



---

### **Staff Report for Item 7**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Kelly Perkins, MHP  
HARC Assistant Planner

**Meeting Date:** February 28, 2017

**Applicant:** William Shepler

**Application Number:** H16-03-0008

**Address:** #1215 Margaret Street

---

### **Description of Work:**

New one-story addition at rear. New one-story accessory structure. New front porch, pool, and site improvements.

### **Site Facts:**

The one-story house at 1215 Margaret Street is listed as a contributing resource in the survey, and first appears on the 1926 Sanborn map as a one story structure with a front porch that spans the width of the structure. The building is a typical frame vernacular structure. No additions appear on the Sanborn maps. At some point in the 1960s, the front porch was removed, and a clam shell awning was installed on the front of the house, as evidenced by a c.1965 historic photograph.

### **Guidelines Cited in Review:**

Secretary of the Interior's Standards for Rehabilitation (pages 16-17), specifically Standards 2, 3, 9, and 10.

Entrances, Porches, and Doors (pages 32-33), specifically guideline 7.

2013 HARC Guidelines for Additions (pages 36-37), specifically guidelines 2 through 8.

Outbuildings (pages 40-41), specifically guidelines 1 and 3.

## **Staff Analysis**

This Certificate of Appropriateness proposes renovations to a contributing house, including reconstructing a historically appropriate front porch, a new rear addition, a new pool, and a new accessory structure in the rear yard. Both the new addition and accessory structure are placed in the same footprint as currently existing structures. The current rear addition is not historic, as well as the accessory structure in the rear.

The existing historic house has a 1950s/1960s aluminum clamshell roof that was supported by a common mid-century swirl ironwork. That has since been replaced with small wooden posts, and the clam shell roof does not appear to be the same that was in the c.1965 photograph. The plans propose to construct a new porch that will span the width of the historic house. It will have similar proportions to a typical front porch common for frame vernacular houses found in Key West. The house had a front porch that spanned the width of the building, as evidenced by all of the Sanborn maps.

The new addition will have a height of 14 feet, 6 inches, and will be shorter than the main historic house. The new addition will utilize modern materials, such as fiber cement board and batten siding and trim, v-crimp roofing, and aluminum impact rated windows and doors.

The new accessory structure will have a height of 12 feet, 6 inches, and will also incorporate similar modern materials (fiber cement siding, v-crimp roofing, aluminum impact windows and doors).

The plans also propose site work, with a new pool and deck in the rear.

## **Consistency with Guidelines**

1. The proposed addition will be located in the exact footprint as the existing additions. The new addition will be lower in height of the original house with a massing that is compatible for the original house and neighborhood.
2. The proposed accessory structure will have an appropriate massing that will not compete with the main building.
3. The plans propose to reconstruct a historically appropriate front porch, which used to be in existence, as evidenced by the Sanborn maps. The guidelines for porches state that porch reconstruction for contributing buildings must be compatible in design, size, scale, and material with the historical character of the building. The proposed structure is a standard single-story frame vernacular structure common in Key West. These structures were typically constructed with a one-story front porch that spanned the width of the building. Typically, rafter tails were exposed, and simple posts were used for columns. The proposed design incorporates many of these characteristics.

It is staff's opinion that the proposed design is consistent with the guidelines for additions, accessory structures, and porches. The project will also reconstruct the front porch, returning the house to a more historically appropriate front façade.

# APPLICATION

# COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



## City of Key West

3140 FLAGLER AVENUE  
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

[www.cityofkeywest.com](http://www.cityofkeywest.com)

HARC PERMIT NUMBER <b>H16-03-0008</b>		BUILDING PERMIT NUMBER	INITIAL & DATE
FLOODPLAIN PERMIT			REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %

ADDRESS OF PROPOSED PROJECT:	1215 Margaret Street		# OF UNITS	1
RE # OR ALTERNATE KEY:	Alternate Key: 1030457			
NAME ON DEED:	Aleda Reilly	PHONE NUMBER	813-786-8315	
OWNER'S MAILING ADDRESS:	1215 Margaret Street	EMAIL	aledajc@gmail.com	
	Key West, FL 33040			
CONTRACTOR COMPANY NAME:		PHONE NUMBER		
CONTRACTOR'S CONTACT PERSON:		EMAIL		
ARCHITECT / ENGINEER'S NAME:	William Shepler Architect	PHONE NUMBER	305- 890-6191	
ARCHITECT / ENGINEER'S ADDRESS:	201 Front Street , Suite 203, Key West	EMAIL	will@wshepler.com	
	FL 33040			

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING:  YES  NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:	<input checked="" type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input checked="" type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input checked="" type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input type="checkbox"/> WITHIN FLOOD ZONE	_____
	<input checked="" type="checkbox"/> DEMOLITION	<input type="checkbox"/> SITE WORK	<input checked="" type="checkbox"/> INTERIOR	<input checked="" type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., Replace existing addition with new one story wood frame addition , replace front porch roof, new pool, new deck, and replace existing wood frame accessory structure and all other work as per attached drawings.

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	
OWNER PRINT NAME:	QUALIFIER PRINT NAME:
OWNER SIGNATURE:	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualifier:
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.
Personally known or produced _____ as identification.	Personally known or produced _____ as identification.

**PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  6 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING

5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  BLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE

POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW

SQ. FT. OF EACH SIGN FACE: \_\_\_\_\_

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS

A / C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE

SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE \_\_\_\_\_ AMPS

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS

RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10  STAFF APPROVAL: \$50  COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.

ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)

INDICATE TYPE OF CERTIFICATE. OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER

ADDITIONAL INFORMATION: \_\_\_\_\_

**PROJECT SPECIFICATIONS:** PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: \_\_\_\_\_

BUSINESS LICENSE # \_\_\_\_\_ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE \_\_\_\_\_

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO. <input type="checkbox"/>
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

**PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS**

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

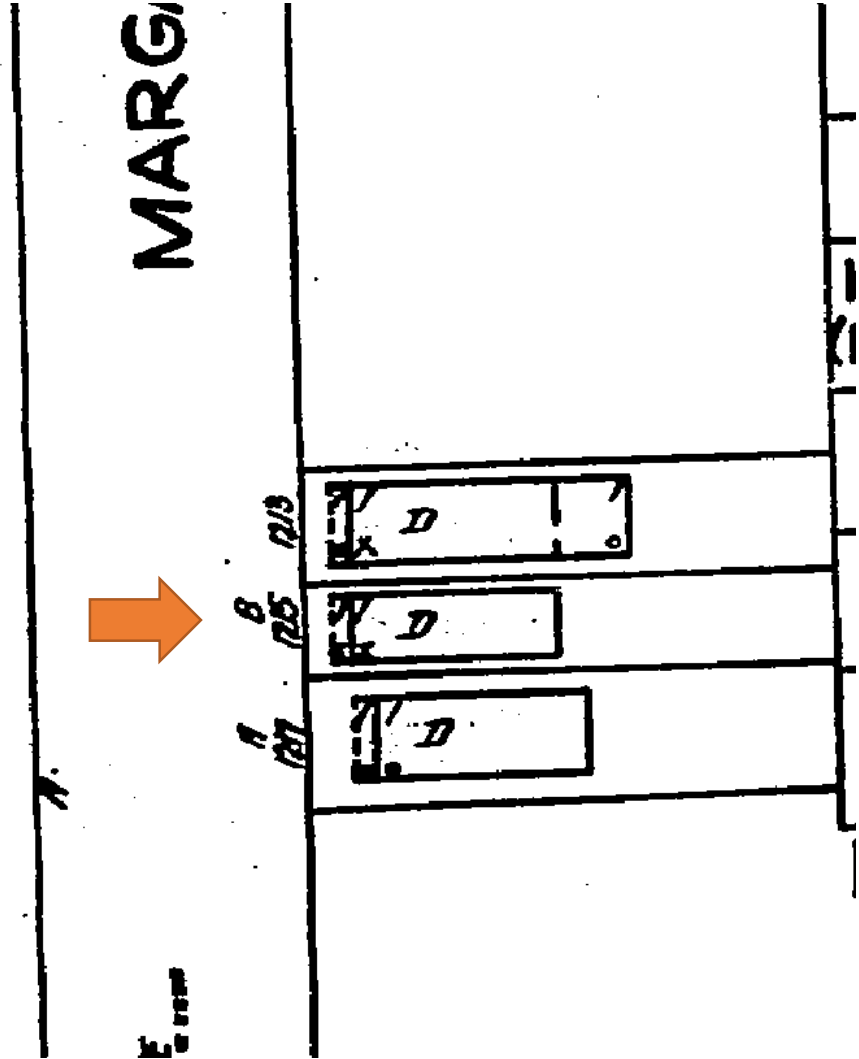
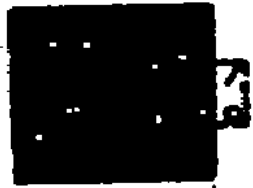
FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	DATE:

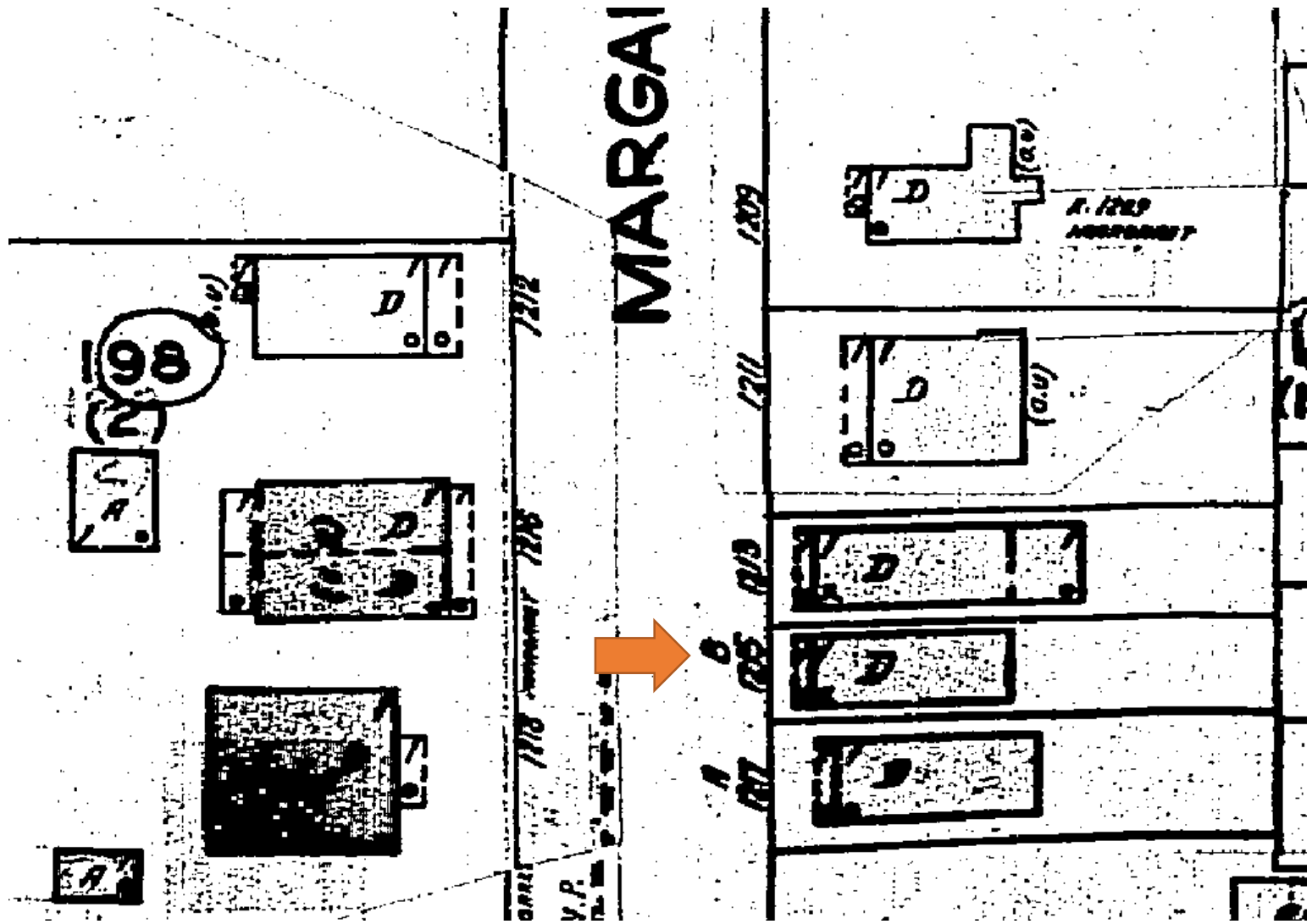
# SANBORN MAPS

198  
(2)

