

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members

From: Brendon Cunningham

Through: Donald Leland Craig, AICP, Planning Director

Meeting Date: June 21, 2012

Agenda Item: **Conditional Use - 1105 Leon Street (RE# 00044110-000000)** – A request for a public utility to include a platform and generator to power injection wells for a storm water drainage project for property in the PS zoning district per Section 122-1018(4) of the Land Development Regulations of the Code of Ordinances of the City of Key West

Request: To allow the construction of an elevated generator platform (EGP) within an easement area on Monroe County School District property to support injection wells during power outages.

Applicant: Jay Gewin, Utilities Manager, City of Key West

Property Owner: Monroe County School District

Location: 1105 Leon Street, at the North end of Ashby Street, Horace O’Bryant Middle School (RE# 00044110-000000)

Zoning: Public and Semi-Public Services (PS) zoning district

Background:

The land in the vicinity of the proposed construction is low lying and prone to flooding. To help alleviate this condition, the City is proposing to construct two injection wells. For flood events that coincide with power outages, the City would install a generator on an elevated platform to allow the injection wells to continue to operate.

Request:

This request is for the conditional use of an 880 square foot easement on the Horace O’Bryant Middle School property for the purpose of constructing and maintaining an EGP. The installation will be fenced and screened to prevent intrusion by students on the property and to prevent visual impacts on neighboring properties.

Surrounding Zoning and Uses:

North: PS: School Property
South: SF: Two single family residences
East: PS: School Property
West: PS: School Property

Uses Permitted Per Section 122-1017, Code of Ordinances:

1. Community centers, clubs and lodges
2. Educational institution and day care
3. Golf course facilities
4. Hospitals and extensive care
5. Nursing homes, rest homes and convalescent homes
6. Parks and recreation, active and passive
7. Places of worship
8. Business and professional offices
9. Medical services
10. Parking lots and facilities
11. Veterinary medical services with or without outside kennels
12. Government operated transit facilities

Conditional Uses Per Section, 122-688 Code of Ordinances:

1. Cemeteries
2. Cultural and civic activities
3. Protective services
4. Public and private utilities
5. Funeral homes
6. Marinas

Process:

Development Review Committee Meeting:

April 26, 2012

Planning Board Meeting:

May 17, 2012, postponed

June 21, 2012

Conditional Use Review:

Code Sec.122-62 (a) provides, in part, that “a conditional use shall be permitted upon a finding by the Planning Board that the proposed use, application, and, if applicable, development plan comply with the criteria specified in this section, including specific conditions established by the Planning Board and or the City Commission during review of the respective application in order to ensure compliance with the Comprehensive Plan and Land Development Regulations. The same section also specifies that “a conditional use shall be denied if the City determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public’s interest.”

Conditional Use Criteria Per Code Sec. 122-62:

- (a) **Findings:** The Planning Board may find that the application meets the Code purpose of ensuring that “a conditional use shall only be permitted on specific sites where the proposed use may be adequately accommodated without generating adverse impacts on properties and land uses within the immediate vicinity.” The following criteria form the basis for a finding of compliance.

The property is zoned PS. This zoning designation is intended for uses that are essential to the public welfare. In this instance, the surrounding neighborhood is prone to flooding and the City would act to install equipment to help alleviate this condition.

(b) **Characteristics of Use Described:**

1) **Scale and Intensity:**

a. **Floor Area Ratio:**

No changes are being proposed to F.A.R with this conditional use application. The addition of an EGP does not constitute an increase to F.A.R. as this is an equipment installation.

b. **Traffic Generation:**

Aside from routine maintenance, no traffic will be generated by this installation.

c. **Square Feet of Enclosed Building for Each Specific Use:**

Not applicable, no enclosure will be constructed.

d. **Proposed Employment**

Not applicable, installation will maintained by existing City staff or outside vendors.

e. **Proposed Number of Service Vehicles:**

Not applicable, existing City vehicles or an outside vender which will be used during routine maintenance.

f. **Off-Street Parking:**

Parking is available in the existing parking areas on the school property.

2) **On or Off site Improvements Required and Not Listed in Subsection (b)(1)**

a. **Utilities:**

This is a utility change. The installation of the EGP is part of a separate stand alone system to enhance overall storm water maintenance.

b. **Public facilities:**

Changes to public facilities are required to ensure compliance with concurrency management, as provided in Chapter 94 of the City Code. There are no expected changes regarding level of service for potable water or sanitary sewer. However,

this installation will improve storm water drainage. Additionally, it is anticipated that the proposed change in use would not have an adverse impact on roadway capacity or trip generation.

c. Roadway or Signal Improvements:

No changes are required or proposed to roadway or signal improvements.

d. Accessory Structures or Facilities:

No accessory structures or facilities are generated by the proposed conditional use.

e. Other Unique Facilities/Structures Proposed as Part of On-Site Improvements:

The proposed project includes unique facilities in the form of injection wells.

3) On-Site Amenities Proposed to Enhance the Site and Planned Improvements.

The applicant is not proposing any exterior changes to the site.

a. Open Space:

The applicant is not proposing any changes to open space on the site.

b. Setbacks from Adjacent Properties:

No changes are proposed that would alter structural setback.

c. Screening and Buffers:

Additional screening is proposed. The site is located within the school complex which has landscape buffers as part of the overall design. That design did not anticipate this installation. Additional screening in the form of fencing and landscape is part of this project.

d. Landscaped Berms Proposed to Mitigate Against Adverse Impacts to Adjacent Sites:

No additional landscaped berms are proposed.

e. Mitigative Techniques for Abating Smoke, Odor, Noise, and Other Noxious Impacts:

The generator proposed for this installation is a “Tier III” unit that minimizes carbon and noise emissions. Section 26-193 (10) provides for an exception to the noise ordinance from “unreasonable” levels to “reasonable” levels. However, the generator housing will contain sound attenuated baffling to minimize noise. Other noxious impacts are not anticipated to be caused as a result of this proposal.

c) Criteria for Conditional Use Review and Approval. Applications for a Conditional Use review shall clearly demonstrate the following:

1) Land Use Compatibility:

The proposed location of the EGP is not located in the right-of-way (ROW) but rather on the school property near where there are other generators for the school’s purposes.

2) Sufficient Site Size, Adequate Site Specifications and Infrastructure to Accommodate the Proposed Use:

The size and shape of the site are adequate to accommodate the proposed scale and intensity of the conditional use requested. The applicant intends to install the necessary infrastructure needed for the EGP, injection wells and emergency outfall on the site and the ROW.

3) Proper Use of Mitigative Techniques:

Additional adverse impacts detrimental to the general public health, safety and welfare are addressed by this installation.

4) Hazardous Waste:

Not applicable; no hazardous waste will be generated by the proposed conditional use.

5) Compliance with Applicable Laws and Ordinances:

The applicant will comply with all applicable laws and regulations as a condition of approval. Specifically the City Noise Ordinances per Section 26-191.

6) Additional Criteria Applicable to Specific Land Uses. Applicants Shall Demonstrate the Proposed Conditional Use Satisfies the Following Criteria:

a. Land Uses Within a Conservation Area:

Not applicable; the site is not located in a conservation area.

b. Residential Development:

Not applicable; no residential development is proposed.

c. Commercial or Mixed Use Development:

Not applicable; no commercial or mixed use development is proposed.

d. Development Within or Adjacent to Historic Districts:

Not applicable; the project is not located within any historic district.

e. Public Facilities or Institutional Development:

This is considered to be a public utility constructed for the public welfare.

f. Commercial Structures, Uses and Related Activities Within Tidal Waters:

Not applicable; this site is not located within tidal waters.

g. Adult Entertainment Establishments:

Not applicable; no adult entertainment is being proposed.

Concurrency Facilities and Other Utilities or Service (Section 108-233):

Concurrency management has been previously addressed in this report. The proposed site is in compliance with Chapter 94 of the City Code of Ordinances.

RECOMMENDATION:

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends the request for conditional use be **approved**.

Draft Resolution

**PLANNING BOARD
RESOLUTION No. 2012-**

**A RESOLUTION OF THE KEY WEST
PLANNING BOARD GRANTING A
CONDITIONAL USE APPROVAL PER
SECTIONS 122-62 AND 122-63 OF THE CODE
OF ORDINANCES FOR AN ELEVATED
GENERATOR PLATFORM LOCATED AT 1105
LEON STREET (RE# 00044110-000000) IN THE
PUBLIC AND SEMI-PUBLIC SERVICES (PS)
ZONING DISTRICT, PURSUANT TO SECTION
122-1018(4) OF THE CODE OF ORDINANCES,
KEY WEST FLORIDA; PROVIDING FOR AN
EFFECTIVE DATE.**

WHEREAS, the subject property is located in the Public and Semi-Public Services (PS) zoning district; and

WHEREAS, the applicant filed a conditional use application for an elevated generator platform addressed at 1105 Leon Street, commonly found at the northern end of Ashby Street; and

WHEREAS, Section 122-62 outlines the criteria for reviewing a conditional use application by the Planning Board; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on June 21, 2012; and

_____ Chairman

_____ Planning Director

WHEREAS, the Planning Board found that the proposed use complies with the criteria in Section 122-62 and 122-63; and

WHEREAS, the approval of the conditional use application will be in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

NOW THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as fully set forth herein.

Section 2. That a conditional use request, under the Code of Ordinances of the City of Key West, Florida, per Section 122-1018(4) is hereby approved as follows: allowing an elevated generator platform located at the northern end of Ashby Street for property addressed as 1105 Leon Street (RE# 00044110-000000), Key West, Florida, as shown in the attached plan set received April 9, 2012.

Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the

_____ Chairman

_____ Planning Director

date hereof.

Section 4. This conditional use approval does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Community Affairs. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regular meeting held this 21st day of June, 2012.

_____ Chairman

_____ Planning Director

Authenticated by the Chairman of the Planning Board and the Planning Director.

Richard Klitenick, Chairman
Key West Planning Board

Date

Attest:

Donald Leland Craig, AICP
Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

_____ Chairman

_____ Planning Director

Application



RECEIVED
April 9, 2012
KW Planning Dpt

Conditional Use Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Conditional Use Application

Please Print or Type:

- 1) Site Address North End of Ashby St. (H.O.B. Middle School Easement)
- 2) Property Owner (as it appears on the deed) Monroe County School District (City Easement)
- 3) Property Owner Address 241 Trumbo Road, Key West, FL 33040
- 4) Property Owner Phone # 305-293-1400 Email _____
- 5) Authorized Representative (if applicable) Jay Gewin, Utilities Mgr. City of Key West
- 6) Authorized Representative Address PO Box 1409, Key West, FL 33041
- 7) Authorized Representative Phone # 305-809-3902 Email jgewin@keywestcity.com
- 8) Zoning District of Parcel PS RE# 00044110-000000
- 9) Is Subject Property located within the Historic District? Yes _____ No X
If Yes: Date of HARC approval _____ HARC approval # _____
OR: Date of scheduled meeting _____ Please attach approval and site plans
- 10) Description of request including, proposed development and use. Please be specific, list existing proposed buildings and uses, number of dwelling units, parking, restaurant seats etc. If there is more than one use, describe in detail the nature of each use (Use a separate sheet if necessary).

The George St. Pump Assisted Well and Outfall project will have a tremendous benefit for this neighborhood situated in one of the lowest-elevation areas in our city which has suffered through repeated flooding episodes in the past, particularly during the devastating hurricane season of 2005. The City had a very good public meeting with the residents of this neighborhood to discuss the project and received their support for moving forward on construction.

The project consists of the construction of two pump-assisted wells located at Catherine and Ashby St., an elevated generator platform that will be located within this easement, and an emergency outfall pipeline running from the wells down Catherine St. to the retention pond located off of Jose Marti Dr. between the Police Station and Bayview Park.

A key component of this stormwater pump station project is the elevated generator platform. This is important because it will house a generator above flood plain elevation so the pump station can remain operational during an extended power outage. Additionally, the control panel for the pumps will be mounted on top of the platform so it also can be elevated. This portion of the project is what we are seeking conditional use approval so that we may proceed with construction. The completed



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product will look similar to what was constructed at Indigenous Park at the south end of White St. near the Wildlife Rescue entrance. There will be landscaping to partially camouflage the structure.

The actual stormwater pumps will be located below ground in the street at the northern dead-end of Ashby St. next to Horace O'Bryant Middle School. This is a very short section of roadway that includes just two homes, one on either side of the road, with each having its own driveway on Ashby St. The fence to the middle school is at the north end of this street.

- 11) Local green initiative encourages green planning and development please briefly state how the proposed project supports the city's green interests.

Trash guards are placed in the stormwater inlets that will be part of the pump station to keep trash from being pumped into the retention pond. Additionally, the vortex unit that is part of the pump station will also keep trash from being pumped.

The generator will be a Tier III generator which is a top of the line product in minimizing carbon emissions.

The most significant green accomplishment of this project will be the fact that stormwater in this neighborhood would now be pumped down two 120' injection wells rather than directly flowing to nearshore waters. This would represent a significant reduction of contaminants entering the Gulf of Mexico.

- 12) Has subject Property received any variance(s)? Yes _____ No X
 If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

- 13) Are there any easements, deed restrictions or other encumbrances on the subject property?
 Yes X No _____

If Yes, list and attach all relevant documents.

The Monroe County School District and the City of Key West have both approved the easement for the development. The easement includes these components as part of the City's agreement with the Monroe County School District:

- 1) The City will pay for the cost of constructing a 24" diameter, 80' long PVC pipe to connect two stormwater swales on H.O.B. property. This is because the easement sits on a piece of property where a swale was previously going to be constructed. Connecting these two swales



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and extending the end of the swale to the east will preclude our easement affecting drainage on H.O.B. property.

