

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members

From: Brendon Cunningham

Through: Donald Leland Craig, AICP, Planning Director

Meeting Date: February 28, 2013

Agenda Item: **After-the-fact Variance – 2413 Linda Avenue (RE# 00064180-000000)**
- A request for an after-the-fact variance to side-yard setback requirements for a shed in the SF zoning district per Section 122-238 (6) a. 2. of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Request: The applicant is requesting an after-the- fact variance to required side-yard setbacks to accommodate the reconstruction of an existing shed

Applicant: Beverly Jacobsen

Property Owner: Same

Location: 2413 Linda Avenue, RE# 00064180-000000

Zoning: Single Family (SF) Zoning District

Background:

The owner replaced an existing deteriorated storage shed in the same location with a new shed without benefit of a building permit. The previous shed was and is located within the required five-foot side-yard setback. The applicant worked with staff in both the Planning and Fire Departments as well as a neighbor to mitigate concerns about access around the shed for life safety

The table below provides site data calculations as proposed by the applicant:

Relevant SF District Dimensional Requirements: Section 122-238			
	Zoning Regulations	Existing Conditions	Proposed Changes
Side	5'	2.5'	No Change

Process:

Development Review Committee Meeting: January 24, 2013

Analysis – Evaluation for Compliance With The Land Development Regulations:

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

1. **Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The existing structure was nonconforming to the required 5 foot side-yard setback. Legally nonconforming site characteristics are not exceptional in the City, and therefore do not generate the existence of special conditions or circumstances.

2. **Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

The nonconforming aspects on the site were not created by the applicant. The existing building was legal non-conforming. However, the reconstruction was performed by the applicant without benefit of a permit. This condition was created by the applicant.

3. **Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

Allowing the new shed, as constructed, would confer special privileges upon the applicant.

4. **Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

The applicant is not deprived of rights commonly enjoyed by other properties without the variance approval. Therefore, hardship conditions do not exist.

5. **Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.**

The variance requested is the minimum variance that will make possible the continued use of the land, building, or structure. However, the applicant has reasonable use of the property without the new construction.

6. **Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

The granting of the variance does not appear to be injurious to the area involved or detrimental to the public interest.

7. **Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

Existing conforming or nonconforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

Concurrency Facilities and Other Utilities or Service (Section 108-233):

Based on comments received at the DRC, it does not appear that the requested variance will trigger any public facility capacity issues.

The Planning Board shall make factual findings regarding the following:

1. **That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.**

The standards established by Section 90-395 of the City Code have not been met by the applicant for the granting of a variance.

2. **That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

The applicant has been in contact with the adjacent property owners.

RECOMMENDATION:

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends the request for variance be **denied**. However, if the Planning Board approves this request, staff would like to require the following condition:

- Per the Fire Department's request, the 2.5' space between the shed and property line be clear of any obstruction; and
- Per the Building Department's request, install flood vents; and
- Remove all electrical except for one outlet and one light fixture.

Draft Resolution

**PLANNING BOARD
RESOLUTION No. 2013-**

**A RESOLUTION OF THE CITY OF KEY WEST
PLANNING BOARD FOR AN AFTER-THE-
FACT VARIANCE APPROVAL FOR SIDE-
YARD SETBACK REQUIREMENTS FOR A
SHED ON A PROPERTY LOCATED AT 2413
LINDA AVENUE (RE#00064180-000000) IN THE
SINGLE FAMILY RESIDENTIAL ZONING
DISTRICT, PER SECTION 122-238 (6) a. 2 OF
THE LAND DEVELOPMENT REGULATIONS
OF THE CODE OF ORDINANCES OF THE
CITY OF KEY WEST.**

WHEREAS, Section 122-238 (6) A. 2. of the Code of Ordinances provides that the minimum allowed side-yard setback shall be 5 feet; and

WHEREAS, the applicant requested a variance to the proposed to the side-yard setback; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on February 28, 2013; and

