



Historic Architectural Review Commission
Staff Report for Item 13

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Enid Torregrosa, MSHP
Historic Preservation Planner

Meeting Date: September 27, 2016

Applicant: Wayne Garcia, Contractor

Application Number: H16-01-0899

Address: #408 Catherine Street

Description of Work

New one-story accessory structure.

Site Facts

The main house in the site, built in 1969, is not listed in the surveys. The one-story cbs structure sits below FEMA flood zone, which is AE7. The house was flooded during Hurricane Wilma.

Guidelines Cited on Review

- Outbuildings (page 40); specifically guidelines 1, 2, 3, and 9.
- New Construction (pages 36-38a); specifically all guidelines for new construction.

Staff Analysis

The Certificate of Appropriateness in review is for the construction of an accessory structure on the rear side of the lot. The new structure will be one-story cbs structure and will meet current FEMA flood requirements. The structure will be rectangular in footprint, will have a gable roof, and will have a small balcony. The walls will be stucco finish, windows will be impact resistant, and roof will be metal v-crimp. The structure will be approximately 66 feet setback from the front property line.

Consistency with Guidelines

Staff opines that the proposed design has a scale, mass, materials and proportions that is compatible and appropriate to the existing main house on the site and to surrounding structures. Although the structure will be 1'-7" taller than the main house the building will not overshadow any neighboring buildings, as a fact the closest building is a two-story structure. The new structure must comply with actual FEMA regulations and the design has the minimum height and appropriate proportions to comply with the Florida Building Code, FEMA, and guidelines for new construction. If the existing house is elevated in order to meet FEMA flood requirements, it will be taller than the proposed ancillary structure.

Although the structure will be 1'-7" taller than the main house, due to its location, this difference will be imperceptible. The neighboring structures are still taller than the proposed ancillary structure. Staff opines that the design will not have an adverse effect on the main house or surrounding context.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER 16-01-0899		BUILDING PERMIT NUMBER 16-2519		INITIAL & DATE
FLOODPLAIN PERMIT			REVISION #	
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %	

ADDRESS OF PROPOSED PROJECT:

408 CATHERINE ST.

OF UNITS

RE # OR ALTERNATE KEY:

NAME ON DEED:

JUDY WHEELER POTIER

PHONE NUMBER

OWNER'S MAILING ADDRESS:

408 CATHERINE ST

EMAIL

CONTRACTOR COMPANY NAME:

WAYNE GARCIA BLD

PHONE NUMBER

305-360-1820

CONTRACTOR'S CONTACT PERSON:

WAYNE GARCIA

EMAIL

ARCHITECT / ENGINEER'S NAME:

NA

PHONE NUMBER

ARCHITECT / ENGINEER'S ADDRESS:

NA

EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES ___ NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

26,000.⁰⁰

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: ONE OR TWO FAMILY ___ MULTI-FAMILY ___ COMMERCIAL ___ NEW ___ REMODEL
 ___ CHANGE OF USE / OCCUPANCY ___ ADDITION ___ SIGNAGE ___ WITHIN FLOOD ZONE
 ___ DEMOLITION SITE WORK INTERIOR EXTERIOR AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

BUILD 216 sq ft
ACCESSORY UNIT AT REAR OF HOUSE. (AS PER PLANS)

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT. OWNER PRINT NAME:	QUALIFIER PRINT NAME: Wayne Garcia
OWNER SIGNATURE: Notary Signature as to owner:	QUALIFIER SIGNATURE: Notary Signature as to qualifier:
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS ___ DAY OF ___, 20___.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS 21 st DAY OF June, 20 16.
Personally known or produced _____ as identification	Personally known or produced _____ as identification.

11528-3607-01K

6/21/16
 BUILDING PERMITS-NEW
 \$50.00
 \$300.00
 \$100.00
 15717

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE: _____

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A/C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS
 RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
Conc. Block Const.	—	Conc. Block

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

Open: KEYWELD Type: OC Drawer: 1
 Date: 6/21/16 5:30 Receipt no: 19717
 2016 2513
 PT + BUILDING PERMITS-NEW
 1.00 \$50.00
 Trans number: 3088731
 VISA/MASTERCARD \$100.00
 Trans date: 6/21/16 Time: 11:52:15

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC, SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO.
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
<i>Main house is not listed in the surveys. Guidelines for outbuildings. Guidelines for new construction.</i>			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

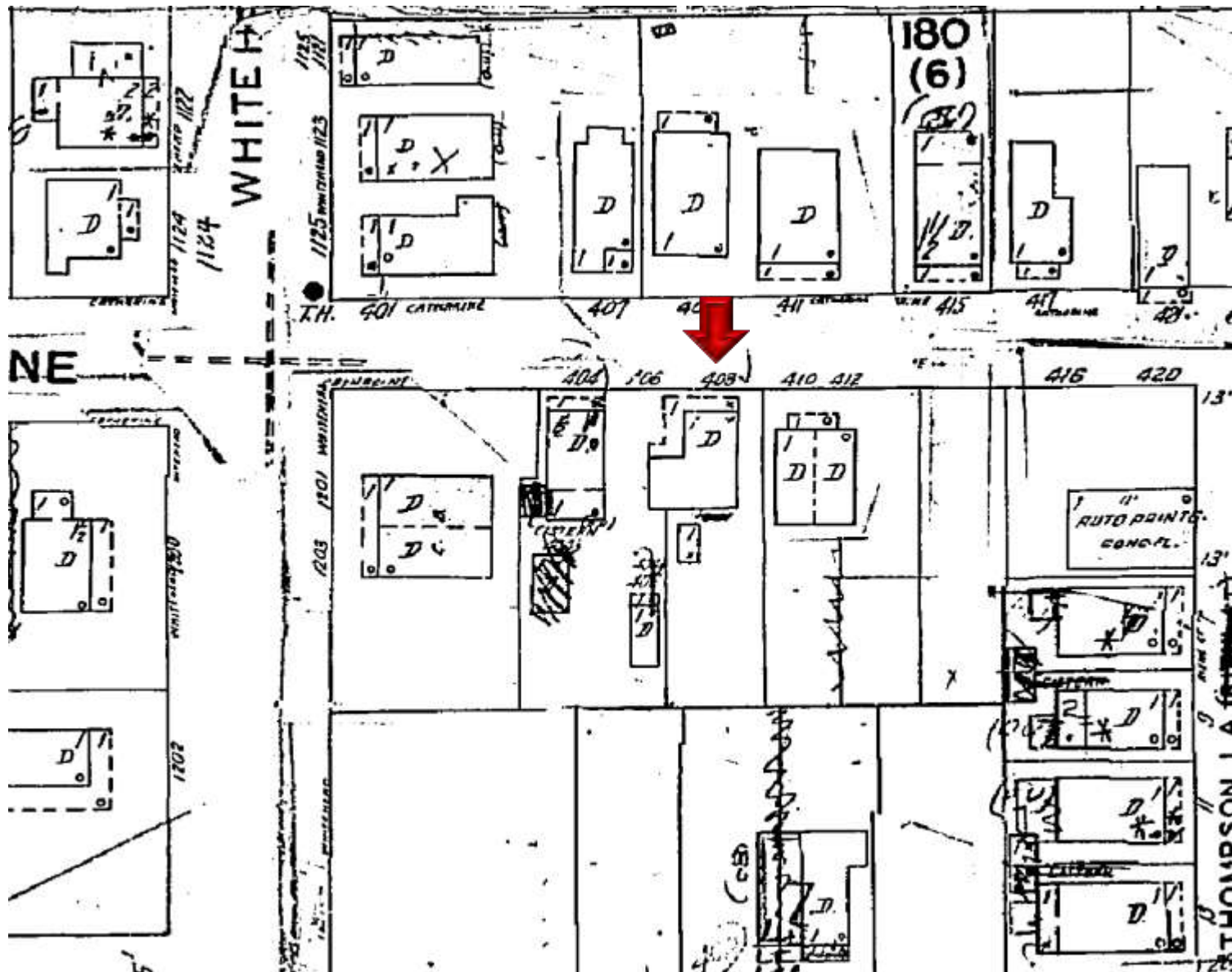
FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

SANBORN MAPS



1962 Sanborn map

PROJECT PHOTOS



408 Catherine Street circa 1965. The frame house was razed in 1968. Monroe County Library.



408 Catherine Street in 1969. Monroe County Library.





Member - Coldwell Banker
Wayne Garcia
Real Estate License
Open House Available
Call Today
305-270-8959



Let me see
Garcia
of Building Contractors
and Home Inspectors
Call me today

11768 APY



PROPOSED DESIGN

SITE DATA

SITE ADDRESS: 408 CATHERINE ST, KEY WEST, FL 33043
 RE: 00029140-000000
 ZONING: HMDR (HISTORIC MEDIUM DENSITY RESIDENTIAL)
 FLOOD ZONE: AE
 F.I.R.M. - COMMUNITY#125129; MAP & PANEL #12087C-1516 SUFFIX K; DATE: 02-18-05
 SECTION/TOWNSHIP/RANGE: 06-68-25
 LEGAL DESCRIPTION: KW PT SUBS 19-20-21 PT LOT 3 SQR 9 TR 11 A1-80

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2014 FLORIDA BUILDING CODE AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.
 THE FOLLOWING LOADINGS WERE USED:
 DESIGN LOADS: ASCE 7-10
 WIND LOAD: 180 mph; 3 sec gust; EXPOSURE D; ROOF LIVE LOAD 20 PSF; DEAD LOAD 15 PSF; FLOOR LL 40 PSF
 SOIL BEARING CAPACITY ASSUMED 2000LBS PER SQ. FT.

INDEX OF DRAWINGS

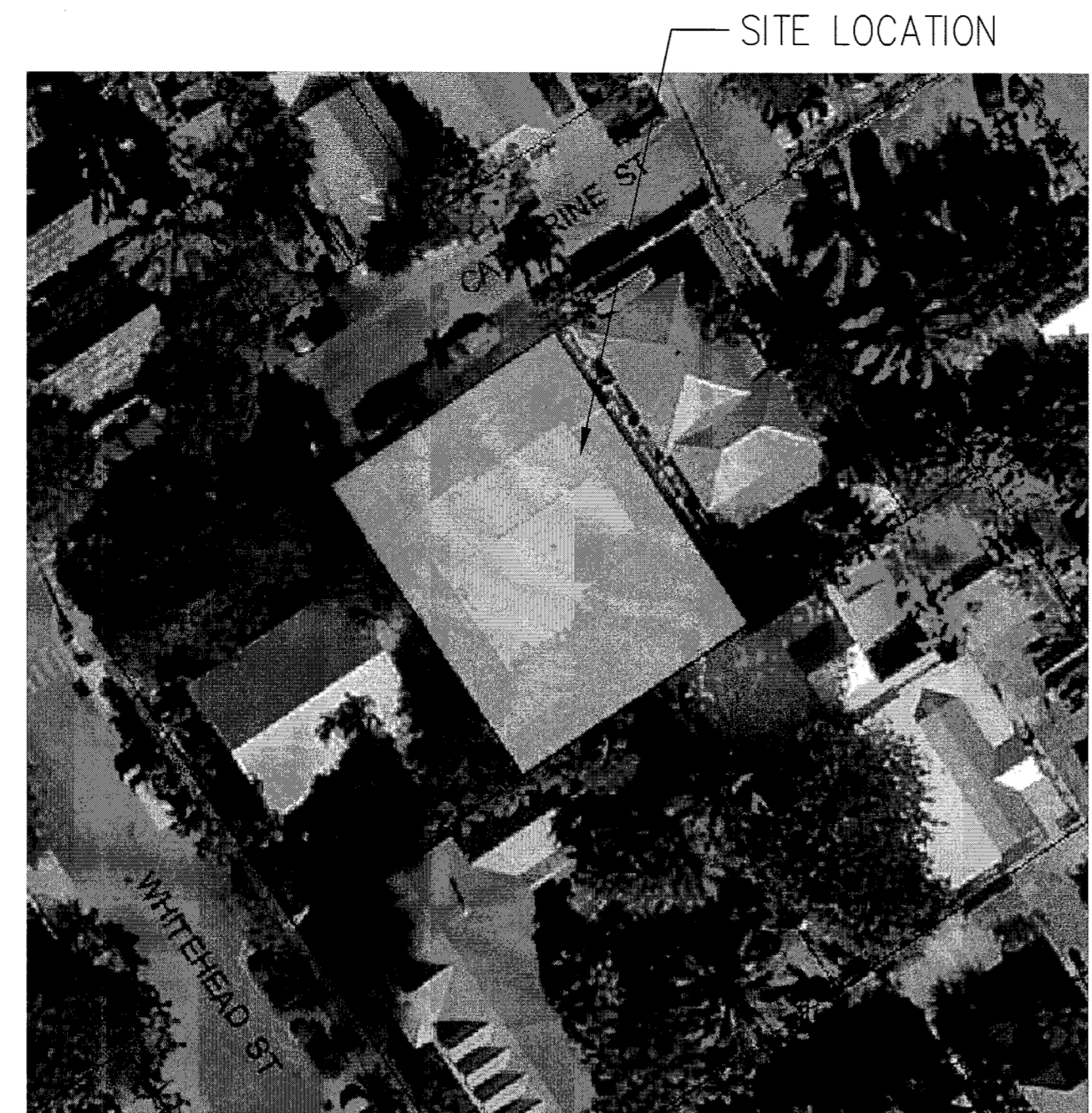
SHEET CS-1 - PROPOSED SITE PLAN
 SHEET A-1 - PROPOSED ELEVATIONS
 SHEET A-2 - PROPOSED FLOOR PLAN
 SHEET A-3 - STRUCTURE DETAILS

GENERAL NOTES

- THESE PLANS ARE FOR THE CONSTRUCTION AT THE LOCATION SO DESIGNATED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
- THE CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
- NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.).
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2014 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
- THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.
- PORTABLE RESTROOM FACILITIES TO BE PROVIDED AT THE SITE BY THE CONTRACTOR.