- 2) The City will construct a 12 foot fence around the easement so that children cannot access the generator platform site. This will be performed by the City's contractor for the job.
 - 3) The City will construct a 10 foot vehicle gate, and a 5 foot pedestrian gate adjacent to the easement at the end of Ashby St. This will also be performed by the City's contractor
 - 4) The City will pay for a pro-rata share cost of amending Grantor's permit with the South Florida Water Management District for the Horace O'Bryant Middle School construction project to the extent that the said permit is impacted by the easement. This should be a minimal expense.
- 14) List the license(s) and types of licenses on the site and attach.
- An electrical permit from the City will be required for the generator and platform. We have received permits from the US Army Corps of Engineers and the South Florida Water Management District for the Outfall Pipeline.
- 15) Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	PS			
Flood Zone	AE 6			
Size of Site	8.8 Acres			
Height	12 25'	0'	12'	-
Front Setback	20'	0'	NA	
Side Setback	5'	0'	7'	-
Side Setback				
Street Side Setback	15'	0'	NA	
Rear Setback	20'	0'	NA	
F.A.R	-	-	-	
Building Coverage	-	-	-	
Impervious Surface	-	-	-	
Parking	-	-	-	
Handicap Parking	-	-	-	
Bicycle Parking	-	-	-	
Open Space/ Landscaping	-	-	-	
Number and type of units	-	-	-	
Consumption Area or Number of seats	-	-	-	

**Conditional Use Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720**



If the applicant would like additional information, electronic version of the City's Code of Ordinances can be found either through www.keywestcity.com, Planning Department archives or at www.municode.com. Once there, search Online Library/Florida/Key West/ Chapter 122.

***Please note, conditional use approvals are quasi-judicial hearings, and it is improper for the owner or signatory to speak to a Planning Board member or City Commissioner about the hearing.**

Verification Form

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an entity)

I, JAY GEWIN, in my capacity as UTILITIES MANAGER
(print name) (print position; president, managing member)
of CITY OF KEY WEST
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1105 LEON ST.

Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Jay Gewin
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this April 19 2012 by
date

Jay Gewin
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

CSmith
Notary's Signature and Seal



Carlene Smith
Name of Acknowledger typed, printed or stamped

EE173625
Commission Number, if any



Authorization Form

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, JIM SCHOLL as
Please Print Name of person with authority to execute documents on behalf of entity

CITY MANAGER of CITY OF KEY WEST
Name of office (President, Managing Member) Name of owner from deed

authorize JAY GEWIN
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

J.Scholl
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 4/19/12 by
date

Jim Scholl
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Carlene Smith
Notary's Signature and Seal



Name of Acknowledger typed, printed or stamped

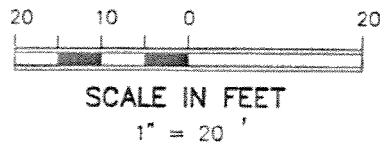
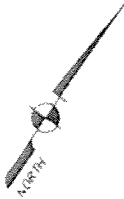
Commission Number, if any

Survey



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April 9, 2012
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EXHIBIT "A"



SECTION 5-68-25

BOARD OF PUBLIC INSTRUCTION OF MONROE COUNTY, FLORIDA

HORACE O'BRYANT MIDDLE SCHOOL

ASHBY STREET

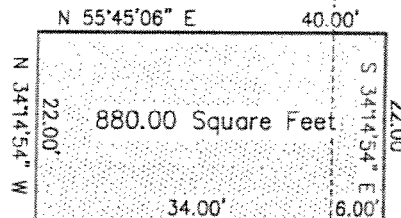
ABANDONED

(P.B. 1/41, M.C.R.)

WEST BOUNDARY OF LOT 8, SQUARE 24

LOT 14, SQUARE 23
DIAGRAM OF TRACT 20
MONROE INVESTMENT CO.
(P.B. 1/41, M.C.R.)

LOT 8, SQUARE 24
DIAGRAM OF TRACT 20
MONROE INVESTMENT CO.
(P.B. 1/41, M.C.R.)



SOUTH BOUNDARY OF HORACE O'BRYANT MIDDLE SCHOOL

SOUTH BOUNDARY OF LOT 8, SQUARE 24

S 55°45'06" W
WESTERLY EXTENSION OF (BEARING BASE)
SOUTH BOUNDARY LOT 8

P.O.B.
SOUTHWEST CORNER LOT 8, SQUARE 24

LOT 1, SQUARE 23
RE-SUBDIVISION OF
PART OF SQUARE 23
(P.B. 3/10, M.C.R.)

LOT 7, SQUARE 24
DIAGRAM OF TRACT 20
MONROE INVESTMENT CO.
(P.B. 1/41, M.C.R.)

ASHBY STREET
50' PUBLIC RIGHT-OF-WAY
(P.B. 1/41, M.C.R.)

NOT A VALID SURVEY UNLESS
ACCOMPANIED BY SHEETS 1 THRU 2

Rev. 1 - Revised Legal Description - (10-13-2011)

CITY OF KEY WEST Generator Easement	
Grantor:	Board of Public Instruction of Monroe County
Site:	Horace O'Bryant Middle School 1105 Leon Street, Key West, FL 33040
County:	Monroe
Parcel Id.:	00044110-000000



AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
402 APPELROUTH LANE, SUITE 2-E
KEY WEST, FLORIDA 33045
TEL. (305) 294-7770, FAX (561) 394-7125
www.AVIROM-SURVEY.com

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JOB #:	8598-3
SCALE:	1" = 20'
DATE:	10-13-2011
BY:	K.M.C.
CHECKED:	M.D.A.
F.B.	N/A PG. N/A
SHEET	2 OF 2

EXHIBIT "A"

LEGAL DESCRIPTION:

A parcel of land being a portion of Lot 8, Square 24 and a portion of Ashby Street (currently abandoned and occupied by the Horace O'Bryant Middle School) according to the plat of DIAGRAM OF TRACT 20 - MONROE INVESTMENT CO. as recorded in Plat Book 1, Page 41 of the Public Records of Monroe County, Florida described as follows:

BEGINNING at the southwest corner of said Lot 8; thence South 55°45'06" West along a line being the westerly extension of the south boundary of said Lot (bearing referenced to Grid North of the 1990 adjustment of the North American Datum of 1983, Florida East Zone with all bearings referenced thereto), a distance of 34.00 feet; thence North 34°14'54" West, 22.00 feet; thence North 55°45'06" East, 40.00 feet; thence South 34°14'54" East, 22.00 feet to the south boundary of said Lot 8; thence South 55°45'06" West along said south boundary, 6.00 feet to the west boundary of said Lot and the Point of Beginning.

Said lands lying and being in Section 5, Township 68 South, Range 25 East, City of Key West, Monroe County, Florida containing 880.00 square feet (0.020 acre) more or less.

SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
3. The land description shown hereon was prepared by the Surveyor.
4. No underground improvement were located.
5. Bearings shown hereon are referenced to Grid North, based on the 1990 Adjustment of the North American Datum of 1983 (NAD 83/90) of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone with the south boundary of Lot 8, Square 24 having a bearing of S 55°45'06" W.
6. Data shown hereon was compiled from instrument(s) of record and does not constitute a boundary survey.
7. This map is intended to be displayed at a scale of 1:240 (1"=20') or smaller.
8. Abbreviation Legend: CO.= Company; L.B.= Licensed Business; M.C.R.= Monroe County Records; P.B.= Plat Book; P.L.S.= Professional Land Surveyor; P.O.B.= Point of Beginning; Rev.= Revision.

CERTIFICATION:

I HEREBY CERTIFY that the attached Sketch and Description of the hereon described property is true and correct to the best of my knowledge and belief as prepared under my direction. I FURTHER CERTIFY that this Sketch and Description meets the Minimum Technical Standards set forth in Chapter 5J-17.05, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.


Date: OCTOBER 13, 2011

Keith M. Chee-A-Tow

KEITH M. CHEE-A-TOW, P.L.S.
 Florida Registration No. 5328
 AVIROM & ASSOCIATES, INC.
 L.B. No. 3300

Rev. 1: Revised Legal Description - (10-13-2011)

NOT A VALID SURVEY UNLESS
 ACCOMPANIED BY SHEETS 1 THRU 2

CITY OF KEY WEST Generator Easement	AVIROM & ASSOCIATES, INC. SURVEYING & MAPPING 402 APPELROUTH LANE, SUITE 2-E KEY WEST, FLORIDA 33045 TEL (305) 294-7770, FAX (305) 394-7125 www.AVIROM-SURVEY.com	JOB #: 8598-3
Grantor: Board of Public Instruction of Monroe County		SCALE: 1" = 20'
Site: Horace O'Bryant Middle School 1105 Leon Street, Key West, FL 33040		DATE: 10-13-2011
County: Monroe		BY: K.M.C.
Parcel Id.: 00044110-000000		CHECKED: M.D.A.
		F.B. N/A PG. N/A
		SHEET 1 OF 2

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Site Plan / Stormwater Plan

CONTRACT DOCUMENTS

FOR THE CONSTRUCTION OF THE

GEORGE STREET STORMWATER BASIN IMPROVEMENTS

PREPARED FOR

CITY OF KEY WEST



RECEIVED
April 9, 2012
KW Planning Dpt

INDEX TO DRAWINGS

GENERAL

G-001 GENERAL NOTES, LEGEND AND ABBREVIATIONS
G-002 PROCESS MECHANICAL LEGEND
G-003 ELECTRICAL LEGEND
G-004 INSTRUMENTATION AND CONTROL LEGEND SHEET 1
G-005 INSTRUMENTATION AND CONTROL LEGEND SHEET 2

CIVIL

C-201 OVERALL SITE PLAN
C-202 ASHBY STREET PLAN AND PROFILE
C-203 ASHBY STREET RESTORATION PLAN
C-204 ASHBY STREET PLAN AND PROFILE
C-205 CATHERINE & DUNCAN STREETS PLAN AND PROFILE
C-206 PROFILES
C-207 OUTFALL PLAN AND PROFILE
C-208 OUTFALL PLAN AND PROFILE
C-209 OUTFALL PLAN AND PROFILE
C-210 OUTFALL PLAN AND PROFILE
C-211 OUTFALL PLAN AND PROFILE
C-212 OUTFALL PLAN AND PROFILE
C-213 EMERGING OUTFALL ENLARGED PLAN AND DETAILS
C-501 STANDARD DETAILS
C-502 STANDARD DETAILS
C-503 STANDARD DETAILS
C-504 EXISTING CONDITIONS PHOTOS

STRUCTURAL

S-201 DIVERSION STRUCTURE 06 PLANS
S-202 DIVERSION STRUCTURE 06 SECTIONS
S-203 PUMP STATION PLANS AND DETAILS
S-204 PUMP STATION SECTIONS AND DETAILS
S-205 PLATFORM PLANS AND SECTION
S-501 STANDARD DETAILS
S-502 STANDARD DETAILS
S-503 STANDARD DETAILS
S-504 STANDARD DETAILS

PROCESS MECHANICAL

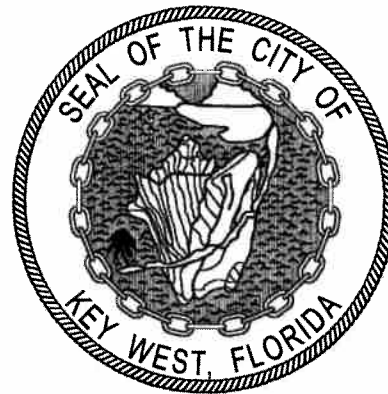
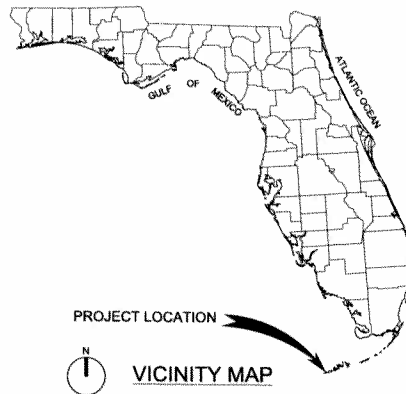
D-201 VORTEX UNIT 06
D-202 PUMP STATION 06
D-801 STANDARD DETAILS
D-802 STANDARD DETAILS
D-803 STANDARD DETAILS
D-804 STANDARD DETAILS

ELECTRICAL

E-201 SITE PLAN
E-202 ENLARGED SITE PLAN
E-801 RISER DIAGRAM
E-802 PUMP STATION 480V/50PH DUPL EX CONTROL PANELS
E-803 480 VOLT 3 PH DUPL EX CONTROL PANEL WIRING DIAGRAM
E-801 STANDARD DETAIL
E-802 STANDARD DETAILS

