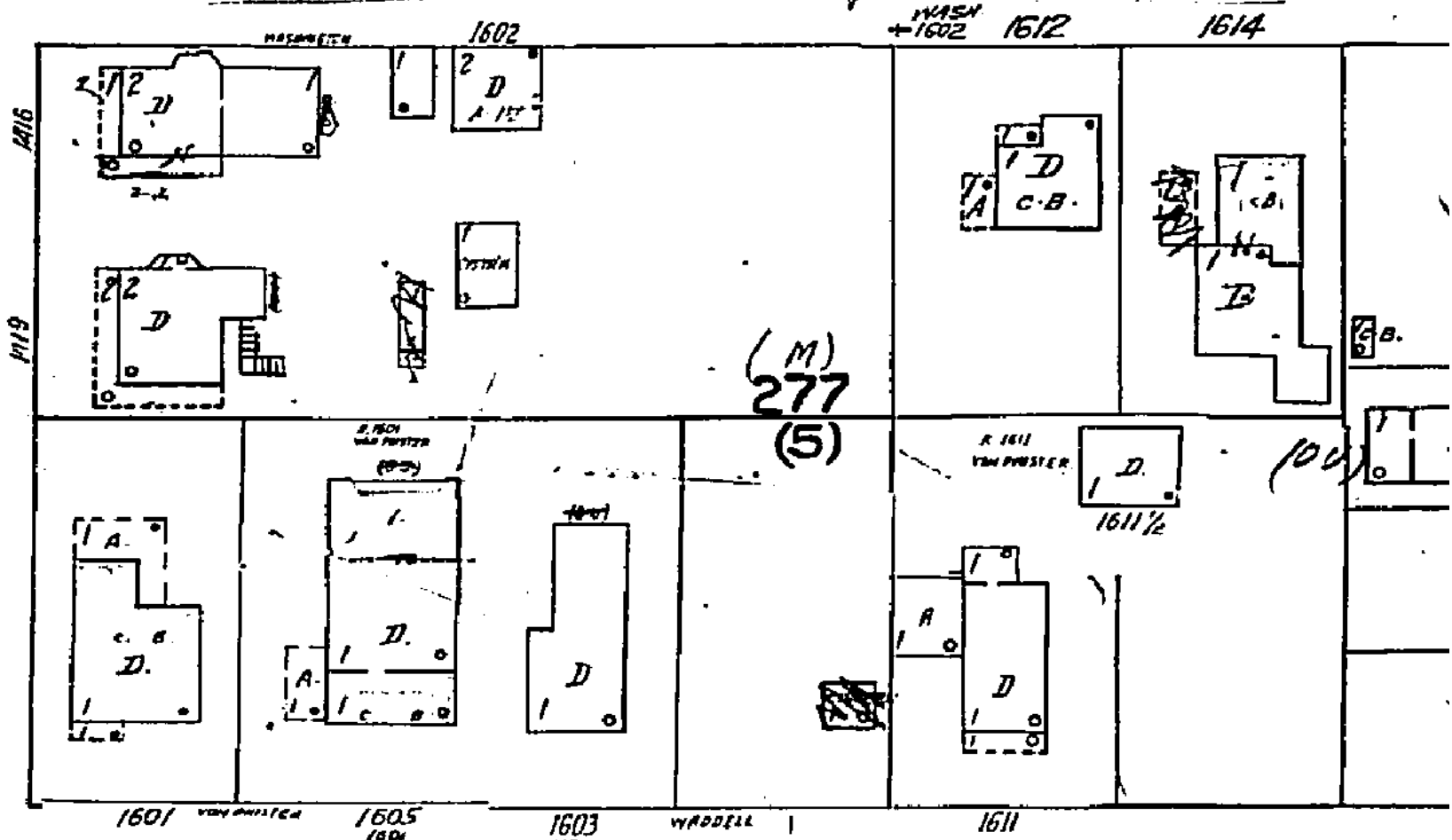
THOMPSON



WADDELL

1926 Sanborn Map

THOMPSON



VONI VON PHISTER. ~~XXXXXXXXXX~~

1962 Sanborn Map

PROJECT PHOTOS



The ruins of the Ruy Lopez Cigar Factory on Washington and Thompson Street, c.1950.
Photo by Jeff Brodhead. Monroe County Public Library.



Rear elevation the historic portion of 1419 Thompson Street. This is where the proposed balcony will be located.



Rear elevation the non-historic portion of 1419 Thompson Street. The windows on the lower level will be converted into sliding glass doors



Rear of 1415 Thompson Street, the other contributing house on this street.

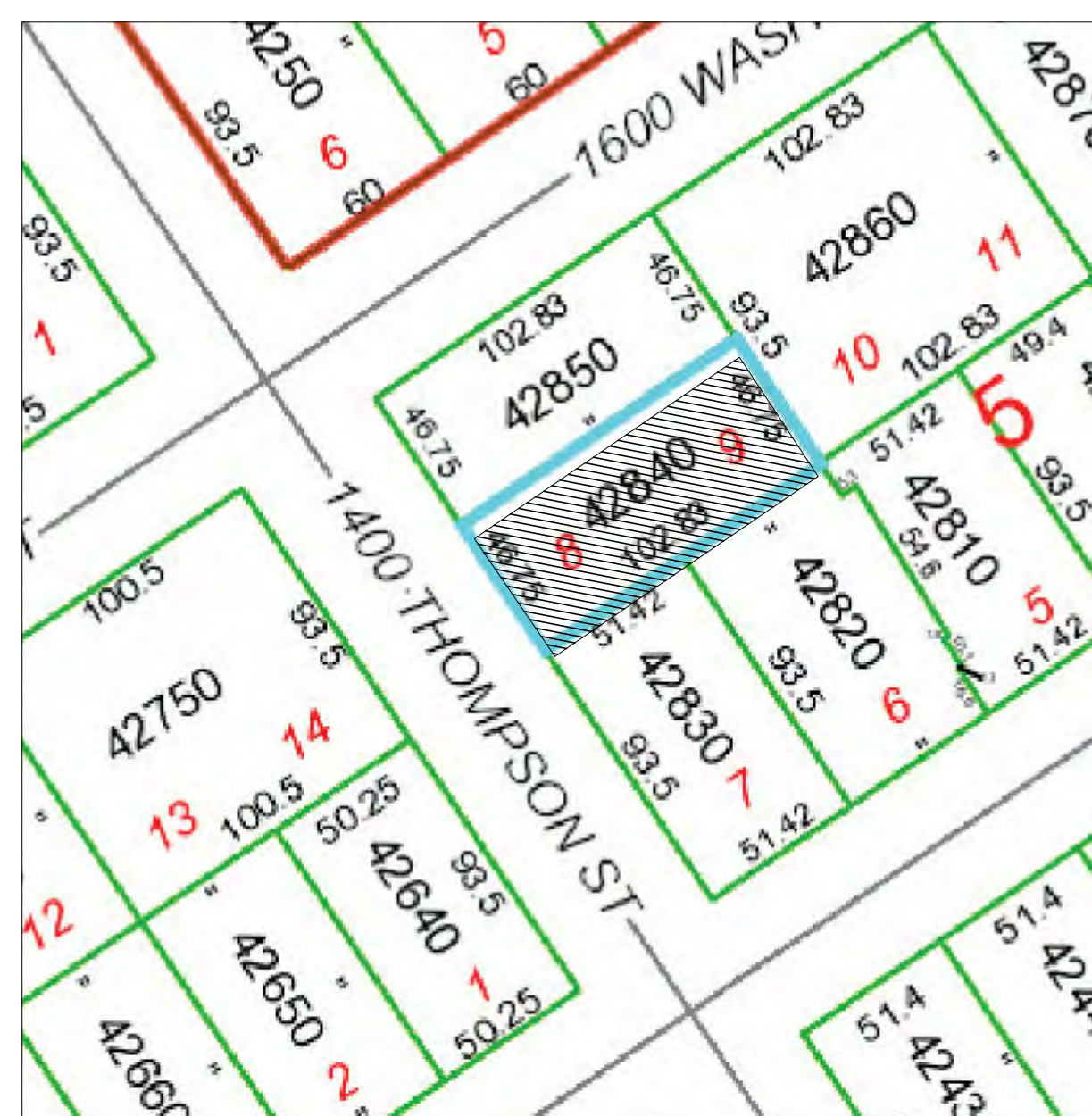
PROPOSED DESIGN

INTERIOR AND EXTERIOR UPGRADES TRENT RESIDENCE

1419 THOMPSON STREET KEY WEST, FLORIDA 33040



STREET VIEW
(FROM THOMPSON STREET)
EXISTING & PROPOSED



SITE LOCATION

SHEET INDEX	
NO.	DESCRIPTION
1	C COVER - LOCATION, GENERAL NOTES
2	A1 DEMO PLAN, FIRST & SECOND FLOOR PLAN (EXISTING)
3	A2 FLOOR PLAN FIRST & SECOND (PROPOSED)
4	A3 NORTH ELEVATION (EXISTING & PROPOSED) NOTES, DETAILS
5	S-I DECK FRAMING, FOUNDATION DETAILS, SECTIONS, NOTES
6	M ELECTRICAL PLAN, PLUMBING PLAN, SCHEDULES

SCOPE:

- INSTALL 2 STRUCTURAL MOMENT FRAMES
- INSTALL NEW FIRST FLOOR DECK AT REAR OF RESIDENCE
- INSTALL NEW SECOND FLOOR DECK AT REAR OF RESIDENCE
- SELECTIVE DEMO AND CONSTRUCTION AT INTERIOR FOR NEW FLOOR PLAN LAYOUT
- RELOCATE KITCHEN AND BATHROOM AT FIRST FLOOR
- INSTALL SPIRAL STAIRS TO ATTIC STORAGE / ART ROOM
- INSTALL (1) NEW SLIDING GLASS DOOR AT REAR OF RESIDENCE
- INSTALL (4) NEW EXTERIOR DOORS AT NEW DECK
- REPAIR STORM DAMAGED EXTERIOR AS NEEDED
- UPGRADE EXISTING ELECTRICAL AND PLUMBING TO MEET 2017 FBC

GENERAL NOTES

All work shall comply with the latest Florida Building Code, FBC 2017 - 6th edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

- BUILDING: Florida Building Code, 2017 - 6th edition
- ELECTRICAL: National Electrical Code, 2017 (NFPA 70)
- PLUMBING: Florida Building Code (Plumbing), 2017 - 6th edition
- MECHANICAL: Florida Building Code (Mech.), 2017 - 6th edition
- GAS: LP Gas Code, 2017 edition (NFPA 58)

This project is designed in accordance with A.S.C.E. 7-16 to resist wind loads of 180 mph (gusts) (Exposure D)

PROJECT DATA	PROPOSED	EXISTING	ALLOWED	VARIANCE REQ.
	RE NO.	000-42480-000000		
SETBACKS:				
FRONT	14'9"	14'9"	30'	NO
SIDE	5'5"	5'5"	5'	NO
SIDE	12'	12'	10'	NO
REAR	27'5"	26'2"	25'	NO
LOT SIZE	4,807 SF.	4,807 SF.	6,000 SF. MIN.	NO
BUILDING COVERAGE	2,055 SF.	42%	2,055 SF.	42%
BUILDING HEIGHT	28'	28'	30'	NO
IMPERVIOUS AREA	2,546 SF.	53%	2,546 SF.	53%
OPEN SPACE	2,261	47%	1,682 SF. MIN.	35%

The information below was calculated using the provisions of the 2017 Florida Building Code.

Floor and Roof Live Loads	
Attics:	20 psf w/ storage, 10 psf w/o storage
Habitable Attics, Bedroom:	30 psf
All Other Rooms:	40 psf
Garage:	40 psf
Roofs:	20 psf

Wind Design Data	
Ultimate Wind Speed:	180 mph
Nominal Wind Speed:	139 mph
Risk Category:	II
Wind Exposure:	D
Enclosure Classification:	Enclosed
End Zone Width:	4.00 ft.
Internal Pressure Coefficient:	0.18 +/-

Components and Cladding Design Pressures	Roof Zone 1:	Roof Zone 2:	Roof Zone 3:	Roof at Zone 2 Overhangs:	Roof at Zone 3 Overhangs:	Wall Zone 4:	Wall Zone 5:
	+54.1 psf max., -85.8 psf min.	+54.1 psf max., -149.6 psf min.	+54.1 psf max., -221.1 psf min.	-175.0 psf min.	-294.3 psf min.	+93.9 psf max., -101.8 psf min.	+93.9 psf max., -125.6 psf min.

The Ultimate Wind Speed was used to determine the above Component and Cladding Design Pressures.

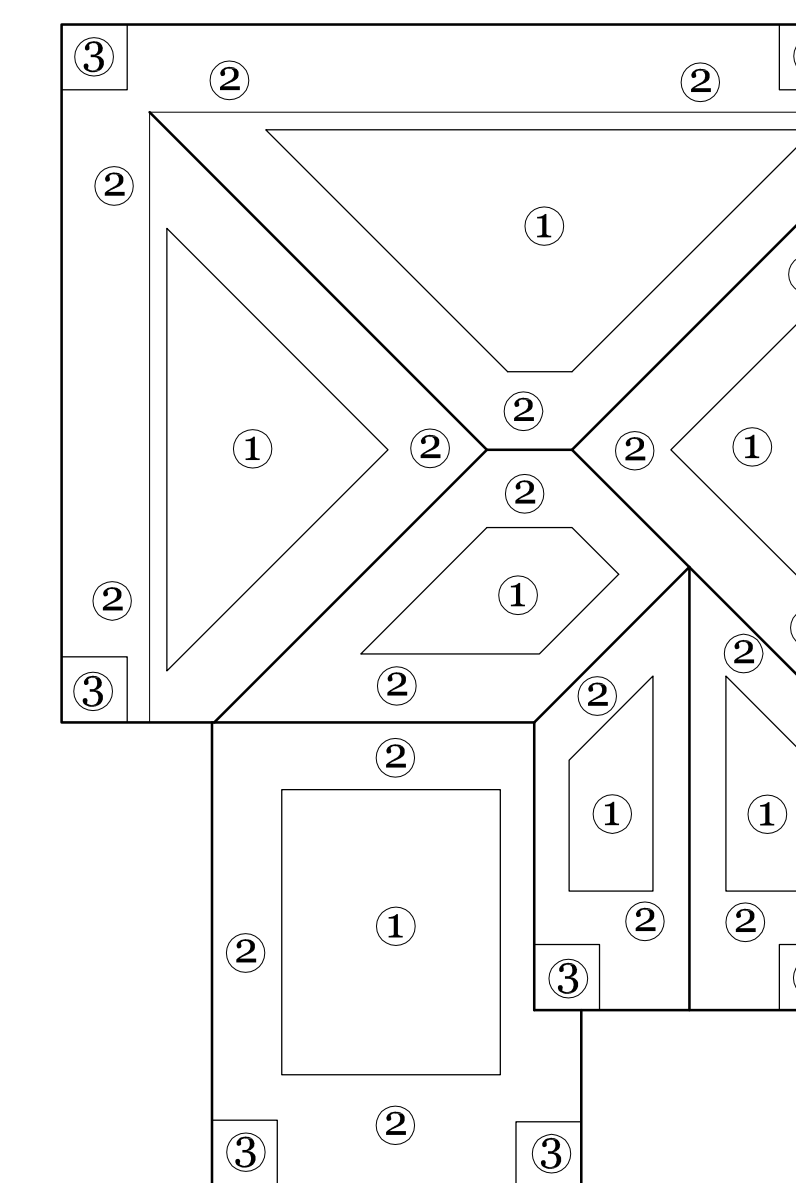
All exterior glazed openings shall be protected from wind-borne debris as per Section 1609.1.2 of the code.

The site of this building is not subject to special topographic wind effects as per Section 1609.1.1.1 of the code.