WHEREAS, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

_____ Chairman
_____ Planning Director

WHEREAS, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

WHEREAS, the Planning Board finds that granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

WHEREAS, the Planning Board finds that the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of any variance; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or making a reasonable attempt to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by those neighbors;

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. An approval by resolution of the Key West Planning Board for an after-the-fact variance per plans received December 26, 2012, on property located at 2413 Linda Avenue (RE# 00064180-000000) in the SF zoning district per Section 122-238 (6) a. 2. of the Land Development Regulations of the Code of Ordinances of the City of Key West with the following conditions:

- Per the Fire Department’s request, the 2.5’ space between the shed and property line be clear of any obstruction; and
- Per the Building Department’s request, install flood vents; and

_____ Chairman
_____ Planning Director

- Remove all electrical except for one outlet and one light fixture.

Section 3. It is a condition of this variance that full, complete, and final application for all conditions of this approval for any use and occupancy for which this variance is wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application or shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

Section 4. The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variance in accordance with the terms as described in Section 3 hereof, shall immediately operate to terminate this variance, which variance shall be of no force or effect.

Section 5. This variance does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 6. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

_____ Chairman
_____ Planning Director

Section 7. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 28th day of February, 2013.

Authenticated by the Chairman of the Planning Board and the Planning Director.

Richard Klitenick
Planning Board Chairman

_____ Date

_____ Chairman
_____ Planning Director

Attest:

Donald Leland Craig, AICP, Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

Draft

_____ Chairman
_____ Planning Director

Application

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Variance Application

Please completely fill out this application and attach all necessary documents. This will help our staff to process your request quickly and obtain necessary information without delay. If you have any questions please call 305-809-3720 to schedule an appointment with a Planner.

Please print or type a response to the following:

1. Site Address 2413 Linda Ave
2. Name of Applicant Beverly Jacobson
3. Applicant is: Owner Authorized Representative
4. Address of Applicant 2413 Linda Ave
5. Phone # of Applicant 305-360-2123 Mobile# 305-360-2123
6. E-Mail Address bevkevjaco@aol.com
7. Name of Owner, if different than above _____
8. Address of Owner 2413 Linda Ave
9. Phone # of Owner 305-360-2123
10. Email Address bevkevjaco@aol.com
11. Zoning District of Parcel SF RE# 00069180-000000
12. Description of Proposed Construction, Development, and Use
1-Story Wood Frame Shed - to store pool equipment and home goods that do not fit in house.
13. List and describe the specific variance(s) being requested:
Minimal intrusion to western set back of 2 1/2 feet.
Minimal intrusion to rear set back of 7ft. of the 25 feet.
- Shed Does it need rear set back?

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14. Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback	5'	2.5'	2.5'	2.5'
Side Setback				
Street Side Setback				
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats	—	—	—	—

15. Is Subject Property located within the Historic District? Yes _____ No
- If Yes, attach HARC approval and approved site plans

Meeting Date 2.28.13 HARC Approval # —



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16. Are there any easements, deed restrictions or other encumbrances attached to the subject property? Yes No If Yes, please describe and attach relevant documents
P. B. 3 - PG 49 - Electric Easement
At Rear - NA

17. Will the work be within the dripline (canopy) of any tree on or off the property?
YES NO
If yes, provide date of landscape approval, and attach a copy of such approval.

This application is pursuant to Section 106-51 & 52 City of Key West Land Development Regulations.

If the applicant would like additional information, electronic version of the City's Code of Ordinances can be found either through www.keywestcity.com, Planning Department archives or at www.municode.com. Once there, search Online Library/Florida/Key West/Chapter 122.

***Please note, variance approvals are quasi-judicial hearings, and it is improper for the owner or signatory to speak to a Planning Board member or City Commissioner about the hearing.**

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Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Given the landscaping on the property and the pool, the need for increased storage for household goods + yard, pool materials has increased and created a hardship for proper storage of chemicals + products

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The growth of landscaping + maintenance required have grown over time. This growth has led to a need for storage - along with the need for bicycle/household goods.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

This variance will allow for all products + equipment to be stored + used safely + properly for landscaping + pool maintenance - as well as household goods.

