



Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Variance Application

Please completely fill out this application and attach all necessary documents. This will help our staff to process your request quickly and obtain necessary information without delay. If you have any questions please call 305-809-3720 to schedule an appointment with a Planner.

Please print or type a response to the following:

1. Site Address 1317 Thompson Street
2. Name of Applicant Adele V. Stones, Stones & Cardenas
3. Applicant is: Owner _____ Authorized Representative X
4. Address of Applicant 221 Simonton Street, Key West, FL 33040
5. Phone # of Applicant (305) 294-0252 Mobile# _____
6. E-Mail Address ginny@keyslaw.net
7. Name of Owner, if different than above Krzystof Ginowicz
8. Address of Owner 1317 Thompson Street, Key West, FL 33040
9. Phone # of Owner (305) 296-3071
10. Email Address _____
11. Zoning District of Parcel SF RE# 00043460-000000
12. Description of Proposed Construction, Development, and Use After the fact conversion of accessory shed to habitable space and the construction of new enclosed entrance hallway to join habitable space to principal structure. Previous variance for this conversion granted pursuant to Resolution 03-191 has expired.
13. List and describe the specific variance(s) being requested:
 - a) side setback (left) 5.0' required -- 0' existing -- 0' proposed
 - b) rear setback 25' required -- 1.2' existing -- 1.2' proposed
 - c) street side setback -- 10' required -- 4.2' existing -- 4.2' proposed
 - d) building coverage 35% permitted -- 68.4% requested -- 66.3% existing
 - e) impervious surface 50% permitted -- 96.5% requested -- 96.5% existing

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14. Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	SF			
Flood Zone				
Size of Site	4698.38 sf			
Height	25.0			
Front Setback	30'	21.06'	21.06'	
Side Setback	5.0'	0.0'	0.0'	
Side Setback				
Street Side Setback	10.0'	4.2'	4.2'	
Rear Setback	25.0'	17.87'	17.87'	
F.A.R	N/A	N/A	N/A	
Building Coverage	35% (1044)	66.3% (3117)	68.4% (3212)	
Impervious Surface	50% (2349)	96.5% (4335)	96.5% (4335)	
Parking	N/A			
Handicap Parking	N/A			
Bicycle Parking	N/A			
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats	N/A			

15. Is Subject Property located within the Historic District? Yes _____ No x
 If Yes, attach HARC approval and approved site plans

Meeting Date _____ HARC Approval # _____

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16. Are there any easements, deed restrictions or other encumbrances attached to the subject property? Yes _____ No x If Yes, please describe and attach relevant documents

17. Will the work be within the dripline (canopy) of any tree on or off the property?

YES _____ NO x

If yes, provide date of landscape approval, and attach a copy of such approval.

This application is pursuant to Section 106-51 & 52 City of Key West Land Development Regulations.

If the applicant would like additional information, electronic version of the City's Code of Ordinances can be found either through www.keywestcity.com, Planning Department archives or at www.municode.com. Once there, search Online Library/Florida/Key West/Chapter 122.

***Please note, variance approvals are quasi-judicial hearings, and it is improper for the owner or signatory to speak to a Planning Board member or City Commissioner about the hearing.**

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Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

When owner purchased the property in 2000, the site was 100% impervious, and was reduced 3.5% by Owner in order to install landscaping. Granting the variance will not increase impervious surface, as new construction will be located a top existing impervious surface.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The construction of the enclosed hallway (breezeway) is necessitated by FEMA regulations as detached habitable space would require elevating the structure above the flood plain which is not structurally or economically feasible.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Grant of the requested variances will renew the expired variance granted in 2003 to legalize the converted accessory structure to habitable space (Resolution No. 03-191).

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4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Owner would suffer a hardship if the detached habitable space was denied the ability to become legal via connection to the principal structure.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Minimal new construction will be required to join the habitable space to the principal structure with no increase in impervious surface.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Grant of the variances will confer legal status on the detached bedroom/bath suite and will not negatively impact public welfare.

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Applicant is not relying on surrounding similar nonconforming properties as the basis for this request.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Verification

**City of Key West
Planning Department**



Verification Form
(Where Authorized Representative is an individual)

I, Krzystof Ginowicz, being duly sworn, depose and say that I am the
the Owner (as appears on the deed), for the following property identified as the subject
matter of this application:

1317 Thompson Street, Key West, FL

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Krzystof Ginowicz
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this March 17, 2013 by
date

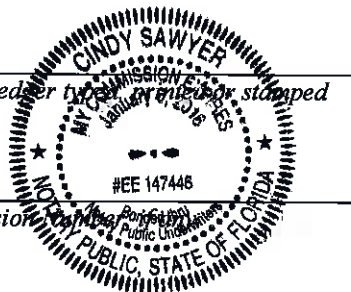
Krzystof Ginowicz
Name of Authorized Representative

He/She is personally known to me or has presented personally known as identification.

Cindy Sawyer
Notary's Signature and Seal

Name of Acknowledger typed or stamped

Commission



Deed

This Warranty Deed

Made this 22nd day of March A.D. 2000
by Rolando Garcia and Silvia Garcia,
husband and wife

MONROE COUNTY
OFFICIAL RECORDS

FILE #1172243
BK#1625 PG#1108

hereinafter called the grantor, to
Krzysztof Ginowicz, a single man

RCD Mar 30 2000 11:15AM
DANNY L KOLHAGE, CLERK

whose post office address is: 1317 Tompson Street
Key West, Florida 33040

DEED DOC STAMPS 2135.00
03/30/2000 40 DEP CI

hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Monroe County, Florida, viz:

On the Island of Key West and known on William A. Whitehead's Map delineated in February, A.D. 1829 as part of Tract 10, but now better known as Lot 14, in Square 10, of said Tract 20, according to a diagram of said subdivision recorded in Plat Book 1, Page 41 of the Public Records of Monroe County, Florida.

SUBJECT TO covenants, restrictions, easements of record and taxes the current year.


Parcel Identification Number: 00043460, AX 1044091

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertain To Have and to Hold, the same in fee simple forever.

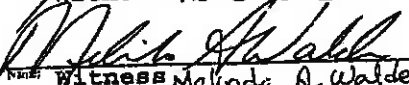
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 1999

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first a written.