Geotechnical Information	
Design Soil Load-Bearing Capacity:	2,000 psf

Flood Design Data	
Flood Zone:	AE7
Elevation of Lowest Floor:	9.00 NAVD

WIND PRESSURE COMPONENTS

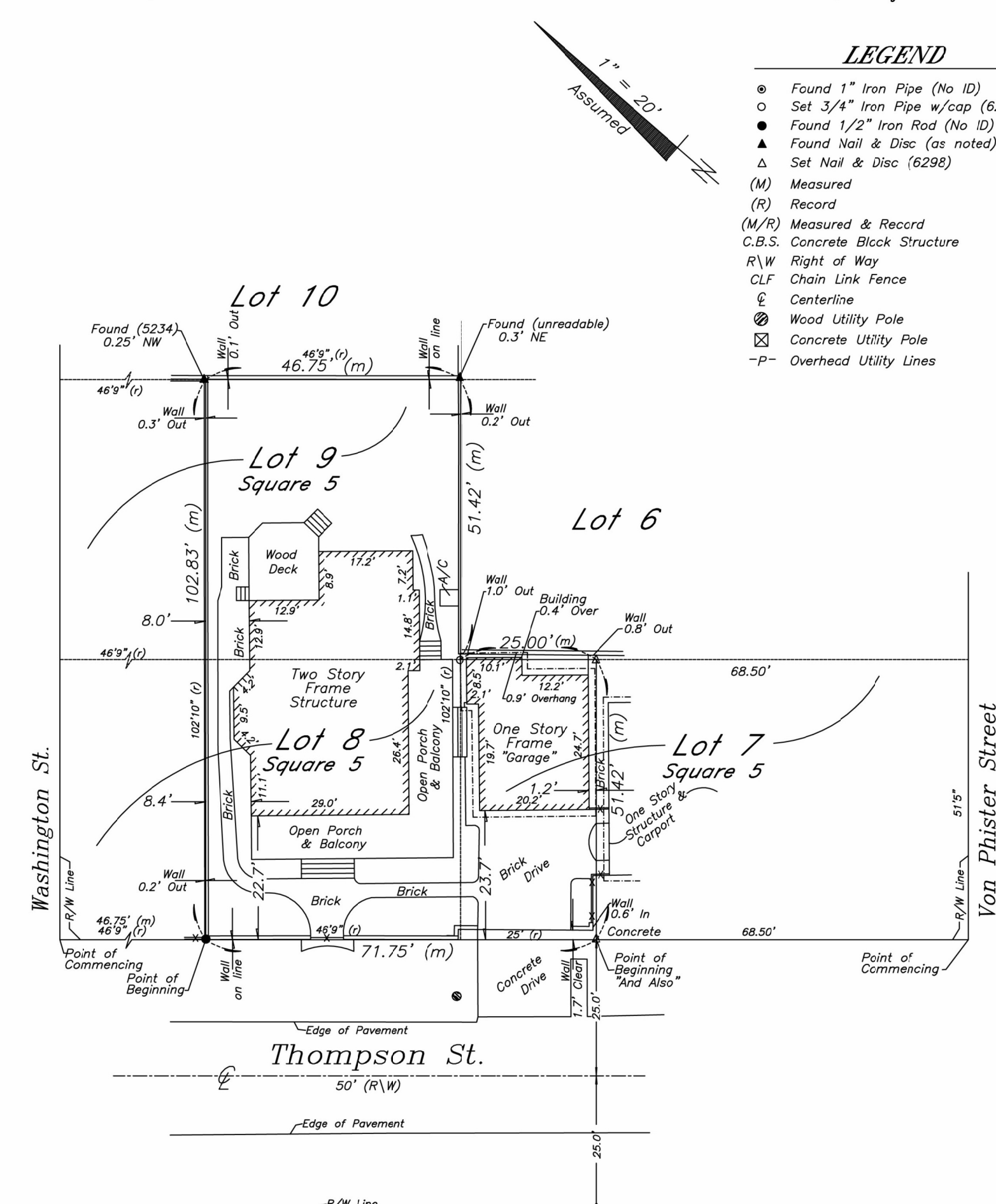


PRESSURE ZONES - ROOF - PLAN VIEW



PRESSURE ZONES - WALLS - ELEVATION VIEW END ZONE = 4'

Boundary Survey Map of part of Lots 7, 8 & 9, Square 5, Tract 20, MONROE INVESTMENT COMPANY'S DIAGRAM, Key West



NOTE: This Survey Map is not full and complete without the attached Survey Report.

SURVEY

Sheet One of Two Sheets
J. LYNN O'FLYNN, Inc.
Professional Surveyor & Mapper
3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

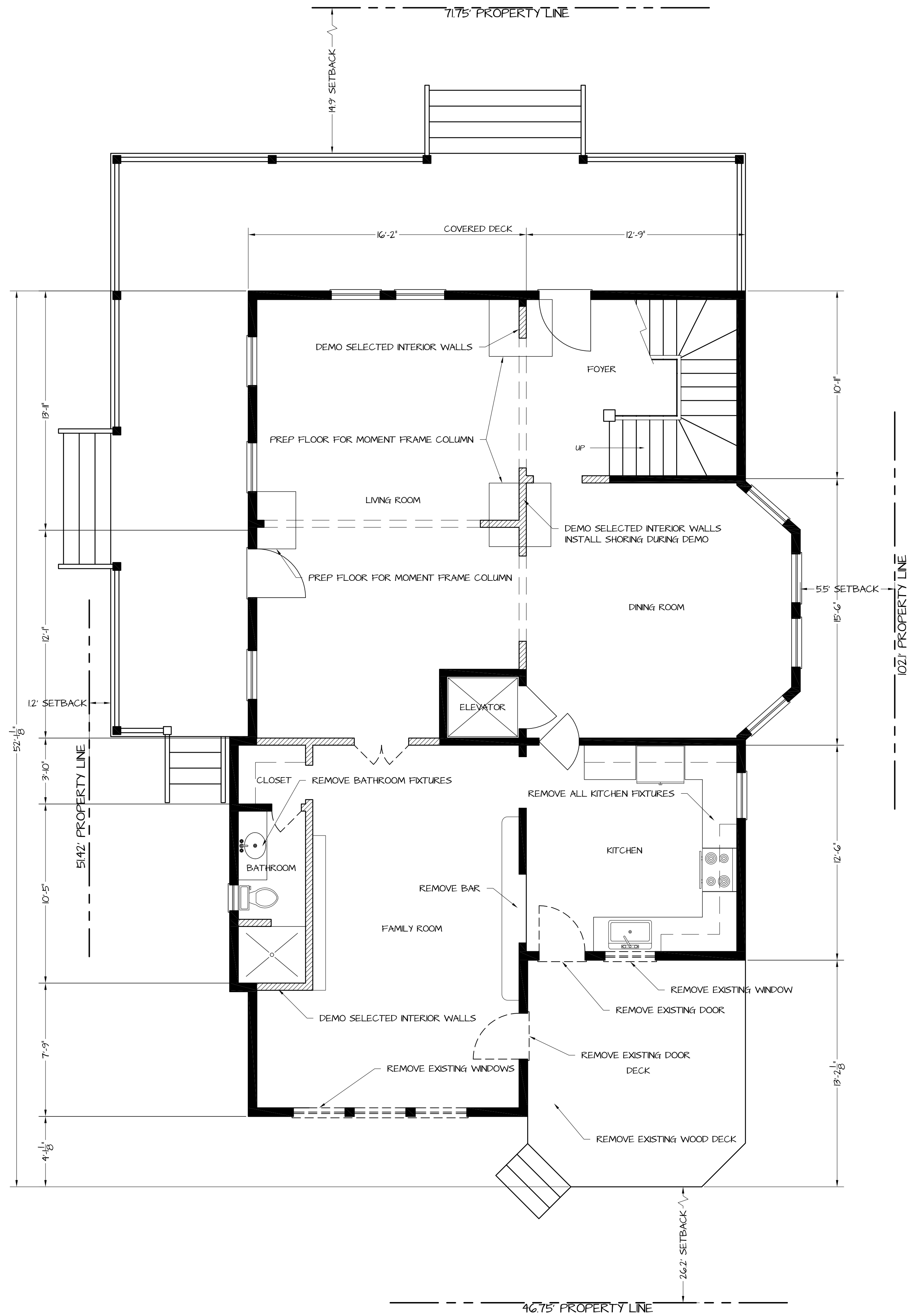
INTERIOR AND EXTERIOR UPGRADES
TRENT RESIDENCE
1419 THOMPSON STREET KEY WEST, FLORIDA 33040

WILLIAM ROWAN N
ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE AR-001751
321 PEACOCK LANE
305 296 3784

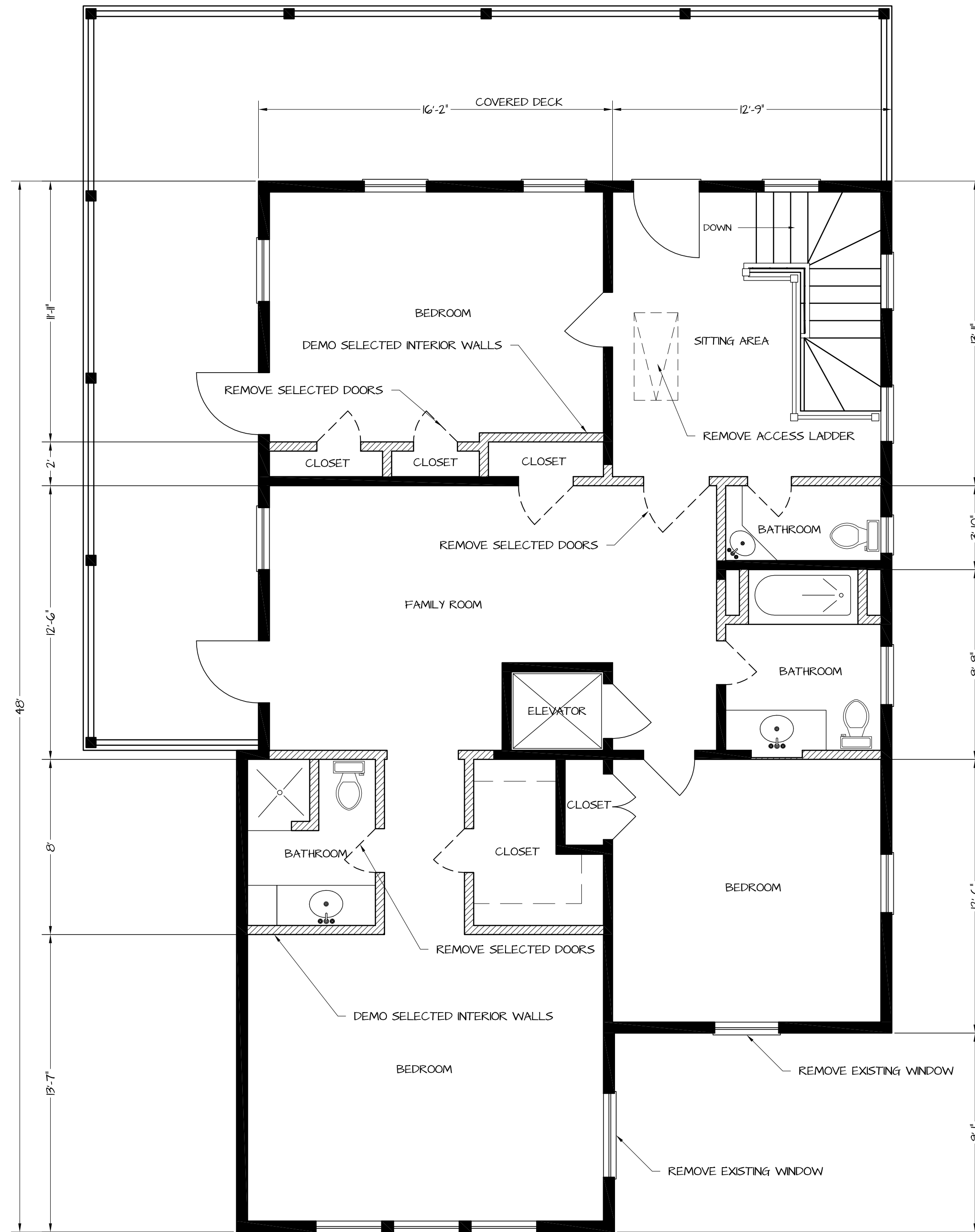
PROJECT NO :

DATE : 1/18/2018

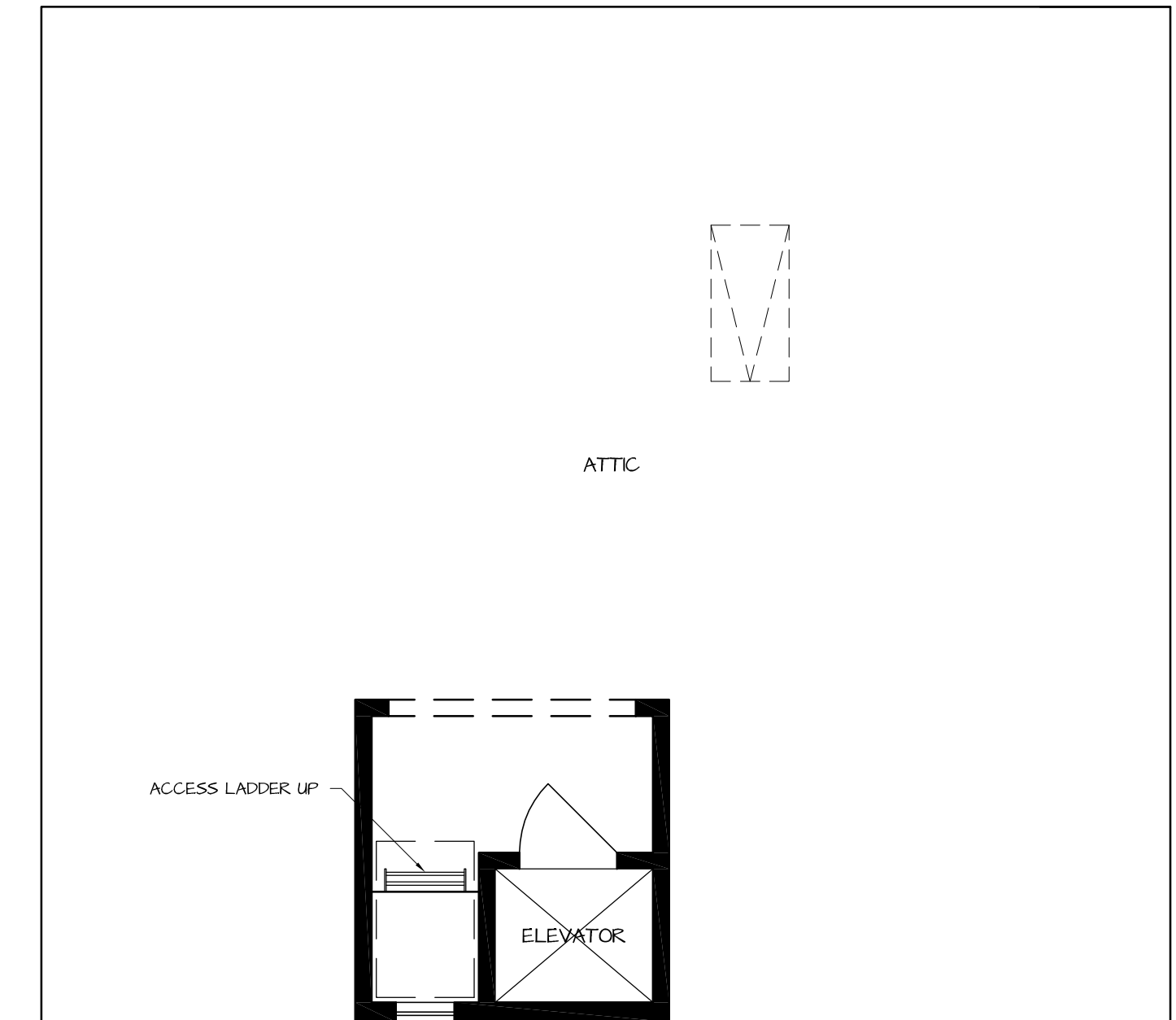
C
1 OF 6



FIRST FLOOR EXISTING PLAN / DEMO
1/4" = 1'-0"

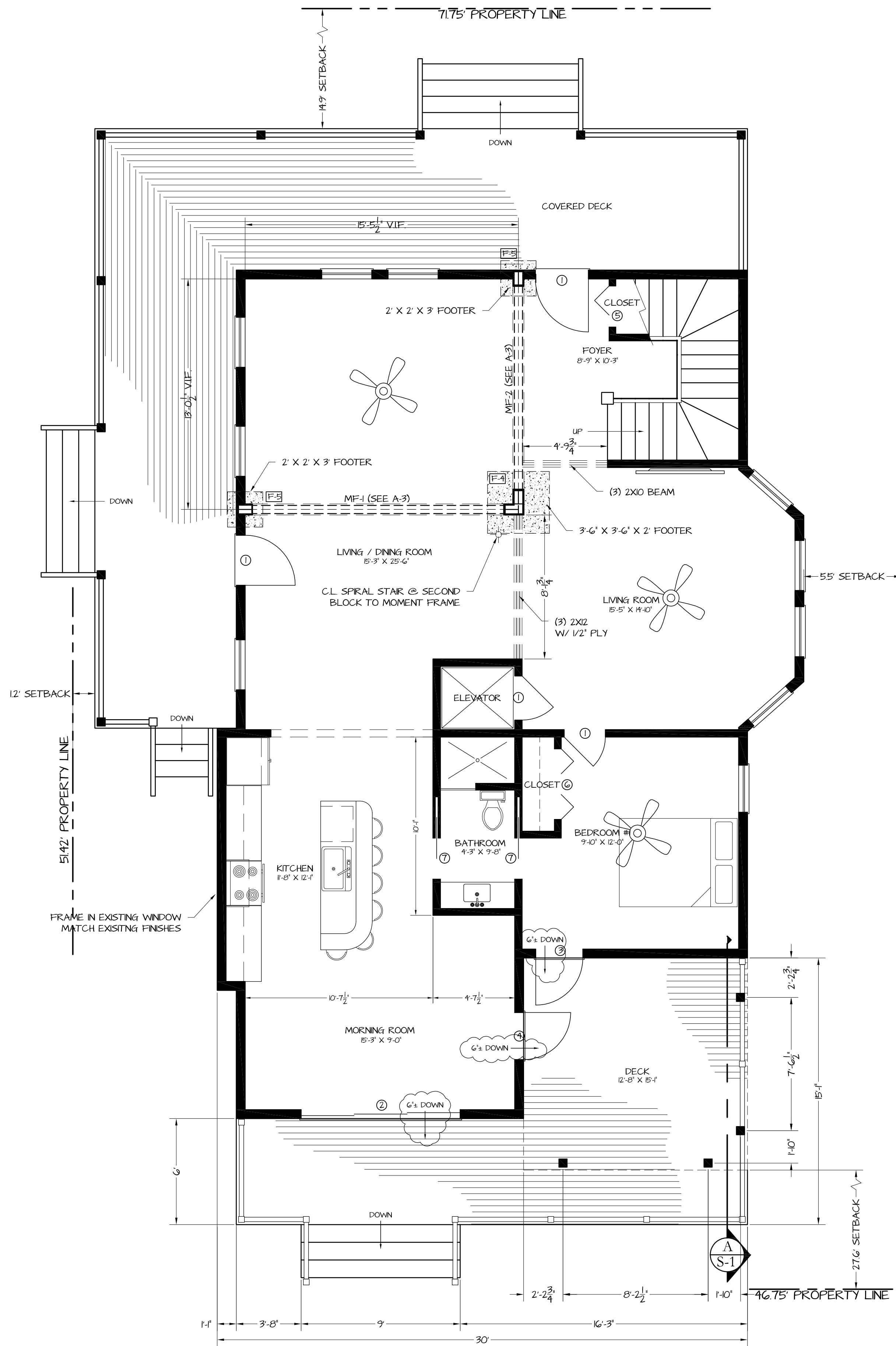


SECOND FLOOR EXISTING PLAN / DEMO
1/4" = 1'-0"