LEGEND

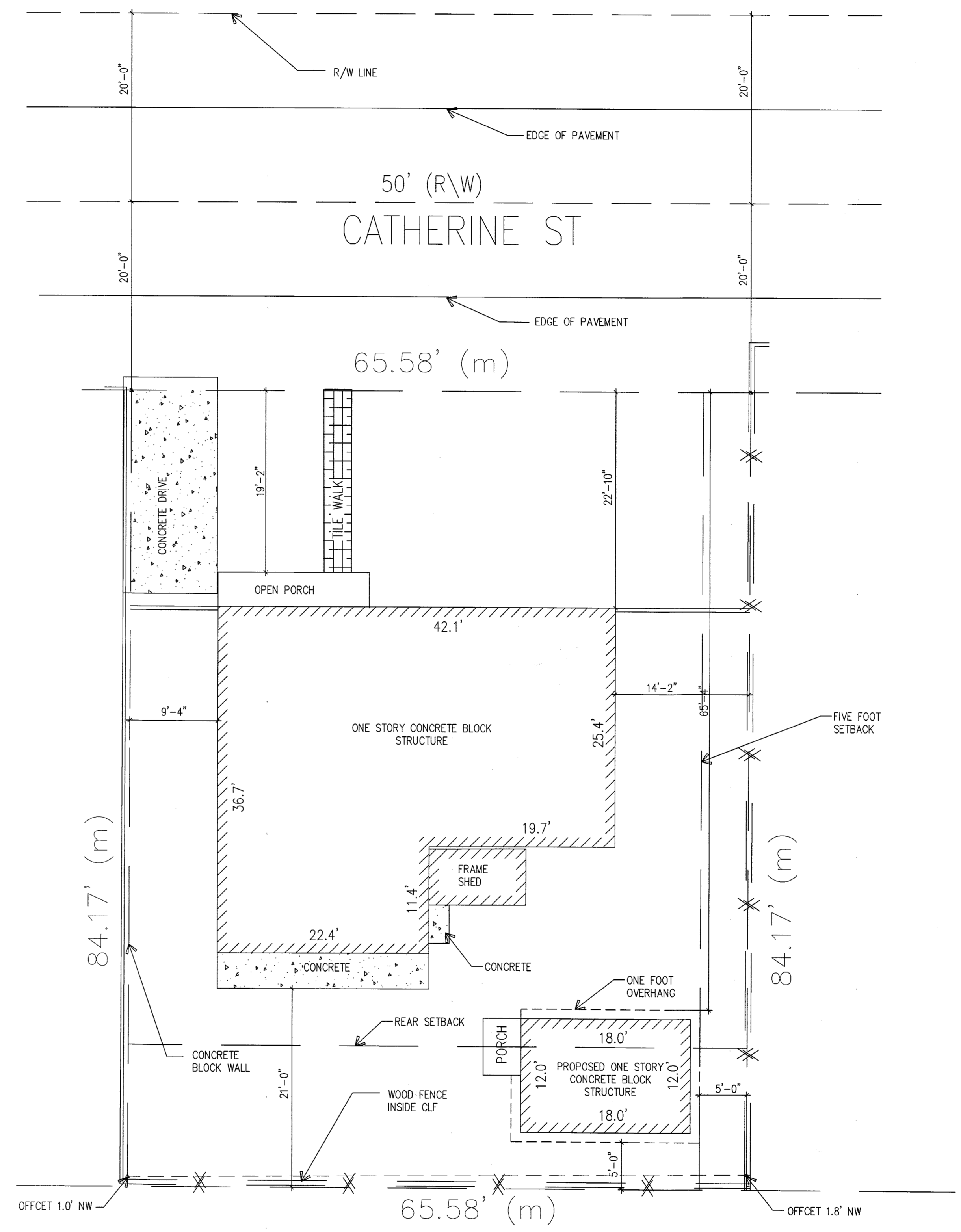
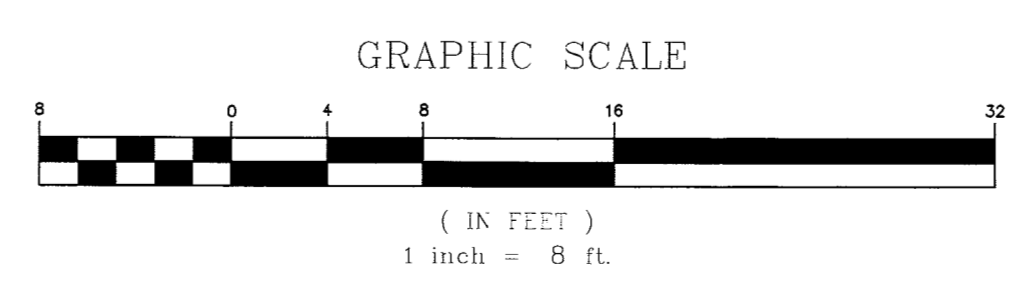
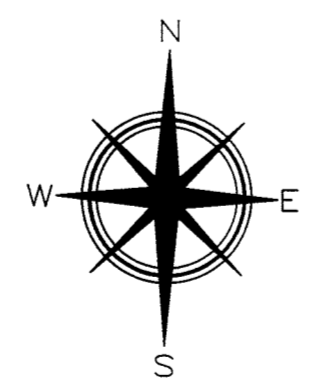
SYMBOLS	MATERIAL INDICATIONS	LIST OF ABBREVIATIONS
	CONCRETE	& AND
	COMPACTED EARTH FILL	@ AT
	STUCCO OR GYPSUM WALL BOARD	APPROX. APPROXIMATE(LY)
	CONCRETE MASONRY UNIT	FT FOOT/FEET
	BRICK	FFL FINISH FLOOR LEVEL
	BATT INSULATION	IN. INCH
	RIDGE INSULATION	MAX. MAXIMUM
	SAND	MIN. MINIMUM
	GRAVEL	# NUMBER
	CONTINUOUS WOOD FRAMING	O.C. ON CENTER
	WOOD BLOCKING	LB. POUND
	PLYWOOD	PSI POUND PER SQUARE INCH
	FINISH WOOD	PT PRESSURE TREATED
		SF SQUARE FOOT/FEET
		T & G TONGUE AND GROOVE
		WWM WELDED WIRE MESH



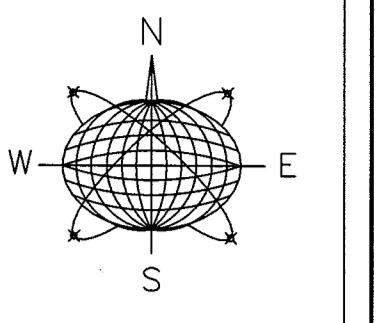
2 LOCATION MAP
 A-1 SCALE: NOT TO SCALE

PROJECT DATA	PROPOSED	EXISTING	REQUIRED	VARIANCES OBTAINED
RE NO:	00029140-000000			
SETBACKS:				
FRONT	65'-4"	19'-2"	10'	NONE
SIDE	5'-0"	9'-4"	5'	NONE
REAR	5'-0"	21'	15'	NONE
IMPERVIOUS AREA	2,115 SQFT 38.3%	1,818 SQFT 33%	3,311 SQFT 60%	NONE
OPEN SPACE AREA	3,403 SQFT 61.6%	3,701 SQFT 67%	1,932 SQFT 35%	NONE
BUILDING COVERAGE	1737 SQFT 31.5%	1,440 SQFT 26.1%	2,208 SQFT 40%	NONE
SITE AREA	5,519 SQ. FT.	5,519 SQ. FT.	4,000 SQ. FT.	NONE

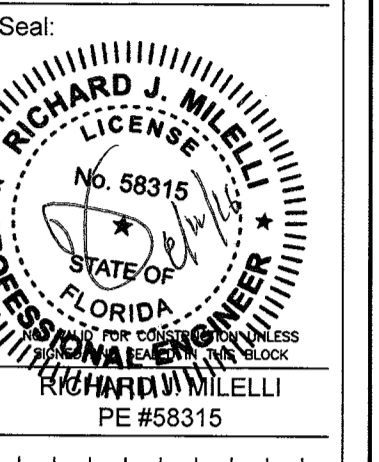
* ONLY 5 FT IS REQUIRED FOR ACCESSORY STRUCTURE
 REAR SETBACK AREA IS 983.7 SF. ACCESSORY STRUCTURE OCCUPIES 209 SF (21.2%) OF THE REAR SETBACK.



1 PROPOSED SITE PLAN
 A-1 SCALE: 1/8"=1'-0"



Meridian Engineering LLC
 201 Front Street, Suite 210
 Key West, Florida 33040
 AUTHORIZATION #29401
 ph: 305-293-3283 fax: 293-4899



