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Building Analysis Report



1012 Fleming St

Key West, Fl

Prepared for

Habitat for Humanity

305-872-4456

Buildit@habitatlowerkeys.org

By

Richard A. Gegorek

CGC025723

Confidential Inspection Report

**1012 - Fleming St
Key West, FL 33040**

Prepared for: Habitat For Humanity

**Prepared by: Associated Home Inspectors, Inc.
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INSPECTION CONDITIONS**CLIENT & SITE INFORMATION:****REPORT NAME:** Habitat for Humanity - #243-0222853**INSPECTION DATE & TIME:** 08/01/2014.**CLIENT NAME:** Habitat For Humanity.**MAILING ADDRESS:** 30320 Overseas Highway.**CLIENT CITY/STATE/ZIP:** Big Pine Key, FL 33043.**CLIENT PHONE #:** 305-872-4456.**CLIENT E-MAIL ADDRESS:** buildit@habitatlowerkeys.org.**INSPECTION SITE:** 1012 Fleming St. (General conditions)**INSPECTION SITE CITY/STATE/ZIP:** Key West, FL 33040.**CLIMATIC CONDITIONS:****INSPECTION DAY WEATHER:** Clear.**TEMPERATURE AT TIME OF INSPECTION:** 80's.**HOW LONG SINCE LAST MEASURABLE RAIN:** 3 Days.**SOIL CONDITIONS:** Dry.**BUILDING CHARACTERISTICS:****ESTIMATED AGE OF HOUSE:** 1933 per records.**BUILDING TYPE:** 5 Unit apartment building.**STORIES:** 2.5.**SPACE BELOW GRADE:** Crawlspace.

OTHER INFORMATION:

AREA:

City.

HOUSE OCCUPIED?

Yes.

**CLIENT PRESENT
DURING INSPECTION:**

Yes.

**PEOPLE PRESENT
DURING INSPECTION:**

Listing agent, Purchaser.

UTILITIES STATUS:

All utilities on.

PAYMENT INFORMATION:

TOTAL FEE:

\$1200.00.

PAID BY:

Invoice.

SITE

SITE / GROUNDS:

Site Drainage:

The lot needs some adjustment in areas to prevent water from entering into the crawlspace. Recommend installation of gutters, collection boxes and down spouts. Re-working the brick pavers at the right side of the property line.

Landscaping:

Trees overhanging the rear addition need to be trimmed so that limbs don't damage the roof, Trees that rub against the roof can cause severe damage and can drastically reduce the life of the roofing material.

Driveway:

None.

Walkways:

The walkway is concrete. The walkway is brick. The walkway surface material is in satisfactory condition with only normal deterioration noted.

Entryway Stoop/Stairs:

The concrete entryway stoop/stairs for the ground floor units 1 - 2 are in satisfactory condition for age.

PATIO:

Patio Slab Materials:

n/a.

FOUNDATION

FOUNDATION:

Type of Foundation:

Foundation piers, satisfactory condition.

Foundation Materials:

Limestone piers.

Evidence of Recent Movement:

There is no evidence of any recent movement.

Perimeter Foundation Drainage Surface:

There is a negative slope at the walkway to the foundation on the right side. Brick walk way drains towards the crawlspace.

CRAWLSPACE

Crawlspace Entrance:

Inadequate clearance for crawlspace.

Location of Crawlspace Entrance:

Exterior perimeter wall.

Sill Plates Percentage Visible:

Only about 50% to 75%
Floor framing- was visible - rough sawn - nominal 2" x . Only minor deterioration observed from termites.

Foundation Bolts Noted:

No anchors at piers to floor framing structure. Piers are resting on the top of the cap rock - No reinforcing steel.

Moisture Noted:

There were no elevated moisture levels noted.

Evidence of Mold Noted:

No.

Evidence of Water Entry in the crawlspace Noted:

No.

Main Beam:

The main beams and girders are a single large dimension wood board/4" x 6".- The physical condition of the beams overall appear to be in satisfactory condition. There were some areas where water stain and deterioration were noted and are as following
1. front perimeter sill 2. rear perimeter sill

Deflection was also observed in the center girder at the front section of the house, which was the original front porch.

Crawlspace Ventilation:

The cross-ventilation in the crawlspace appears to be adequate.