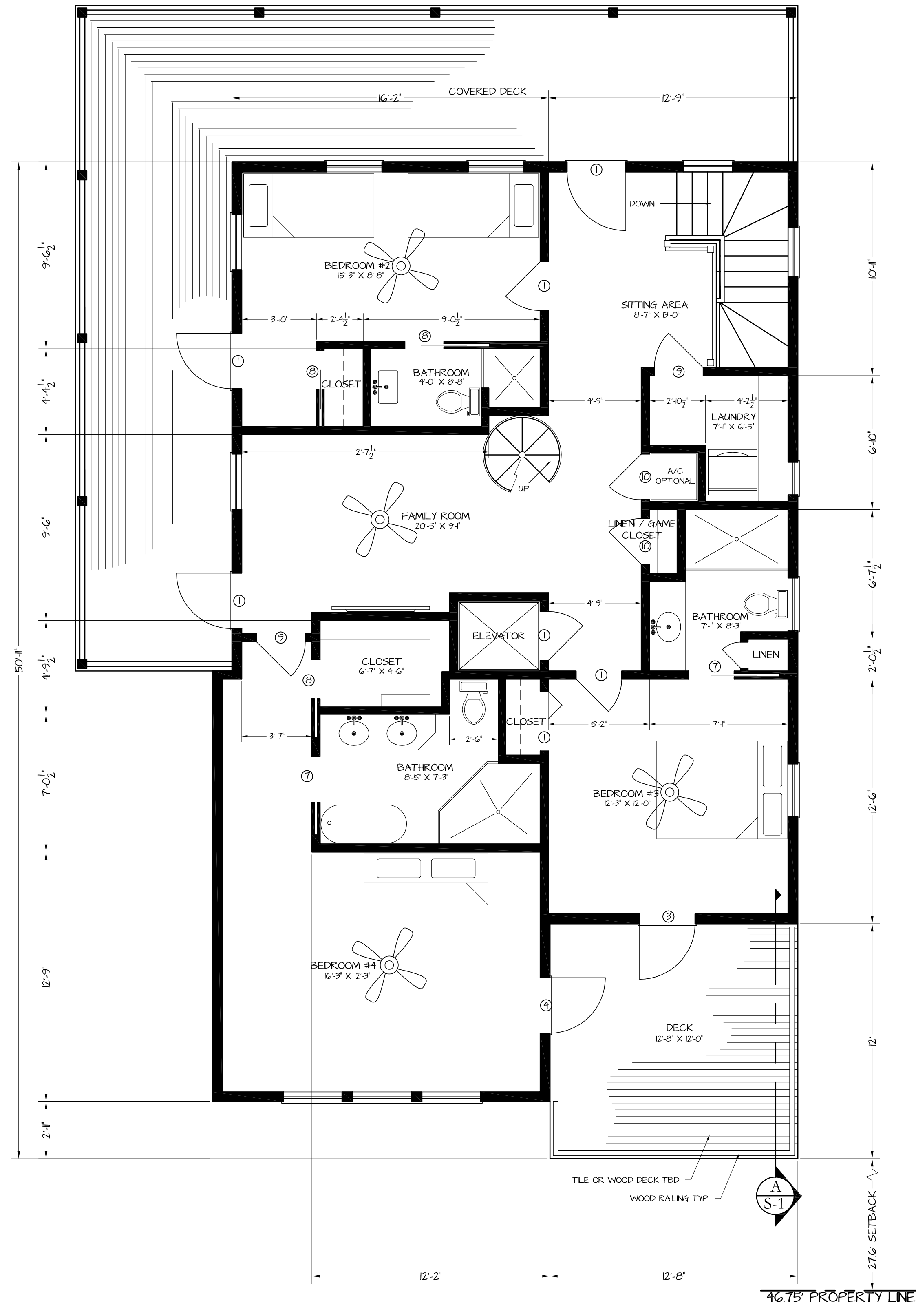


THIRD FLOOR EXISTING PLAN
1/4" = 1'-0"

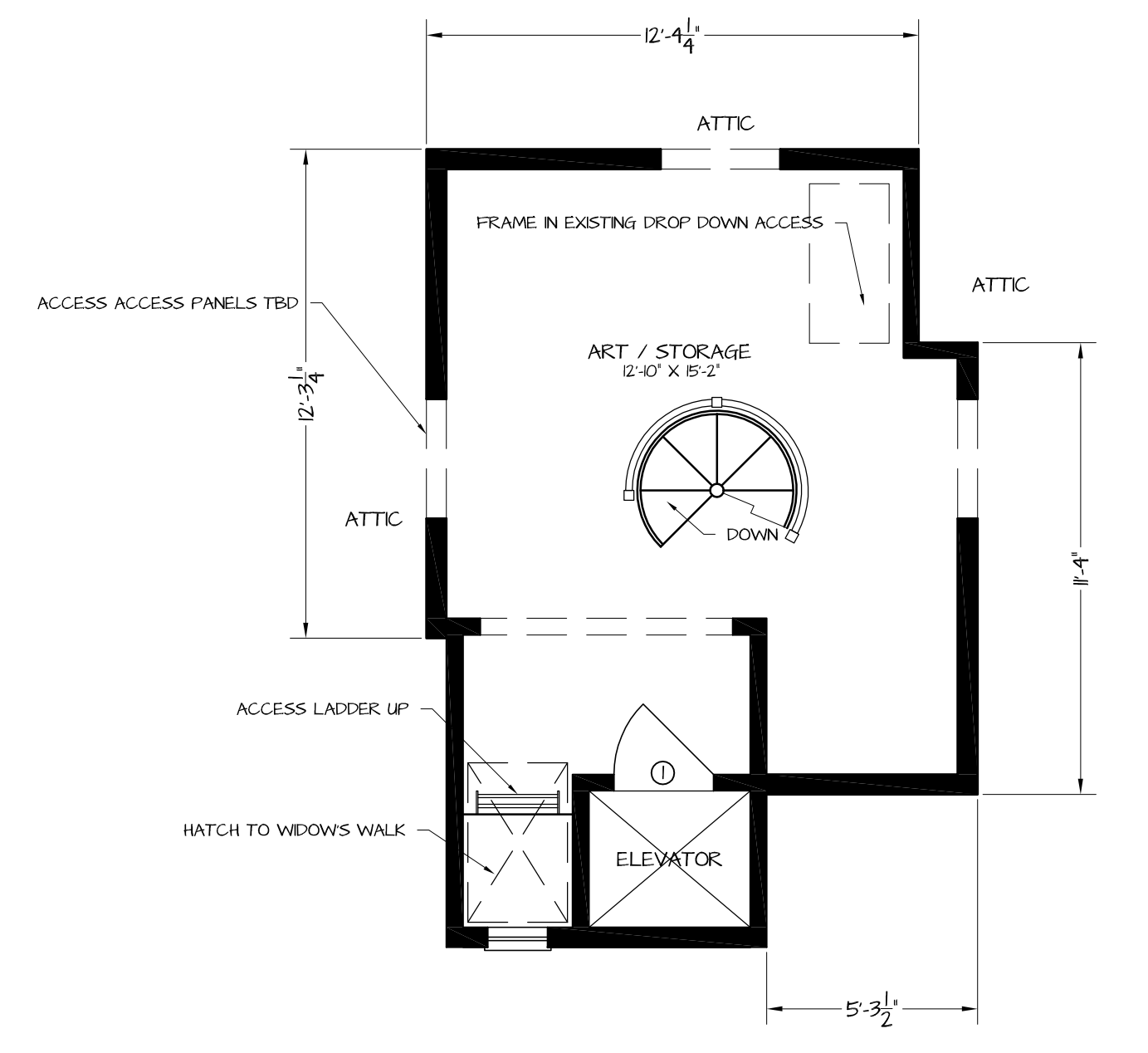
- INTERIOR DEMOLITION NOTES**
1. If Demolition commences prior to permit, GC shall obtain demo permits.
 2. Furnish all labor and materials as required to complete demolition and removal of all items as indicated.
 3. Provide strict control of job cleaning and prevent dust and debris from emanating from demolition area. Keep area clean.
 4. If any questions arise as to the removal of any material, clarify the point in question with the architect or owner before proceeding.
 5. At completion of demolition work the construction areas shall be left in 'broom clean' condition. All debris and misc. material shall be moved to waste area provided by the contractor.
 6. Debris removal must be performed in accordance with owner and building management requirements and procedures.
 7. Carefully remove all existing light fixtures and lenses (where demolition is noted) and store for future use. Before indicated reinstatement, inspect each fixture and repair or replace parts as required. All relocated fixtures shall be in full operating order. All tubes and/or ballasts not reused shall be disposed of in a proper manner.
 8. In partitions to be removed, remove all outlets, switches, wires, etc. to their source as required. Retain thermostats for reuse.
 9. Contractor shall be responsible for patching and/or repairing any damage caused by him or his subcontractors to existing construction. ReFinish to match existing adjacent finish or as noted herein.
 10. No existing smoke detector, public address speaker, fire alarm box or similar device, including the associated wiring shall be damaged during demolition and subsequent construction. Relocation of smoke detectors, public address speakers and fire alarm equipment, necessitated by new construction shall be accomplished as a first priority, and per the plans. No active smoke detector shall be covered or otherwise removed or used for other than its intended purpose.
 11. Remove all interior doors UNTO.
 12. Removal of any equipment, cabling, switches, and conduit pertaining to data/communications and telephone shall be verified with telephone companies or service owner data/communications representative as required to prevent new construction delays.
 13. Carefully remove windows and doors as noted in plans for possible reuse.
 14. Demolition is not necessarily limited to what is shown on the drawings. The intent is to indicate the general scope of demolition required to complete the work in accordance with the contract drawings.
 15. Shore or support headers as needed.
 16. Contractor to coordinate with owner for reuse of existing millwork.
 17. Verify with Architect or Engineer before removal of any structural support not shown in drawings.



FIRST FLOOR PROPOSED PLAN
1/4" = 1'-0"



SECOND FLOOR PROPOSED PLAN
1/4" = 1'-0"



THIRD FLOOR PROPOSED PLAN
1/4" = 1'-0"

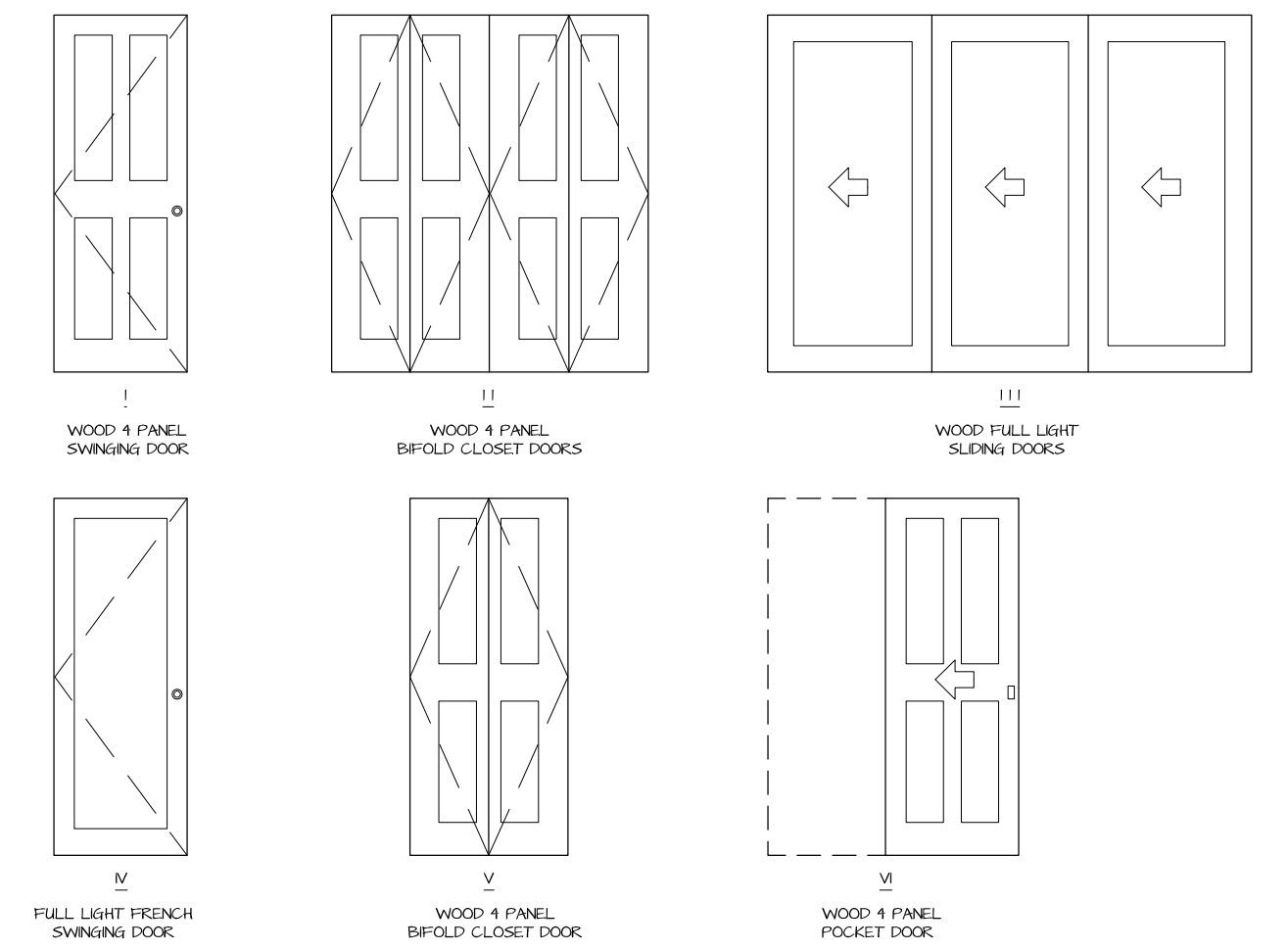
DOOR & WINDOW NOTES:
Existing doors and windows to be repaired as needed
New exterior doors to be impact rated, see design pressures for requirements

DOOR SCHEDULE

MK.	TYPE	SIZE	MATERIAL	FINISH	NOTES
EXISTING DOORS REPAIR AND PAINT AS NEEDED					
1					
2		7'-0" X 9'-0"	TBD	TBD	3 PANEL SLIDING GLASS
3	M	6'-8" X 3'-0"	TBD	TBD	FULL LIGHT RH OUT SWING
4	M	6'-8" X 3'-0"	TBD	TBD	FULL LIGHT LH OUT SWING
5	V	6'-8" X 2'-4"	WOOD	PANT	BIFOLD
6		6'-8" X 4'-0"	WOOD	PANT	DOUBLE BIFOLD
7	V	6'-8" X 2'-4"	WOOD	PANT	POCKET
8	V	6'-8" X 2'-0"	WOOD	PANT	POCKET
9		6'-8" X 2'-6"	WOOD	PANT	RH IN SWING
10		6'-8" X 2'-4"	WOOD	PANT	OUT SWING

Ultimate Wind Speed: 180 mph Wind Exposure: D

No.	Description	Opening Width (in ft.)	Opening Height (in ft.)	Distance from Corner (in ft.)	Design Pressure Requirements
2	SLIDING GLASS DOOR	9.0 ft.	7.0 ft.	8.0 ft.	+83.0 psf, -91.6 psf
3	FULL LIGHT SWINGING	3.0 ft.	7.0 ft.	7.0 ft.	+89.5 psf, -97.4 psf
4	FULL LIGHT SWINGING	3.0 ft.	7.0 ft.	5.0 ft.	+89.5 psf, -100.6 psf





