



**Historic Architectural Review Commission  
Staff Report for Item 10**

**To:** Chairman Haven Burkee and Historic Architectural Review  
Commission Members

**From:** Matthew Crawford  
Historic Preservation Assistant

**Meeting Date:** September 23, 2025

**Applicant:** Bender and Associates Architects

**Application Number:** C2025-0079

**Address:** 1400 Duval Street

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**Description of Work**

New bathroom structures for pool and bar area.

**Site Facts**

The property under review contains historic Queen Anne Revival buildings as primary structures. The principal buildings are listed as a contributing resource within the historic district, built circa 1886 and 1906. The structure under review is a non-historic one-story structure located at the front of the property, adjacent to the pocket park located on the Southern end on Duval Street.



*Historic Photo circa 1940.*



*Photo of Existing Structure (North Elevation).*



*Existing Accessory Structure (East Elevation)*



*Existing Accessory Structure (South Elevation)*



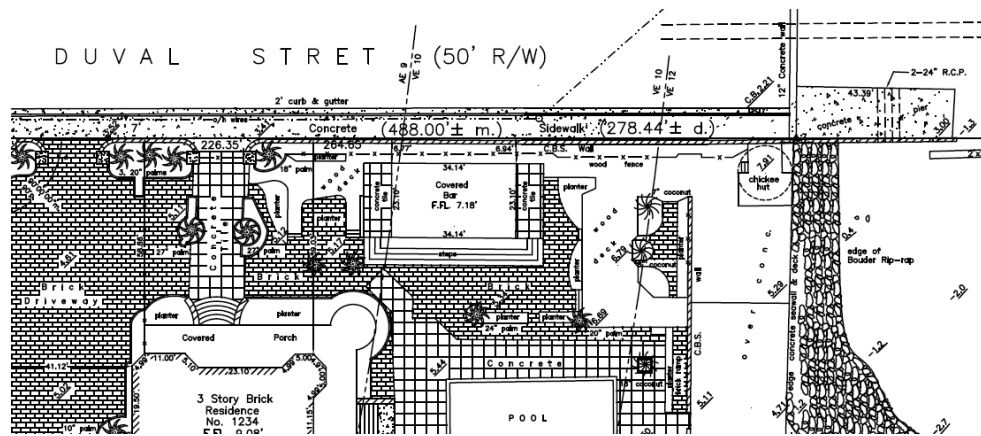


*Proposed Area for New Bathroom.*

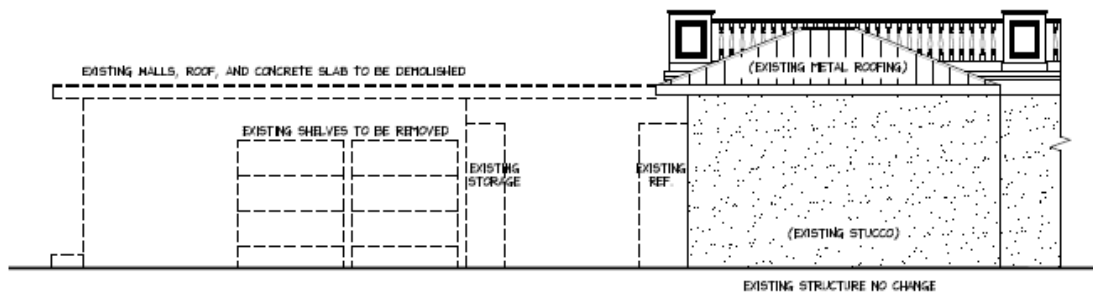


*Proposed Area for New Bathroom.*



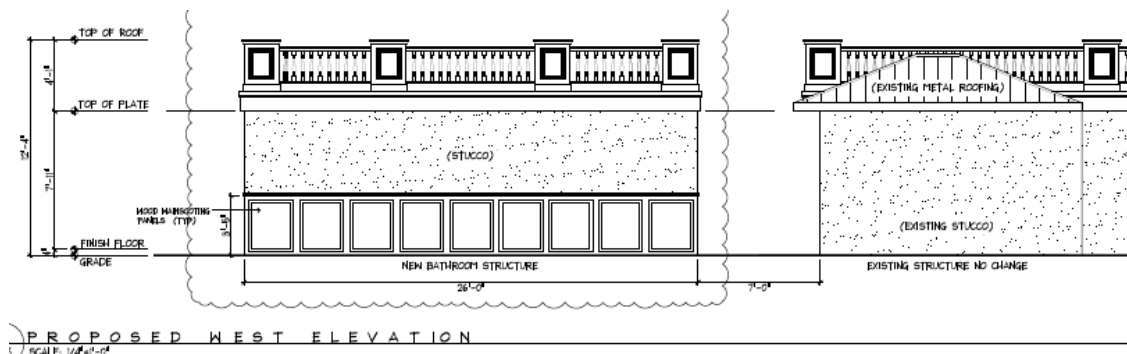


1962 Sanborn Map & Existing Site Plan.



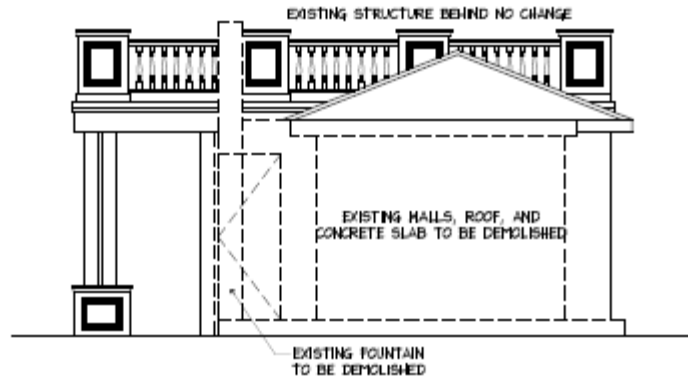
6  
A3  
EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

Existing West Elevation



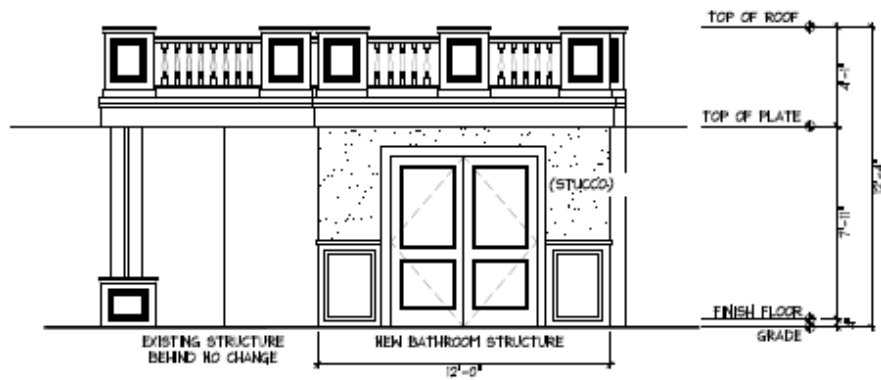
7  
A3  
PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

Proposed West Elevation



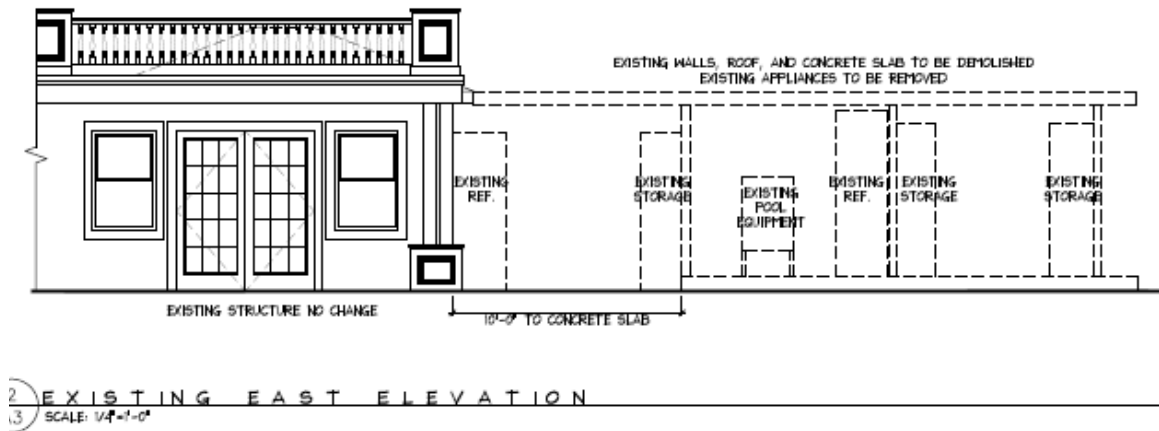
4  
A3 EXISTING SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

*Existing South Elevation*

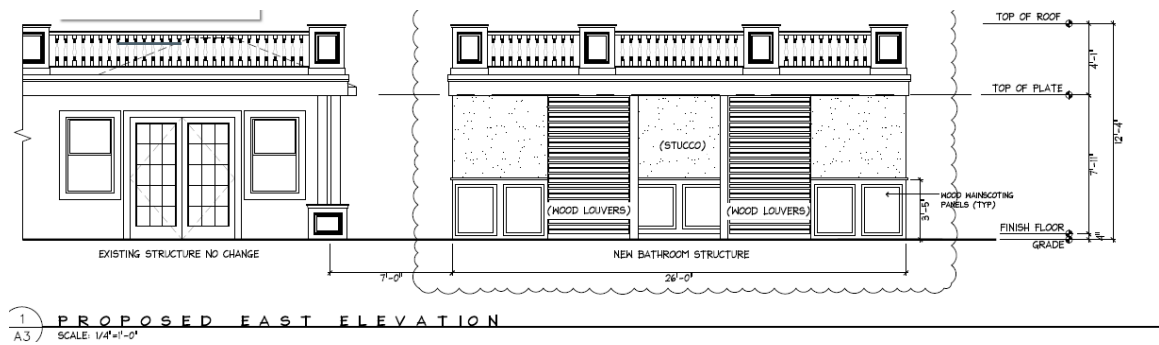


5  
3 PROPOSED SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

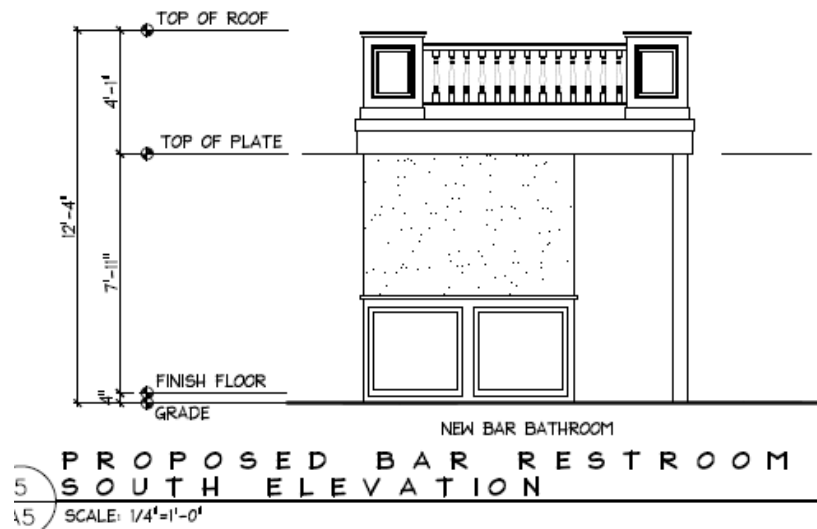
*Proposed South Elevation*



*Existing East Elevation*



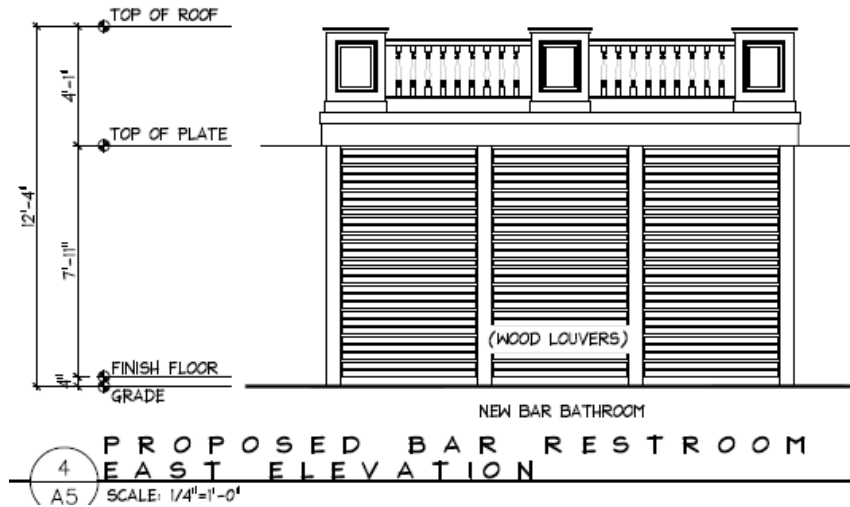
*Proposed East Elevation*



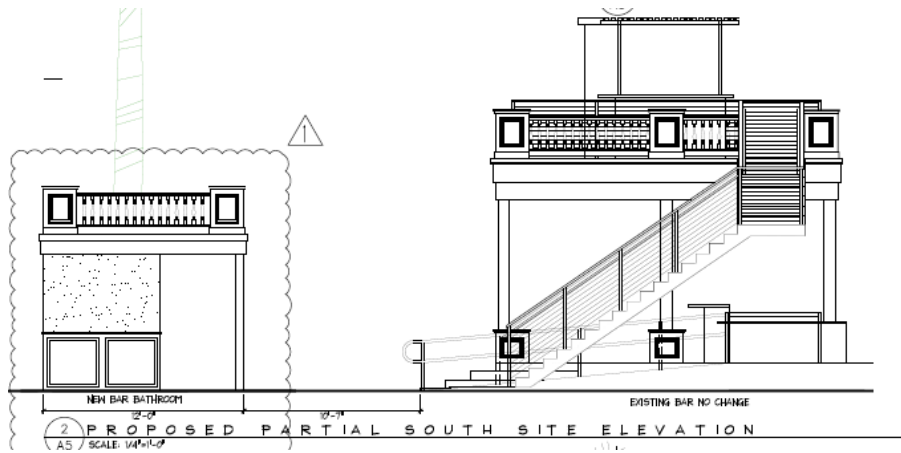
*Proposed*

*Bar Restroom South Elevation*

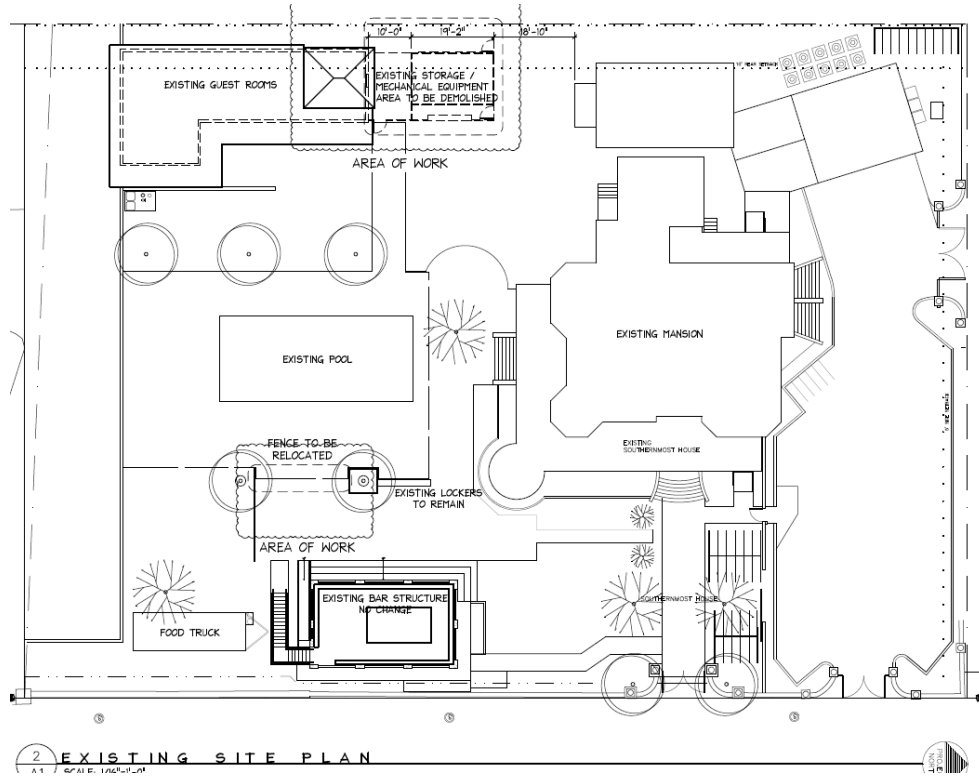




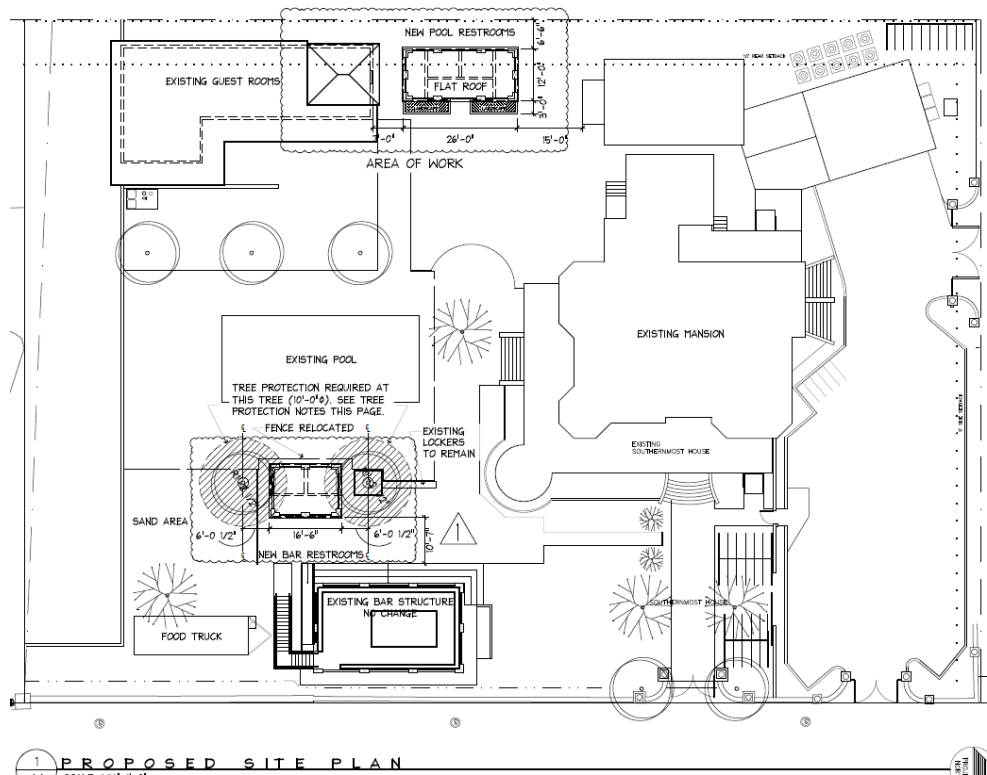
*Proposed Bar Restroom East Elevation*



*Proposed Partial South Elevation*



Existing Site Plan



Proposed Site Plan

## **Guidelines Cited on Review**

- Building Exteriors (Page 24), Specifically guideline 2.
- Additions and Alterations (pages 37a-37k), specifically guidelines 1, Location paragraph, 12, 13, 15, & 25.
- New Construction (pages 38a-38q), specifically Context section and guidelines 1, 2, 8, 12, 13, 14, 18, 20, and 22.
- Decks, Patios, hot tubs, spas, pools, and related equipment (page 39), specifically guideline 1.
- Outbuildings: Carports, Gazebos, Garages, Sheds, Shelters, Accessory Structures (pages 40-41), specifically guidelines 1, 2, 3, 4, 10, and 11.

## **Staff Analysis**

The Certificate of Appropriateness under review proposes two new restroom buildings on the site. One of the restroom buildings will be built next to the existing rear guest rooms. The other will be built between the existing pool and bar. Both structures will have stucco siding with wood wainscoting panels. There will be wood louvers with 6x6 columns to block the view of the bathroom doors on each of the bathrooms. There will also be a similar railing to that of the bar with spindle columns. However, neither of these roof areas will be accessible to the public like the bar roof.

## **Consistency with Guidelines Cited Guidelines**

Staff finds the current proposal to be overall consistent with the cited guidelines. The proposed mass, scale, form, proportions, location, and materials for the new accessory structures are appropriate to the historic principal structure and the surrounding context. The design of the proposed buildings follows Guideline 2 of New Construction as the design mirrors that of the bar on the property with the roof railing. The scale and massing are appropriate for the site as both are smaller than the main structure on the property. The locations of both structures follow the Guidelines for Additions as both are proposed in the rear of the property and will not be visible from the street as they will be blocked by the main structure on the property. Both buildings also fit within the existing patterns and setbacks of the property.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



## City of Key West

1300 White Street  
Key West, Florida 33040

|            |                 |                |
|------------|-----------------|----------------|
| HARC COA # | REVISION #      | INITIAL & DATE |
| FLOOD ZONE | ZONING DISTRICT | BLDG PERMIT #  |

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:

1400 Duval St.

NAME ON DEED:

1400 Duval St. LLC

PHONE NUMBER 407-775-0866

OWNER'S MAILING ADDRESS:

PO Box 1736, Key West, FL 33040

EMAIL scott@southermost-house.com

APPLICANT NAME:

Bender & Associates Architects.

PHONE NUMBER 305-296-1347

APPLICANT'S ADDRESS:

410 Angela St.

EMAIL hburkee@benderarchitects.com

APPLICANT'S SIGNATURE:

DATE 08.14.2025

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS \_\_\_\_ RELOCATION OF A STRUCTURE \_\_\_\_ ELEVATION OF A STRUCTURE \_\_\_\_

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES \_\_\_\_ NO X INVOLVES A HISTORIC STRUCTURE: YES \_\_\_\_ NO X

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES \_\_\_\_ NO X

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL: New bathroom structures for pool and bar area.