INSTRUMENTATION AND CONTROL

N-001 GEORGE STREET PUMP STATION



Volume 2 of 2
Drawings

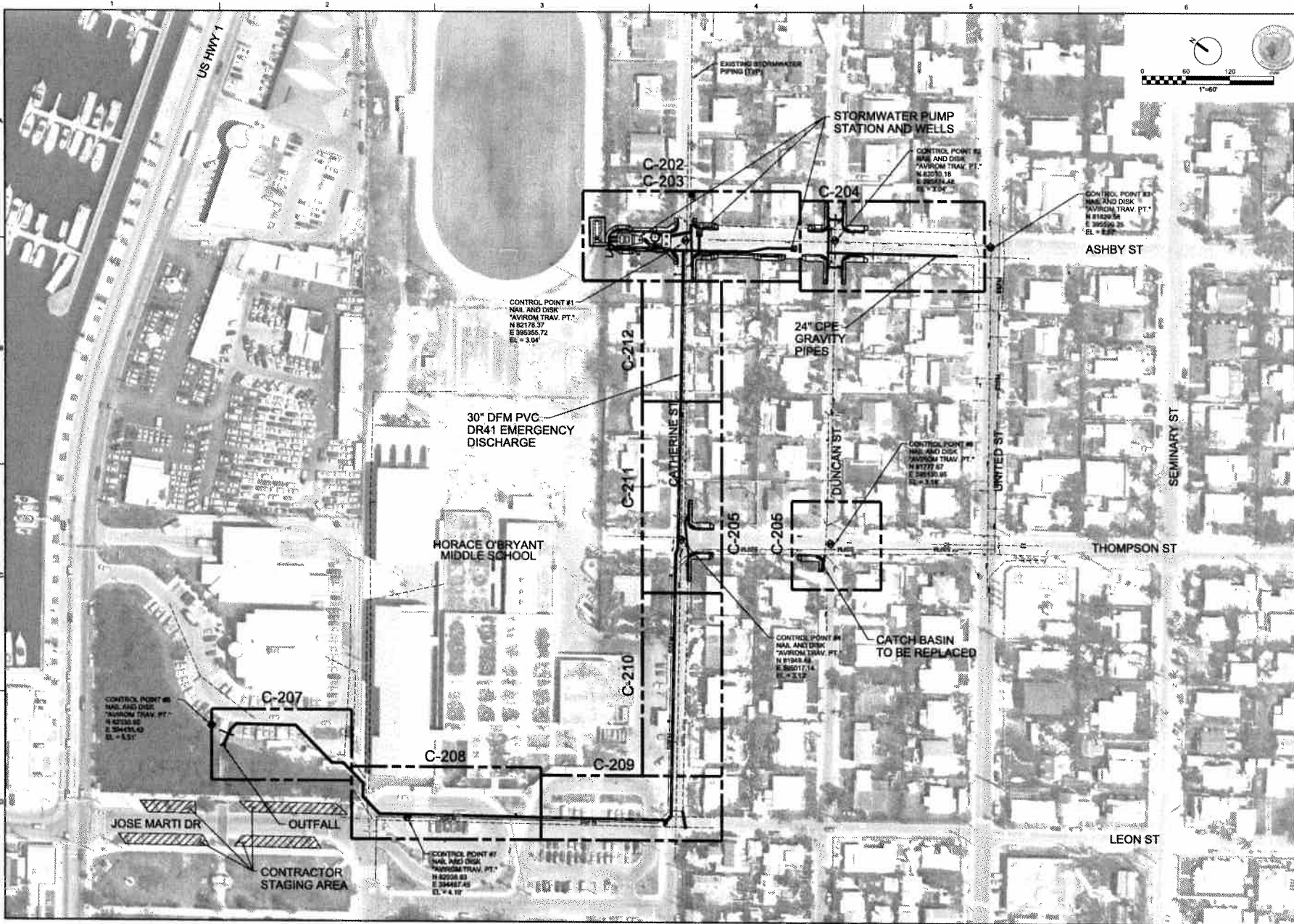
BID DOCUMENTS

For information regarding
this project, contact:

ANDREW SMYTH P.E.
6410 5th Street, Suite 2-A
Key West, FL 33040
305/294-1645

CH2MHILL

CH2M Hill Project No. 427475
City of Key West Project No. ST802
City of Key West ITB No. 12-005
NOVEMBER 2011



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NO.	DATE	BY	APPROVED

301 S. N. MILLER ROAD
GAINESVILLE, FLORIDA 32609
Revised Through Mechanical Dept 6/11/13

CITY OF KEY WEST
GEORGE STREET
STORMWATER BASIN IMPROVEMENTS
KEY WEST, FLORIDA

CH2MHILL

CIVIL

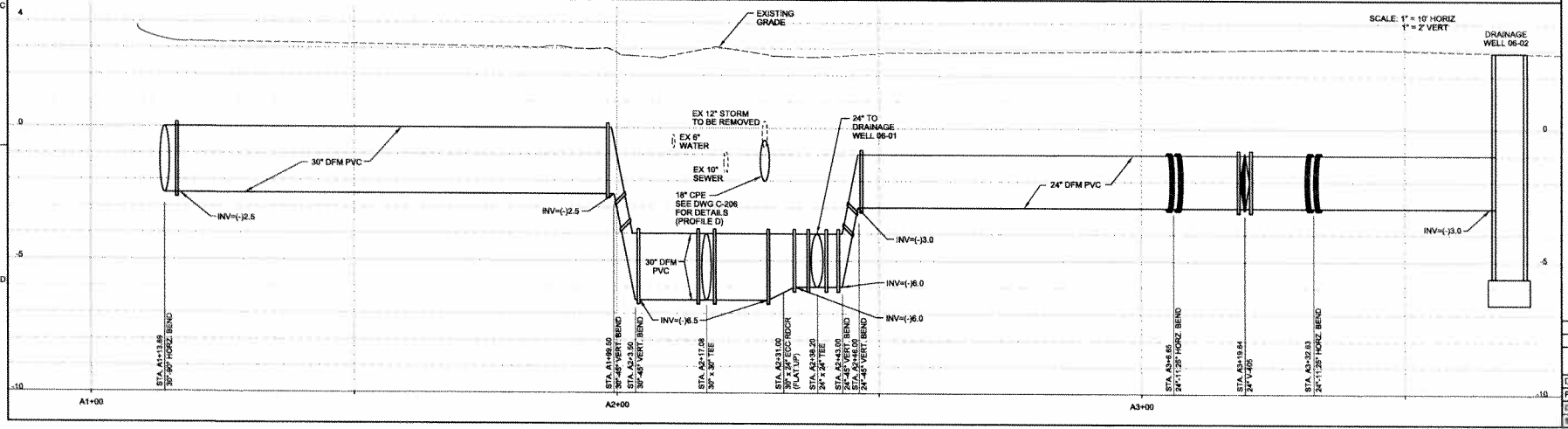
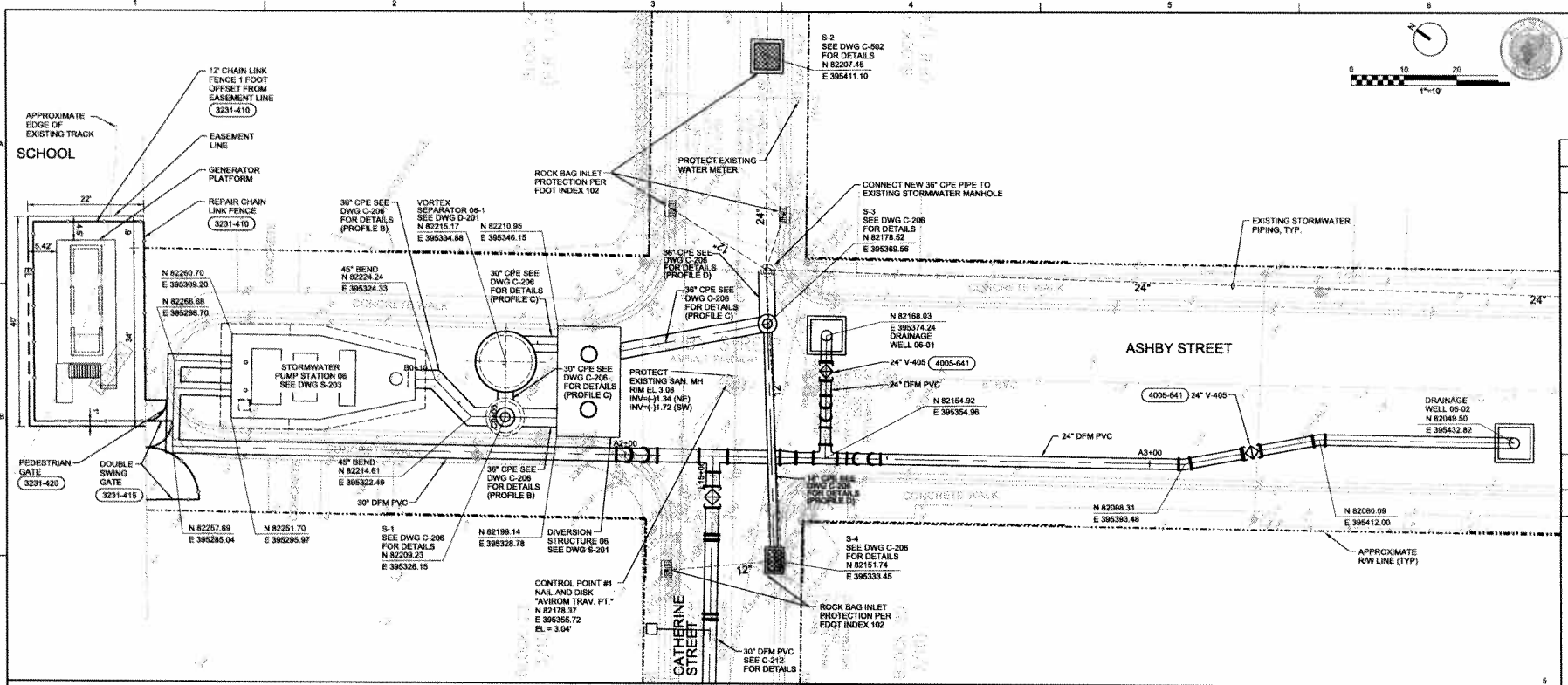
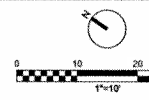
OVERALL SITE PLAN

1" = 60'
VERIFY SCALE
BAR IS ONE INCH ON
DRAWING

DATE NOVEMBER 2011
PROJ 389709
DWG C-201
SHEET

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2011 S.W. WELLSFORD ROAD
 GAINESVILLE, FLORIDA 32608
 (817) 251-1000
 Robert Thomas, P.E.
 PE 332

CITY OF KEY WEST
 STORMWATER BASIN IMPROVEMENTS
 KEY WEST, FLORIDA

DATE: NOVEMBER 2011
 PROJ: 389709
 DWG: C-202
 SHEET

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 CIVIL
 ASHBY STREET
 PLAN AND PROFILE

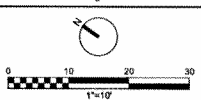
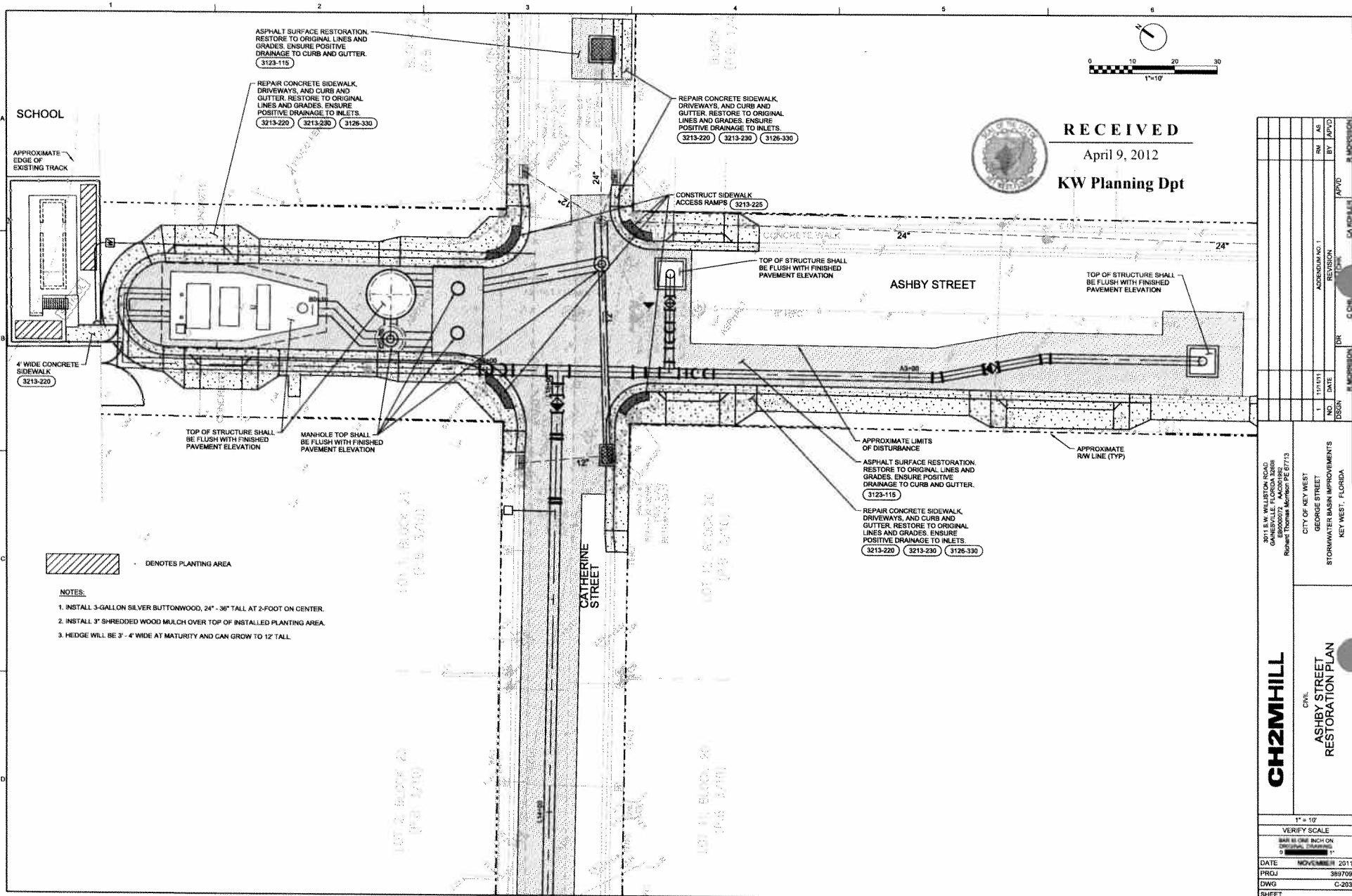
SCALE: 1" = 10' HORIZ
 1" = 2' VERT