NORTH ELEVATION (EXISTING)

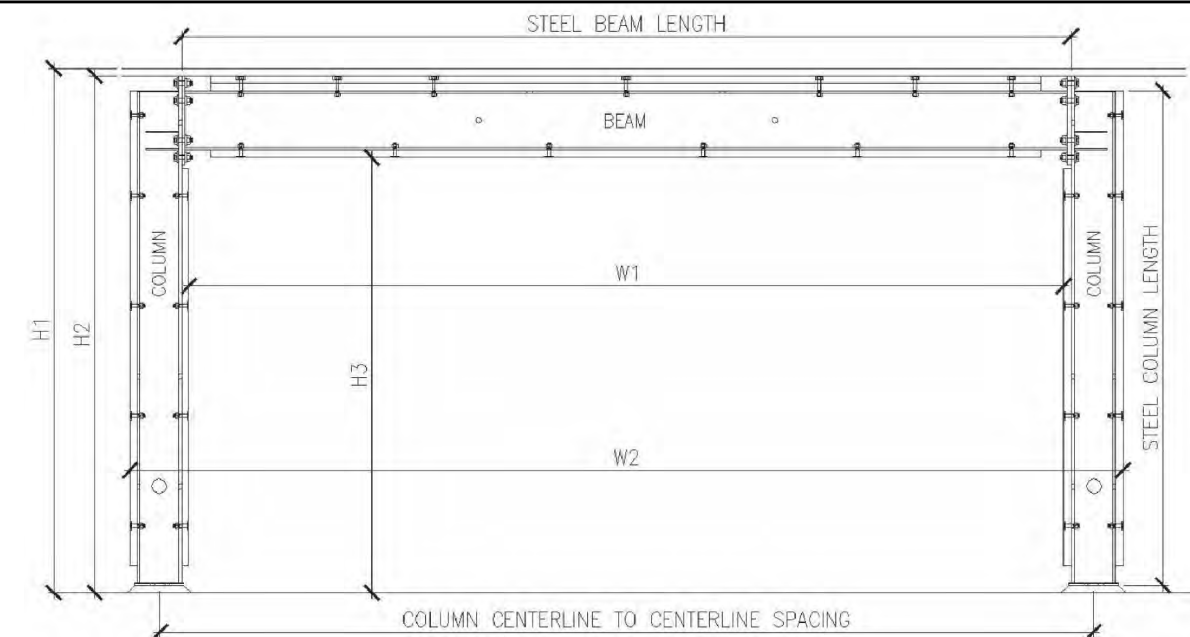
1/4" = 1'-0"



NORTH ELEVATION (PROPOSED)

1/4" = 1'-0"

MOMENT FRAME MF-1 & MF-2



Model: OMF612-14x14

Custom Size	No
Beam Size	B12, Steel Beam Depth: 12" (See Note 4 below)
Column Size	C6, Steel Column Depth: 6" (See Note 4 below)
W1 Dimension	14'-4" (See Note 3 below)
W2 Dimension	15'-10" (See Note 3 below)
Column C.C. Spacing	15'-1"
H1 Dimension	14'-0 3/4" (See Note 1 and 2 below)
H2 Dimension	13'-11 1/4" (See Note 1 and 2 below)
H3 Dimension	12'-6 3/4" (See Note 1 below)
Steel Beam Length	14'-7" (Stock Length, see note 5 below)
Steel Column Length	13'-6 3/4" (Stock Length, see note 5 below)
End Plate Bolting	Pre-Tensioned
Min. Beam Top Nailor Bolt	0

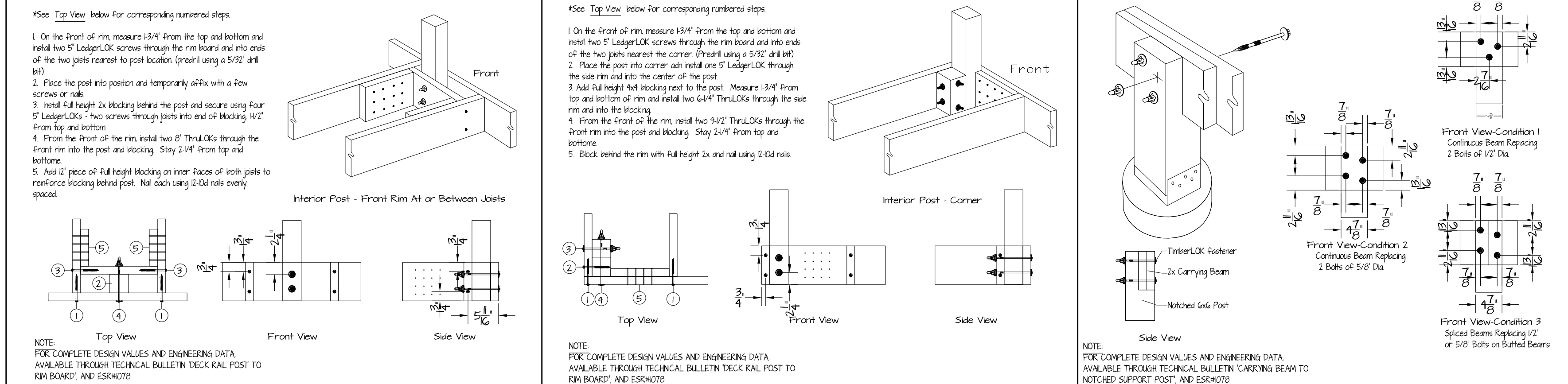
Notes

- H1, H2, and H3 dimensions assume 1-1/2" thick non-shrink grout.
- H1 and H2 dimensions assume 1-1/2" thick field installed top plate.
- Anchorage solution may require additional studs on side of columns, see anchorage design output for final W1 and W2 dimensions. For C18H and C21H, W2 assume (2) 2x6 for each column interior nailer.
- Column and beam sizes shown are as depth of steel only and do not include nailers.
- If custom beam or column is within 0.5" of stock length, stock beam or column will be used.
- (1) 4x6 beam top nailer for frames with C18H and C21H columns.
- (2) 2x6 beam top nailer for frames with C6, C9, C12 and C15 columns.
- Simpson Strong-Tie® Strong Frame® and the Yield-Link™ structural fuseable protected under US patent number 8,001,734, B2 and must be supplied or licensed through Simpson Strong-Tie.

CONSTRUCTION PLAN GENERAL NOTES

- Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
- All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be aligned and sanded smooth.
- All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked "Clear" or "Clr" shall be maintained and shall allow for thicknesses of all wall finishes, UNO.
- Dimensions noted "Clear" or "Clr" must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
- Dimensions marked +/- mean a tolerance not greater nor smaller than 1/2 inches from indicated dimension UNO. Verify field dimensions exceeding tolerance with architect or owner.
- All dimensions to the exterior window wall are to the inside face of sill UNO.
- Notify architect or owner of any discrepancies of conflicts in the locations of the new construction.
- All exposed gypsum board edges to have metal edge trim work or equivalent.
- All work shall be directed and installed plumb, level, square, and true and in proper alignment.
- Refer to cover sheet for additional notes, legends, symbols, abbreviations, and schedules.
- Refer to electrical power plans for locations of switched outlets and the like.
- Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
- All existing and new floor penetrations for piping shall be fully blocked and sealed in accordance with the applicable building fire codes.
- Trim the bottoms of the doors to clear the top of finished floor, as applicable, by 1/2" maximum UNO. Verify slab conditions, trim each door to fit condition. Where radical variations in floor elevation exist, doors shall be ordered with bottom stile sized to accommodate these undercut conditions.
- Dimensions locating doors are to the inside of edge of jamb UNO.
- All "wet walls" to receive concrete board or green board.
- Structural fasteners are to be timberloc or simpson strong drive or sim. install per mfg specifications.
- For moment frame size and calculations see simpson moment frame calculations and specifications MF-1 & MF-2. **VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS BEFORE ORDER / PURCHASE OF MOMENT FRAMES.
- Moment frame can be fabricated on site with approved engineered drawings.
- Existing grade to be adjusted / filled to be a maximum of 2" from grade to finished first floor deck.
- All new interior walls to be 2x4 UNO and have min 1/2" gypsum board each side, green board at wet locations typ.
- Verify all existing conditions before construction.

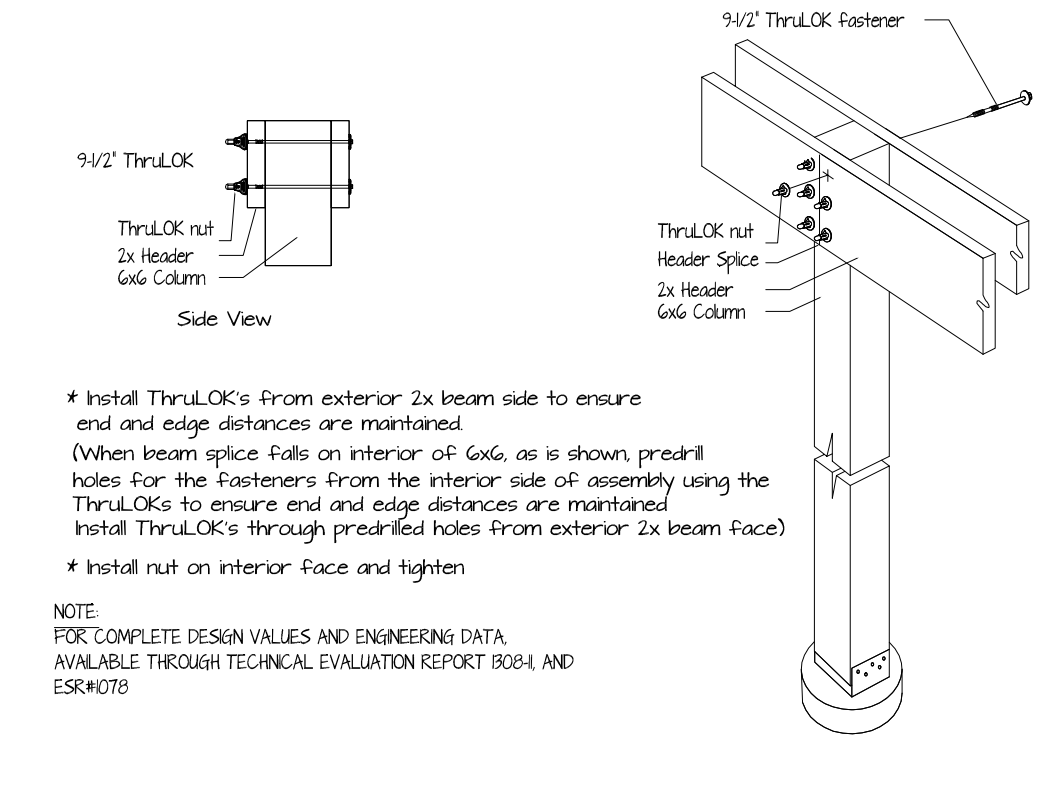
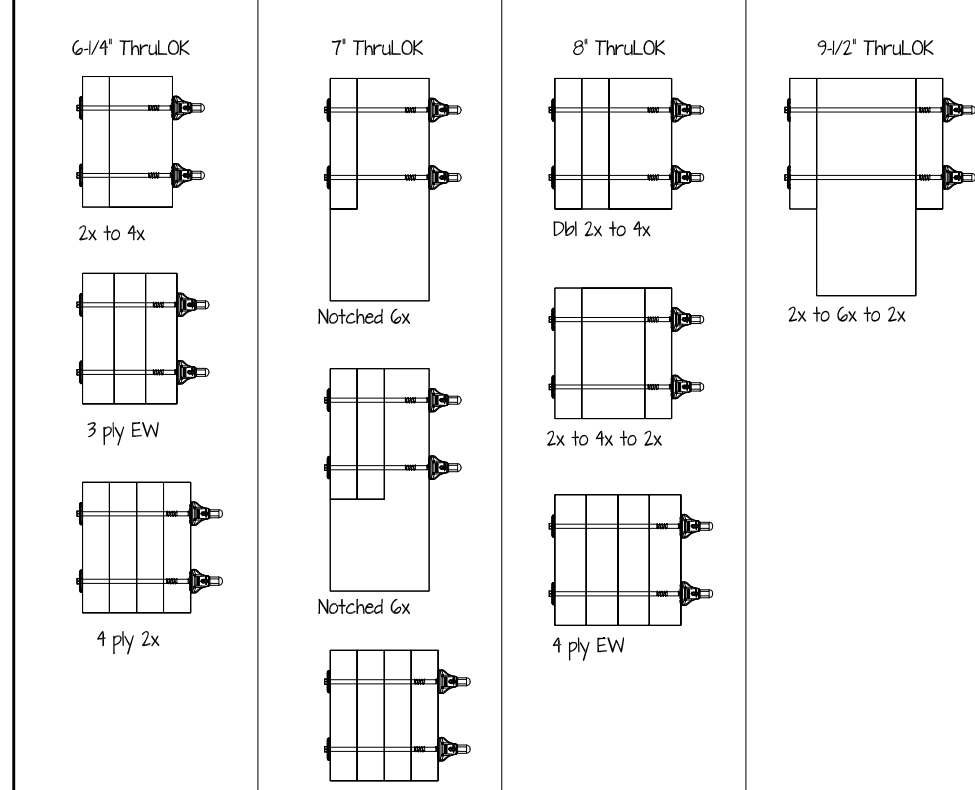
TYPICAL CONNECTION DETAILS



POST / BEAM & BLOCKING CONNECTION

DECK RAIL / BEAM CONNECTION

COLUMN / BEAM CONNECTION

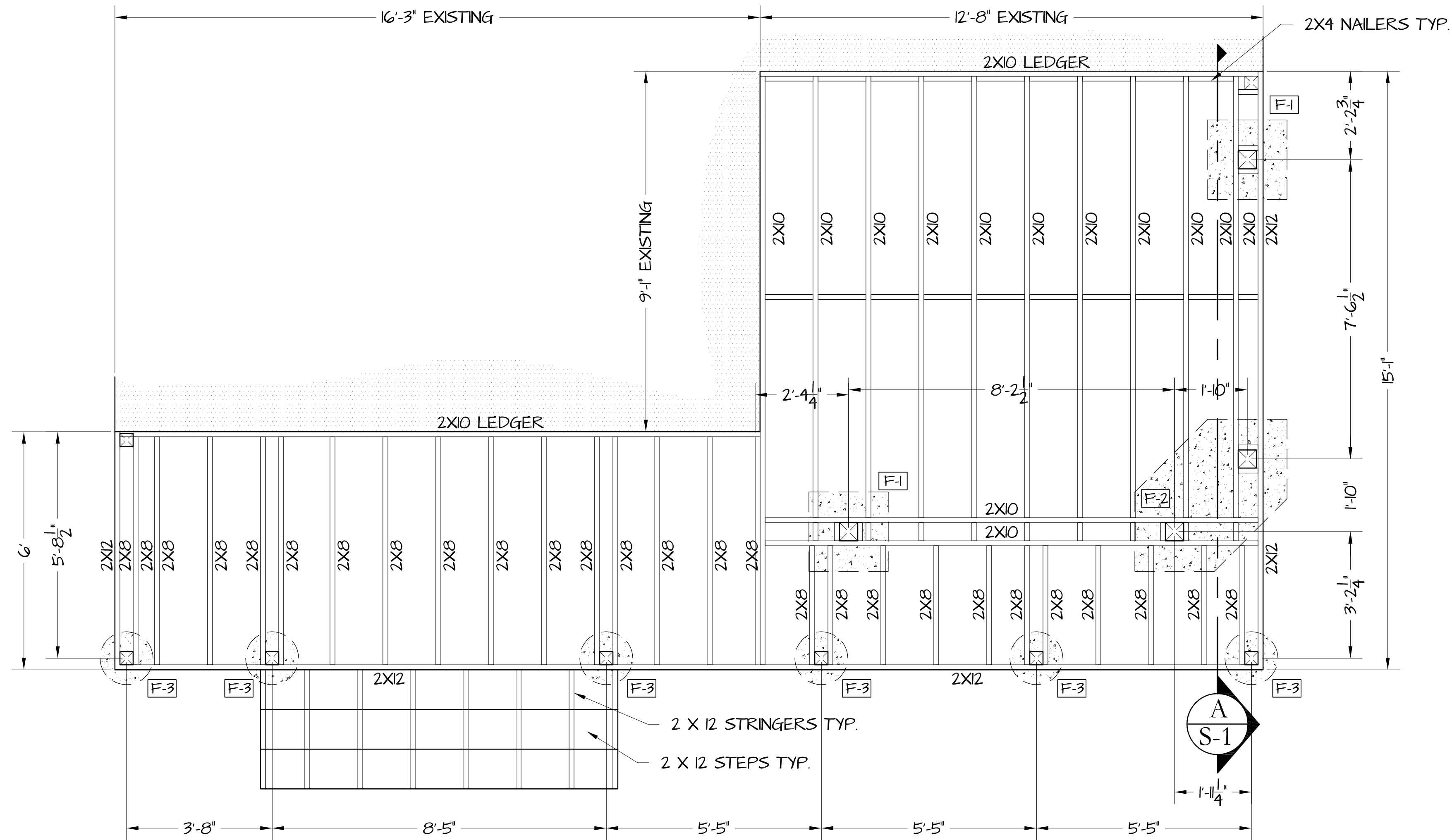


Uniform Side Load Capacity (kSF)