MAIN BUILDING:

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

Demolition of Non-Historic existing structure (pool area)



APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS [CITY\\_HARC@CITYOFKEYWEST-FL.GOV](mailto:CITY_HARC@CITYOFKEYWEST-FL.GOV)

|                                                 |                                     |
|-------------------------------------------------|-------------------------------------|
| ACCESSORY STRUCTURE(S): N/A                     |                                     |
|                                                 |                                     |
|                                                 |                                     |
| PAVERS: None                                    | FENCES: N/A                         |
|                                                 |                                     |
|                                                 |                                     |
| DECKS: N/A                                      | PAINTING: All new paint to be white |
|                                                 |                                     |
|                                                 |                                     |
| SITE (INCLUDING GRADING, FILL, TREES, ETC): N/A | POOLS (INCLUDING EQUIPMENT): N/A    |
|                                                 |                                     |
|                                                 |                                     |
| ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):     | OTHER: N/A                          |
| N/A                                             |                                     |
|                                                 |                                     |

|                                |                                                                                                                                    |             |
|--------------------------------|------------------------------------------------------------------------------------------------------------------------------------|-------------|
| OFFICIAL USE ONLY:             | HARC COMMISSION REVIEW                                                                                                             | EXPIRES ON: |
| MEETING DATE:                  | <input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | INITIAL:    |
| MEETING DATE:                  | <input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | INITIAL:    |
| MEETING DATE:                  | <input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION | INITIAL:    |
| REASONS OR CONDITIONS:         |                                                                                                                                    |             |
|                                |                                                                                                                                    |             |
|                                |                                                                                                                                    |             |
| STAFF REVIEW COMMENTS:         |                                                                                                                                    |             |
|                                |                                                                                                                                    |             |
|                                |                                                                                                                                    |             |
| FIRST READING FOR DEMO:        | SECOND READING FOR DEMO:                                                                                                           |             |
| HARC STAFF SIGNATURE AND DATE: | HARC CHAIRPERSON SIGNATURE AND DATE:                                                                                               |             |

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

# HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



## City of Key West

1300 White Street  
Key West, Florida 33040

|                 |                |
|-----------------|----------------|
| HARC COA #      | INITIAL & DATE |
| ZONING DISTRICT | BLDG PERMIT #  |

|                              |                                |
|------------------------------|--------------------------------|
| ADDRESS OF PROPOSED PROJECT: | 1400 Duval St.                 |
| PROPERTY OWNER'S NAME:       | 1400 Duval St. LLC             |
| APPLICANT NAME:              | Bender & Associates Architects |

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval PRIOR to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

PROPERTY OWNER'S SIGNATURE

DATE AND PRINT NAME

### DETAILED PROJECT DESCRIPTION OF DEMOLITION

Demolition of Non-Historic existing structure (pool area)

### CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

Structure to be demolished is non-historic.

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Structure to be demolished is non-historic.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

Structure to be demolished is non-historic.

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

Structure to be demolished is non-historic.

(d) Is not the site of a historic event with significant effect upon society.

Structure to be demolished is non-historic.

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

Structure to be demolished is non-historic.

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

Structure to be demolished is non-historic.

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

Structure to be demolished is non-historic.

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city and does not exemplify the best remaining architectural type in a neighborhood.

Structure to be demolished is non-historic.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

|                                                                                    |
|------------------------------------------------------------------------------------|
|                                                                                    |
| (i) Has not yielded, and is not likely to yield, information important in history, |
|                                                                                    |
| Structure to be demolished is non-historic.                                        |
|                                                                                    |
|                                                                                    |

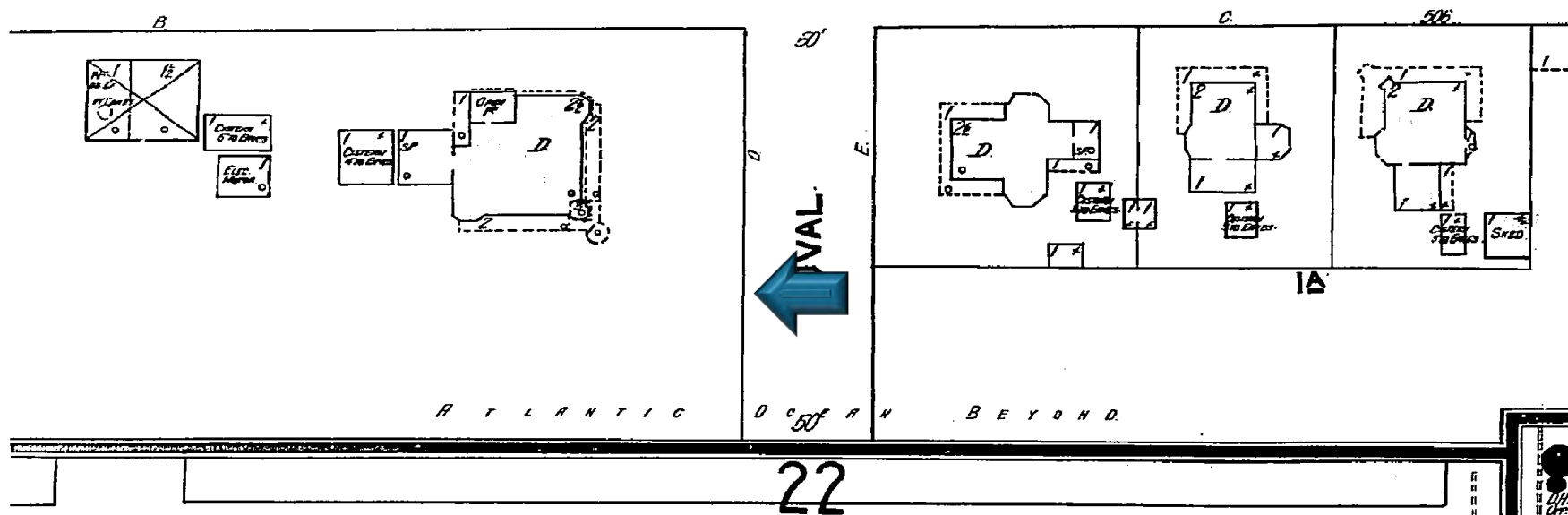
|                                                                                                                                                                                                                                                                                                  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:                                                                                                                                                                                                                          |
| The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies): |
| (1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.                                                                                                                             |
|                                                                                                                                                                                                                                                                                                  |
| The removal of the non-historic structure does not adversely affect the overall historic character of the district or neighborhood.                                                                                                                                                              |
|                                                                                                                                                                                                                                                                                                  |
| (2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.                                                                                                                                                      |
|                                                                                                                                                                                                                                                                                                  |
| The removal of the non-historic structure does not destroy the historic relationship between buildings or structures and open space.                                                                                                                                                             |
|                                                                                                                                                                                                                                                                                                  |
| (3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.                                                 |
|                                                                                                                                                                                                                                                                                                  |
| The removal of the non-historic structure does not adversely affect the overall historic character of the district or neighborhood.                                                                                                                                                              |
|                                                                                                                                                                                                                                                                                                  |
| (4) Removing buildings or structures that would otherwise qualify as contributing.                                                                                                                                                                                                               |
|                                                                                                                                                                                                                                                                                                  |
| N/A                                                                                                                                                                                                                                                                                              |
|                                                                                                                                                                                                                                                                                                  |
|                                                                                                                                                                                                                                                                                                  |

# SANBORN MAPS

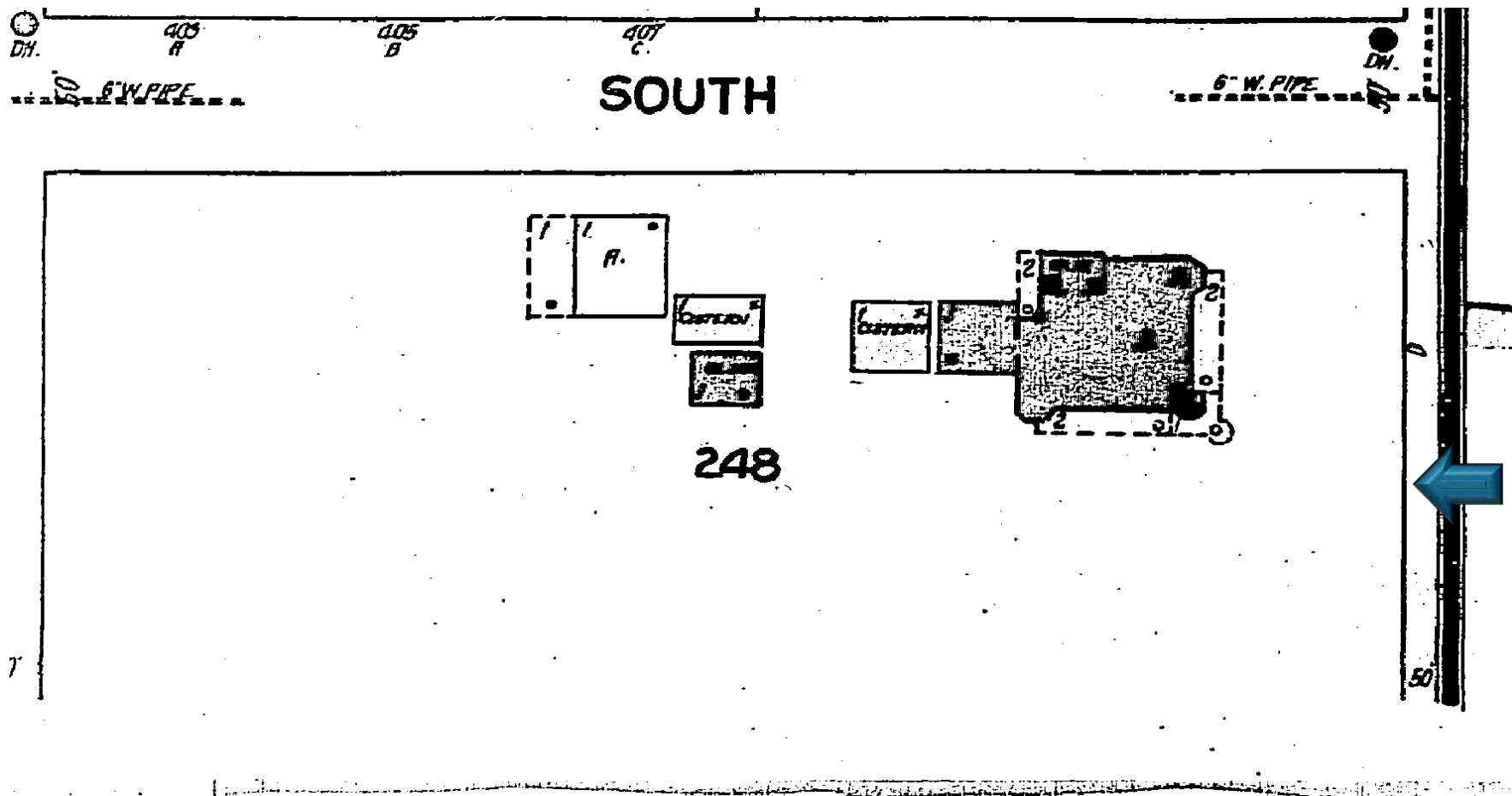
25

NO EXPOSURE  
142 1/2

SOUTH



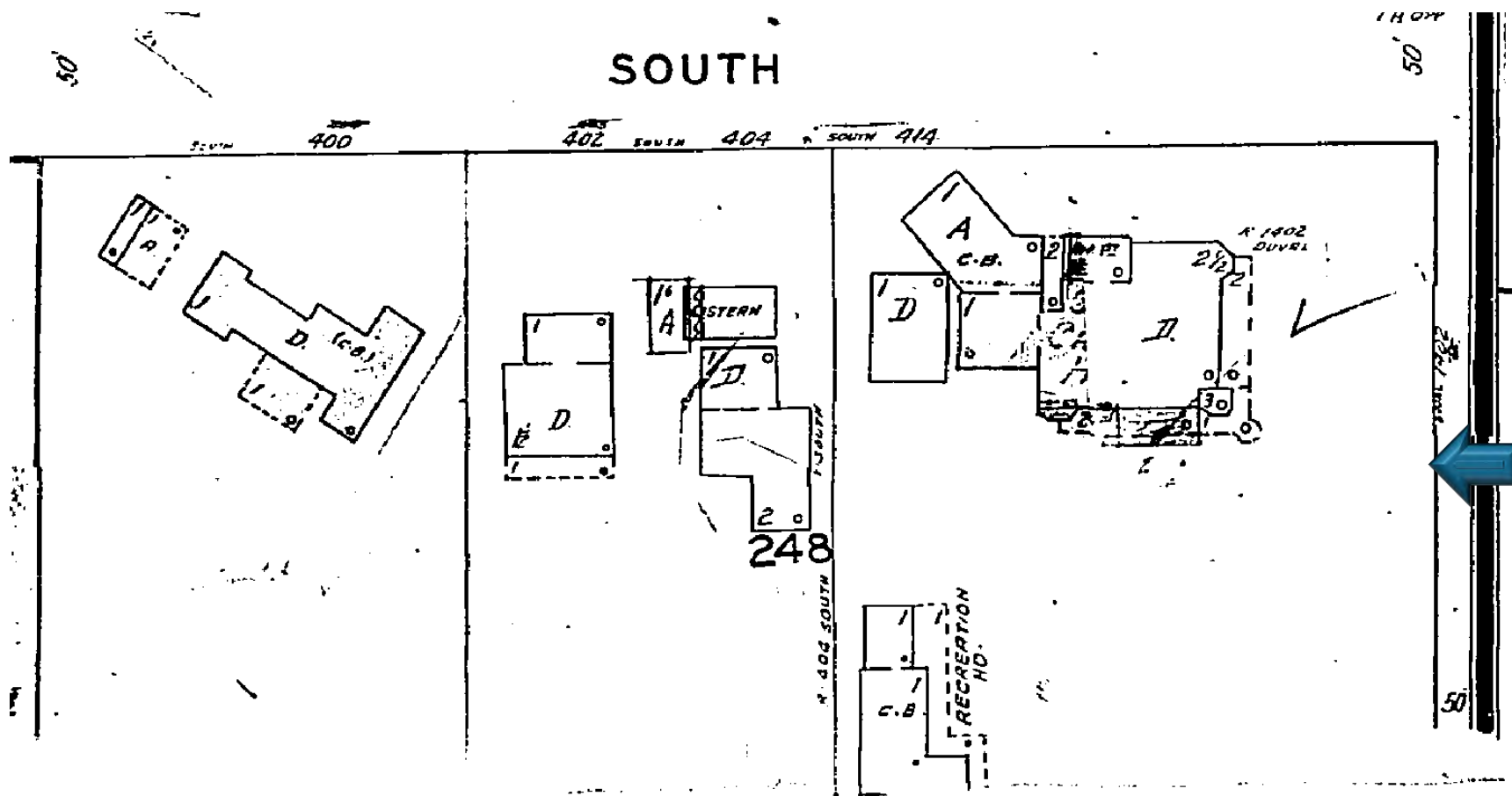
1912 Sanborn Map



1926 Sanborn Map







1962 Sanborn Map

# PROJECT PHOTOS





4 PHOTOGRAPH OF EXISTING STRUCTURE (NORTH VIEW)  
A4 SCALE: N.T.S.



3 PHOTOGRAPH OF EXISTING STRUCTURE (EAST VIEW)  
A4 SCALE: N.T.S.



2 PHOTOGRAPH OF EXISTING STRUCTURE (WEST VIEW)  
A4 SCALE: N.T.S.



1 PHOTOGRAPH OF EXISTING STRUCTURE (SOUTH VIEW)  
A4 SCALE: N.T.S.

1400 DUVAL ST.  
KEY WEST, FLORIDA

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

Bender & Associates  
ARCHITECTS  
p.a.

Project No: 2506  
Date: 08/12/2025

A4





1  
A6 PHOTOGRAPH OF AREA FOR NEW BATHROOMS (SOUTH VIEW)  
SCALE: N.T.S.



1  
A6 PHOTOGRAPH OF AREA FOR NEW BATHROOMS (WEST VIEW)  
SCALE: N.T.S.

1400 DUVAL ST.  
KEY WEST, FLORIDA

410 Angela Street  
Key West, Florida 33040  
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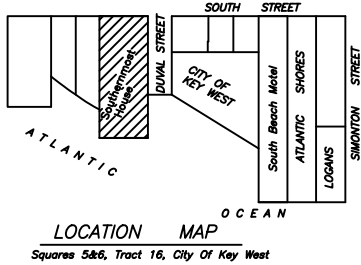
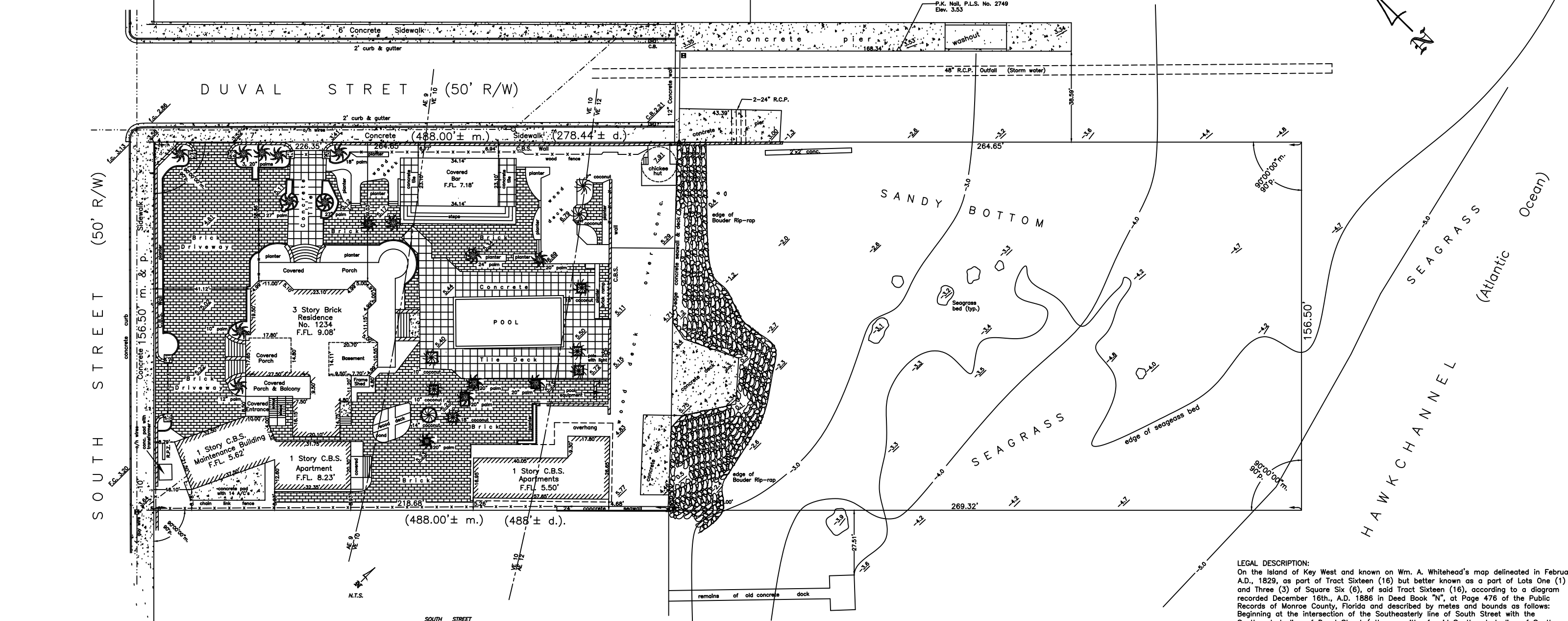
*Bender & Associates*  
ARCHITECTS  
p.a.

Project No: 2506  
Date: 08/12/2025

A6



# SURVEY



**SURVEYOR'S NOTES:**  
North arrow based on assumed median  
Reference Bearing: South Street  
denotes existing elevation  
Elevations based on N.G.V.D. 1929 Datum  
Bench Mark No.: Basic Elevation: 14.324  
Monumentation:

M.H.W. Elevation is 0.92 N.G.V.D.  
M.L.W. Elevation is (-) 0.1 N.G.V.D.  
—2.0— Denotes existing elevation at N.G.V.D.

- Abbreviations:**
- |                             |                                 |                                     |
|-----------------------------|---------------------------------|-------------------------------------|
| Sty. = Story                | o/h = Overhead                  | ☒ = Concrete Utility Pole           |
| R/W = Right-of-Way          | u/g = Underground               | ☐ = Wood utility Pole               |
| fd. = Found                 | F.F.L. = Finish Floor Elevation | ☐ = Wood Utility Pole with Guy wire |
| P. = Plat                   | L.B. = Low Beam                 | ☐ F.W. = Fire Well                  |
| m. = Measured               | Rad. = Radial                   | ☐ M.W. = Monitoring Well            |
| d. = Deed                   | Irr. = Irregular                | ☐ = Water Meter                     |
| M.H.W. = Mean High Water    | conc. = concrete                | ☐ = Water Valve                     |
| O.R. = Official Records     | I.P. = Iron Pipe                | ☐ E. = Electric Manhole             |
| Sec. = Section              | I.B. = Iron Bar                 | ☐ E. = Electric Utility Vault       |
| Twp. = Township             | ☐ = Baseline                    | ○ M.H. = Man Hole                   |
| Rge. = Range                | C.B. = Concrete Block           | San. = Sanitary                     |
| N.T.S. = Not to Scale       | C.B.S. = Concrete Block Stucco  | ☐ C.B. = Storm Water Catch Basin    |
| ☐ = Centerline              | cov'd. = Covered                | Inv. = Invert                       |
| Elev. = Elevation           | P.I. = Point of Intersection    | B.P.Z. = Backflow Prevention Valve  |
| B.M. = Bench Mark           | wd. = Wood                      | P.V.C. = Polyvinyl Pipe             |
| P.C. = Point of Curvature   | R = Radius                      | R.C.P. = Reinforced Concrete pipe   |
| P.T. = Point of Tangency    | A = Arc (Length)                | + = Fire Hydrant                    |
| P.O.C. = Point of Commence  | D = Delta, (Central angle)      | * = Light                           |
| P.O.B. = Point of Beginning | w.m. = Water Meter              | ☉ = sign                            |
| P.B. = Plat Book            | Bal. = Balcony                  |                                     |
| pg. = page                  | Pl. = Planter                   |                                     |
| Elec. = Electric            | Hyd. = Fire Hydrant             |                                     |
| Tel. = Telephone            | F.W. = Fire Well                |                                     |
| Ench. = Encroachment        | A/C = Air Conditioner           |                                     |
| O.L. = On Line              |                                 |                                     |
| C.L.F. = Chain Link Fence   |                                 |                                     |

**LEGAL DESCRIPTION:**  
On the Island of Key West and known on Wm. A. Whitehead's map delineated in February A.D., 1829, as part of Tract Sixteen (16) but better known as a part of Lots One (1) and Three (3) of Square Six (6), of said Tract Sixteen (16), according to a diagram recorded December 16th., A.D. 1886 in Deed Book "N", at Page 476 of the Public Records of Monroe County, Florida and described by metes and bounds as follows: Beginning at the intersection of the Southeastly line of South Street with the Southwestly line of Duval Street ( the azimuth of said Southeastly line of South Street is S 55° 39'36" W) along the said Southeastly line of South Street a distance of 156.5 feet; thence S 34°20'24" E, a distance of 212 feet to a point on the shore line of the Straits of Florida; thence N 57°59'36" E along the shoreline of the Straits of Florida, a distance of 156.5 feet to a point on the Southwestly line of Duval Street; thence N 34°20'24" W along the Southwestly line of Duval Street a distance of 218.44 feet to the Point of Beginning.  
**AND ALSO THE FOLLOWING:**  
A parcel of submerged land in the Straits of Florida in Township 68 South, Range 25 East, located Southeastly of and adjacent to the Island of Key West, Monroe County, Florida, more particularly described as follows:  
From the intersection of the Southeastly line of South Street and the Southwestly line of Duval Street in the City of Key West go Southwestly along the Southwestly line of Duval Street a distance of 218.44 feet, more or less, to a point in the Southeastly shoreline of the Island of key West, which point is the Point of Beginning;  
thence continue Southeastly along the Southwestly line of Duval Street (extended) a distance of 260 feet to a point; thence at right angles and Southwestly a distance of 156.5 feet to a point; thence at right angles and Northwestly a distance of 276 feet, more or less, to a point in the Southeastly shoreline of said Island of Key West; thence Northeastly along the meanders of said Southwestly shoreline a distance of 158 feet, more or less, back to the Point of Beginning.