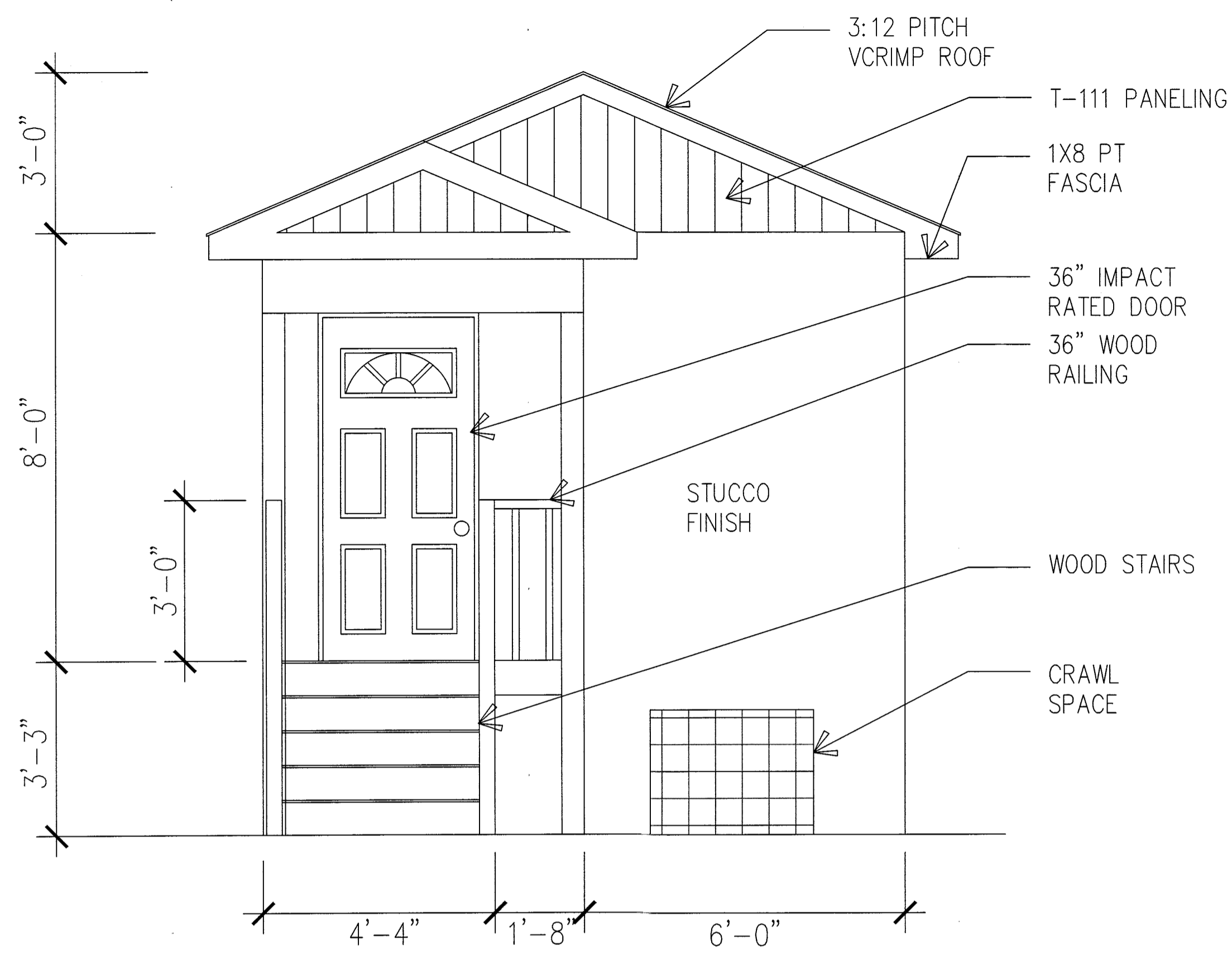
Seal:
 RICHARD J. MILELLI
 PE #58315

RESIDENTIAL
 ACCESSORY STRUCTURE
 408 CATHERINE ST
 KEY WEST, FLORIDA

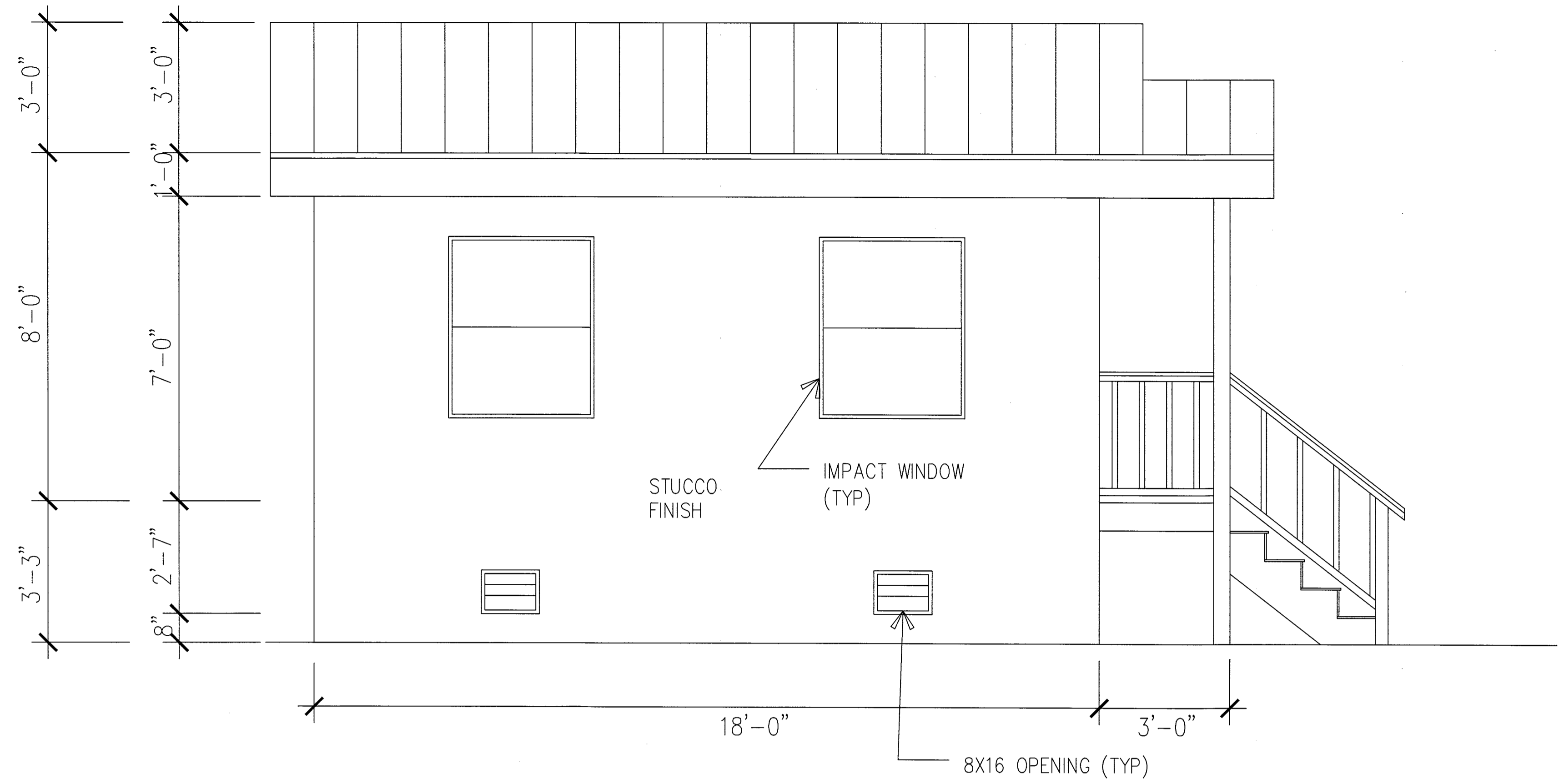
Drawn By: PCS
 Checked By: RJM
 Project No: 14-034
 Scale: AS NOTED
 AutoCad File No.

Revisions:
 Title:
 PROPOSED SITE PLAN

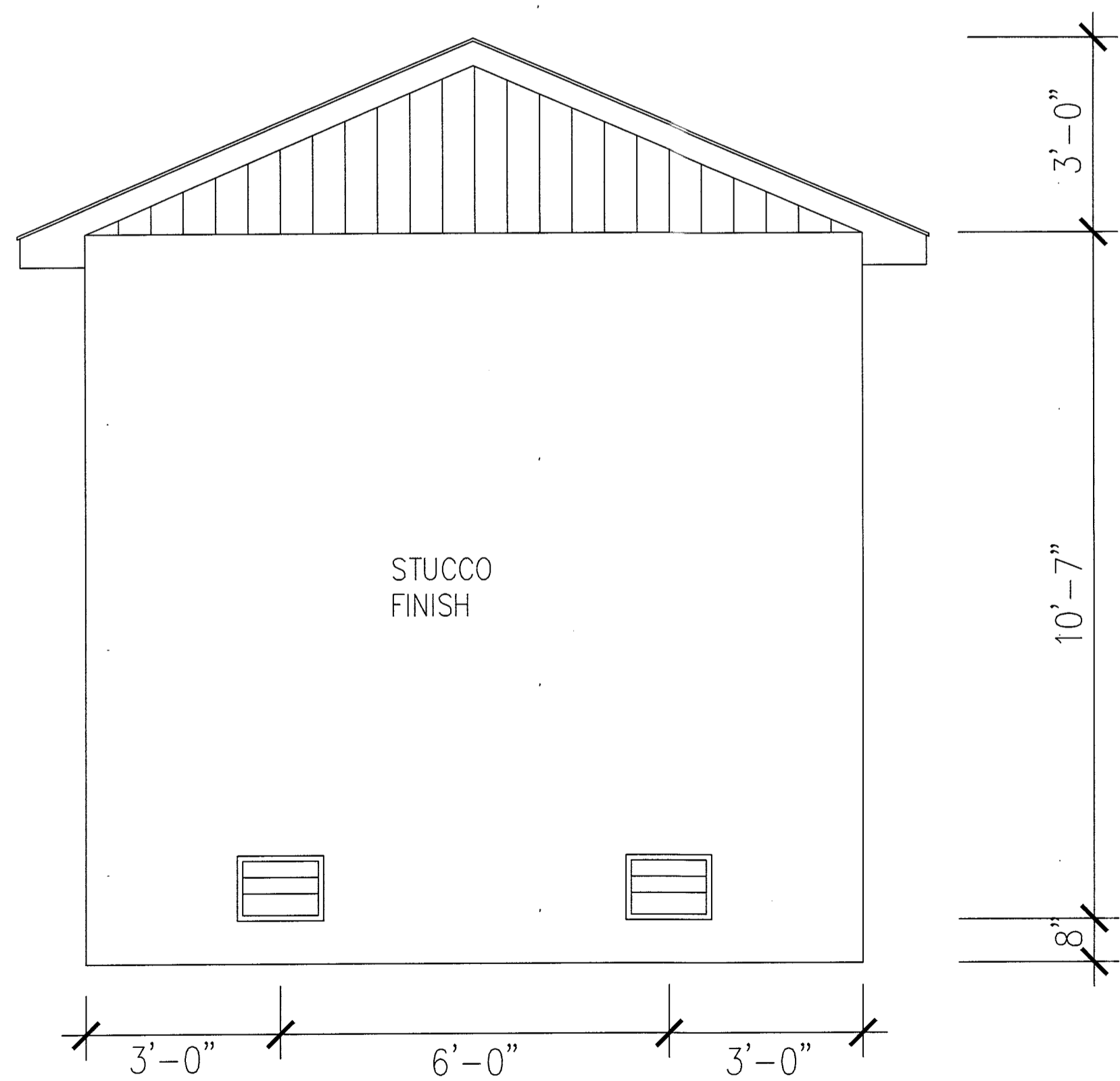
Sheet Number:
CS-1
 Date: AUGUST 8, 2014



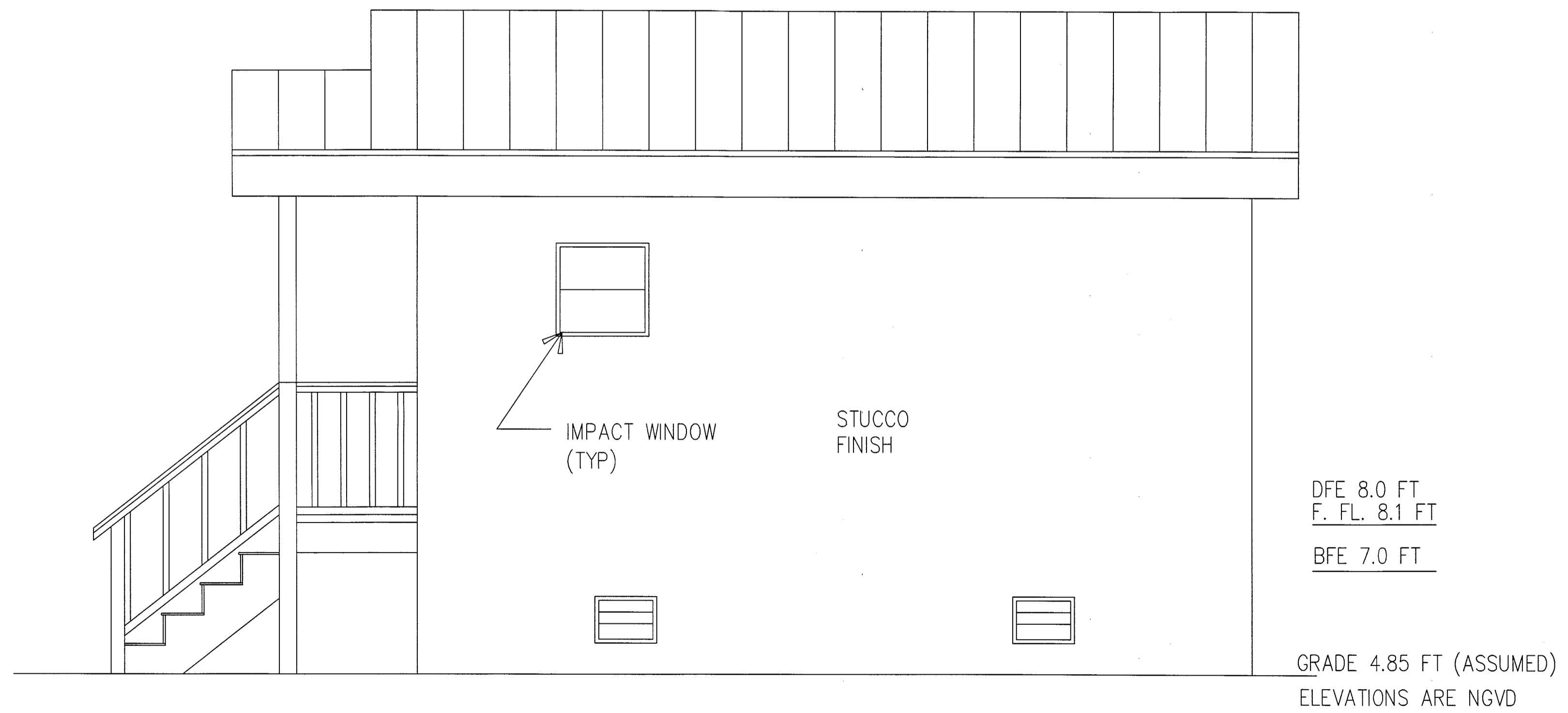
1 FRONT ELEVATION
A-1 SCALE: 1/2"=1'