Rows	Spacing	Detail A	Detail B	Detail C	Detail D	Detail E	Detail F
2	24	580	448	448	48	620	48
2	16	870	672	672	620	930	620
2	12	160	896	896	827	1240	827
3	24	870	672	672	620	930	620
3	16	1225	1007	1007	990	1395	990
3	12	1740	1343	1343	1240	1860	1240
4	24	160	896	896	827	1240	827
4	16	1740	1343	1343	1240	1860	1240
4	12	2320	1791	1791	1653	2480	1653

HEADER / COLUMN CONNECTION

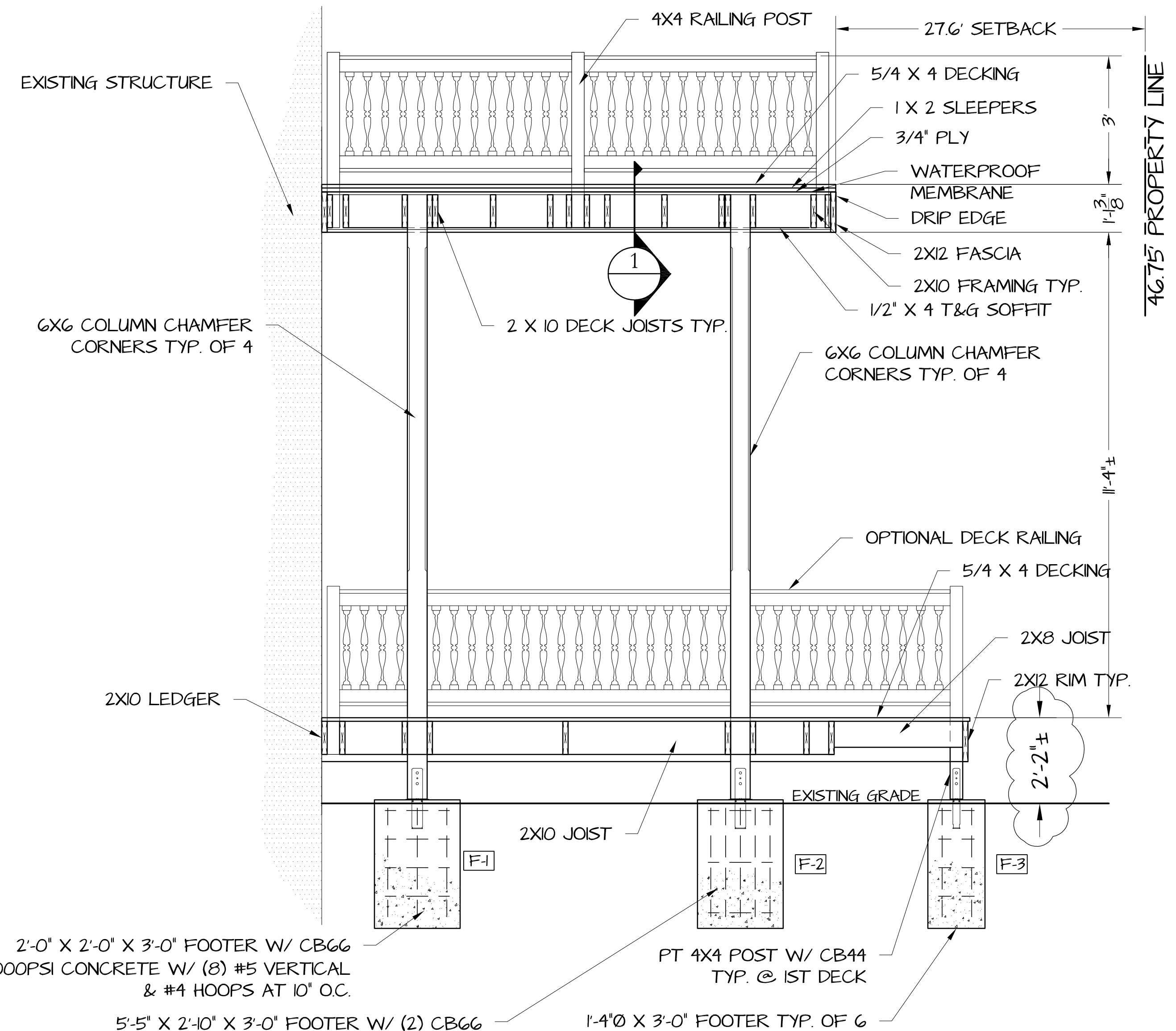
BEAM CONNECTION - TOP & SIDE LOAD



FIRST FLOOR DECK FRAMING

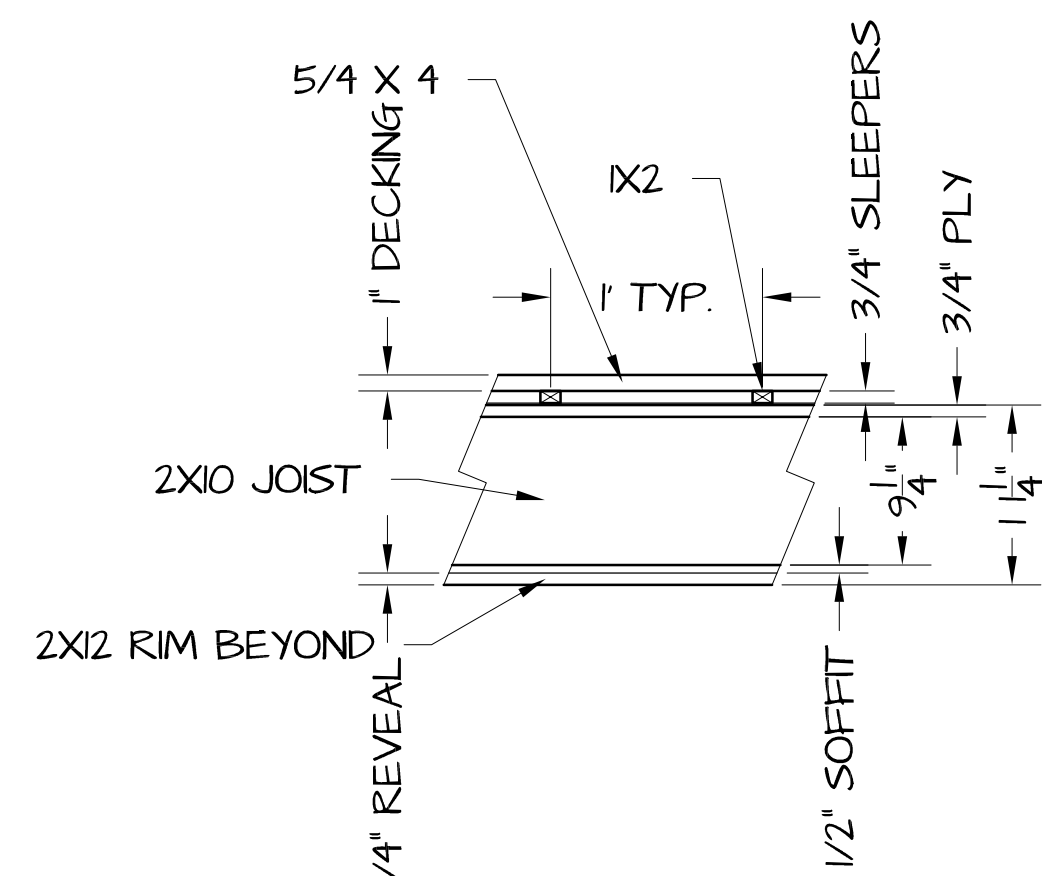
1/2" = 1'-0"

NOTE: SEE A-3 FOR FRAMING DETAIL CONNECTIONS AND CONSTRUCTION NOTES



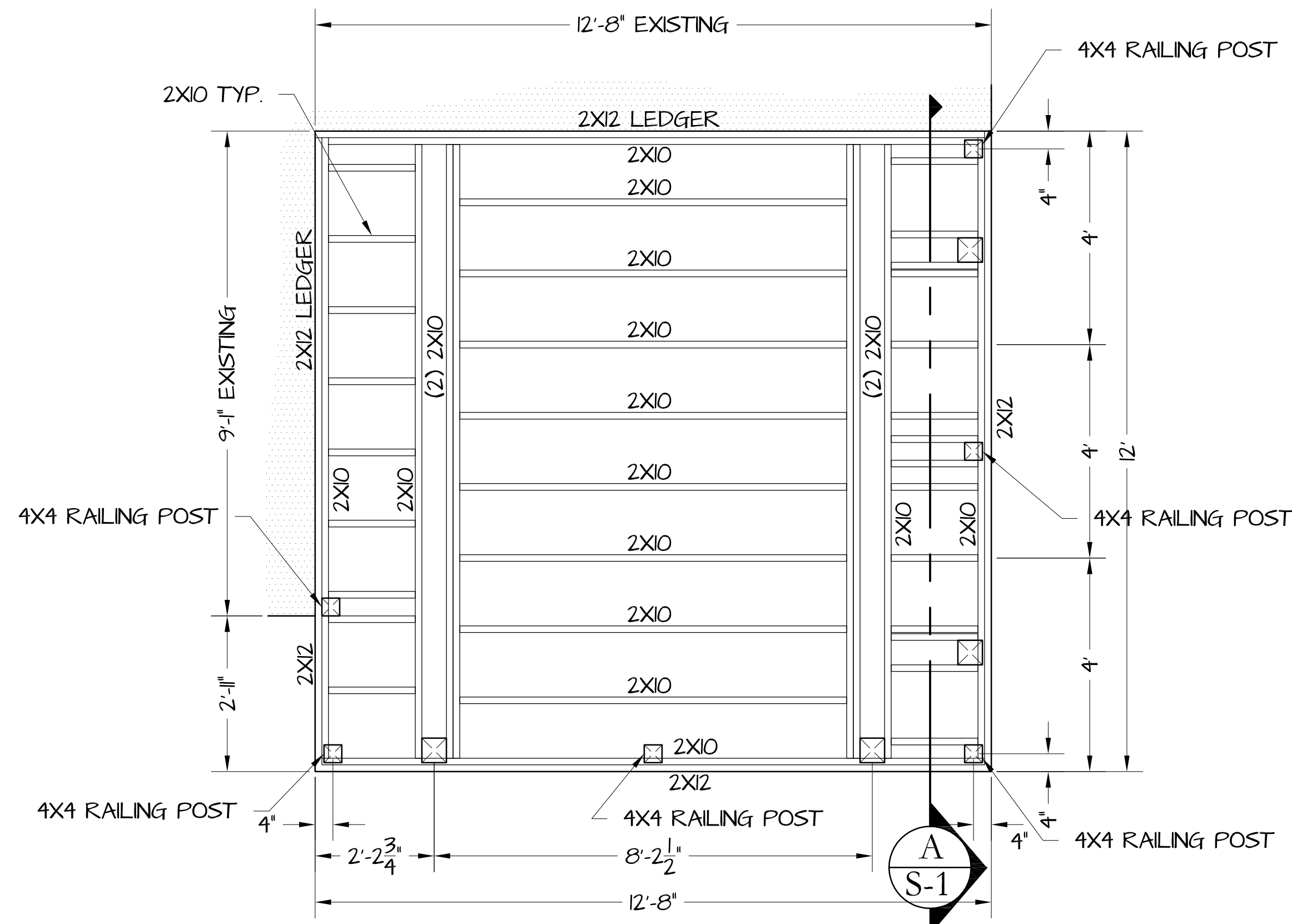
SECTION VIEW

1/2" = 1'-0"



DETAIL 1

1" = 1'-0"



SECOND FLOOR DECK FRAMING

1/2" = 1'-0"

2'-0" X 2'-0" X 3'-0" FOOTER W/ CB66
3000PSI CONCRETE W/ (8) #5 VERTICAL
& #4 HOOPS AT 10' O.C.

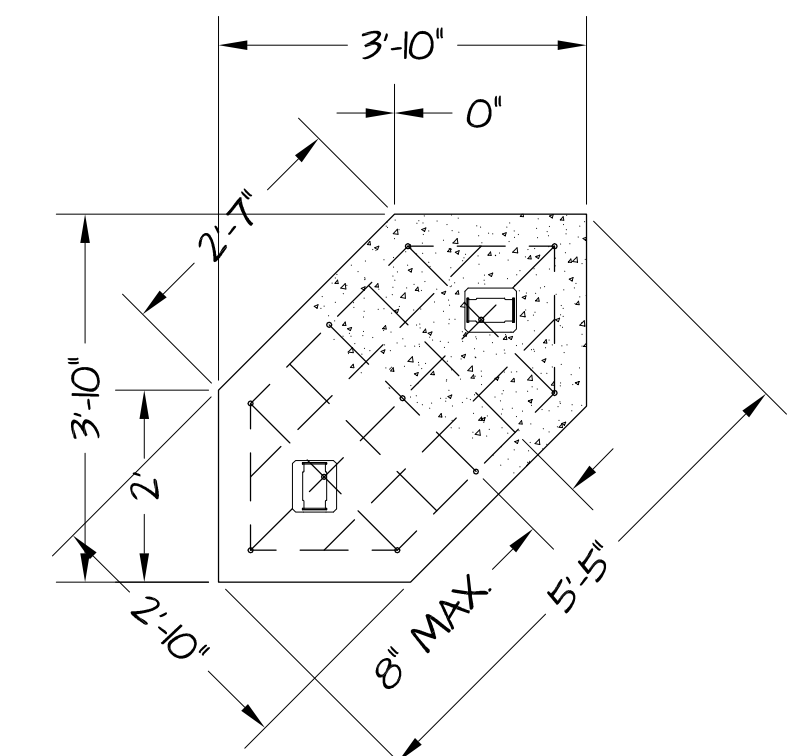
5'-5" X 2'-10" X 3'-0" FOOTER W/ (2) CB66
3000PSI CONCRETE W/ (1) #5 VERTICAL
& #5 BARS AT 8' O.C. MAX

1'-4" X 3'-0" FOOTER TYP. OF 6

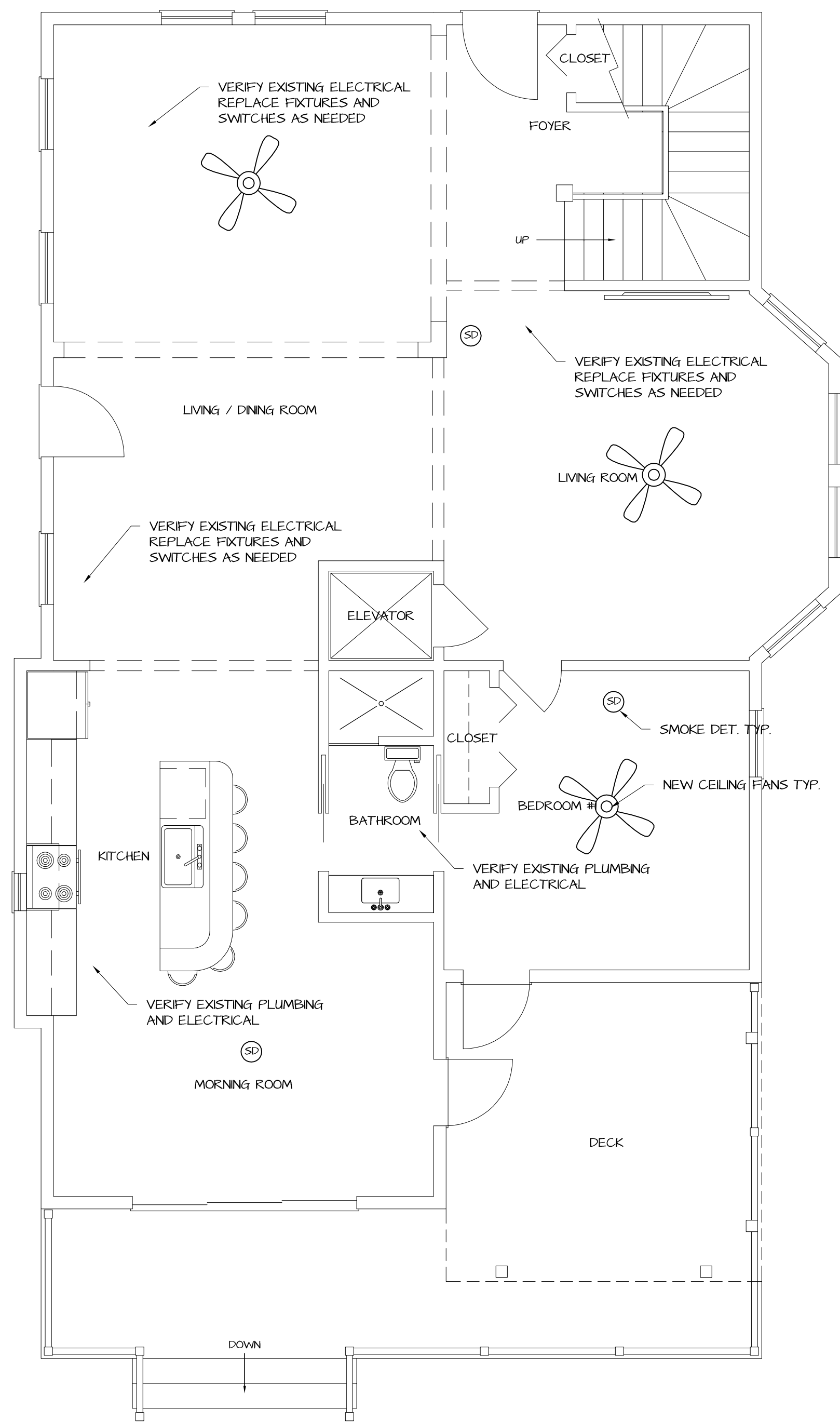
SECTION VIEW

1/2" = 1'-0"