**CERTIFICATION:**  
I HEREBY CERTIFY that the attached BOUNDARY & HYDROGRAPHICAL SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT  
Professional Land Surveyor & Mapper No. 2749  
Professional Engineer No. 36810  
State of Florida

FREDERICK H. HILDEBRANDT  
ENGINEER PLANNER SURVEYOR

3150 Northside Drive  
Suite 101  
Key West, FL 33040  
(305) 293-0466  
Fax: (305) 293-0237

|                                                             |                       |                        |                 |
|-------------------------------------------------------------|-----------------------|------------------------|-----------------|
| Southernmost House<br>South Street, Key West, Florida 33040 |                       |                        |                 |
| HYDROGRAPHICAL SURVEY                                       |                       |                        | Dwn No.: 01-406 |
| Scale: 1"=20'                                               | Ref. 149-60<br>161-78 | Flood panel No. 1716 H | Dwn. By: F.H.H. |
| Date: 11/25/99                                              |                       | Flood Zone: AE-VE      | Flood Elev.     |
| REVISIONS AND/OR ADDITIONS                                  |                       |                        |                 |
| 9/07/01: Added building, grades                             |                       |                        |                 |
| d/kw/Block 153                                              |                       |                        |                 |

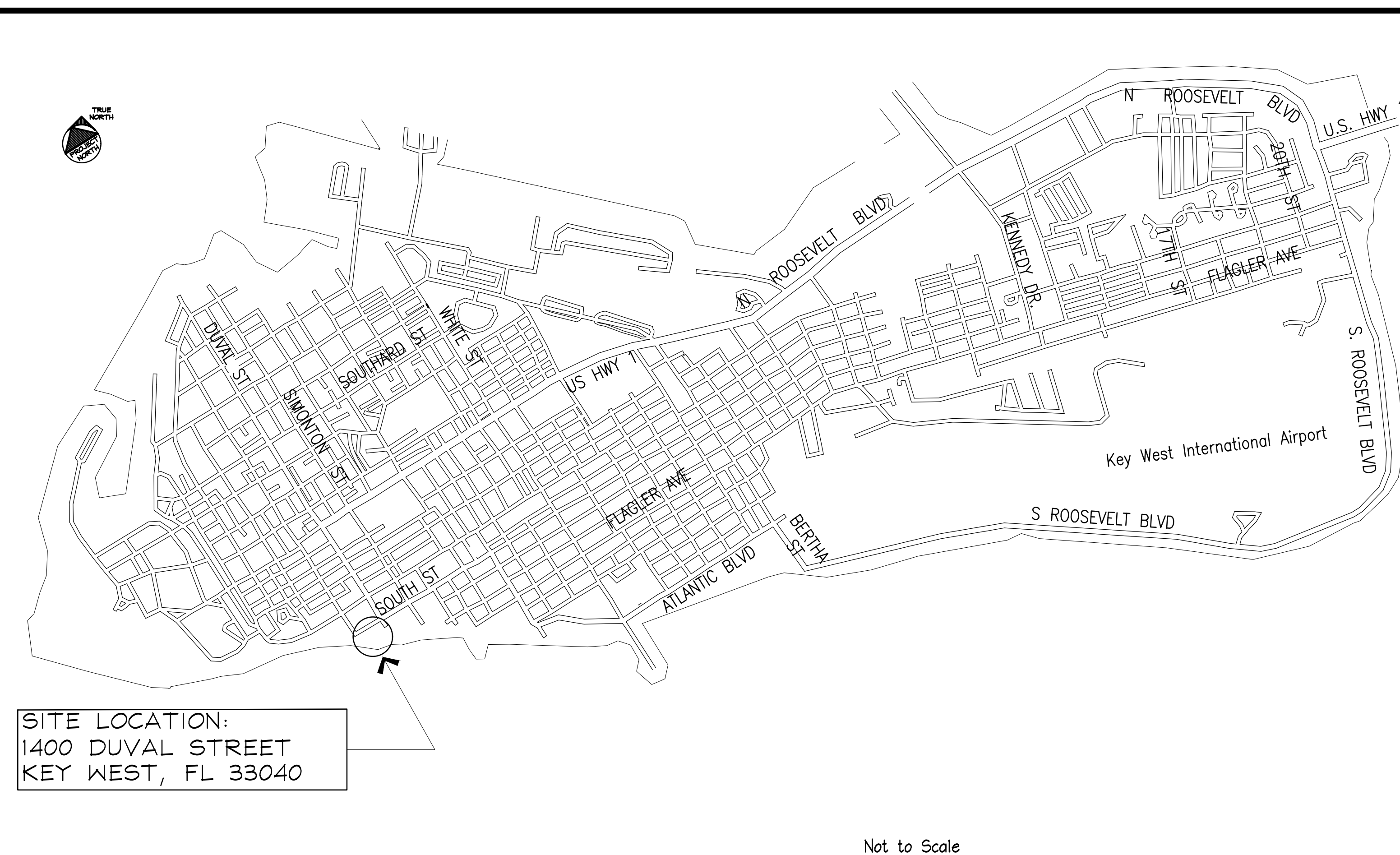
# PROPOSED DESIGN



# 1400 DUVAL STREET

THE MANSION OF THE SEA  
Key West Florida 33040  
HARC PERMIT

## SITE MAP - KEY WEST



SITE LOCATION:  
1400 DUVAL STREET  
KEY WEST, FL 33040

Not to Scale

## PROJECT DIRECTORY

PROJECT: THE MANSION OF THE SEA  
ARCHITECT'S PROJECT No.: 2506

CONTACT: --  
Address: 1400 Duval St.  
Key West Florida, 33040

Tel: --  
Email: --

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.  
Address: 410 Angela Street, Key West, FL 33040  
Tel: (305) 296-1347 Fax: (305) 296-2727  
E-mail: info@benderarchitects.com  
Architect: Haven Burkee  
Designer Associate: Ana Alvarez

DESCRIPTION OF WORK:  
NEW POOL AND BAR RESTROOMS.

## GENERAL NOTES

- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:

FLORIDA BUILDING CODE - Building 2023 EDITION  
FLORIDA BUILDING CODE - Existing 2023 EDITION  
FLORIDA BUILDING CODE - Residential 2023 EDITION  
FLORIDA BUILDING CODE - Plumbing 2023 EDITION  
FLORIDA BUILDING CODE - Fuel Gas 2023 EDITION  
FLORIDA BUILDING CODE - Mechanical 2023 EDITION  
FLORIDA BUILDING CODE - Energy Conservation 2023 EDITION  
NATIONAL ELECTRICAL CODE 2023 EDITION  
NFPA 101 LIFE SAFETY CODE w/ Florida Modifications  
8TH EDITION FLORIDA FIRE PREVENTION CODE 8TH EDITION

This project is designed in accordance with A.S.C.E. 7-22 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.

- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

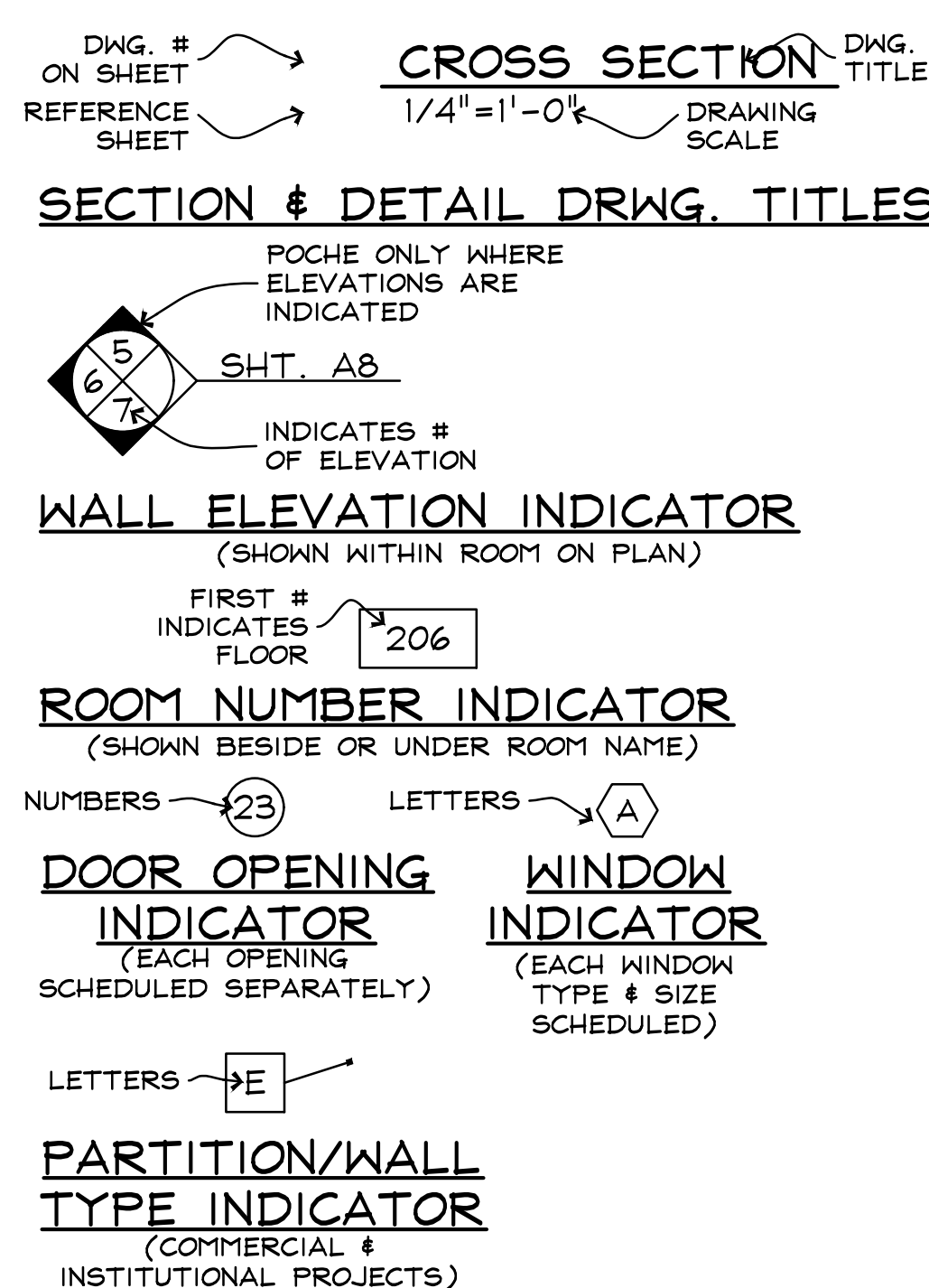
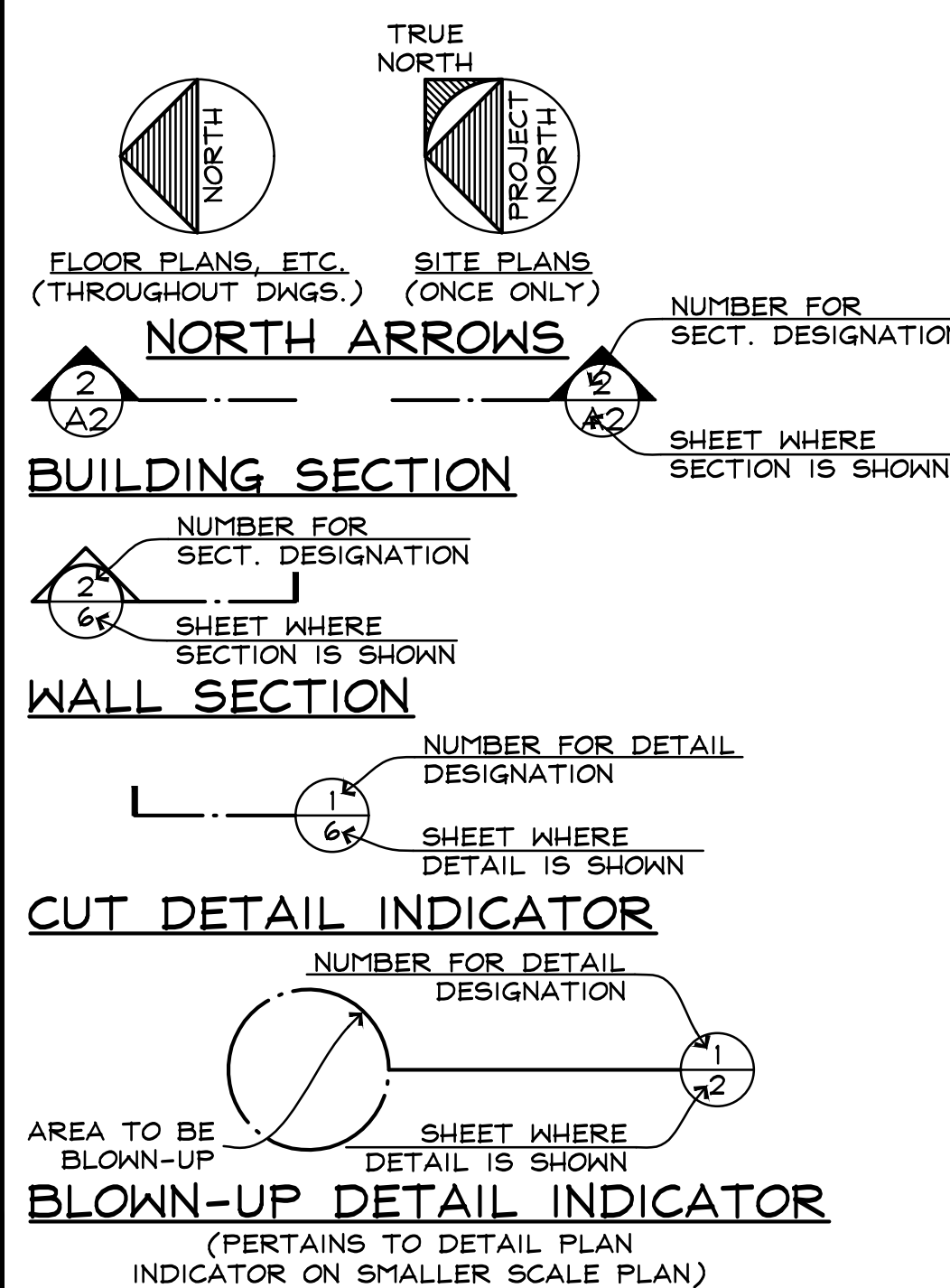
## FLORIDA ADMINISTRATIVE CODE

61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.

## ABBREVIATIONS

|      |                                        |       |                        |
|------|----------------------------------------|-------|------------------------|
| AB   | ANCHOR BOLT                            | MIN   | MINIMUM                |
| ABC  | AGGREGATE BASE COURSE                  | NTS   | NOT TO SCALE           |
| A/C  | AIR CONDITIONING                       | OA    | OVERALL                |
| BLKG | BLOCKING                               | OC    | ON CENTER              |
| BUR  | BUILT UP ROOF                          | OD    | OUTSIDE DIAMETER       |
| CAB  | CABINET                                | PCF   | POUNDS PER CUBIC FOOT  |
| CER  | CERAMIC                                | PL    | PROPETY LINE           |
| CL   | CENTER LINE                            | PLM   | PLASTIC LAMINATE       |
| CLG  | CEILING                                | PLF   | POUNDS PER LINEAL FOOT |
| CMU  | CONCRETE MASONRY UNIT                  | PNL   | PANEL                  |
| COL  | COLUMN                                 | CCA   | PRESSURE TREATED       |
| CONC | CONCRETE                               | PT    | POINT                  |
| DBL  | DOUBLE                                 | PVC   | POLYVINYLCHLORIDE      |
| DIAG | DIAGONAL                               | R     | RADIUS (OR) RISER      |
| DS   | DOWNSPOUT                              | R/A   | RETURN AIR             |
| DTL  | DETAIL                                 | REBAR | STEEL REINF. BAR       |
| DNR  | DRAWER                                 | REFR. | REFRIGERATOR           |
| EJ   | EXPANSION JOINT                        | SF    | SQUARE FOOT (FEET)     |
| EL   | ELEVATION                              | SS    | STAINLESS STEEL        |
| ELEC | ELECTRIC                               | SPEC  | SPECIFICATION          |
| EQ   | EQUAL                                  | T     | TYPICAL                |
| EXH  | EXHAUST                                | TYP   | TYPICAL                |
| FV   | FIELD VERIFY                           | UNO   | UNLESS NOTED OTHERWISE |
| GALV | GALVANIZED                             | VCT   | VINYL COMPOSITION TILE |
| GI   | GALVANIZED IRON                        | VERT  | VERTICAL               |
| HORZ | HORIZONTAL                             | WD    | WOOD                   |
| HDW  | HARDWARE                               | WHF   | WELDED WIRE FABRIC     |
| HVAC | HEATING VENTILATING & AIR CONDITIONING | WH    | WATER HEATER           |
|      |                                        | W/O   | WITHOUT                |
| FOC  | FACE OF CONCRETE                       |       |                        |
| FOS  | FACE OF STUD                           |       |                        |
| FIN  | FINISH                                 |       |                        |
| FE   | FIRE EXTINGUISHER                      |       |                        |
| FND  | FOUNDATION                             |       |                        |
| FTG  | FOOTING                                |       |                        |
| ID   | INSIDE DIAMETER                        |       |                        |
| MAX  | MAXIMUM                                |       |                        |

## SYMBOLS LEGEND



## MATERIAL DESIGNATIONS

|                                             |                                             |
|---------------------------------------------|---------------------------------------------|
| CONC.                                       | CONCRETE MASONRY UNITS IN PLAN              |
| CONC., STUCCO, PLASTER                      | CONC., STUCCO, PLASTER                      |
| IN ELEV.;POURED CONC. IN PLAN               | IN ELEV.;POURED CONC. IN PLAN               |
| METAL IN ELEVATION                          | METAL IN ELEVATION                          |
| METAL IN SECTION                            | METAL IN SECTION                            |
| FINISH WOOD IN ELEV. & IN SECTION           | FINISH WOOD IN ELEV. & IN SECTION           |
| DIMENSION LUMBER IN SECTION (CONTINUOUS)    | DIMENSION LUMBER IN SECTION (CONTINUOUS)    |
| WOOD BLOCKING IN SECTION (DISCONTINUOUS)    | WOOD BLOCKING IN SECTION (DISCONTINUOUS)    |
| GYPSTUM WALL BOARD IN SECTION (LARGE SCALE) | GYPSTUM WALL BOARD IN SECTION (LARGE SCALE) |
| EARTH, NATURAL SUBSTRATE                    | EARTH, NATURAL SUBSTRATE                    |
| GRAVEL, AGGREGATE BASE COURSE, FILL         | GRAVEL, AGGREGATE BASE COURSE, FILL         |
| FIBERGLASS BATT INSULATION                  | FIBERGLASS BATT INSULATION                  |
| RIGID INSULATION                            | RIGID INSULATION                            |

## PARTITIONS & WALLS

|                                        |                                        |
|----------------------------------------|----------------------------------------|
| CONC.                                  | CONCRETE MASONRY UNITS                 |
| POURED CONC.                           | POURED CONCRETE                        |
| WOOD FRAME                             | WOOD FRAME                             |
| METAL STUDS                            | METAL STUDS                            |
| EXISTING CONSTRUCTION TO REMAIN        | EXISTING CONSTRUCTION TO REMAIN        |
| EXISTING CONSTRUCTION TO BE DEMOLISHED | EXISTING CONSTRUCTION TO BE DEMOLISHED |

## SHEET INDEX

| SHEET INDEX                                              |
|----------------------------------------------------------|
| C COVER                                                  |
| S SURVEY                                                 |
| A1 EXISTING AND PROPOSED SITE PLAN                       |
| A2 EXISTING AND PROPOSED POOL RESTROOMS PLAN             |
| A3 EXISTING AND PROPOSED POOL RESTROOMS ELEVATIONS       |
| A4 EXISTING PHOTOS                                       |
| A5 EXISTING AND PROPOSED BAR RESTROOMS PLAN & ELEVATIONS |
| A6 PHOTOS OF AREA FOR BATHROOMS                          |

1400 DUVAL ST.  
KEY WEST, FLORIDA

410 Angela Street  
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Florida License AAC002022

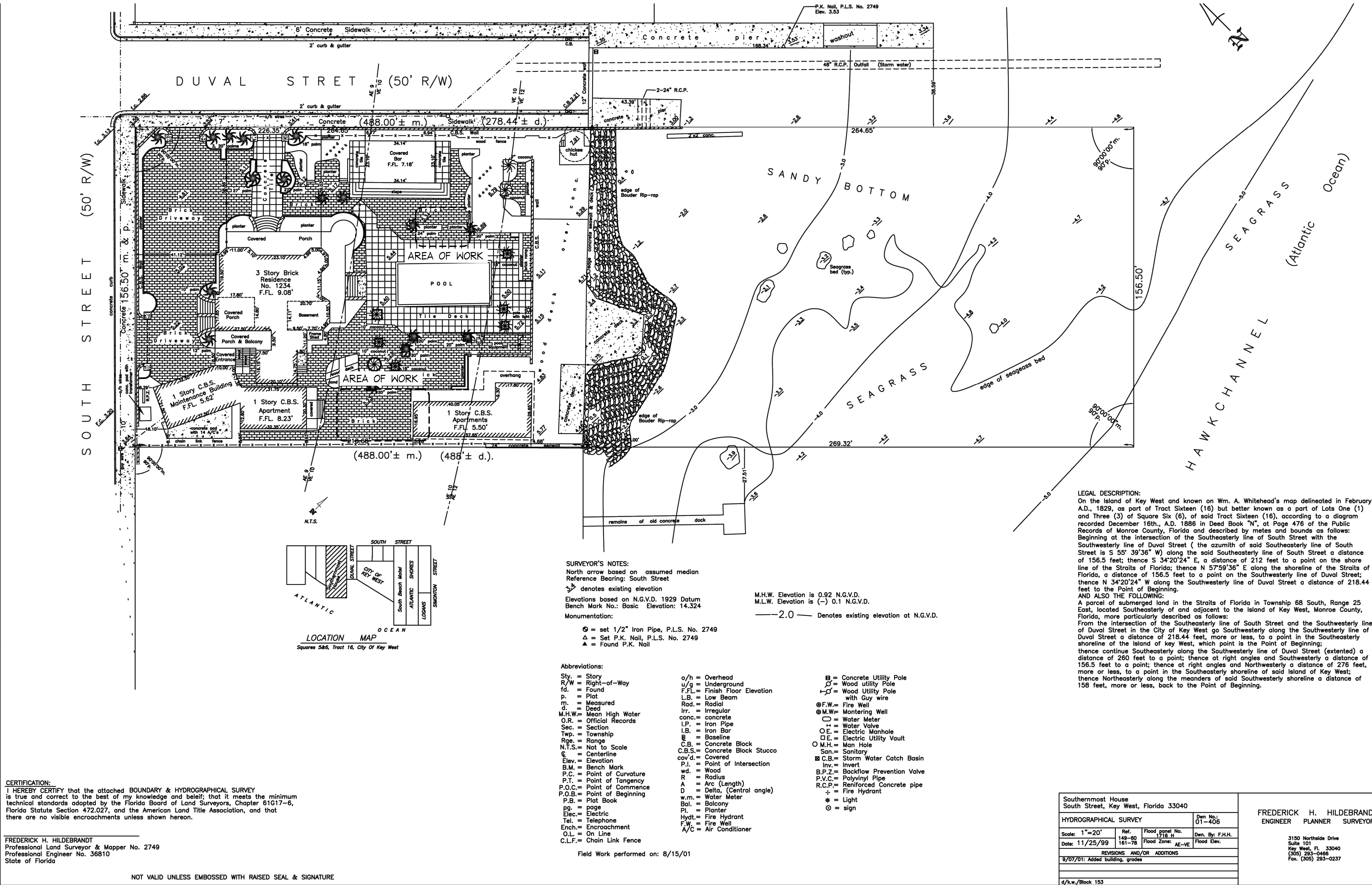
Bender & Associates  
ARCHITECTS  
p.a.