Variance Application
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4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Without an additional shed on site, we do not have storage for pool chemicals, gasoline for Mower, Mower, Weed eaters, saws, and other tools + equipment used to safely + properly maintain our home.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

The only variance for the shed is on Western side of 2.45 ft. the runoff from the roof will not impact the neighbor + has no impact on any permanent structure or housing unit.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

This shed would only impact the Goill's they have no problem or concern w/ the shed or its impact on their use or safety of their own property,

R. S. Goille - 305. 304- 4775

Variance Application
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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

This shed is specifically to be a storage unit w/ electric to allow for repairs + home repairs to be completed safely + in line w/ property use. The shed's primary use will be for storage for pool + yard equipment.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Good neighbor => Before begining to replace shed spoke w/ Rafi + Ellen. Discussed shed + their concerns visually. When shed is complete it will be painted Green + a vegetation "Fence" of Bougainvillea will be in place to provide minimal visual impact on their use of their property.

Verification

**City of Key West
Planning Department**



Verification Form
(Where Owner is the applicant)

I, Juan Clifford, being duly sworn, depose and say that I am the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

2413 Linda Avenue

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]
Signature of Owner

Subscribed and sworn to (or affirmed) before me on this 1/11/13 by _____ date

Juan Clifford
Name of Owner

He/She is ~~personally known to me~~ or has presented drivers license as identification.

[Signature]
Notary's Signature and Seal

Karen deBerjeois
Name of Acknowledger typed, printed or stamped

EE 842198
Commission Number, if any



**City of Key West
Planning Department**



Verification Form
(Where Owner is the applicant)

I, Beverly Jacobson, being duly sworn, depose and say that I am the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

2413 Linda Avenue

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

* [Signature]
Signature of Owner

Subscribed and sworn to (or affirmed) before me on this 12/26/12 by
date

Beverly Jacobson
Name of Owner

He/She is personally known to me or has presented Drivers License as identification.

[Signature]
Notary's Signature and Seal

Karen de Berjeois
Name of Acknowledger typed, printed or stamped



EE 842198
Commission Number, if any

Authorization

Deed

Prepared By and Return To:
Monica Hornyak
Keys Title and Abstract Company
631 Whitehead Street
Key West, Florida 33040

MONROE COUNTY
OFFICIAL RECORDS

FILE #1098895
BR#1551 PG#461

RCD Dec 16 1998 05:44PM
DANNY L KOLHAGE, CLERK

DEED DOC STAMPS 1400.00
12/16/1998 9 DEP CLR

Grantee Name and S.S. #:

Grantee Name and S.S. #:

63666

Space Above for Court House Use

This Indenture,

Wherever used herein, the term "party" shall include the heirs, personal representatives, successors and/or assigns of the respective parties hereto; the use of the singular number shall include the plural, and the plural the singular; the use of any gender shall include all genders; and if used, the term "note" shall include all the notes herein described if more than one

Made this 7TH day of December, 1998, 4 A.D.

Between

~~Sellers~~ Stanley H. Bueg and Carolyn Whitmore Bueg, his wife, party of the first part, and Kevin L. Jacobsen and Beverly J. Jacobsen, his wife
address is: 14065 ROUTE 108, HIGHLAND 20777
of the County of HOWARD, in the State of MD, party of the second part
~~buyers~~ address: 2413 Linda Avenue, Key West FL 33040

Witnesseth, that the said party of the first part, for and in consideration of the sum of Ten and No/100ths (\$10.00) Dollars, and other valuable and good consideration to him in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said party of the second part his heirs and assigns forever, the following described land, situate lying and being in the County of Monroe, State of Florida, to wit:

Lot Eleven (11), Block One (1), of Key Estates recorded in Plat Book 3, Page 49, Monroe County, Florida, Public Records.