DATE: NOVEMBER 2011
 PROJ: 389709
 DWG: C-202
 SHEET

VERIFY SCALE
 BAR IS ONE INCH ON
 ORIGINAL DRAWING
 1" = 10'

NDM SERVER: GNV FILENAME: 005-C-202_389709.dgn PLOT DATE: 10/31/2011 PLOT TIME: 12:14:51 PM

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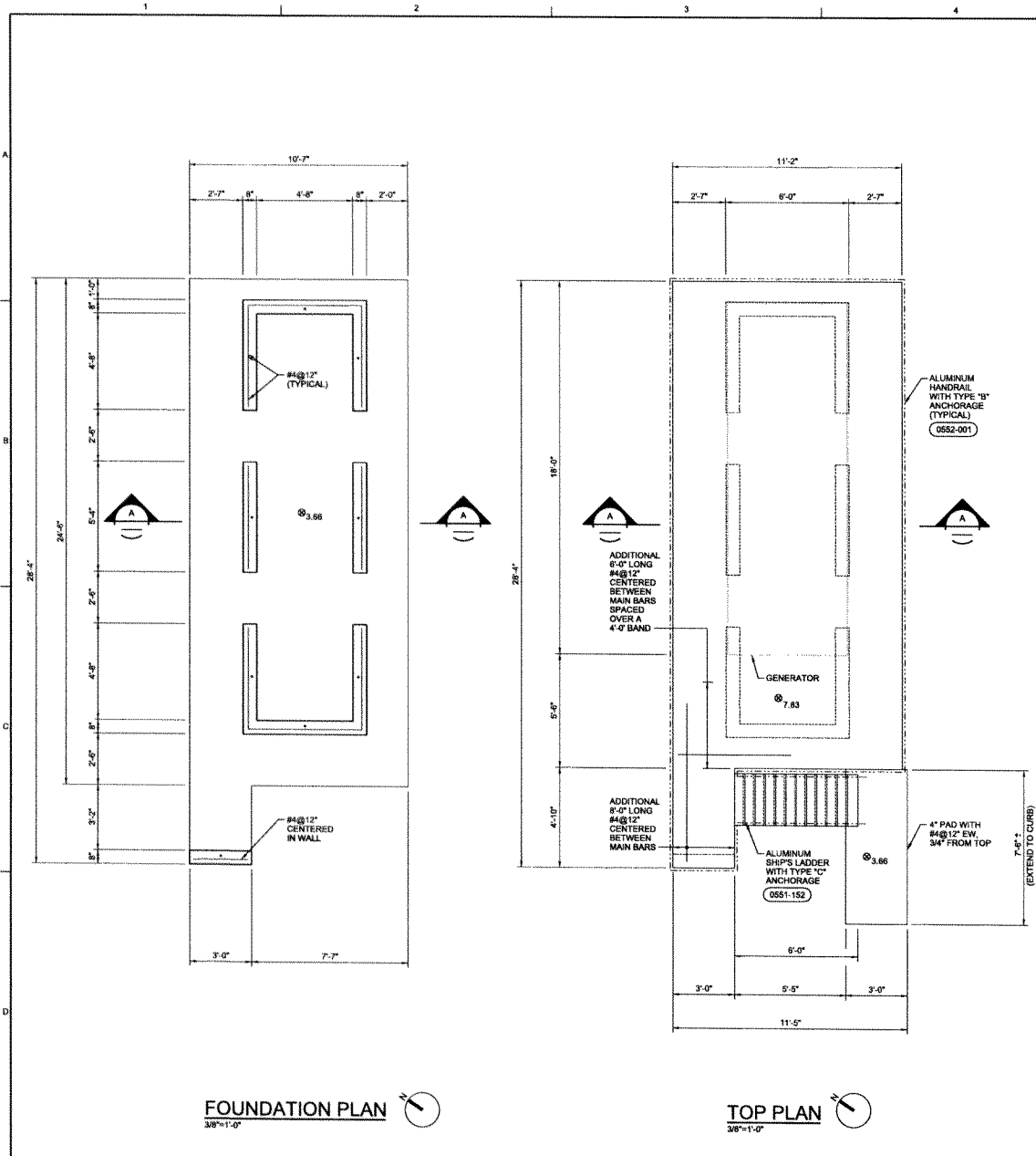
NO.	DATE	BY	REVISION
1	10/19/11	RM	AS
		RM	BY
		APVD	BY
		APVD	BY

341 S.W. MILITARY BLVD.
 ERIEWOOD, FLORIDA 32909
 Robert Thomas Architects, Inc. P.C.
 CIVIL
 CITY OF KEY WEST
 GEORGE STREET
 STORMWATER BASIN IMPROVEMENTS
 KEY WEST, FLORIDA

CH2MHILL
 CIVIL
ASHBY STREET RESTORATION PLAN

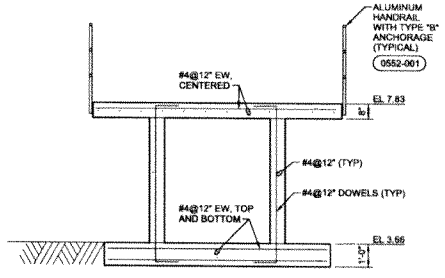
DATE	NOVEMBER 2011
PROJ	389709
DWG	C-203
SHEET	

- NOTES:**
1. INSTALL 3-GALLON SILVER BUTTONWOOD, 24" - 36" TALL AT 2-FOOT ON CENTER.
 2. INSTALL 3" SHREDDED WOOD MULCH OVER TOP OF INSTALLED PLANTING AREA.
 3. HEDGE WILL BE 3' - 4' WIDE AT MATURITY AND CAN GROW TO 12' TALL.



FOUNDATION PLAN
3/8"=1'-0"

TOP PLAN
3/8"=1'-0"



A SECTION
3/8"=1'-0"

- NOTES:**
1. PLATFORM HAS BEEN DESIGNED FOR A GENERATOR WITH MAXIMUM PLAN DIMENSION OF 204 INCHES BY 72. CONTRACTOR SHALL VERIFY SIZE BEFORE CONSTRUCT AND SHALL NOTIFY ENGINEER OF RECORD IF ALLOWAB SIZE HAS BEEN EXCEEDED.
 2. ANCHOR GENERATOR TO PLATFORM WITH 1/2" DIAMETER TYPE 316 SST ADHESIVE ANCHORS AT A 2'-0" MAX SPACING ALL AROUND GENERATOR. ANCHOR EMBEDMENT SHALL BE 4 1/2" ADHESIVE SYSTEM SHALL BE HILTI HIT-RE 500-SD. CONTRACTOR SHALL COORDINATE WITH GENERATOR MANUFACTURER FOR LOCATION OF HOLES IN GENERATOR BASE.
 3. CONCRETE 28 DAY STRENGTH REINFORCING STEEL 5000 PSI ASTM A615.
 4. CLEARANCE FOR REINFORCING BARS, UNLESS OTHERWISE SHOWN, WHEN PLACED ON GROUND 3", ALL OTHER CONCRETE SURFACES 2".
 5. LAP SPLICES SHALL BE 1'-6".
 6. CONTRACTOR TO PROVIDE A RUB FINISH TO ALL CONCRETE.
 7. BASE FLOOD ELEVATION ZONE AE IS ELEVATION 6.00.0 NGVD 29



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3011 E.W. WILKINSON ROAD
GAINESVILLE, FLORIDA 32608
88985123
D. LANGE
DATE: 03/12/12

CITY OF KEY WEST
GEORGE STREET
STORMWATER BASIN IMPROVEMENTS
KEY WEST, FLORIDA

CH2MHILL

STRUCTURAL
PLATFORM
PLANS AND
SECTION

AS NOTED

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING

DATE	NOVEMBER 2011
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DWG	S-206
SHEET	

REINFORCING DETAILS

1. THE MINIMUM REINFORCING FOR ALL CONCRETE WALLS AND SLABS SHALL BE AS FOLLOWS:

THICKNESS	REINFE EACH WAY	LOCATION
6"	#4@12"	CENTERED
8"	#5@12"	CENTERED
10"	#4@12"	EACH FACE
12"	#5@12"	EACH FACE

PROVIDE LARGER SIZES AND MORE REINFORCING IN ALL SECTIONS OF CONCRETE WHERE REQUIRED BY THE DETAILS ON THE DRAWINGS OR BY THE SPECIFICATIONS.

2. CLEARANCE FOR REINFORCEMENT BARS, UNLESS SHOWN OTHERWISE, SHALL BE:

- WHEN PLACED ON GROUND: 3"
- EXPOSED TO WATER, WEATHER, BACKFILL OR CONDENSATION: #5 BAR OR LARGER: 2"

- 3. ALL BENDS, UNLESS OTHERWISE SHOWN, SHALL BE A 90 DEGREE STANDARD HOOK AS DEFINED IN LATEST EDITION OF ACI 318.
- 4. ALL WALL CORNER AND WALL INTERSECTION REINFORCEMENT BARS SHALL BE CONTINUOUS AROUND CORNERS AND THROUGH COLUMNS OR PILASTERS. REINFORCEMENT SHALL BE EXTENDED INTO CONNECTING WALLS AND LAPPED ON THE OPPOSITE FACE OF THE CONNECTING WALLS, AS INDICATED ELSEWHERE ON THIS SHEET.
- 5. VERTICAL WALL BARS SHALL BE LAPPED WITH DOWELS FROM BASE SLABS AND EXTENDED INTO THE TOP FACE OF ROOF SLABS AND LAPPED WITH TOP SLAB REINFORCEMENT.

ALL REINFORCEMENT BENDS AND LAPS, UNLESS OTHERWISE NOTED, SHALL SATISFY THE FOLLOWING

DETAIL OF REINFORCEMENT - LAP LENGTHS

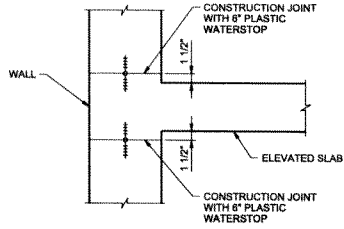
BAR SIZE	S ≥ 6"		S < 6"	
	TOP	OTHER	TOP	OTHER
3	1'-2"	10"	1'-3"	11"
4	1'-6"	1'-2"	1'-11"	1'-5"
5	1'-11"	1'-5"	2'-7"	2'-0"
6	2'-3"	1'-9"	3'-5"	2'-7"
7	2'-8"	2'-0"	5'-3"	4'-1"
8	3'-0"	2'-4"	6'-4"	4'-10"

S SHALL BE DEFINED AS CENTER TO CENTER BAR SPACING. TOP BARS SHALL BE DEFINED AS ANY HORIZONTAL BARS PLACED SUCH THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE BAR. IN ANY SINGLE POUR, HORIZONTAL WALL BARS ARE CONSIDERED TOP BARS.

- 6. CONTINUOUS WATERSTOP, SHALL BE INSTALLED IN ALL CONSTRUCTION JOINTS IN WALLS AND SLABS.
- 7. PROVIDE AND INSTALL STRUCTURAL FILL AS SPECIFIED UNDER ALL SLABS AND FOOTINGS TO UNDISTURBED EARTH UNLESS OTHERWISE NOTED.
- 8. PLACE HORIZONTAL WALL REINFORCING WITHIN 3" OF ALL CONSTRUCTION JOINTS AND WITHIN 3" OF TOP OF ALL WALLS.
- 9. USE ADDITIONAL REINFORCING PER DETAIL 0330-001 AT ALL OPENINGS THROUGH SLABS AND WALLS UNLESS OTHERWISE INDICATED ON DRAWINGS.
- 10. CONCRETE STRENGTH
 REINFORCING STEEL
 $f_c = 4500 \text{ psi}$
 $f_y = 60 \text{ ksi}$

GENERAL STRUCTURAL NOTES

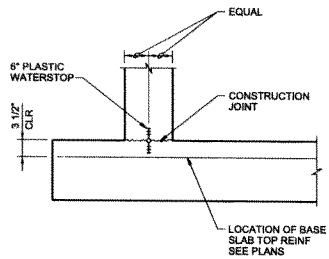
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WALL CONSTRUCTION JOINT AT ELEVATED SLAB

NTS

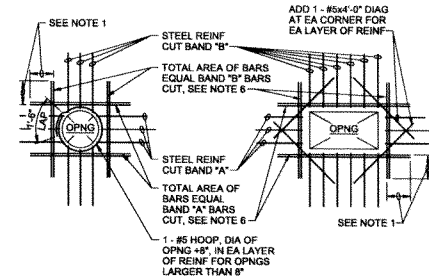
0315-152



WALL BASE CONSTRUCTION JOINT

NTS

0315-154



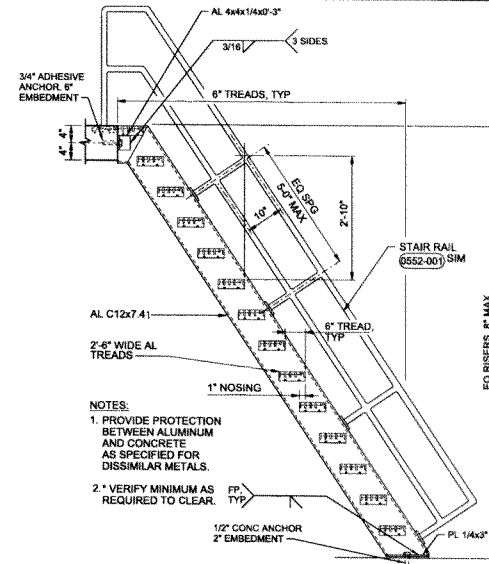
NOTES:

- 1. PROVIDE MINIMUM LAP, SEE GENERAL STRUCTURAL NOTES.
- 2. TYPICAL FOR ALL OPENINGS IN CONCRETE WALLS OF BELOW GRADE AND HYDRAULIC STRUCTURES AND ALL STRUCTURAL CONCRETE SLABS UNLESS INDICATED OTHERWISE ON PLANS.
- 3. DO NOT WELD REINFORCEMENT TO PIPE SLEEVES AND INSERTS.
- 4. PROVIDE A MINIMUM OF 2 "A" BARS AND 2 "B" BARS EACH SIDE OF OPENING (1 EACH FACE).
- 5. FOR OPENINGS LARGER THAN 8'-0", REINFORCE SAME AS FOR 8'-0" OPENINGS.
- 6. SPACE AT 3 BAR DIAMETERS (OR 3" MINIMUM) ON CENTER. LOCATE HALF OF TOTAL AREA ON EACH SIDE OF OPENING.

