

**DATE:** July 8, 2024

**RE:** 1615 Venetian Drive (permit application # T2024-0199)

**FROM:** Amy Dismukes

An application was received requesting the removal of **(1) Gumbo limbo tree due to renovation of the existing residence.** A site inspection was done and documented the following.

**TREE SPECIES:**

Gumbo Limbo  
*(Bursea simaruba)*

**note: tree was  
not flagged for  
inspection**





View of tree on the “front” side, from the street. It is growing into a fence.



If left in place, roots will eventually reach the structure and may do damage. House appears to be on a slab.



It looks as though there had at one time been soil added to this area? The roots of the tree may have lifted this section of fencing and soil was added to close the space? Note:  
this is speculation



View of the tree from the canal, growing against and under the wall.



Canopy growth is upright with several leaders that have been cut and are producing adventitious tissue that makes weakly attached branches.

**Diameter: 14.6**

**Location: 55%** (tree is on the side of the residence, about half way back, against a fence)

**Species: 100%** (on the protected tree list)

**Condition: 60%** (fair overall condition but the canopy growth is very upright, with a lot of adventitious growth on previously cut limbs)

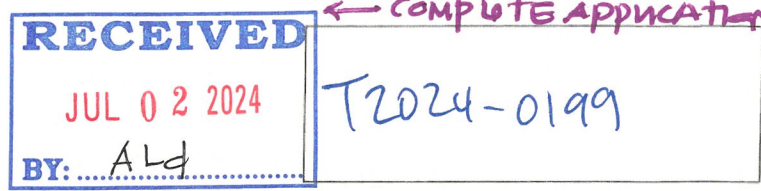
**Total Average Value = 72%**



**Value x Diameter = 10.5 replacement caliper inches**

# Application





← COMPLETE APPLICATION 7/2/24

INCOMPLETE APPLICATIONS NOT STAMPED

### Tree Permit Application

Please Clearly Print All Information unless indicated otherwise. Date: 6-12-2024

Tree Address 1615 Venetian Dr,  
 Cross/Corner Street Airport Blvd.  
 List Tree Name(s) and Quantity 1 Gumbo Limbo tree

#### Reason(s) for Application:

- Remove  Tree Health ( ) Safety  Other/Explain below
- ( ) Transplant ( ) New Location ( ) Same Property ( ) Other/Explain below
- ( ) Heavy Maintenance Trim ( ) Branch Removal ( ) Crown Cleaning/Thinning ( ) Crown Reduction

Additional Information and Explanation According to Truly Nolan, active subterranean termites have caused considerable damage to the house which is being renovated.

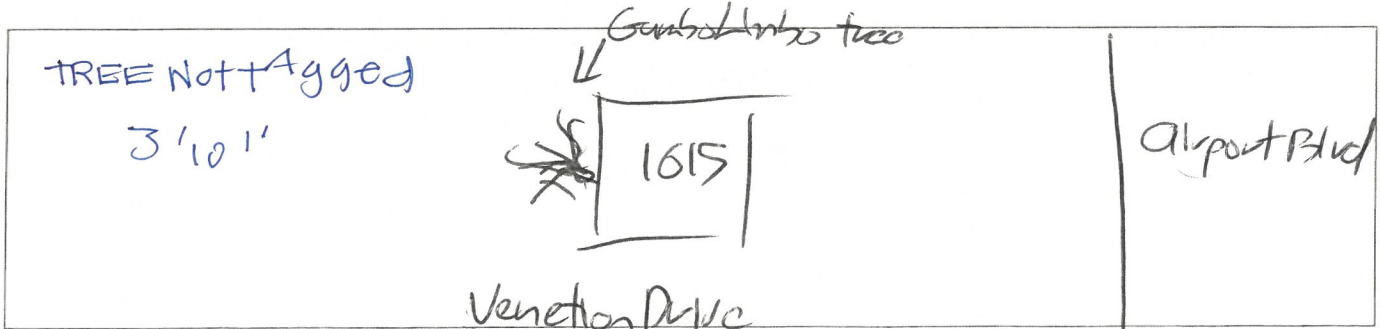
Property Owner Name Belinda Rodriguez  
 Property Owner email Address Belindarodkw73@gmail.com  
 Property Owner Mailing Address 1615 Venetian Drive  
 Property Owner Phone Number 305-896-4382  
 Property Owner Signature \_\_\_\_\_