Signed, sealed and delivered in our presence:


Name: Witness Teresa S. Baca


Name & Address: Rolando Garcia


Name: Witness Malinda A. Walden


Name & Address: Silvia Garcia

Name: Witness

Name & Address:

Name: Witness

Name & Address:

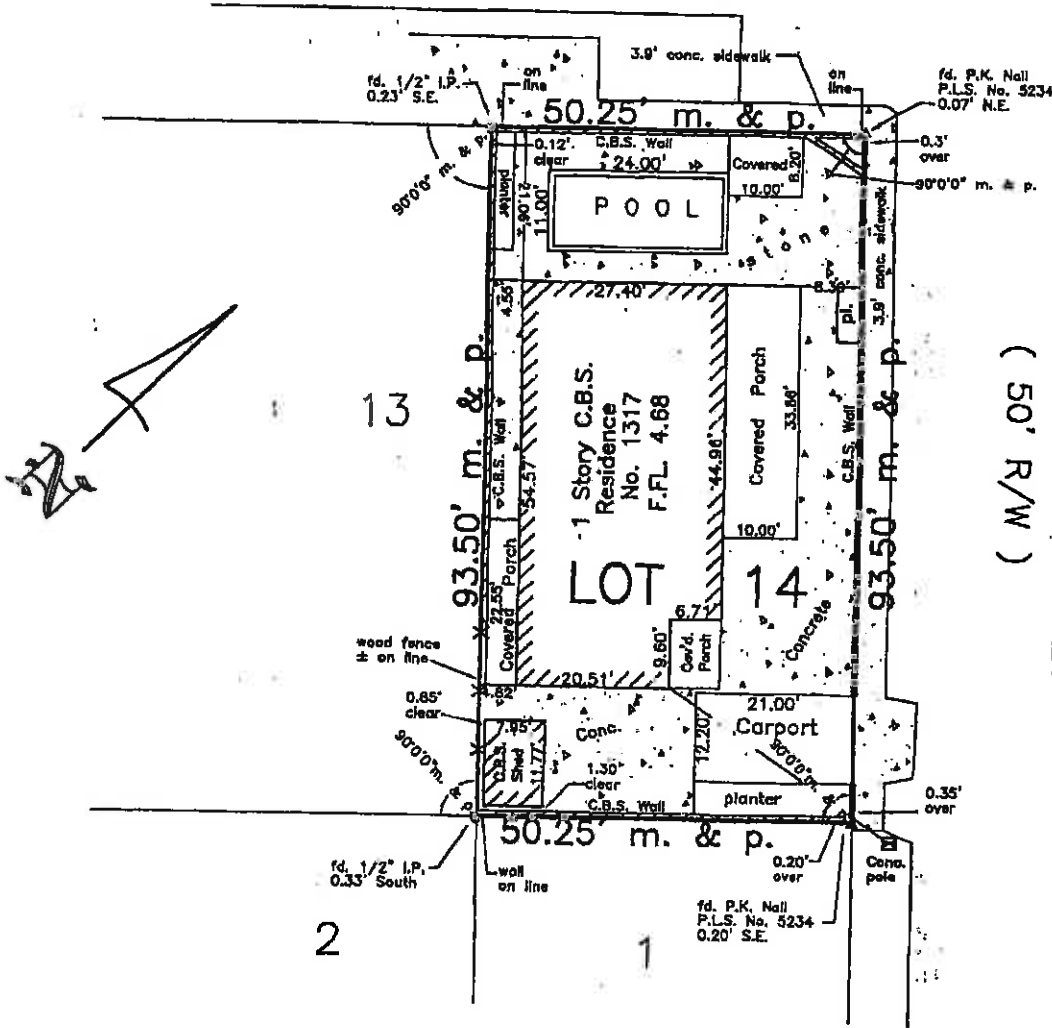
State of Florida
County of Monroe

2000

Survey

SEMINARY STREET (50' R/W)

THOMPSON STREET (50' R/W)



Block 185

Zysztof Ginowicz
317 Thompson Street, Key West, Fl. 33040

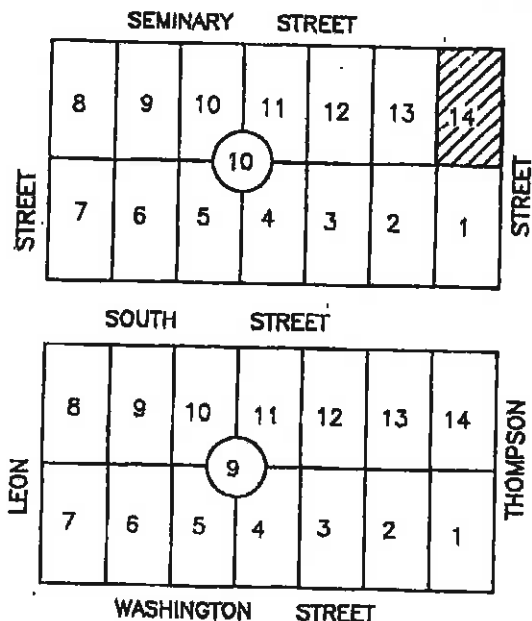
BOUNDARY SURVEY

Scale: 1"=20'	Ref. 158-58	Flood panel No. 1711-P	Dwn No.: 01-109
Date: 1/10/01		Flood Zone: AE	Flood Elev. 6'

REVISIONS AND/OR ADDITIONS

FREDERICK H. HILDEBRANDT
ENGINEER PLANNER SURVEYOR

3150 Northside Drive
Suite 101
Key West, Fl. 33040
(305) 293-0466
Fax: (305) 293-0237



LOCATION MAP

Squares 9 & 10, Tract 20, Monroe Investment Co. City of Key West

LEGAL DESCRIPTION:

All that certain parcel of land situate in Monroe County, State of Florida, being known and designated as being on the island of Key West and known as Wm. A. Whitehead's map delineated in February, A.D. 1829 as part of Tract 20, but now better known as Lot Fourteen (14) in Square Ten (10) of said Tract 20 according to a diagram of said Subdivision recorded in Plat Book 1, Page 41, Public Records of Monroe County, Florida. Said Lot having a front on Seminary Street of 50 feet and 3 inches by depth of 93 feet and 6 inches.

SURVEYOR'S NOTES:

North arrow based on assumed median
 3.4 denotes existing elevation
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: D-121 Elevation: 3.914

Monumentation:

- ⊙ = set 1/2" Iron Pipe, P.L.S. No. 2749
- ▲ = Found P.K. Nail, P.L.S. No. 5234
- = Found 1/2" Iron Bar
- ▲ = Set P.K. Nail, P.L.S. No. 2749

Abbreviations:

- Sty. = Story
- R/W = Right-of-Way
- fd. = Found
- p. = Plat
- m. = Measured
- N.T.S. = Not to Scale
- ⊙ = Centerline
- Elev. = Elevation
- o/h = Overhead
- F.F.L. = Finish Floor Elevation
- conc. = concrete
- I.B. = Iron Bar
- C.B. = Concrete Block
- cov'd. = Covered
- wd. = Wood
- B.M. = Bench Mark

Field Work performed on: 1/8/01

CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
 Professional Land Surveyor & Mapper No. 2749
 Professional Engineer No. 36810
 State of Florida

Site Plans

GINOWICZ RESIDENCE

1317 THOMPSON STREET
KEY WEST, FLORIDA

SITE DATA

ZONING DISTRICT: SF
 FLOOD ZONE: AE 6
 F.I.R.M. - COMMUNITY #120168; PANEL #1516; SUFFIX "K"; DATED: 02-18-2005
 LEGAL DESCRIPTION: LOT 14, SQUARE 10, TRACT 20, PLAT BOOK 1, PAGE 41, MONROE COUNTY, FLORIDA

