

Staff Report

8 **Repair existing second floor deck for unit A- #1025 Whitehead Street-
Whitehead Street Condominium Association (H11-01-1537)**

This staff report is for the review for a Certificate of Appropriateness for repairs of an existing second floor deck. According to the applicant a tenant broke one of the railings and fell to the ground. The house located at #1025 Whitehead Street is listed as a contributing resource in the surveys. The frame vernacular structure was built circa 1892. An existing deck on the second floor will be repaired. Staff did not find any HARC approvals or building permits for the construction of the existing second floor deck. Two Survey maps were found in the files; the survey map of 1995 does not show the deck but the 2004 survey map shows a second floor open balcony. Interestingly the 2004 Survey map shows a staircase, which is no longer in existence. The deck is visible from Whitehead Street. In 2004 the building became a condominium with 3 transient units and one non transient unit. The building is encroaching city's right-of-way on Virginia Street. The applicant included a copy of an appraisal that was done in 2007 and the second floor deck is depicted in one of the photos.

The proposed plans include the installation of three 6" by 6" posts that will serve as structural supports to the deck. The new posts will be encroaches the required 5 five feet side yard setback.

Guidelines that should be reviewed for this application;

Additions; alterations and new construction (pages 36-38);

- (1) *A structure shall not be altered and/or expanded in such a manner that its essential character defining features are disguised or concealed.*
- (2) *Additions and alterations may be reviewed more liberally on non-contributing buildings, which lack architectural distinction.*
- (3) *Addition design should be compatible with the characteristics of the original structure, neighboring buildings and streetscapes.*
- (4) *Additions should be constructed with a scale, height and mass that is appropriate to the original building and its neighbors.*
- (5) *Additions should be attached to less publicly visible secondary elevations of an historic structure.*
- (6) *Additions should not alter the balance and symmetry of an historic structure.*

(7) No existing structure shall be enlarged so that its proportions are out of scale with its surroundings.

The historic building is located in the HMDR zoning district which has the following zoning restrictions;

Front yard- 10 feet
Side yard- 5 feet
Street Side- 7.5 feet
Back yard- 15 feet
Maximum height- 30 feet

According to the 2004 Survey map the building has less than 5' setback from the side property line where the project is proposed.

It is staff's belief that the proposed design does not comply with the guidelines. The historic building has an attached second floor deck that is visible from the street that alters its balance and symmetry. The deck is not a means egress; there are no staircases connecting it to the ground. If approved this project will require variances since it proposes the expansion of a non conforming structure and will encroach the side yard setback.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**



APPLICATION # 11-01-1337

OWNER'S NAME: SUSAN STONE DATE: _____

OWNER'S ADDRESS: 1025 WHITEHEAD ST #A PHONE #: 305.407.0109

APPLICANT'S NAME: WHITEHEAD ST. CONDO. ASSOC. PHONE #: 508.951.5682

APPLICANT'S ADDRESS: 1025 WHITEHEAD ST

ADDRESS OF CONSTRUCTION: 1025 WHITEHEAD ST. (#A) # OF UNITS: 4

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:
REPAIR EXISTING DECK FOR UNIT #A

Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 11/15/11
Applicant's Signature: [Signature]

REQUIRED SUBMITTALS

<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TREE REMOVAL PERMIT (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
<input type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____ Denied _____ Deferred _____

Reason for Deferral or Denial:

HARC Comments:
listed as a contributing resource. frame vernacular
with c.1892. Guidelines for additions, alterations (p34-38)
Guidelines for decks.

Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____ Signature: _____

Historic Architectural
Review Commission

From: Susan Stone, President
Whitehead St Condominium Association.
1025 Whitehead St, Unit #1
Key West, FL 33040

To: Enid Torregrosa
HARC of Key West
3140 Flagler Ave
Key West, FL 33040

Re: Deck repair at 1025 Whitehead St. Unit #1

To Whom It May Concern:

I, Susan Stone, president of the Whitehead St Condo Assoc., do hereby acknowledge the Condominium Assoc.'s approval of the deck repair work to be done on this site, 1025 Whitehead St., Unit #1.

Respectfully,

Susan Stone



Date

12-1-2011



City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, SUSAN STONE as
Please Print Name of person with authority to execute documents on behalf of entity

PRESIDENT of WHITEHEAD ST. CONDO. ASSOC.
Name of office (President, Managing Member) Name of owner from deed

authorize CLARENCE PARCELL
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf on entity owner

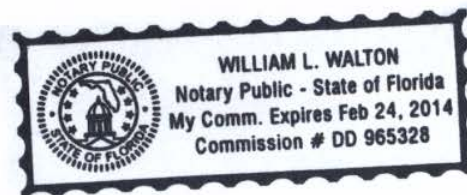
Subscribed and sworn to (or affirmed) before me on this 15th Nov 2011 by
date

William Walton
Name of Authorized Representative

He/She is personally known to me or has presented WVA DL 5990 74015 as identification.

[Signature]
Notary's Signature and Seal

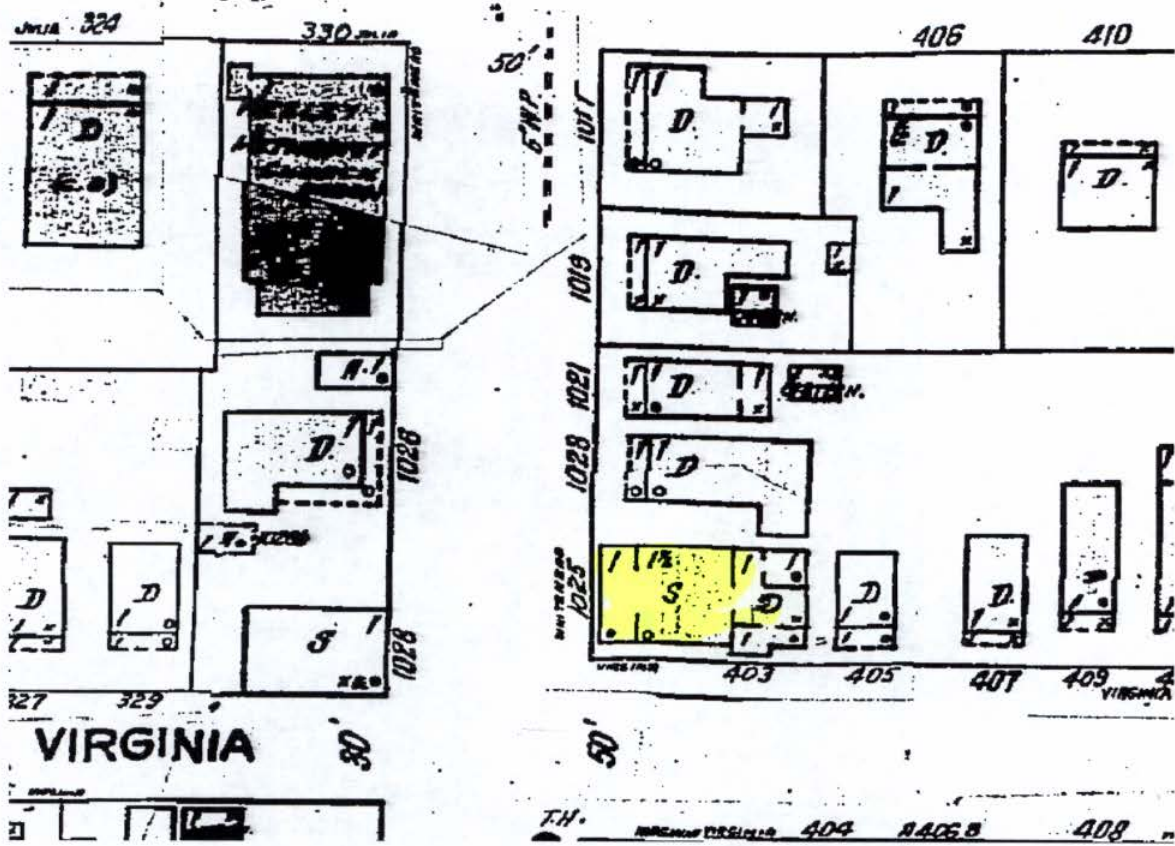
William Walton
Name of Acknowledger typed, printed or stamped