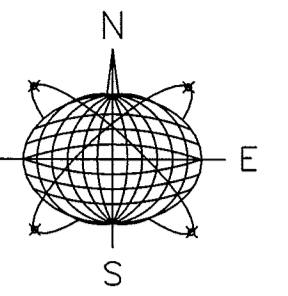
3 LEFT ELEVATION
A-1 SCALE: 1/2"=1'



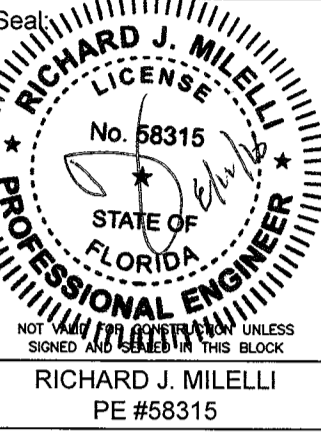
2 REAR ELEVATION
A-1 SCALE: 1/2"=1'



4 RIGHT ELEVATION
A-1 SCALE: 1/2"=1'



Meridian Engineering LLC
201 Front Street, Suite 210
Key West, Florida 33040
AUTHORIZATION #29401
ph:305-293-3283 fax:293-4899



General Notes:

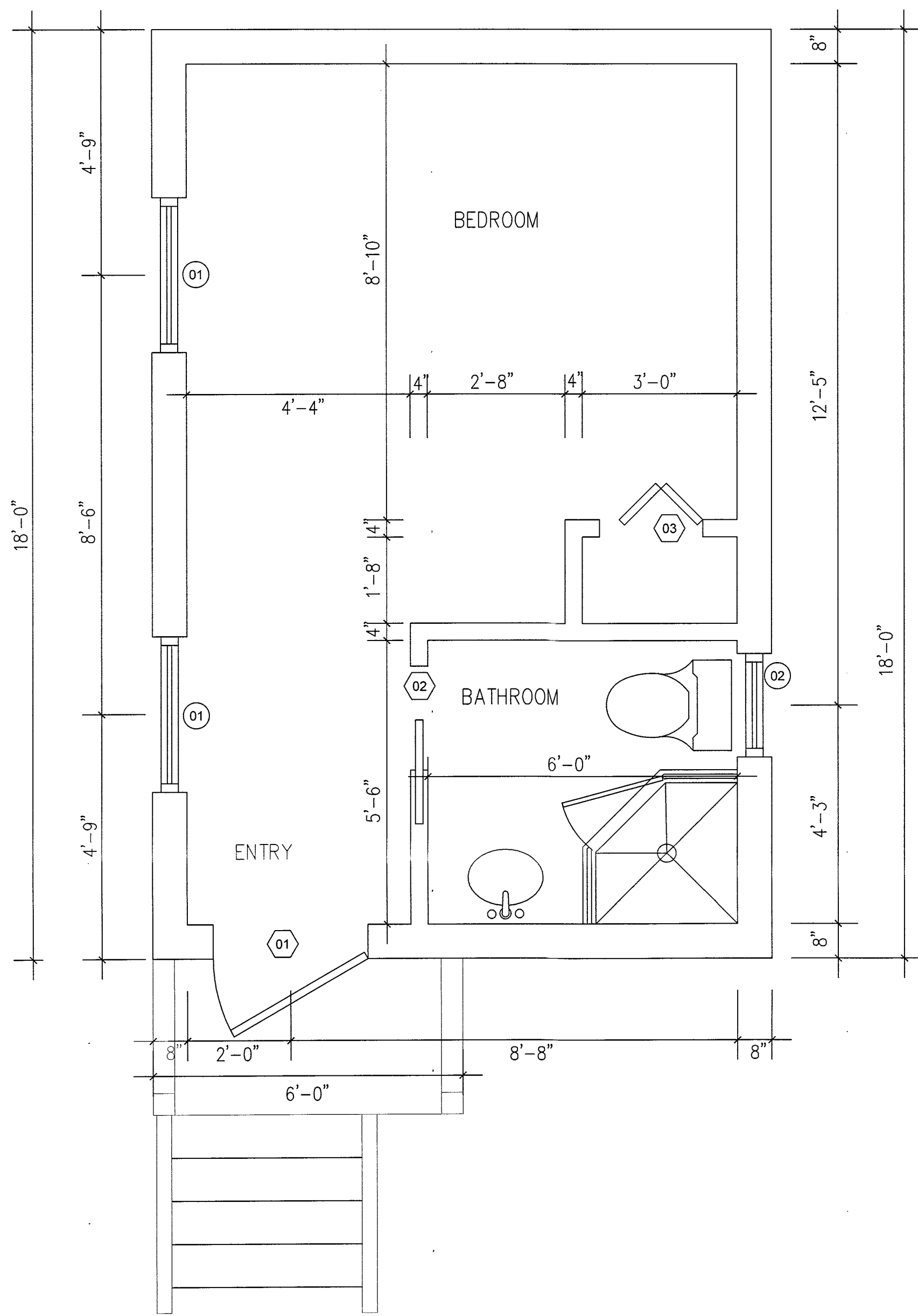
RESIDENTIAL
ACCESSORY STRUCTURE
408 CATHERINE ST
KEY WEST, FLORIDA

Drawn By: PCS
Checked By: RJM
Project No: 14-034
Scale: AS NOTED
AutoCad File No.

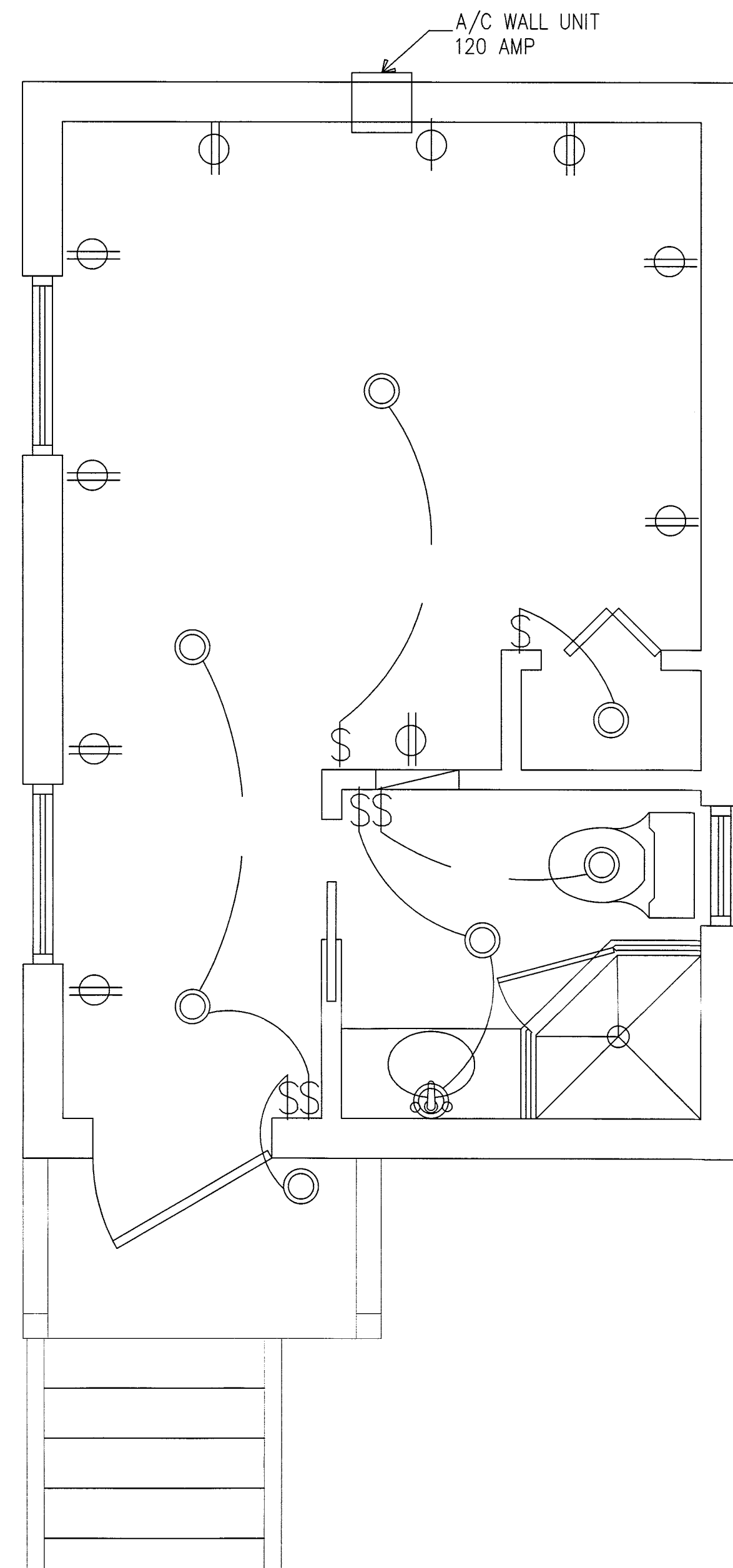
Revisions:

Title:
PROPOSED
ELEVATIONS

Sheet Number:
A-1
Date: AUGUST 8, 2014



1 PROPOSED FLOOR PLAN
SCALE: 1/2"=1'



2 PROPOSED ELECTRIC FLOOR PLAN
SCALE: 1/2"=1'

ELECTRICAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY TO USE.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
- NO PIPE, CONDUIT OR JUNCTION BOX SHALL BE INSTALLED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING EXISTING CONDITIONS AT THE SITE AND WITHIN THE BUILDING PRIOR TO BID.
- THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR NEW SERVICE AND ANY SPECIAL REQUIREMENTS.
- ELECTRICAL DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED OR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN BUT CONSIDERED NECESSARY FOR PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGES TO THE OWNER.
- ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT AREAS.
- ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN.
- EXISTING ELECTRICAL WORK, FEATURES AND EQUIPMENT INDICATED AND/OR REQUIRED TO BE REMOVED SHALL BE PROPERLY DISPOSED BY THE CONTRACTOR INCLUDING ABANDONED RACEWAYS, WIRING, BOXES, SWITCHES AND OTHER ELECTRICAL ITEMS NOT PLANNED TO REMAIN IN USE.
- ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN FINISHED AREAS EXCEPT AS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
- ALL WIRE SIZE SHALL BE #12 THHN/THWN UNLESS OTHERWISE NOTED ON DRAWINGS. CONDUCTORS #6 AND LARGER SHALL BE THW.
- ALL CONDUCTORS SHALL BE COPPER.
- ALL MATERIAL SHALL BE UL APPROVED.
- A TYPED PANEL TALLY SHALL BE AFFIXED TO THE PANEL DOOR AFTER COMPLETION OF WORK THAT REFLECTS ALL CHANGES AND ADDITIONS.
- ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED.
- ALL FLOOR PENETRATIONS SHALL BE SEALED WITH A FIRE SEAL SIMILAR TO "OZ" FLAMESCAL.
- ALL NON-POWER RELATED WIRING IN CEILING A/C PLENUM RUNNING WITHOUT CONDUIT SHALL BE TEFLON COATED CLASSIFIED FOR USE IN PLENUMS.
- ALL OUTLETS, SWITCHES AND COVER PLATES SHALL HAVE WHITE FINISH OR OTHER COLOR SELECTED BY OWNER AND LEVITON 5350/5252 SERIES OR EQUAL.
- ALL BRANCH CIRCUITS SHALL BE EQUIPPED WITH A GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH NEC 250.95.
- ALL EMPTY CONDUITS SHALL BE PROVIDED WITH NYLON PULL STRINGS.
- FUSES SHALL BE DUAL ELEMENT, TIME DELAY UNLESS OTHERWISE NOTED.
- ALL LUMINAIRES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH CEILING MANUFACTURER RECOMMENDATIONS IF APPLICABLE AND LOCAL REQUIREMENTS. MOUNTING DEVICES MUST BE CAPABLE OF SUPPORTING CEILING FAN FIXTURES.
- ALL RECESS CANS SHALL BE IC RATED, AND CONTROLLED BY DIMMER SWITCHES.
- ALL CABLES SHALL BE RUN WITHOUT SPLICES UNLESS OTHERWISE NOTED.
- PROVIDE REQUIRED CONNECTION FOR GARAGE DOOR OPENER(S), KITCHEN APPLIANCES, AND MECHANICAL EQUIPMENT.
- ALL BATHROOM, GARAGE AND EXTERIOR RECEPTACLE OUTLETS AND KITCHEN RECEPTACLE OUTLETS WITHIN 6' OF WATER SOURCE SHALL BE GFI PROTECTED. ALL EXTERIOR RECEPTACLE OUTLETS SHALL BE WATER-PROOF PROTECTED. ALL BEDROOM RECEPTACLE OUTLETS SHALL BE ARC FAULT PROTECTED IN ACCORDANCE WITH NEC 210-12.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE ELECTRICAL DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF THE WORK.
- ALL SMOKE DETECTORS SHALL BE WIRED IN TANDEM.