OPENING REINFORCING

NTS

0330-001



SHIPS LADDER

NTS

0551-152



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NO. 151 NW WATER BASKIN BLVD
 DANIELSVILLE, FLORIDA 32008
 888.900.0777 FAX 904.982.4200
 Clearing L&P #2, 10/14

CITY OF KEY WEST
 GEORGE STREET
 STORMWATER BASIN IMPROVEMENTS
 KEY WEST, FLORIDA

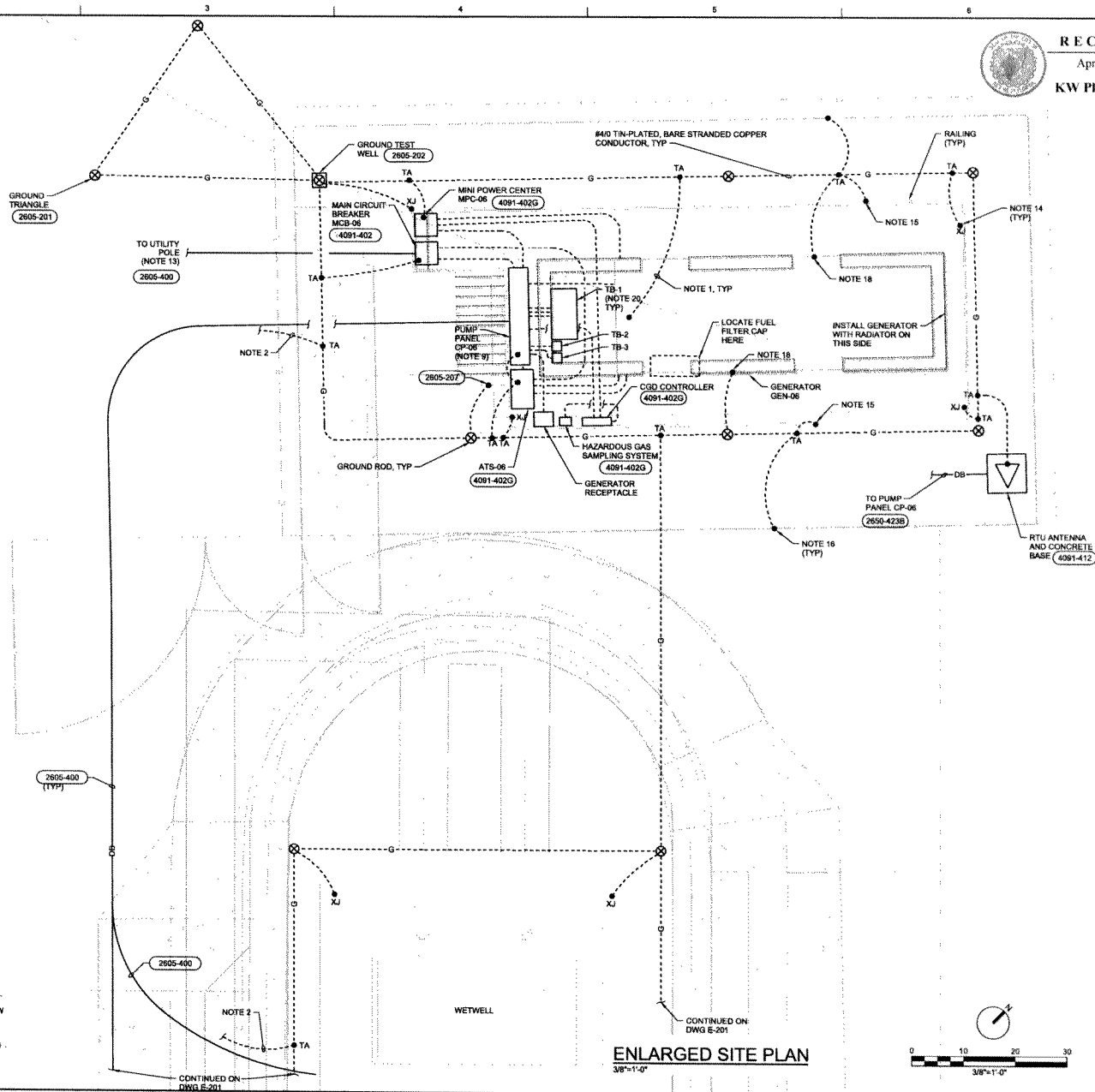
CH2MHILL
 STRUCTURAL
 STANDARD DETAILS

AS NOTED
 VERIFY SCALE
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DWG	S-501
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- NOTES:
- MECHANICALLY CONNECT THE GROUND BUSES IN ATS, MAIN CIRCUIT BREAKER, GENERATOR BREAKER, PUMP PANEL, CPT AND RTU, THE STAIRCASE, RAILINGS, FENCE AND THE RADIO ANTENNA, TO THE GROUNDING ELECTRODE AS SHOWN. USE #20 X3/16\"/>
 - ROUTE WITH DUCT BANK PER DETAIL (2605-400)
 - ROUTE ALL RACEWAYS INTERCONNECTING PLATFORM MOUNTED ELECTRICAL EQUIPMENT, UNDERNEATH PLATFORM, PER DETAIL (2605-300) DO NOT EMBED CONDUIT RUNS IN PLATFORM OR SLAB.
 - ALL CONNECTIONS TO GROUNDING ELECTRODE CONDUCTOR TO BE EXOTHERMIC.
 - MOUNT COMBUSTIBLE GAS DETECTOR WITH TOP OF ENCLOSURE 4'-6\"/>
 - MOUNT ATS-06 WITH TOP OF ENCLOSURE 6'-0\"/>
 - MOUNT MCB-06 WITH TOP OF ENCLOSURE 4'-6\"/>
 - MOUNT MPC-06 WITH TOP OF ENCLOSURE 4'-6\"/>
 - FLOOR-MOUNT AND DETAIL (4091-402) MOUNTED PUMP PANEL.
 - COORDINATE WITH STRUCTURAL TO ENSURE GENERATOR AND PLATFORM ANCHOR POINTS MATCH.
 - ENSURE THAT GENERATOR ACCESS DOORS OPERATE UNOBSTRUCTED THROUGH THEIR FULL RANGE OF MOTION BEFORE INSTALLING PLATFORM EQUIPMENT. ADVISE ENGINEER OF ANY CONFLICTS. ADVISE ALSO, OF ANY NEC CLEARANCE REQUIREMENT CONFLICTS.
 - ALL RACEWAYS TO BE PVC-COATED RGS, EXCEPT WHERE REQUIRED FOR VIBRATION MITIGATION. REFER TO SPECIFICATION SECTION 28 05 01, ELECTRICAL. MAINTAIN 12\"/>
 - SEE DRAWING E-201 FOR CONTINUATION.
 - EXOTHERMICALLY BOND STRUCTURAL STEEL IN PLATFORM FOUNDATION WITH GROUNDING ELECTRODE SYSTEM IN FOUR PLACES, AS SHOWN.
 - MECHANICALLY BOND RAILING WITH GROUNDING ELECTRODE SYSTEM IN 2 PLACES, AS SHOWN.
 - MECHANICALLY BOND ALUMINUM FENCE WITH GROUNDING ELECTRODE SYSTEM, AS SHOWN.
 - CONNECT ALL MOUNTING RACKS TO GROUNDING ELECTRODE SYSTEM.
 - CONNECT GENERATOR ENCLOSURE/BASE TANK TO GROUNDING ELECTRODE SYSTEM, AS SHOWN.
 - ENSURE ALL CLEARANCES SATISFY 2011 NEC REQUIREMENTS, AND ARE SATISFACTORY TO ALLOW FULL RANGE OF MOTION FOR DOORS ON PLATFORM-MOUNTED EQUIPMENT. ADVISE ENGINEER OF ANY CONFLICTS.
 - TERMINAL JUNCTION BOXES MOUNTED BELOW GENERATOR PLATFORM PER DETAIL (2605-008)

NO.	DATE	DESIGN	OR	REVISION	BY	APPROVED

3411 N.W. HILTON BOULEVARD
GAINESVILLE, FLORIDA 32609
ER000077 AMP/CP/REG/CGO
DANIS D'INCANZANO P.E. (305) 351-1111

CITY OF KEY WEST
GEORGE STREET
STORMWATER BASIN IMPROVEMENTS
KEY WEST, FLORIDA

CH2MHILL

ELECTRICAL
ENLARGED SITE PLAN

T = 10'
VERTICAL SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING

DATE: NOVEMBER 2011
PROJ: 389709
DWG: E-202
SHEET

NDM SERVER: GNV FILENAME: 005-E-202_389709.dgn PLOT DATE: 10/31/2011 PLOT TIME: 12:17:05 PM

D. INDRICHSON, P.E. (305) 351-1111
AL. CLAYTON, P.E. (305) 351-1111
J. LEWIS, P.E. (305) 351-1111
D. INDRICHSON, P.E. (305) 351-1111
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Additional Information



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April 9, 2012

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2011-2012

01/14/11

SCHOOL BOARD AGENDA ITEM RATIONALE

For Board Workshop Date: _____

For Board Meeting Date: February 28, 2012

DISTRICT DEPARTMENT: District Administration

DISTRICT DEPARTMENT HEAD: Dr. Jesus Jara, Superintendent

SCHOOL NAME: _____

SCHOOL PRINCIPAL'S NAME & SIGNATURE: _____

SUBJECT: *(What is your item? Budget Amendment, Field Trip, Travel Request, Contract)*
HOB Easement Agreement

AGENDA ITEM TITLE: *(Provide Brief wording as you want it to appear on the School Board Agenda)*
Adopt the HOB Easement Agreement presented by the City of Key West.

GIVE RESUME OF BACKGROUND INFORMATION (What history with the District has occurred)

The City of Key West proposes the agreement relating to the construction of an elevated generator platform and control panel for the City's upcoming stormwater project.

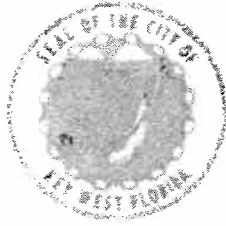
IS ITEM BUDGETED?: (Check One:) Yes _____ No _____ N/A _____

TOTAL COST: _____ Chief Financial Officer Signature: _____
(HIS SIGNATURE IS REQUIRED FOR BUDGET AMENDMENTS)

REVIEWED BY EXECUTIVE OFFICER: _____
(Signature of Executive Officer is required)

REVIEWED BY ATTORNEY: Yes: _____ (initial required) or N/A _____

RECOMMENDATION: (What outcome you wish, i.e. approve contract as presented.)
Adoption of the proposed HOB Easement Agreement.



Jim Schell
City Manager

(305) 809-3885
jschell@keywestcity.com

The City of Key West
525 Angela St
Key West, FL 33040

February 7, 2012

Dr. Jesus F. Jara
Superintendent of Schools
Monroe County School District
241 Trumbo Road
Key West, FL 33040

FEB 2012

Dear Dr. Jara,

As you are aware, the City has been in discussions with the School District regarding securing an easement at the end of Ashby St. on Horace O'Bryant Middle School property so that the City can construct an elevated generator platform and control panel for our upcoming stormwater project.

The George St. Pump-Assisted Outfall Project will consist of two stormwater pump-assisted gravity wells with an outfall pipeline travelling from the intersection of Ashby St. and Catherine St. to the retention pond at Jose Marti Blvd, with FEMA funding approximately 75% of the project.

The easement includes the following considerations from the City:

- 1) The City will pay for the costs of constructing a 24" diameter, 80' long PVC pipe to connect the two stormwater swales on H.O.B. property.
- 2) The City will construct a 12 foot fence around the easement so that children cannot access the generator site.
- 3) The City will construct a 10 foot vehicle gate, and a 5 foot pedestrian gate adjacent to the easement at the end of Ashby St.
- 4) The City will pay for a pro-rata share cost of amending Grantor's permit with the South Florida Water Management District for the Horace O'Bryant Middle School construction project to the extent that the said permit is impacted by the easement.

I am hopeful that the School District can support the City's efforts to improve the long-standing drainage issues of this residential neighborhood. If you could respond to our

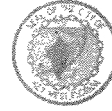
easement request at your earliest convenience, it would be greatly appreciated. We have bid the project, and are awaiting FEMA's approval for construction funding. We have enclosed a sealed survey drawing and copy of the easement with this letter for your review.