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2010 FLORIDA BUILDING CODE.
 THE WORK DEPICTED HEREIN WILL NOT YIELD ADDITIONAL IMPERVIOUS COVERAGE
 OCCUPANCY CLASSIFICATION: R3
 CONSTRUCTION TYPE: V
 THE FOLLOWING LOADINGS WERE USED:
 WIND LOAD: 180 MPH (ASCE 7-10) EXPOSURE "D"
 FLOOR LIVE LOAD: 40 PSF

INDEX OF DRAWINGS

SHEET 1 - SITE DATA

GENERAL NOTES

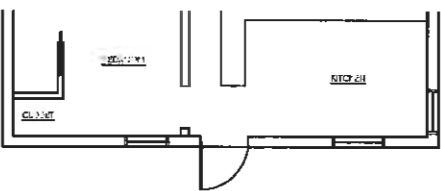
- THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
- THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID, CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
- NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
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SITE DATA TABLE

	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	SF	SF	SF	
LOT SIZE	4884.38 SF	8000 SF	4884.38 SF	
BUILDING AREA	3117 SF	1844 SF	3212 SF	
BUILDING COVERAGE %	63.2%	31%	65.4%	
IMPERVIOUS COVERAGE	4535 SF	2379 SF	4535 SF	
IMPERVIOUS COVERAGE %	96.5%	50%	96.5%	
FLOOR AREA	1846 SF	1844 SF	1841 SF	
FLOOR AREA %	39.3%	36%	41.3%	
BUILDING HEIGHT	<25'-0"	25'-0"	<25'-0"	
FRONT SETBACK	21'-00"	11'-0"	21'-00"	
SIDE SETBACK	0'	5'-0"	0'	
STREET SIDE SETBACK	8.2'	10'-0"	8.2'	
REAR SETBACK	17'-07"	25'-0"	17'-07"	

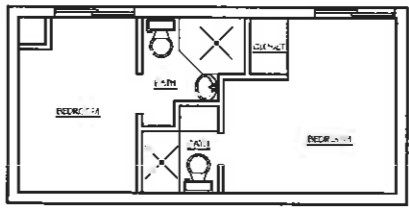


LOCATION MAP



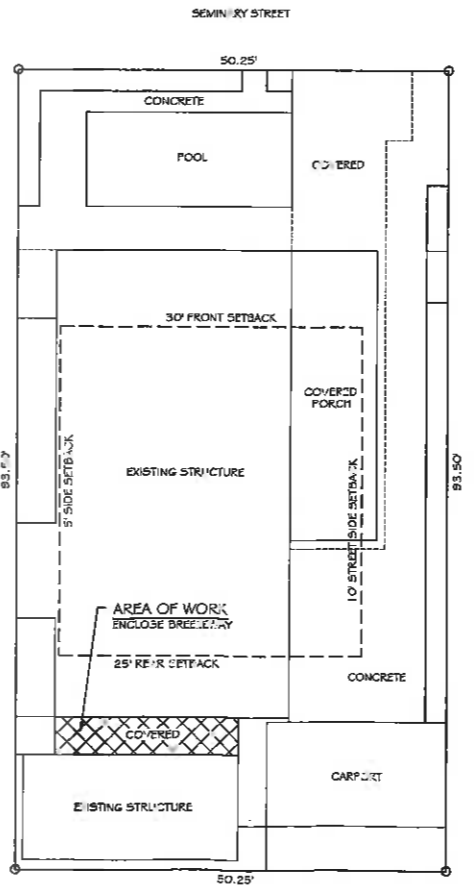
PARTIAL EXISTING FLOOR PLAN

SCALE: 3/16" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"



SITE PLAN

SCALE: 1" = 10'-0"



CHALLENGER PERMITTING + CONSULTING ENGINEERING
 1310 EAST ANNENETT DRIVE, SUITE 430
 KEY WEST, FLORIDA 33040
 TEL: (305) 854-8440 FAX: (305) 796-0242
 TAMPA OFFICE
 2507 LANTANA AVENUE, SUITE 140
 TAMPA, FLORIDA 33617
 TEL: (813) 955-1616 FAX: (813) 955-0710

PEREZ ENGINEERING & DEVELOPMENT, INC.
 PAUL R. SEANES, P.E.
 Florida P.E. NO. 41137
 February 14, 2013

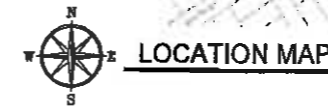
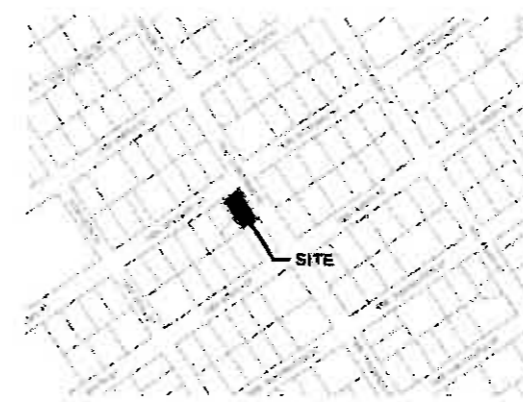
ORIGINAL	APRIL 2013
REVISIONS:	
1	
2	
3	
4	
5	
6	

NEW ADDITION
 KRZYSZTOF GINOWICZ
 1317 THOMPSON STREET
 KEY WEST, FL 33040

JOB NO.	131015
DRAWN	BGO
DESIGNED	PRS
CHECKED	PRS
QC	
SHEET	

GINOWICZ RESIDENCE

1317 THOMPSON STREET
KEY WEST, FLORIDA



SITE DATA

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FLOOD ZONE: AE 0
F.L.R.L. - COMMUNITY #120188; PANEL #1516; SUFFIX 'C'; DATED: 02-16-2005
LEGAL DESCRIPTION: LOT 14, SQUARE 10, TRACT 20, PLAT BOOK 1, PAGE 41, MONROE COUNTY, FLORIDA

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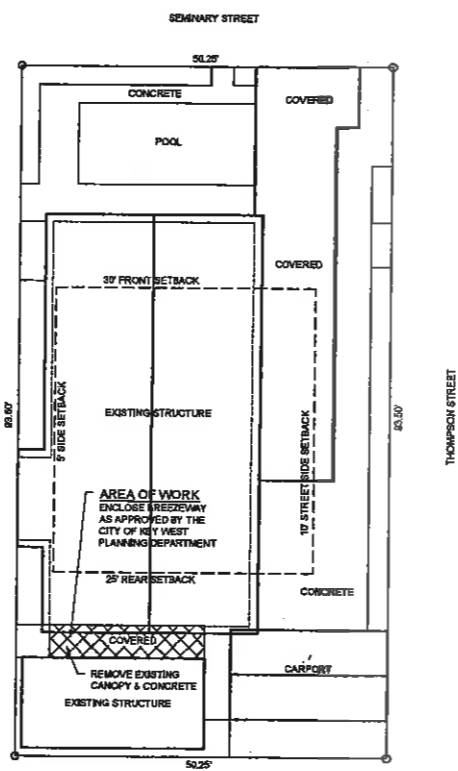
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OCCUPANCY CLASSIFICATION: R3
CONSTRUCTION TYPE: V
THE FOLLOWING LOADINGS WERE USED:
WIND LOAD: 180 MPH (ASCE 7-10) EXPOSURE 'D'
FLOOR LIVE LOAD: 40 PSF

