

**PLANNING BOARD
RESOLUTION NO. 2012-06**

**A RESOLUTION OF THE KEY WEST
PLANNING BOARD GRANTING MINOR
DEVELOPMENT PLAN APPROVAL PER
SECTIONS 108-91(A.)(1)(b.) AND SECTIONS
108-96 THROUGH 108-957 OF THE CODE OF
ORDINANCES FOR AN ADDITION OF 945
SQUARE FEET FOR A COMMERCIAL
STRUCTURE FOR PROPERTY LOCATED AT
313 MARGARET STREET (RE#00002820-
000000) IN THE HRCC-2 ZONING DISTRICT,
KEY WEST FLORIDA; PROVIDING FOR AN
EFFECTIVE DATE.**

WHEREAS, the subject property is located in the Historic Residential Commercial Core-Bight District (HRCC-2) zoning district; and

WHEREAS, Section 108-91(A.)(1)(b.) of the Code of Ordinances provides that within the HRCC-2 District a Minor Development Plan is required for the addition or reconstruction of non-residential floor area of 500 to 2,499 square feet of gross floor area; and

WHEREAS, the applicant proposed a Minor Development Plan for a 945 square foot addition for commercial floor area and a parking lot, that also includes a Stormwater Drainage Plan and Landscape Plan for the site; and


Chairman

Planning Director

WHEREAS, Section 108-196(a) requires the Planning Board to review and approve, approve with conditions, or deny the proposed Minor Development Plan or disapprove it based on specific development review criteria contained in the Land Development Regulations; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on February 16, 2012; and

WHEREAS, the Planning Board found that granting of a Minor Development Plan application is consistent with the criteria of the Code of Ordinances; and

WHEREAS, the granting of a Minor Development application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. That a Minor Development Plan for an addition of 945 square feet for a commercial structure and a parking lot, inclusive of a Stormwater Drainage Plan and Landscape


Chairman

Planning Director



Plan, for property located at 313 Margaret Street (RE# 00002820-000000) in the HRCC-2 zoning district per Section 108-91(A.)(1)(b.) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, is approved as shown in the attached plans dated February 8, 2012 with the following conditions of approval:

General Conditions:

1. The applicant shall recycle all allowable materials.
2. The parking lot lighting shall be designed to "Dark Sky" lighting standards and shall meet energy efficiency standards established by an accepted third party environmental standard consistent with F.S Chapter 255.2575(2). All new lighting must be approved by HARC.
3. The project manager and landscape architect shall work with the Urban Forestry Manager on any tree or landscaping issues during construction thru Certificate of Occupancy.

Prior to Issuance of Certificate of Occupancy:

4. HARC approval is required for the redevelopment of the parking lot and rear shed structure.
5. HARC approved fencing is required around the refuse and recycling handling area within the parking lot.
6. All signage is approved by HARC.
7. A unity of title shall be executed.



Chairman

Planning Director


Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This Minor Development Plan application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Community Affairs. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the

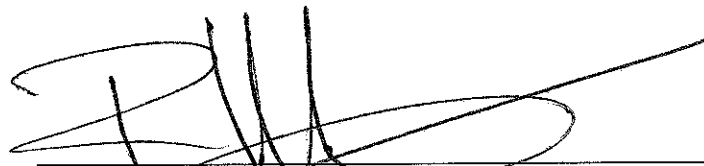

Chairman


Planning Director

appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 16th day of February, 2012.

Authenticated by the Chairman of the Planning Board and the Planning Director.



Richard Klitenick, Chairman
Key West Planning Board

3/1/2012
Date

Attest:



Donald Leland Craig, AICP
Planning Director

2-25-12

Date

Filed with the Clerk:

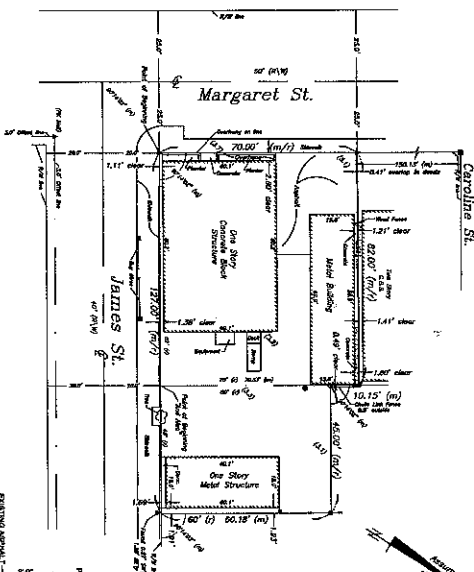


Cheryl Smith, City Clerk

3-1-12

Date

Boundary Survey Map of part of Lot 3, Square 20, Island of Key West



Sheet One of Two Sheets
 J. LYNN O'HAYNIN, Inc.
 Surveyors
 2019 N. Duval Street, Suite 100, Key West, Florida 33440
 Phone: (305) 291-1234