If you require any additional information or have any questions, please feel free to contact Utilities Manager Jay Gewin at 305-809-3902 or jgewin@keywestcity.com.

Sincerely,



Jim Scholl
City Manager



This instrument prepared by and return to:
Larry R. Erskine, Esq.
City Attorney's Office
P.O. Box 1409
Key West, FL 33041-1409

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT is made and entered into this _____ day of _____, 2012, by and between the **BOARD OF PUBLIC INSTRUCTION OF MONROE COUNTY, FLORIDA**, (hereinafter "Grantor"), and the **CITY OF KEY WEST**, a municipal corporation, (hereinafter "CITY").

WHEREAS, The Grantor is the lawful owner in fee simple of real property located in Key West, Monroe County, Florida, more particularly described on Exhibit "A", which is attached hereto and incorporated by reference; and

WHEREAS, The CITY wishes to utilize a portion of the Grantor's property located at 1100 Leon Street, Key West, Florida, commonly referred to as Horace O'Bryant Middle School, in order to construct, operate, and maintain a stormwater pump station; and

WHEREAS, the Grantor, as owner of the real property, in consideration of the mutual promises contained herein, does grant and convey unto CITY an easement subject to certain terms and conditions.

NOW, THEREFORE, in mutual consideration of the benefits accruing to the parties through performance of the terms of this Easement Agreement

1. Grantor herein expressly agrees to grant an easement to the CITY over that portion of Grantor's property more particularly described on Exhibit "A", which is attached hereto and incorporated by reference. This easement and the rights granted herein shall commence on the day and date first above written and shall remain in perpetuity unless terminated as provided for herein.

2. The CITY, its successors and assigns shall have the right to construct, install, alter, operate, relocate, replace, improve, remove, inspect, and maintain a stormwater pump station and associated appurtenances thereto on that portion of Grantor's property as set forth on Exhibit "A".

3. The CITY, its successors and assigns shall have the right to enter and depart under, over, across and upon the Grantor's property as set forth on Exhibit "A" as necessary to the proper use of all the rights granted herein, upon the condition that the CITY shall:

(a) Not unreasonably interfere with the Grantor's use of its property; and

(b) To the extent permitted by law and subject to the provisions and monetary limitations of Section 768.28, Florida Statutes, the CITY, to the extent of the Grantor's potential liability pursuant to section 768.28, Florida Statutes, does hereby agree to

defend, indemnify and hold the Grantor, its officers, and employees, harmless from and against any and all liability, damages, costs or expenses (including reasonable attorneys' fees, costs, and expenses at both the trial and appellate levels) arising from the acts or omissions of the CITY or any third party vendor contracted by the CITY in connection with this Agreement.

4. Grantor shall furnish and maintain the easement area free of and clear from any obstruction and shall not construct, place, or allow the placing or construction of any obstruction which would interfere with the CITY'S safe and proper installation, operation, maintenance, inspection, or removal of the stormwater pump station and all appurtenances thereto located in the easement or which would interfere with any other right granted to the CITY.

5. CITY shall construct and be solely responsible for all costs necessary for the installation of a 24 inch diameter PVC pipe approximately 80 feet in length which shall connect the two swales located immediately to the north of the property described on Exhibit "A".

6. CITY shall construct and be solely responsible for all costs necessary for the installation of a swing gate 10 feet in width and a pedestrian gate 5 feet in width connecting Grantor's property to the end of Ashby Street. Both gates shall be located immediately west of the property described on Exhibit "A".

7. CITY shall construct and be solely responsible for all costs necessary for the installation of a chain link fence 12 feet in height which shall surround the property described in Exhibit "A".

8. CITY shall be liable to the Grantor for the pro-rata share cost of amending Grantor's permit with the South Florida Water Management District for the Horace O'Bryant Middle School construction project to the extent that the said permit is impacted by the easement granted in CITY's favor.

9. All covenants, stipulations, terms, conditions, and provisions of this Agreement shall extend to and be made binding upon respective successors and assigns of the CITY and Grantor. It is intended that this Agreement shall be recorded and be binding upon future owners of the above described property.

10. The Grantor does hereby warrant good and marketable title for the above described property and that it has full power to grant this easement.

11. This Agreement sets forth all the covenants, promises, agreements, and understandings between CITY and Grantor concerning the Premises. No subsequent alteration, amendment, change or addition to this Agreement shall be binding upon CITY or Grantor unless reduced to writing and duly executed by both parties.

12. In the event that the City removes the stormwater pump station for any reason whatsoever, this easement shall terminate immediately and be of no further force or effect.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed on the day and year first above written.

Signed, sealed and delivered in the presence of:

Sally M. Abrams Smith
Witness Name: Sally M. Abrams Smith

Witness Name: _____

Board of Public Instruction of Monroe County, Florida

By: J.R.D.
John R. Dick, Chairman
2/28/12

City of Key West, Florida

By: _____
Craig Cates, Mayor

Witness Name: _____

Witness Name: _____

Attest: _____
Cheryl Smith
City Clerk

The foregoing Easement Agreement was acknowledged before me this 28 day of February, 2012, by John R. Dick, as Chairman of the Board of Public Instruction of Monroe County, Florida, who is personally known to me, or who [] produced _____ as identification, as stamped.

Sally M. Abrams Smith
Notary Public
Print name: Sally M. Abrams Smith

My commission expires:

SALLY M. SMITH
NOTARY PUBLIC
STATE OF FLORIDA
EE128278
9/7/2015

The foregoing Easement Agreement was acknowledged before me this ____ day of _____, 2012, Craig Cates, Mayor of the City of Key West, Florida, who is personally known to me, or who [] produced _____ as identification.

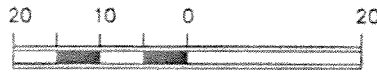
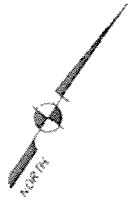
My commission expires:

Notary Public
Print name: _____



RECEIVED
 April 9, 2012
 KW Planning Dpt

EXHIBIT "A"



SCALE IN FEET

1" = 20'

SECTION 5-68-25

BOARD OF PUBLIC INSTRUCTION OF MONROE COUNTY, FLORIDA

HORACE O'BRYANT MIDDLE SCHOOL

ASHBY STREET

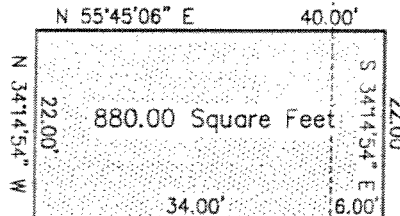
ABANDONED

(P.B. 1/41, M.C.R.)

WEST BOUNDARY OF
LOT B, SQUARE 24

LOT 14, SQUARE 23
 DIAGRAM OF TRACT 20
 MONROE INVESTMENT CO.
 (P.B. 1/41, M.C.R.)

LOT 8, SQUARE 24
 DIAGRAM OF TRACT 20
 MONROE INVESTMENT CO.
 (P.B. 1/41, M.C.R.)



SOUTH BOUNDARY OF
HORACE O'BRYANT MIDDLE SCHOOL

SOUTH BOUNDARY OF
LOT B, SQUARE 24

S 55°45'06" W
 WESTERLY EXTENSION OF
 SOUTH BOUNDARY LOT B
 (BEARING BASE)

P.O.B.
 SOUTHWEST CORNER LOT B, SQUARE 24

LOT 1, SQUARE 23
 RE-SUBDIVISION OF
 PART OF SQUARE 23
 (P.B. 3/10, M.C.R.)

LOT 7, SQUARE 24
 DIAGRAM OF TRACT 20
 MONROE INVESTMENT CO.
 (P.B. 1/41, M.C.R.)

ASHBY STREET
 50' PUBLIC RIGHT-OF-WAY

(P.B. 1/41, M.C.R.)

NOT A VALID SURVEY UNLESS
 ACCOMPANIED BY SHEETS 1 THRU 2

Rev. 1, Revised Legal Description - 10-13-2011

CITY OF KEY WEST Generator Easement	
Grantor:	Board of Public Instruction of Monroe County
Site:	Horace O'Bryant Middle School 1105 Leon Street, Key West, FL 33040
County:	Monroe
Parcel Id.:	00044110-000000



AVIROM & ASSOCIATES, INC.
 SURVEYING & MAPPING

402 APPELROUTH LANE, SUITE 2-E
 KEY WEST, FLORIDA 33045
 TEL. (305) 294-7770, FAX (561) 394-7125
 www.AVIROM-SURVEY.com

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JOB #:	8598-3
SCALE:	1" = 20'
DATE:	10-13-2011
BY:	K.M.C.
CHECKED:	M.D.A.
F.B.	N/A PG. N/A
SHEET	2 OF 2

EXHIBIT "A"

LEGAL DESCRIPTION:

A parcel of land being a portion of Lot 8, Square 24 and a portion of Ashby Street (currently abandoned and occupied by the Horace O'Bryant Middle School) according to the plat of DIAGRAM OF TRACT 20 - MONROE INVESTMENT CO. as recorded in Plat Book 1, Page 41 of the Public Records of Monroe County, Florida described as follows:

BEGINNING at the southwest corner of said Lot 8; thence South 55°45'06" West along a line being the westerly extension of the south boundary of said Lot (bearing referenced to Grid North of the 1990 adjustment of the North American Datum of 1983, Florida East Zone with all bearings referenced thereto), a distance of 34.00 feet; thence North 34°14'54" West, 22.00 feet; thence North 55°45'06" East, 40.00 feet; thence South 34°14'54" East, 22.00 feet to the south boundary of said Lot 8; thence South 55°45'06" West along said south boundary, 6.00 feet to the west boundary of said Lot and the Point of Beginning.

Said lands lying and being in Section 5, Township 68 South, Range 25 East, City of Key West, Monroe County, Florida containing 880.00 square feet (0.020 acre) more or less.


SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
3. The land description shown hereon was prepared by the Surveyor.
4. No underground improvement were located.
5. Bearings shown hereon are referenced to Grid North, based on the 1990 Adjustment of the North American Datum of 1983 (NAD 83/90) of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone with the south boundary of Lot 8, Square 24 having a bearing of S 55°45'06" W.
6. Data shown hereon was compiled from instrument(s) of record and does not constitute a boundary survey.
7. This map is intended to be displayed at a scale of 1:240 (1"=20') or smaller.
8. Abbreviation Legend: CO.= Company; L.B.= Licensed Business; M.C.R.= Monroe County Records; P.B.= Plat Book; P.L.S.= Professional Land Surveyor; P.O.B.= Point of Beginning; Rev.= Revision.

CERTIFICATION:


I HEREBY CERTIFY that the attached Sketch and Description of the hereon described property is true and correct to the best of my knowledge and belief as prepared under my direction. I FURTHER CERTIFY that this Sketch and Description meets the Minimum Technical Standards set forth in Chapter 5J-17.05, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Date: OCTOBER 13, 2011


 KEITH M. CHEE-A-TOW, P.L.S.
 Florida Registration No. 5328
 AVIROM & ASSOCIATES, INC.
 L.B. No. 3300

Rev. 1: Revised Legal Description - (10-13-2011)

NOT A VALID SURVEY UNLESS
 ACCOMPANIED BY SHEETS 1 THRU 2

CITY OF KEY WEST Generator Easement		AVIROM & ASSOCIATES, INC. SURVEYING & MAPPING 402 APPELROUTH LANE, SUITE 2-E KEY WEST, FLORIDA 33045 TEL (305) 294-7770, FAX (561) 394-7125 www.AVIROM-SURVEY.com <small>© 2011 AVIROM & ASSOCIATES, INC. all rights reserved This sketch is the property of AVIROM & ASSOCIATES, INC. and should not be reproduced or copied without written permission.</small>
Grantor: Board of Public Instruction of Monroe County Site: Horace O'Bryant Middle School 1105 Leon Street, Key West, FL 33040 County: Monroe Parcel Id.: 00044110-000000		JOB #: 8598-3 SCALE: 1" = 20' DATE: 10-13-2011 BY: K.M.C. CHECKED: M.D.A. F.B. N/A PG. N/A SHEET 1 OF 2

Development Review Committee Comments

Minutes of the Development Review Committee of the City of Key West

April 26, 2012

DRAFT

Page 3 of 5

3	<p>Easement - 405 Frances Street (RE#00004910-000000) – An easement request for 157 square feet for a residential property in the HNC-2 zoning district per Section 2-938 of the Land Development Regulations of the Code of Ordinances of the City of Key West.</p> <p>Staff Report: Presented by Nicole Malo. Easement request that was recently renovated in the Historic District. Fence that was put in exceeded the scope of the certificate of occupancy and building permits. Applicant went to HARC to obtain approval. The fence is about a foot off the property line and would be wheelchair accessible.</p> <p>DRC Member Comments:</p> <p>ADA Coordinator – No Comments.</p> <p>Landscaping Coordinator – No Comments.</p> <p>Planning Director – Need to modify the application to include the portion of the building.</p> <p>General Services – Coordinate with FCAA in regards to their 20 foot easement requirement.</p> <p>Landscaping – No Comments.</p> <p>HARC Planner – No Comments.</p> <p>There were no additional Committee member comments for the record.</p> <p>Public Comments: There were no public comments.</p>
4	<p>Conditional Use - 1105 Leon Street (RE#00044110-000000) – A conditional use request for a public utility for property in the PS zoning district per Section 122-1018(4) of the Land Development Regulations of the Code of Ordinances of the City of Key West.</p> <p>Staff Report: Brendan Cunningham presented the project. Installation of a storm water pump station, which will include a platform with a generator on it. The pump station will be located on School Board Property. There is an easement in place to allow this to happen. Jay Gewin also presented on the project. The pump station will have significant flooding and environmental benefits. The Storm water will be filtered and the project consists of a platform with an elevated generator that will be at the end of Ashby street. There will be an outside pipeline that will go down Catherine Street to the Jose Marti pond. There was a public meeting with about 30 people in attendance and the project is widely supported.</p> <p>Applicant:</p> <p>DRC Member Comments:</p> <p>ADA Coordinator – No Comments.</p> <p>Fire Chief – No Comments.</p> <p>HARC Planner – No Comments.</p>