Project No.: 2506  
SITE MAP KEY WEST  
PROJECT DIRECTORY  
GENERAL NOTES  
SYMBOLS LEGEND  
SHEET INDEX

Date: 08/12/2025

C





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Project No. 2506

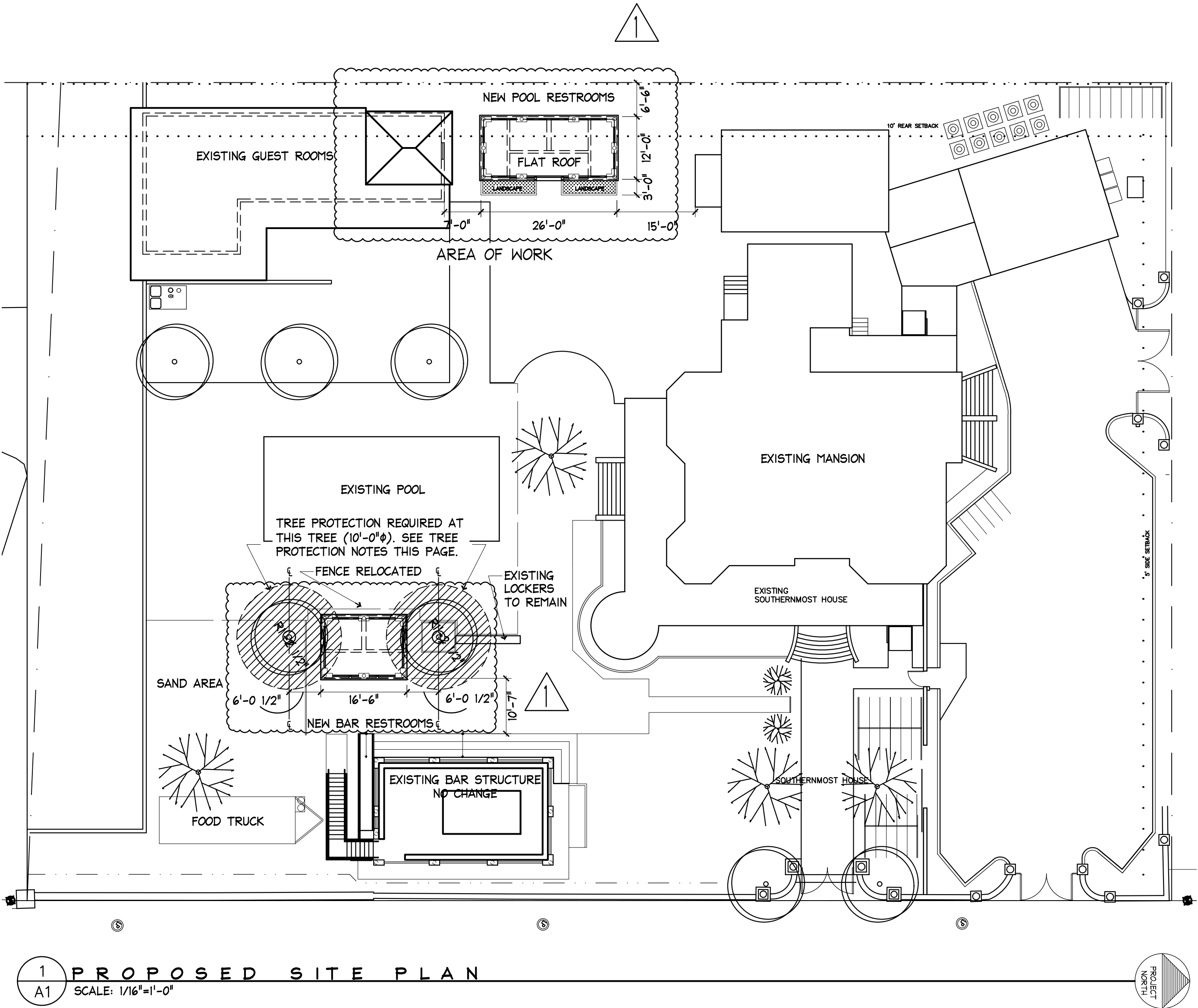
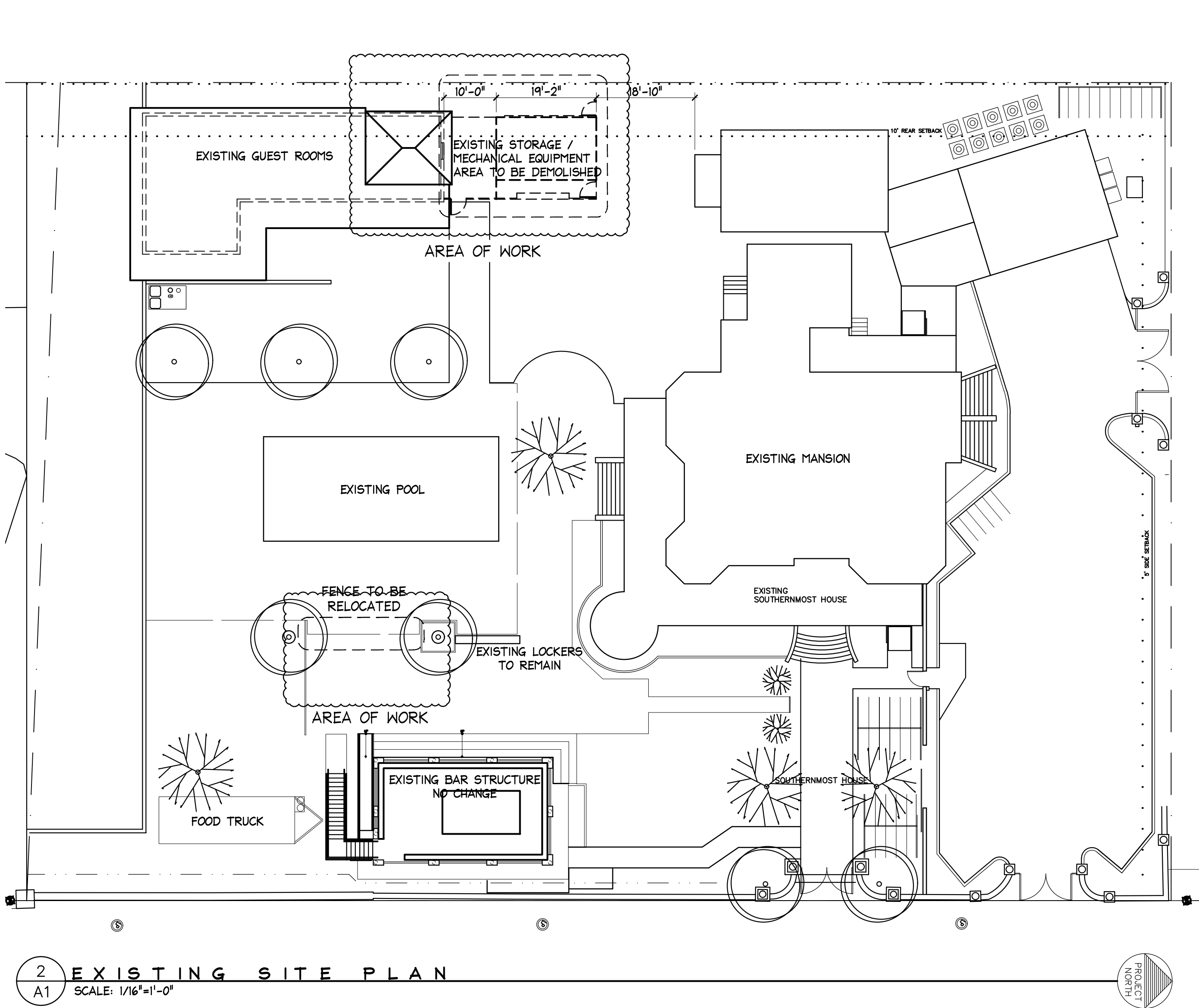
SURVEY

Date: 08/12/2025

S



| PROJECT STATISTICS                      |                                                                 |             |             |
|-----------------------------------------|-----------------------------------------------------------------|-------------|-------------|
| FEMA FLOOD ZONE                         | ZONE 'VE-10' NGVD29. PROPOSED FLOOD MAP CHANGE TO 'AE-8' NAVD88 |             |             |
| ZONING DESIGNATION                      | HCT                                                             |             |             |
| LOT SIZE                                | 34,530 S.F.                                                     |             |             |
| OCCUPANCY                               | COMMERCIAL                                                      |             |             |
|                                         | REQUIRED                                                        | EXISTING    | PROPOSED    |
| BUILDING COVERAGE<br>34,530 S.F. X 50%  | 17,265 S.F. MAX.                                                | 8,155 S.F.  | 8,218 S.F.  |
| IMPERVIOUS SURFACE<br>34,530 S.F. X 70% | 24,171 S.F. MAX.                                                | 21,728 S.F. | 21,791 S.F. |
| BUILDING HEIGHT (CROWN OF ROAD)         | 35'-0" MAX.                                                     | 18'-7"      | 18'-7"      |
| FRONT SETBACK (DUVAL S.)                | 5'-0" MIN.                                                      | 6'-10"      | 6'-10"      |
| STREET SIDE SETBACK (SOUTH ST.)         | 5'-0" MIN.                                                      | 40'-2"      | 40'-2"      |
| SIDE SETBACK (OCEAN)                    | 5'-0" MIN.                                                      | 0'-0"       | 0'-0"       |
| REAR SETBACK (EAST)                     | 10'-0" MIN.                                                     | 5'-6"       | 5'-6"       |
| OPEN SPACE (20%)                        | 6,906 S.F. MIN.                                                 | 7,367 S.F.  | 7,438 S.F.  |



09/15/2025  
UPDATED SIZE OF POOL &  
BAR RESTROOMS.

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ARCHITECTS  
p.a.

Project No. 2506  
EXISTING & PROPOSED  
SITE PLAN  
Date: 08/12/2025

A1



CHANGE OF SIZE OF POOL &  
BAR RESTROOMS.

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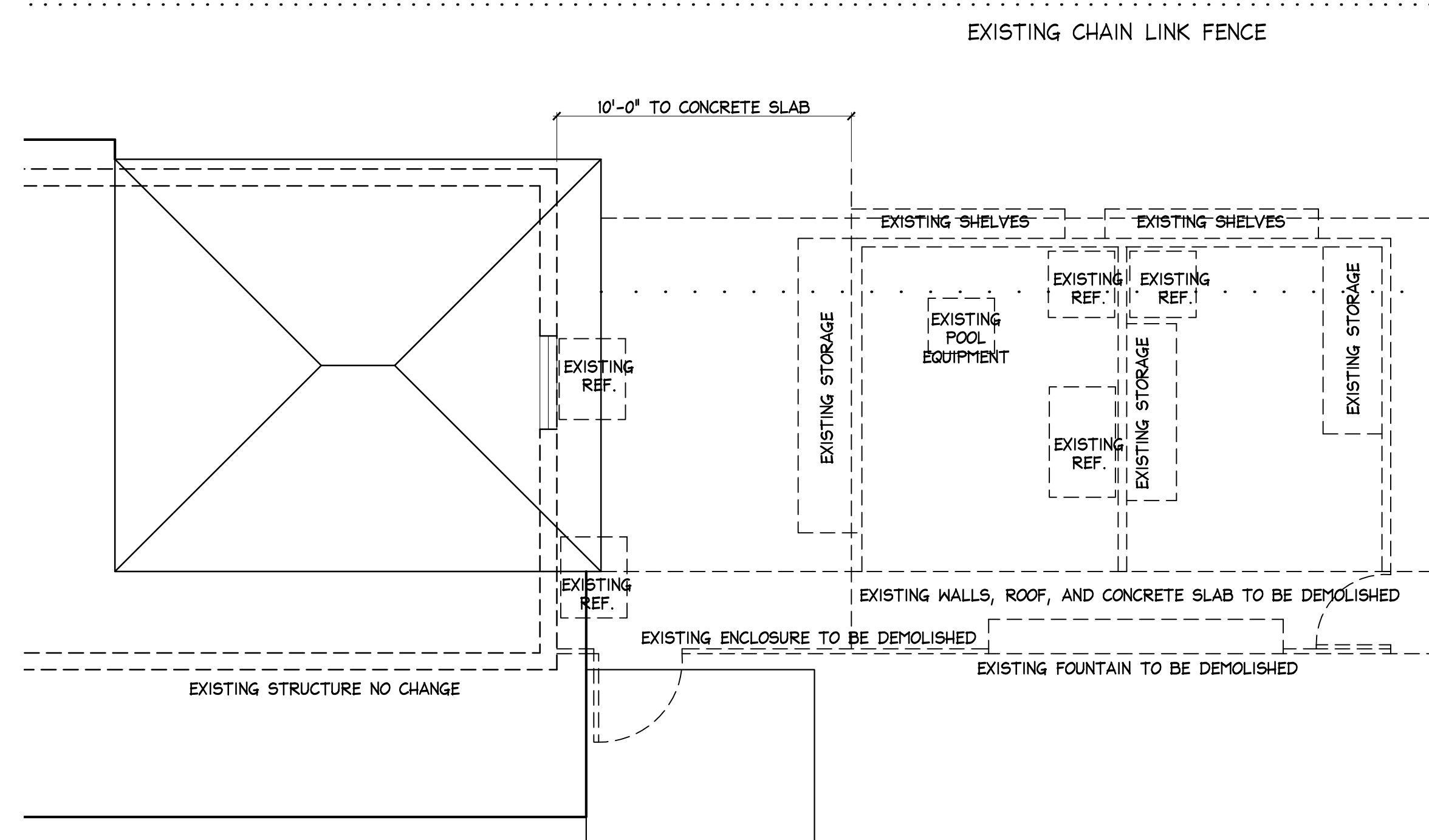
*Bender & Associates*  
ARCHITECTS  
*p.c.*

Project No : 2506

**EXISTING & PROPOSED  
POOL BATHROOM  
PLANS**

Date: 08/12/2025

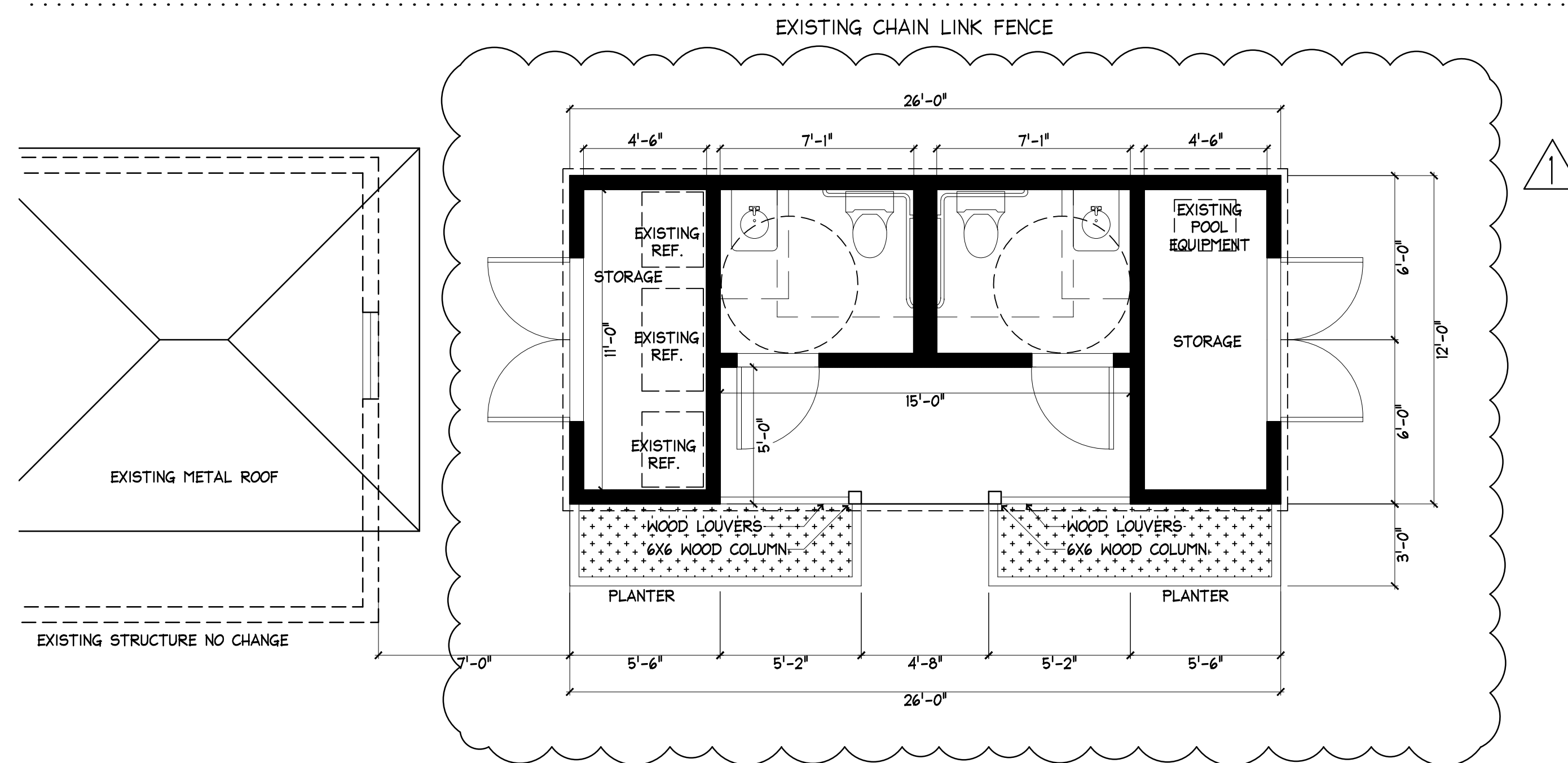
# A2



2  
A2

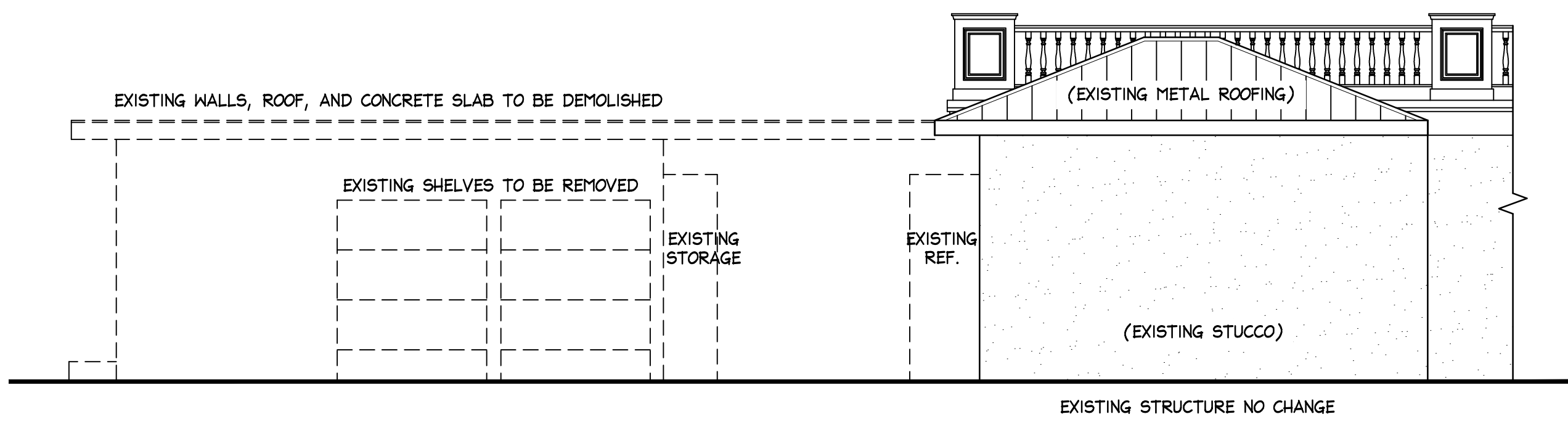
EXISTING PARTIAL PLAN

SCALE: 1/4"=1'-0"