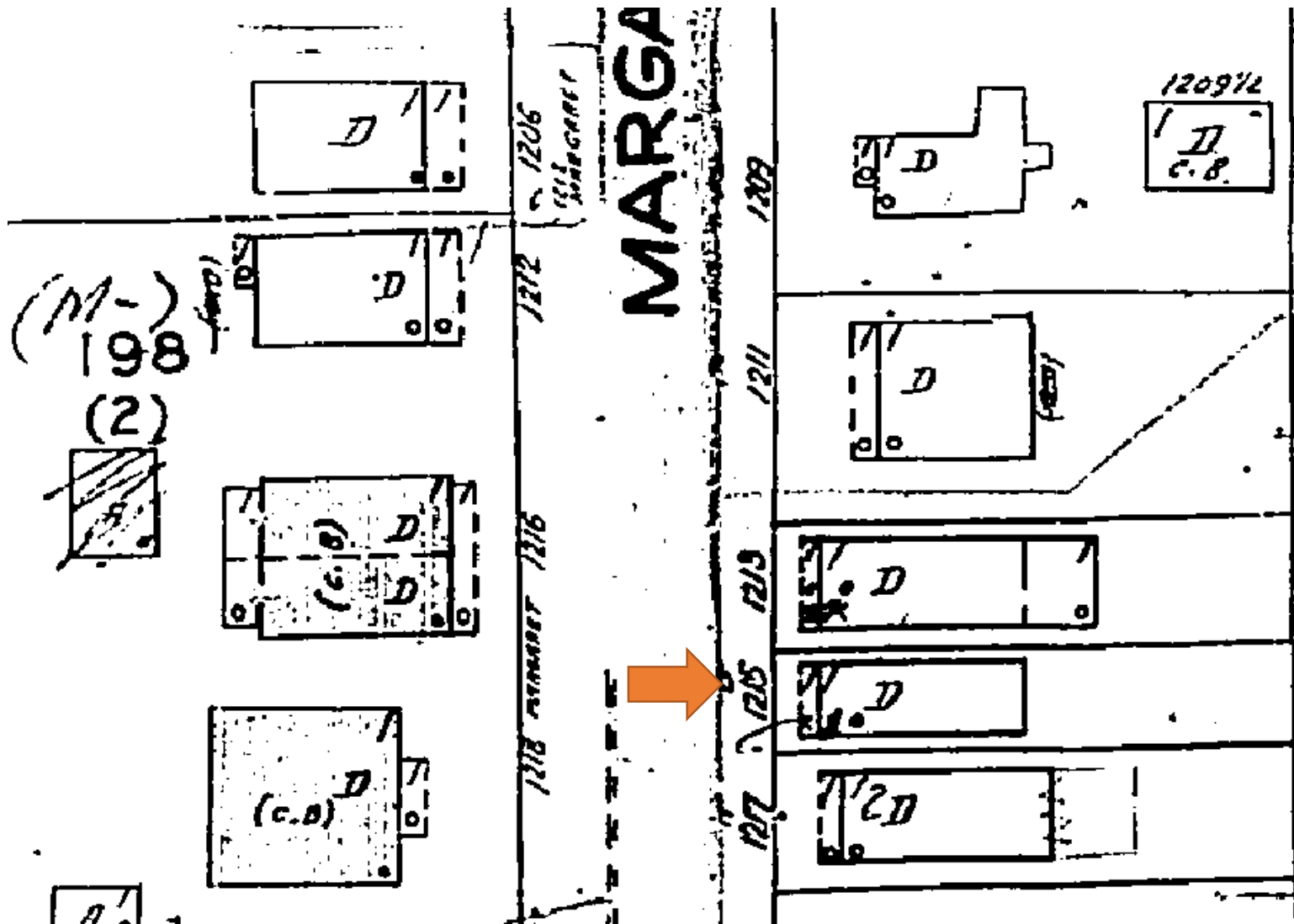


1926 Sanborn Map





1948 Sanborn Map



1962 Sanborn Map

# PROJECT PHOTOS



205 Virginia. Monroe County Property Appraiser's Photo, c.1965. Monroe County Public Library.



WMA  
WASTE MANAGEMENT  
16 02022

WE  
RECYCLE

















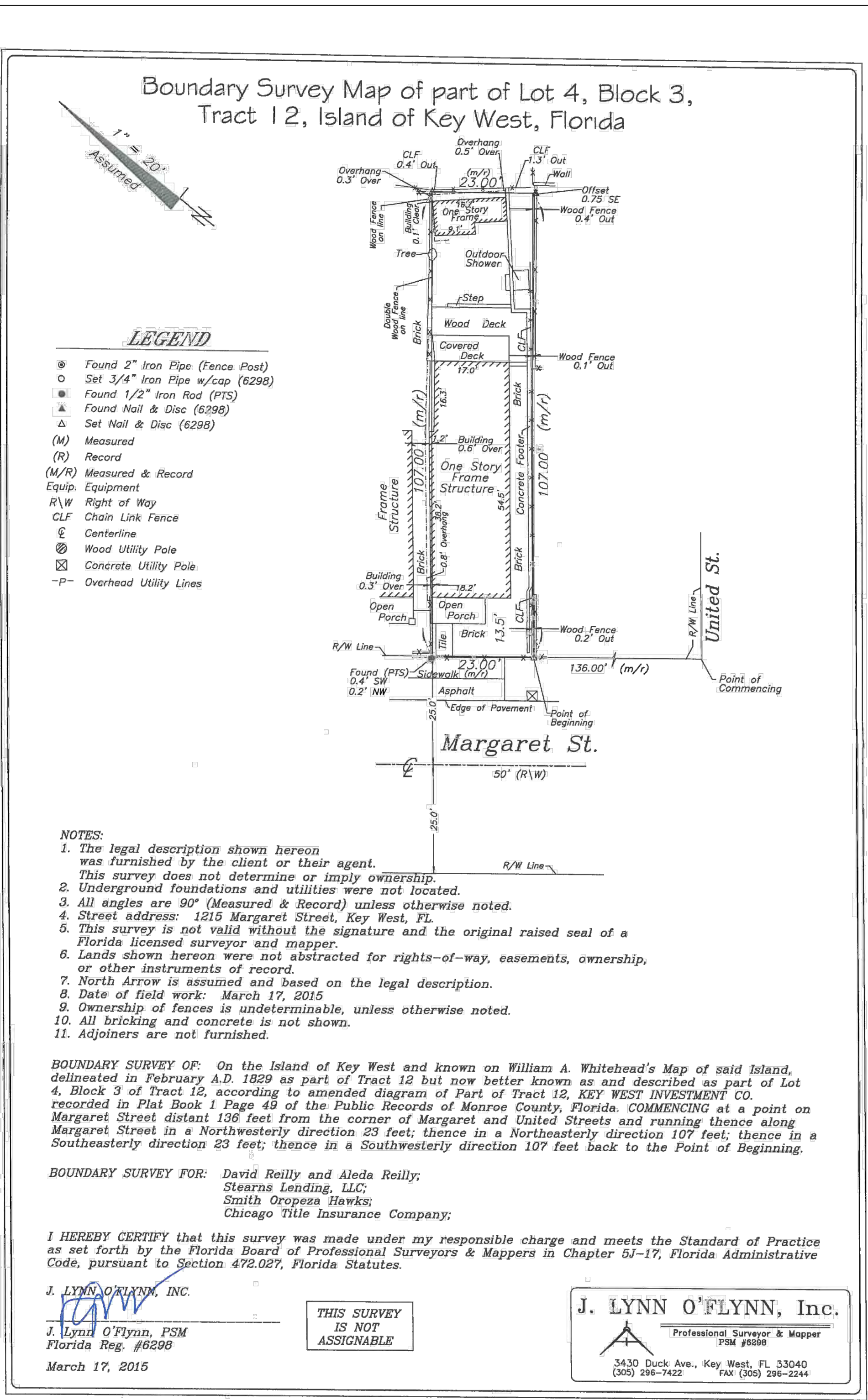


# PROPOSED DESIGN

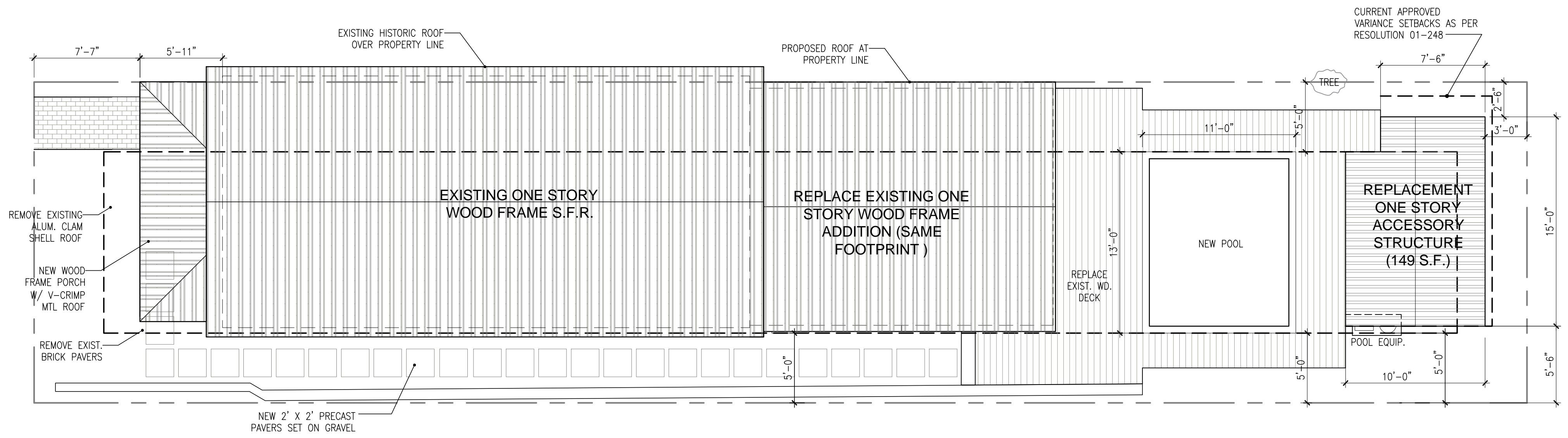
**SITE CALCULATIONS - ZONING DISTRICT: HMDR**

	ALLOWED	EXISTING	PROPOSED
HEIGHT	30'	N/A	No Change
BUILDING COVERAGE	40%	1,440 s.f. (58.5%)	1,438 s.f. (58.4%)
IMPERVIOUS SURFACE RATIO	60%	1,703s.f. (69.1%)	1,606 s.f. (65%)
LOT SIZE	Min. 4,000 s.f.	2,461 s.f.	N/A
LOT WIDTH	Min. 40'	N/A	N/A
LOT DEPTH	Min. 90'	N/A	N/A
FRONT SETBACK	Min. 10'	5'-7"	7'-7"
SIDE SETBACK (SOUTH)	Min. 5'	4'-9"	4'-2"***
SIDE SETBACK (NORTH)	Min. 5'	.3' OVER*	2'-6"
REAR SETBACK	Min. 15'	.5' OVER*	3'-0"
OPEN SPACE	Min. 35%	22.70%	22.70%