ELECTRICAL SYMBOL LIST

⊕	DUPLEX RECEPTACLE OUTLET	⊙	RECESSED INCANDESCENT FIXTURE
⊕	SWITCHED DUPLEX RECEPTACLE OUTLET	⊙	RECESSED ADJUSTABLE EYEBALL FIXTURE
⊕	GROUND FAULT INTERRUPT OUTLET	⊕	WATERPROOF EXTERIOR FIXTURE
⊕	WATERPROOF GROUND FAULT INTERRUPT OUTLET	⊕	VAPORPROOF FIXTURE
⊕	TOGGLE SWITCH	⊕	EXHAUST FAN/LIGHT FIXTURE COMBINATION
⊕	DIMMER SWITCH	⊕	JUNCTION BOX
⊕	3-WAY TOGGLE SWITCH	⊕	CABLE TV OUTLET
⊕	4-WAY TOGGLE SWITCH	⊕	EXHAUST FAN
⊕	CEILING MOUNTED FIXTURE	⊕	TELEPHONE OUTLET
⊕	PULL-CHAIN FIXTURE	⊕	DATA OUTLET
⊕	WALL MOUNTED FIXTURE	⊕	COMBO SMOKE/CO DETECTOR
⊕	FLUSH RECESSED FIXTURE	⊕	OVERHEAD GARAGE DOOR OPERATOR
⊕	CEILING MOUNTED DECORATIVE FIXTURE	⊕	PADDLE FAN
⊕	CLOSED LIGHT FIXTURE WITH COVERED LENS	⊕	PADDLE FAN WITH LIGHT
⊕	EMERGENCY LIGHT FIXTURE	⊕	OPTIONAL REINFORCED CLG. JUNCTION BOX W/ COVERPLATE

MARK	NOMINAL SIZE (W X H)	TYPE	MATERIAL	DESIGN PRESSURE	MANUFACTURER & MODEL NUMBER	WINDLOAD RATING & APPROVAL NUMBER
01	36"x80"	SINGLE HUNG	WHITE ALUMINUM	40.8/53.9	FL. BEST	PROVIDED BY CONTRACTOR
02	24"x24"	SINGLE HUNG	WHITE ALUMINUM	41.9/56.1	FL. BEST	PROVIDED BY CONTRACTOR

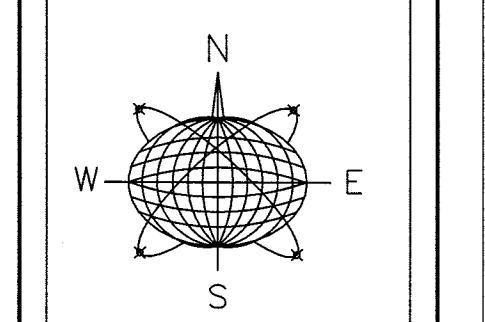
MARK	NOMINAL SIZE (W X H)	TYPE	MATERIAL	MANUFACTURER & MODEL NUMBER	DESIGN PRESSURES	WINDLOAD RATING & APPROVAL NUMBER
01	36"x80"	SINGLE IMPACT	WHITE ALUMINUM	BY CONTRACTOR	40.8/53.9	PROVIDED BY CONTRACTOR
02	24"x80"	POCKET DOOR	WOOD	BY CONTRACTOR	BY CONTRACTOR	PROVIDED BY CONTRACTOR
03	24"x80"	BI FOLD DOOR	WOOD	BY CONTRACTOR	BY CONTRACTOR	PROVIDED BY CONTRACTOR

NOTE: ALL BEDROOM WINDOWS ARE TO MEET FL. BLDG. CODE 2014 FOR EGRESS. A MIN. 5 SQ. FT. NET CLEAR OPENING IS REQUIRED WITH A MIN. NET CLEAR HEIGHT OF 24" & MIN. NET CLEAR WIDTH OF 20".

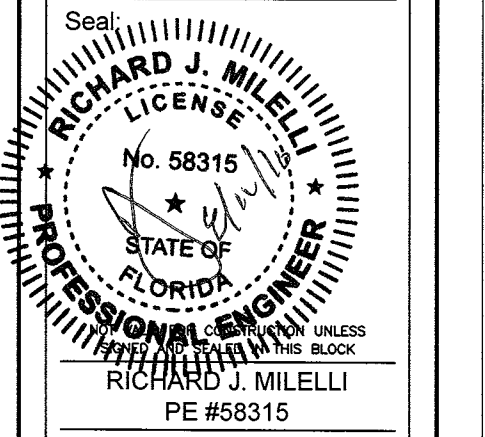
ADDITIONAL NOTES:

- CONTRACTOR TO PROVIDE THE NOAS.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW DIMENSIONS.
- CONTRACTOR TO FOLLOW ALL MANUF. INSTRUCTIONS FOR INSTALLATION.

• CONTRACTOR TO PROVIDE THE NOAS.
• CONTRACTOR TO FIELD VERIFY ALL DOOR DIMENSIONS.
• CONTRACTOR TO FOLLOW ALL MANUF. INSTRUCTIONS FOR INSTALLATION.



Meridian Engineering LLC
201 Front Street, Suite 210
Key West, Florida 33040
AUTHORIZATION #29401
ph:305-293-3283 fax:293-4899



General Notes:

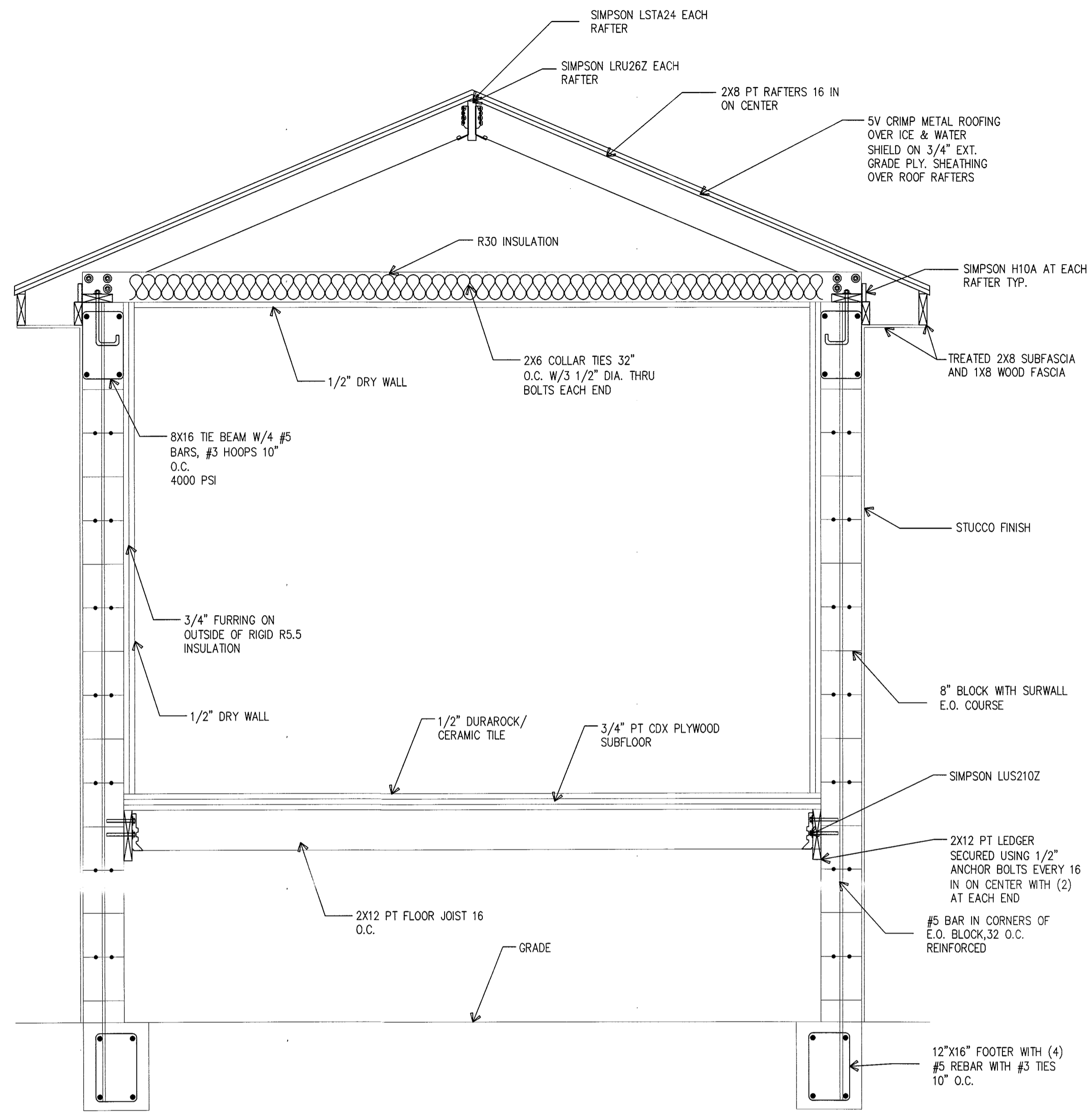
**RESIDENTIAL
ACCESSORY STRUCTURE**
408 CATHERINE ST
KEY WEST, FLORIDA

Drawn By: PCS
Checked By: RJM
Project No: 14-034
Scale: AS NOTED
AutoCad File No:

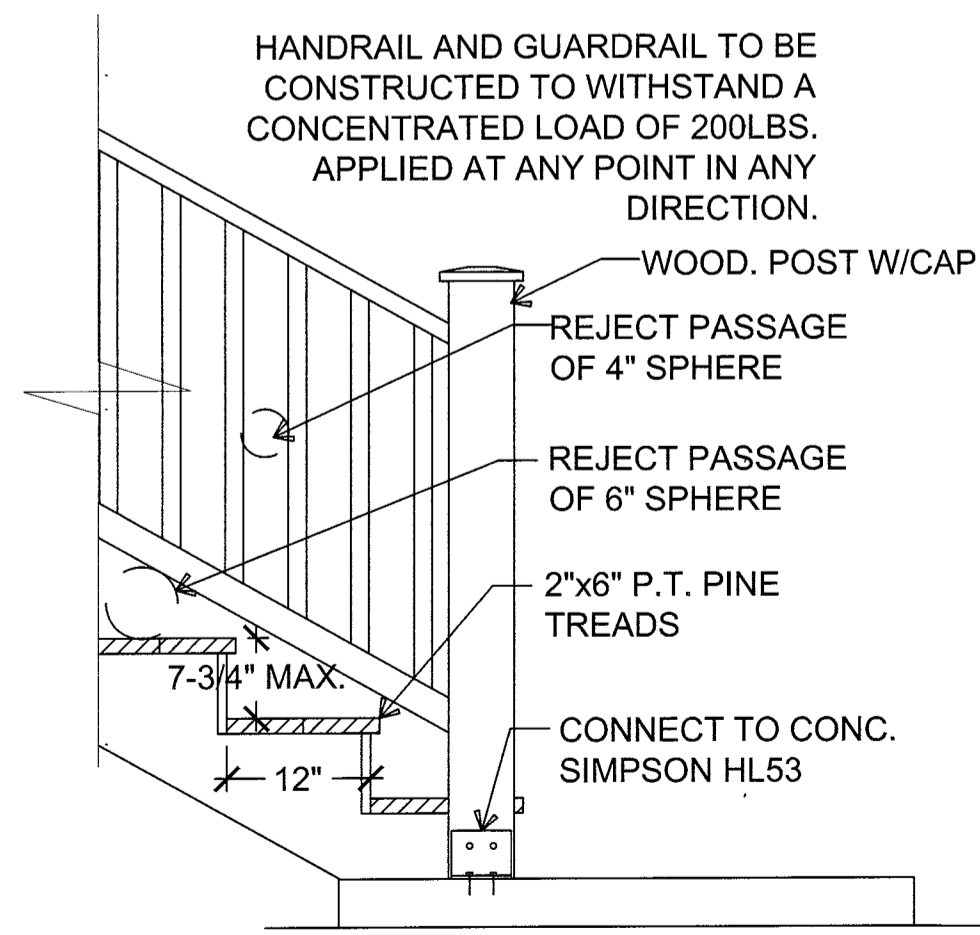
Revisions:

Title:
**PROPOSED
FLOOR
PLAN**

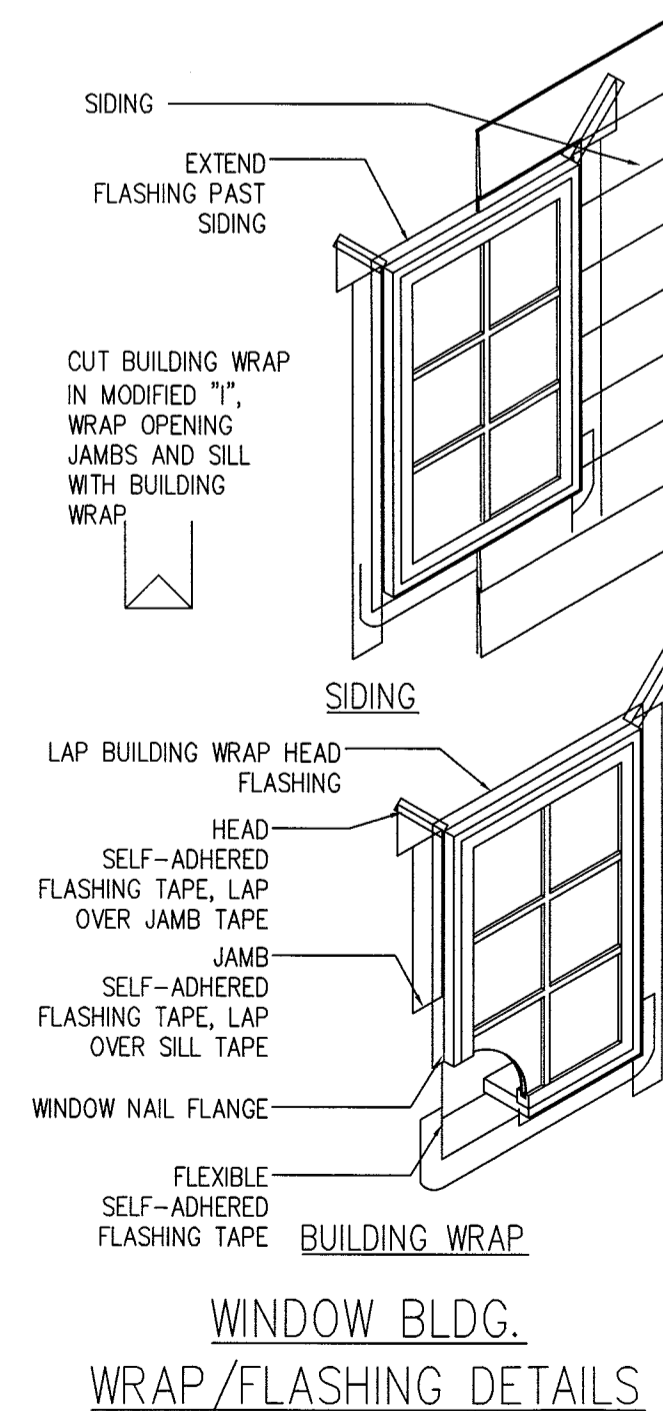
Sheet Number:
A-2
Date: AUGUST 8, 2014



1 WALL DETAIL
SCALE: 3/4"=1'



2 TYPICAL STAIRCASE DETAIL
SCALE: 3/4"=1'-0"



WOOD AND FRAMING NOTES

- EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC 19%, NO. 2 DENSE, AS GRADED BY THE SOUTHERN PINE INSPECTION BUREAU.
- ALL TIMBER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION AFC.
- ALL WOOD SHALL BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM INSECTS AND DECAY. ALLOW TO DRY AFTER TREATMENT. PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARRIER SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM WINDOW FRAMES.
- ALL WOOD CONNECTIONS SHALL HAVE SIMPSON STRONG-TIE CO. OR EQUAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER RECOMMENDED FASTENERS BEFORE LOADING.
- CUTTING AND NOTCHING OF FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:
 - NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. (INCLUDING BIRDS MOUTH CUTS).
 - NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.
 - THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS OF FOUR INCHES OR GREATER NOMINAL THICKNESS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.
 - HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE MEMBER DEPTH.
 - HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD OF STUD.
 - PROVIDE BLOCKING BETWEEN ALL JOISTS 2 X 6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT ALL SUPPORTS.
 - PROVIDE SOLID BLOCKING AT MID HEIGHT ON CENTER BETWEEN STUDS. (MINIMUM)
 - ALL WALL STUDS SHALL BE SPF NO. 2 DENSE GRADE OR BETTER.
 - SEE PLANS FOR WALL STUD SIZE AND SPACING.
 - ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND CONTINUOUS BOTTOM PLATES WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.
 - ALL LINTELS OVER ALL FRAMED OPENINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE.
 - 2 X 6 FOR INTERIOR OPENINGS UP TO 4'-0"
 - 2 X 6 FOR EXTERIOR OPENINGS UP TO 4'-0"
 - 2 X 8 FOR INTERIOR OPENINGS UP TO 6'-0"
 - 2 X 8 FOR EXTERIOR OPENINGS UP TO 6'-0"
 - 2 X 10 FOR INTERIOR OPENINGS UP TO 8'-0"
 - 2 X 10 FOR EXTERIOR OPENINGS UP TO 8'-0"
 - 2 X 12 FOR INTERIOR OPENINGS UP TO 10'-0"
 - 2 X 12 FOR EXTERIOR OPENINGS UP TO 10'-0"
 - EXTERIOR WALL STUDS SHALL BE STRAPPED TO ROOF TRUSSES OR RAFTERS WITH SIMPSON CONNECTORS OR EQUAL. PROVIDE 3 STUDS (MIN.) FOR GIRDER TRUSS AND BEAM BEARING POINTS.
 - WHERE WOOD JOISTS/BEAMS ETC. FRAME INTO OTHER MEMBERS INSTALL SIMPSON "LUS" SERIES GALVANIZED JOIST HANGERS.
 - PLYWOOD DECKING SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA). PLYWOOD SHEATHING SHALL MEET THE REQUIREMENTS OF US PRODUCT STANDARD PSI OR APA PRP-108. ALL PLYWOOD WITH AN EDGE EXPOSED TO THE EXTERIOR SHALL BE EXTERIOR GRADE. FLOOR DECKING SHALL BE 3/4" MINIMUM AND GLED AND FASTENED TO FLOOR FRAMING. ROOF DECKING SHALL BE 1/2" MINIMUM AND NAILED WITH 8D NAILS @ 6" IN THE FIELD AND 4" ALONG THE EDGES.
 - FINISH CARPENTRY SHALL INCLUDE TRIM, FRAMES, PANELING AND CABINETS. PROFILES AND PLASTIC LAMINATE ARE TO BE AS SELECTED BY THE OWNER OR NOTED ON THE DRAWINGS. CABINETS SHALL BE CUSTOM OR PREMIUM GRADES AS NOTED OR DETERMINED BY THE OWNER. PARTICLE OR PRESS BOARD SHALL NOT BE USED. SELECT GRADE SOUTHERN YELLOW PINE SHALL BE USED AS A QUALITY STANDARD FOR TRIM, FRAMES AND BASE UNLESS OTHERWISE NOTED. ALL WORK SHALL BE PERFORMED BY SKILLED FINISH CARPENTERS.
 - WOOD SHELVING SHALL BE 1" PLYWOOD WITH EDGE BANDING AND PAINTED.

STRUCTURAL NOTES

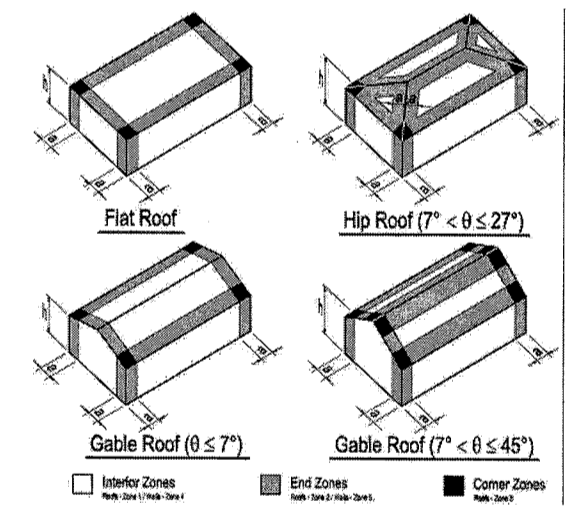
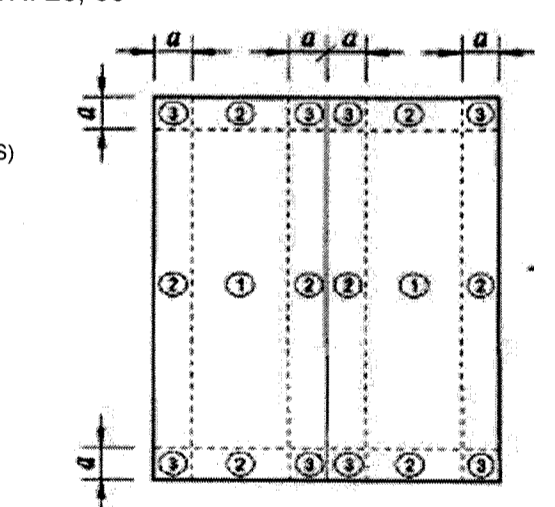
- THE WORK DEPICTED ON THESE DRAWINGS IS DESIGNED TO COMPLY WITH THE 2014 FLORIDA BUILDING CODE AND ASCE 7-10. THE BUILDING IS DESIGNED TO WITHSTAND THE PRESSURES ASSOCIATED WITH 180 MPH WIND LOADS IN ACCORDANCE WITH ASCE 7-10 AND A FLOOR LIVE LOAD OF 40 PSF.
- ENGINEERS WRITTEN APPROVAL MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS AND/OR MODIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL OPENINGS THROUGH FLOORS, ROOFS AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS. RESPECTIVE CONTRACTORS SHALL PROVIDE ALL HANGERS, CONNECTORS, ETC AND APPROVAL THEREOF.
- PROVIDE TEMPORARY BRACING AND SUPPORT NECESSARY TO WITHSTAND ALL CONSTRUCTION AND WIND LOADS UNTIL ALL FIELD CONNECTIONS ARE COMPLETED AND SHEAR WALLS AND DECKS ARE IN PLACE.
- PROVIDE SHOP AND ERECTION DRAWINGS FOR ALL REINFORCING, PRECAST CONCRETE, STRUCTURAL STEEL, LAMINATED FRAMING MEMBERS AND METAL DECKING AND VERIFY/COORDINATE EXISTING AND PROPOSED DIMENSIONS PRIOR TO FABRICATION.
- ALL PRECAST CONCRETE, STRUCTURAL STEEL AND OTHER MAJOR STRUCTURAL SHOP DRAWINGS SUBMITTED SHALL INCLUDE CALCULATIONS AND BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER.
- WATERPROOFING, VAPOR BARRIERS, WATERSTOPS, ETC SHALL BE PROVIDED AS INDICATED.