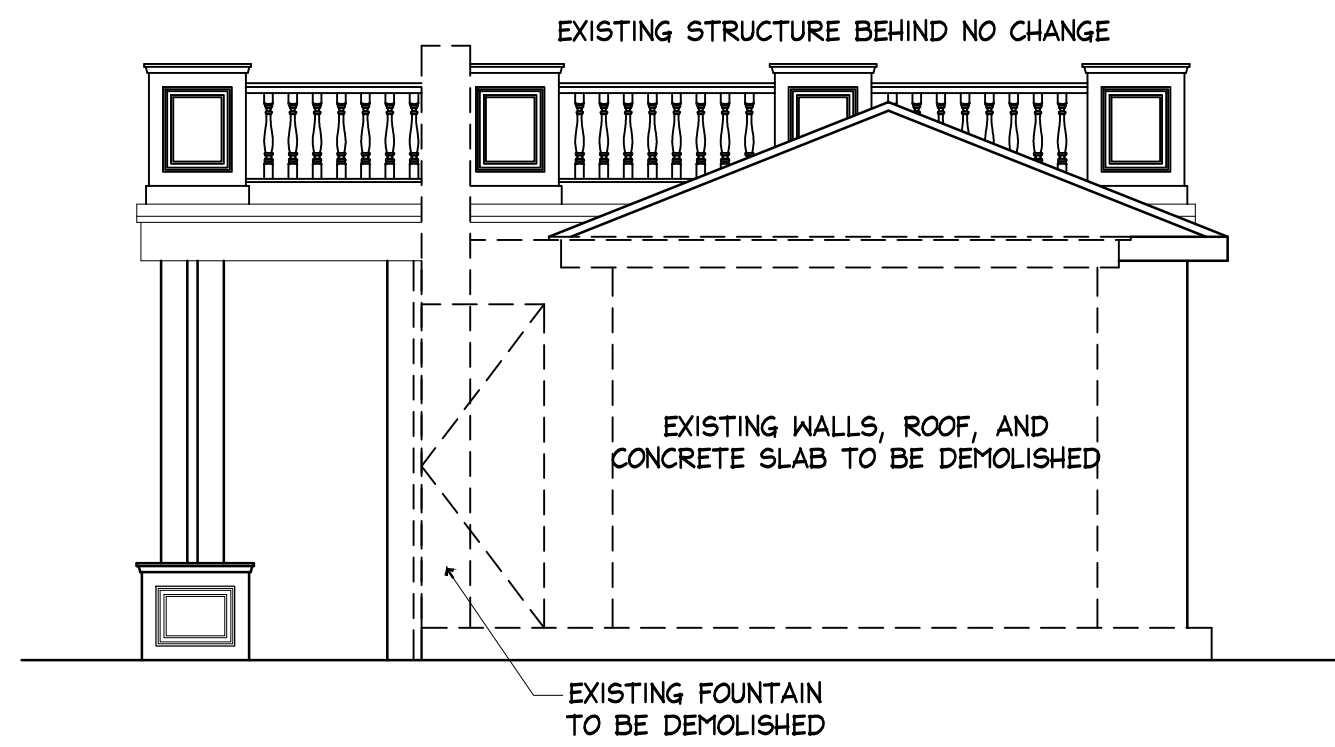


1  
A2 PROPOSED PARTIAL PLAN (POOL RESTROOMS)  
SCALE: 1/4"=1'-0"

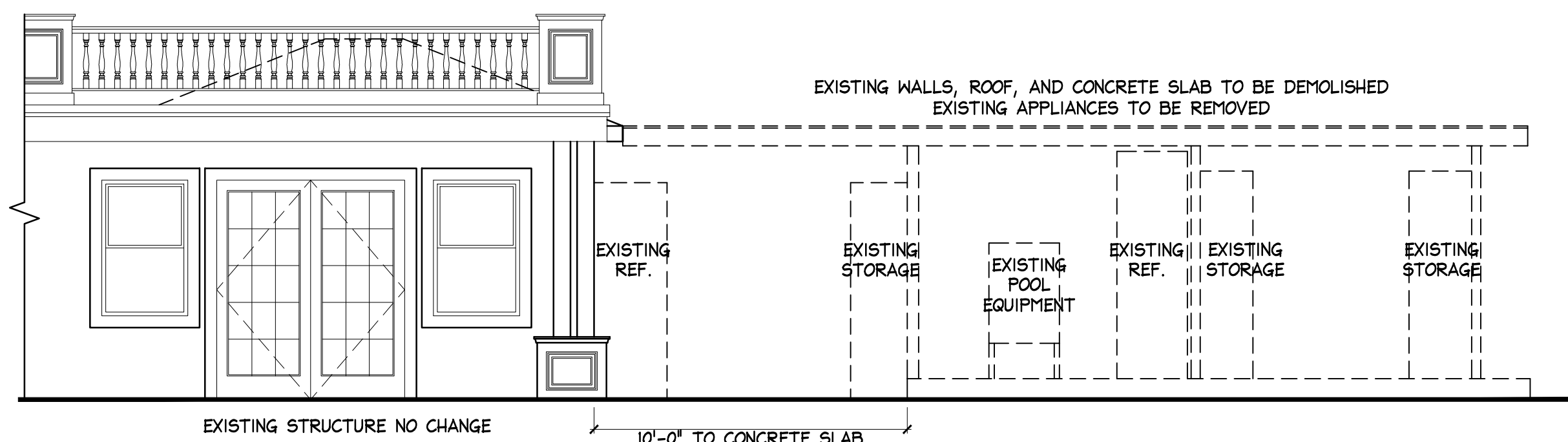




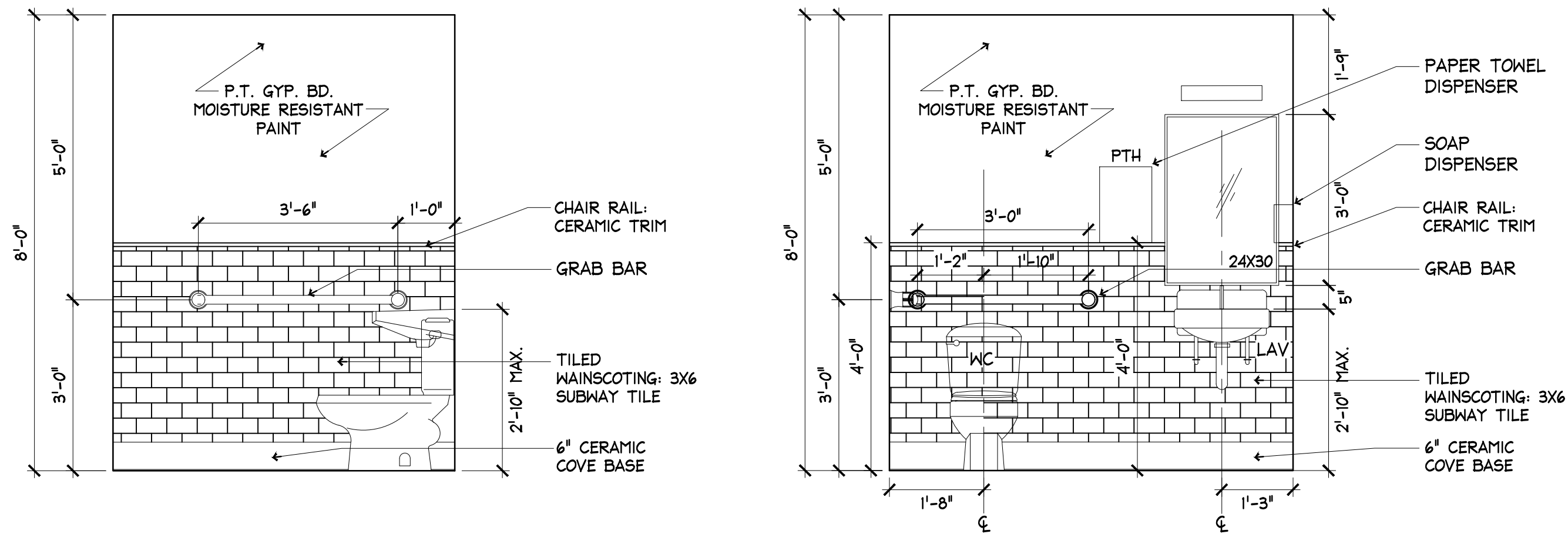
6 EXISTING WEST ELEVATION  
A3 SCALE: 1/4"=1'-0"



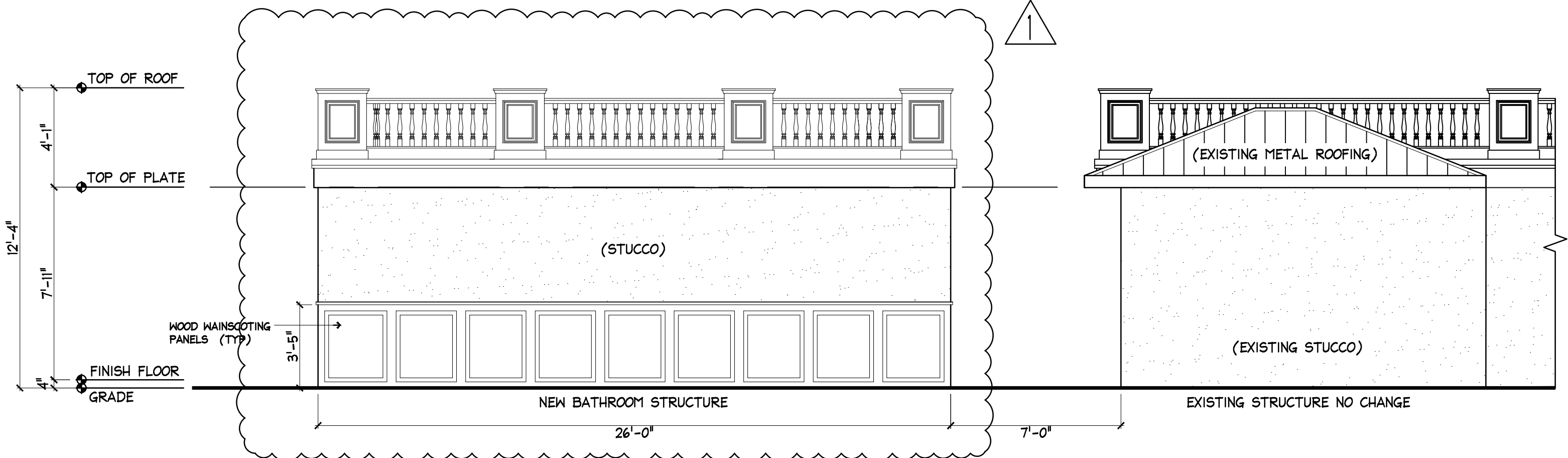
4 EXISTING SOUTH ELEVATION  
A3 SCALE: 1/4"=1'-0"



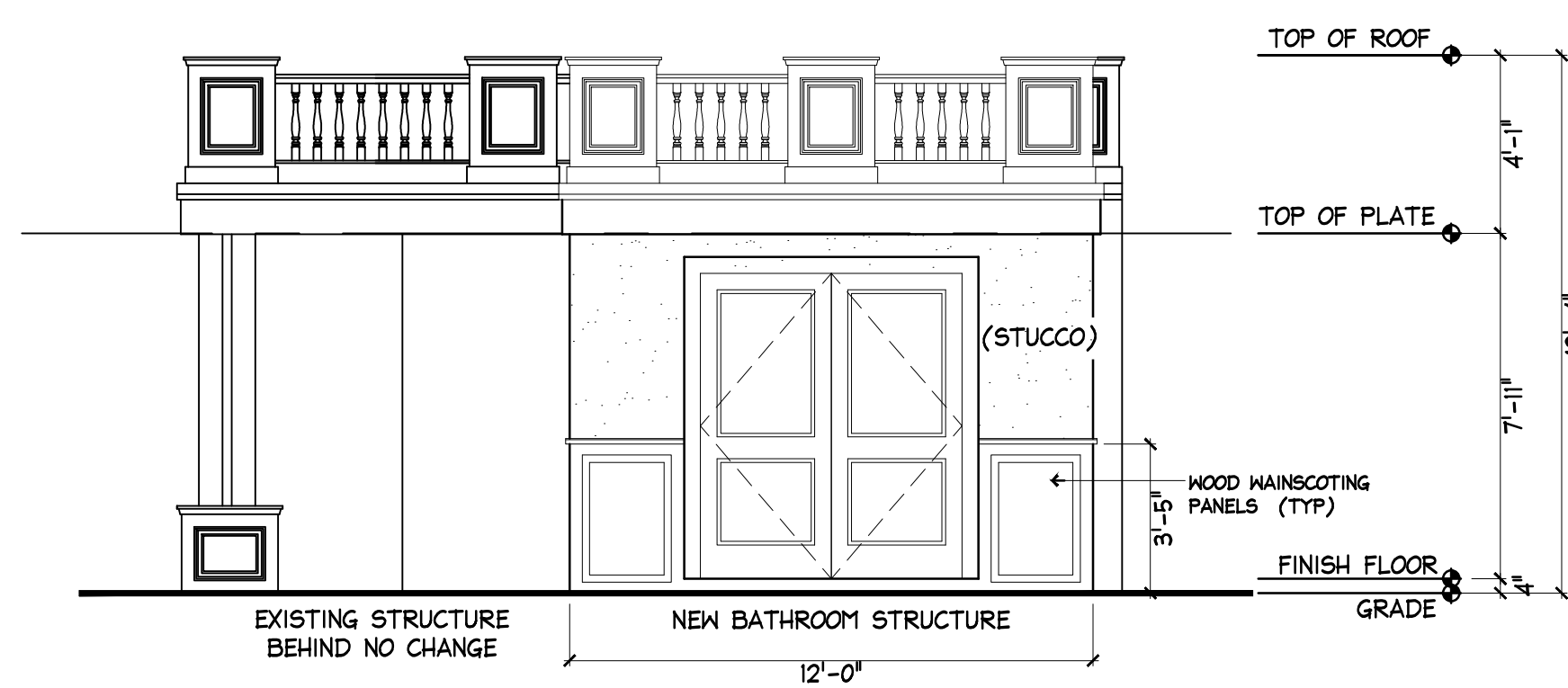
2 EXISTING EAST ELEVATION  
A3 SCALE: 1/4"=1'-0"



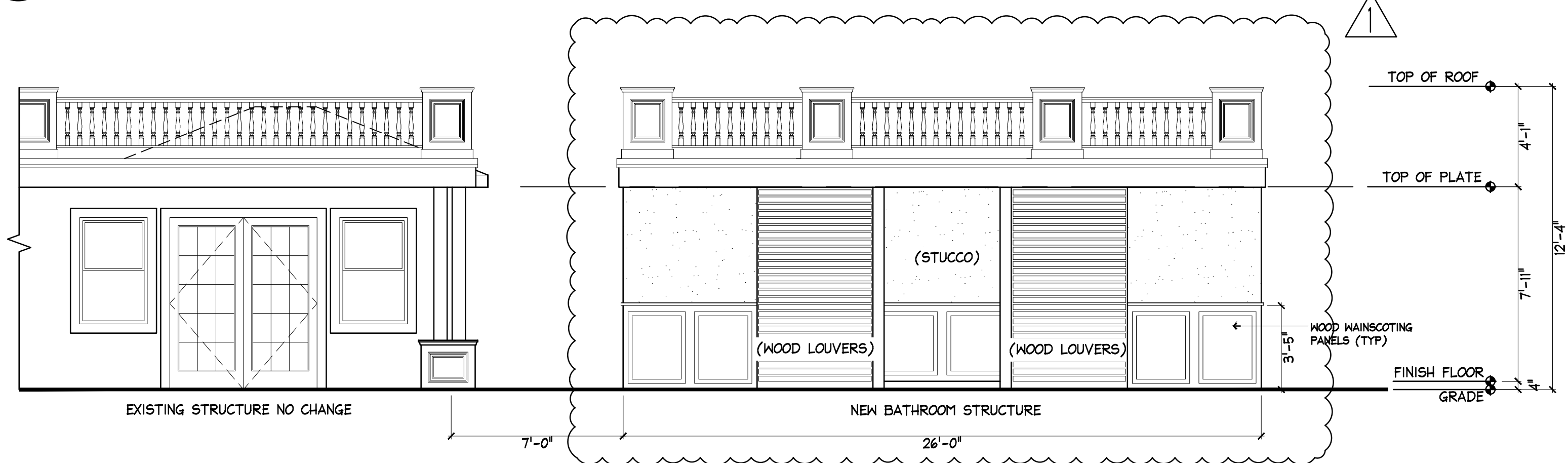
7 PROPOSED RESTROOM INTERIOR ELEVATION (TYP)  
A3 SCALE: 1/2"=1'-0"



5 PROPOSED WEST ELEVATION  
A3 SCALE: 1/4"=1'-0"



3 PROPOSED SOUTH ELEVATION  
A3 SCALE: 1/4"=1'-0"



1 PROPOSED EAST ELEVATION  
A3 SCALE: 1/4"=1'-0"

09/15/2025  
CHANGE OF SIZE OF POOL & BAR RESTROOMS.

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p.a.

Project No. 2506

PROPOSED POOL  
BATHROOM ELEVATIONS

Date: 08/12/2025

A3





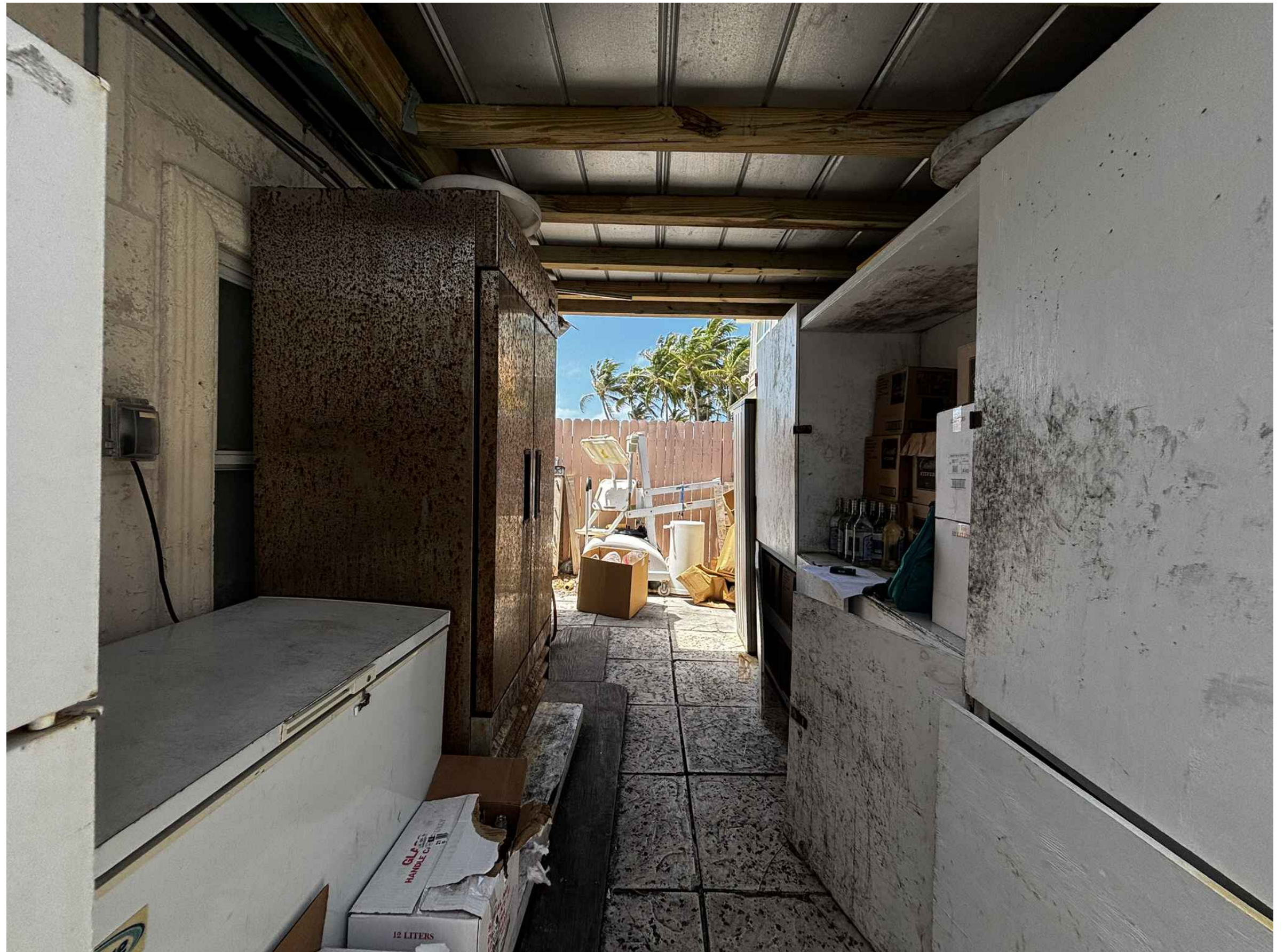
4  
A4 PHOTOGRAPH OF EXISTING STRUCTURE (NORTH VIEW)  
SCALE: N.T.S.



3  
A4 PHOTOGRAPH OF EXISTING STRUCTURE (EAST VIEW)  
SCALE: N.T.S.



2  
A4 PHOTOGRAPH OF EXISTING STRUCTURE (WEST VIEW)  
SCALE: N.T.S.



1  
A4 PHOTOGRAPH OF EXISTING STRUCTURE (SOUTH VIEW)  
SCALE: N.T.S.

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KEY WEST, FLORIDA

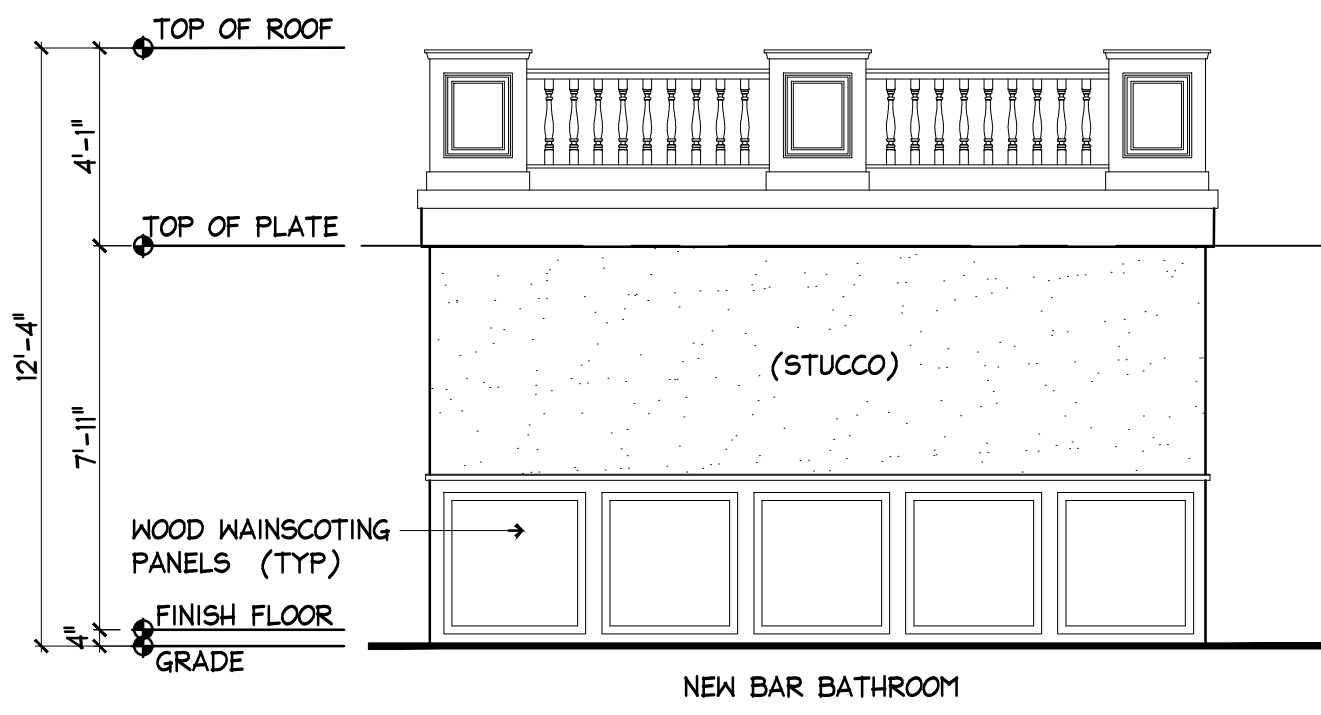
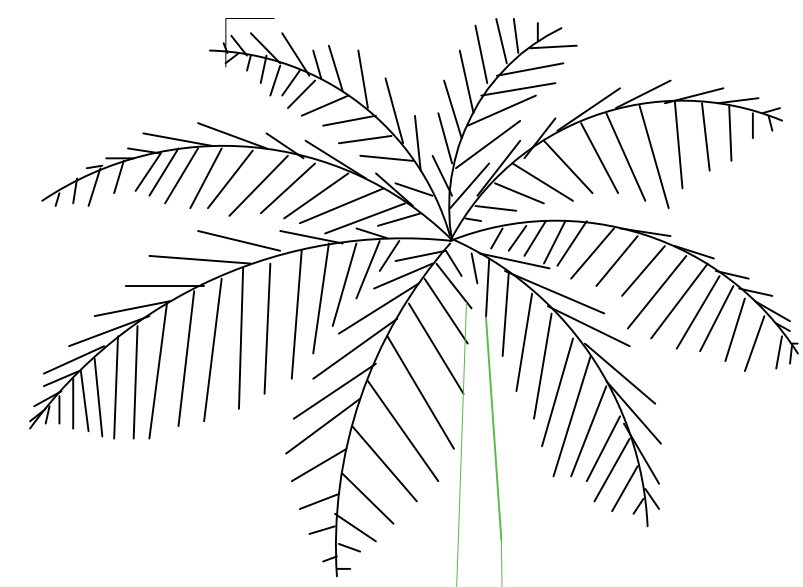
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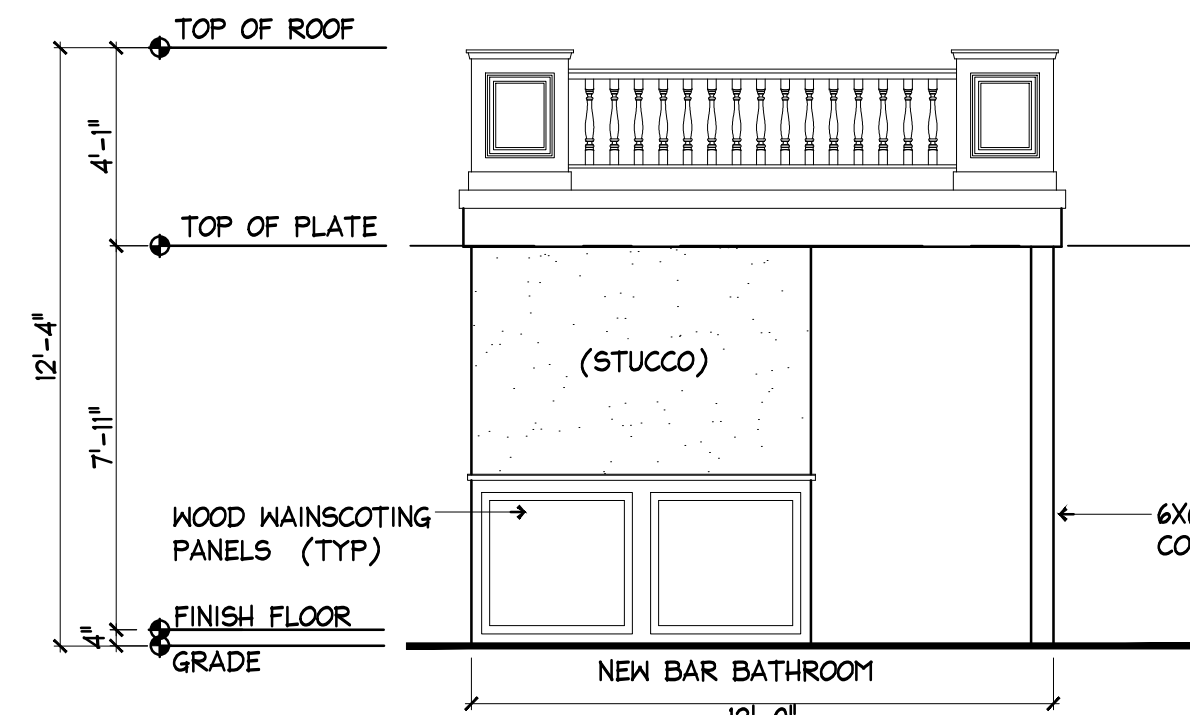
Project No: 2506  
EXISTING PHOTOS POOL  
BATHROOM AREA  
Date: 08/12/2025