FOOTER SCHEDULE		
MK	QTY.	DESCRIPTION
F-1	2	2'-0" X 2'-0" X 3'-0" FOOTER W (1) CB66 3000PSI CONCRETE W/ (8) #5 VERTICAL & #4 HOOPS AT 10' O.C. LOCATION: SECOND FLOOR DECK COLUMN
F-2	1	5'-5" X 2'-10" X 3'-0" FOOTER W/ (2) CB66 3000PSI CONCRETE W/ (1) #5 VERTICAL & #5 BARS AT 8' O.C. MAX T,M&B LOCATION: SECOND FLOOR DECK COLUMN
F-3	6	1'-4" X 3'-0" FOOTER 3000PSI CONCRETE W/ (4) #5 VERTICAL & #4 HOOPS AT 10' O.C. LOCATION: FIRST FLOOR DECK POST
F-4	1	3'-6" X 3'-6" X 3'-0" FOOTER 3000PSI CONCRETE W/ (12) #5 VERTICAL & #5 BARS AT 8' O.C. MAX T,M&B LOCATION: MOMENT FRAME
F-5	2	2'-0" X 2'-0" X 3'-0" FOOTER 3000PSI CONCRETE W/ (8) #5 VERTICAL & #5 BARS AT 8' O.C. MAX T,M&B LOCATION: MOMENT FRAME



F-2 FOOTER DETAIL



FIRST FLOOR

1/4" = 1'-0"

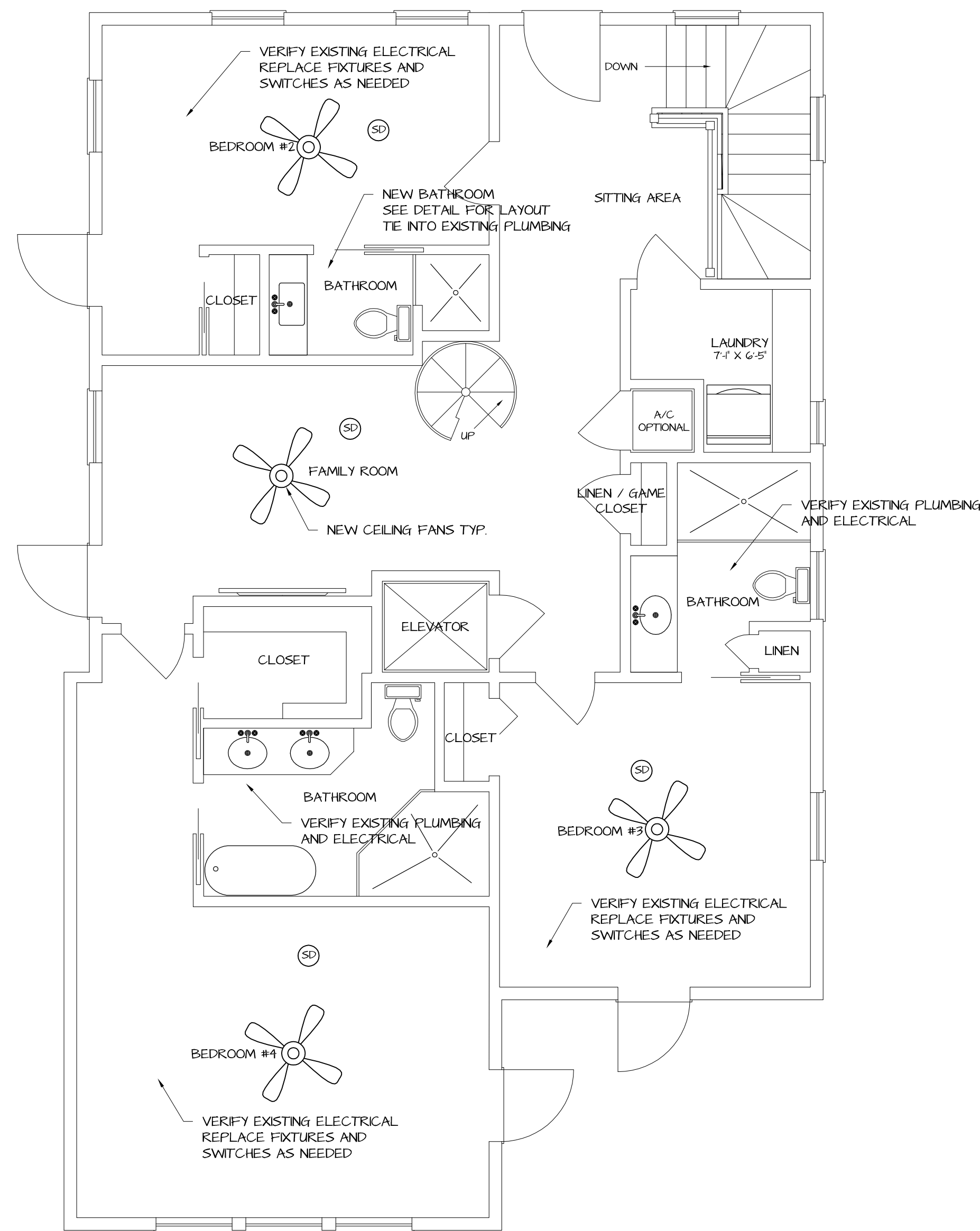
ELECTRICAL NOTES:
 Verify existing conditions meet FBC 2017, 6th edition.
 All switches and dimmers shall be located 42" above finished floor to center of switch, UNO. Multiple switches at one location shall be ganged together and finished with one cover plate, UNO.
 All wet location outlets are to be GFCI type.
 All exterior switches and outlets are to be or have weather proof covers.
 Existing main panel to remain (Contractor to verify capacity).
 Smoke detectors to be tested and / or replaced.

CONTRACTOR NOTICE:
 Contractor shall confirm all existing unidentified circuits and determine if any are required to remain. If not required to remain, completely remove and mark breaker as 'spare'. Set all spare breakers in the OFF position.
 Contractor shall visit the site prior to bid and survey all existing conditions and equipment prior to submitting bid for work required by these documents. This includes above the ceiling and on the top of the roof. If at any time, there is discrepancy between the plans & specs, or confusion/concern over required work, contractor shall immediately notify architect, engineer, or owner and get direction before proceeding with work in question.
 For all existing equipment to be re-located &/or re-used, contractor shall be responsible for disconnection, safe storage and re-connection of said equipment completely.
 For all existing equipment to be demolished, contractor shall be responsible for disconnection, removal and disposal off site per code of said equipment.
 New shutoffs at all A/Cs per 2017 FBC.
 Verify all new fixtures and locations with architect or owner before install.

PLUMBING NOTES:
 Verify all existing conditions before construction.
 Reuse existing plumbing where possible.
 Dielectric Unions: provide dielectric unions or Flanges at connections or contact between pipes of dissimilar metals.
 Water Hammer Arrestors: Install water hammer arrestors at fixture hot and cold supplies (at all lavatories and sinks and other quick acting fixtures).
 Exposed Piping: Exposed piping shall be polished chromium on either brass or bronze.
 Valves: All valves shall have a minimum of 125 psig working pressure. Valves and cocks may not be indicated in every instance on the drawings, but whether or not shown, all valves, cocks and check valves necessary for the proper operation of the system shall be furnished and installed. Install isolation/shut-off valves at all main risers. Install isolation/shut off on sinks, toilets and washer inlet of each piece of equipment. Provide a flange or union between the valve and the equipment to permit disconnection, removal and service.
 Venting: verify existing. The stacks shall be extended through roof of building to points not less than 12" above roof. Vents shall be offset as required to penetrate roofs at least 3 feet from the ridge or edge of building and 10 feet from any fresh air intake or operable window or door.
 Sanitary, Waste, Grease, and Vent Piping: All below ground piping and fittings shall be sch 40 PVC-DWV (solid core). Slope of sanitary or drainage piping 2-1/2' and smaller shall be a minimum of 1/4" per foot, piping 3" and larger shall be sloped a minimum of 1/8" per foot. Cleanouts will be located not more than 100 feet apart and at each change of direction greater than 45' along the horizontal drain. Cleanouts shall be installed at base of each stack.
 Plumbing Fixtures and Trim: Plumbing fixtures shall be furnished and installed in a neat and workmanlike manner with proper connections to supply and drainage piping. All fixtures shall be free of flaws and defects of any sort in material and workmanship and shall operate perfectly when installed in accordance with manufacturer's directions. Contractor shall provide rough-in and shall connect all fixtures to the plumbing systems. All fixtures to be provided with chrome plated supplies and stops. Proved 17 gauge chrome plated brass traps for all fixtures without integral traps. Provide concealed arm carriers and supports for all fixtures requiring same.
 Pipe Insulation: Install insulation products in accordance with the manufacturer's instructions and in accordance with recognized industry practices. Seal all joints, breaks, tears, and penetrations with fire retardant, vapor barrier mastic. Cover valves, fittings and similar items in each piping systems. Insulate all domestic hot water with 1" thick fiberglass sectional pipe covering with canvas jacket or ArmaFlex AF pipe insulation kits or equivalent.
 Testing: Test all waste and vent piping for a period of not less than 8 hours by capping or plugging all joints to a level of the highest fixture or fittings, filling the system with water and observe for leaks. Test water piping at 100 psig for a period of 8 hours, observing for any visible leaks. Test piping again with fixtures installed. Repair any leaks found by remaking joint. Do not use caulking or similar methods.
 Equipment Furnished by Others: Where shown on the drawings, the contractor shall make all piping connections to equipment furnished by others. This work shall include furnishing and installation of all water and drain piping. All work shall be performed in accordance with recommendations of equipment manufacturer.
 Provide full blocking around all floor penetrations. Hole saw through 2x10 and 2x8 floor joists when required.
 Owner to coordinate with contractor on reusing existing fixtures.
 All existing plumbing to be brought upto 2017 FBC, 6th edition.

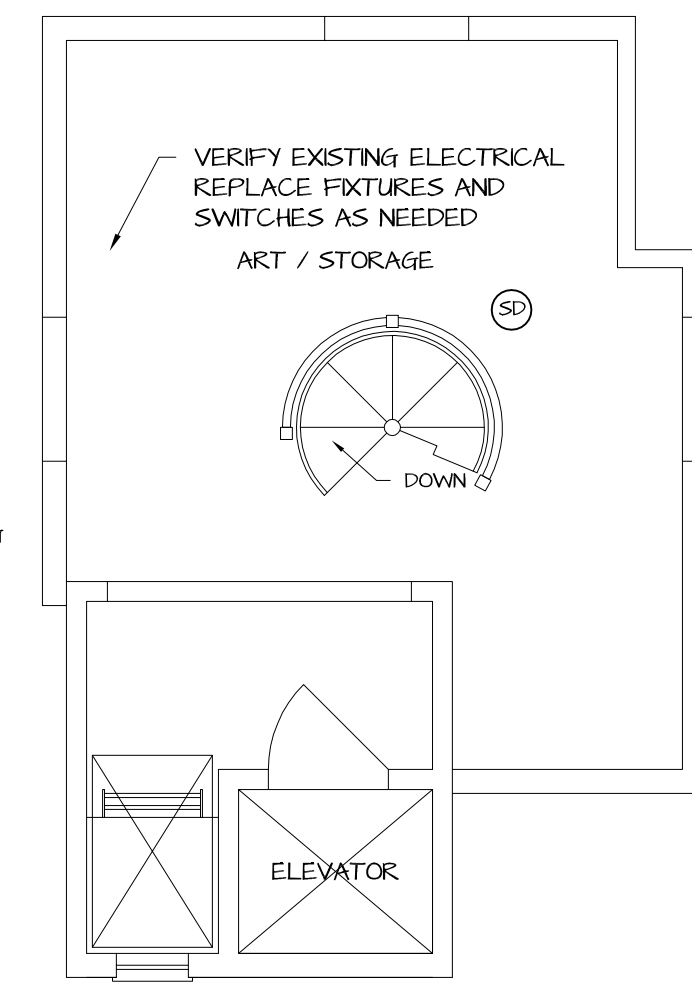
SECOND FLOOR

1/4" = 1'-0"



THIRD FLOOR

1/4" = 1'-0"



MECHANICAL NOTES:
 Note to Contractor on Existing Conditions:
 1. Contractor shall visit the site prior to bid and survey all existing conditions and equipment prior to submitting bid for work required by these documents. This includes above the ceiling and on the top of the roof.
 2. If at any time, there is discrepancy between the plans & specs, or confusion/concern over required work, contractor shall immediately notify architect, engineer, or owner and get direction before proceeding with work in question.
 3. For all existing equipment to be re-located &/or re-used, contractor shall be responsible for disconnection, safe storage and re-connection of said equipment completely.
 4. For all existing equipment to be demolished, contractor shall be responsible for disconnection, removal and disposal off site per code of said equipment.
 5. Refer to manufactures specifications for mounting details on A/C air handlers.

MECHANICAL SPECIFICATIONS
 Scope: The contractor shall visit the site and examine the drawing and specifications before submitting a proposal. All work shall be in accordance with the 2017 FBC and with all amendments, and local codes and ordinances, installation shall comply with the standards set by the NFPA, ASHRAE, ASPE, SMACNA, NEC and UL. The systems, equipment, devices, and accessories shall be installed, finished, tested and adjusted for continuous and proper operation. The contractor shall be responsible for his work fitting in place and shall coordinate with the other trades to avoid interference with their work. The information given herein and on the drawings is as exact as could be secured, but its extreme accuracy is not guaranteed. The drawings are diagrammatic, intended to show general arrangement, capacity and location of various components, equipment, and devices, if work is required in a manner to make it impossible to produce first class work, or should discrepancies appear among the contract documents or between the contract documents and manufacturers' recommendations, the contractor shall request interpretation from the owner or architect before proceeding with work. Contractor shall furnish all minor items which are obviously and reasonably necessary to complete the installation whether or not specific in the documents.
 Required Coordination: All work shall be coordinated with all trades involved. Offsets in ducts and piping (including divided ducts) and transitions around obstructions shall be included in the bid price.
 Construction Plans: In general, plans and diagrams are schematic only and should not be scaled.
 Required Access: Contractor shall ensure that all equipment and devices that require replacement, servicing, adjusting or maintenance shall be located to allow access and space for removal of internal assemblies, if required. Contractor shall provide access panels where required to allow access, even if not indicated on the drawings and these shall be included in the bid price.
 Wind Resistance: All equipment, appliance and supports located exterior of the facility shall be installed to resist 130mph wind loads as detailed in FBC.
 Cutting and Patching: All openings around duct or pipe penetrations through smoke or fire rated floors, ceiling or walls shall be sealed airtight with materials having a rating equal to the material of the ceiling, wall or floor penetrated.
 Fire Stopping: UL approved materials and methods shall protect the penetrations of fire and/or smoke rated walls, ceiling or floors. The rating of fire stopping shall equal the rating of the rated assembly. All insulation shall have composite fire and smoke hazard ratings as tested by procedure ASTM E-84, NFPA-225, UL-723, not exceeding Flame spread - 25, Smoke developed - 50, Fuel distributed - 50.
 Condensate and Drain Piping: Condensate drain piping shall be PVC type DWV. Drains shall be pitched not less than 1/8". Runs shall be as short as possible without any dips to trap water and interfere with proper drainage. Provide traps and cleanouts at drain pan connections.

**INTERIOR AND EXTERIOR UPGRADES
TRENT RESIDENCE**

1419 THOMPSON STREET KEY WEST, FLORIDA 33040

**WILLIAM ROWAN
ARCHITECTURE**

321 PEAACON LANE
KEY WEST, FLORIDA
FLORIDA LICENSE AR-001751
305.296.3784

PROJECT NO: _____

DATE: 1/18/2018

M-1

6 OF 6



**STORMGUARD FIBERGLASS DOOR UNIT
8'-0" DOUBLE DOOR WITH / WITHOUT SIDELITES**

GENERAL NOTES

- EVALUATED FOR USE IN LOCATIONS ADHERING TO THE FLORIDA BUILDING CODE AND WHERE PRESSURE REQUIREMENTS AS DETERMINED BY ASCE 7, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, DOES NOT EXCEED THE DESIGN PRESSURES LISTED.
- THIS PRODUCT DOES NOT REQUIRE THE USE OF A HURRICANE PROTECTIVE SYSTEM (SHUTTERS).
- POLYURETHANE CORE FLAME SPREAD INDEX OF 50 AND SMOKE DEVELOPED INDEX OF 60 PER ASTM E84.