Minutes of the Development Review Committee of the City of Key West

April 26, 2012

DRAFT

Page 4 of 5

	<p>Planning Director – No Comments.</p> <p>General Services – No Comments.</p> <p>Landscaping – Landscaping will be done per the City Code.</p> <p>Public Comments: There were no public comments.</p>
<p>5</p>	<p>Variance - 1021 Fleming Street (RE# 00005060-000000) - A variance application for front-yard setback requirements in the HMDR zoning district per Section 122-600 (6) a. of the Land Development Regulations of the Code of Ordinances of the City of Key West.</p> <p>Staff Report: Brendan Cunningham presented the project. Essentially this a perennial problem that we have here somebody wants to renovate their house and they exceed 66% of value and any legal non conformities must be addressed through the variance process. In this case the front yard setback which is 10ft is not being met. The existing structure is three and a half feet off the property line.</p> <p>Applicant: Rob Delaune comments that the proposed project doesn't seek to change the footprint of the building in any way or increase the non conformities, just too simply spend what would be more than the 66% more of its value in repairing and renovating its structure.</p> <p>DRC Member Comments:</p> <p>ADA Coordinator – No Comment.</p> <p>Fire Chief – No Comment.</p> <p>HARC Planner – Need to add the HARC number.</p> <p>Planning Director – No Comment.</p> <p>General Services – No Comment.</p> <p>Landscaping – No Comments.</p> <p>There were no additional Committee member comments for the record.</p> <p>Public Comments: There were no public comments.</p>
	<p>Actions/Motions: A motion was made by Ms. Enid Torregrosa seconded by Mr. Alan Averette, that the meeting be Adjourned. The motion Passed by a unanimous vote.</p> <p>Meeting adjourned at 10:29 am.</p>

Property Appraiser Information

Karl D. Borglum
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record View

Alternate Key: 1044741 Parcel ID: 00044110-000000

Website tested on
Internet Explorer.
Requires Adobe Flash
10.3 or higher

Ownership Details

Mailing Address:
BOARD OF PUBLIC INSTRUCTION OF MONROE COUNTY FLA
241 TRUMBO RD
KEY WEST, FL 33040

Property Details

PC Code: 83 - SCHOOL/PUBLIC,BD OF PUBLIC INS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 05-68-25
Property Location: 1105 LEON ST KEY WEST
Subdivision: Monroe Investment Co
Legal Description: KW MONROE INVESTMENT CO SUB PB1-41 ALL LOTS 3 TO 14 INC SQR 22 TR 20 ALL LOTS 8 TO 14 INC SQR 23 TR 20 ALL LOTS 8 TO 14 INC SQR 24 TR 20 ALL LOTS 1 TO 7 INC SQR 25 TR 20 ALL LOTS 1 TO 7 INC SQR 26 TR 20 ALL LOTS 1 TO 7 INC SQR 27 TR 20 ALSO A PARCELOF BAY BTM LAND LYING NW'LY OF TR 20 PB1NW'LY OF TR 20 PB1-41 & BETWEEN LEON & GEORGE STS 3.16 AC OR268-95-96 OR268-593 -595 OR269-231-232 OR269-488/493 OR1704-2444/46Q/C(LG)

Parcel Map (Click to open dynamic parcel map)



Exemptions

Exemption	Amount
11 - EDUCATIONAL	30,132,008.00

Land Details

Land Use Code	Frontage	Depth	Land Area
---------------	----------	-------	-----------

100E - COMMERCIAL EXEMPT	0	0	383,328.00 SF
--------------------------	---	---	---------------

Building Summary

Number of Buildings: 3
 Number of Commercial Buildings: 3
 Total Living Area: 96486
 Year Built: 1970

Building 1 Details

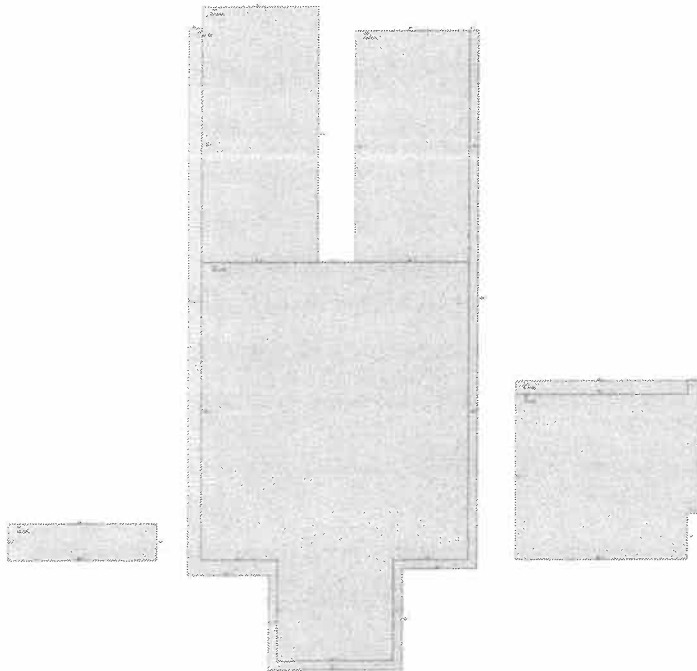
Building Type	Condition A	Quality Grade 350
Effective Age 17	Perimeter 2,114	Depreciation % 23
Year Built 1970	Special Arch 0	Grnd Floor Area 54,954
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	20	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
-----	------	----------	-----------	------------	-------	-----	------------	---------------------	------

1	FLA	2	1984	27,350
2	FLA	1	1984	8,000
3	FLA	1	1984	8,832
4	OUF	1	1984	5,198
5	FLA	1	1984	1,660
6	FLA	1	1984	9,112
7	OUF	1	1984	672

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	4853	PUBLIC SCHOOLS-B-	100	N	Y
	4854	PUBLIC SCHOOLS-B-	100	N	Y
	4855	PUBLIC SCHOOLS-B-	100	N	Y
	4857	PUBLIC SCHOOLS-B-	100	N	Y
	4858	PUBLIC SCHOOLS-B-	100	N	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
1316	C.B.S.	100

Building 2 Details

Building Type
 Effective Age 10
 Year Built 1999
 Functional Obs 0

Condition E
 Perimeter 1,384
 Special Arch 0
 Economic Obs 0

Quality Grade 350
 Depreciation % 13
 Grnd Floor Area 32,896

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 20

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1999					16,448
2	OPU		1	1999					630
3	OPF		1	1999					390
4	OPF		1	1999					180
5	OPF		1	1999					280
6	FLA		1	1999					16,448
7	OUF		1	1999					280
8	EPA		1	1999					440

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	4860	PUBLIC SCHOOLS-A-	100	Y	Y
	4861	PUBLIC SCHOOLS-A-	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
1317	C.B.S.	100

Building 3 Details

Building Type
Effective Age 10

Condition E
Perimeter 390

Quality Grade 350
Depreciation % 13

Year Built 1999
Functional Obs 0

Special Arch 0
Economic Obs 0

Grnd Floor Area 8,636

Inclusions:

Roof Type
Heat 1
Heat Src 1

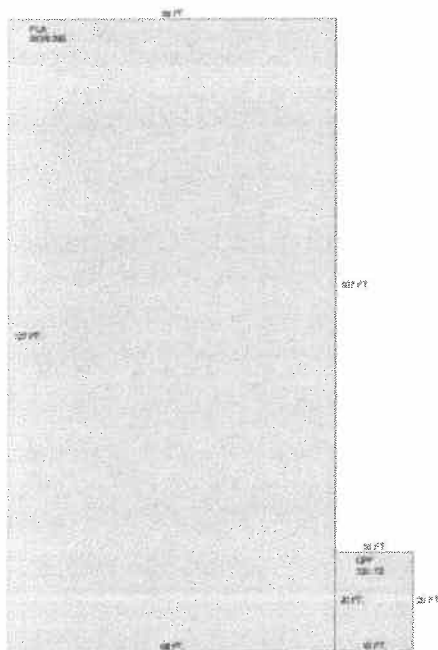
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 20

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA		1	1999				8,636
2	OPF		1	1999				320

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	4862	PUBLIC SCHOOLS-A-	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
1318	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	AP2:ASPHALT PAVING	91,205 SF	0	0	1969	1970	2	25
2	PT3:PATIO	3,795 SF	69	55	1999	2000	2	50
3	CL2:CH LINK FENCE	39,144 SF	0	0	1969	1970	2	30
4	RW2:RETAINING WALL	1,592 SF	398	4	1969	1970	4	50

Appraiser Notes

PER DIANE NICKLAUS, PUBIC FACILITIES/ADA COORDINATOR, ON-SITE CONSTRUCTION TRAILER HAS BEEN GIVEN A TEMPORARY ADDRESS OF 1107 GEORGE STREET.

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	9701472	05/01/1997	12/01/1997	200		ELECTRICAL

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	17,408,194	135,920	13,189,933	30,734,047	30,734,047	30,734,047	0
2010	17,562,562	136,527	20,240,000	37,939,089	37,939,089	37,939,089	0
2009	18,241,178	137,134	36,799,488	55,177,800	55,177,800	55,177,800	0
2008	18,241,178	137,741	36,799,488	55,178,407	55,178,407	55,178,407	0
2007	12,159,983	137,253	36,799,488	49,096,724	49,096,724	49,096,724	0
2006	12,332,421	137,860	6,133,248	18,603,529	18,603,529	18,603,529	0
2005	12,435,215	138,467	6,133,248	18,706,930	18,706,930	18,706,930	0
2004	12,623,069	139,074	6,133,248	18,895,391	18,895,391	18,895,391	0
2003	12,623,069	139,681	6,133,248	18,895,998	18,895,998	18,895,998	0
2002	12,623,069	132,329	6,133,248	18,888,646	18,888,646	18,888,646	0
2001	12,623,069	132,936	4,024,944	16,780,949	16,780,949	16,780,949	0
2000	12,618,393	67,311	4,024,944	16,710,648	16,710,648	16,710,648	0
1999	6,383,590	40,130	4,024,944	10,448,664	10,448,664	10,448,664	0
1998	4,267,483	40,130	4,024,944	8,332,557	8,332,557	8,332,557	0
1997	4,267,483	40,130	3,360,000	7,667,613	7,667,613	7,667,613	0
1996	3,879,530	40,130	3,360,000	7,279,660	7,279,660	7,279,660	0
1995	3,879,530	40,130	3,360,000	7,279,660	7,279,660	7,279,660	0
1994	3,879,530	40,130	3,360,000	7,279,660	7,279,660	7,279,660	0
1993	3,879,530	40,130	3,360,000	7,279,660	7,279,660	7,279,660	0
1992	3,879,530	40,130	3,360,000	7,279,660	7,279,660	7,279,660	0

1991	3,879,530	40,130	3,360,000	7,279,660	7,279,660	7,279,660	0
1990	3,879,530	40,130	3,360,000	7,279,660	7,279,660	7,279,660	0
1989	3,879,530	40,130	3,360,000	7,279,660	7,279,660	7,279,660	0
1988	2,950,169	25,538	3,360,000	6,335,707	6,335,707	6,335,707	0
1987	2,911,925	25,538	1,255,716	4,193,179	4,193,179	4,193,179	0
1986	2,917,515	25,538	1,255,716	4,198,769	4,198,769	4,198,769	0
1985	2,872,775	25,538	841,727	3,740,040	3,740,040	3,740,040	0
1984	0	1,453,815	841,727	2,295,542	2,295,542	2,295,542	0
1983	0	1,453,815	841,727	2,295,542	2,295,542	2,295,542	0
1982	0	1,453,815	841,727	2,295,542	2,295,542	2,295,542	0

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 11,086 times.

Monroe County Property Appraiser
 Karl D. Borglum
 P.O. Box 1176
 Key West, FL 33041-1176

Public Notices
(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 p.m., June 21, 2012 at Old City Hall, 510 Greene Street, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Conditional Use - 1105 Leon Street (RE# 00044110-000000) – A request for a public utility to include a platform and generator to power injection wells for a storm water drainage project for property in the PS zoning district per Section 122-1018(4) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at www.keywestcity.com.

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing:

Request: **Conditional Use - 1105 Leon Street (RE# 00044110-000000)** – A request for a public utility to include a platform and generator to power injection wells for a storm water drainage project for property in the PS zoning district per Section 122-1018(4) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Applicant:	City of Key West	Owner:	Monroe County School District (City Easement)
Project Location:	1105 Leon Street	Date of Hearing:	Thursday, June 21, 2012
Time of Hearing:	6:00 PM	Location of Hearing:	Old City Hall, 510 Greene City Commission Chambers

Interested parties may appear at the public hearing(s) and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Jo Bennett at jbennett@keywestcity.com .

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

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Request: **Conditional Use - 1105 Leon Street (RE# 00044110-000000)** – A request for a public utility to include a platform and generator to power injection wells for a storm water drainage project for property in the PS zoning district per Section 122-1018(4) of the Land Development Regulations of the Code of Ordinances of the City of Key West.