INDEX OF DRAWINGS

T-1 - SITE DATA
A-1 - FLOOR PLANS / ELEVATIONS
S-1 - STRUCTURAL PLANS / DETAILS

GENERAL NOTES

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SITE PLAN
SCALE: 1"=10'-0"

	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	SF	SF	SF	
LOT SIZE	488.39 SF	800 SF	488.39 SF	
BUILDING AREA	317 SF	1644 SF	3212 SF	
R.F.D.M. COVERAGE %	64.7%	95%	66.4%	
IMPERVIOUS COVERAGE	455 SF	2049 SF	455 SF	
IMPERVIOUS COVERAGE %	94.0%	90%	94.5%	
FLOOR AREA	1848 SF	1844 SF	1841 SF	
FLOOR AREA %	38.2%	36%	41.2%	
BUILDING HEIGHT	<35'-0"	35'-0"	<35'-0"	
FRONT SETBACK	30'-0"	30'-0"	30'-0"	
SIDE SETBACK	0'	5'-0"	0'	
STREET SIDE SETBACK	4'-2"	10'-0"	4'-2"	
REAR SETBACK	1'-2"	20'-0"	1'-2"	

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT
 1010 EAST PALM BLVD., SUITE 600
 KEY WEST, FLORIDA 33040
 TEL: (305) 338-6440 FAX: (305) 338-0243
P. ENGINEERING & DEVELOPMENT, INC.
 2807 EAST THOMPSON ROAD, SUITE 143
 KEY WEST, FLORIDA 33040
 TEL: (305) 338-6440 FAX: (305) 338-0243

ORIGINAL - APRIL 2012
 REVISIONS:
 1
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NEW ADDITION
 KRZYSZTOF GINOWICZ
 1317 THOMPSON STREET
 KEY WEST, FL 33040

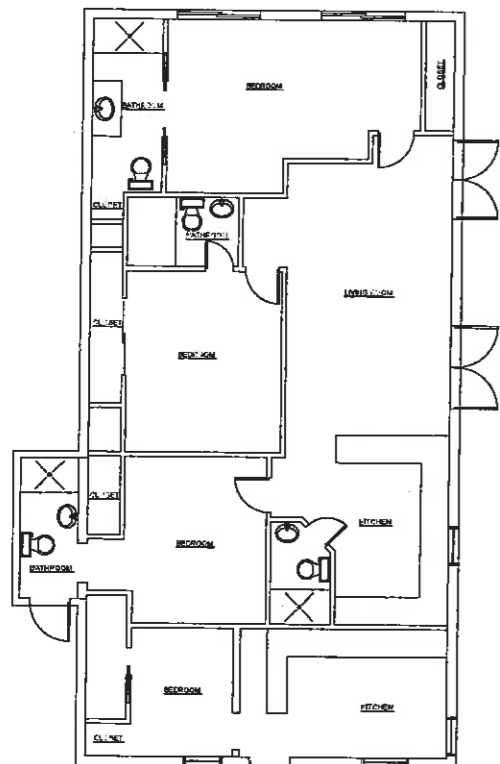
JOB NO. 1317/15
 DRAWN: BGO
 DESIGNED: PRS
 CHECKED: PRS
 QC
 SHEET T-1

ELECTRICAL NOTES

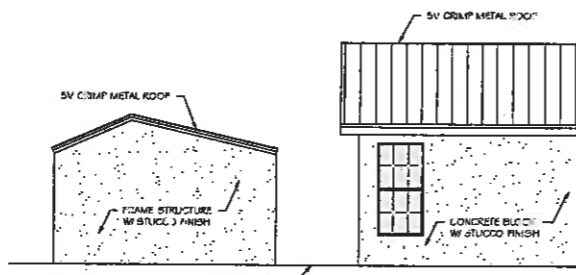
1. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY TO USE.
2. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING EXISTING CONDITIONS AT THE SITE AND WITHIN THE BUILDING PRIOR TO BID.
4. ELECTRICAL DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED OR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN BUT CONSIDERED NECESSARY FOR PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGES TO THE OWNER.
5. ALL WORK SHALL BE INSTALLED BY A REPUTABLE AND LICENSED ELECTRICIAN.
6. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT AREAS.
7. EXISTING ELECTRICAL WORK, FEATURES AND EQUIPMENT INDICATED AND/OR REQUIRED TO BE REMOVED SHALL BE PROPERLY DISPOSED BY THE CONTRACTOR INCLUDING ABANDONED TRUNKWAYS, MINORS, BOXES, SWITCHES AND OTHER ELECTRICAL DEVICES NOT PLANNED TO REMAIN IN USE.
8. ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN FINISHED AREAS EXCEPT AS SPECIALLY SHOWN OR NOTED OTHERWISE.
9. ALL WIRE SIZE SHALL BE #12 THIRTYTHREE UNLESS OTHERWISE NOTED ON DRAWINGS. CONDUCTORS #8 AND LARGER SHALL BE THIN.
10. ALL CONDUCTORS SHALL BE COPPER.
11. ALL MATERIAL SHALL BE UL APPROVED.
12. A TYPEWRITTEN PANEL TAG SHALL BE AFFIXED TO THE PANEL DOOR AFTER COMPLETION OF WORK THAT REFLECTS ALL CHANGES AND ADDITIONS.
13. ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED.
14. ALL POWER RELATED WIRING BY CEILING AND FLEXIBLE RUNNING WITHOUT CONDUIT SHALL BE TEFLOON COATED CLASSIFIED FOR USE IN PLUMBING.
15. ALL OUTLETS, SWITCHES AND COVER PLATES SHALL HAVE WHITE FINISH OR OTHER COLOR SELECTED BY OWNER AND LISTED ON DRAWINGS.
16. ALL BRANCH CIRCUITS SHALL BE EQUIPPED WITH A GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED BY ACCORDANCE WITH NEC.
17. FUSES SHALL BE DUAL ELEMENT, TIME DELAY UNLESS OTHERWISE NOTED.
18. ALL LUMINAIRES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH CEILING MANUFACTURER RECOMMENDATIONS IF APPLICABLE AND LOCAL REQUIREMENTS. MOUNTING DEVICES MUST BE CAPABLE OF SUPPORTING CEILING FAN FIXTURES.
19. ALL RECESS CANALS SHALL BE RATED, AND CONTROLLED BY DIMMER SWITCHES.
20. ALL CABLES SHALL BE RUN WITHOUT SPLICES UNLESS OTHERWISE NOTED.
21. BRANCH CIRCUITS SHALL BE ARC FAULT PROTECTED IN ACCORDANCE WITH NEC 210.12 AS APPLICABLE.
22. RECEPTACLE OUTLETS SHALL BE WATER PROOF IN ACCORDANCE WITH NEC 400.11. BATHROOM, GARAGE AND EXTERIOR RECEPTACLE OUTLETS AND OTHER RECEPTACLE OUTLETS WITHIN 6' OF WATER SOURCE SHALL BE GFI PROTECTED. EXTERIOR RECEPTACLE OUTLETS SHALL BE WATER-PROOF PROTECTED.
23. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE ELECTRICAL DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF THE WORK.