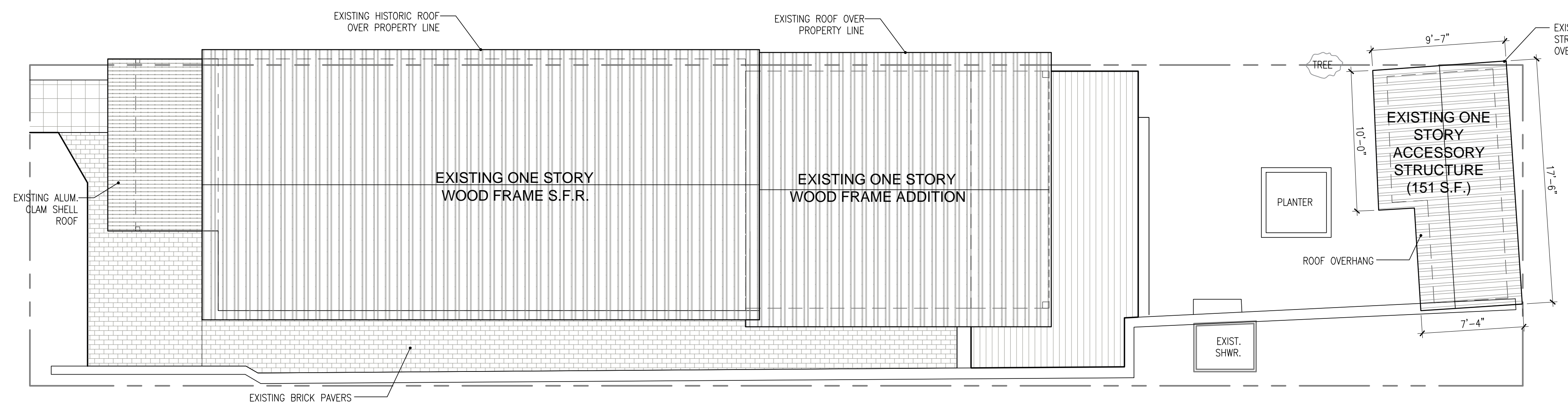
\* Accessory Structure  
 \*\* Pool Filter



**3 COPY OF SURVEY**  
 A1.1 SCALE: 1"=20'



**2 PROPOSED SITE PLAN**  
 A1.1 SCALE: 3/16"=1'-0"



**1 EXISTING SITE PLAN**  
 A1.1 SCALE: 3/16"=1'-0"

Tel: 305-890-6191  
 Email: info@wshepler.com  
 201 Front St, Suite 201  
 Key West, FL 33040

Seal:  
 Consultants:

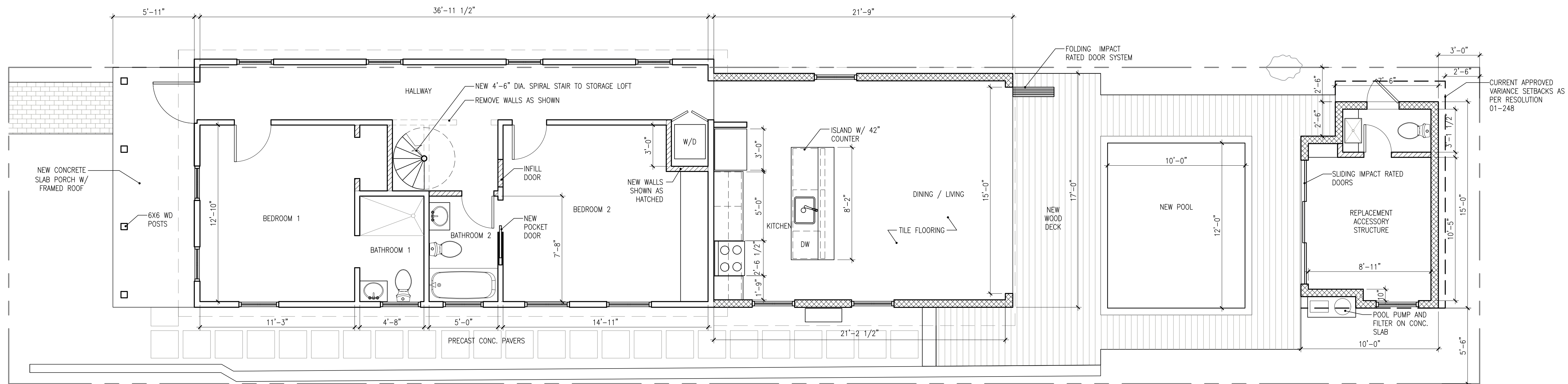
Submissions / Revisions:  
 H.A.R.C. SUBMISSION - 2016.1.29  
 H.A.R.C. REV. 1 - 2016.6.1  
 H.A.R.C. REV. 2 - 2016.6.8  
 REV. 3 - 2016.6.20  
 REV. 4 - PLANNING - 2016.8.31  
 REV. 5 - PLANNING - 2016.11.9  
 H.A.R.C. REV. 3 - 2017.1.24

**1215 MARGARET STREET**  
 KEY WEST, FL  
**RESIDENTIAL RENOVATION PROJECT**

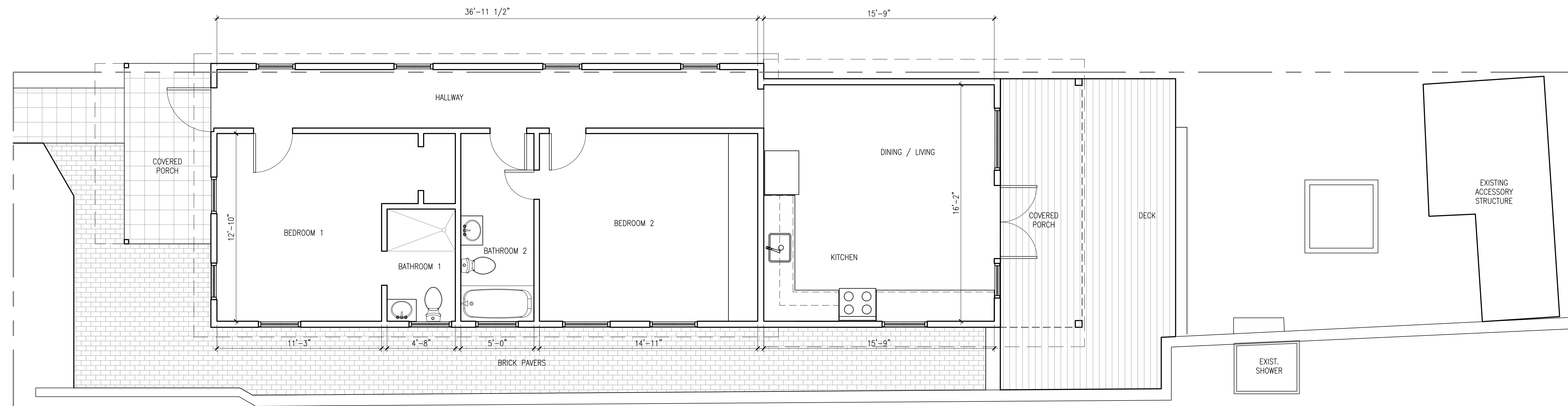
Drawing Size: 24x36  
 Project #: 15018

**SITE PLAN / SURVEY / SITE CALCS**

Sheet Number:  
**A-1.1**



**2** PROPOSED FIRST FLOOR PLAN - SITE PLAN  
 A2.1 SCALE: 1/4"=1'-0"



**1** EXISTING FIRST FLOOR PLAN - SITE PLAN  
 A2.1 SCALE: 1/4"=1'-0"

Seal:

Consultants:

Submissions / Revisions:  
 H.A.R.C. SUBMISSION - 2016.1.29  
 H.A.R.C. REV. 1 - 2016.6.1  
 H.A.R.C. REV. 2 - 2016.6.8  
 REV. 3 - 2016.6.20  
 REV. 4 - PLANNING - 2016.8.31  
 REV. 5 - PLANNING - 2016.11.9  
 H.A.R.C. REV. 3 - 2017.1.24

**1215 MARGARET STREET**  
 KEY WEST, FL  
**RESIDENTIAL RENOVATION PROJECT**

Drawing Size: 24x36 | Project #: 15018

Title:

**FIRST FLOOR / SITE PLAN**

SCALE: 1/4" = 1'-0"

Sheet Number:

**A-2.1**

Date: - JANUARY 24, 2017

©2017 by William Shepler Architect



Seal:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Consultants:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Submissions / Revisions:  
 H.A.R.C. SUBMISSION - 2016.1.29  
 H.A.R.C. REV. 1 - 2016.6.1  
 H.A.R.C. REV. 2 - 2016.6.8  
 REV. 3 - 2016.6.20  
 REV. 4 - PLANNING - 2016.8.31  
 REV. 5 - PLANNING - 2016.11.9  
 H.A.R.C. REV. 3 - 2017.1.24

**1215 MARGARET STREET**  
 KEY WEST, FL  
**RESIDENTIAL RENOVATION PROJECT**

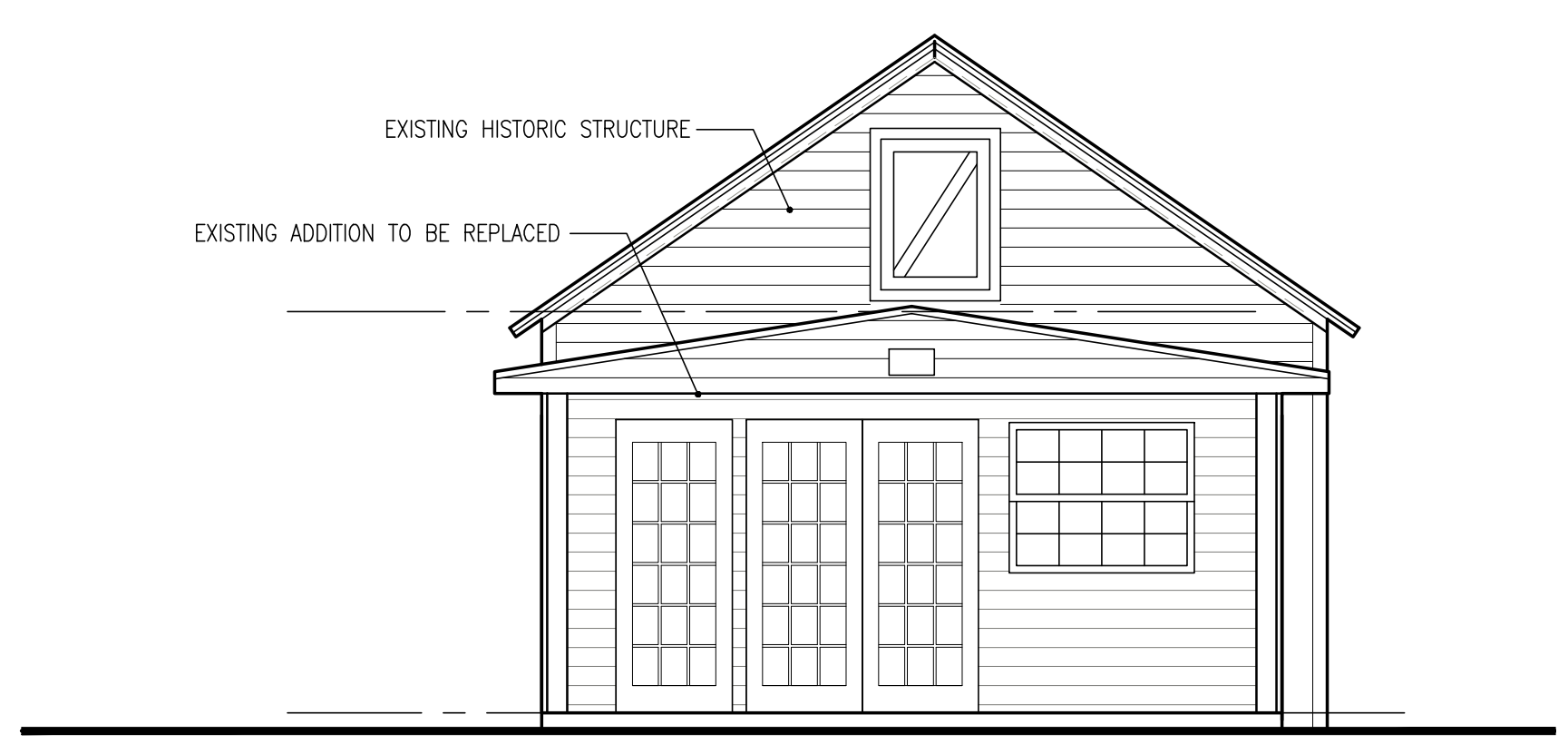
Drawing Size | Project #:  
 24x36 | 15018

Title:  
 \_\_\_\_\_

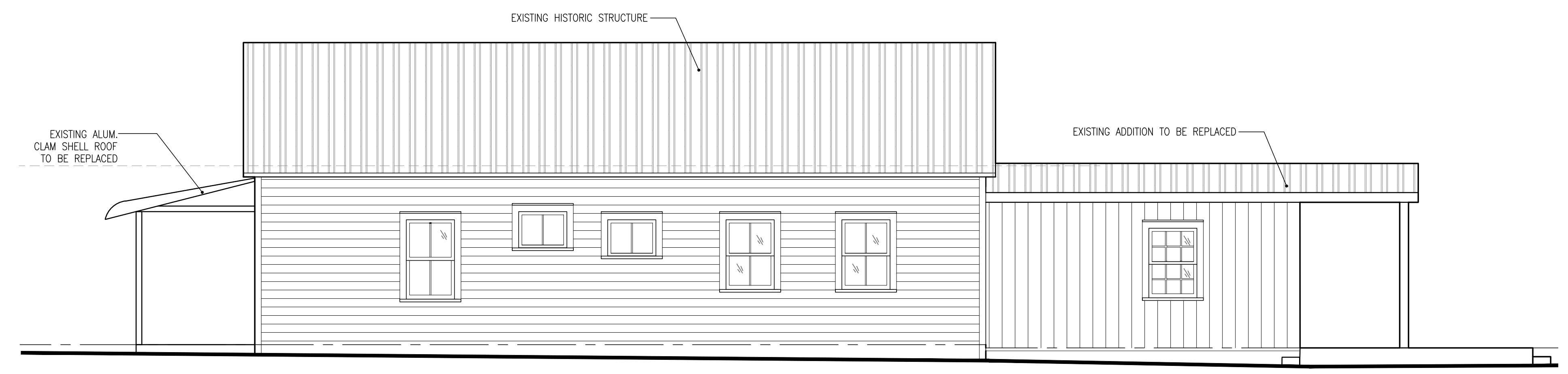
**EXISTING  
 ELEVATIONS**

Sheet Number:  
**AE-3.1**

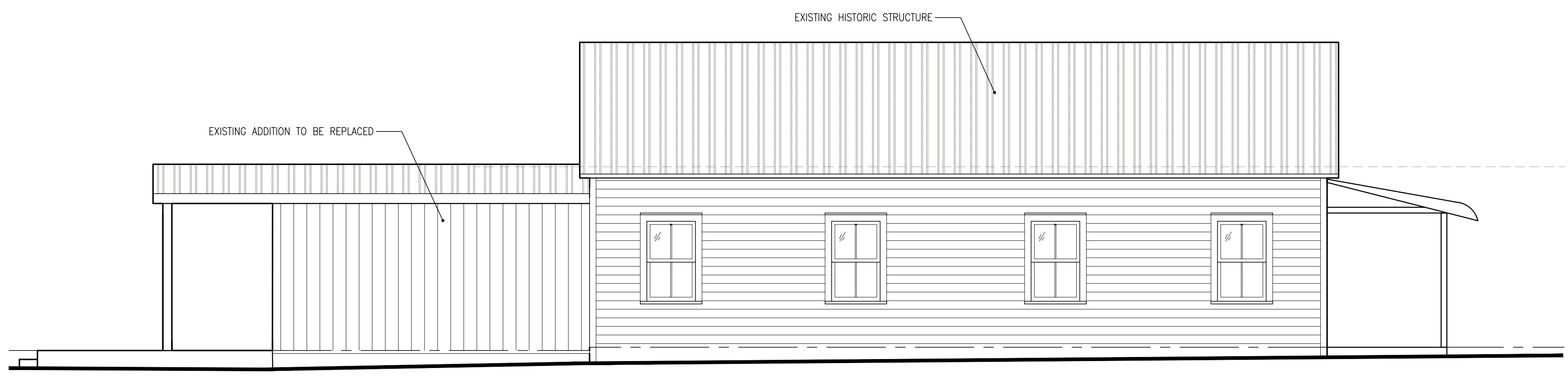
Date: - JANUARY 24, 2017  
 ©2017 by William Shepler Architect