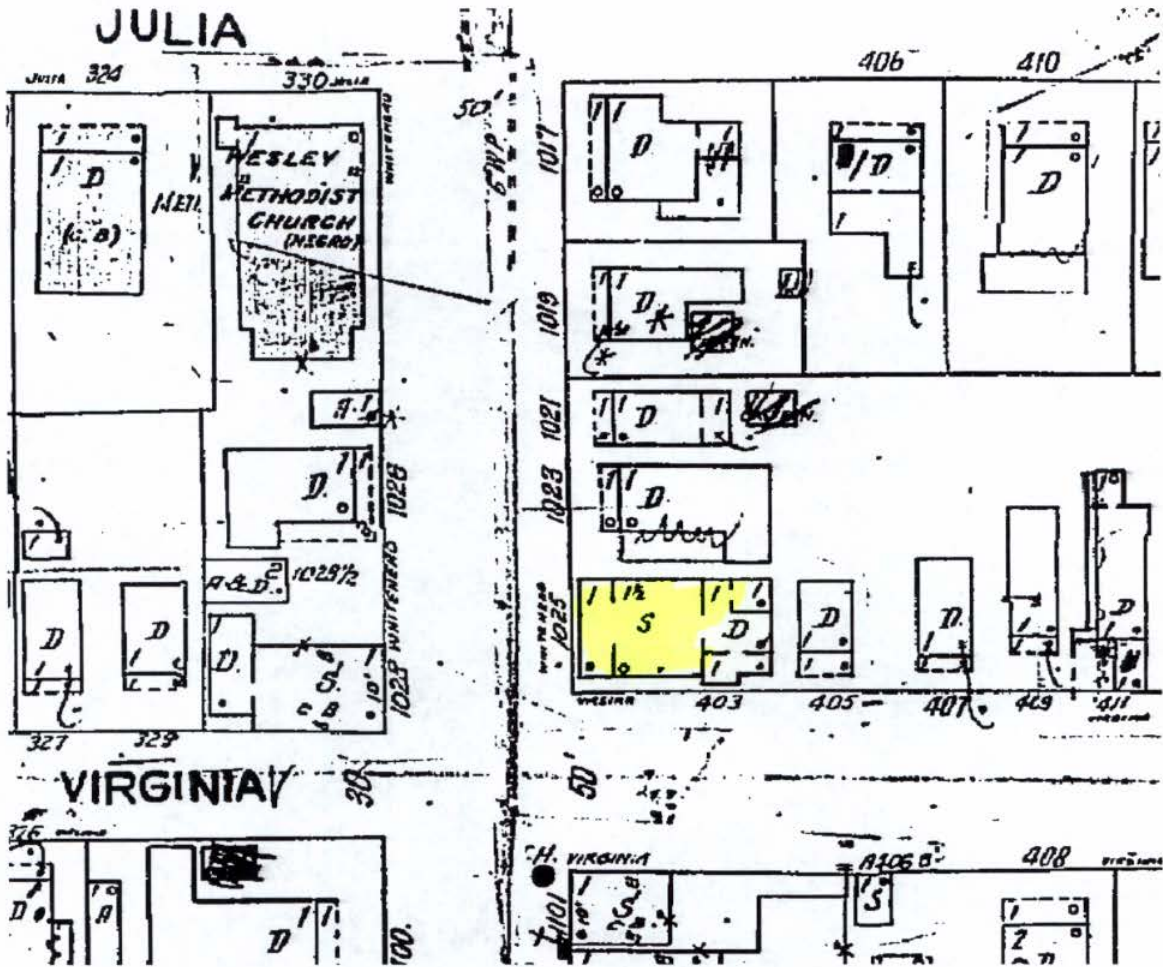
DD 965328
Commission Number, if any



Sanborn Maps



#1025 Whitehead Street 1948 Sanborn map copy



#1025 Whitehead Street 1962 Sanborn map copy

Project Photos



Photo taken by the Property Appraiser's office c1965; 1025 Whitehead St.; built c1892;
Monroe County Library



Google earth



Current Pictures
of Deck @ 1025 WHITEHEAD ST #A(1)