- LEGEND**
- █ Existing Building
 - █ Proposed Building
 - █ Existing Pavement
 - █ Proposed Pavement
 - █ Existing Landscape
 - █ Proposed Landscape
 - █ Existing Utility
 - █ Proposed Utility
 - █ Existing Easement
 - █ Proposed Easement
 - █ Existing Right-of-Way
 - █ Proposed Right-of-Way
 - █ Existing Boundary
 - █ Proposed Boundary
 - █ Existing Survey
 - █ Proposed Survey
 - █ Existing Contour
 - █ Proposed Contour
 - █ Existing Spot Elevation
 - █ Proposed Spot Elevation
 - █ Existing Elevation
 - █ Proposed Elevation

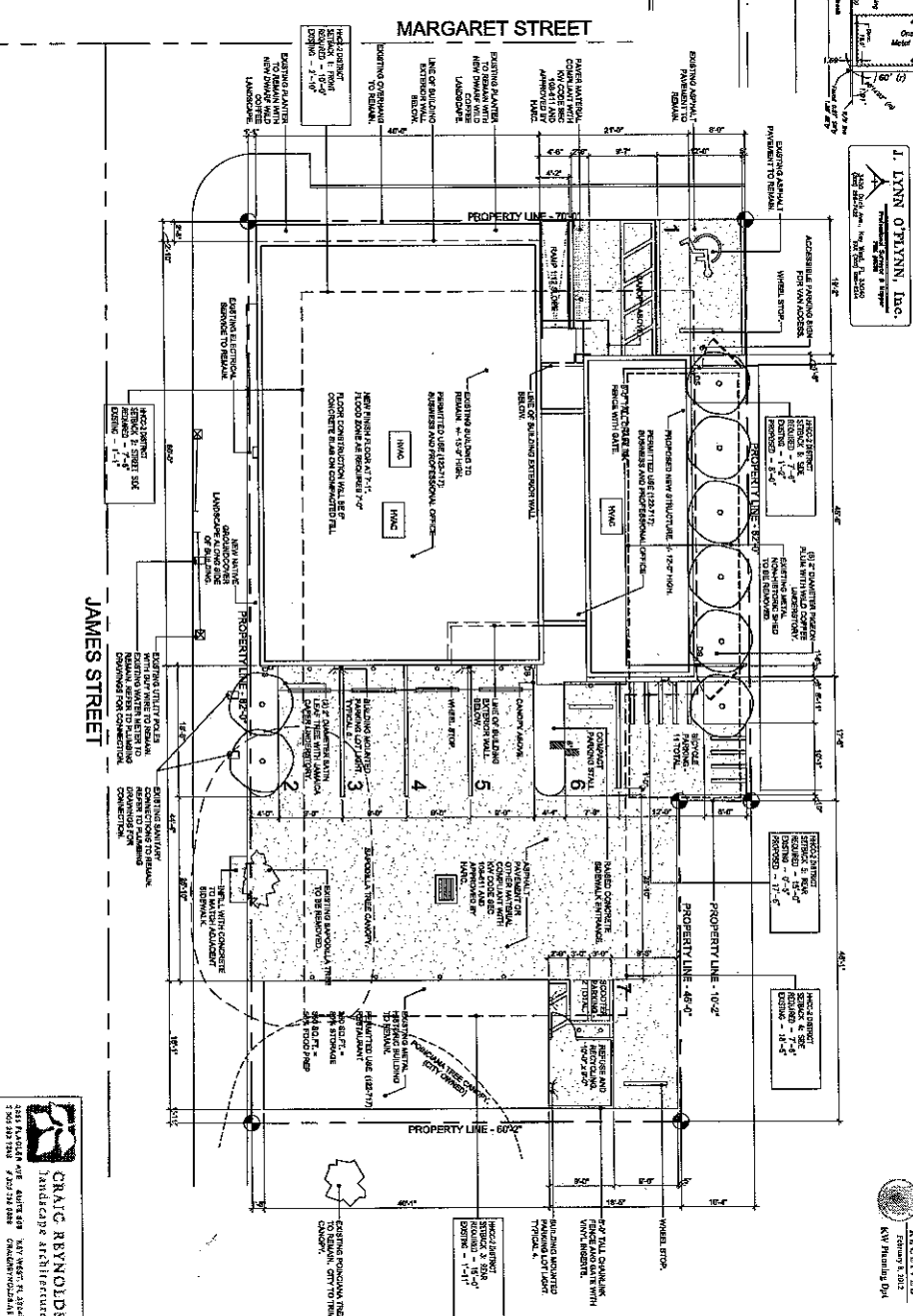
02 BOUNDARY SURVEY
 SCALE: 1" = 20'-0"

- GENERAL NOTES**
1. CONTRACTOR TO PROVIDE EXISTING ELEVATION SURVEYING DATA TO BE USED FOR ALL CONSTRUCTION.
 - 1.1. EXISTING CONSTRUCTION AT THE POINTS OF REVISION.
 - 1.2. ALL CONSTRUCTION TO BE CONFORMANT TO ALL APPLICABLE CODES.