4. PLASTICS TESTING:

TEST DESCRIPTION	DESIGNATION	FACING	LITE FRAME
SELF IGNITION TEMP	ASTM D1929	752 °F > 650 °F	842 °F > 650 °F
RATE OF BURNING	ASTM D635	0.56 IN/MIN	1.28 IN/MIN
SMOKE DENSITY	ASTM D2843	53.4%	70.2%
TENSILE STRENGTH*	ASTM D638	3.2% DIFF	1.8% DIFF

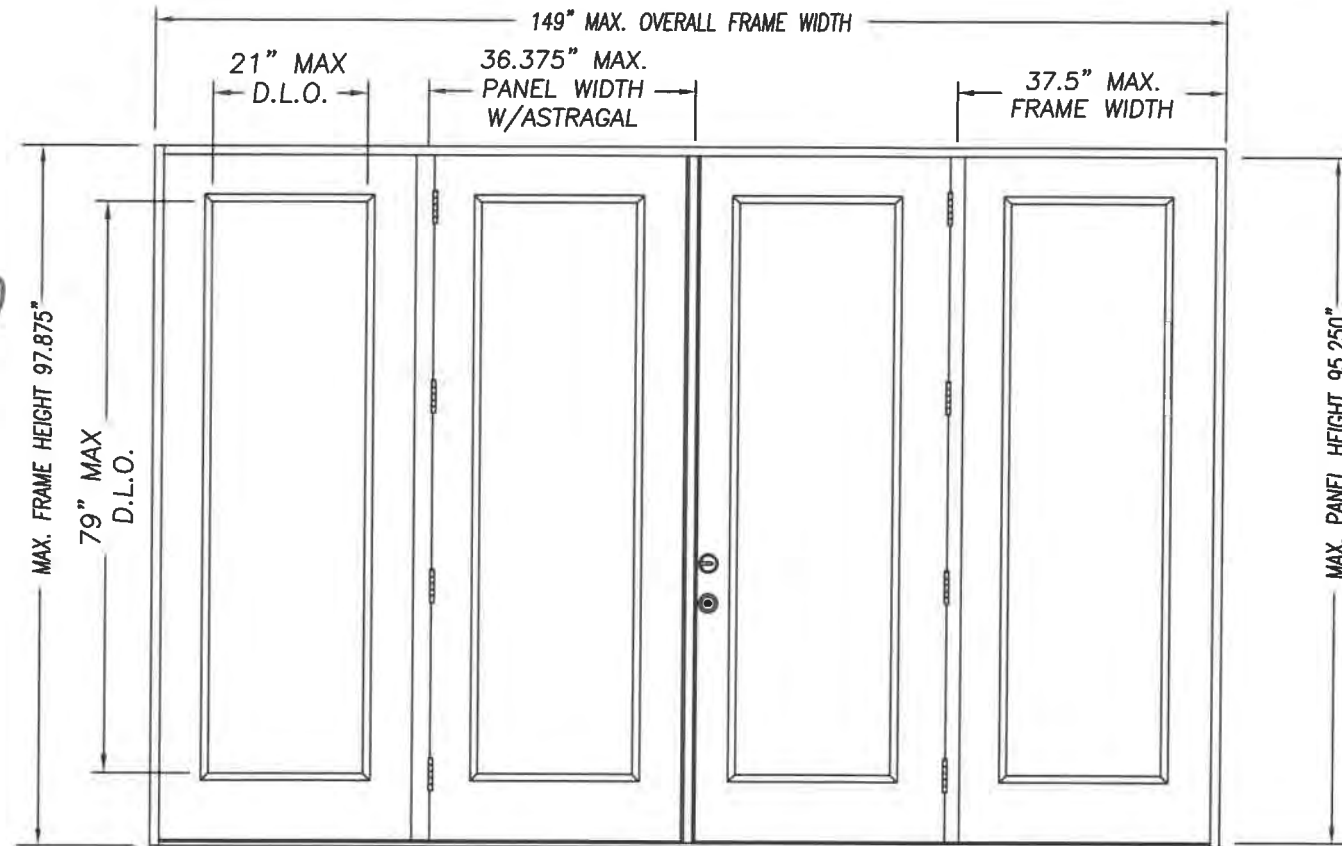
5. PLASTICS TESTING OF WORLDWIDE COMPOSITE FRAME (WHERE USED):

TEST DESCRIPTION	DESIGNATION	RESULT
SELF IGNITION TEMP	ASTM D1929	779 °F > 650 °F
RATE OF BURNING	ASTM D635	0.0 IN/MIN
SMOKE DENSITY	ASTM D2843	39.0%
TENSILE STRENGTH*	ASTM D638	3.6% DIFF

* COMPARATIVE TENSILE STRENGTH AFTER WEATHERING
4500 HOURS XENON ARC METHOD 1

Addendum to NAMI

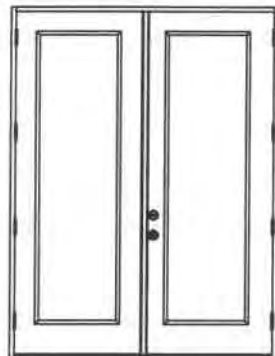
Certification No.: NI007077
Reviewed By: [Signature]
Date Reviewed: 10/31/17



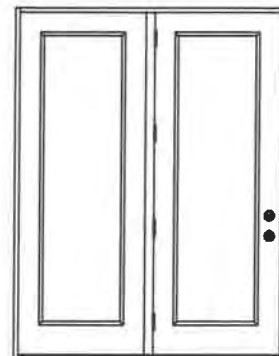
DOUBLE DOOR UNIT W/SIDELITES



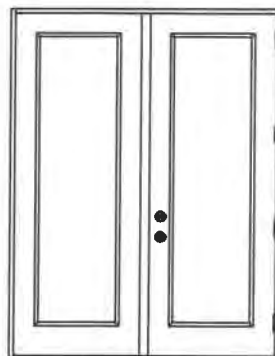
SINGLE DOOR UNIT



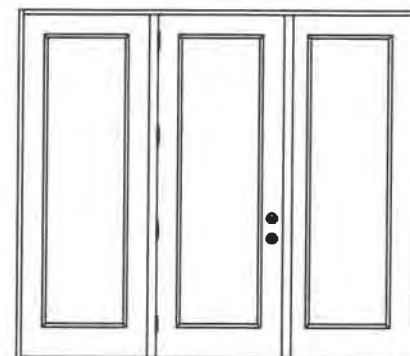
DOUBLE DOOR UNIT



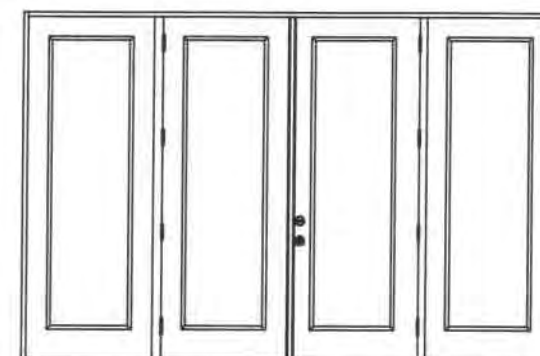
SINGLE DOOR UNIT WITH SIDELITE



SINGLE DOOR UNIT WITH SIDELITE



SINGLE DOOR UNIT W/SIDELITES



DOUBLE DOOR UNIT W/SIDELITES

CONFIG	MAX WIDTH	STRUCTURAL DESIGN PRESSURE RATING		WITH SURFACE BOLTS		WHERE WATER INFILTRATION PERFORMANCE IS REQUIRED TO BE 15% OF DESIGN PRESSURE				
		INSWING	ALL OUTSWING	ALL OUTSWING	INSWING	BUMPER O/S	Z-SERIES O/S	T4 O/S	HIGH DAM O/S	
X	37.5"	+43.0 / -47.0	+47.0 / -45.0	+55.0 / -55.0	N/A	+25.0 / -25.0	+40.0 / -40.0	+47.0 / -45.0	+47.0 / -45.0	
XX	74"	+43.0 / -47.0	+47.0 / -45.0	+55.0 / -55.0	N/A	+25.0 / -25.0	+40.0 / -40.0	+47.0 / -45.0	+47.0 / -45.0	
OX or XO	75"	+43.0 / -47.0	+47.0 / -45.0	+55.0 / -55.0	N/A	+25.0 / -25.0	+40.0 / -40.0	+47.0 / -45.0	+47.0 / -45.0	
OXO	112.5"	+43.0 / -47.0	+47.0 / -45.0	+55.0 / -55.0	N/A	+25.0 / -25.0	+40.0 / -40.0	+47.0 / -45.0	+47.0 / -45.0	
OXXO	149"	+43.0 / -47.0	+47.0 / -45.0	+55.0 / -55.0	N/A	+25.0 / -25.0	+40.0 / -40.0	+47.0 / -45.0	+47.0 / -45.0	

TABLE OF CONTENTS

SHEET #	DESCRIPTION
1	TYPICAL ELEVATIONS & GENERAL NOTES
2	ANCHORING LOCATIONS & DETAILS
3	ANCHORING LOCATIONS & DETAILS
4	ANCHORING LOCATIONS & DETAILS

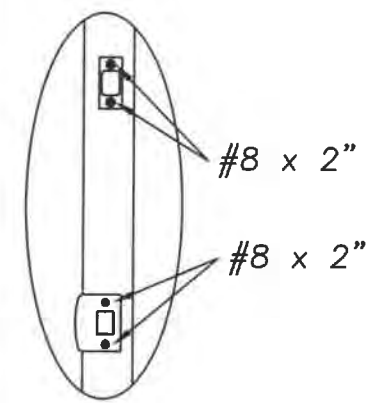
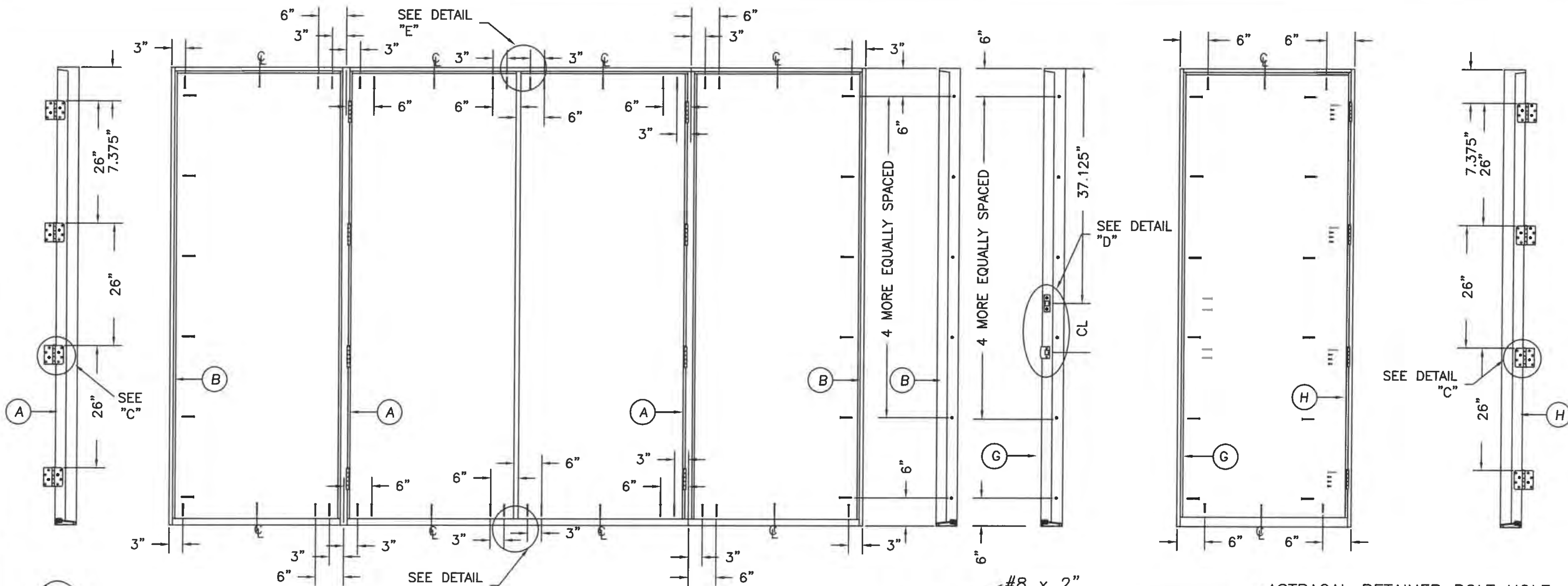
MASONITE INTERNATIONAL CORP.
1955 POWIS ROAD
WEST CHICAGO, IL 60185

PRODUCT: "EXTERIOR DOOR PRODUCT"
DOUBLE 8'0" GLAZED FIBERGLASS DOOR
PART OR ASSEMBLY: TYPICAL ELEVATIONS & GENERAL NOTES

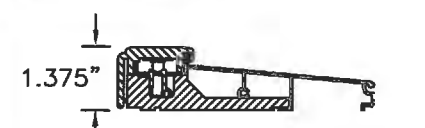
NO.	DATE	REVISIONS
D	10/27/17	ADDED T4
C	4/26/17	VARIOUS UPDATES
B	5/28/15	ANCHOR UPDATE
A	11/2/10	MISC UPDATES

DATE: 4/9/07
SCALE: N.T.S.
DWG. BY: SWS
CHK. BY:
DRAWING NO.:
DWG-MA-FL0173-07
SHEET 1 OF 4

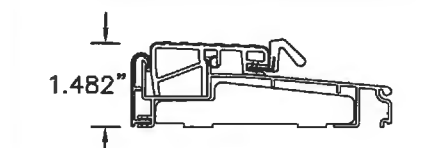
Kurt Balthazor
KURT BALTHAZOR
FLORIDA P.E.
#56533



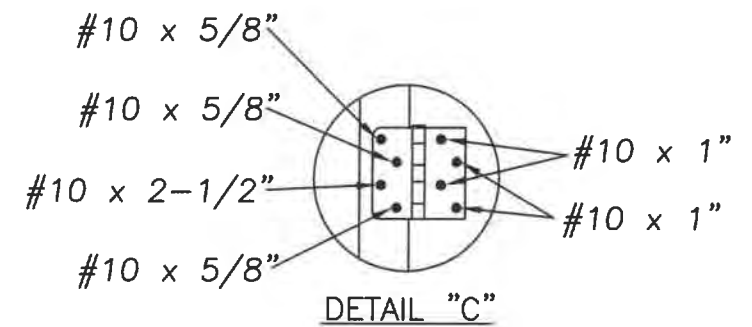
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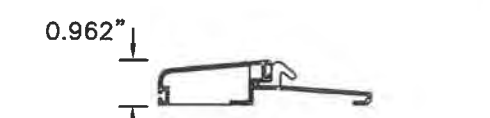
INSWING THRESHOLD



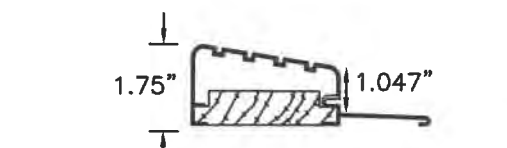
Z-SERIES O/S THRESHOLD



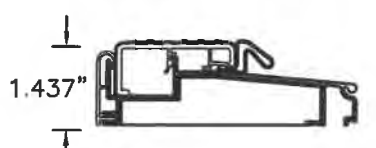
DETAIL "C"



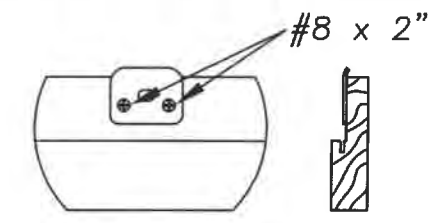
BUMPER O/S THRESHOLD



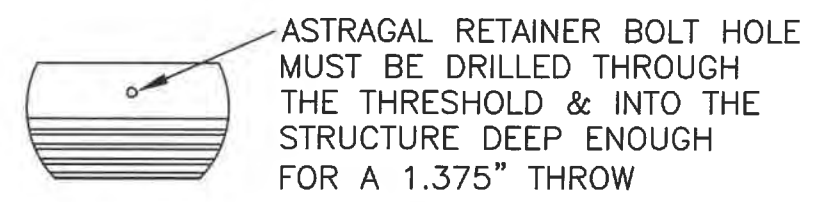
HIGH DAM O/S THRESHOLD



T4 O/S THRESHOLD

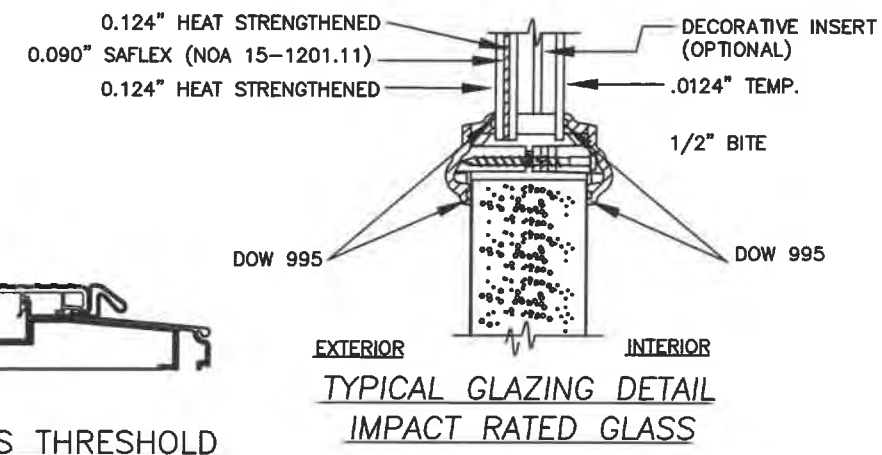


DETAIL "E" ASTRAGAL
ATTACH ASTRAGAL RETAINER BOLT STRIKE PLATE TO FRAME AS SHOWN.