NOV 15 2011
KIMBERLY COOPER

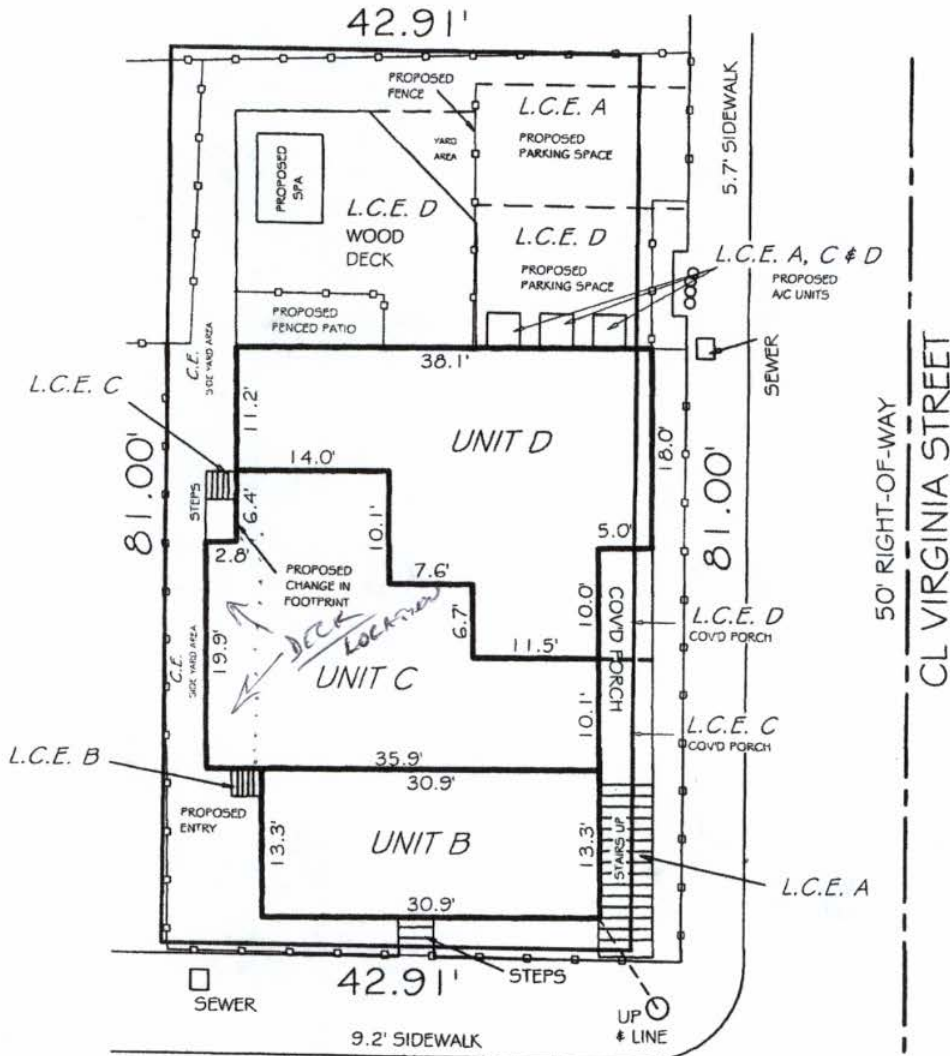


KEY WEST
FLA. DEPT.
NOV 15 2011

Survey

1025 WHITEHEAD STREET CONDOMINIUM ASSOCIATION, INC.

FIRST FLOOR PLAN



50' RIGHT-OF-WAY
CL WHITEHEAD STREET

Build to Order - Custom Design
As per approved C.C. 11

SCALE: NTS
DATE: 11/15/04
SHEET: 7 OF 11
DRAWN BY: KB
CHECKED BY: RR
INVOICE NO.: 4110402

R.E. REECE, P.A.
PROFESSIONAL SURVEYOR AND MAPPER

30364 QUAIL ROOST TRAIL, BIG PINE KEY, FL 33043
OFFICE (305) 872-1348
FAX (305) 872-5622

1025 WHITEHEAD STREET, KEY WEST FLORIDA 33040		CONDOMINIUM SURVEY	
4.	6/19/06	CHANGED L.C.E. PARKING DESIGNATION	KB
3.	3/28/06	CHANGED UNIT B LAYOUT	KB
2.	3/28/06	ADDED PROPOSED AC UNITS	KB
1.	3/28/06	REVISIONS TO LCE / CE DESIGNATIONS	KB
NO.	DATE	REVISION	BY

NORBY



& Associates, Inc.

Professional Land Surveyors

3104 Flagler Avenue

Key West, FL 33040

Thomas A. Norby, PLS

Reg. No. 5234

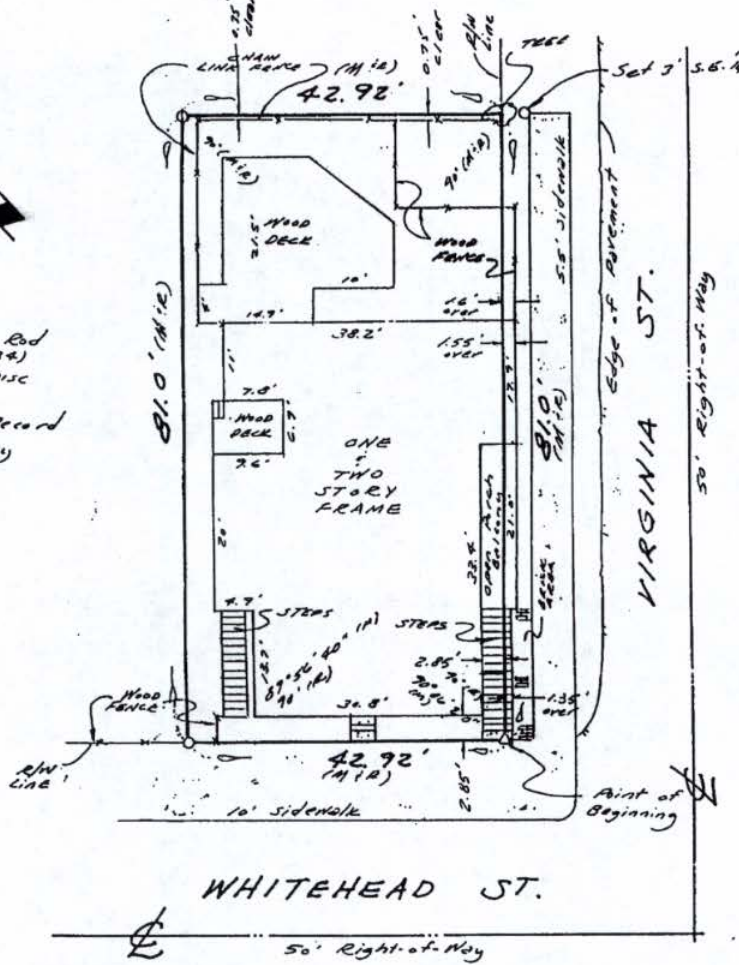
(305) 296-7422

FAX (305) 293-9924

Copy



- O - Set 1/2" Iron Rod w/cap (5234)
- D - Set Nail & Disc (5234)
- MIR - Measured & Record
- R/W - Right-of-Way
- C - Centerline



NOTES:

1. Flood Insurance Rate Map Zone: X; Community Panel #120168, 1716 G, dated 11-4-92.
2. Street address: 1025 Whitehead Street, Key West, FL 33040.
3. Underground foundations and utilities were not located.
4. Date of field work: April 25, 1995.

BOUNDARY SURVEY OF: A part of Tract Eleven (11) on the Island of Key West, Florida, according to William A. Whitehead's Map delineated in February, 1829, but now better known as part of Subdivisions Seven (7) and Eight (8) of Lot Four (4) in Square Three (3) of said Tract Eleven (11), according to Beverly B. Browne's diagram of said lands recorded in Book "J", Page 671 of the Public Records of Monroe County, Florida. Said land is more particularly described as follows: COMMENCING at the corner of Whitehead and Virginia Streets as the Point of Beginning, running thence along Virginia Street in a Northeasterly direction Eighty-one (81) feet; thence at right angles in a Northwesterly direction Forty-two (42) feet and Eleven (11) inches; thence at right angles in a Southwesterly direction Eighty-one (81) feet out to Whitehead Street; thence at right angles, along the line of Whitehead Street in a Southeasterly direction Forty-two (42) feet and Eleven (11) inches to the Point of Beginning.

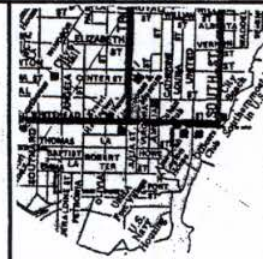
I HEREBY CERTIFY to: Orchid Fe Mira;
 Keys Federal Credit Union, its successors and/or assigns;
 Eric McCarthy; and
 Attorneys' Title Insurance Fund, Inc...

...that the survey delineated hereon meets or exceeds the minimum technical standards as set forth by the Florida Board of Land Surveyors, pursuant to Section 472.027 of the Florida Statutes, and Chapter 61G17 of the Florida Administrative Code, and that there are no encroachments, above ground, other than those shown hereon.

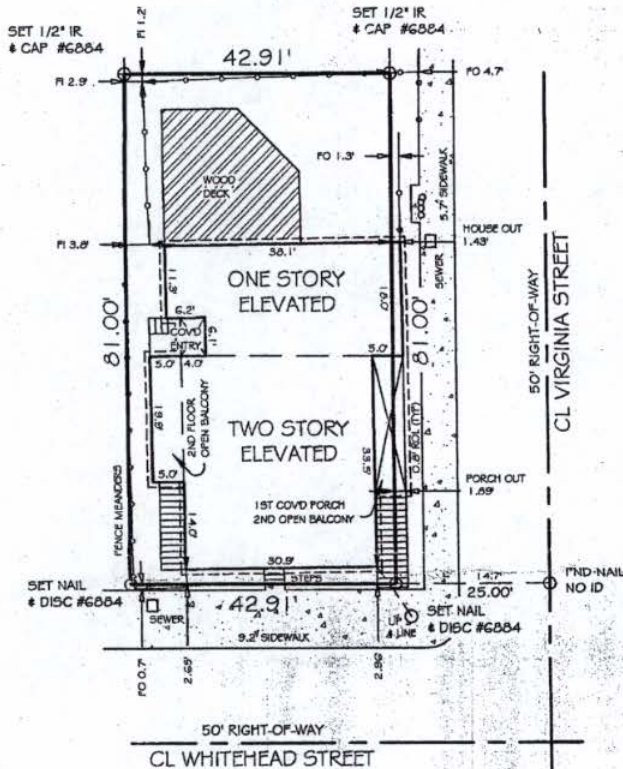
NORBY & ASSOCIATES, INC.