A4

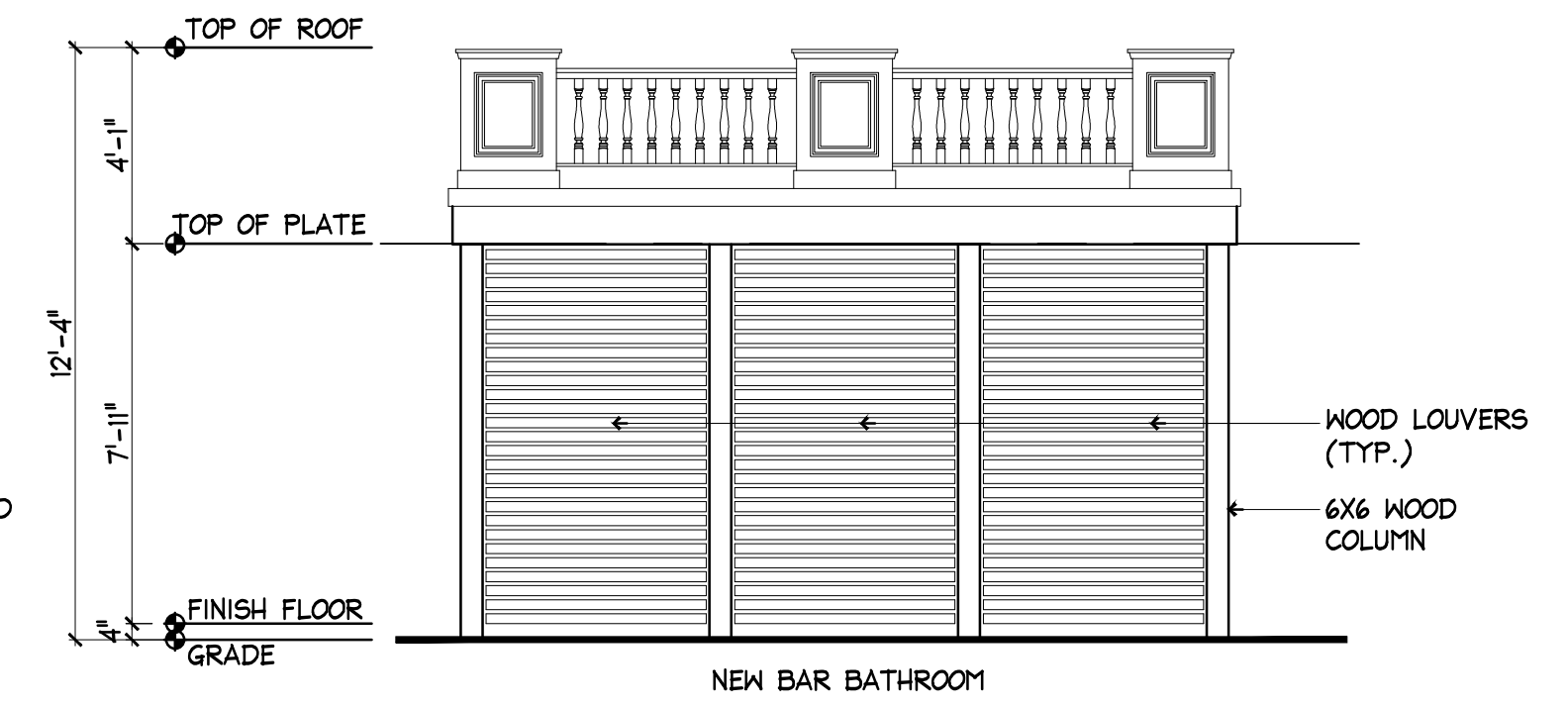




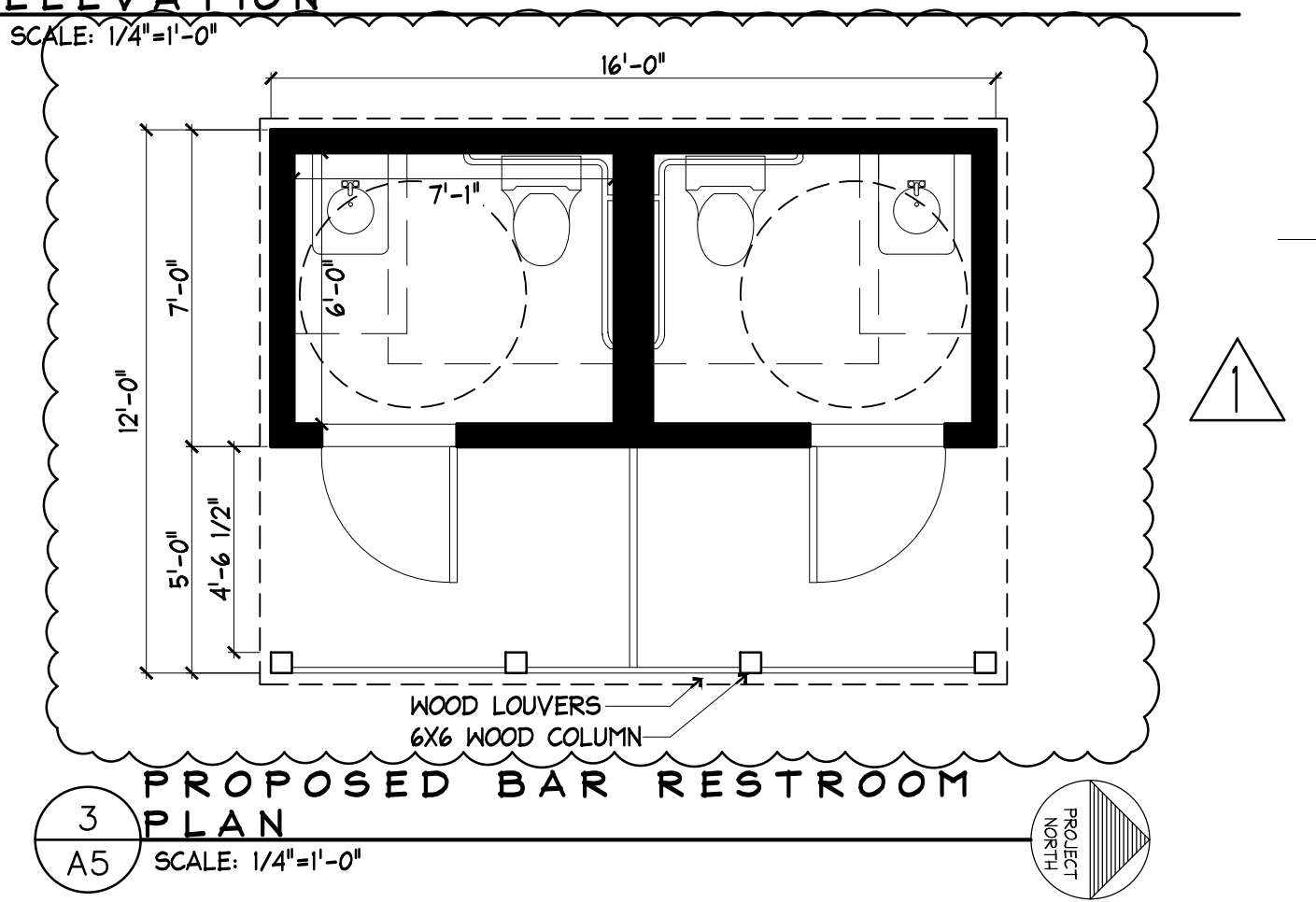
6  
A5  
PROPOSED BAR RESTROOM WEST  
ELEVATION  
SCALE: 1/4"=1'-0"



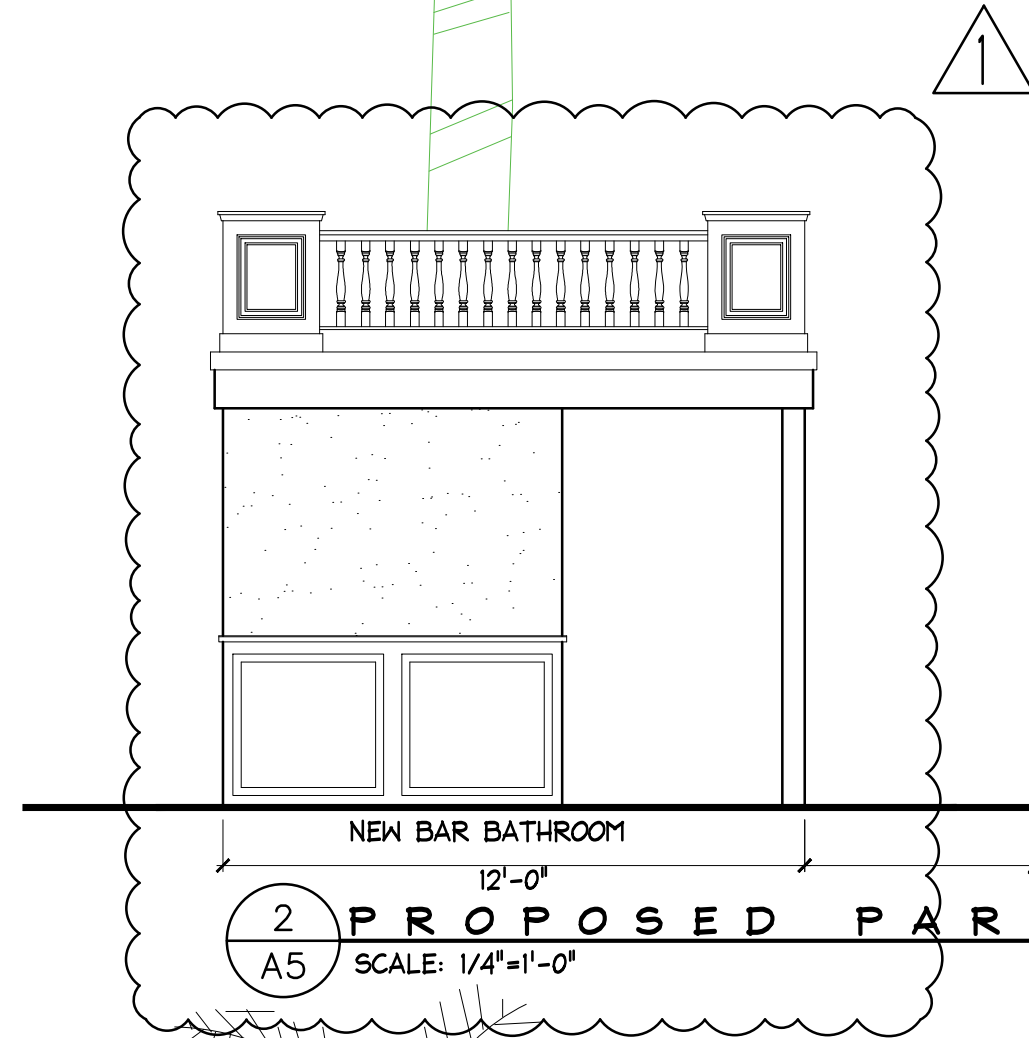
5  
A5  
PROPOSED BAR RESTROOM SOUTH  
ELEVATION  
SCALE: 1/4"=1'-0"



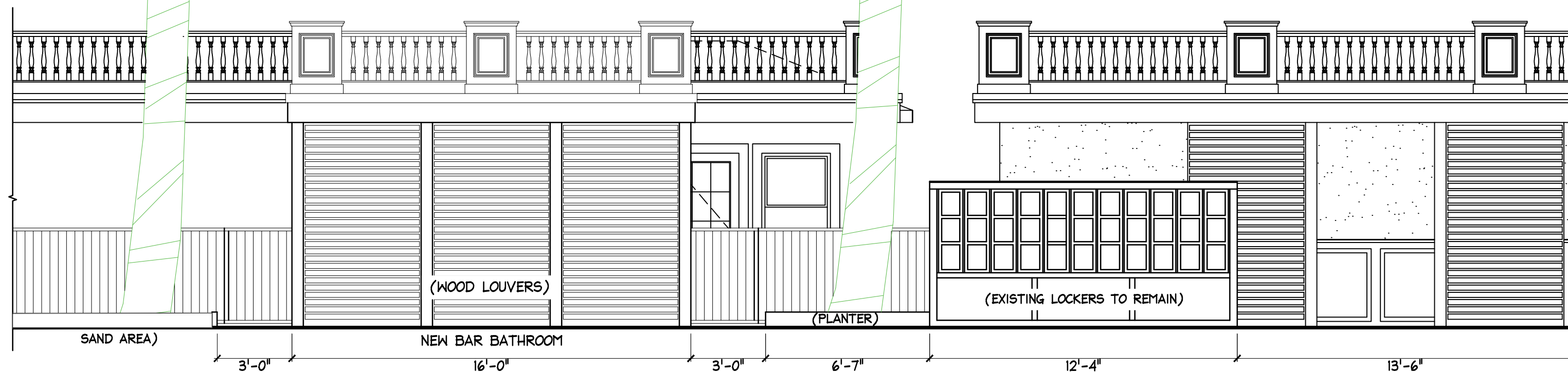
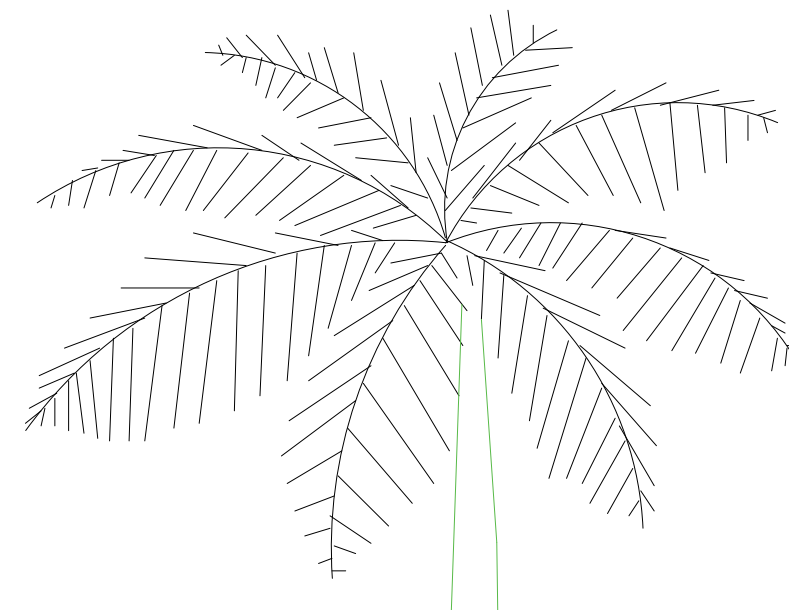
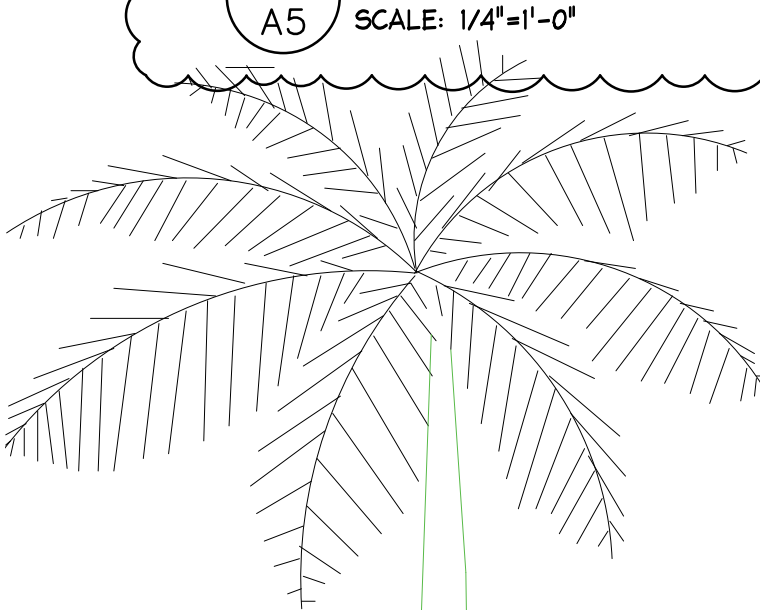
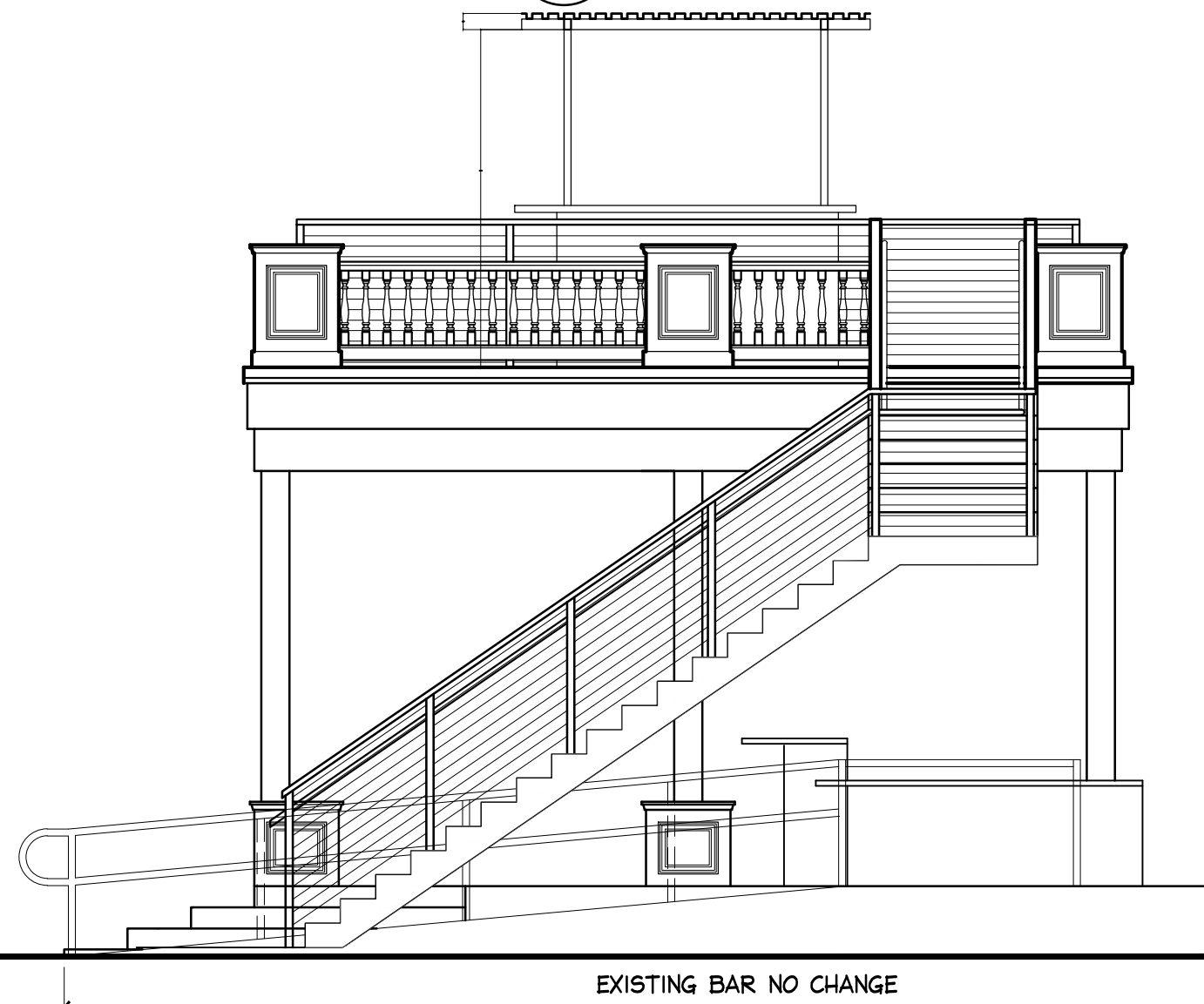
4  
A5  
PROPOSED BAR RESTROOM EAST  
ELEVATION  
SCALE: 1/4"=1'-0"