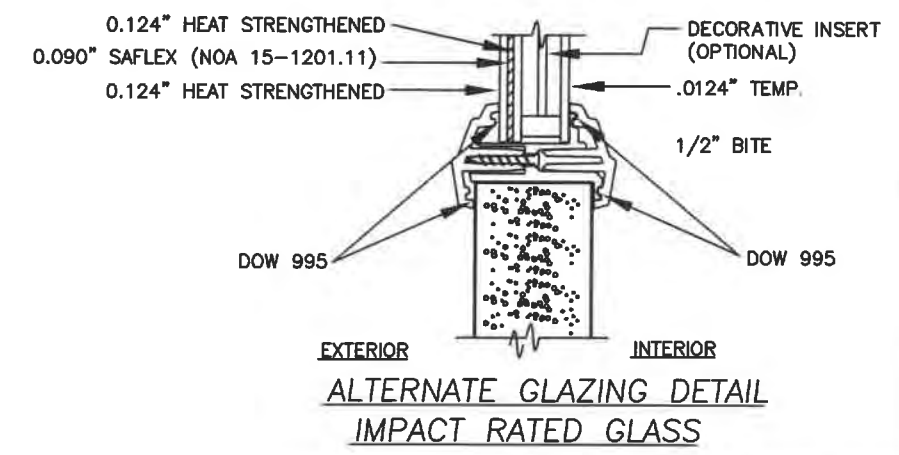


DETAIL "F" ASTRAGAL

ASTRAGAL RETAINER BOLT HOLE MUST BE DRILLED THROUGH THE THRESHOLD & INTO THE STRUCTURE DEEP ENOUGH FOR A 1.375" THROW



TYPICAL GLAZING DETAIL
IMPACT RATED GLASS



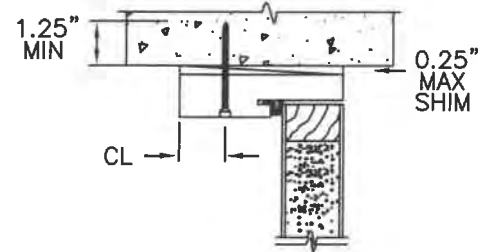
ALTERNATE GLAZING DETAIL
IMPACT RATED GLASS

Addendum to NAMI
Certification No.: NI007077
Reviewed By: [Signature]
Date Reviewed: 10/31/17

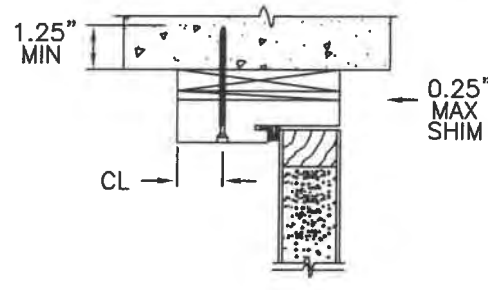
PRODUCT:		"EXTERIOR DOOR PRODUCT" 80 FIBERGLASS GLAZED DOUBLE DOOR UNIT	
PART OR ASSEMBLY:		ANCHORING LOCATIONS & DETAILS	
	SWS	ADDED T4	BY
	SWS	VARIOUS UPDATES	
	SWS	ANCHOR UPDATE	
	SWS	MISC UPDATES	
		DATE	REVISIONS
D	10/27/17		
C	4/26/17		
B	5/28/15		
A	11/2/10		

DATE: 4/9/07
SCALE: N.T.S.
DWG. BY: SWS
CHK. BY:
DRAWING NO.:
DWG-MA-FL0173-07
SHEET 2 OF 4

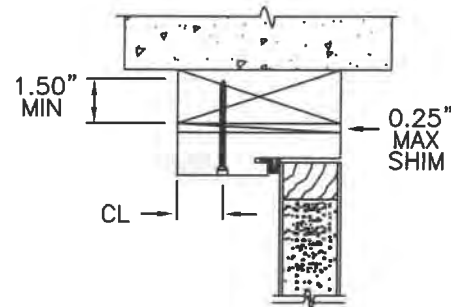
MASONITE INTERNATIONAL CORP.
1955 POWIS ROAD
WEST CHICAGO, IL 60185



TYPICAL MASONRY ANCHOR INSTALLATION



1X BUCK MASONRY ANCHOR INSTALLATION



TYPICAL WOOD BUCK ANCHOR INSTALLATION

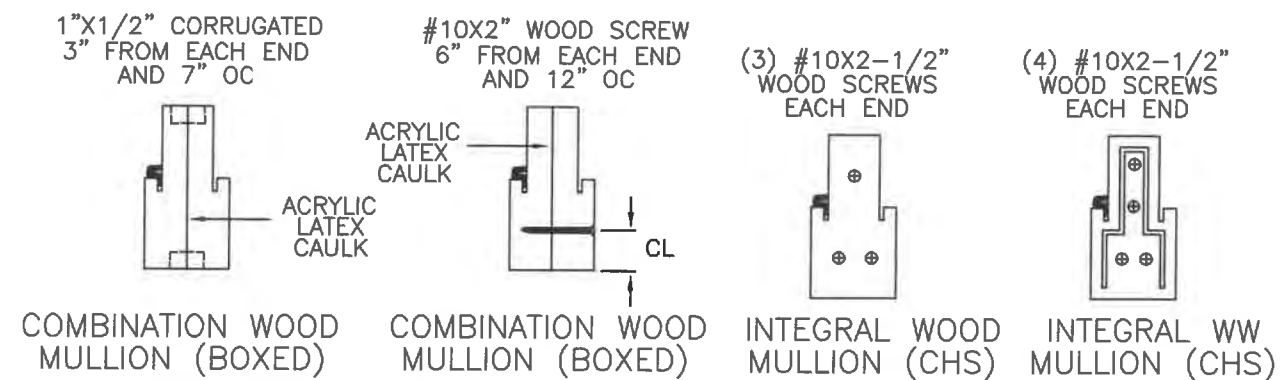
Addendum to NAMI
 Certification No.: NI007077
 Reviewed By: [Signature]
 Date Reviewed: 10/31/17

ATTACHMENT DETAIL

- ANCHOR ANALYSIS FOR LOADING CONDITIONS PREPARED, SIGNED AND SEALED BY ROBERTO LOMAS, PE (FLORIDA #62514) WITH THE LOWEST (LEAST) FASTENER RATING FROM THE DIFFERENT FASTENERS BEING CONSIDERED FOR USE. JAMB, HEAD, AND THRESHOLD FASTENERS ANALYZED FOR THIS UNIT INCLUDE #10 WOOD SCREWS, 1/4" TAPCONS, AND #10 TEK SCREWS. A PHYSICAL SHIM MUST BE PLACED IN SHIM SPACE AT EACH ANCHOR LOCATION. TAPCON EDGE DISTANCE MIN 2-1/2". WOOD SCREW EDGE DISTANCE MIN 3/4". TEK SCREW EDGE DISTANCE MIN 1/2".
- ANCHORING INTO STEEL STRUCTURE MUST BE SUFFICIENT TO ACHIEVE 3 THREADS MINIMUM BEYOND STEEL INTERIOR SURFACE.
- THE WOOD SCREW SINGLE SHEAR DESIGN VALUES COME FROM ANSI/AF&PA NDA FOR SOUTHERN PINE LUMBER AND ACHIEVEMENT OF 1-1/2" MINIMUM EMBEDMENT. THE TAPCON MUST ACHIEVE MINIMUM EMBEDMENT OF 1-1/4".
- WOOD BUCKS BY OTHERS MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO STRUCTURE.
- MINIMUM DESIGN VALUE STRENGTH OF ANCHORS 155 LBS.

HARDWARE SCHEDULE

1.	KWIKSET SERIES 400 GRADE 3 CYLINDRICAL LATCH AND SERIES 980 GRADE 1 DEADLOCK HARDWARE TO BE INSTALLED AT 10-1/2" CENTERLINE.
2.	4" X 4" FULL MORTISE BUTT HINGES.



PRODUCT: "EXTERIOR DOOR PRODUCT"
 8'0" FIBERGLASS GLAZED DOUBLE DOOR UNIT
 PART OR ASSEMBLY: ANCHORING LOCATIONS & DETAILS

NO.	DATE	REVISIONS
D	10/27/17	ADDED T4
C	4/26/17	VARIOUS UPDATES
B	5/28/15	ANCHOR UPDATE
A	11/2/10	MISC UPDATES
		BY

DATE: 4/9/07
 SCALE: N.T.S.
 DWG. BY: SWS
 CHK. BY:
 DRAWING NO.: DWG-MA-FL0173-07
 SHEET 4 OF 4

MASONITE INTERNATIONAL CORP.
 1955 POWIS RD.
 WEST CHICAGO, IL 60185

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., April 24, 2018 at Key West City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**EXTENSION OF FIRST FLOOR REAR
PORCH AND NEW SECOND FLOOR REAR
PORCH. REPLACEMENT OF WINDOWS TO
DOORS AT REAR.**

FOR #1419 THOMPSON STREET

Applicant – William Rowan

Application #18-0572

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00042840-000000
 Account # 1043478
 Property ID 1043478
 Millage Group 10KW
 Location 1419 THOMPSON St, KEY WEST
 Address
 Legal KW MONROE INVESTMENT CO SUB PB1-41 PT LTS 8 AND 9 SQR 5 TR 20 G10-336
 Description OR224-337 OR500-959 OR966-2385 OR1180-1184 OR1326-425D/C OR1377-2320
 OR2186-1040 OR2520-1368 OR2873-1458/59ORD OR2876-1147/48
 OR2876-1157/58
 (Note: Not to be used on legal documents)
 Neighborhood 6157
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision Monroe Investment Co
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

KW TRENT 1419 THOMPSON LLC
 1103 Geneva St
 Lake Geneva WI 53147

Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$682,770	\$309,525	\$312,434	\$311,942
+ Market Misc Value	\$6,046	\$6,046	\$5,258	\$4,779
+ Market Land Value	\$393,261	\$390,367	\$488,504	\$572,531
= Just Market Value	\$1,082,077	\$705,938	\$806,196	\$889,252
= Total Assessed Value	\$345,201	\$338,101	\$335,751	\$333,086
- School Exempt Value	(\$25,500)	(\$25,500)	(\$25,500)	(\$25,500)
= School Taxable Value	\$319,701	\$312,601	\$310,251	\$307,586

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	4,807.00	Square Foot	0	0

Buildings

Building ID 3352
 Style 2 STORY ELEV FOUNDATION
 Building Type S.F.R. - R1 / R1
 Gross Sq Ft 3698
 Finished Sq Ft 2610
 Stories 2 Floor
 Condition GOOD
 Perimeter 318
 Functional Obs 0
 Economic Obs 0
 Depreciation % 12
 Interior Walls WALL BD/WD WAL
 Exterior Walls CUSTOM
 Year Built 1948
 EffectiveYearBuilt 2006
 Foundation CONC BLOCK
 Roof Type GABLE/HIP
 Roof Coverage METAL
 Flooring Type CONC S/B GRND
 Heating Type FCD/AIR DUCTED with 0% NONE
 Bedrooms 3
 Full Bathrooms 3
 Half Bathrooms 1
 Grade 650
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	1,024	0	0
FLA	FLOOR LIV AREA	2,610	2,610	0
OUU	OP PR UNFIN UL	64	0	0
TOTAL		3,698	2,610	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
TILE PATIO	1975	1976	1	264 SF	3
FENCES	1975	1976	1	944 SF	5

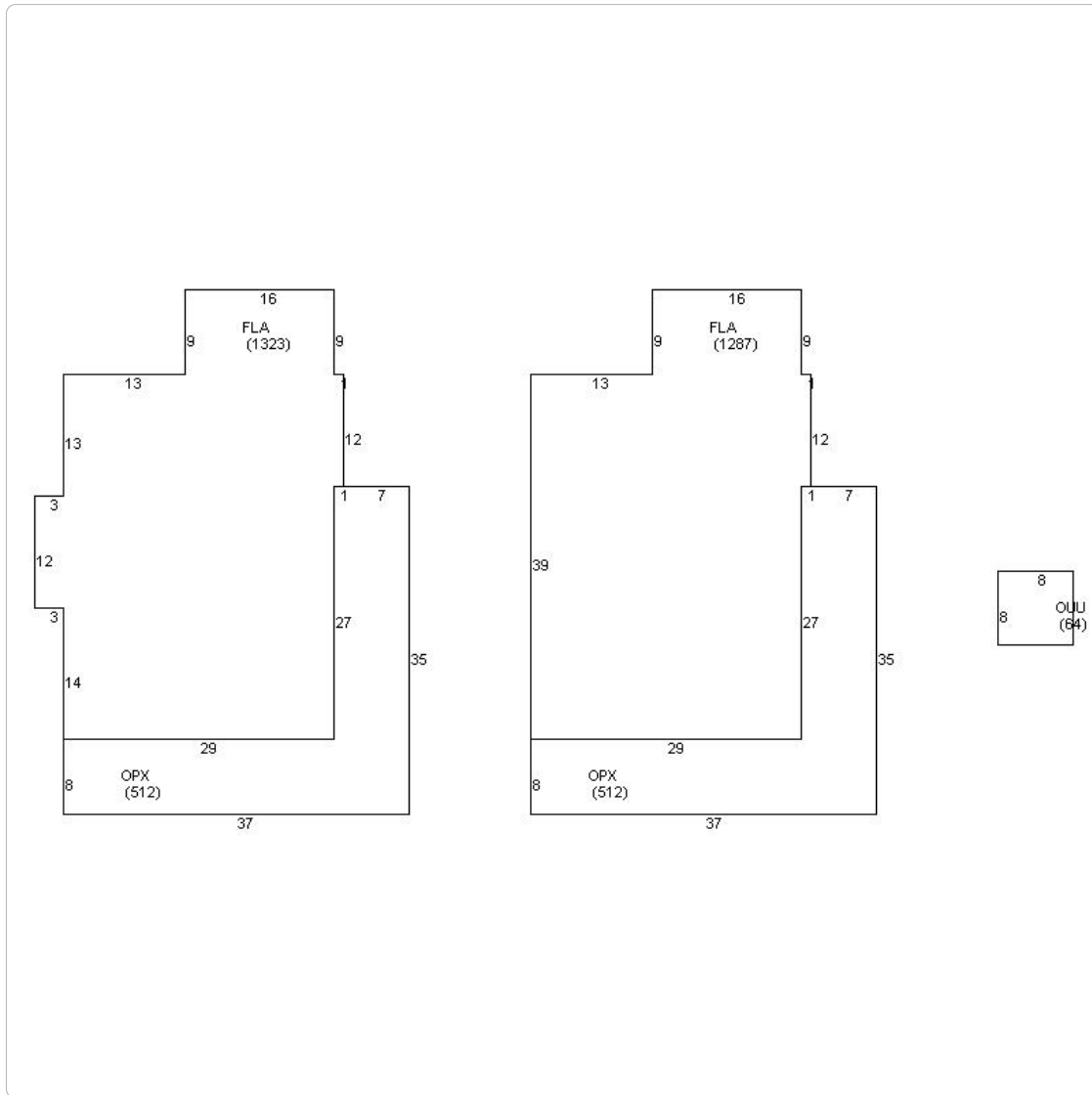
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
10/19/2017	\$1,125,000	Warranty Deed	2141182	2876	1157	01 - Qualified	Improved
9/20/2017	\$100	Quit Claim Deed	2141180	2876	1147	11 - Unqualified	Improved
5/30/2017	\$0	Order (to be used for Order Det. Heirs, Probate in	2138718	2873	1458	11 - Unqualified	Improved
6/2/2011	\$100	Warranty Deed		2520	1368	11 - Unqualified	Improved
8/1/1991	\$225,000	Warranty Deed		1180	1184	Q - Qualified	Improved
2/1/1972	\$24,500	Conversion Code		500	959	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
9800786	6/3/1998	4/28/2014	\$8,520	Residential	REPLACE 18 SQS ROOF

Sketches (click to enlarge)



Photos





Map



No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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