Subject To: Taxes and assessments for the year 1999 and subsequent years.
Subject To: Limitations, conditions, restrictions and easements of record, if any.

Property Appraiser's Parcel Identification Number: 6418

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said party of the first part has hereunto set his hand and seal the day and the year above first written.

Signed, Sealed and Delivered in Our Presence:

1. Crazy Camalero
Witness
Tracy L. Famolaro
Printed Name

Stanley H Bueg
Stanley H. Bueg L.S.

1. Judith D Smith
Witness
Judith D Smith
Printed Name

Carolyn Whitmore Bueg
Carolyn Whitmore Bueg L.S.

itness _____ L.S.

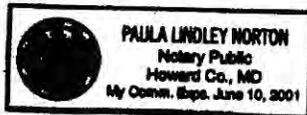
ted Name _____

ISS _____ L.S.

Name _____

State of MD
County of Howard

The foregoing instrument was acknowledged before me this 2th day of December, 1998, by Stanley H. Bueg and Carolyn Whitmore Bueg, his wife, who is personally known to me or who has produced Driver's License's as identification and who did (did not) take an oath.



Paula Lindley Norton
Signature

Paula Lindley Norton
Printed Name

NOTARY Public, Comm exp 6-10-2001
Title

Serial#, If Any

FILE #1098895
BK#1551 PG#462

**Warranty
Deed**

MONROE COUNTY
OFFICIAL RECORDS



January 23, 2012

Beverly J. Jacobsen
2413 Linda Avenue
Key West, FL 33040

Re: 2413 Linda Avenue, Key West, FL 33040

Dear Beverly:

Enclosed please find the **ORIGINAL** Quit Claim Deed recorded on December 20, 2011 in Official Records Book 2547 at Page 976 of the Public Records of Monroe County, FL, for your files.

Should you have any further questions or concerns, please don't hesitate to contact my office.

Sincerely,

A handwritten signature in black ink, appearing to be 'RMK', is written over the word 'Sincerely,'. The signature is fluid and cursive.

Richard M. Klitenick, Esq.
RMK/mp
Enclosures as stated

Doc# 1863198 12/20/2011 1:09PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

PREPARED BY AND RETURN TO:
RICHARD M. KLITENICK, ESQ.
RICHARD M. KLITENICK, P.A.
1009 SIMONTON STREET
KEY WEST, FL 33040
305-292-4101
RECORDING FEE: \$18.50
DOC STAMPS. \$0.70

12/20/2011 1:09PM
DEED DOC STAMP CL: DS

\$0.70

Doc# 1863198
Bk# 2547 Pg# 976

[Space above This Line for Recording Data]

QUIT CLAIM DEED

THIS DEED WAS PREPARED WITHOUT BENEFIT OF TITLE SEARCH OR ABSTRACT OF TITLE, SOLELY AT THE REQUEST OF THE PARTIES, AND PURSUANT TO THEIR REPRESENTATIONS ONLY. THE PREPARER HEREIN ACTS AS SCRIVENER ONLY AS AN ACCOMMODATION TO THE PARTIES AND AT THEIR REQUEST.

This QUIT CLAIM DEED is made on this 7th day of December, 2011, between KEVIN L. JACOBSEN and BEVERLY J. JACOBSEN, husband and wife, whose address is 2413 Linda Avenue, Key West, FL 33040 (hereinafter collectively referred to as "Grantor"), and BEVERLY J. JACOBSEN, a married woman, whose address is 2413 Linda Avenue, Key West, FL 33040 (hereinafter referred to as "Grantee"):

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said Grantor, *for and in consideration of execution of a marital settlement agreement in contemplation and consideration of a Final Judgment of Dissolution of Marriage*, to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said Grantee, and Grantee's heirs and assigns forever, all the right, title, interest, claim and demand which Grantor has in and to 2413 Linda Avenue, Key West, FL 33040, more particularly described as:

LOT ELEVEN (11), BLOCK ONE (1), OF KEY ESTATES RECORDED IN PLAT BOOK 3, PAGE 49, MONROE COUNTY, FLORIDA, PUBLIC RECORDS.