\*Representative Name Kenneth King  
 Representative email Address \_\_\_\_\_  
 Representative Mailing Address 1602 Laid St  
 Representative Phone Number 305-296-8101

\*NOTE: A Tree Representation Authorization form must accompany this application if someone other than the owner will be representing the owner at a Tree Commission meeting or picking up an issued Tree Permit.

As of August 1, 2022, application fees are required. See back of application for fee amounts.

Sketch location of tree (aerial view) including cross/corner street. Please identify tree(s) on the property regarding this application with colored tape or ribbon.



\$50  
 20  
 \$70



# Tree Representation Authorization

Attendance at the Tree Commission meeting on the date when your request will be discussed is necessary in order to expedite the resolution of your application. This Tree Representation Authorization form must accompany the application if the property owner is unable to attend or will have someone else pick up the Tree Permit once issued.

Please Clearly Print All Information unless indicated otherwise.

Date 5/19/24

Tree Address 1615 Venetian Drive

Property Owner Name Belinda Rodriguez

Property Owner Mailing Address 1615 Venetian Drive

Property Owner Mailing City, State, Zip Key West, FL 33040

Property Owner Phone Number 305 896-4382

Property Owner email Address Belindarodkw73@icloud.com

Property Owner Signature Belinda Rodriguez

Representative Name Kenneth King

Representative Mailing Address 1602 Canal St.

Representative Mailing City, State, Zip Key West FL 33040

Representative Phone Number 305-296-8101

Representative email Address \_\_\_\_\_

I Belinda Rodriguez hereby authorize the above listed agent(s) to represent me in the matter of obtaining a Tree Permit from the City of Key West for my property at the tree address above listed. You may contact me at the telephone listed above if there are any questions or need access to my property.

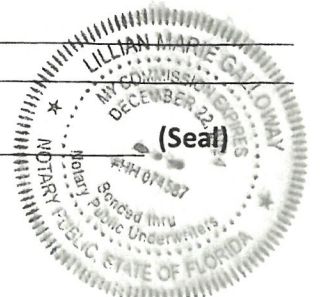
Property Owner Signature Belinda Rodriguez

The forgoing instrument was acknowledged before me on this 19<sup>th</sup> day May 2024.  
By (Print name of Affiant) Belinda Rodriguez who is personally known to me or has produced \_\_\_\_\_ as identification and who did take an oath.

### Notary Public

Sign name: L Marie Galloway  
Print name: L Marie Galloway

My Commission expires: 12/22/2024 Notary Public-State of Florida



# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00070750-000000  
**Account#** 1074586  
**Property ID** 1074586  
**Millage Group** 10KW  
**Location** 1615 VENETIAN Dr, KEY WEST  
**Address**  
**Legal** LT 64 AMENDED PLAT OF RIVIERA SHORES-FIRST ADDN PB5-88 OR627-446  
**Description** OR693-714 OR1029-2099 OR1182-253R/S OR1196-2102/2103R/S OR1261-368D/C OR1345-2352/3R/S OR1373-2356-C OR1579-1245 OR3263-1449  
(Note: Not to be used on legal documents.)  
**Neighborhood** 6249  
**Property Class** SINGLE FAMILY RESID (0100)  
**Subdivision** Amended Plat of Riviera Shores First Addn  
**Sec/Twp/Rng** 04/68/25  
**Affordable Housing** No