Crawlspace Inspected By:

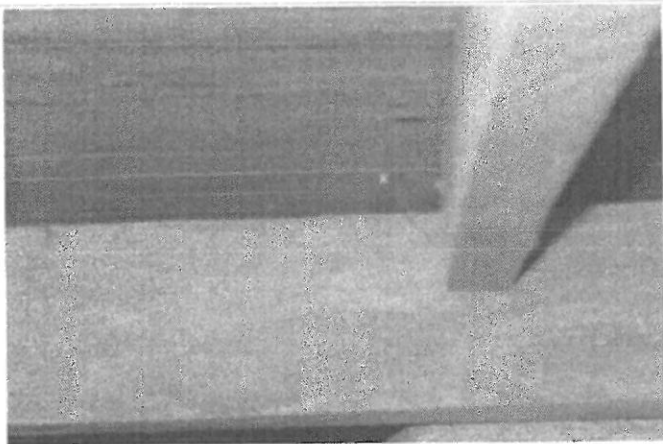
The crawlspace was inspected from the access way due to inadequate access room. The access to the crawlspace was restricted which prohibited entering at the time of the inspection.

Vapor Barrier Installed:

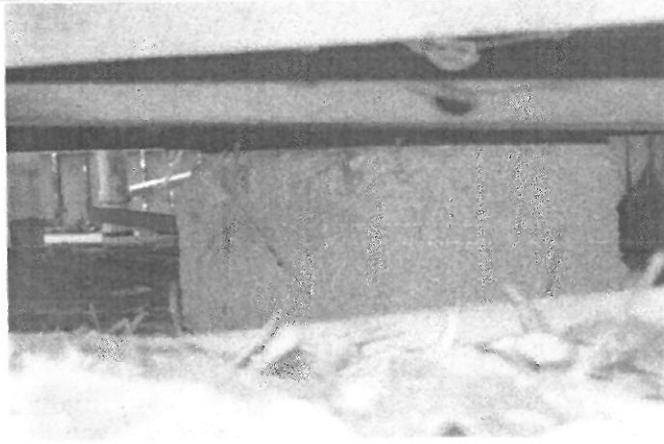
There is no vapor barrier installed.

***Evidence of Insects or
Animals in Crawlspace:***

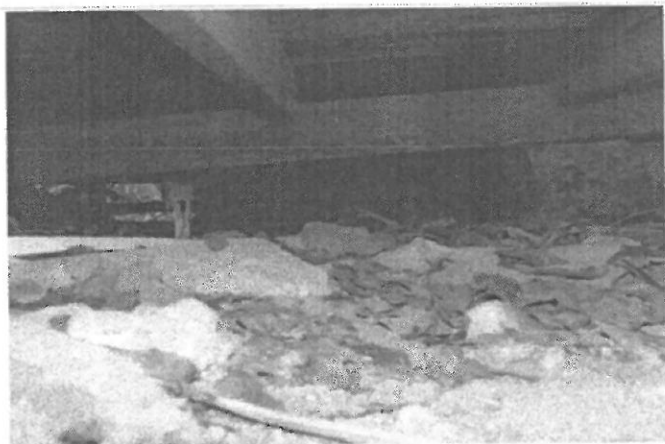
This inspection does not cover the presence or lack of wood destroying insects with a written report. There was past termite damage noted, which is typically with buildings of this age. The termite damage observed does not appear to be jeopardizing the structural integrity of the building.



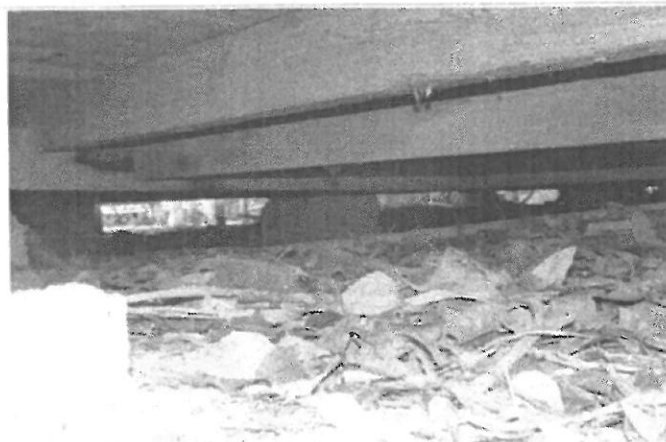
Center girder



Addition masonry piers



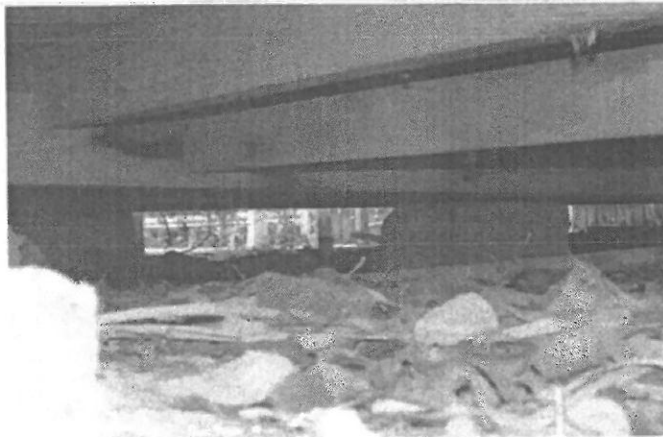
Deflection in center girder at unit 1



Limestone piers and floor framing



Crawlspace



2 x 6 nominal floor joist

ROOF

MAIN ROOF:

Roof Style:

Gable.