ELECTRICAL LEGEND

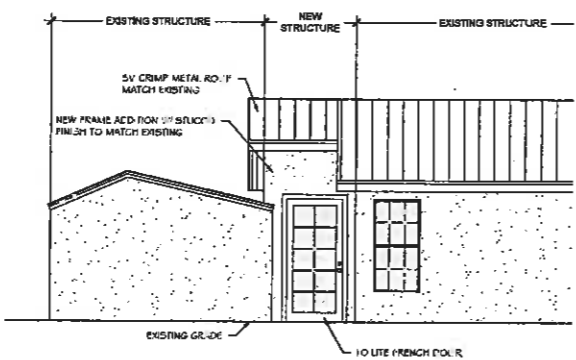
	WALL DUPLEX OUTLET
	GFI WALL DUPLEX OUTLET
	2-WAY SINGLE OUTLET
	WALL SWITCH
	2-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	CEILING FAN / LIGHT
	TELEPHONE OUTLET
	SMOKE DETECTOR
	WATER PROOF ITEM
	RECESSED CAN CEILING FIXTURE
	VAPOR PROOF HIGH HAT CAN CEILING FIXTURE
	CABLE TV
	EXHAUST
	230 CIRCUIT
	TRACK LIGHTING
	FLUORESCENT LIGHT FIXTURE
	FLOOD LIGHT



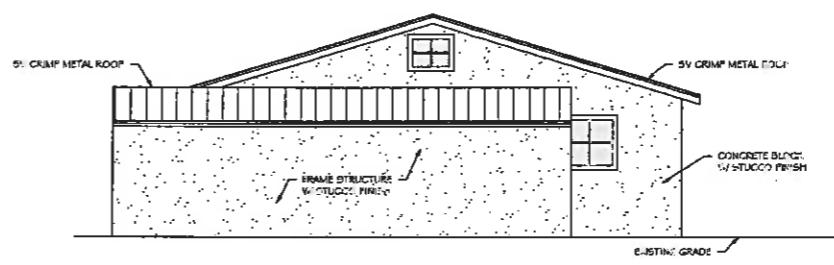
FLOOR PLAN
SCALE: 3/16"=1'-0"



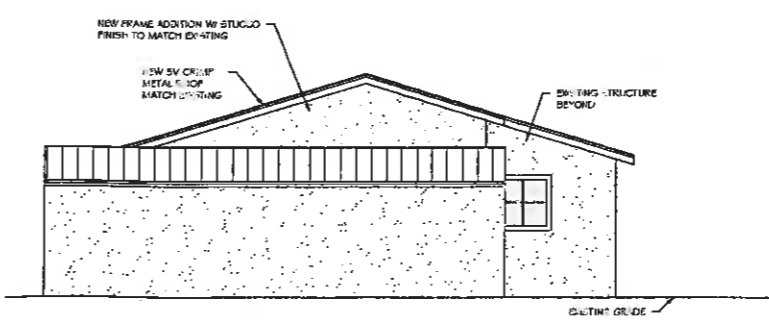
EXISTING NORTHEAST ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED NORTHEAST ELEVATION
SCALE: 1/4"=1'-0"



EXISTING SOUTHEAST ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SOUTHEAST ELEVATION
SCALE: 1/4"=1'-0"

KEY WEST OFFICE
1010 EAST PALM BLVD. SUITE 400
KEY WEST, FL 33040
TEL: (305) 293-9240 FAX: (305) 298-0213

TAMPA OFFICE
CONSTRUCTION DEPARTMENT
3507 PALM BLVD. SUITE 110
TAMPA, FLORIDA 33607
TEL: (813) 275-1616 FAX: (813) 298-0710

REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 10000

PAUL B. SEMMES, P.E.
Principal Engineer
April 18, 2018

REVISIONS

1	ORIGINAL	APRIL 2018
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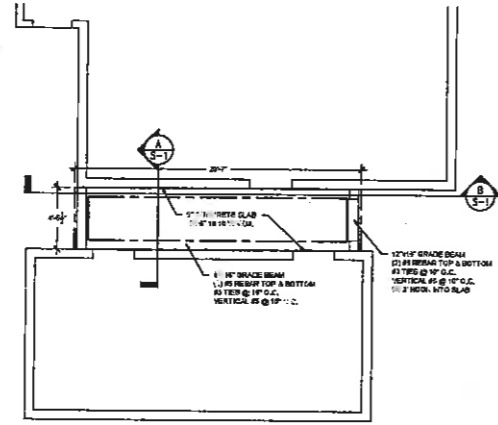
NEW ADDITION

KRZYSZTOF GINOWICZ
1317 THOMPSON STREET
KEY WEST, FL 33040

JOB NO. 131015
DRAWN BGD
DESIGNED PRS
CHECKED PRS
QC SHEET

FOUNDATION & CONCRETE NOTES

1. ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
2. AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK SHALL BE NO LESS THAN 1" DIAMETER NOR LESS THAN 7" INTO ROCK WITH #4 TW #4 BENT BARS WITH SHORT LEG TIED TO #6'S AND LONG LEG EXTENDED INTO SLAB IN FOUR DIRECTIONS UNLESS OTHERWISE NOTED. CONCRETE SHALL NOT BE PLACED IN PLACE VIA HOLE AUGER HOLE.
3. CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR BRD UNLS UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL FURNISH FIELD SIGNATURE TESTS ON CONTACTED FILL UNDER FOOTINGS AND SLABS PRIOR TO PLACING CONCRETE. A MINIMUM OF 3 REPRESENTATIVE TESTS SHALL BE TAKEN FOR EACH FOOTING AND SLAB FOUR.
5. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT, (STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS, UNLESS OTHERWISE NOTED.)
6. SLABS, TOPPING, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULGES AND CHAIR REIN.
7. ALL CONSTRUCTION JOINTS SHALL BE AS DESIGNED OR OTHERWISE APPROVED BY THE ENGINEER.
8. ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
9. CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
10. MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 308R, HOT WEATHER CONCRETE. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR COVERED WITH A CURING COMPOUND TO SEAL IN MOISTURE AFTER THE FINISH HAS SET, OR THE CONCRETE COVERED AND SPRAYED.
11. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-616, GRADE 60.
12. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-108 AND SHALL BE LAPPED ONE FULL BAR AND AT SIDE AND END SPACES AND WIRED TOGETHER.
13. REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
14. PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 118. ALL ACCESSORIES TO BE GALVANIZED.
15. ANCHOR BOLTS, NUTS AND WASHERS SHALL BE MINIMUM 1/2" GALVANIZED STEEL AND EMBEDDED MINIMUM 3" INTO CONCRETE AND SPACES MAXIMUM 6" O.C.
16. MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED AND SHALL BE FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, BILL, JOIST, PLATE, RAFTER OR TRUSS BE NOTICED UNLESS OTHERWISE SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.