PARCEL ID NUMBER: 00064180-000000; ALTERNATE KEY ("AK") NUMBER: 1064581

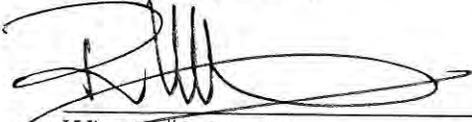
To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantor,

(Balance of page intentionally left blank)

either in law or equity, for the use, benefit and profit of the said Grantee forever.

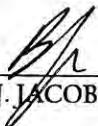
In Witness Whereof, the Grantors have hereunto set their hands and seals on the day and year first above written.

Signed, sealed and delivered in our presence:
(As to both signatures)


Witness # 1 signature
Print name RICHARD M. KLITENICK


KEVIN L. JACOBSEN


Witness # 2 signature
Print name NIKA STROBLE


BEVERLY J. JACOBSEN

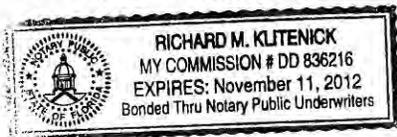
STATE OF FLORIDA
COUNTY OF MONROE

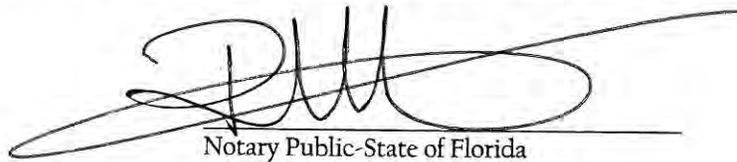
Doc# 1863198
Bk# 2547 Pg# 977

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgements, KEVIN L. JACOBSEN and BEVERLY J. JACOBSEN, who are personally known to me, or who produced N/A as identification, to be the same persons who are the Grantors described in the foregoing Quit-Claim Deed, and they acknowledged to me that they executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal at Key West, Monroe County, Florida on this 7th day of December, 2011.

(SEAL/STAMP)