Roof Covering Materials:

Standing seam, The roofing materials appear to be installed in an acceptable manner.

Cover Layers:

The roof covering on the main structure appears to be the second covering. There appears to be the original layer of wood shake shingles installed under the standing seam metal panels.

Current building standards will allow only two coverings. When re roofing again, it will be necessary to remove the first two layers.

Roof Condition:

The roof covering material shows signs of a condition /or damage that needs attention to prevent any further problems that may lead to deterioration or leakage.

Recommend contacting a Roofing Contractor for further evaluation due to the age of the roof. Roof appears to have reached and/or passed its typically life expectancy.

Estimated Age of Roof:

40 yrs.

Estimated Life Expectancy of Roof:

Limited
Contact a Roofing Contractor for a more precise estimate of life expectancy.

Slope:

High slope is considered to be 7 in 12, or higher.

Means of Roof Inspection:

The roof edge was the location of the inspection of the roof covering. Unit #3

The inspection was completed from the ground level with a zoom lens on a camera. Right side gable

The roof was also observed from the adjoining property - 3rd floor- left side gable and shed roof

Front roof - observed from the 2nd floor deck.

SECONDARY ROOF:

Roof Style:

Shed.

Roof Covering Materials:

Metal shingles.

Cover Layers:

The roof covering on the main structure appears to be the second covering. Current building standards will allow only two coverings. When re roofing again, it will be necessary to remove the first two layers.

Roof Condition:

The roof covering material shows evidence of deterioration or leakage to the degree that action is required to determine the extent of repairs needed. Estimates from licensed professionals are needed.

Estimated Age of Roof:

50 yrs.

Estimated Life Expectancy of Roof:

Limited - due to age

Contact a Roofing Contractor for a more precise estimate.

Slope:

Low slope is considered to be 3 in 12 or less.

Means of Roof Inspection:

The roof edge was the location of the inspection of the roof covering.

ROOF # 3:

Roof Style:

saw-tooth gables at Unit #3.

Roof Covering Materials:

V crimp metal, The roofing materials appear to be installed in an acceptable manner.

Cover Layers:

The roof covering on the main structure appears to be the first covering.

Roof Condition:

The roof covering material is either new or near new, and it appears to be installed correctly.

Estimated Age of Roof:

3 years.

Estimated Life Expectancy of Roof:

25 years.

Slope:

High slope is considered to be 7 in 12, or higher.

Means of Roof Inspection:

The roof edge was the location of the inspection of the roof covering.

FLORIDA ROOM / COVERED PATIO:

Roof Style:

Shed.

Roof Covering Materials:

Standing seam metal.

Cover Layers:

The roof covering on the main structure appears to be the first covering.

Roof Condition:

The roof covering material shows signs of deterioration or damage that needs attention to prevent further deterioration or leakage. Rusting panels noted - past repairs made with screws in order to secure the uplifting ends of the panels.

Estimated Age of Roof:

30 - 40 years.

Estimated Life Expectancy of Roof:

Limited.

Slope:

Medium slope is considered to be between 4 in 12 and 6 in 12.

Means of Roof Inspection:

The deck of the adjoining property was the location of the inspection of the roof covering.

EXPOSED FLASHINGS:

Flashing:

Roof-to-wall flashing, Satisfactory.
There is some rusting at the eave trim flashings - front elevation.

Valleys:

The valleys are in satisfactory condition.

Ridges:

The ridge covering material is in satisfactory condition.

ROOF GUTTER SYSTEM:

Roof Gutter System:

No gutters installed.

Comment:

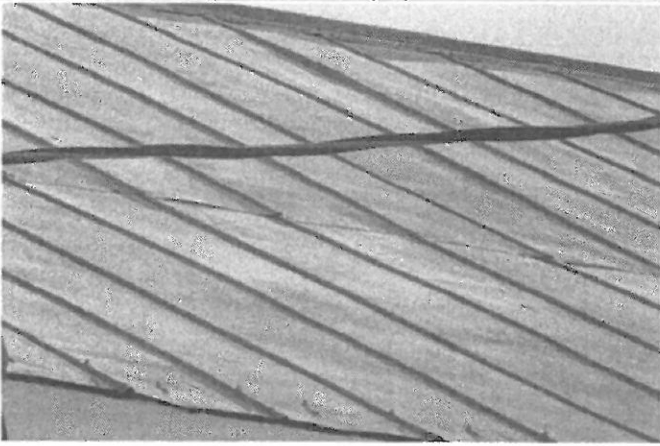
recommend installation of seamless gutters for water control and prevention of water run off from entering the crawlspace.