**4 EAST ELEVATION**  
 AE3.1 SCALE: 1/4"=1'-0"



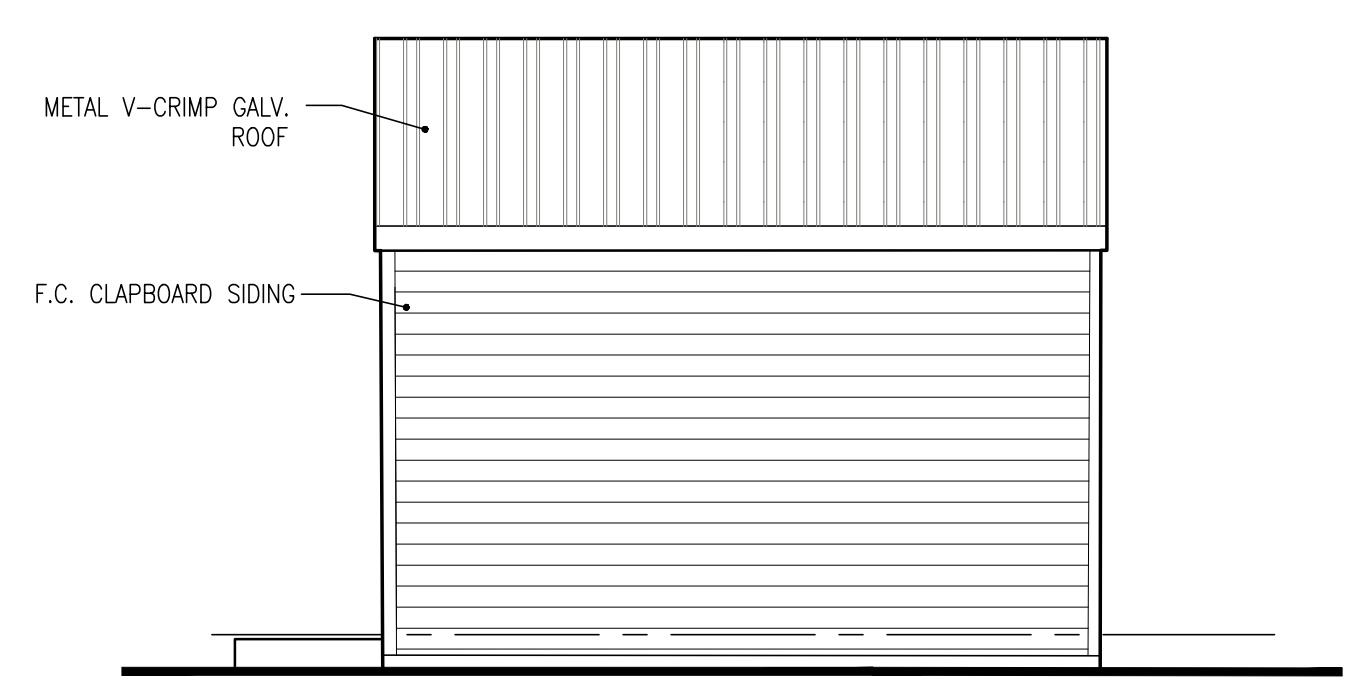
**3 SOUTH ELEVATION**  
 AE3.1 SCALE: 1/4"=1'-0"



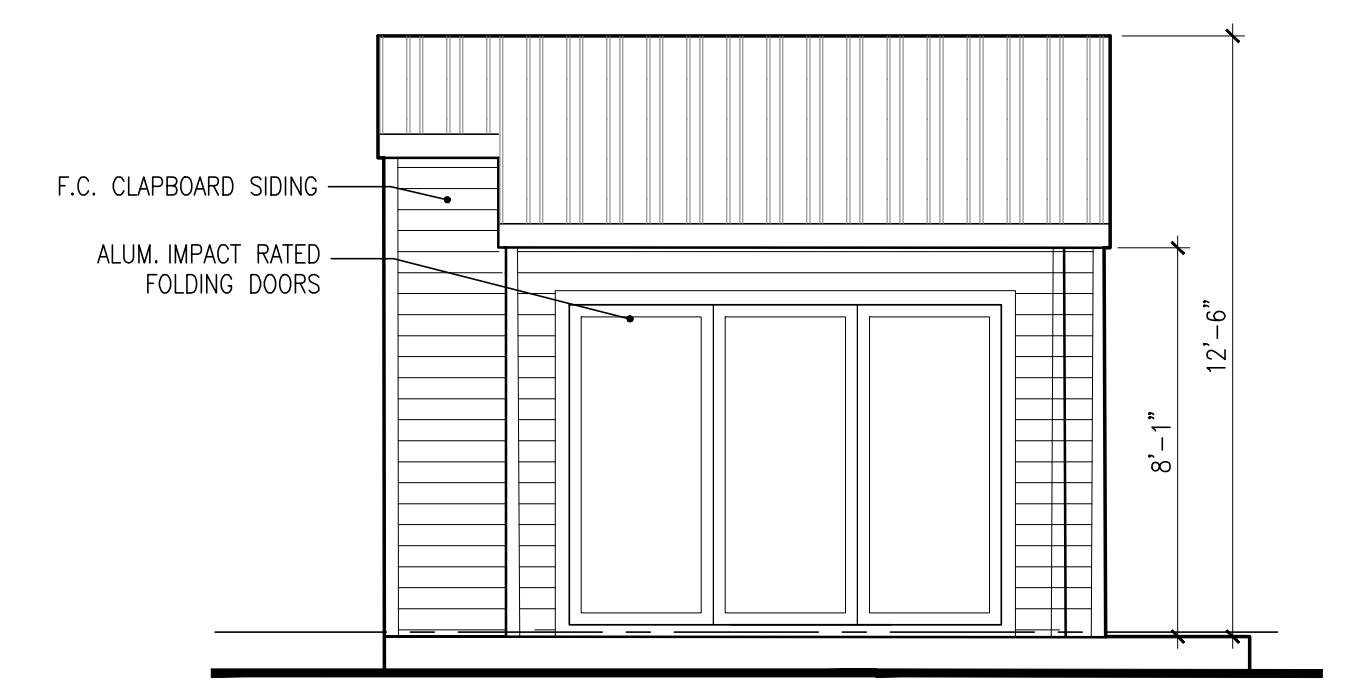
**2 NORTH ELEVATION**  
 AE3.1 SCALE: 1/4"=1'-0"