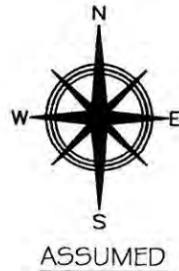



Notary Public-State of Florida
My commission expires: 11-11-2012

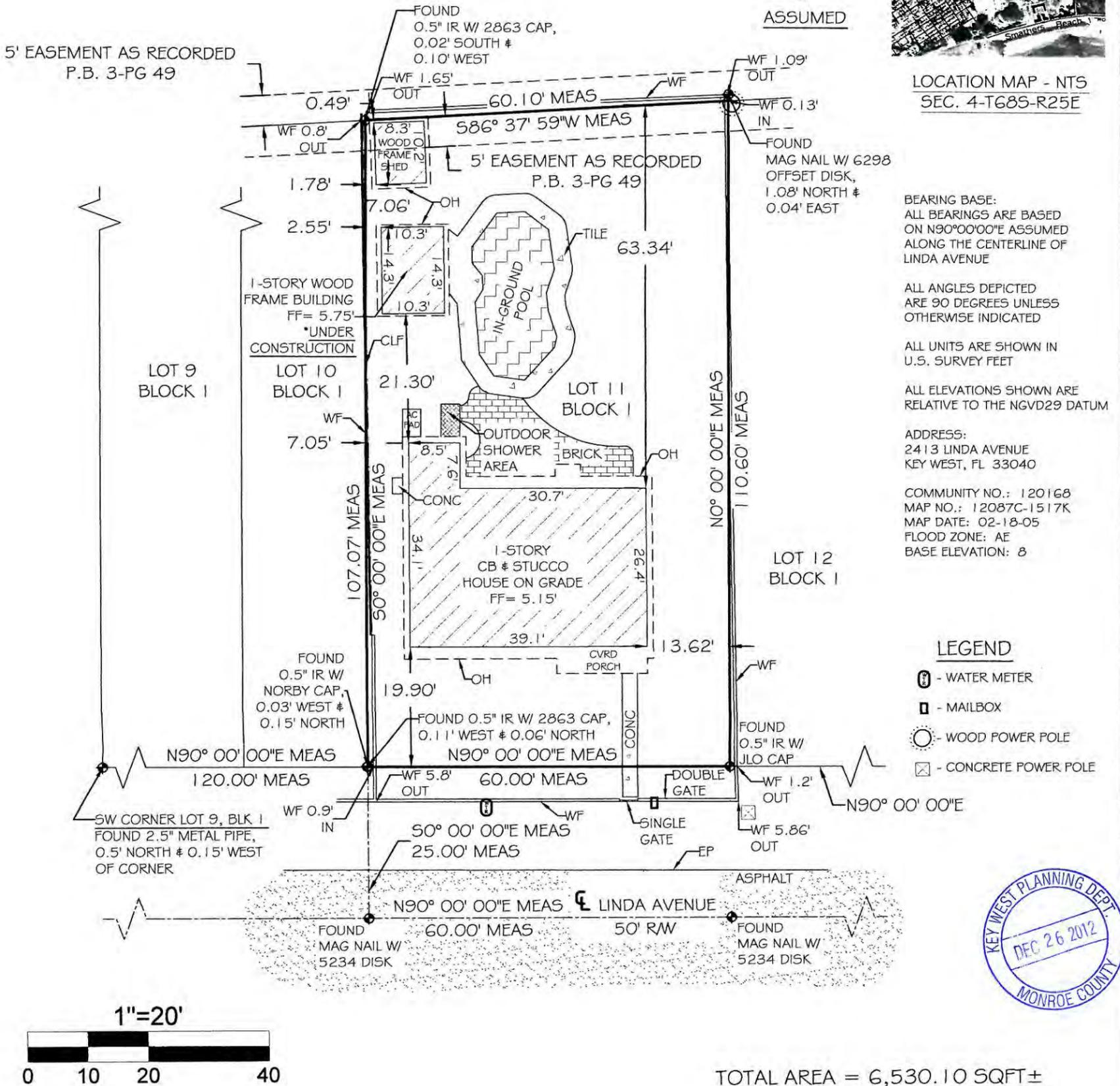
MONROE COUNTY
OFFICIAL RECORDS

Survey

MAP OF BOUNDARY SURVEY



LOCATION MAP - NTS
SEC. 4-T685-R25E



BEARING BASE:
ALL BEARINGS ARE BASED
ON N90°00'00"E ASSUMED
ALONG THE CENTERLINE OF
LINDA AVENUE

ALL ANGLES DEPICTED
ARE 90 DEGREES UNLESS
OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN
U.S. SURVEY FEET

ALL ELEVATIONS SHOWN ARE
RELATIVE TO THE NGVD29 DATUM

ADDRESS:
2413 LINDA AVENUE
KEY WEST, FL 33040

COMMUNITY NO.: 120168
MAP NO.: 12087C-1517K
MAP DATE: 02-18-05
FLOOD ZONE: AE
BASE ELEVATION: 8

LEGEND

- WATER METER
- MAILBOX
- WOOD POWER POLE
- CONCRETE POWER POLE



TOTAL AREA = 6,530.10 SQFT ±

LEGAL DESCRIPTION -

Lot Eleven (11), Block One (1), of KEY ESTATES Recorded in Plat Book 3,
Page 49, Monroe County, Florida, Public Records.