Thomas A. Norby
 Thomas A. Norby, PLS
 Florida Reg. #5234

MAP OF BOUNDARY SURVEY
PART OF TRACT 11
WILLIAM A. WHITEHEAD'S MAP
ON THE ISLAND OF KEY WEST



LOCATION MAP - N.T.S.



SCALE: 1" = 20'

BEARING BASE:
DERIVED FROM PLAT

ALL ANGLES DEPICTED
ARE 90 DEGREES UNLESS
OTHERWISE INDICATED

ADDRESS:
1025 WHITEHEAD STREET
KEY WEST, FL 33040.

VIEWED BY
Wm 7/19/04
I HEREBY AGREE TO COMPLY WITH ALL
ORDINANCES OF THE CITY OF KEY
WEST, ALL FEDERAL, STATE, AND
COUNTY LAWS WHETHER
THIS PLAT OR NOT.
Ch 2/0
#04-2326 DATE 7/18/04

REVIEWED
SUBJECT TO COMPLIANCE WITH
ALL APPLICABLE CODES AND
STANDARDS OF THE
KEY WEST BUILDING DEPT.

CERTIFIED TO -

JOSEPH GLENN and WENDY SULLIVAN-GLENN
FIRST STATE BANK OF THE FLORIDA KEYS, its successors and/or assigns
FIRST AMERICAN TITLE INSURANCE COMPANY

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/her REPRESENTATIVE,
PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY
OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE
OVERLAPS OR HIATUS.

FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR
DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

DELTA = CENTRAL ANGLE	IP = IRON PIPE	PC = POINT OF REVERSE CURVE
ASPH = ASPHALT	IR = IRON ROD	PRM = PERMANENT REFERENCE
A = ARC LENGTH	M&B = MEASURED	MONJ = MONUMENT
CL = CENTERLINE	NGVD = NATIONAL GEODETIC	FT = POINT OF TANGENT
CM = CONCRETE MONUMENT	VERTICAL DATUM (1929)	R = RADIALS
CONC = CONCRETE	NTS = NOT TO SCALE	RES = RESIDENCE
CRVD = CONCRETE	PC = POINT OF CURVE	ROV = ROOF OVERHANG LINE
DEMB = DRAINAGE EMBANKMENT	PCC = POINT OF COMPOUND CURVE	ROW = RIGHT OF WAY
EL = ELEVATION	PCP = PERMANENT CONTROL POINT	ROWL = RIGHT OF WAY LINE
ENCL = ENCLOSURE	PE = PIERCE SAUGH NAIL	TYP = TYPICAL
ENCR = ENCROACHMENT	PL = PROPERTY LINE	ULS = UTILITY ENGAGEMENT
EOP = EDGE OF PAVEMENT	POB = POINT OF BEGINNING	UP = UTILITY POLE
FF = FINISHED FLOOR	PI = POINT OF INTERSECTION	WM = WATER METER
FI = FENCE INSIDE	PCC = POINT OF COMMENCEMENT	
FO = FENCE		
FO = FENCE OUTSIDE		
FOL = FENCE ON LINE		

LEGAL DESCRIPTION -

A part of Tract Eleven (11) on the Island of Key West, Florida, according to William A. Whitehead's Map delineated in February 1829, but better known as part of Subdivision Seven (7) and Eight (8) of Lot Four (4) in Square Three (3) of said Tract Eleven (11), according to Beverly D. Browne's diagram of the said lands recorded in Book 17 Page 671, of the Public Records of Monroe County, Florida. Said land is more particularly described as follows:
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SCALE: 1" = 20'

FIELD WORK DATE: 01/05/04

REVISION DATE: --

SHEET 1 OF 1

DRAWN BY: KB

CHECKED BY: RR

INVOICE NO.: 3123006

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 3, SUBPARAGRAPH 1(B) (SETBACKS), 1(B)(5) (ENCROACHMENTS), & 1(B)(6) (ENGAGEMENTS). SCHEDULE 'B' HAS NOT BEEN PROVIDED.

SIGNED: *[Signature]*
ROBERT E. REECE, PSM #6882, PROFESSIONAL SURVEYOR AND MAPPER, ID #6884

NOT VALID WITHOUT THE SIGNATURE AND THE SEALED SEAL OF A FLORIDA SURVEYOR AND MAPPER.

R.E. REECE, P.A.
PROFESSIONAL SURVEYOR AND MAPPER
#5 SHIPS WAY, BIG PINE KEY, FL 33043
OFFICE (305) 872 - 1348
FAX (305) 872 - 5622

Miscellaneous Information

Barefoot Appraisal Company
615 United Street
Suite 2
Key West, FL 33040

June 8, 2007

Key West Bank
701 Whitehead Street
Key West, FL 33040

Re: Property: 1025 Whitehead Street #A
Key West, FL 33040
Borrower: Susan Stone
File No.: 16792X

A

In accordance with your request, we have appraised the above referenced property. The report of that appraisal is attached.


The purpose of this appraisal is to estimate the market value of the property described in this appraisal report, as improved, in unencumbered fee simple title of ownership.

This report is based on a physical analysis of the site and improvements, a locational analysis of the neighborhood and city, and an economic analysis of the market for properties such as the subject. The appraisal was developed and the report was prepared in accordance with the Uniform Standards of Professional Appraisal Practice.

The value conclusions reported are as of the effective date stated in the body of the report and contingent upon the certification and limiting conditions attached.

It has been a pleasure to assist you. Please do not hesitate to contact me or any of my staff if we can be of additional service to you.

Sincerely,


Vicki Gordon, MRA, CRA, AAR
State-Certified Residential Appraiser
RD2808

ATTACHED
PICTURE of DECK
FROM THIS 2007 APPRAISAL.



Subject Photo Page

Lender/Client	Key West Bank		
Property Address	1025 Whitehead Street #A		
City	Key West	County Monroe	State FL Zip Code 33040
Borrower	Susan Stone		



Subject Front

1025 Whitehead Street #A
 Sales Price 360,000
 Gross Living Area 831
 Total Rooms 4
 Total Bedrooms 1
 Total Bathrooms 1
 Location Old Town
 View Street
 Site
 Quality Frame/Good
 Age 1908 (99)