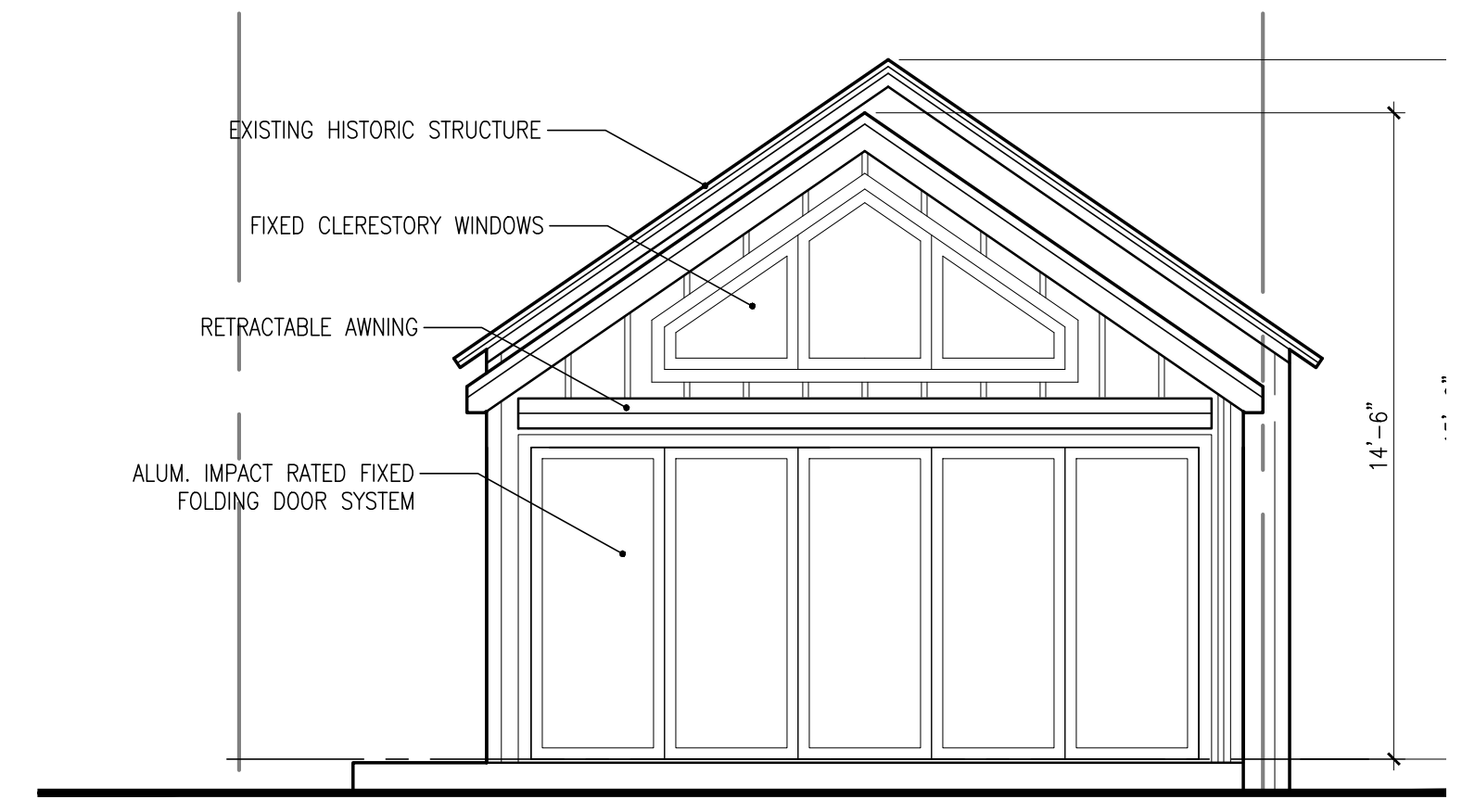
**1 WEST ELEVATION**  
 AE3.1 SCALE: 1/4"=1'-0"



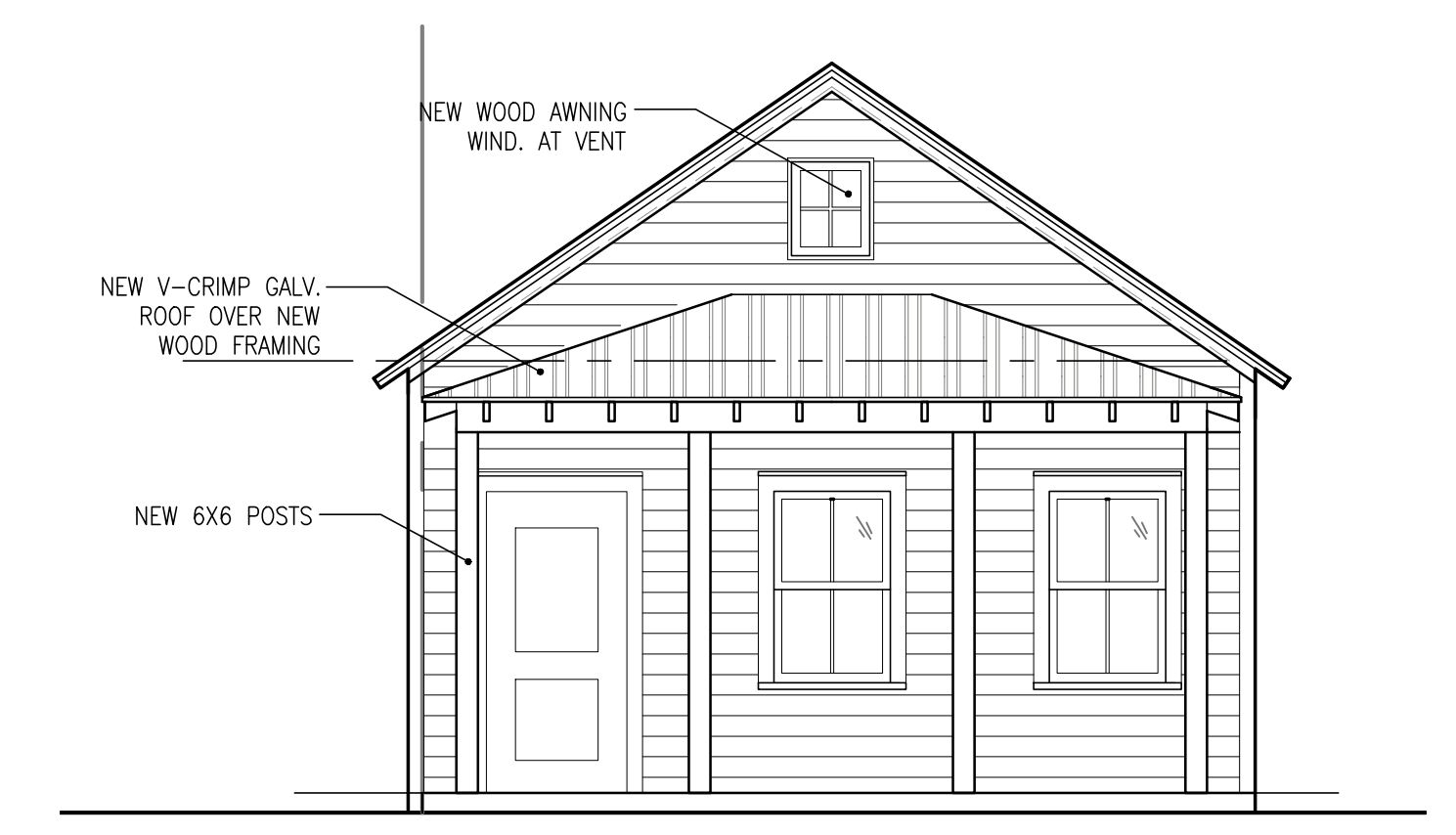
**6**  
 A3.1 **ACCESSORY STRUCT.- EAST EL**  
 SCALE: 1/4"=1'-0"



**5**  
 A3.1 **ACCESSORY STRUCT.- WEST EL**  
 SCALE: 1/4"=1'-0"



**4**  
 A3.1 **EAST ELEVATION**  
 SCALE: 1/4"=1'-0"



**3**  
 A3.1 **WEST ELEVATION**  
 SCALE: 1/4"=1'-0"



**2**  
 A3.1 **SOUTH ELEVATION**  
 SCALE: 1/4"=1'-0"



**1**  
 A3.1 **NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., February 28, 2017 at Key West City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW ONE-STORY ADDITION AT REAR. NEW ONE-STORY ACCESSORY STRUCTURE. NEW FRONT PORCH, POOL, AND SITE IMPROVEMENTS. DEMOLITION OF REAR ADDITION AND ACCESSORY STRUCTURE. REMOVAL OF EXISTING ALUMINUM CLAM SHELL ROOF AT FRONT.**