ATTIC**ATTIC**

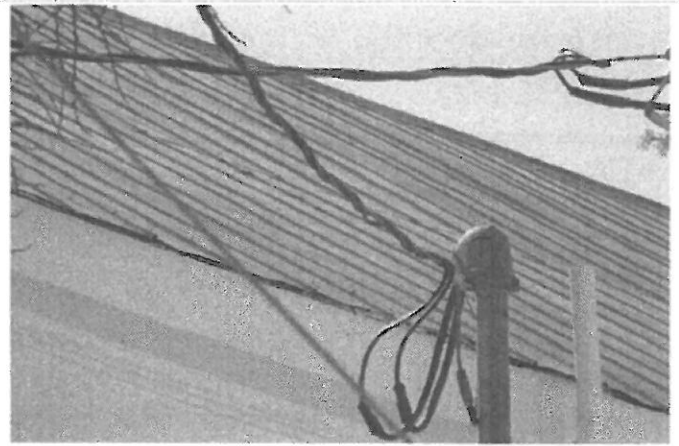
Attic Access Location:	No attics - the attic have been converted into lofting living space.
Method of Inspection:	Not inspected.
Roof Framing:	A rafter system is installed in the attic cavity to support the roof decking.
Roof Framing Condition:	Unknown- no access for inspection.
Roof Decking:	on the original house - most likely skipped spaced battens for the wood shakes. Plywood installed at the roofs over the deck area - evidence of past leakage.
Evidence of Leaks on Interior of Attic:	No access to inspect - No evidence of water on the ceilings at the loft areas.

ATTIC - VENTILATION / INSULATION:

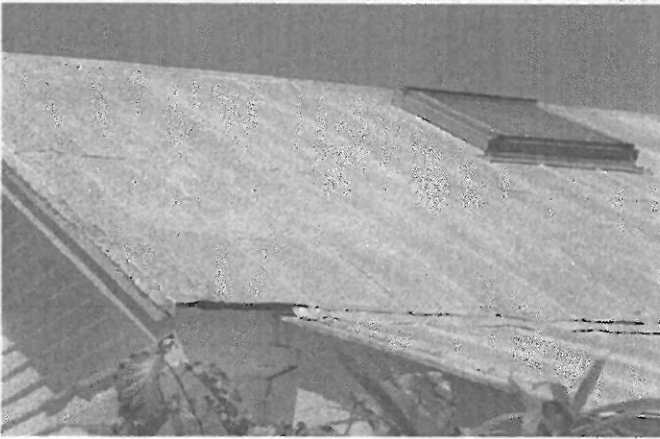
Ventilation Type:	None.
Attic ventilation fan:	None installed.
Whole House Ventilation System:	None installed.
Skylights:	The skylight(s) appears to be satisfactory and shows no signs of leaking.
Vapor Barrier Installed:	Unknown.
Insulation Type:	Not determined- no access.



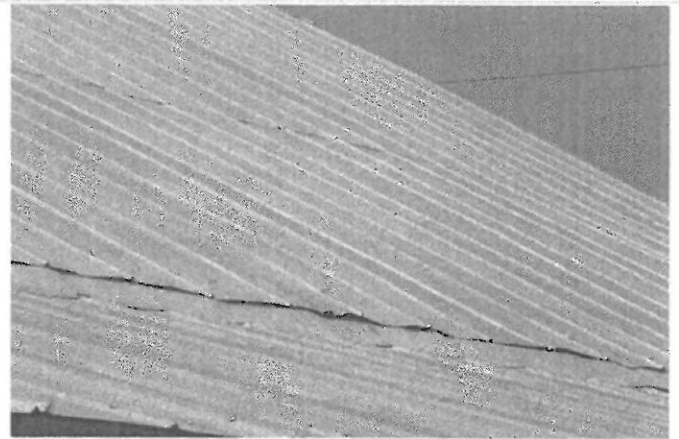
Main gable - right side- standing seam metal