01 SITE AND LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"

CRAIG REYNOLDS
 LANDSCAPE ARCHITECTURE
 4815 PINEAPPLE AVE. SUITE 100, KEY WEST, FL 33409
 305-291-1234 FAX 305-291-1235 CREDIT: CREDIT: CREDIT: CREDIT:

A1.1.1
 DATE: FEBRUARY 8, 2012
 SHEET NO. 1 OF 1



PROJECT STATISTICS:

EXISTING	REMOVED	ADDED
3,200 SF FLOOR	2,200 SF FLOOR	10,200 SF FLOOR
1,200 SF ROOF	1,200 SF ROOF	1,200 SF ROOF
1,200 SF WALL	1,200 SF WALL	1,200 SF WALL
1,200 SF WINDOW	1,200 SF WINDOW	1,200 SF WINDOW
1,200 SF DOOR	1,200 SF DOOR	1,200 SF DOOR
1,200 SF MECHANICAL	1,200 SF MECHANICAL	1,200 SF MECHANICAL
1,200 SF ELECTRICAL	1,200 SF ELECTRICAL	1,200 SF ELECTRICAL
1,200 SF PLUMBING	1,200 SF PLUMBING	1,200 SF PLUMBING
1,200 SF FINISH	1,200 SF FINISH	1,200 SF FINISH
1,200 SF LANDSCAPE	1,200 SF LANDSCAPE	1,200 SF LANDSCAPE
1,200 SF TOTAL	1,200 SF TOTAL	1,200 SF TOTAL

PROJECT ITEM	QTY	UNIT	PRICE	TOTAL
CONCRETE	1,200	CU YD	120.00	144,000.00
STEEL	1,200	LB	0.50	600.00
WOOD	1,200	CU YD	100.00	120,000.00
GLASS	1,200	SQ FT	10.00	12,000.00
PAINT	1,200	GA	1.00	1,200.00
ROOFING	1,200	SQ FT	1.00	1,200.00
MECHANICAL	1,200	HR	100.00	120,000.00
ELECTRICAL	1,200	HR	100.00	120,000.00
PLUMBING	1,200	HR	100.00	120,000.00
FINISH	1,200	HR	100.00	120,000.00
LANDSCAPE	1,200	HR	100.00	120,000.00
PERMITS	1	SET	50,000.00	50,000.00
PROFESSORIAL	1	SET	50,000.00	50,000.00
CONSTRUCTION	1	SET	50,000.00	50,000.00
INSURANCE	1	SET	50,000.00	50,000.00
CONTINGENCY	1	SET	50,000.00	50,000.00
TOTAL				1,200,000.00

21222
 Reik

SCOTT SAUNDERS
 313 Margaret and 808 James Street, Key West, Florida 33404
BUILDING RENOVATION AND ADDITION