**FOR- #1215 MARGARET STREET**

**Applicant – William Shepler**

**Application #H16-03-0008**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# PROPERTY APPRAISER INFORMATION



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

## Property Record Card -

**Maps are now launching the new map application version.**

Alternate Key: 1030457 Parcel ID: 00029690-000000

### Ownership Details

**Mailing Address:**

REILLY DAVID AND ALEDA  
PO BOX 9  
BONDVILLE, VT 05340-0009

### Property Details

**PC Code:** 01 - SINGLE FAMILY

**Millage Group:** 10KW

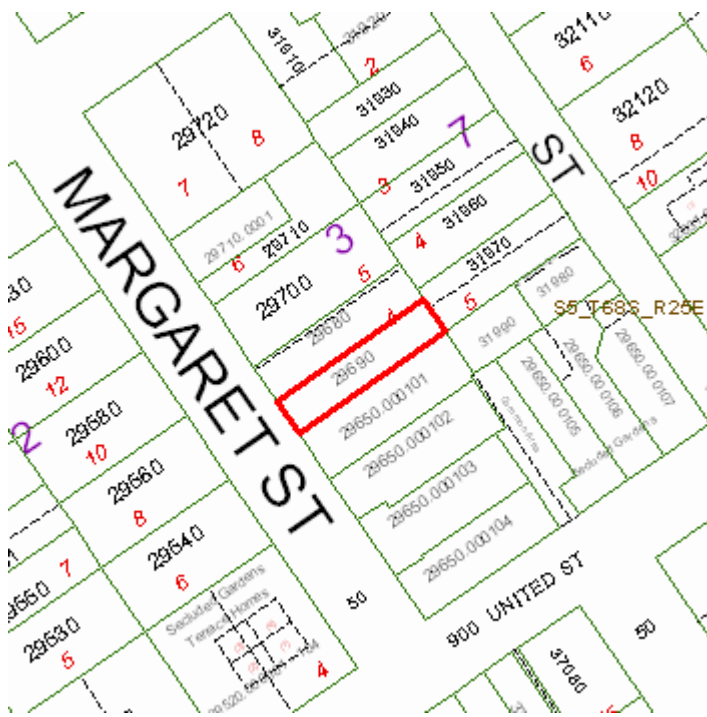
**Affordable Housing:** No

**Section-Township-Range:** 05-68-25

**Property Location:** 1215 MARGARET ST KEY WEST

**Legal Description:** KW PT LOT 4 SQR 3 TR 12 OR318-581/82 OR722-657 OR1400-1367/68 OR1584-1674 OR1632-849/850 OR1632-851/52 OR2733-658/59

Click Map Image to open interactive viewer





### Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	23	107	2,461.00 SF

### Building Summary

**Number of Buildings:** 1  
**Number of Commercial Buildings:** 0  
**Total Living Area:** 973  
**Year Built:** 1933

### Building 1 Details

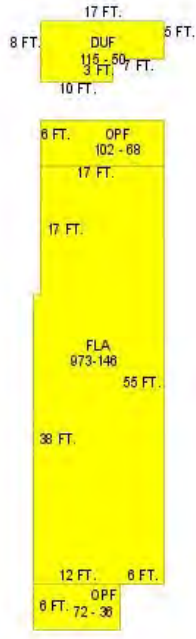
<b>Building Type</b> R1	<b>Condition</b> A	<b>Quality Grade</b> 450
<b>Effective Age</b> 13	<b>Perimeter</b> 146	<b>Depreciation %</b> 13
<b>Year Built</b> 1933	<b>Special Arch</b> 0	<b>Grnd Floor Area</b> 973
<b>Functional Obs</b> 0	<b>Economic Obs</b> 0	

**Inclusions:** R1 includes 1 3-fixture bath and 1 kitchen.

<b>Roof Type</b> GABLE/HIP	<b>Roof Cover</b> METAL	<b>Foundation</b> WD CONC PADS
<b>Heat 1</b> NONE	<b>Heat 2</b> NONE	<b>Bedrooms</b> 2
<b>Heat Src 1</b> NONE	<b>Heat Src 2</b> NONE	

**Extra Features:**

<b>2 Fix Bath</b> 0	<b>Vacuum</b> 0
<b>3 Fix Bath</b> 0	<b>Garbage Disposal</b> 0
<b>4 Fix Bath</b> 0	<b>Compactor</b> 0
<b>5 Fix Bath</b> 0	<b>Security</b> 1
<b>6 Fix Bath</b> 0	<b>Intercom</b> 0
<b>7 Fix Bath</b> 0	<b>Fireplaces</b> 0
<b>Extra Fix</b> 1	<b>Dishwasher</b> 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	<u>DUF</u>	1:WD FRAME	1	2001				115
1	<u>FLA</u>	12:ABOVE AVERAGE WOOD	1	1933	N N	0.00	0.00	973
2	<u>OPF</u>		1	1933				72
3	<u>OPF</u>		1	2005				102

**Misc Improvement Details**

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	WD2:WOOD DECK	162 SF	0	0	2006	2007	2	40
3	AC2:WALL AIR COND	2 UT	0	0	1981	1982	2	20
4	CL2:CH LINK FENCE	532 SF	4	133	1981	1982	1	30
5	PT3:PATIO	18 SF	0	0	1932	1933	2	50
6	PT5:TILE PATIO	32 SF	4	8	1989	1990	1	50
7	PT2:BRICK PATIO	240 SF	60	4	2006	2007	2	50

**Building Permits**

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	15-3553	10/23/2015	03/08/2016	10,525		REPLACE 7 WINDOWS AND ENTRY DOOR
1	9900661	02/25/1999	12/21/1999	300	Residential	PAINT HOUSE
2	01-3100	11/08/2000	10/19/2001	2,000	Residential	RESTORE STORAGE SHED



3	05-0276	02/08/2005	08/18/2006	1,000	Residential	REPLACE REAR WOOD DECK
4	06-0206	02/08/2005	08/18/2006	1,500	Residential	INSTALL BRICK WALKWAY 60' x 4'
5	06-0207	01/23/2006	08/18/2006	500	Residential	REPAINT METAL ROOF

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	117,912	5,122	394,040	517,074	517,074	0	517,074
2015	102,368	4,544	350,432	457,344	370,096	0	457,344
2014	90,290	2,832	243,329	336,451	336,451	0	336,451
2013	90,290	2,886	284,875	378,051	319,991	0	378,051
2012	92,870	2,944	195,087	290,901	290,901	0	290,901
2011	96,187	2,998	210,176	309,361	307,596	0	309,361
2010	97,523	3,052	179,058	279,633	279,633	0	279,633
2009	110,104	3,110	229,145	342,359	342,359	0	342,359
2008	103,791	3,163	333,032	439,986	439,986	0	439,986
2007	195,702	3,177	255,944	454,823	454,823	0	454,823
2006	329,251	1,399	196,880	527,530	527,530	0	527,530
2005	235,303	1,417	209,185	445,905	445,905	0	445,905
2004	185,745	1,435	152,582	339,762	339,762	0	339,762
2003	174,819	1,457	56,603	232,879	232,879	0	232,879
2002	123,806	1,474	56,603	181,883	181,883	0	181,883
2001	104,920	1,046	56,603	162,569	162,569	0	162,569
2000	96,476	1,928	41,837	140,241	140,241	0	140,241
1999	93,137	1,317	41,837	136,291	89,309	25,000	64,309
1998	76,656	1,100	41,837	119,593	87,903	25,000	62,903
1997	68,990	1,008	36,915	106,913	86,434	25,000	61,434
1996	49,826	737	36,915	87,479	83,917	25,000	58,917
1995	47,143	707	36,915	84,766	81,871	25,000	56,871
1994	42,161	643	36,915	79,719	79,719	25,000	54,719
1993	42,161	710	36,915	79,785	79,785	25,000	54,785
1992	42,161	778	36,915	79,854	79,854	25,000	54,854
1991	42,161	848	36,915	79,924	79,924	25,000	54,924
1990	44,902	914	25,225	71,041	71,041	25,000	46,041
1989	24,052	50	24,610	48,712	48,712	25,000	23,712
1988	20,955	50	19,688	40,693	40,693	25,000	15,693
1987	20,703	50	13,289	34,042	34,042	25,000	9,042
1986	20,816	50	13,289	34,155	34,155	25,000	9,155
1985	20,193	50	8,860	29,103	29,103	25,000	4,103
1984	18,846	50	8,860	27,756	27,756	25,000	2,756

<b>1983</b>	18,846	50	8,860	27,756	27,756	25,000	2,756
<b>1982</b>	19,219	50	7,678	26,947	26,947	5,000	21,947

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
<b>4/2/2015</b>	2733 / 658	578,000	<u>WD</u>	<u>02</u>
<b>4/27/2000</b>	1632 / 0851	190,000	<u>WD</u>	<u>Q</u>
<b>6/30/1999</b>	1584 / 1674	170,000	<u>WD</u>	<u>Q</u>
<b>2/1/1977</b>	722 / 657	28,000	00	<u>Q</u>

This page has been visited 230,481 times.

Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176