FOUNDATION & CONCRETE NOTES

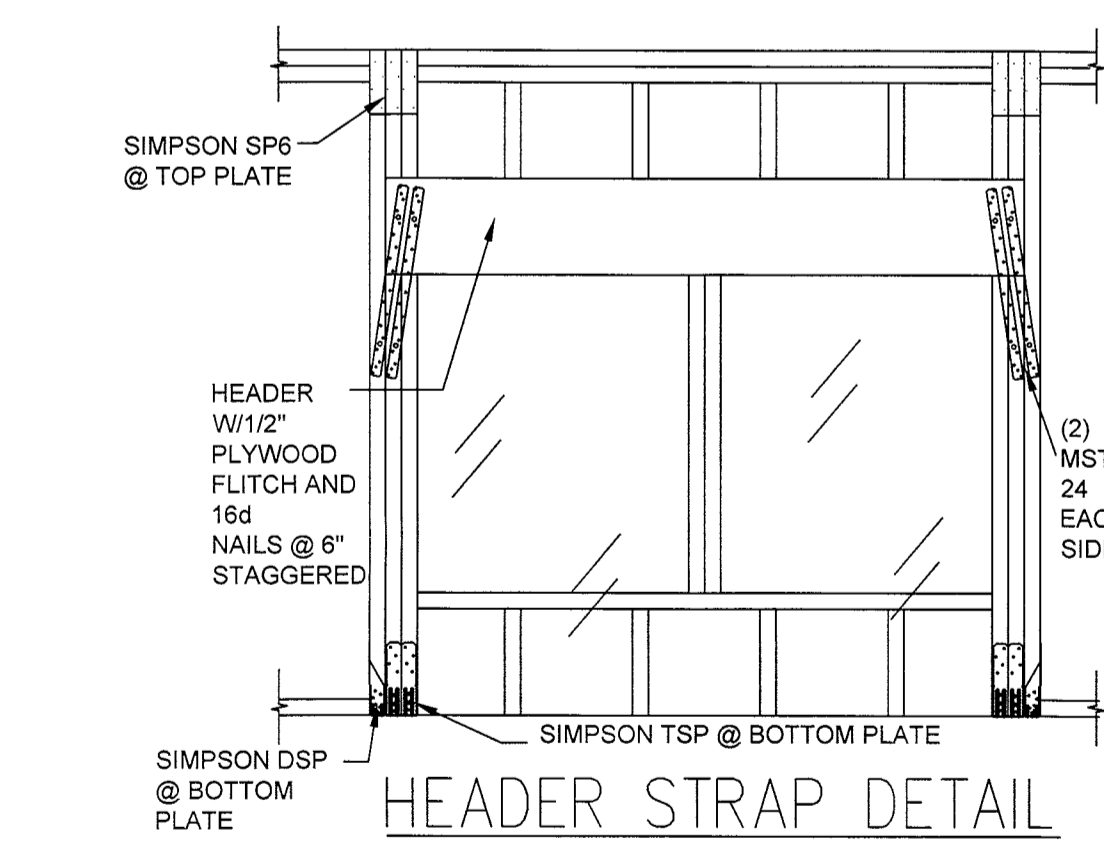
- ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
- AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK SHALL BE NO LESS THAN 16" DIAMETER NOR LESS THAN 3' INTO ROCK UNLESS OTHERWISE NOTED.
- CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR GRID LINES UNLESS OTHERWISE NOTED.
- ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
- ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
- CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
- MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 308R. HOT WEATHER CONCRETING. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE COVERED AND SPRAYED.
- ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES AND WIRED TOGETHER.
- REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
- LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
- PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES TO BE GALVANIZED.
- ANCHOR BOLTS, NUTS AND WASHERS SHALL BE GALVANIZED STEEL.
- MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS BE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.

ASCE 7-10 WIND LOAD DATA

PER FBC 2010 - CH. 28, 30
WIND SPEED 180 MPH
CATEGORY/EXPOSURE: I/IC
MEAN ROOF HEIGHT: 14.3'
ROOF ANGLE: 14.04 DEG.
WIND PRESSURES (PSF)
(PER FBC MULTIPLY BY 0.6 FOR APPLIED LOADS)
MONOSLOPE ROOF ZONES:



- Interior Zones**
Roofs - Zone 1 / Walls - Zone 4
- End Zones**
Roofs - Zone 2 / Walls - Zone 5
- Corner Zones**
Roofs - Zone 3



OPENING SIZE	BEAM
< OR = 6'-0"	(3) 2"x8" W/ (2) 1/2" PLYWOOD FLITCH
6'-0" - 8'-0"	(3) 2"x10" W/ (2) 1/2" PLYWOOD FLITCH
8'-0" - 10'-0"	(3) 2"x12" W/ (2) 1/2" PLYWOOD FLITCH

STUD SCHEDULE AT HEADERS	
< OR = 3'-0" OPENING	1 JACK STUD/1 KING STUD
3'-0" - 6'-0" OPENING	2 JACK STUDS/1 KING STUD
6'-0" - 8'-0" OPENING	2 JACK STUDS/2 KING STUDS
8'-0" - 10'-0" OPENING	2 JACK STUDS/3 KING STUDS
10'-0" - 12'-0" OPENING	3 JACK STUDS/3 KING STUDS

Meridian Engineering LLC
201 Front Street, Suite 210
Key West, Florida 33040
AUTHORIZATION #29401
ph: 305-293-5283 fax: 293-4899

Seal:

 RICHARD J. MILELLI
 PE #58315

General Notes:

RESIDENTIAL
ACCESSORY STRUCTURE
 408 CATHERINE ST
 KEY WEST, FLORIDA

Drawn By: PCS
Checked By: RJM
Project No: 14-034
Scale: AS NOTED
AutoCad File No.

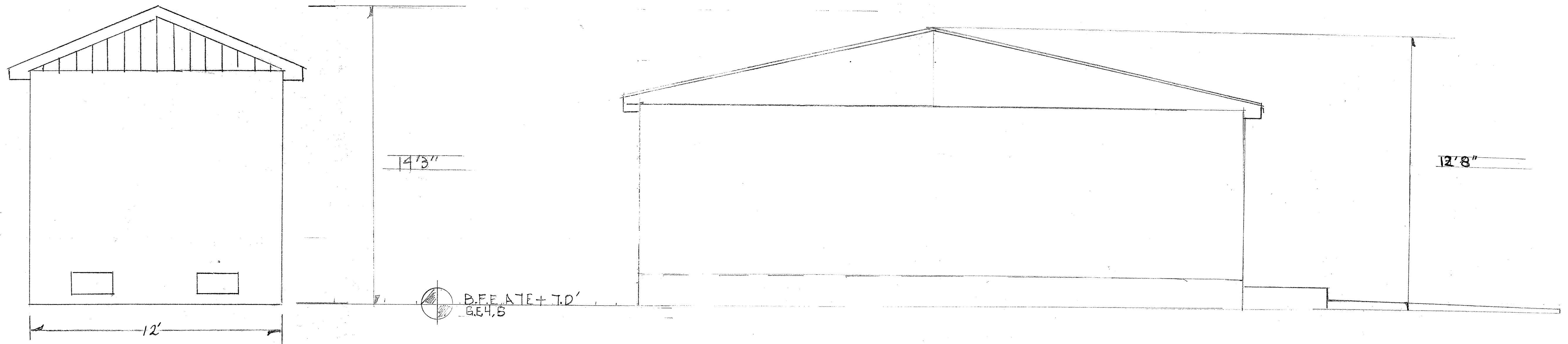
Revisions:

Title:
STRUCTURE
DETAILS

Sheet Number:
A-3

Date: AUGUST 8, 2014

408 CATHERINE



EAST ELEVATION

SCALE 3/8" = 1'

EXISTING HOUSE ELY.

SCALE 3/8" = 1'

404 CATHERINE ST.
KEY WEST FL.

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., September 27, 2016 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW ONE STORY ACCESSORY STRUCTURE.

FOR- #408 CATHERINE STREET

Applicant – Wayne Garcia

Application #H16-01-0899

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Samantha Jones, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
408 Catherine Street on the 19th day of September, 2016.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on September 27th, 2016;

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is #16-01-0899

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

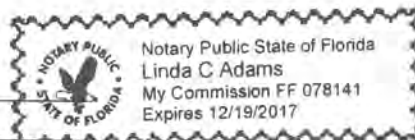
[Signature]
Date: 19th Sept 2016
Address: 1541 17th terrace
City: Key West
State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 19th day of September, 2016.

By (Print name of Affiant) SAMANTHA JONES who is personally known to me or has produced Driver's license as identification and who did take an oath.

NOTARY PUBLIC

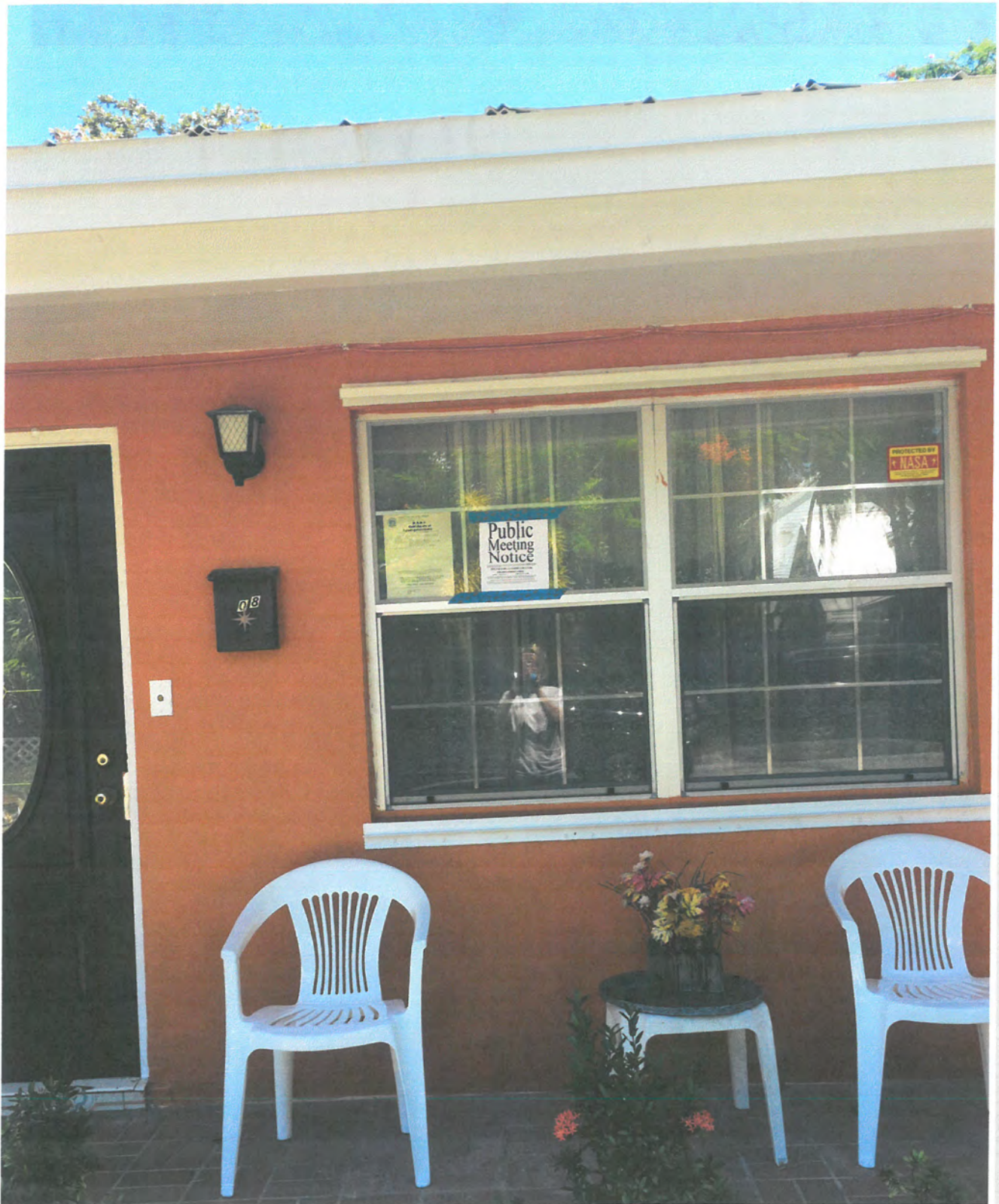
Sign Name: Linda C. Adams
Print Name: _____



Notary Public - State of Florida (seal)

From: sammyjlevin@gmail.com
Subject: 408 Catherine street
Date: September 19, 2016 at 1:34 PM
To: sammy levin sammyjlevin@gmail.com
Cc: Enid Torregrosa etorregrosa@cityofkeywest-fl.gov

SL



PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA Property Appraiser Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

[Home](#) [Departments](#) [Exemptions](#) [Save Our Homes](#) [Portability](#) [Homestead Fraud](#) [Contact Us](#)

[Property Search](#) [Tax Estimator](#) [GIS/Maps](#) [Millages/Taxroll Info](#) [Appeals/VAB](#) [Forms](#) [Office Requirements](#)

Website tested on IE8, IE9, & Firefox.
Requires Adobe Flash 10.3 or higher

Property Record Card -

Maps are now launching the new map application version.