mbl | k2m
 ARCHITECTURE, INC.
 1011 WINDWARD TOWER
 KEY WEST, FLORIDA 33440
 (305) 291-1234 FAX (305) 291-1235

CRAIG REYNOLDS
 LANDSCAPE ARCHITECTURE
 4815 PINEAPPLE AVE. SUITE 100, KEY WEST, FL 33409
 305-291-1234 FAX 305-291-1235

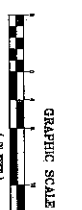
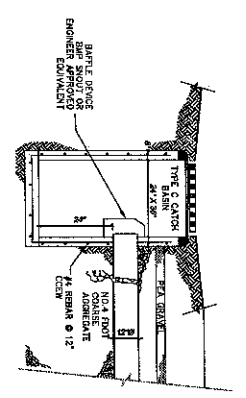
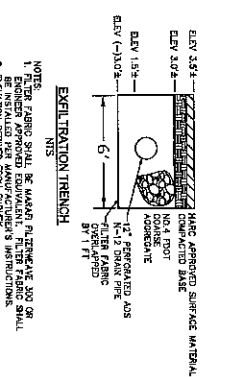
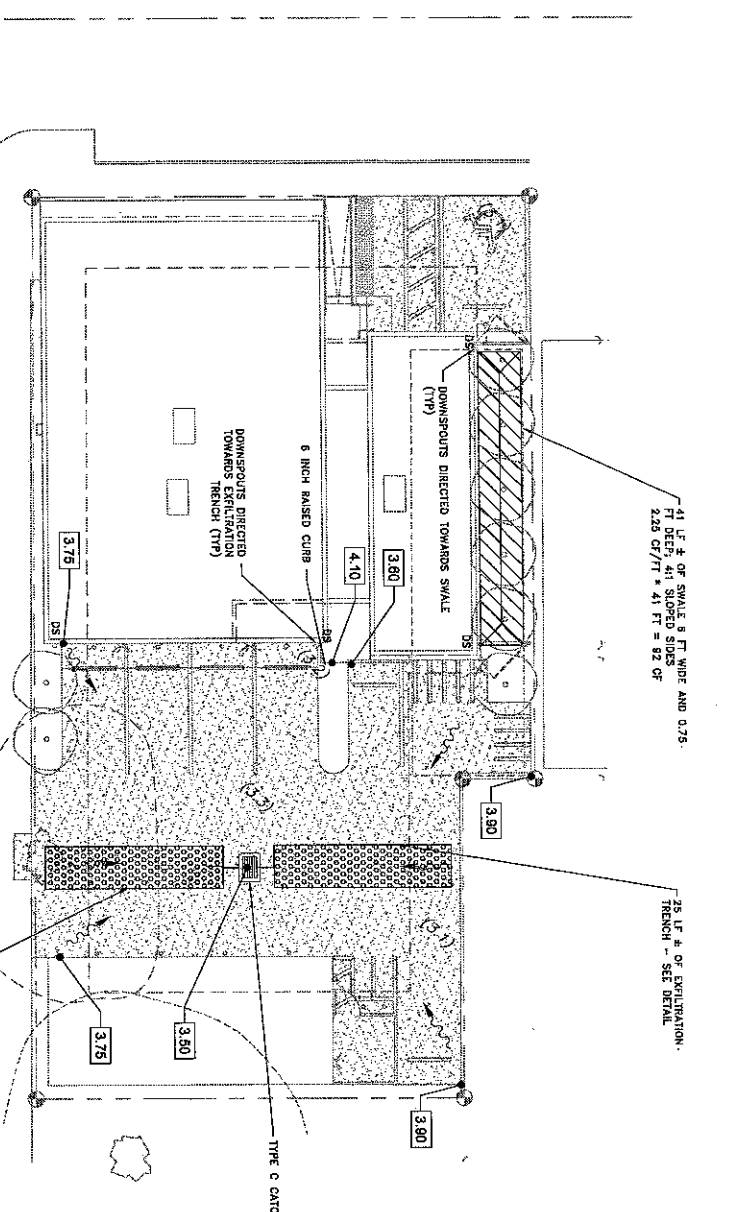
01 SITE AND LANDSCAPE PLAN
A1.1.1
 DATE: FEBRUARY 8, 2012
 SHEET NO. 1 OF 1

RECEIVED
February 4, 2012
KIV Planning Dept

DC
21222
Rmk

mbi | km
ARCHITECTURAL, INC.
Architectural, Interior Design,
Site Planning, Landscape Design,
Specialty Consulting

10175 Wilshire Blvd
Suite 1000
Los Angeles, CA 90024
Tel: 310.440.7722
Fax: 310.440.7723
Email: info@mbi-km.com
www.mbi-km.com



DRAINAGE CALCULATIONS

WATER QUANTITY - REDEVELOPMENT
 PROJECT AREA = 0.152 AC
 IMPERVIOUS AREA = 0.178 AC
 PERVIOUS AREA = 0.158 AC
 K IMPERVIOUS = 0.5
 RAINFALL FOR 25%/24H EVENT (P) = 9 in.
 DEPTH TO WATER TABLE = 2.4 ft.
 DEVELOPED AVAILABLE STORAGE = 3.4 ft.
 SOIL STORAGE (S) = 0.28 ft.
 Q₁₀ = (P-S)/24H = 0.28 ft.
 Q₂ = (P-S)/24H = 0.28 ft.

WATER QUANTITY - REDEVELOPMENT
 PROJECT AREA = 0.152 AC
 IMPERVIOUS AREA = 0.178 AC
 PERVIOUS AREA = 0.158 AC
 K IMPERVIOUS = 0.5
 RAINFALL FOR 25%/24H EVENT (P) = 9 in.
 DEPTH TO WATER TABLE = 2.4 ft.
 DEVELOPED AVAILABLE STORAGE = 3.4 ft.
 SOIL STORAGE (S) = 0.28 ft.
 Q₁₀ = (P-S)/24H = 0.28 ft.
 Q₂ = (P-S)/24H = 0.28 ft.