### Owner

RODRIGUEZ BELINDA  
 1615 Venetian Dr  
 Key West FL 33040

### Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$233,583	\$237,122	\$206,560	\$206,560
+ Market Misc Value	\$18,463	\$18,497	\$18,228	\$16,262
+ Market Land Value	\$957,600	\$498,400	\$327,600	\$322,000
= Just Market Value	\$1,209,646	\$754,019	\$552,388	\$544,822
= Total Assessed Value	\$381,176	\$370,074	\$359,296	\$354,336
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$356,176	\$345,074	\$334,296	\$329,336

### Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$498,400	\$237,122	\$18,497	\$754,019	\$370,074	\$25,000	\$345,074	\$383,945
2021	\$327,600	\$206,560	\$18,228	\$552,388	\$359,296	\$25,000	\$334,296	\$193,092
2020	\$322,000	\$206,560	\$16,262	\$544,822	\$354,336	\$25,000	\$329,336	\$190,486
2019	\$333,200	\$209,598	\$16,296	\$559,094	\$346,370	\$25,000	\$321,370	\$212,724
2018	\$334,600	\$212,636	\$14,612	\$561,848	\$339,912	\$25,000	\$314,912	\$221,936

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL CANAL (010C)	5,600.00	Square Foot	56	100



# Service Slip / Invoice

**INVOICE:** 720335185  
**DATE:** 05/08/24  
**ORDER:** 720335185

[72022428]  
**Bill-To:** Belinda Rodriguez  
 1615 Venetian Dr  
 Key West, FL 33040-5221

[72022428] 305-896-4382  
**Work Location:** Belinda Rodriguez  
 1615 Venetian Dr  
 Key West, FL 33040-5221

<b>Work Date</b>	<b>Time</b>	<b>Target Pest</b>	<b>Technician</b>	<b>Time In</b>
05/08/24	10:10 AM			
<b>Purchase Order</b>		<b>Terms</b>	<b>Last Service</b>	<b>Map Code</b>
			05/08/24	KW
				<b>Time Out</b>

<b>Service</b>	<b>Description</b>	<b>Amount</b>
TC TOTAL TERM	Total Termite Protection	\$3,160.00

Initial Order - Cb4 ttp Active subs found in gumbo Lumbo on left side of home as well as some damage in the window frames in the exposed open walls on the left side of the house cb4 do all of the ttp

<b>SUBTOTAL</b>	\$3,160.00
<b>TAX</b>	\$0.00
<b>TOTAL</b>	\$3,160.00

*[Signature]*  
 \_\_\_\_\_  
 TECHNICIAN SIGNATURE

Pesticide / Product	%	UOM	Amount	Pesticide / Product	%	UOM	Amount
			5				
			6				
			7				
			8				

**Location of Treatment: Numbers correspond to line numbers above**

_____ Kitchen	_____ Living Room	_____ Dining Room(s)	_____ Bed Room(s)
_____ Attic	_____ Shed(s)	_____ Garage(s)	_____ Crawlspace(s)
_____ Office(s)	_____ Lawn Area	_____ Dumpster Area	_____ Basement(s)
_____ Bar(s)	_____ Store Room	_____ Rodent Burrow	_____ Rodent Pathway
_____ Bathroom(s)	_____ Other	_____ Family Room / Den	_____ Laundry / Utility

**Site of Treatment: Numbers correspond to line numbers above**

_____ Baseboards	_____ Cabinets	_____ Carpeting	_____ Under and Behind
_____ Sill Area	_____ Eaves	_____ Wall Voids	_____ Kitchen Equipment
_____ Outside Perimeter	_____ Outside Beddings	_____ Furniture	
_____ Other		_____ Other	

**Method of Treatment: Numbers correspond to line numbers above**

_____ Spot Treatment	_____ ULV Machine	_____ Broadcast	_____ Fan Spray
_____ Space Spray	_____ C & C Aerosol	_____ Duster	_____ Air Sprayer
_____ Fumigation	_____ Granulate	_____ Rat Station	_____ Mouse Station
_____ Actisol Machine	_____ Drill & Treat Voids	_____ Slab Injector	_____ Total Release Aerosol
_____ Other		_____ Other	

\* Balances outstanding over 30 days from the date of service may be subject to a late fee of the lesser of 1.5% per month (18% per year) or the maximum allowed by law. Customer agrees to pay accrued expenses in the event of collection.