[Return to Search Results](#) | [Modify Search](#) | [New Search](#) | [Send Email to MCPA Regarding this Parcel](#) | [Estimate Taxes on this Parcel](#)

[Previous Record](#) **Alternate Key: 1029921 Parcel ID: 00029140-000000** [Next Record](#)

Ownership Details

Mailing Address:

POITIER JUDITH WHEELER
408 CATHERINE ST
KEY WEST, FL 33040-3124

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 10KW

Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 408 CATHERINE ST KEY WEST

Legal Description: KW PT SUBS 19-20-21 PT LOT 3 SQR 9 TR 11 A1-80 OR424-1053/55 OR845-1377/78

Click Map Image to open interactive viewer

Monroe County Links

- » [Monroe County Home Page](#)
- » [BOCC](#)
- » [Growth Management](#)
- » [Building Dept.](#)
- » [Code Compliance](#)
- » [FEMA Flood Insurance Info](#)

Monroe County Constitutional Officers

- » [Clerk of the Courts](#)
- » [Sheriff's Office](#)
- » [Elections Supervisor](#)
- » [Tax Collector](#)

Monroe County Cities

- » [City of Key West](#)
- » [City of Marathon](#)
- » [City of Key Colony Beach](#)
- » [City of Layton](#)
- » [Islamorada, Village of Islands](#)

First Time Home Buyer (IRS)

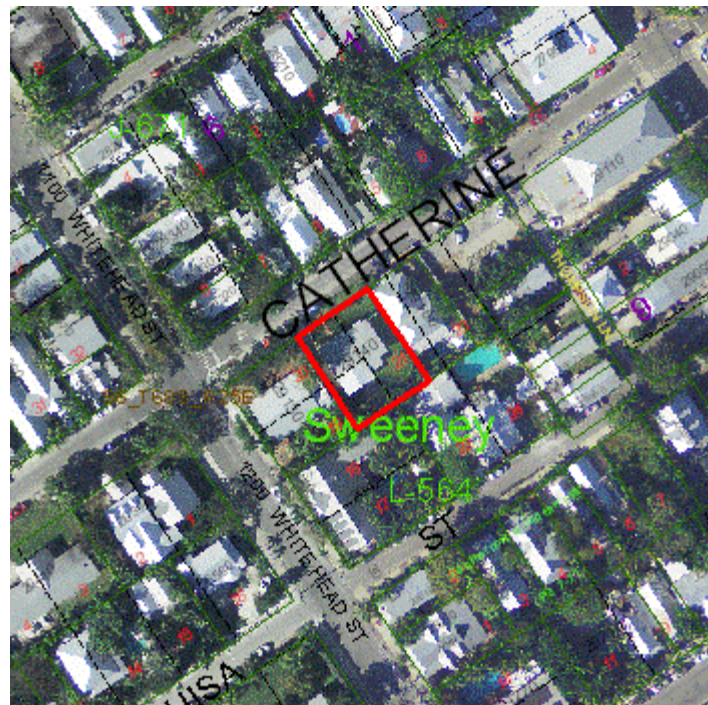
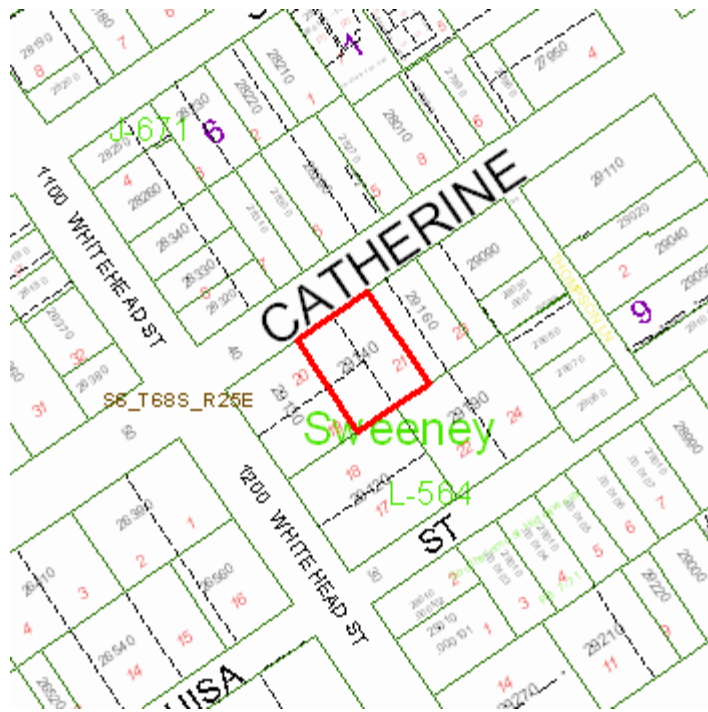
- » [Cancellation of Debt Flyer \(English\)](#)
- » [Cancellation of Debt Flyer \(Spanish\)](#)
- » [1st Time Homebuyers Fact Sheet](#)
- » [1st Time Homebuyers Basic Information](#)
- » [1st Time Homebuyers Scenarios](#)
- » [1st Time Homebuyers Q&A's](#)

IRS Links

- » [Make Work Pay Credit](#)
- » [Energy Conservation Credit](#)

Other Links

- » [FL Dept Rev - Property Tax Oversight](#)
- » [Census Info](#)



Exemptions

Exemption	Amount
44 - ADDL HOMESTEAD	25,000.00
39 - 25000 HOMESTEAD	25,000.00

Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	66	84	5,519.00 SF

Building Summary

Number of Buildings: 1
Number of Commercial Buildings: 0
Total Living Area: 1314
Year Built: 1969

Building 1 Details

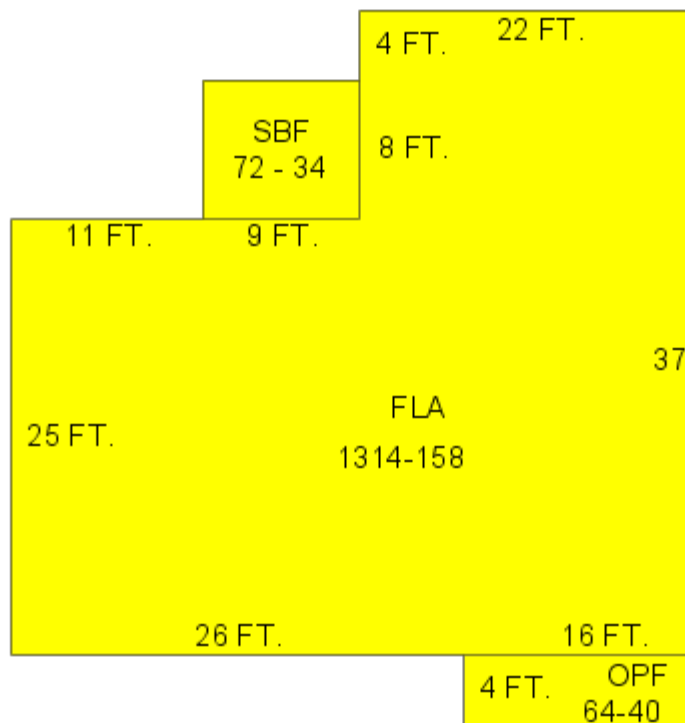
Building Type R1	Condition G
Effective Age 15	Perimeter 158
Year Built 1969	Special Arch 0
Functional Obs 0	Economic Obs 0

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP	Roof Cover METAL
Heat 1 NONE	Heat 2 NONE
Heat Src 1 NONE	Heat Src 2 NONE

Extra Features:

2 Fix Bath	0
3 Fix Bath	0
4 Fix Bath	0
5 Fix Bath	0
6 Fix Bath	0
7 Fix Bath	0
Extra Fix	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %
1	FLA	5:C.B.S.	1	1992	N	N	0.00
2	OPF		1	1992	N	N	0.00
3	SBF	1:WD FRAME	1	1998			

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT3:PATIO	314 SF	0	0	1968	1969	2	50
2	FN2:FENCES	92 SF	0	0	1968	1969	2	30
3	AC2:WALL AIR COND	2 UT	0	0	1988	1989	2	20
4	AC2:WALL AIR COND	1 UT	0	0	1989	1990	1	20
5	PT5:TILE PATIO	54 SF	0	0	1998	1999	3	50
6	FN2:FENCES	444 SF	74	6	2003	2004	2	30

Appraiser Notes

*****HURRICANE WILMA DAMAGE*****

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
10-3004	09/15/2010	02/02/2010	800		RUBBER ROLL ROOFING
1 9900521	02/12/1999	08/10/1999	385	Residential	SEC ALARM
2 04-0934	03/26/2004	12/31/2004	1,800	Residential	INSTALL PICKET FENCE
3 05-5344	11/29/2005	07/07/2006	500	Residential	GENERAL REPAIRS UTILITY SHED HURRICANE WILMA DAMAGE

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	141,834	3,747	445,586	591,167	188,453	25,000	163,453
2015	147,349	3,324	280,986	431,659	187,143	25,000	162,143
2014	140,007	3,094	230,036	373,137	185,658	25,000	160,658
2013	141,617	3,151	273,853	418,621	182,914	25,000	157,914
2012	144,835	3,208	170,702	318,745	179,856	25,000	154,856
2011	143,226	3,281	173,335	319,842	174,617	25,000	149,617
2010	135,180	3,337	191,320	329,837	172,036	25,000	147,036
2009	152,086	3,394	255,094	410,574	167,513	25,000	142,513
2008	139,868	3,467	767,141	910,476	167,346	25,000	142,346
2007	234,166	3,524	965,825	1,203,515	162,472	25,000	137,472
2006	303,833	3,580	496,710	804,123	147,604	25,000	122,604
2005	254,372	3,652	413,925	671,949	153,892	25,000	128,892
2004	145,087	2,156	413,925	561,168	149,410	25,000	124,410
2003	151,682	2,166	126,937	280,785	146,625	25,000	121,625
2002	128,296	2,176	110,380	240,852	143,189	25,000	118,189
2001	118,793	2,206	110,380	231,379	140,935	25,000	115,935
2000	118,793	2,970	88,304	210,067	136,831	25,000	111,831
1999	70,731	2,034	88,304	161,069	133,234	25,000	108,234
1998	60,197	1,869	88,304	150,370	131,136	25,000	106,136
1997	60,197	2,005	77,266	139,468	128,944	25,000	103,944
1996	46,276	1,647	77,266	125,189	125,189	25,000	100,189
1995	46,276	1,753	77,266	125,295	123,561	25,000	98,561
1994	41,385	1,662	77,266	120,313	120,313	25,000	95,313

1993	41,385	502	77,266	119,153	119,153	25,000	94,153
1992	35,320	0	77,266	112,586	112,586	25,000	87,586
1991	35,320	0	77,266	112,586	112,586	25,000	87,586
1990	33,745	0	62,089	95,834	95,834	25,000	70,834
1989	30,677	0	60,709	91,386	91,386	25,000	66,386
1988	25,089	0	49,671	74,760	74,760	25,000	49,760
1987	24,789	0	34,494	59,283	59,283	25,000	34,283
1986	24,918	0	33,114	58,032	58,032	25,000	33,032
1985	23,894	0	29,209	53,103	53,103	25,000	28,103
1984	22,464	0	29,209	51,673	51,673	25,000	26,673
1983	22,464	0	19,656	42,120	42,120	25,000	17,120
1982	22,906	0	17,035	39,941	39,941	25,000	14,941

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

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Monroe County Property Appraiser
 Scott P. Russell, CFA
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