REDEVELOPMENT - REDEVELOPMENT
 Q₁₀ = 0.028 ft.
 VOLUME = 0.1 ft.
WATER QUANTITY
 PROJECT AREA = 0.152 AC
 IMPERVIOUS = 0.097 AC
 PERVIOUS = 0.081 AC
 K IMPERVIOUS = 0.5
 RAINFALL FOR 25%/24H EVENT (P) = 9 in.
 DEPTH TO WATER TABLE = 1.48 ft.
 DEVELOPED AVAILABLE STORAGE = 0.97 ft.
 SOIL STORAGE (S) = 0.081 ft.
 Q₁₀ = (P-S)/24H = 0.081 ft.
 Q₂ = (P-S)/24H = 0.081 ft.

DETENTION VOLUME REQUIRED
 A) ONE INCH OF RAINFALL FROM DRAINAGE BASIN = 0.195 AC-in
 B) 2.5 INCHES THREE PERCENT IMPERVIOUS = 0.02 AC-in
 VOLUME REQUIRED = 0.40 - 0.02 = 0.38 AC-in
 DETENTION TRENCH VOLUME CALCULATED USING SPREAD EARTHWORK (NO FILL) OF THE DETENTION MANHOLE VARIATION (NO FILL) = 0.325 (96) (24) (2.25) (0.25) = 0.275
 REQUIRED LENGTH = 80 FT

LEGEND

	DRAINAGE FLOW
	NEW PARKING LOT
	SURFACE MATERIAL
	SWALE AREA
	EXISTING ELEVATION
	PROPOSED ELEVATION
	SWALE AREA
	EXFILTRATION TRENCH

DRAINAGE PLAN
 DATE: February 4, 2012
 DRAWN BY: [Name]
 CHECKED BY: [Name]

SCOTT SAUNDERS
 313 Margaret and 908 James Street, Key West, Florida 33040
BUILDING RENOVATION AND ADDITION

DRAINAGE PLAN
 DATE: February 4, 2012
 DRAWN BY: [Name]
 CHECKED BY: [Name]

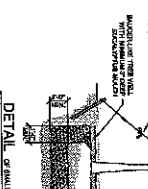
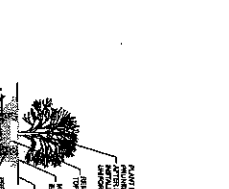
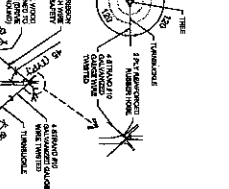
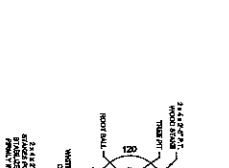
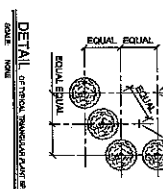
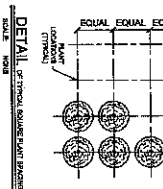
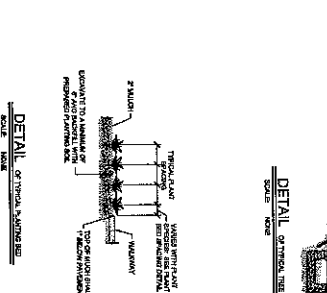
02 PLANT LIST

SCALE NTS

NO.	SYMBOL	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPREAD	PLACEMENT
01	(Symbol)	Central Florida		3'		
02	(Symbol)	Central Florida		3'		
03	(Symbol)	Central Florida		3'		
04	(Symbol)	Central Florida		3'		
05	(Symbol)	Central Florida		3'		
06	(Symbol)	Central Florida		3'		

03 LANDSCAPE DETAILS

SCALE NTS



04 LANDSCAPE NOTES AND SPECIFICATIONS

SCALE NTS

- CHANGES AND CORRECTIONS TO THE ORIGINAL COURSE OF THE CONSTRUCTION SHALL BE INDICATED BY CHANGES TO THE ORIGINAL COURSE OF THE CONSTRUCTION. ANY CHANGES SHALL BE INDICATED AND APPROVED BY THE ARCHITECT.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE DRAWINGS AND APPROVED BY THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
- ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
- ALL EXCAVATION SHALL BE PROTECTED BY SHIELDING AND UNDERPINNED AS SHOWN ON THE DRAWINGS.
- ALL EXCAVATION SHALL BE BACKFILLED AND UNDERPINNED AS SHOWN ON THE DRAWINGS.
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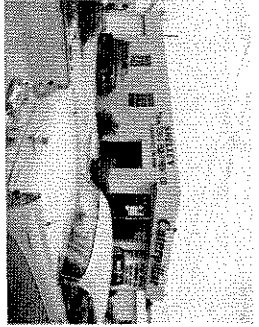
CHALICE REYNOLDS
LANDSCAPE ARCHITECTURE
2700 N. UNIVERSITY AVE. SUITE 200
ORLANDO, FLORIDA 32811
407.848.8888