I hereby acknowledge the satisfactory completion of all services rendered, and agree to pay the cost of services as specified above.

**PLEASE PAY FROM THIS INVOICE**

Customer is unavailable to sign  
 \_\_\_\_\_  
 CUSTOMER SIGNATURE



**Belinda Rodriguez**  
 1615 Venetian Dr  
 Key West, FL 33040-5221  
 305-896-4382

**Total Termite Protection**  
 Location # 72022428  
 Order/Invoice # 720335185

**Balance**  
 Prior to Service \$0.00  
 Service Rate \$3,160.00  
 Sales Tax \$0.00  
 Total \$3,160.00


Amount Collected: \$3,160.00

**TOTAL DUE \$0.00**

You can get a \$25.00 referral bonus!

<b>Date:</b> 05/08/24 <b>Time In:</b> 10:10 AM <b>Time Out:</b> 02:06 PM		<b>Truly Nolen of America, Inc.</b> 1-800-Go Truly www.TrulyNolen.com  Truly Nolen Branch 072 100105 Overseas Highway Key Largo, FL 33037 305-451-9900  License: 4851																				
<b>Materials Used</b> <table border="1"> <thead> <tr> <th></th> <th>%</th> <th>Amount</th> </tr> </thead> <tbody> <tr> <td>TIM-BOR PROFESSIONAL.(64405-8)</td> <td>10.000</td> <td>16.0 GA</td> </tr> <tr> <td>Premise 2 Insecticide.(432-1331)</td> <td>0.050</td> <td>16.0 GA</td> </tr> <tr> <td>Termidor SC (WDO)(7969-210)</td> <td>0.125</td> <td>115.0 GA</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				%	Amount	TIM-BOR PROFESSIONAL.(64405-8)	10.000	16.0 GA	Premise 2 Insecticide.(432-1331)	0.050	16.0 GA	Termidor SC (WDO)(7969-210)	0.125	115.0 GA								
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Premise 2 Insecticide.(432-1331)	0.050	16.0 GA																				
Termidor SC (WDO)(7969-210)	0.125	115.0 GA																				
<b>Target Pest:</b> Subterranean Termite, Dry Wood Termite		Warning: Pesticides can be harmful. Keep children and pets away from pesticide applications until dry, dissipated or aerated. For more information contact Truly Nolen Exterminating at (305) 451-9900.																				

<b>Truly Nolen Three Zone Protection®</b> We tended to the following areas:		
<u>Green Zone (Perimeter)</u>	<u>Yellow Zone (Entry)</u>	<u>Red Zone (Interior)</u>

<b>Technician:</b> Francy Delsy - Cert/Lic#: <b>Additional Service Notes:</b>	<b>Customer Signature Name:</b> Customer is unavailable to sign <b>Technician Signature:</b>  <b>Customer Signature:</b>
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**Fwd: Letter**

Belinda Rodriguez <belindarodkw73@icloud.com>

Tue 5/21/2024 5:00 PM

To:ods06537cpc <ods06537cpc@officedepot.com>

[CAUTION: EXTERNAL SENDER]

Sent from my iPhone

Begin forwarded message:

**From:** Belinda Rodriguez <belindarodkw73@icloud.com>

**Date:** May 21, 2024 at 2:27:35 PM EDT

**To:** belinda.rodriguez@keysschools.com

**Subject:** Fwd: Letter

Sent from my iPhone

Begin forwarded message:

**From:** bogdan pamporov <keystodo@gmail.com>

**Date:** May 21, 2024 at 1:45:39 PM EDT

**To:** belindarodkw73@icloud.com

**Subject:** Letter

To whom it may concern,

After observing an exterior wall framing at the proper On 1615 Venetian dr, Key West we discovered termite damaged members . We also found active termites at the same area of the exterior wall.

Find the attached pictures.

Bogdan Pamporov

Keys to do LLC