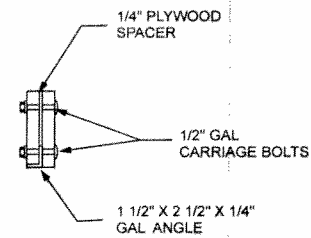
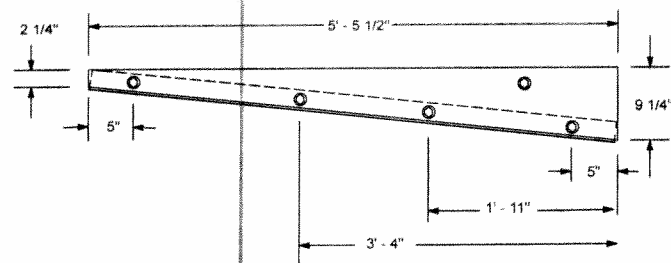
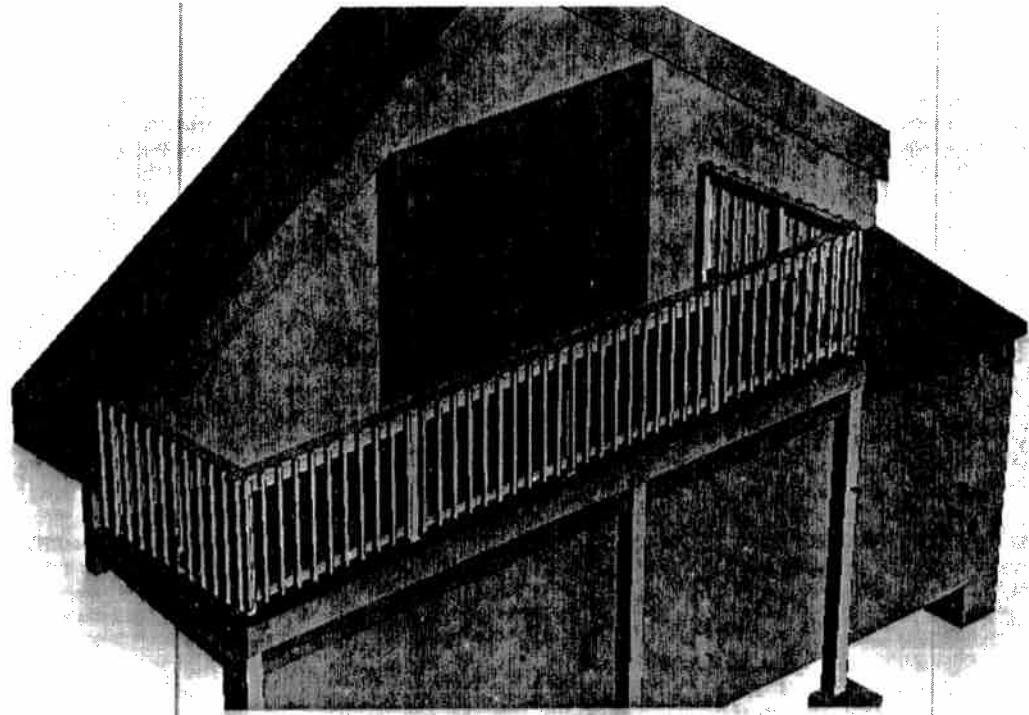
Subject Rear