SCOTT SAUNDERS
313 Margaret and 906 James Street, Key West, Florida 33040
BUILDING RENOVATION AND ADDITION

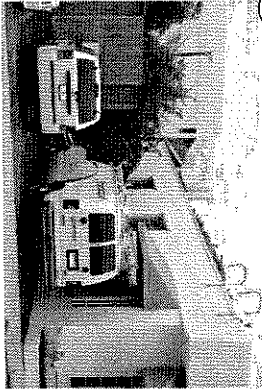
L1.1.1
Scale: Architect (1:8 1/2")

mbl | kzm
ARCHITECTURE, INC.
ARCHITECTS
1001 Westwood Street
Key West, FL 33040-2722
Phone: 305.246.1222
Fax: 305.246.1222
www.mblkzm.com

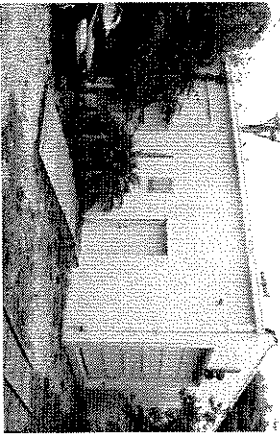
QC
2/21/12
RMC



08 HISTORIC WEST/NORTH ELEVATIONS
SCALE N.T.S.
A3.1.1



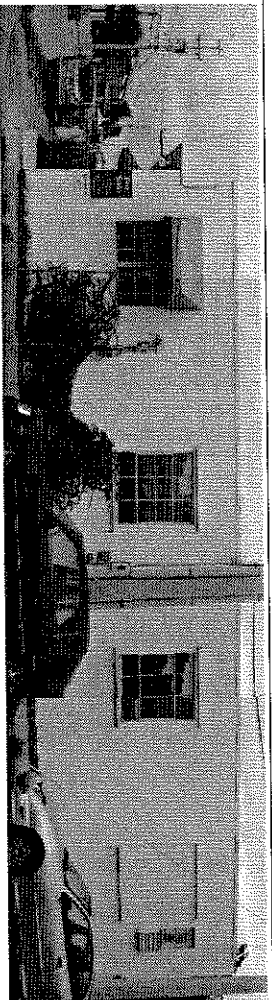
07 EXISTING NORTH ELEVATION
SCALE N.T.S.
A3.1.1



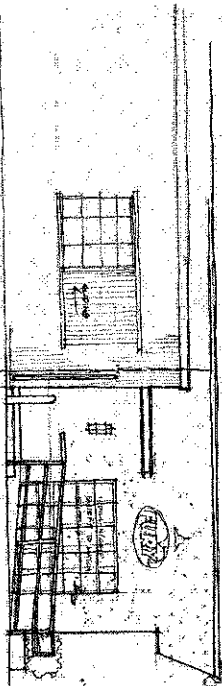
06 EXISTING EAST ELEVATION
SCALE N.T.S.
A3.1.1



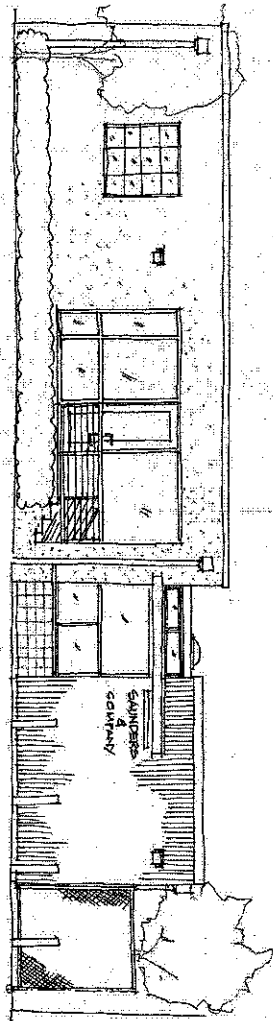
05 EXISTING WEST ELEVATION
SCALE N.T.S.
A3.1.1



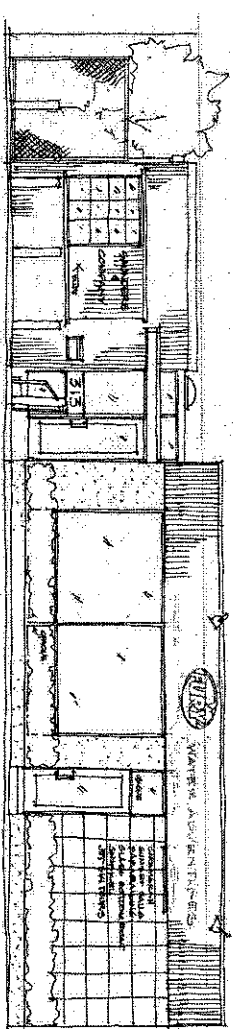
04 SOUTH ELEVATION (EXISTING)
SCALE 1/4" = 1'-0"
A3.1.1