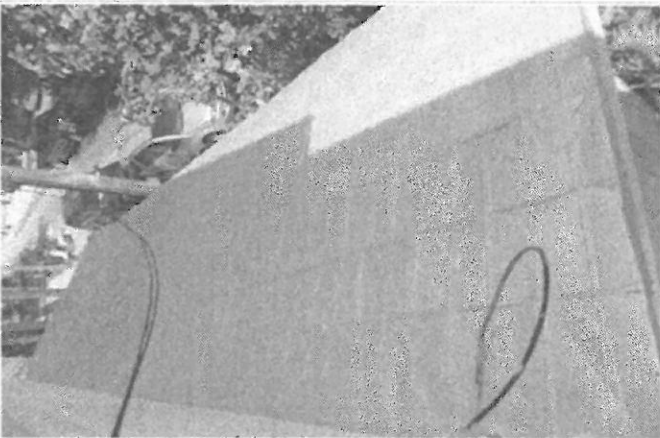
Main gable right side #2



Main gable - left side w/ skylight



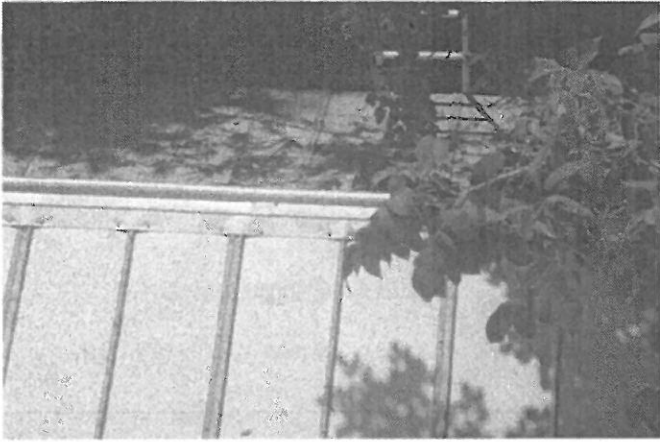
Main gable and roof - left side - #2



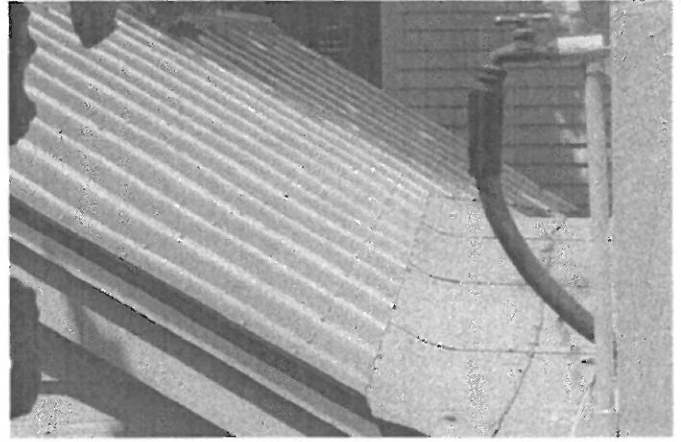
Front roof - metal shingle



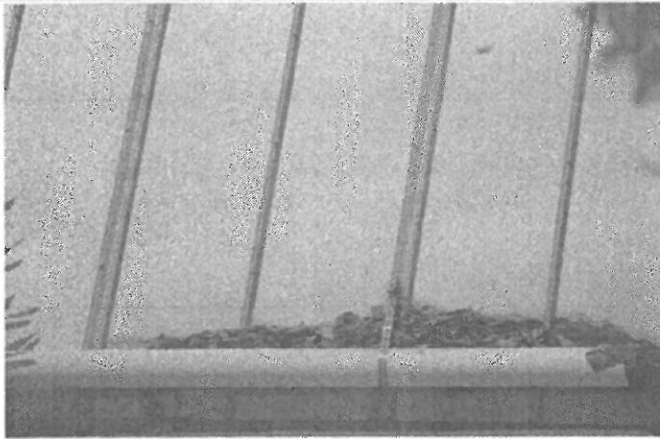
Overview roof - right side- Standing seam metal



Unit #3 gable roofs



Unit #3 - valley flashing



Unit #3 - Roof Covering - Metal



unit #3 - saw tooth gables w/ valley

EXTERIOR

EXTERIOR:

Walls:

Wood frame. The wall covering is a shiplap siding.

Wood Siding Condition:

The exterior siding is in a condition that requires minor repair to prevent further deterioration. The wood siding is in typical condition for the age of the building. Wood frame structures will always require maintenance. Generally 10% of wood siding is replaced when replaced

Recommend sealing walls at all pipe penetrations.

Soffit / Fascia:

The fascia and rake boards are in satisfactory condition and show only signs of normal wear. The soffit/eaves are in satisfactory condition and show only signs of normal wear.

Outside Entry Doors:

Doors were functional - Most of the doors are aged and need to be kept painted, sealed and caulked at thresholds, sills, jambs.

Windows:

Majority of the windows are older 2/2 wood windows, some with cracked panes, some not functional. There are older metal jalousie windows along with some newer 4/4 wood windows.

Recommend replacement of all older windows with impact rated windows, especially if the units are to be equipped with central AC.

DECK, PORCH OR BALCONY:

Deck/Porch/Balcony:

The wood decks are functional, minor repairs needed at random areas. The framing of the deck or porch was done in an acceptable matter. The decking material is open slat wood, which is designed for the rain to run off in between the boards..

Stairs:

The stair material is wood. The steps are in satisfactory condition.

Deck or Porch Railings:

Railing at the stair doe not have any balustrades installed- Safety concern.