2007 APPRAISAL



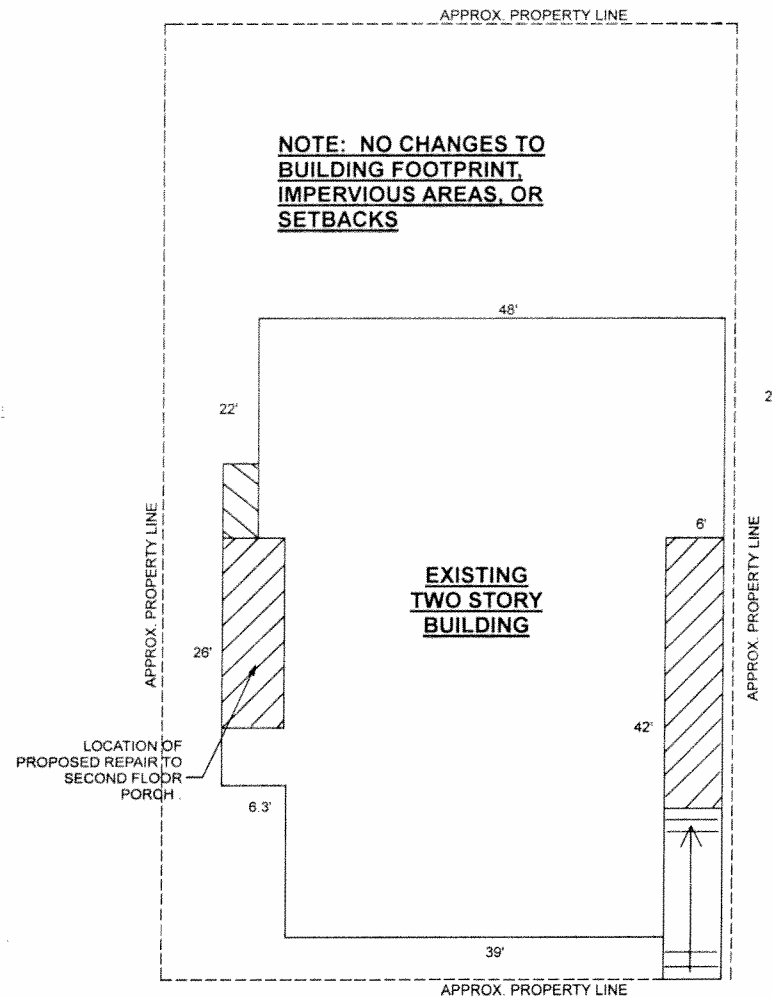
Subject Street

Site Plans

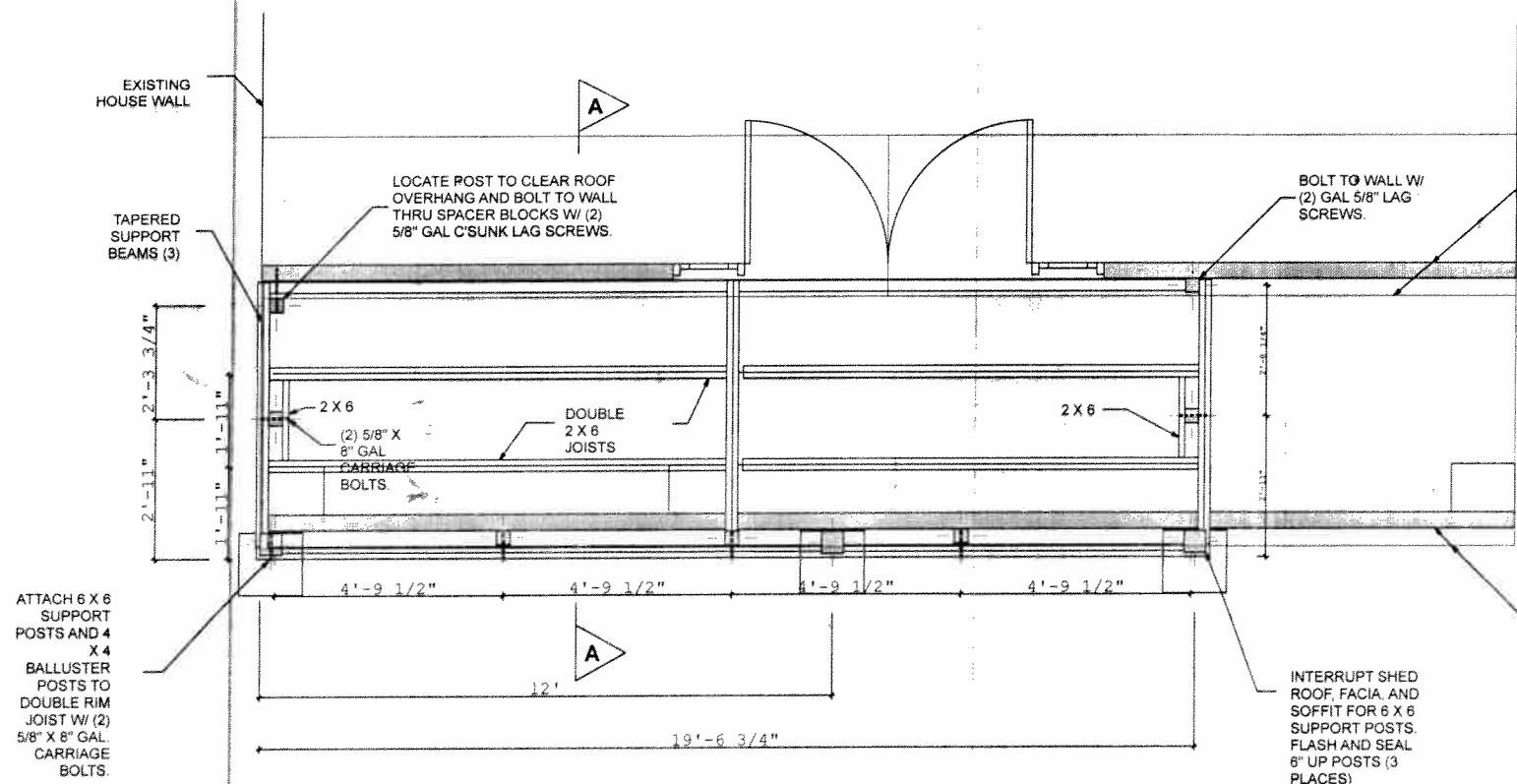


RIGHT VIEW
SCALE: 1" = 1'-0"

TAPERED CROSS SUPPORT
SCALE: 1" = 1'-0"



SITE PLAN
SCALE: 1" = 10'-0"



PORCH REPAIR PLAN VIEW
SCALE: 1/2" = 1'

COMPONENT AND CLADDING PRESSURES	
Roof Zone	Pressure (psf)
1	+20.1/-46.9
2	+20.1/-79.1
3	+20.1/-110.4

SITE DATA:

Address: 1025 Whitehead St., Key West, FL
 Legal: Unit A Whitehead St. Condominium
 OR2302-2021/2022
 Zone: HMDR
 No Change to Impervious Area, Building Coverage, Setbacks, Plumbing, Electrical.

DRAWING SCHEDULE:

C-1 Cover Sheet and Site Plan
 A-1 Building Elevation and Post Splice Details

DESIGN CRITERIA:

- FLORIDA BUILDING CODE 2007
- ASCE 7-05
- WIND SPEED PLUS 3 SEC GUST: 150 MPH
- FLOOR LIVE LOADS: 60 PSF



DATE	VER#	BY

DWG. SCALE:
1/4" UNLESS OTHERWISE NOTED.

WHITEHEAD PORCH REPAIR PROJECT
 1025 WHITEHEAD ST.
 KEY WEST, FL 33040

DAVID L. HEMMEL, PE NO. 59354
 P.O. BOX 4255
 KEY WEST, FL 33040

DWG. NAME:
COVER SHEET, SITE PLAN, PLAN VIEW, AND DETAILS.

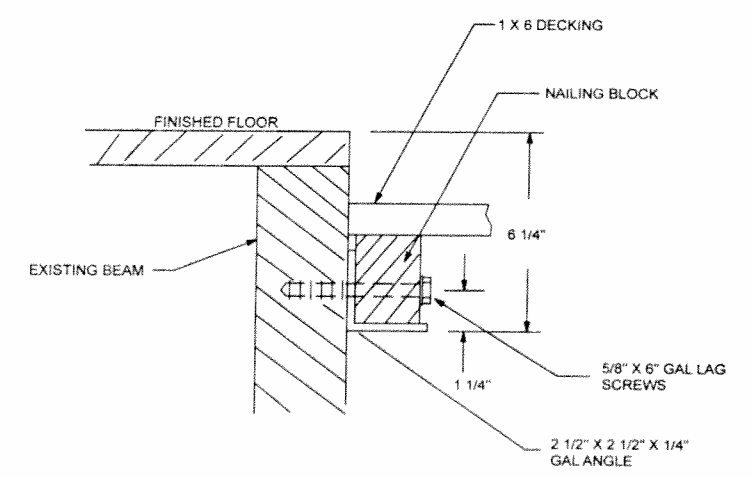
SHEET:

GENERAL NOTES

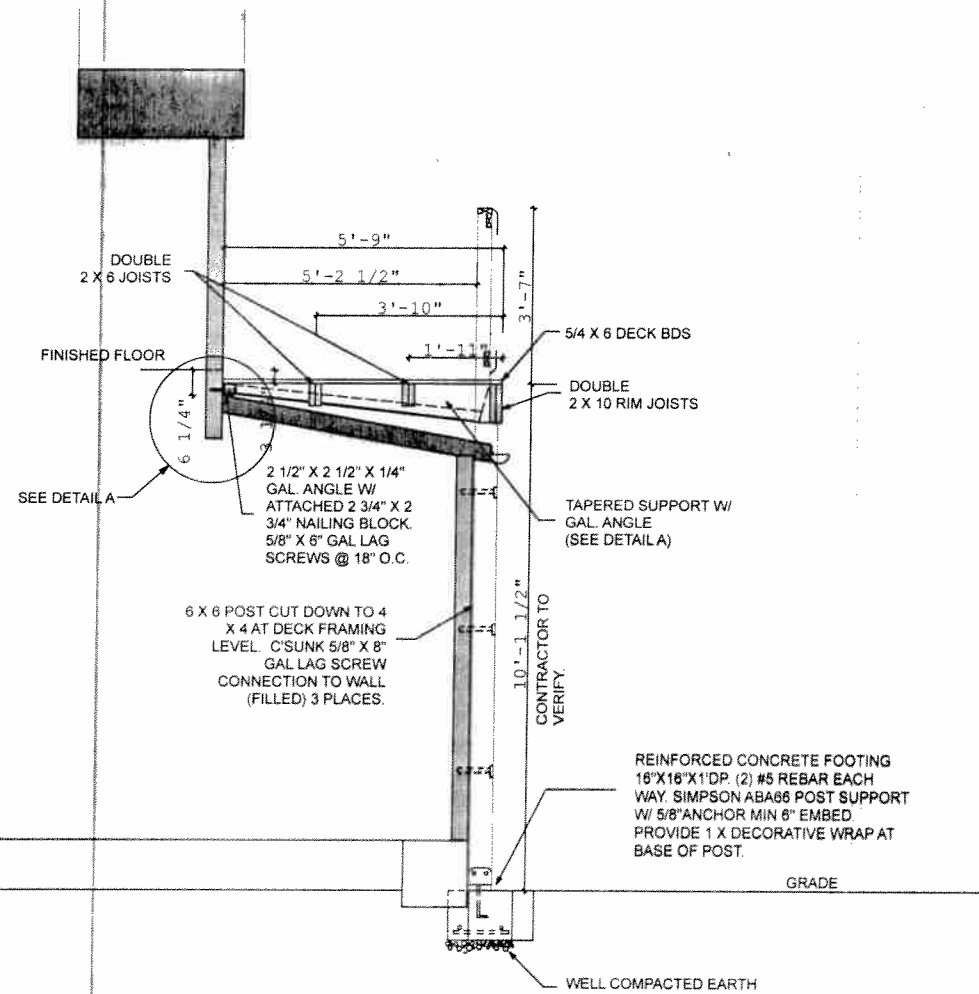
1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THESE PLANS AND REPORTING DISCREPANCIES TO THE OWNER AND DESIGNER.
 2. THE CONTRACTOR SHALL PERFORM ALL WORK IN AN EXPEDIOUS MANNER CONSISTENT WITH SAFETY AND ACCEPTED WORKMANSHIP STANDARDS.
 3. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND PERFORM ALL WORK CONSISTENT WITH FBC-07, LOCAL CODES, AND ALL OTHER APPLICABLE CODES.
 4. THE CONTRACTOR SHALL NOT SCALE DRAWING. ALL INFORMATION SHALL BE OBTAINED FROM ACTUAL DIMENSIONS, DETAILS, OR SCHEDULES.
- CONCRETE:**
5. CAST IN PLACE CONCRETE TO CONFORM WITH ACI318, ACI310, FBC-07 AND SHALL ATTAIN A MINIMUM 28 DAY ULTIMATE STRENGTH OF 3000 PSI.
 6. CONCRETE SHALL NOT BE MIXED IN PLACE IN HOLES.
- REINFORCING STEEL:**
7. ALL REINFORCING STEEL SHALL BE MIN GRADE 60, AST, A615.
 8. ALL REBAR SPLICES SHALL BE NO LESS THAN 36 BAR DIAMETERS LONG PER ACI.
 9. ALL TERMINATING TOP REINFORCING STEEL SHALL END WITH A HOOK.
 10. PLACEMENT AND SUPPORT OF REINFORCING STEEL SHALL FOLLOW CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS, INCLUDING 1983 SUPPLEMENT AND ACI315.
 11. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 OR A-497 AS APPLICABLE.
 12. CONCRETE COVER FOR REINFORCING BARS SHALL BE: 3" FOR CONCRETE PLACED IN CONTACT WITH GROUND, 2" FOR CONCRETE ABOVE GROUND BUT EXPOSED TO SALT SPRAY, 1 1/2" CONCRETE EXPOSED TO NORMAL WEATHER AND INTERIOR BEAMS, AND 3/4" CONCRETE INTERIOR SLABS AND WALLS.
 13. CONCRETE TIE BEAMS SHALL BE AS NOTED ON STRUCTURAL PLANS. TIE BEAMS SHALL BE SUPPORTED BY COLUMNS WITH A SPACING NO GREATER THAN 18" O.C. FLEXURAL MEMBER SPLICES FOR CONTINUOUS TOP BARS SHALL BE MADE AT OR NEAR THE MID-SPAN OF THE MEMBER. SPLICES FOR CONTINUOUS BOTTOM BARS SHALL BE MADE OVER THE SUPPORT. ALL EXTERIOR BEAM CORNERS TO HAVE MIN. (3) CORNER BARS, 24" X 24" (2) TOP AND (1) BOTTOM OUTSIDE.
 14. VERTICAL STEEL OF ALL COLUMNS SHALL BE CONTINUOUS FROM TOP TIE BEAM TO GRADE BEAM OR AUGERED PILE BELOW. REQUIRED SPLICES SHALL BE AT FLOOR LEVELS AND SHALL BE PER ACI, BUT NOT LESS THAN 24" MIN SPLICE FOR #5 AND #6 BARS. COLUMN STEEL SHALL BE ANCHORED INTO THE TIE BEAM ABOVE AND GRADE BEAM OR PILE BELOW (12" MIN FOR #5 AND #6 BARS OR USING STANDARD ACI HOOKS).
- LUMBER:**
5. ALL TIMBER CONSTRUCTION SHALL CONFORM TO LATEST, FB-1500 MINIMUM.
 6. ALL JOIST LUMBER SHALL BE EQUIVALENT TO SOUTHERN PINE #2 MIN WITH A MIN FIBER STRESS OF 1200 PSI.
 7. CONTRACTOR TO VERIFY CONDITION OF STRUCTURAL CONCRETE BEFORE INSTALLING ANY STRUCTURAL ANCHORS.
 8. FRAMING LUMBER SHALL CONFORM WITH THE PROVISIONS OF NDS-05 AND AF&PA-93. EACH PIECE SHALL BEAR THE GRADE STAMP OF AN APPROVED GRADING AGENCY.
 9. FRAMING LUMBER GRADES SHALL BE MIN. #2 SOUTHERN PINE OR EQUIVALENT STRENGTH.
 10. 2" SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS AND RAFTERS AT ALL SUPPORTS.
 11. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED OR OTHERWISE PROTECTED BY AN APPROVED SEPARATING MATERIAL.
 12. ALL FASTENERS, CLIPS, BOLTS, HANGERS IN CONTACT WITH TREATED LUMBER SHALL BE SIMPSON GALVANIZED Z-MAX OR EQUIVALENT OR 316 STAINLESS. STAINLESS AND GALVANIZED HARDWARE SHALL NOT BE ALLOWED TO BE IN CONTACT.

SPECIFIC NOTES

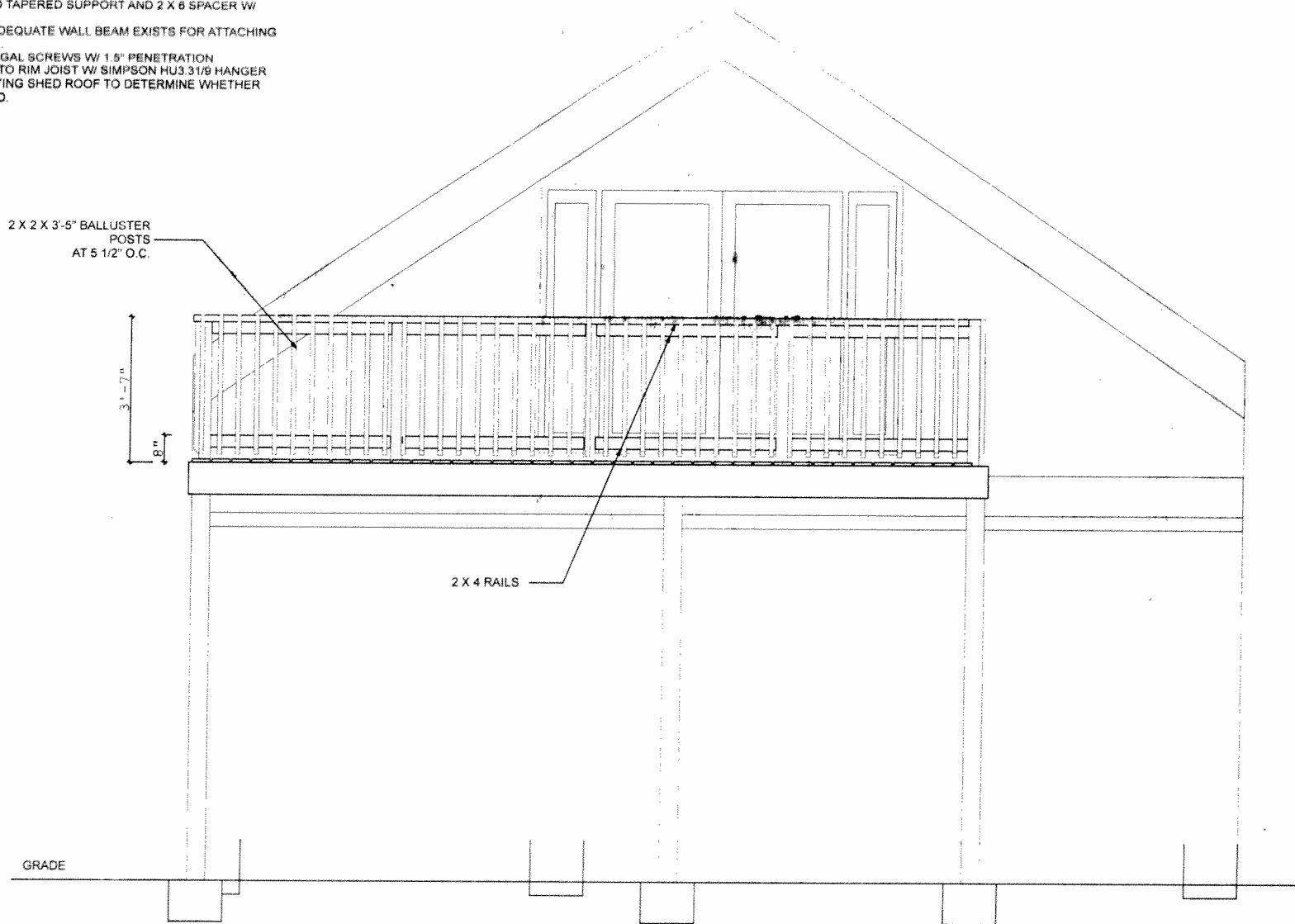
1. TRIM UPPER SECTIONS OF 6 X 6 POSTS TO FORM 4 X 4 BALLUSTER POSTS. BOLT THESE AND ADDITIONAL 4 X 4 BALLUSTER POSTS TO RIM JOISTS W/ (2) 5/8" GAL CARRIAGE BOLTS EACH.
2. CONNECT SIDE BALLUSTER POSTS TO TAPERED SUPPORT AND 2 X 6 SPACER W/ (2) 5/8" GAL CARRIAGE BOLTS.
3. CONTRACTOR TO DETERMINE THAT ADEQUATE WALL BEAM EXISTS FOR ATTACHING 2 1/2 X 2 1/2 ANGLE BRACKET TO WALL.
4. SECURE DECK BOARDS WITH C'SUNK GAL SCREWS W/ 1.5" PENETRATION.
5. ATTACH TAPERED CROSS SUPPORTS TO RIM JOIST W/ SIMPSON HU3 31/8 HANGER.
6. CONTRACTOR TO EVALUATE UNDERLYING SHED ROOF TO DETERMINE WHETHER REPAIR/REPLACEMENT IS WARRANTED.