03 NORTH ELEVATION (PARTIAL)
SCALE 1/4" = 1'-0"
A3.1.1



02 EAST ELEVATION
SCALE 1/4" = 1'-0"
A3.1.1



01 WEST ELEVATION - MARGARET STREET
SCALE 1/4" = 1'-0"
A3.1.1

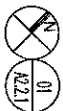
QC
22212
RMK

mbi | k2m
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Civil, Mechanical, Electrical,
Structural, Construction
1001 Wynwood Drive
Miami, Florida 33136
Tel: 305.525.7722
Email: info@mbik2m.com
www.mbi-k2m.com
PHOTO: JAMES HARRIS

Consultants:
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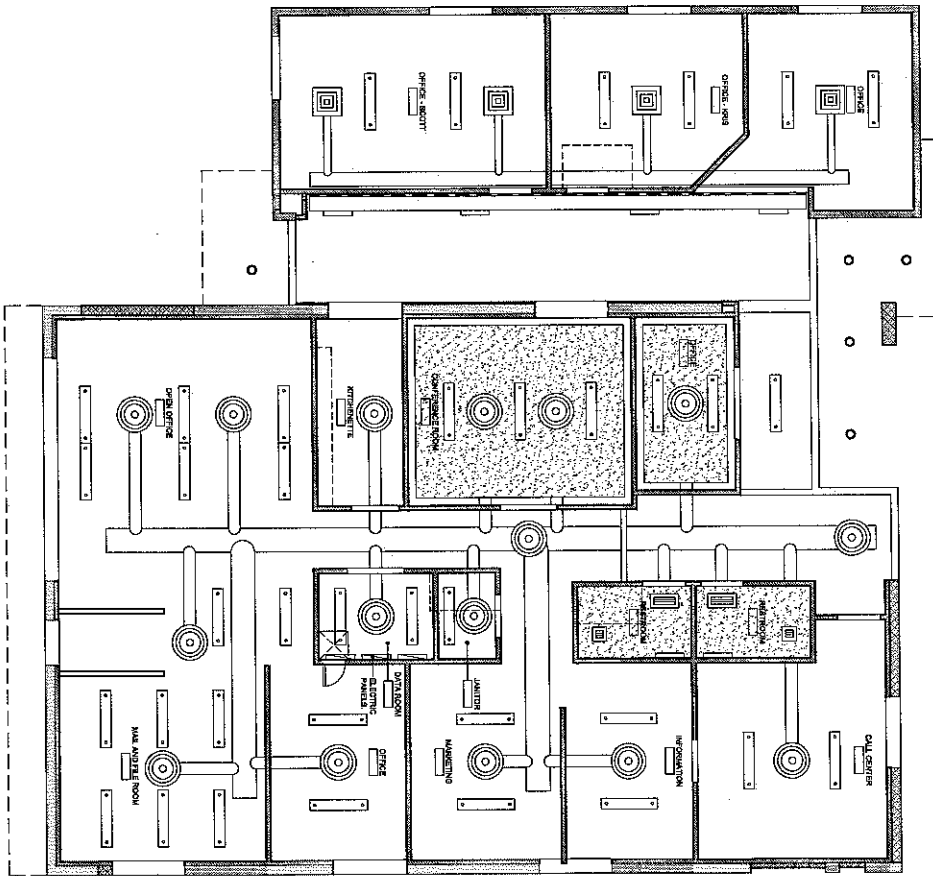
SCOTT SAUNDERS
313 Margaret and 908 James Street, Key West, Florida 33040
BUILDING RENOVATION AND ADDITION

DATE: September 11, 2011
A3.1.1
GRAPHIC SCALE 1/4" = 1'-0"



FIRST FLOOR CEILING PLAN

GRAPHIC SCALE 1/4" = 1'-0"



QC 22212 RMK

mbi | k2m
 ARCHITECTURE, INTERIOR DESIGN,
 GENERAL CONTRACTOR,
 DESIGN REPRESENTATIVE,
 LEADERSHIP CONTRACTING

1015 WINDWARD STREET
 SUITE 3000
 MIAMI BEACH, FLORIDA 33139
 PH: 305.673.4200
 WWW.MBIK2M.COM

SCOTT SAUNDERS
 313 Margaret and 908 James Street, Key West, Florida 33040
BUILDING RENOVATION AND ADDITION