Side Elevation



Front Elevation



Side Elevation



Side Elevation



Front Elevation



Side Elevation



Side Elevation



Side Elevation



Rear Elevation



Rear Elevation

HVAC SYSTEM:

AIR CONDITIONING UNIT #1:

**Description: Model /
Age/ Capacity:**

Unit #3 Miotsubishi ductless system.

Type:

Units 1 - 5, except Unit 3
Wall / Window units installed. Not included in the scope of the inspection.

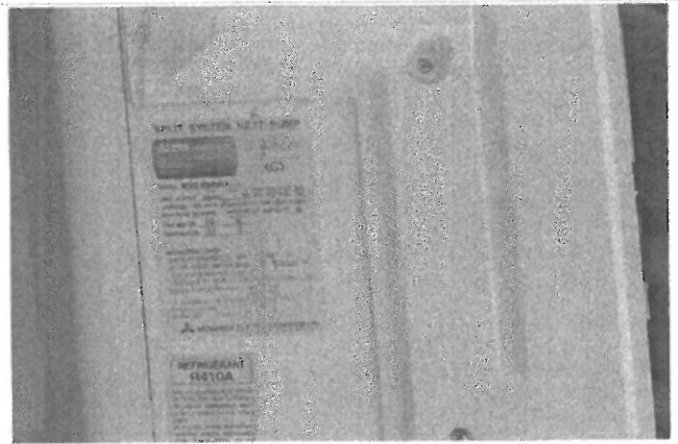
Power Source:

110 Volt, Electric - 220 Volt.

The inspector does not perform pressure tests on coolant systems.



Ductless Mitsubishi system



Data plate - 2010

ELECTRICAL SYSTEMS

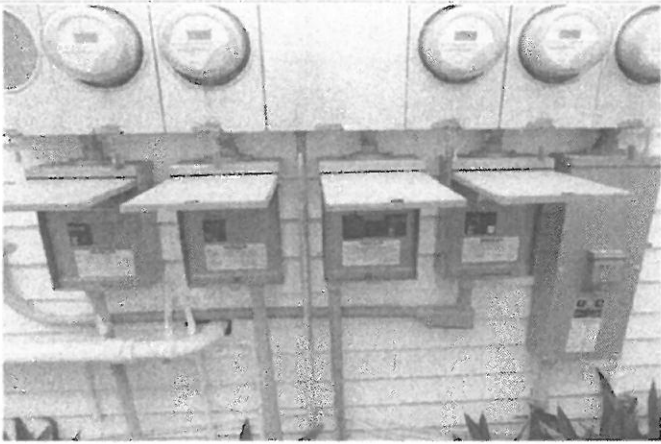
PRIMARY POWER SOURCE:

Service Voltage:

The incoming electrical service to this structure is a single phase - 120/240 v service.

Service/Entrance/Meter:

The masthead, supports, meter housing, and cable entrance to the structure appear to be correctly installed.



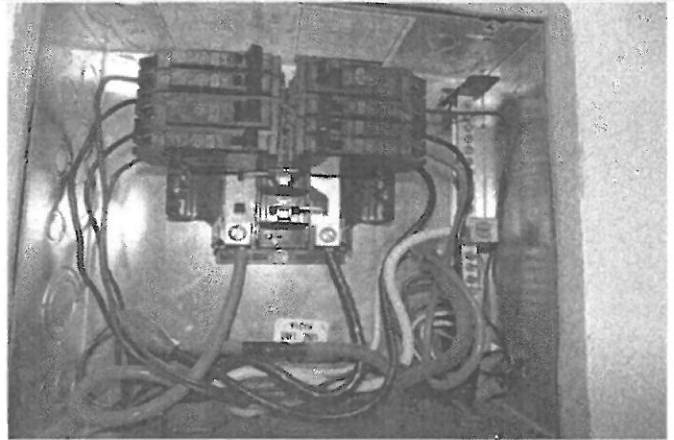
Meters & panels



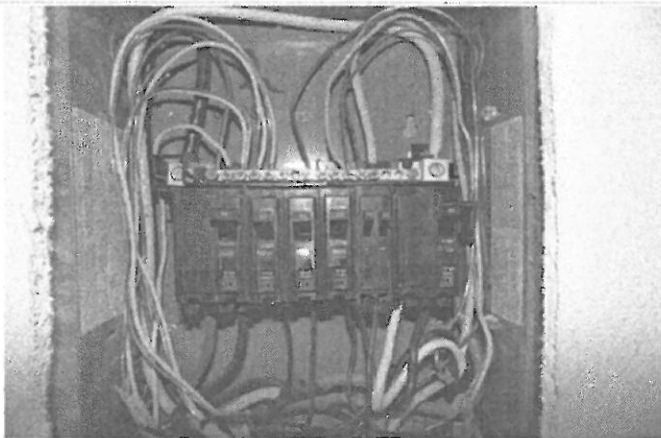
Disconnect -60 amp typical all units except #3