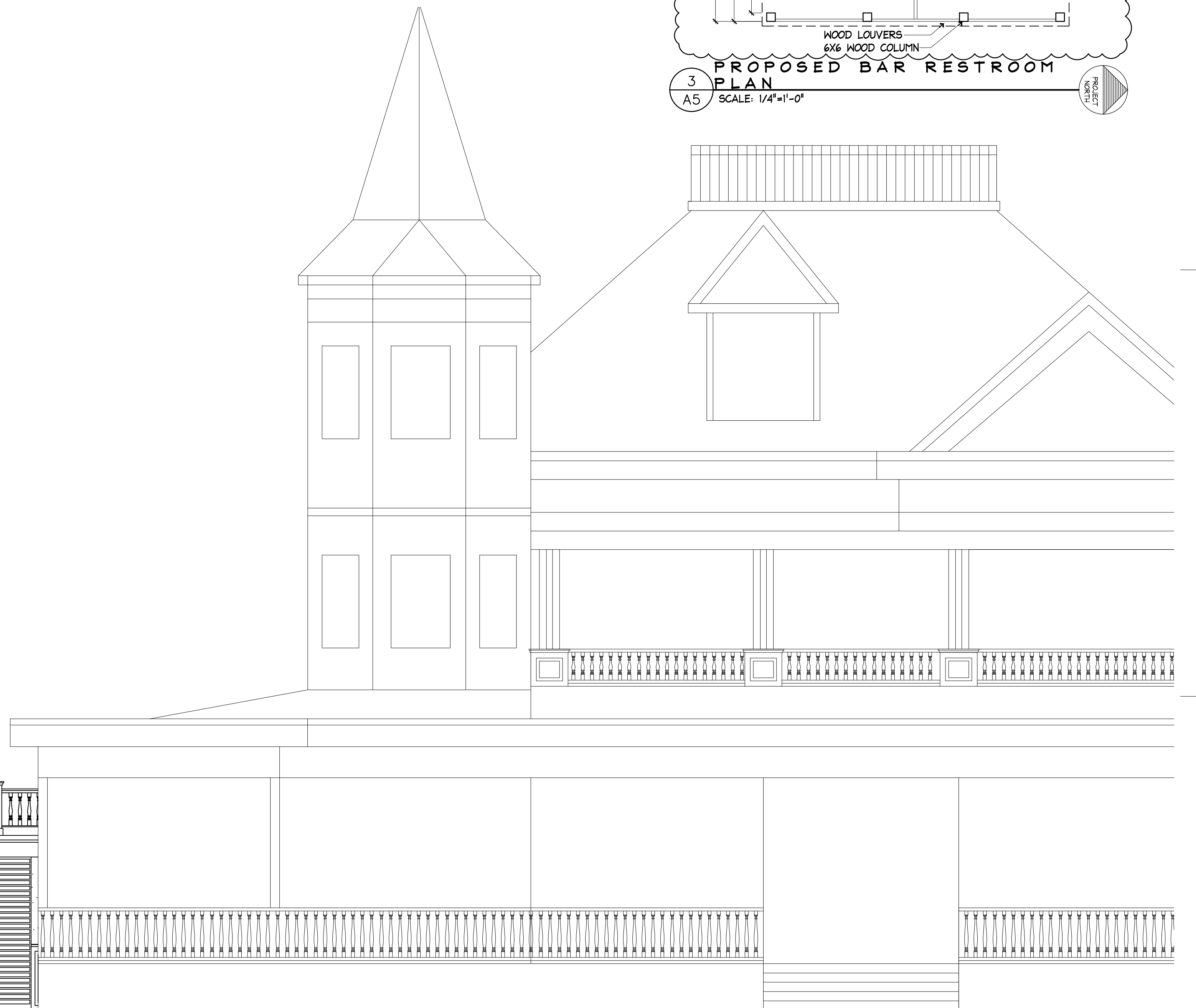
3  
A5  
PROPOSED BAR RESTROOM  
PLAN  
SCALE: 1/4"=1'-0"



2  
A5  
PROPOSED PARTIAL SOUTH SITE  
ELEVATION  
SCALE: 1/4"=1'-0"



1  
A5  
PROPOSED PARTIAL SITE  
ELEVATION  
SCALE: 1/4"=1'-0"



09/15/2025  
CHANGE OF SIZE OF POOL &  
BAR RESTROOMS.

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ARCHITECTS  
p.a.

Project No. 2506  
PROPOSED BAR  
BATHROOM PLAN,  
ELEVATIONS & SITE  
ELEVATION  
Date: 08/12/2025

A5





1  
A6 PHOTOGRAPH OF AREA FOR NEW BATHROOMS (SOUTH VIEW)  
SCALE: N.T.S.



1  
A6 PHOTOGRAPH OF AREA FOR NEW BATHROOMS (WEST VIEW)  
SCALE: N.T.S.

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ARCHITECTS  
p.a.

Project No: 2506  
PHOTOS OF AREA FOR  
NEW BATHROOM  
Date: 08/12/2025

A6



# NOTICING



# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m. September 23, 2025, at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW BATHROOM STRUCTURES FOR POOL AND BAR AREA.**  
**DEMOLITION OF NON-HISTORIC EXISTING STRUCTURE ON**  
**WEST ELEVATION.**

**#1400 DUVAL STREET**

**Applicant – Bender and Associates Architects Application #C2025-0079**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



# HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:**  
**COUNTY OF MONROE:**

**BEFORE ME,** the undersigned authority, personally appeared ANA ALVAREZ, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

1400 DUVAL ST. on the 12 day of September, 2025.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on September 23, 2025.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is #C2025-0079.

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:**

[Signature]  
**Date:** 09/12/2025  
**Address:** 410 Angela St.  
**City:** Key West  
**State, Zip:** FL 33040

The forgoing instrument was acknowledged before me on this 12<sup>th</sup> day of September, 2025.

By (Print name of Affiant) Ana Alvarez who is personally known to me or has produced \_\_\_\_\_ as identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: [Signature]

Print Name: \_\_\_\_\_



Caitlin Dempsey  
Comm.: HH 456193  
Expires: Oct. 19, 2027

Notary Public - State of Florida

Notary Public - State of Florida (seal)

My Commission Expires: \_\_\_\_\_



Caitlin Dempsey  
Comm.: HH 456193  
Expires: Oct. 19, 2027  
Notary Public - State of Florida



**SEASIDE CAFE**  
OCEAN BAR  
KEY WEST

**ISLAND CLASSICS**

CONCH FRITTERS \$15  
W/ KEY LIME JUICY HURRICANE SAUCE

PARMESAN TRUFFLE FRIES \$11  
SERVED W/ KEY LIME SAUCE

**SALADS**

STRAWBERRY SPRING MIX \$18  
SPINACH, FRESH STRAWBERRIES, AVOCADO, CARROTS  
DRESSING: KEY LIME, CUCUMBER, CRANBERRY  
SERVED WITH A HONEY BUTTER BISCUIT  
AND BAKED LEMON CAKE \$1

ISLAND AHI SALAD \$22  
MARINATED AHI TUNA, PINEAPPLE, CUCUMBER, TOMATOES, AVOCADO, BALSAMIC AND BAKED AHI  
DRESSING: KEY LIME, CUCUMBER, CRANBERRY

**WOOD-FIRED SANDWICHES**  
GLUTEN FREE AVAILABLE \$1

CAPRESE SANDWICH \$17  
HOMEMADE WOOD-FIRED BREAD, FRESH TOMATOES, TOMATOES, AVOCADO, BALSAMIC AND BAKED AHI  
DRESSING: KEY LIME, CUCUMBER, CRANBERRY

PROSCIUTTO CAPRESE SANDWICH \$19  
HOMEMADE WOOD-FIRED BREAD, PROSCIUTTO, FRESH TOMATOES, TOMATOES, AVOCADO, BALSAMIC AND BAKED AHI  
DRESSING: KEY LIME, CUCUMBER, CRANBERRY

**"THE SEASIDE CAFE SIGNATURE"**

HONEY-BUTTER LOBSTER BISCUITS \$29  
HONEY-BUTTER BISCUITS STUFFED WITH LOBSTER SALAD. CHOICE OF FRIES OR A SALAD.  
TRUFFLE FRIES \$1  
AVAILABLE SPICY WITH MILD HOT HONEY & JALAPENOS \$1

**ARTISAN WOOD-FIRED PIZZAS**  
GLUTEN FREE AVAILABLE \$1

**"THE SEASIDE SIGNATURE PIZZA"**

LOBSTER BIANCA \$32  
MAINE LOBSTER, CREAM SAUCE, PASTA, GARLIC PUREE, FRESH PARSLEY

TRADITIONAL \$18  
RED SAUCE, THREE CHEESE BLEND AND PEPERONIS \$1

FUN GUY TRUFFLE \$22  
CREAM SAUCE, PASTA, GARLIC PUREE, FRESH PARSLEY

HOT HONEY SALAMI \$22  
RED SAUCE, THREE CHEESE BLEND, SALAMI, CUCUMBER, CRANBERRY, BAKED AHI, PINEAPPLE, AND PEPERONIS \$1

VEGGIE \$21  
RED SAUCE, THREE CHEESE BLEND, CUCUMBER, CRANBERRY, BAKED AHI, PINEAPPLE, AND PEPERONIS \$1

**DESSERT**

PIÑA COLADA KEY LIME PIE \$9  
CLASSIC KEY LIME PIE \$9

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting on **September 22, 2023**, at City Hall, 1201 Duval Street, Key West, Florida. The purpose of the meeting will be to consider a request for:

**NEW BATHROOM STRUCTURES FOR POOL AND BAR AREA, DEMOLITION OF NON-HISTORIC EXISTING STRUCTURE ON WEST ELEVATION, #1400 DUVAL STREET**

Applicant - Bender and Associates Architects Application #C-2023-0079

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305.299.0777 or visit our website at [www.keywest.gov](http://www.keywest.gov).

**THIS NOTICE CAN NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.**

FOR INFORMATION: It is the policy of the City of Key West to operate with all departments of the municipality with integrity and honesty. Please call the City Manager at 305.299.0777 or the City Clerk at 305.299.0777 for more information or to request a copy of this notice. If you have any questions, please call the City Manager at 305.299.0777 or the City Clerk at 305.299.0777.

**SEASIDE CAFE**  
OCEAN BAR  
KEY WEST

**COCKTAILS**

BACARDI MOJITO \$14  
BACARDI SUPERIOR RUM, FRESH MINT, LIME, SIMPLE, ROCK CANDY

STRAWBERRY LEMONGRASS MOJITO \$14  
GREY GOOSE STRAWBERRY LEMONGRASS VODKA, MANGO, LIME, CUCUMBER, CRANBERRY, WATERMELON, OR PINEAPPLE

TITO'S DAILY \$13  
TITO'S VANGUARD VODKA, CUPPIN PINE LEMONADE, AND ICED TEA

PUSHER'S PAINKILLER \$14  
PUSHER'S TONIC, COGNAC, CREAM, OLIVE OIL, LIME, CUCUMBER, CRANBERRY, PINEAPPLE, LIME, MANGO, AND A CHOCOLATE DRIZZLE

PAPA PILAR HURRICANE \$15  
PAPA PILAR RUM, LIME, CUCUMBER, CRANBERRY, PINEAPPLE, LIME, MANGO, AND A CHOCOLATE DRIZZLE

**BACARDI FROZEN DRINKS**  
AND BACARDI BLACK RUM FROSTED BY

DAIQUIRI \$13  
CHOICE OF STRAWBERRY, BACARDI, MANGO, OR WATERMELON, MADE WITH BACARDI SUPERIOR RUM

MUDSLIDE \$14  
KAWAII, VANILLA VODKA, BACARDI, FRESH CREAM, VANILLA OF CREAM, AND A CHOCOLATE DRIZZLE

**BEERS**

CORRAL HEAD IPA \$9  
HOPPY, A BIT OF CITRUS, AND A TOUCH OF HONEY

KEY LIME COLA \$9  
KEY LIME, CUCUMBER, CRANBERRY, PINEAPPLE, LIME, MANGO, AND A CHOCOLATE DRIZZLE

STELLA ARTOIS \$7  
BLISS, HOPPY, AND A TOUCH OF HONEY

ROSE LIGHT \$9  
ROSE, HOPPY, AND A TOUCH OF HONEY

WHISKEY ULTRA \$9  
WHISKEY, HOPPY, AND A TOUCH OF HONEY

**WINE & CHAMPAGNE**

MEYER CHARDONNAY \$12  
CALIFORNIA, HOPPY, AND A TOUCH OF HONEY

CAJON MONTE PULIT \$12  
CALIFORNIA, HOPPY, AND A TOUCH OF HONEY

KEY LIME COLA \$9  
KEY LIME, CUCUMBER, CRANBERRY, PINEAPPLE, LIME, MANGO, AND A CHOCOLATE DRIZZLE

STELLA ARTOIS \$7  
BLISS, HOPPY, AND A TOUCH OF HONEY

ROSE LIGHT \$9  
ROSE, HOPPY, AND A TOUCH OF HONEY

WHISKEY ULTRA \$9  
WHISKEY, HOPPY, AND A TOUCH OF HONEY





Public  
Meeting  
Notice



# PROPERTY APPRAISER INFORMATION



# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00036360-000000  
**Account#** 1037206  
**Property ID** 1037206  
**Millage Group** 10KW  
**Location** 1400 DUVAL St, KEY WEST  
**Address**  
**Legal** KW FILER BOYLE SUB BOOK N-476 PT LOTS 1-3 SQR 6 TR 16 & ADJ BAY BTM  
**Description** OR20-44/45 OR161-178(II DEED 22209) OR954-1671AFF OR1062-2301LE  
OR1132-2211 OR2304-1 OR2952-1611DC OR3257-0713  
(Note: Not to be used on legal documents.)  
**Neighborhood** 32110  
**Property Class** HOTEL - GUEST HOUSE (10 ROOMS OR LESS) (3907)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**



### Owner

1400 DUVAL LLC  
 PO Box 1736  
 Key West FL 33041

### Valuation

|                            | 2024 Certified Values | 2023 Certified Values | 2022 Certified Values | 2021 Certified Values |
|----------------------------|-----------------------|-----------------------|-----------------------|-----------------------|
| + Market Improvement Value | \$3,251,933           | \$3,251,933           | \$3,251,933           | \$3,251,933           |
| + Market Misc Value        | \$361,326             | \$361,326             | \$361,326             | \$361,326             |
| + Market Land Value        | \$3,613,402           | \$3,613,259           | \$3,613,259           | \$3,613,259           |
| = Just Market Value        | \$7,226,661           | \$7,226,518           | \$7,226,518           | \$7,226,518           |
| = Total Assessed Value     | \$5,503,047           | \$5,002,640           | \$4,547,855           | \$4,134,414           |
| - School Exempt Value      | \$0                   | \$0                   | \$0                   | \$0                   |
| = School Taxable Value     | \$7,226,661           | \$7,226,518           | \$7,226,518           | \$7,226,518           |

### Historical Assessments

| Year | Land Value  | Building Value | Yard Item Value | Just (Market) Value | Assessed Value | Exempt Value | Taxable Value | Maximum Portability |
|------|-------------|----------------|-----------------|---------------------|----------------|--------------|---------------|---------------------|
| 2023 | \$3,613,259 | \$3,251,933    | \$361,326       | \$7,226,518         | \$5,002,640    | \$0          | \$7,226,518   | \$0                 |
| 2022 | \$3,613,259 | \$3,251,933    | \$361,326       | \$7,226,518         | \$4,547,855    | \$0          | \$7,226,518   | \$0                 |
| 2021 | \$3,613,259 | \$3,251,933    | \$361,326       | \$7,226,518         | \$4,134,414    | \$0          | \$7,226,518   | \$0                 |
| 2020 | \$3,232,688 | \$3,591,875    | \$359,188       | \$7,183,751         | \$3,758,559    | \$0          | \$7,183,751   | \$0                 |
| 2019 | \$2,870,936 | \$258,842      | \$287,094       | \$3,416,872         | \$3,416,872    | \$0          | \$3,416,872   | \$0                 |
| 2018 | \$2,784,168 | \$2,505,751    | \$278,417       | \$5,568,336         | \$5,161,544    | \$0          | \$5,568,336   | \$0                 |

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

### Land

| Land Use                    | Number of Units | Unit Type   | Frontage | Depth  |
|-----------------------------|-----------------|-------------|----------|--------|
| COMMERCIAL WATERFRON (100W) | 35,320.00       | Square Foot | 156      | 218.44 |
| ENVIRONMENTALLY SENS (000X) | 0.95            | Acreage     | 0        | 0      |



**Buildings**

|                |                     |                    |                        |           |
|----------------|---------------------|--------------------|------------------------|-----------|
| Building ID    | 2886                | Exterior Walls     | CUSTOM with 69% CUSTOM |           |
| Style          |                     | Year Built         | 1941                   |           |
| Building Type  | HOTEL/MOTEL B / 39B | EffectiveYearBuilt | 1997                   |           |
| Building Name  |                     | Foundation         |                        |           |
| Gross Sq Ft    | 11215               | Roof Type          | IRR/CUSTOM             |           |
| Finished Sq Ft | 6505                | Roof Coverage      |                        |           |
| Stories        | 3 Floor             | Flooring Type      |                        |           |
| Condition      | EXCELLENT           | Heating Type       | with 0% NONE           |           |
| Perimeter      | 711                 | Bedrooms           | 14                     |           |
| Functional Obs | 0                   | Full Bathrooms     | 14                     |           |
| Economic Obs   | 0                   | Half Bathrooms     | 0                      |           |
| Depreciation % | 35                  | Grade              | 600                    |           |
| Interior Walls |                     | Number of Fire Pl  | 0                      |           |
| Code           | Description         | Sketch Area        | Finished Area          | Perimeter |
| OPX            | EXC OPEN PORCH      | 2,107              | 0                      | 0         |
| FHS            | FINISH HALF ST      | 2,407              | 0                      | 0         |
| FLA            | FLOOR LIV AREA      | 6,505              | 6,505                  | 0         |
| OUU            | OP PR UNFIN UL      | 196                | 0                      | 0         |
| TOTAL          |                     | 11,215             | 6,505                  | 0         |

|                |                     |                    |                             |
|----------------|---------------------|--------------------|-----------------------------|
| Building ID    | 2887                | Exterior Walls     | C.B.S.                      |
| Style          |                     | Year Built         | 1941                        |
| Building Type  | HOTEL/MOTEL B / 39B | EffectiveYearBuilt | 1997                        |
| Building Name  |                     | Foundation         | CONCR FTR                   |
| Gross Sq Ft    | 740                 | Roof Type          | GABLE/HIP                   |
| Finished Sq Ft | 640                 | Roof Coverage      | ASPHALT SHINGL              |
| Stories        | 1 Floor             | Flooring Type      | CONC S/B GRND               |
| Condition      | EXCELLENT           | Heating Type       | FCD/AIR DUCTED with 0% NONE |
| Perimeter      | 104                 | Bedrooms           | 2                           |
| Functional Obs | 0                   | Full Bathrooms     | 2                           |
| Economic Obs   | 0                   | Half Bathrooms     | 0                           |
| Depreciation % | 35                  | Grade              | 350                         |
| Interior Walls | PLYWOOD PANEL       | Number of Fire Pl  | 0                           |

| Code  | Description    | Sketch Area | Finished Area | Perimeter |
|-------|----------------|-------------|---------------|-----------|
| OPX   | EXC OPEN PORCH | 40          | 0             | 0         |
| FLA   | FLOOR LIV AREA | 640         | 640           | 0         |
| OPU   | OP PR UNFIN LL | 60          | 0             | 0         |
| TOTAL |                | 740         | 640           | 0         |

|                |                     |                    |                             |           |
|----------------|---------------------|--------------------|-----------------------------|-----------|
| Building ID    | 2888                | Exterior Walls     | CUSTOM                      |           |
| Style          |                     | Year Built         | 1963                        |           |
| Building Type  | HOTEL/MOTEL B / 39B | EffectiveYearBuilt | 1997                        |           |
| Building Name  |                     | Foundation         | CONCR FTR                   |           |
| Gross Sq Ft    | 2208                | Roof Type          | FLAT OR SHED                |           |
| Finished Sq Ft | 1066                | Roof Coverage      | ASPHALT SHINGL              |           |
| Stories        | 1 Floor             | Flooring Type      | CONC S/B GRND               |           |
| Condition      | EXCELLENT           | Heating Type       | FCD/AIR DUCTED with 0% NONE |           |
| Perimeter      | 164                 | Bedrooms           | 2                           |           |
| Functional Obs | 0                   | Full Bathrooms     | 2                           |           |
| Economic Obs   | 0                   | Half Bathrooms     | 0                           |           |
| Depreciation % | 35                  | Grade              | 350                         |           |
| Interior Walls | WD PANL/CUSTOM      | Number of Fire Pl  | 1                           |           |
| Code           | Description         | Sketch Area        | Finished Area               | Perimeter |
| FLA            | FLOOR LIV AREA      | 1,066              | 1,066                       | 0         |
| OPF            | OP PRCH FIN LL      | 330                | 0                           | 0         |
| PTO            | PATIO               | 788                | 0                           | 0         |
| SBF            | UTIL FIN BLK        | 24                 | 0                           | 0         |
| TOTAL          |                     | 2,208              | 1,066                       | 0         |

|                       |                          |                           |        |
|-----------------------|--------------------------|---------------------------|--------|
| <b>Building ID</b>    | 2673                     | <b>Exterior Walls</b>     | CUSTOM |
| <b>Style</b>          |                          | <b>Year Built</b>         | 2002   |
| <b>Building Type</b>  | NIGHT CLUB, BARS B / 33B | <b>EffectiveYearBuilt</b> | 2002   |
| <b>Building Name</b>  |                          | <b>Foundation</b>         |        |
| <b>Gross Sq Ft</b>    | 714                      | <b>Roof Type</b>          |        |
| <b>Finished Sq Ft</b> | 170                      | <b>Roof Coverage</b>      |        |
| <b>Stories</b>        | 1 Floor                  | <b>Flooring Type</b>      |        |
| <b>Condition</b>      | EXCELLENT                | <b>Heating Type</b>       |        |
| <b>Perimeter</b>      | 54                       | <b>Bedrooms</b>           | 0      |
| <b>Functional Obs</b> | 0                        | <b>Full Bathrooms</b>     | 0      |
| <b>Economic Obs</b>   | 0                        | <b>Half Bathrooms</b>     | 0      |
| <b>Depreciation %</b> | 26                       | <b>Grade</b>              | 300    |
| <b>Interior Walls</b> |                          | <b>Number of Fire Pl</b>  | 0      |



| Code  | Description    | Sketch Area | Finished Area | Perimeter |
|-------|----------------|-------------|---------------|-----------|
| FLA   | FLOOR LIV AREA | 170         | 170           | 0         |
| PDO   | PATIO DIN OPEN | 544         | 0             | 0         |
| TOTAL |                | 714         | 170           | 0         |