DATE: NOVEMBER 14, 2011
 DRAWING NO: A2.2.1

PROJECT NO: 11178

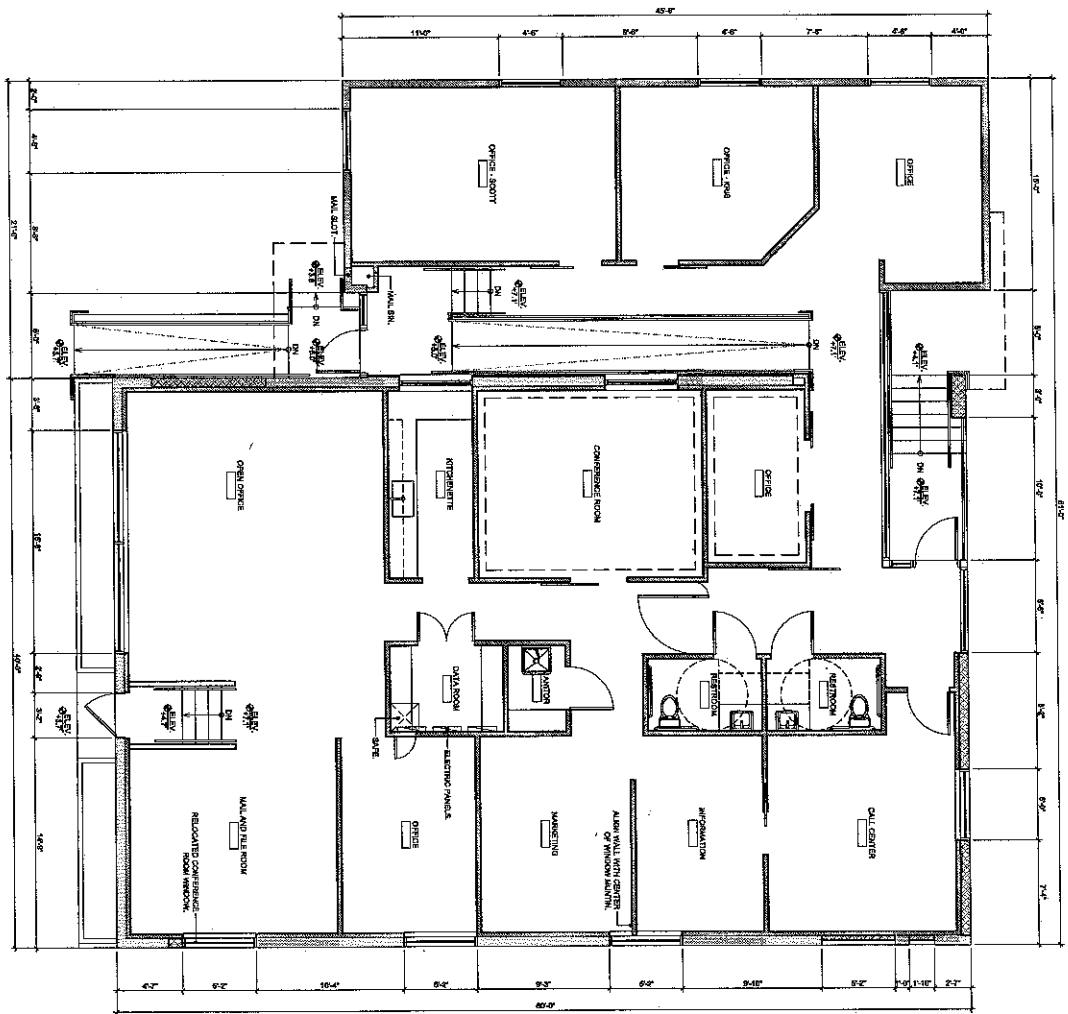
DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: [Signature]

SCALE: 1/4" = 1'-0"

GRAPHIC SCALE: 1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12

01
12.11
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



GRAPHIC SCALE: 1/4" = 1'-0"

DC
22212
Rmk

01
12.11
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE: 12/11/11
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/4" = 1'-0"

SCOTT SAUNDERS
313 Margaret and 928 James Street, Key West, Florida 33040
BUILDING RENOVATION AND ADDITION

PROJECT INFORMATION
PROJECT NO.: [Number]
CLIENT: [Name]
ARCHITECT: [Name]
DATE: [Date]

mbi | k2m
ARCHITECTURE INC.
1001 Wynwood Drive
Miami, FL 33136
Tel: 305.575.2722
Fax: 305.575.2722
Email: info@mbik2m.com
www.mbi-k2m.com

DATE: 12/11/11
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/4" = 1'-0"