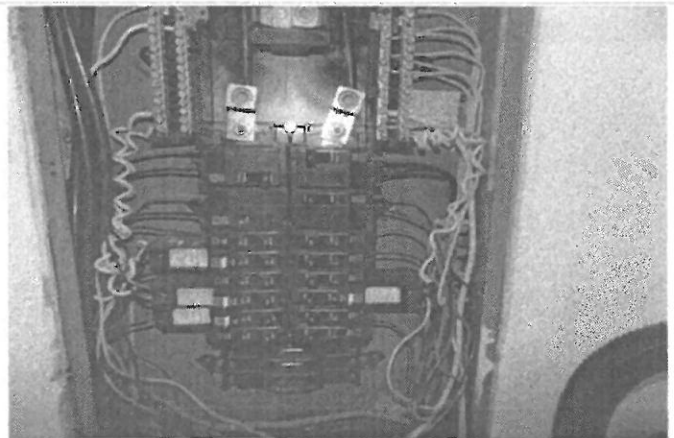
Disconnect 100 amp - Unit #3



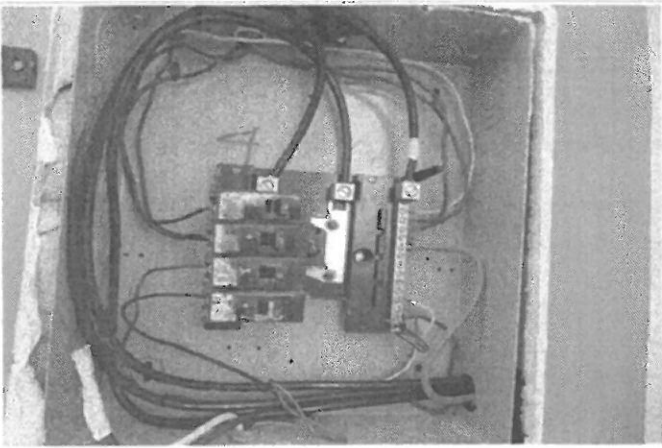
60 amp - Unit #1



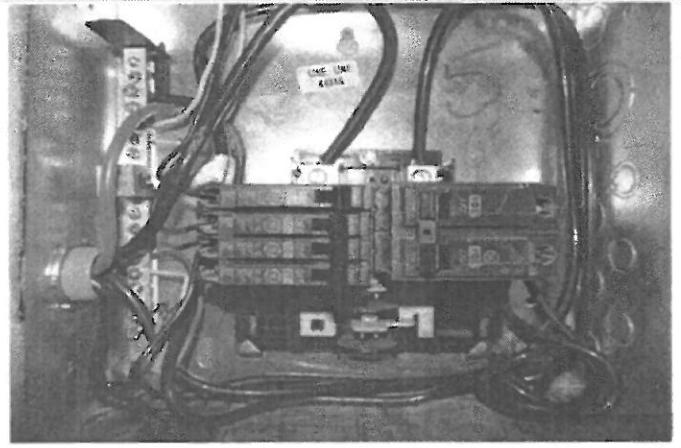
60 amp Unit #2



100 amp Unit #3



60 amp Unit #4



60 amp Unit #5

PLUMBING SYSTEM

PLUMBING:

Water Source:

City/Municipal.

Main Water Line shutoff valve location:

Meter.

Sewage Disposal Type:

Public Sewer System, This inspection merely identifies the type of sewage waste disposal system. It does not comment on the adequacy or effectiveness of the system.

Supply Line Materials

The predominant supply line material is plastic (PVC).

Supply Piping Condition:

The visible plumbing supply piping appears functional.

Waste Line Materials

The predominant waste line material is plastic (PVC).

Waste Piping Condition:

The visible plumbing waste piping appears functional.

Vent Piping Material

The vent material, as it passes through the roof, is plastic. Satisfactory.

Supply/Waste Piping Supports:

The straps and hangers supporting the hot and cold water supply piping appear adequate. The straps and anchors supporting the waste lines appear adequate and in satisfactory condition.

Functional Drainage:

Functional drainage has been verified. Water drained from a random sample of fixtures or drains flows at a rate faster than was supplied.

Objectionable Odors Noted:

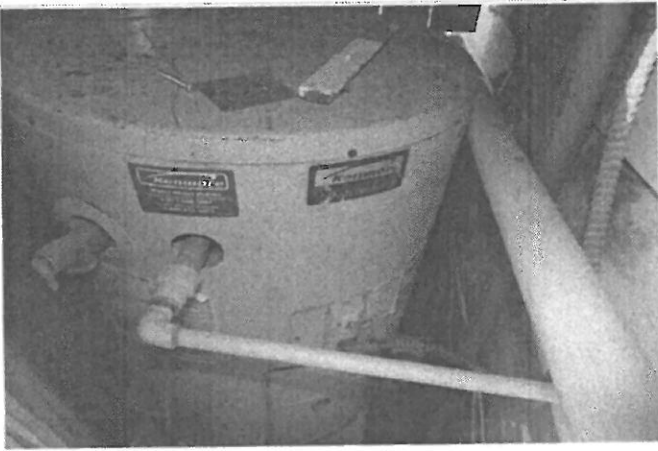
No.