Yard Items

| Description   | Year Built | Roll Year | Size     | Quantity | Units    | Grade |
|---------------|------------|-----------|----------|----------|----------|-------|
| FENCES        | 1940       | 1941      | 6 x 279  | 1        | 1674 SF  | 5     |
| FENCES        | 1940       | 1941      | 4 x 76   | 1        | 304 SF   | 4     |
| TIKI          | 1999       | 2000      | 14 x 18  | 1        | 252 SF   | 5     |
| WOOD DECK     | 1999       | 2000      | 25 x 120 | 1        | 3000 SF  | 1     |
| BRICK PATIO   | 1999       | 2000      | 114 x 42 | 1        | 4788 SF  | 2     |
| FENCES        | 1999       | 2000      | 6 x 96   | 1        | 576 SF   | 2     |
| COMM POOL     | 1999       | 2000      | 20 x 45  | 1        | 900 SF   | 1     |
| CONC PATIO    | 1999       | 2000      | 0 x 0    | 1        | 13211 SF | 2     |
| CONCRETE DOCK | 2006       | 2007      | 0 x 0    | 1        | 3788 SF  | 3     |
| SEAWALL       | 2006       | 2007      | 0 x 0    | 1        | 936 SF   | 3     |

Sales

| Sale Date | Sale Price  | Instrument    | Instrument Number | Deed Book | Deed Page | Sale Qualification | Vacant or Improved | Grantor | Grantee |
|-----------|-------------|---------------|-------------------|-----------|-----------|--------------------|--------------------|---------|---------|
| 1/1/2024  | \$1,000,000 | Warranty Deed | 2446713           | 3257      | 0713      | 30 - Unqualified   | Improved           |         |         |

Permits

| Number       | Date Issued | Date Completed | Amount   | Permit Type | Notes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|--------------|-------------|----------------|----------|-------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| BLD2023-3006 | 1/5/2024    |                | \$65,000 | Commercial  | Exterior Renovation - (NOC & P. Provider uploaded shortly) Exterior renovation for bar area and structural improvements.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| BLD2023-3138 | 11/13/2023  | 11/14/2023     | \$8,500  | Residential | Removing 2 wall hung water heaters at the porter house.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| BLD2022-2835 | 9/30/2022   | 10/5/2022      | \$10,000 | Commercial  | EMERGENCY PERMIT - REPLACE WATER LINES AND DRAINAGE, RE AND RE WATER EXTERIOR WATER LINES AND DRAINAGE THAT WERE WASHED AWAY IN THE STORM.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| BLD2019-3935 | 11/7/2019   |                | \$21,000 | Commercial  | RENOVATION INTERIOR-SPALLING REPAIRS ON FOUNDATION.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| BLD2019-3150 | 9/13/2019   |                | \$3,800  | Commercial  | Install ramp for service entrance concrete & rebar new gate at opening                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 16-0551      | 3/29/2016   | 2/9/2018       | \$24,800 | Commercial  | Replace rotten fascia and columns around outside bar with new wood. Replace and repair wood railings as needed. Paint entire structure same color as is. Revision #1: Box in round columns with AZEK trim. Replace all trim on structure with AZEK trim. Replace ceiling plywood with 1 x 6 AZEK T&G. Paint all trim the same color as existing, type. Structure was Built in 1999 and stands alone on the Northeast side of the property. REVISION#2: REPLACE ROTTEN TRUSSES AS PER PLANS. REPLACE ROOF SHEATHING AS NEEDED. APPROX. 700 SQ/FT. REVISION#3:REPLACE EXISTING CLUSTER ROUND COLUMNS W/NEW SINGLE ROUND COLUMNS, EXISTING COLUMNS ARE RUSTED BEYOND REPAIR. OWNER DOES NOT WANT COLUMNS BOXED IN SEE DRAWING. PAINT NEW COLUMNS SAME COLOR AS EXISTING. |
| 16-00000788  | 2/29/2016   | 4/15/2017      | \$5,800  | Commercial  | RE-ROOF PAVILION (700 SQ FT). INSTALL A TUPLUS SECONDARY WATER ROOFING DRY-IN. MECHANICALLY FASTENED Z 60 MIL GAF TPO. ALL SEAMS TO BE HEAT WELDED. DECK IS 3/4 IN PLYWOOD. EAVES DRIP AND TERMINATE BAR SCREWED EVERY 6" ( NOC REQUIRED). H#16-01-274                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 14-5119      | 11/12/2014  | 1/21/2015      | \$7,100  |             | INSTALL WATERPROFFING BARRIER AND APPLY WATERPROFFING SYSTEM                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 12-0180      | 1/19/2012   |                | \$500    | Commercial  | INSTALLATION OF POOL BOND FROM POOL MOTOR TO NEW POOL HEATER                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 11-3343      | 9/15/2011   |                | \$8,550  | Commercial  | COMMERCIAL POOL REPAIR 130LF RESURFACE STEPS, TILE, REPAIR EXISTING HANDRAIL AND LADDER.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|              | 3/20/2009   | 3/20/2009      | \$0      | Commercial  | RECIVED "CO"                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 09-0647      | 3/3/2009    | 3/20/2009      | \$100    | Commercial  | UP-GRADE PERMIT #07-1310 FOR FINAL INSPECTION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| 08-4062      | 11/3/2008   | 5/6/2010       | \$3,500  | Commercial  | REPLACED CRACKED AND DAMAGED PAVERS AT POOL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 07-0533      | 2/9/2007    | 9/27/2007      | \$1,000  | Commercial  | POUR 6" SLAB 12'x15'                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 06-0230      | 1/17/2006   | 7/26/2006      | \$700    | Commercial  | PATCH CONCRETE CRACKS & STUCCO                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 03-0598      | 3/14/2003   | 5/15/2004      | \$1,000  | Commercial  | GREASE TRAP                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 0202258      | 9/5/2002    | 9/5/2002       | \$1      |             | CHANGE OF USE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| 02-2045      | 7/25/2002   | 9/5/2002       | \$300    | Commercial  | PLUMBING                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| 0101497      | 4/5/2002    | 12/31/2001     | \$2,000  | Commercial  | FINISH WORK UNFINISHED                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 0200384      | 2/15/2002   | 9/5/2002       | \$21,700 | Commercial  | DIVIDE GARAGE=SBF/STORE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| 0102078      | 5/25/2001   | 12/31/2001     | \$1      |             | 85 UNDERGROUND SPRINKLERS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| 0101959      | 5/15/2001   | 12/31/2001     | \$4,000  | Commercial  | 22 NEW NEW FIXTURES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| 0101940      | 5/14/2001   | 12/31/2001     | \$1      |             | INSTALL FIRE ALARM                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 9903398      | 9/29/1999   | 11/3/1999      | \$1,000  | Commercial  | ELECTRICAL UPGRADE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 9901693      | 5/17/1999   | 11/3/1999      | \$800    | Commercial  | SECURITY ALARM                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 9802286      | 7/21/1998   | 11/3/1999      | \$9,300  | Commercial  | 6 MORE A/C UNITS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| 9801496      | 5/13/1998   | 11/3/1999      | \$9,800  | Commercial  | PLUMBING- 23 NEW FIXTURES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |



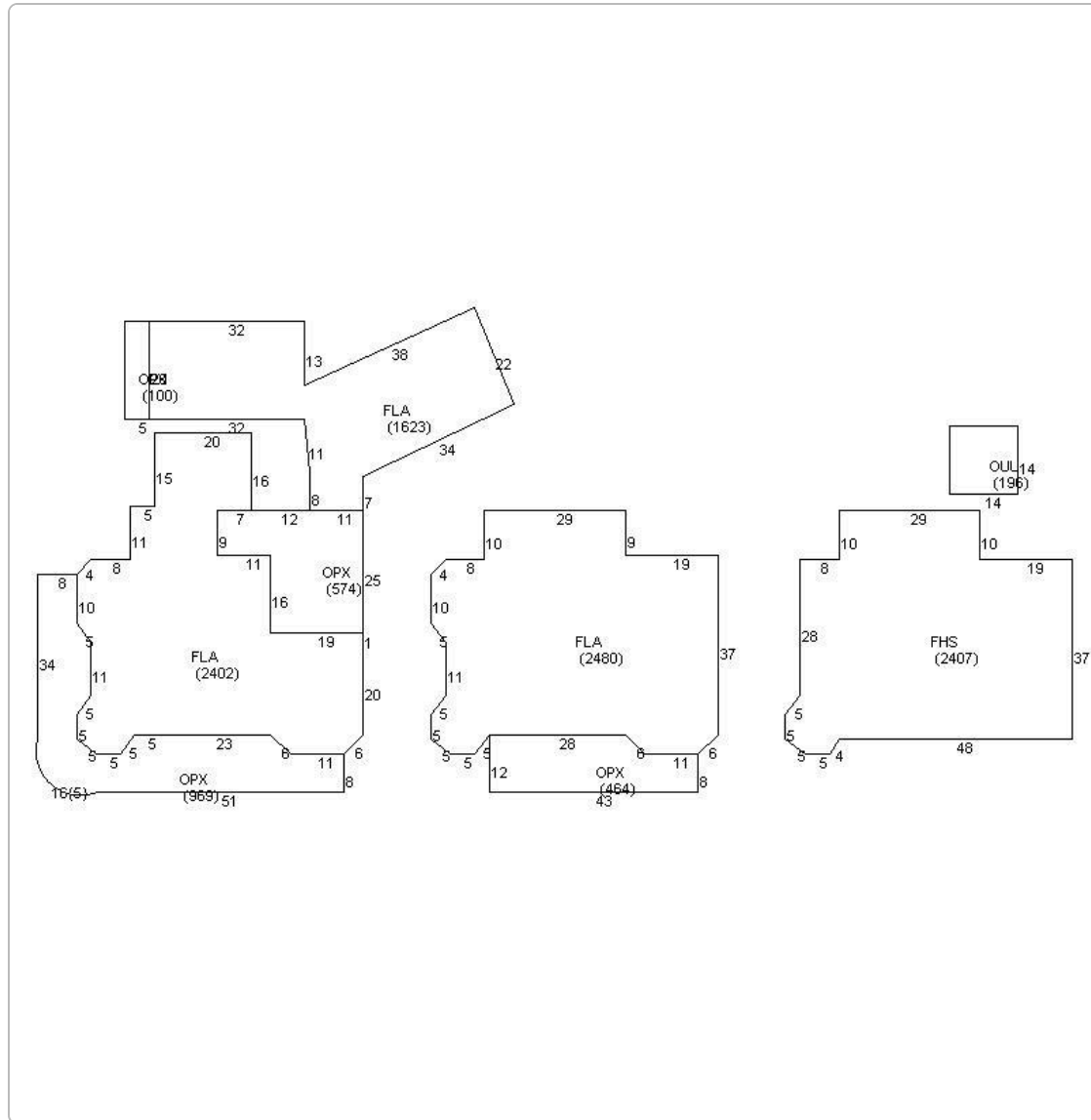
| Number  | Date Issued | Date Completed | Amount    | Permit Type | Notes                                                                                            |
|---------|-------------|----------------|-----------|-------------|--------------------------------------------------------------------------------------------------|
| 9801465 | 5/8/1998    | 11/3/1999      | \$8,000   | Commercial  | ELECTRICAL                                                                                       |
| 9801401 | 5/5/1998    | 11/3/1999      | \$8,000   | Commercial  | CONVERT STORAGE TO BTHRMS                                                                        |
| 9800122 | 5/1/1998    | 11/3/1999      | \$32,000  | Commercial  | INTERIOR RENOVATIONS                                                                             |
| 9800120 | 4/9/1998    | 11/3/1999      | \$40,000  | Commercial  | 2 BDRMS & 2 BTHRMS                                                                               |
| 9800653 | 3/10/1998   | 11/3/1999      | \$36,000  | Commercial  | INSTALL 11 A/C UNITS                                                                             |
| 9800080 | 1/9/1998    | 11/3/1999      | \$8,000   | Commercial  | RUBBER ROOF                                                                                      |
| 9704323 | 12/23/1997  | 11/3/1999      | \$49,500  | Residential | ELEC- (EXIT&EMERG LIGHTS)                                                                        |
| 9704148 | 12/9/1997   | 11/3/1999      | \$8,000   | Commercial  | ROOF REPAIR, GARAGE                                                                              |
| 9704104 | 12/4/1997   | 11/3/1999      | \$16,000  | Residential | PLUMBING, 38 NEW FIXTURES                                                                        |
| 9703976 | 11/21/1997  | 11/3/1999      | \$1,500   | Commercial  | ROOF REPAIR                                                                                      |
| 9703808 | 11/6/1997   | 11/3/1999      | \$40,840  | Residential | SPRINKLER HEADS                                                                                  |
| 9702149 | 10/31/1997  | 11/3/1999      | \$150,000 | Residential | TOTAL RENOVATION                                                                                 |
| 9701613 | 6/26/1997   | 11/3/1999      | \$22,000  | Commercial  | RIP-RAP THE SEAWALL                                                                              |
| 9702018 | 6/26/1997   | 11/13/1999     | \$50,450  | Commercial  | 20 X45 POOL                                                                                      |
| 9701271 | 4/23/1997   | 11/3/1999      | \$30,000  | Residential | RE-PAINT ROOF                                                                                    |
| 9700955 | 4/14/1997   | 11/3/1999      | \$20,000  | Residential | COMMERICAL GAZEBO W/BAR                                                                          |
| 9700837 | 4/3/1997    | 11/3/1999      | \$15,000  | Residential | DEMOLISH ENTRANCEWAY                                                                             |
| 9700865 | 3/21/1997   | 11/3/1999      | \$4,000   | Residential | ELECTRICAL                                                                                       |
| 9700514 | 3/2/1997    | 11/3/1999      | \$2,000   | Residential | REMOVE SIDING ON GUESTHOU                                                                        |
| 9604723 | 12/10/1996  | 11/3/1999      | \$25,000  | Residential | RENOVATION                                                                                       |
|         | 1/1/1900    |                | \$0       |             | COMMERCIAL POOL REPAIR 130 L.F. RESURFACE, REPLACE STEPS TILE, REPAIR EXISTING HANDRAIL & LADDER |

## View Tax Info

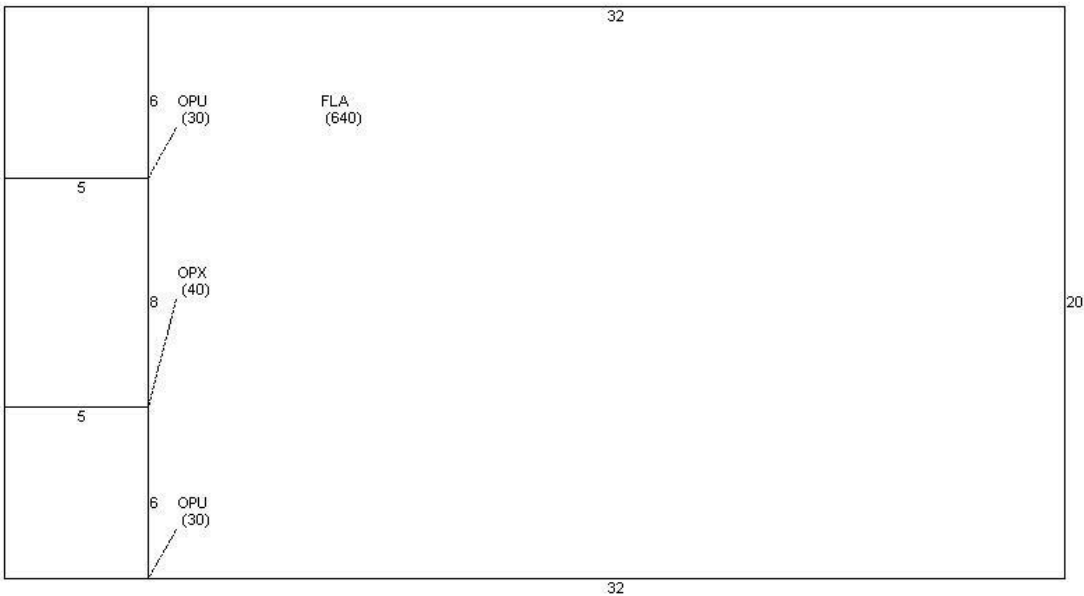
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Sketches (click to enlarge)

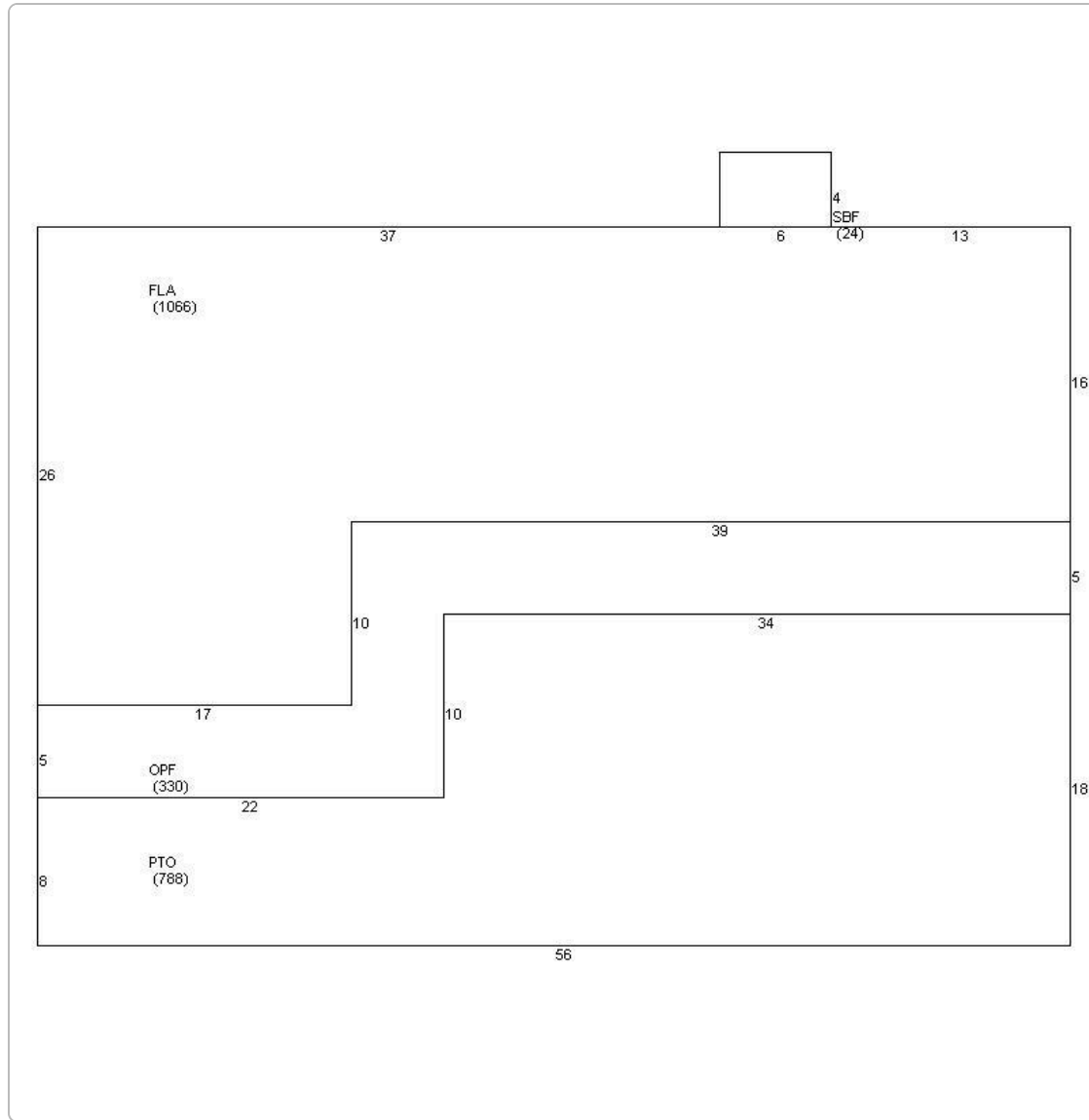




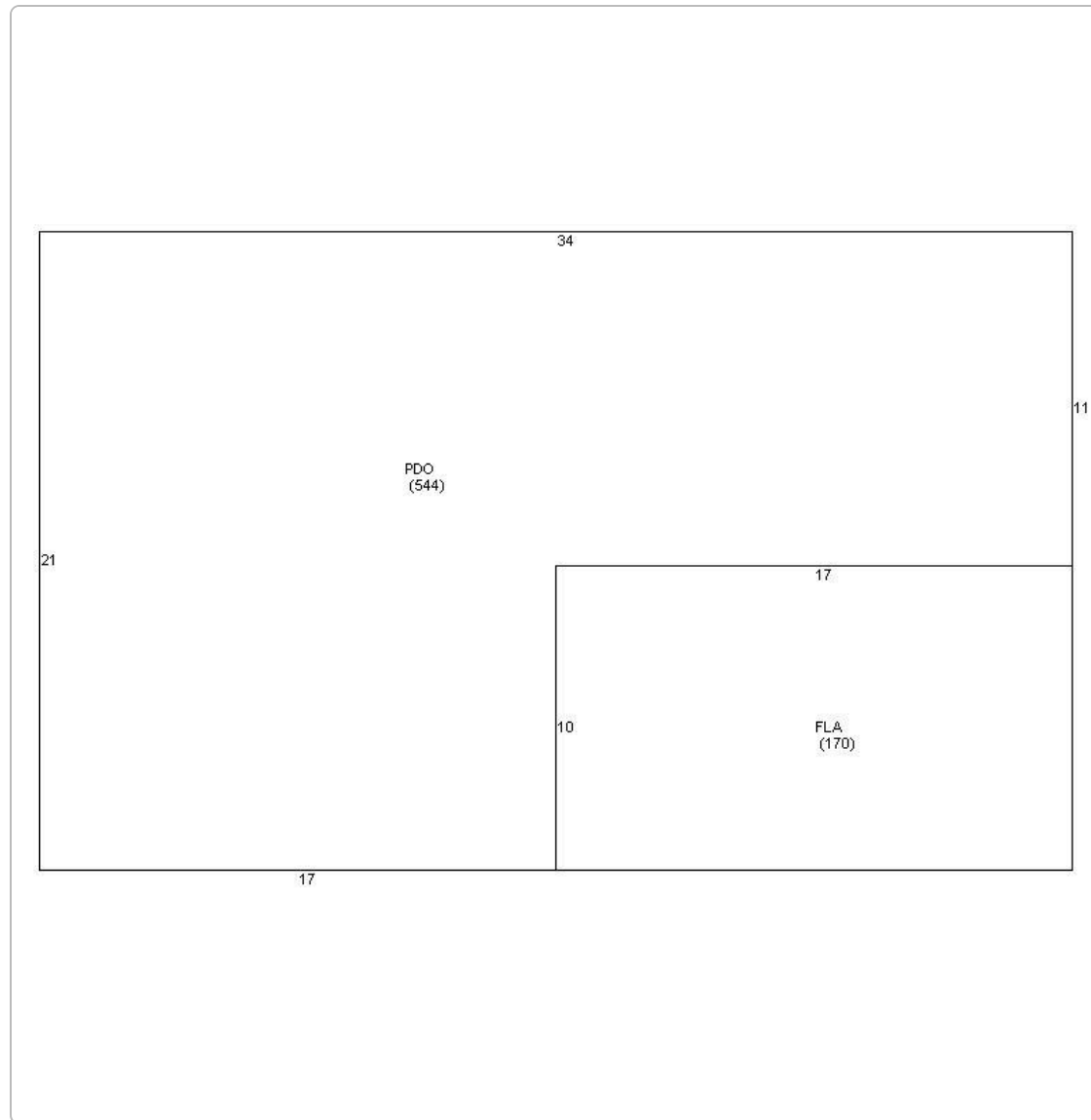












### Photos



### Map



### TRIM Notice

2024 TRIM Notice (PDF)



The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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