DETAIL A
SCALE: 2" = 1'



CROSSSECTION A-A
SCALE: 1/2" = 1'



FRONT ELEVATION
SCALE: 1/2" = 1'

REVISION SCHEDULE

DATE	VER#	BY

David L. Hemmel
11-13-11

DWG. SCALE:
1/4" UNLESS OTHERWISE NOTED.

**WHITEHEAD PORCH
REPAIR PROJECT**
1025 WHITEHEAD ST.
KEY WEST, FL 33040

DAVID L. HEMMEL, PE NO. 59354
P.O. BOX 4255
KEY WEST, FL 33040

DWG. NAME:
FRONT ELEVATION
AND POST SPLICE
DETAILS

SHEET:



Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 6:00 p.m., December 14, 2011 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

REPAIR EXISTING SECOND FLOOR DECK FOR UNIT A
#1025 WHITEHEAD STREET

Applicants- Whitehead Street Condo Association-Application Number H11-01-1537

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at www.keywestcity.com .

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

Property Appraiser Information

Karl D. Borglum
Property Appraiser
Monroe County, Florida

office (305) 292-3420
fax (305) 292-3501
Website tested on
Internet Explorer

----- GIS Mapping requires Adobe Flash 10.3 or higher. -----

Property Record View

Alternate Key: 9083214 Parcel ID: 00027440-000101

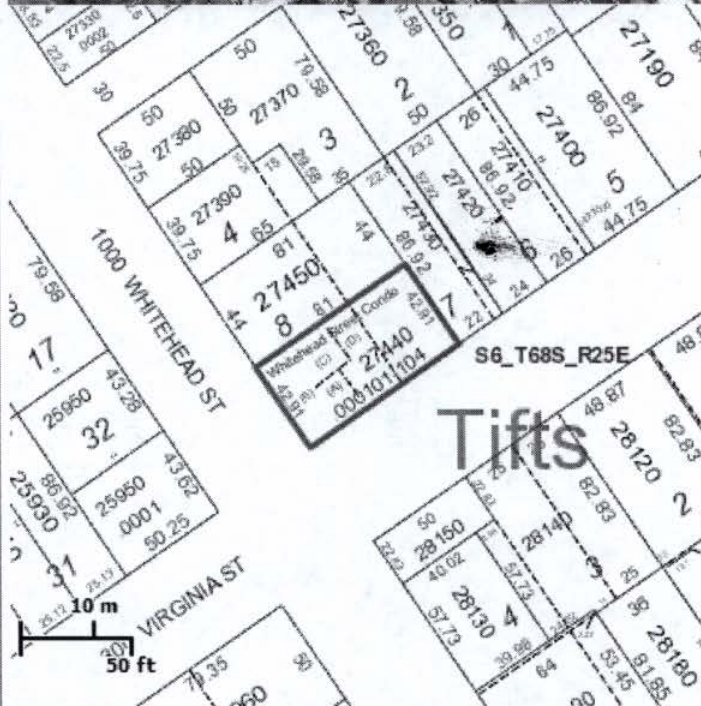
Ownership Details

Mailing Address:
STONE SUSAN C D
PO BOX 318
SIASCONSET, MA 02564-0318

Property Details

PC Code: 04 - CONDOMINIUM
Millage Group: 11KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 1025 WHITEHEAD ST UNIT: A KEY WEST
Legal Description: UNIT A WHITEHEAD STREET CONDOMINIUM OR2302-2021/2022

Parcel Map (Click to open dynamic parcel map)



Condominium Details

Condo Name: WHITEHEAD STREET CONDOMINIUM
 Footage: 795 Year Built: 1908

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount Description	Notes
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05-00000410	02/14/2005	15,000	INTERIOR ONLY, CONVERT TO CONDO, INSTALL NEW KITCHEN & BATH. INSTALL ONE HR. FIRE SHIELD BETWEEN UNITS
05-00000410	04/19/2005	17,000	RESET (3) EXISTING FIXTURES IN BATH AND (1) KITCHEN SINK
05-00002483	06/22/2005	2,000	AFTER THE FACT INTERIOR DEMOLITION AND STRIP WALLS OF DRYWALL
05-00004340	10/14/2005	2,000	RE-WIRE UNIT 420 SF TO COMPLY WITH CODE COMPLIANCE
05-00004345	10/14/2005	2,000	RE-ROUGH AND SET NEW BATHROOM & KITCHEN FIXTURES, TIE INTO EXISTING SEWER LINE
05-00004336	10/14/2005	14,000	INTERIOR RENOVATIONS: RELOCATE AND REPLACE WINDOWS AND DOORS*REPLACE SIDING AS NECESSARY*

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	217,830	0	0	217,830	217,830	0	217,830
2010	251,379	0	0	251,379	251,379	0	251,379
2009	314,224	0	0	314,224	314,224	0	314,224
2008	348,115	0	0	348,115	348,115	0	348,115
2007	457,125	0	0	457,125	457,125	0	457,125
2006	457,125	0	0	457,125	457,125	0	457,125
2005	322,982	0	32	323,014	323,014	0	323,014

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/19/2007	2302 / 2021	360,000	WD	Q

This page has been visited 7,755 times.

Monroe County Property Appraiser
 Karl D. Borlum
 P.O. Box 1176
 Key West, FL 33041-1176