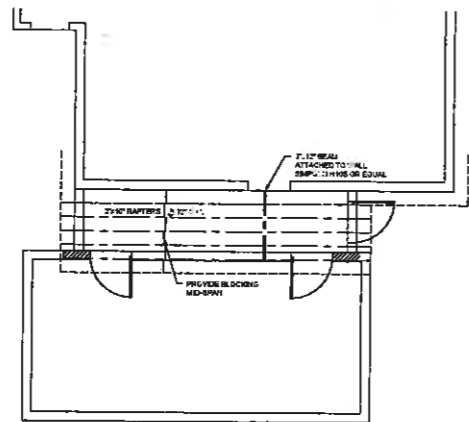


FOUNDATION PLAN

SCALE: 3/16"=1'-0"

WOOD AND FRAMING NOTES

1. EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC 109, NO. 2 DENSE, AS GRADED BY THE SOUTHERN PINE INSPECTION BUREAU.
2. ALL TRIMMER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION AFC.
3. ALL WOOD SHALL BE PRESURE TREATED WITH CHEMICALS TO PROTECT FROM INSECTS AND DECAY AS REQUIRED. ALL JOINTS AFTER TREATMENT, PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARriers SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM WINDOW FRAMES.
4. ALL WOOD CONNECTIONS SHALL HAVE SIMPSON STRONG-TIE OR EQUAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER RECOMMENDED FASTENERS BEFORE LOADING.
5. HOLES BORED BY BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD OF STUD.
6. PROVIDE SOLID BLOCKING AT MID HEIGHT ON CENTER BETWEEN STUDS.
7. ALL WALL STUDS SHALL BE SPF NO. 2 DENSE GRADE OR BETTER.
8. SEE PLANS FOR WALL STUD SIZE AND SPACING.
9. ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND CONTINUOUS BOTTOM PLATES WITH A MINIMUM OF ONE RAY OF HORIZONTAL BRACING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE.
10. HEADER BEAMS OVER ALL FRAMED OPENINGS SHALL BE AS SHOWN BELOW UNLESS NOTED OTHERWISE:
(a) 2 X 8 FOR INTERIOR OPENINGS UP TO 4'-0", (b) 2 X 10 FOR EXTERIOR OPENINGS UP TO 4'-0"
(c) 2 X 10 FOR INTERIOR OPENINGS UP TO 8'-0", (d) 2 X 12 FOR EXTERIOR OPENINGS UP TO 8'-0"
(e) 2 X 12 FOR INTERIOR OPENINGS UP TO 12'-0", (f) 2 X 14 FOR EXTERIOR OPENINGS UP TO 12'-0"
11. EXTERIOR WALL STUDS SHALL BE STRAPPED TO ROOF TRUSSES OR RAFTERS WITH SIMPSON CONNECTORS OR EQUAL. PROVIDE 3 STUDS (MIN.) FOR ORDER TRUSSES AND BEAM BEARING POINTS.
12. WHERE WOOD JOIST/BEAMS ETC. FRAME INTO OTHER MEMBERS INSTALL SIMPSON "LUS" SERIES GALVANIZED JOIST HANGERS.
13. FIRESTOPPING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO SEAL ALL CONCEALED DRAFT OPENINGS BOTH HORIZONTAL AND VERTICAL AND TO FORM A FIRE BARRIER BETWEEN FLOORS AND BETWEEN THE UPPER FLOOR AND THE ROOF SPACE.
14. FIRESTOPPING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
A. IN CONCEALED SPACE OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS.
B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT CORNERS, DROP CEILING, COVER CEILING, ETC.
C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
D. IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS. FIRESTOPPING SHALL BE PROVIDED TO THE FULL DEPTH OF THE JOIST AT THE END AND OVER THE SUPPORTS.
15. FIRESTOPPING SHALL CONSIST OF TWO (2) INCH NOMINAL LUMBER, OR TWO (2) THICKNESS OF ONE (1) INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR ONE (1) THICKNESS OF THREE-FOURTHS (3/4) INCH PLYWOOD WITH JOINTS BACKED BY THREE-FOURTHS (3/4) INCH PLYWOOD, OR OTHER APPROVED MATERIALS.
16. PLYWOOD DECKING SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA). PLYWOOD SHEATHING SHALL BE APA STRUCTURAL I, IDENTIFIED WITH APA GRADE-TRADEMARK AND SHALL MEET THE REQUIREMENTS OF US PRODUCT STANDARD PS1 OR APA PRF-108. ALL PLYWOOD WITH AN EDGE EXPOSED TO THE EXTERIOR SHALL BE EXTERIOR GRADE. FLOOR DECKING SHALL BE 1/2" MINIMUM AND GLED AND FASTENED TO FLOOR FRAMING. ROOF DECKING SHALL BE 1/2" MINIMUM AND HALLED WITH 30 NAILS @ 6" IN THE FIELD AND 4" ALONG THE EDGES.

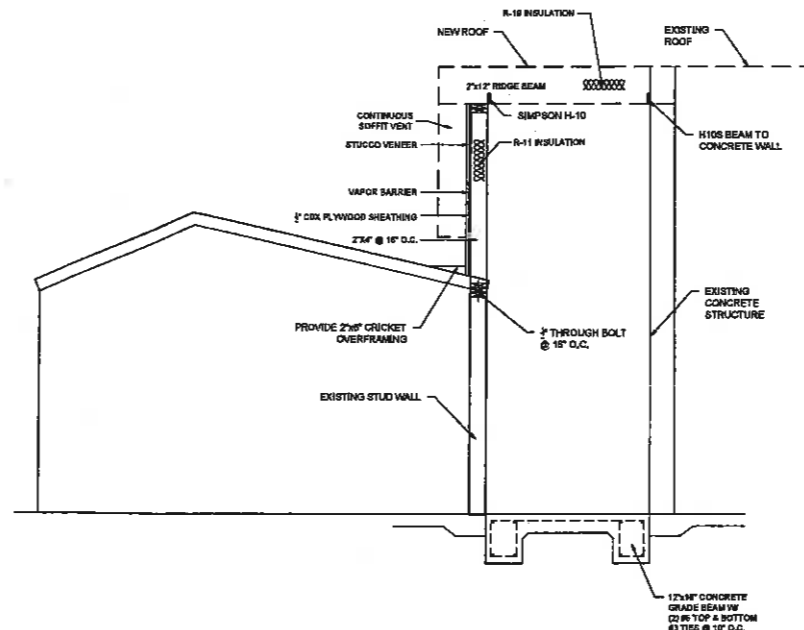


ROOF FRAMING PLAN

SCALE: 3/16"=1'-0"