Location of Leak in Waste Line:

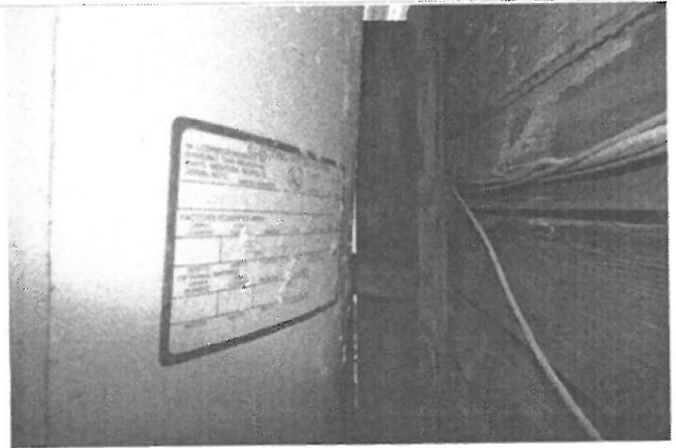
None observed.

Location of Waste Line Cleanouts:

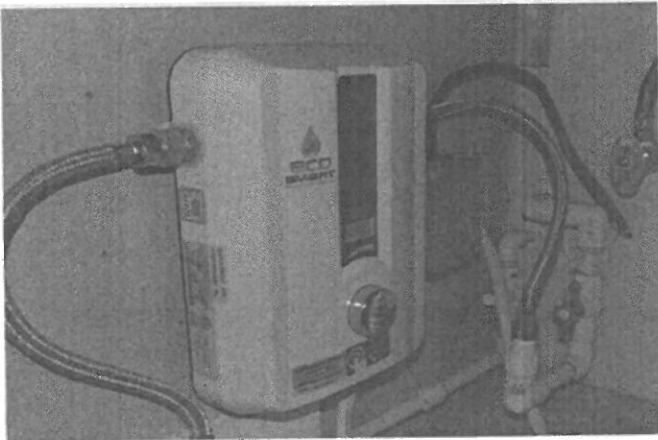
Crawlspace.



Unit 1- outside



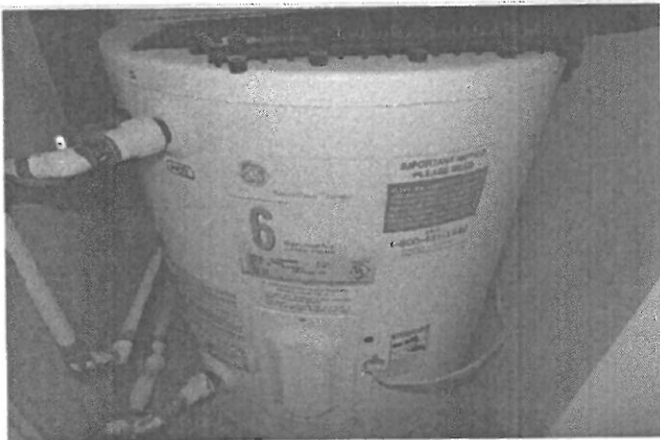
Unit 1 - Age - 2001- Capacity - 30 gal



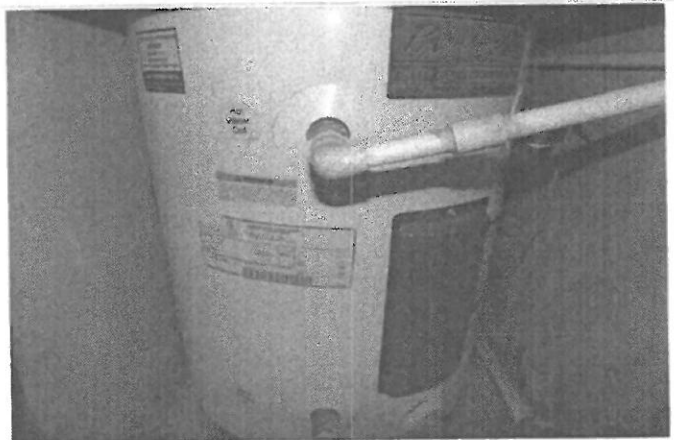
Unit 2 - 2010



Unit 3- Age - 2010



Unit 4- Age 1999 / Capacity - 19.9 gal



Unit 5 - Age - 2008 Capacity - 19.9 gal