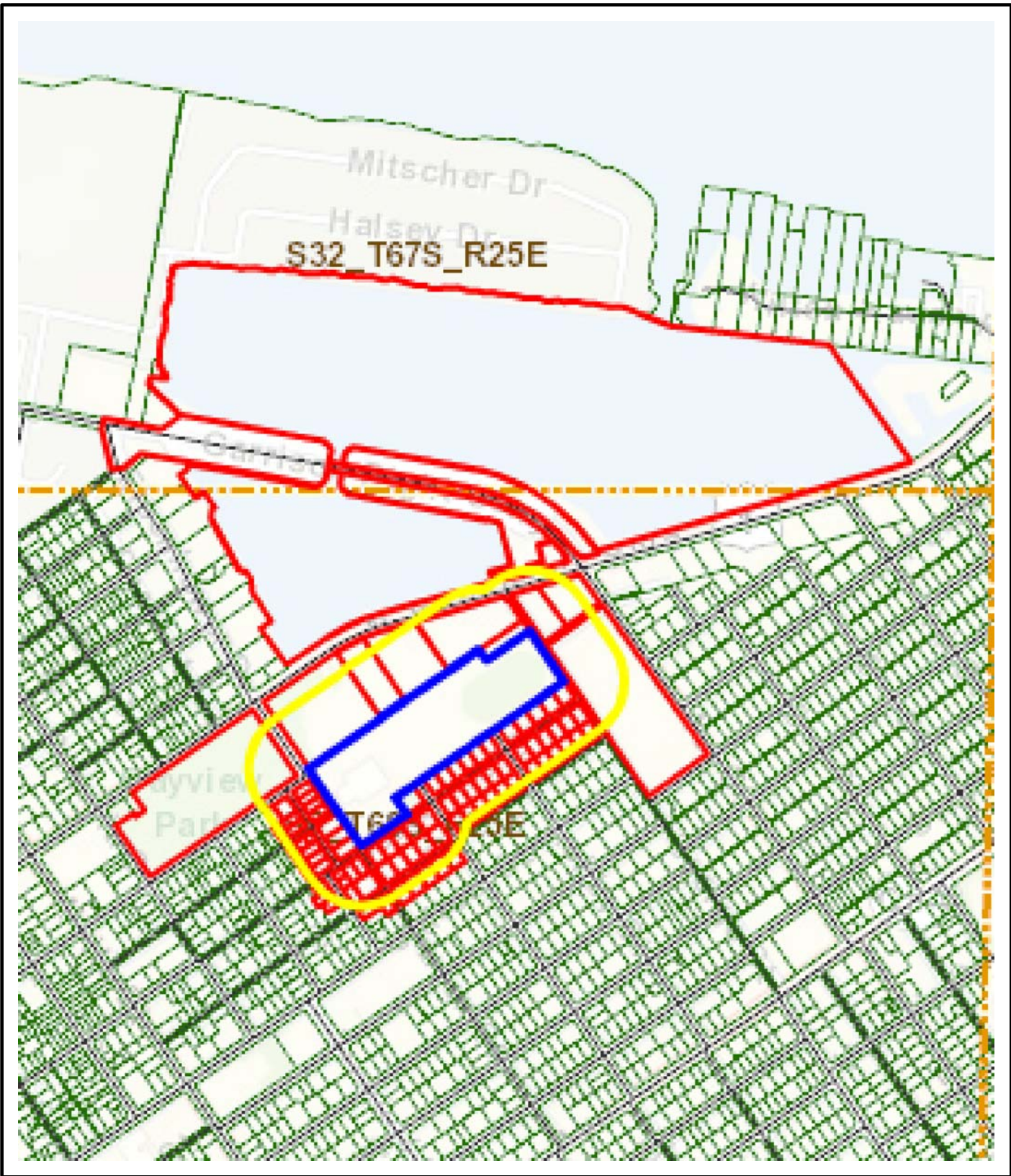
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Time of Hearing:	6:00 PM	Location of Hearing:	Old City Hall, 510 Greene City Commission Chambers

Interested parties may appear at the public hearing(s) and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Jo Bennett at jbennett@keywestcity.com .

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Monroe County, Florida

Printed: May 03, 2012

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DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
1 SCHONECK RAY ALLEN JR	4 AZALEA DR		KEY WEST	FL	33040-6206	
2 WJW JR REALTY LLC	2707 RIVERTON RD		CINNAMINSON	NJ	08077	
3 ENGELSON ELLEN M	1217 PEARL ST		KEY WEST	FL	33040-3460	
4 WOOD CYNTHIA M	3015 E BAYSHORE RD SPC 418		REDWOOD CITY	CA	94063-4115	
5 DAVIS LINDA P	1204 LEON ST		KEY WEST	FL	33040	
6 SCHOOL DISTRICT OF MONROE COUNTY FLORIDA	242 WHITE ST		KEY WEST	FL	33040	
7 STATE OF FLA DEPT ENV PROTECT	3900 COMMONWEALTH BLVD		TALLAHASSEE	FL	32399	
8 THOMPSON PEGGY LEE L/E	1426 ELIZA ST		KEY WEST	FL	33040-3426	
9 BARRETT HAROLD ARTHUR AND GRANCE GAVIN	PO BOX 413		ISLAMORADA	FL	33036-0413	
10 MARTIN CRAIG	1116 PEARL ST		KEY WEST	FL	33040	
11 COGNATO RICHARD A AND MARY	1200 MARGARET ST		KEY WEST	FL	33040	
12 CHRUST ROBERT	123 CASEY RD		SCHUYLERVILLE	NY	12871-1812	
13 THE BOARD OF PUBLIC INSTRUCTION OF MONROE COUN	241 TRUMBO RD		KEY WEST	FL	33040	
14 MARSHALL FRANKLIN GARFIELD JR DEC OF TR 4/2/02	1436 ELIZA ST		KEY WEST	FL	33040	
15 WARMOUTH MARK D	8424 LOXTON CIR		CHARLOTTE	NC	28214-9029	
16 ROBERTS 1995 REV TRUST 8/8/2008	2545 LORING ST		SAN DIEGO	CA	92109	
17 SIMONET JOHN C AND LINDA J	1425 ELIZA ST		KEY WEST	FL	33040	
18 LOCKABY DANIEL W	1434 VIRGINIA ST		KEY WEST	FL	33040-3442	
19 TOPPINO PAUL E	1500 CATHERINE ST		KEY WEST	FL	33040	
20 REEB NICKOLAS E AND TALLEY ANNE	1512 CATHERINE ST		KEY WEST	FL	33040	
21 BOARD OF PUBLIC INSTRUCTION MONROE COUNTY FLO	241 TRUMBO RD		KEY WEST	FL	33040	
22 ALPERT KELLIE D	1075 DUVAL ST STE C21		KEY WEST	FL	33040-3188	
23 SAWYER RONALD ALVAREZ AND LOUISE ELIZABETH	1218 LEON ST		KEY WEST	FL	33040-3544	
24 HARROLD DON C AND BETSY L	1210 PEARL ST		KEY WEST	FL	33040	
25 HOUSING AUTHORITY THE OF THE	P O BOX 2476		KEY WEST	FL	33040	
26 1700 N ROOSEVELT LLC	PO BOX 2068		KEY WEST	FL	33041	
27 DUNCAN H EARL AND ORCHID L	1410 ROSE ST		KEY WEST	FL	33040	
28 ROBINSON STEVEN MCGREGOR	127 KELVINGROVE DR		MADISON	AL	35758-6261	
29 CARTER STEPHEN B ESTATE	12179 HUNTERGREEN DR		CINCINNATI	OH	45251-1242	
30 TODHUNTER LINDA E	1424 CATHERINE ST		KEY WEST	FL	33040	
31 CORNS EVAN R AND BARBARA PINKERTON	1431 DUNCAN ST		KEY WEST	FL	33040	
32 COHEN FAMILY TRUST 02/14/2007	PO BOX 980115		PARK CITY	UT	84098	
33 RI CS2 LLC	PO BOX 460069		ESCONDIDO	CA	92046-0069	
34 FRITZ ADARE	1103 ASHBY ST		KEY WEST	FL	33040	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
35 BUSHEY FREDERICK F	1202 GEORGE ST		KEY WEST	FL	33040-3630	
36 CORNS BARBARA PINKERTON AND EVAN R	1431 DUNCAN ST		KEY WEST	FL	33040	
37 STATE OF FLORIDA	811 PALM AVE		KEY WEST	FL	33040	
38 MLA KEY WEST PROPERTIES LLC	1460 ARTIMINO LN		BOYNTON BEACH	FL	33436-1110	
39 MANCINI VINCENT LIVING TRUST 11/10/09	PO BOX 1494		KEY WEST	FL	33041	
40 BOARD OF PUBLIC INSTRUCTION OF MONROE COUNTY F	241 TRUMBO RD		KEY WEST	FL	33040	
41 ROBINSON SUSAN PATRICIA ANN	1514 DUNCAN ST		KEY WEST	FL	33040-3536	
42 SHERERTZ GREG E	1705 DUNCAN ST		KEY WEST	FL	33040	
43 PENNINGTON CRAIG A AND CLAUDIA L	1203 THOMPSON ST		KEY WEST	FL	33040	
44 BALMACEDA CLAUDIA	1608 CATHERINE ST		KEY WEST	FL	33040	
45 PAIGE LUCY E & BERGH JAN O (W/H)	1007 LOGGERHEAD LANE		SUGARLOAF KEY	FL	33042	
46 SHELDON FRANK LEE	1812 FLAGLER AVE		KEY WEST	FL	33040	
47 KING CHRISTOPHER AND JULIA A	1521 DUNCAN ST		KEY WEST	FL	33040	
48 SANTOS CARLOS J AND JUDITE M L/E	1613 CATHERINE ST		KEY WEST	FL	33040-3531	
49 ROBINSON WILLIAM SANDS JR	3616 NORTHSIDE CT		KEY WEST	FL	33040-4257	
50 FLOWERS HARRELL A T/C	308 BELIZE CT		VICKSBURG	MS	39180-7147	
51 CODDE JEFFREY R AND WINTER	1609 CATHERINE ST		KEY WEST	FL	33040-3531	
52 YARBROUGH THOMAS HARRY AND MARIE L	1524 DUNCAN ST		KEY WEST	FL	33040	
53 KNOWLES LEONARD AND JENNINE REV TR 12/7/94	1720 DUNCAN ST		KEY WEST	FL	33040	
54 HOPKINS JAMES E JR AND DEBORAH	1518 DUNCAN ST		KEY WEST	FL	33040	
55 WHITE R BROOKS ESTATE	8 STONEWOLD WAY		WILMINGTON	DE	19807-2568	
56 MAROUS FLORENCE M	1106 ASHBY ST		KEY WEST	FL	33040-3526	
57 SCHONECK RAY A LIVING TRUST 3/22/1990	2432 FLAGLER AVE		KEY WEST	FL	33040	
58 SCHROEDER JOSEPH J	1202 THOMPSON ST		KEY WEST	FL	33040	
59 MAXWELL GAINNEY SHELTON L/E	1200 GEORGE ST		KEY WEST	FL	33040	
60 ACHON JESUS	1713 DUNCAN ST		KEY WEST	FL	33040	
61 ANFINSON ERIC	1616 CATHERINE ST		KEY WEST	FL	33040	
62 HEMPHILL TARA	1709 CATHERINE ST		KEY WEST	FL	33040	
63 ESCOBIO ARMANDO JR AND BARBARA L	1719 CATHERINE ST		KEY WEST	FL	33040	
64 GALLAGHER PAUL	1717 DUNCAN ST		KEY WEST	FL	33040	
65 KRAMER MARTIN E	1715 CATHERINE ST		KEY WEST	FL	33040	
66 MARTIN MICHELLE M	1617 DUNCAN ST		KEY WEST	FL	33040-3537	
67 POLHEMUS JOHN W DECLARATION OF TRUST 6/18/2008	1605 DUNCAN ST		KEY WEST	FL	33040-3537	
68 ROBERTS DANIEL KEITH AND MARIA	17902 SW 88 PL		PALMETTO BAY	FL	33157-5970	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
69 WAITE-MORGAN CHRISTINE S	1201 ASHBY ST		KEY WEST	FL	33040	
70 HOBGOOD JARED M	908 WINDSOR LN		KEY WEST	FL	33040	
71 AGIN EDWARD A AND LINDA A	1520 CATHERINE ST		KEY WEST	FL	33040	
72 GONZALEZ JESUS G	1712 CATHERINE ST		KEY WEST	FL	33040	
73 HAYES JOHN AND CHRISTINE R	P O BOX 1089		KEY WEST	FL	33041	
74 TARANTINO JOANNE	1002 WASHINGTON ST		KEY WEST	FL	33040-4865	
75 LEISNER WALDO W AND EFIGENIA ROMERO	1716 CATHERINE ST		KEY WEST	FL	33040	
76 TROGNER STEVEN A AND ANNE MARIE H	1202 ASHBY ST		KEY WEST	FL	33040-3528	
77 ABENHAIM MONIQUE	5240 SW 33RD WAY		HOLLYWOOD	FL	33312-7913	
78 BOEHM ALEX J	1526 CATHERINE ST		KEY WEST	FL	33040	
79 O'NEILL JOHN A	1709 DUNCAN ST		KEY WEST	FL	33040	
80 BISHOP JARRED	1708 CATHERINE ST		KEY WEST	FL	33040-3534	
81 KUHN DUANE A AND JODY E	2303 DAISY RD		YORK	PA	17402-4657	
82 THROCKMORTON BRUCE L	143 WHITE HORSE AVE		TRENTON	NJ	08610	
83 CASE JULIE ANN	1613 DUNCAN ST		KEY WEST	FL	33040	
84 GREENE JEAN	1609 DUNCAN ST		KEY WEST	FL	33040-3537	