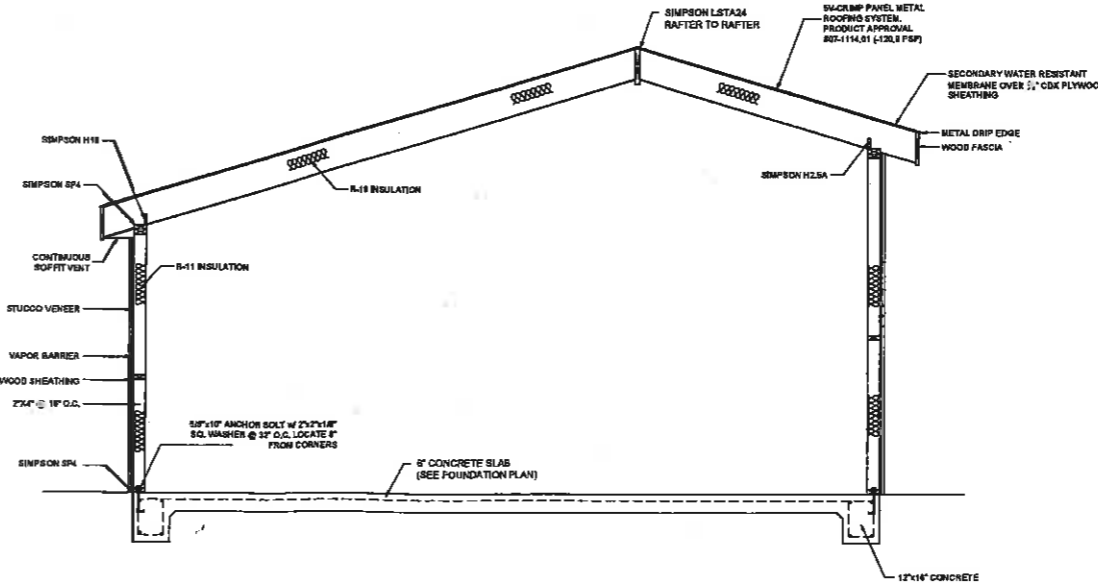
DOOR NOTES

1. DOORS SHALL BE RATED TO WITH STAND PRESSURES ASSOCIATED WITH 180 MPH WINDS IN ACCORDANCE WITH ASCE 1-16. DOORS SHALL BE MANUFACTURED UNITS DESIGNED AND INSTALLED TO ALLOW A MAXIMUM OF 0.5 CFM INFILTRATION PER LINEAL FOOT OF OPERABLE GASH CRACK AND A MAXIMUM 0.5 CFM PER SF OF EXTERIOR DOOR AREA. UNITS SHALL BE GASKETED, HEATHER-STRIPPED OR OTHERWISE SEALED.
2. DOORS SHALL BE SOLID CORE, 1 1/2" THICK, WEATHER-SHOOF TYPE. ALL INTERIOR DOORS SHALL BE 1 1/2" THICK. UNITS SHALL BE GLAZED OR RAISED PANEL. BOTH TYPES SHALL HAVE PATTERNS OR OMBED LITES UNLESS OTHERWISE NOTED. UNITS SHALL BE OF THE SEE AND TYPE INDICATED ON THE DRAWINGS WITH SURFACES PREPARED TO ACCEPT PAINT OR OTHER FINISH AS SPECIFIED. DOORS SHALL MEET MINIMA STANDARD TOLERANCES FOR EACH TYPE.
3. FURNISH AND INSTALL COMPLETE HARDWARE SET: SCLAGE, YALE OR EQUAL, ANSI GRADE 2 OR BETTER FOR HEAVY RESIDENTIAL MEDIAN COMMERCIAL USE. FINISH AND STYLE TO BE SELECTED BY THE OWNER. ALL EXTERIOR HARDWARE TO BE SALT RESISTANT.
4. FASTEN DOOR FRAMES IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND/OR PRODUCT APPROVAL. DETACH FRAMES FROM WALLS. PROVIDE SEPARATION BARRIER WITH DOOR AND WINDOW FRAMES THAT ARE INSTALLED AGAINST NON-COMPATIBLE PRESURE-TREATED WOOD FRAMING.



BUILDING SECTION

SCALE: 1/4"=1'-0"



BUILDING SECTION

SCALE: 1/4"=1'-0"

PERMIT OFFICE
1000 EAST FRONT ST. SUITE 140
KEY WEST, FL 33040
TEL: (305) 285-5440 FAX: (305) 285-0543

CIVIL ENGINEERING • REGULATORY PERMITTING • CC - INSTRUCTION MANAGER/RE-IT

PERMIT ENGINEERING
& DEVELOPMENT, INC.
PAUL R. SEMMES, P.E.
Florida P.E. NO. 44187
April 18, 2013

REVISIONS:	DATE	DESCRIPTION
1	ORIGINAL	APRIL 2012
2		
3		
4		
5		
6		

NEW ADDITION

CRZYSTOF GINOWICZ
1317 THOMPSON STREET
KEY WEST, FL 33040

JOB NO. 537018
DRAWN: BGO
DESIGNED: PRS
CHECKED: PRS
DC SHEET

S-1

Property Appraiser Information

**Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida**

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

**Property Record Card -
Maps are now launching the new map application version.**

Website tested on IE8,
IE9 & Firefox.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1044091 Parcel ID: 00043460-000000

Ownership Details

Mailing Address:
GINOWICZ KRZYSZTOF
1317 THOMPSON ST
KEY WEST, FL 33040-3254

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 05-68-25
Property Location: 1317 THOMPSON ST KEY WEST
Subdivision: Monroe Investment Co
Legal Description: KW MONROE INVESTMENT CO SUB PB1-41 LOT 14 SQR 10 TR 20 OR309-467/68 OR423-161/62 OR1079-2348/49P/R OR1092-1669 OR1301-1363/64 OR1434-2233 OR1625-1108 OR2612-696/97F/J

Click Map image to open interactive viewer



Exemptions

Exemption	Amount
39 - 25000 HOMESTEAD	25,000.00
44 - ADDL HOMESTEAD	25,000.00
35 - DISABILITY 500 CIVILIAN	500.00

Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	50	94	4,698.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 1594
 Year Built: 1948

Building 1 Details

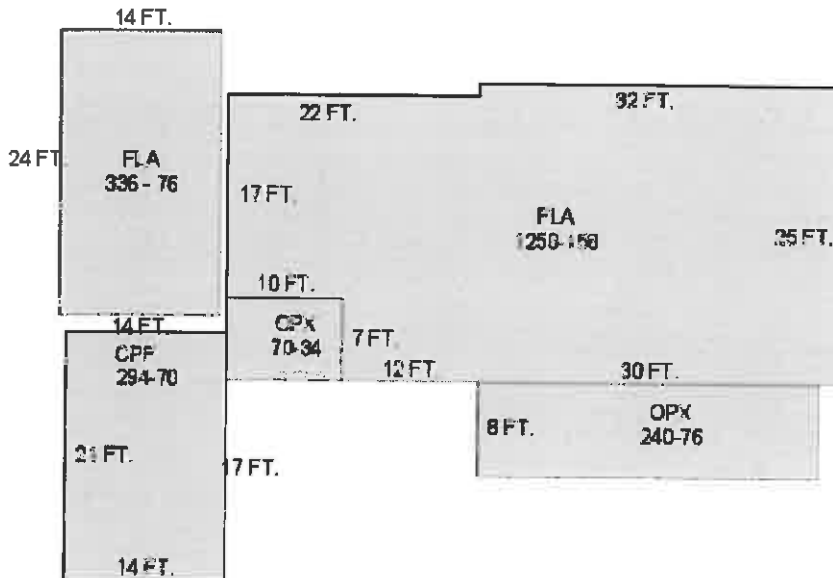
Building Type R1 Effective Age 15 Year Built 1948 Functional Obs 0	Condition G Perimeter 234 Special Arch 0 Economic Obs 0	Quality Grade 500 Depreciation % 16 Grnd Floor Area 1,594
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Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP	Roof Cover ASPHALT SHINGL	Foundation CONC BLOCK
Heat 1 FCD/AIR DUCTED	Heat 2 NONE	Bedrooms 5
Heat Src 1 ELECTRIC	Heat Src 2 NONE	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 2	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 2	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	FLA	3:WD FR STUCCO	1	2003					336
1	FLA	3:WD FR STUCCO	1	1990	N	Y	0.00	0.00	1,258
2	OPX		1	1990			0.00	0.00	240
3	OPX		1	1990			0.00	0.00	70
5	CPF		1	2003			0.00	0.00	294

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	WF2:WATER FEATURE	1 UT	0	0	1988	1989	1	20
1	PO4:RES POOL	240 SF	24	10	1988	1989	4	50
4	AC2:WALL AIR COND	1 UT	0	0	1983	1984	1	20
5	UB3:LC UTIL BLDG	80 SF	0	0	1993	1994	3	30
6	FN2:FENCES	1,308 SF	218	6	1993	1994	4	30
7	TK2:TIKI	48 SF	8	6	1994	1995	5	40
8	FN2:FENCES	300 SF	50	6	1994	1995	4	30
9	TK2:TIKI	12 SF	4	3	2003	2004	5	40
10	TK2:TIKI	9 SF	3	3	2003	2004	5	40
11	PT4:PATIO	1,393 SF	0	0	2003	2004	2	50

Appraiser Notes

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Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
15	08-0030	01/08/2008		300	Residential	ADD SECOND LAYER ON TOP OF FENCE
16	12-2633	07/09/2012		18,000	Residential	REROOF 5-VCRIMP W/5V CRIMP 20 SQS
1	A94-1562	05/01/1994	12/01/1994	1,400	Residential	CBS FENCE
2	M94-2980	09/01/1994	12/01/1994	2,500	Residential	1-3 TON A/C W/5 DROPS
3	B94-3582	10/01/1994	12/01/1994	500	Residential	ROOF REPAIR & EXTENSION
4	B94-3950	12/01/1994	10/01/1995	300	Residential	REPLASTER FRONT OF HOUSE
5	B95-0307	01/01/1995	10/01/1995	250	Residential	PLASTER LEFT SIDE HOUSE
6	A95-0650	02/01/1995	10/01/1995	1,000	Residential	50LF CONCRETE FENCE
7	B95-0785	03/01/1995	10/01/1995	600	Residential	REPAIR ROOF
8	B95-0920	03/01/1995	10/01/1995	700	Residential	15' WALL UNDER EXIST ROOF
9	B95-1914	06/01/1995	10/01/1995	1,000	Residential	REPLACE TILE ON FLOOR
10	96-0308	01/01/1996	08/01/1996	500	Residential	ROOF
11	96-1212	03/01/1996	08/01/1996	1,500	Residential	ROOF
12	98-3350	10/27/1998	10/08/2003	1,000	Residential	STORM REPAIR ROOF

13	03-2847	08/20/2003	10/08/2003	6,250	Residential	WALKWAYS,NEW GATE
14	06-6611	12/13/2006	02/20/2008	7,900	Residential	CHANGE OUT A 3-TON A/C

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2012	171,296	29,351	212,314	412,961	412,961	25,500	387,461
2011	173,312	30,520	154,410	358,242	358,242	358,242	0
2010	175,327	31,795	86,137	293,259	293,259	25,000	268,259
2009	211,686	32,935	181,845	426,466	426,466	25,000	401,466
2008	196,527	34,108	187,920	418,555	418,555	0	418,555
2007	300,989	20,008	234,900	555,897	555,897	0	555,897
2006	277,170	20,821	281,880	524,437	524,437	0	524,437
2005	291,625	21,656	234,900	548,181	548,181	0	548,181
2004	186,426	22,599	211,410	420,435	420,435	0	420,435
2003	200,226	23,583	76,343	300,152	300,152	0	300,152
2002	184,525	24,408	76,343	285,276	285,276	0	285,276
2001	153,697	25,278	84,564	263,539	263,539	0	263,539
2000	165,012	25,828	55,202	246,042	117,743	25,000	92,743
1999	151,403	24,207	55,202	230,813	114,648	25,000	89,648
1998	119,190	19,623	55,202	194,015	112,843	25,000	87,843
1997	109,526	18,513	45,806	173,845	110,957	25,000	85,957
1996	50,351	13,753	45,806	109,910	107,726	25,000	82,726
1995	50,892	13,139	45,806	109,837	104,133	25,000	79,133
1994	42,739	10,720	45,806	99,265	99,265	25,000	74,265
1993	40,999	10,996	45,806	97,801	97,801	25,000	72,801
1992	40,999	11,265	45,806	98,070	98,070	25,000	73,070
1991	40,999	11,537	45,806	98,342	98,342	25,000	73,342
1990	43,380	11,506	41,108	95,994	95,994	25,000	70,994
1989	37,940	0	35,235	73,175	73,175	0	73,175
1988	23,581	0	31,712	55,293	55,293	25,000	30,293
1987	23,342	0	17,519	40,861	40,861	25,000	15,861
1986	23,464	0	16,744	40,208	40,208	25,000	15,208
1985	22,884	0	17,064	39,948	39,948	25,000	14,948
1984	21,323	0	17,064	38,387	38,387	25,000	13,387
1983	21,323	0	17,064	38,387	38,387	25,000	13,387
1982	21,767	0	13,207	34,974	34,974	25,000	9,974

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
3/22/2000	1625 / 1108	305,000	WD	Q

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Monroe County Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176