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL
PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.
THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- | | | |
|-----------------------------------|--|--------------------------------------|
| BFP = BACK-FLOW PREVENTER | GUY = GUY WIRE | POC = POINT OF COMMENCEMENT |
| BO = BLOW OUT | HB = HOSE BIB | PRC = POINT OF REVERSE CURVE |
| C & G = 2" CONCRETE CURB & GUTTER | IP = IRON PIPE | PRM = PERMANENT REFERENCE MONUMENT |
| CB = CONCRETE BLOCK | IR = IRON ROD | PT = POINT OF TANGENT |
| CBW = CONCRETE BLOCK WALL | L = ARC LENGTH | R = RADIUS |
| CL = CENTERLINE | LS = LANDSCAPING | RAW = RIGHT OF WAY LINE |
| CLF = CHAINLINK FENCE | MB = MAILBOX | SSCO = SANITARY SEWER CLEAN-OUT |
| CM = CONCRETE MONUMENT | MEAS = MEASURED | SW = SIDE WALK |
| CONC = CONCRETE | MF = METAL FENCE | TBM = TEMPORARY BENCHMARK |
| CPP = CONCRETE POWER POLE | MHWL = MEAN HIGH WATER LINE | TOB = TOP OF BANK |
| CVRD = COVERED | NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929) | TO5 = TOE OF SLOPE |
| DELTA = CENTRAL ANGLE | NTS = NOT TO SCALE | TS = TRAFFIC SIGN |
| DEASE = DRAINAGE EASEMENT | OH = ROOF OVERHANG | TYP = TYPICAL |
| EL = ELEVATION | OHW = OVERHEAD WIRES | UR = UNREADABLE |
| ENCL = ENCLOSURE | PC = POINT OF CURVE | UE = UTILITY EASEMENT |
| EP = EDGE OF PAVEMENT | PM = PARKING METER | WD = WOOD DECK |
| FF = FINISHED FLOOR ELEVATION | PCC = POINT OF COMPOUND CURVE | WF = WOOD FENCE |
| FH = FIRE HYDRANT | PCF = PERMANENT CONTROL POINT | WL = WOOD LANDING |
| FI = FENCE INSIDE | PK = PARKER KALON NAIL | WM = WATER METER |
| FND = FOUND | POB = POINT OF BEGINNING | WPP = WOOD POWER POLE |
| FO = FENCE OUTSIDE | PI = POINT OF INTERSECTION | WRACK LINE = LINE OF DEBRIS ON SHORE |
| FOL = FENCE ON LINE | | WV = WATER VALVE |

CERTIFIED TO -

Beverly Jacobsen

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY, THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE	10/26/2012
REVISION DATE	XX/XX/XXXX
SHEET	1 OF 1
DRAWN BY:	EAI
CHECKED BY:	-----
INVOICE NO.:	-----

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

SIGNED
ERIC A. ISAACS, PSM #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER



FLORIDA KEYS LAND SURVEYING

19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
FAX: (305) 509-7373
EMAIL: FKL5email@Gmail.com

Site Plans

VARIANCE APPLICATION

NEW SHED CONSTRUCTION

2413 LINDA AVENUE
KEY WEST, FLORIDA

DECEMBER, 2012

ANNALISE MANNIX
ENGINEERING
AND CONSULTING, LLC
3739 Paula Avenue
Key West, Florida 33040

Tel: 305-797-0463
Email: amannix@aol.com
FLORIDA REG. P.E. #57533

Seal:

LICENSE EXPIRES
FEBRUARY 28, 2013

Revisions:

VARIANCE APPLICATION
NEW SHED CONSTRUCTION
2413 Linda Avenue
Key West, Florida

Index of Drawings

- A1 SURVEY, LOCATION MAP AND SPECIFICATIONS
- A2 ELEVATIONS AND FLOOR PLAN

Prepared By

ANNALISE MANNIX. P.E.
3739 Paula Avenue
Key West, Florida 33040

305-797-0463
FLORIDA REG. P.E. #57533



I HEREBY CERTIFY THAT THE PORTION OF THIS
TECHNICAL SUBMISSION DESCRIBED BELOW WAS
PREPARED BY ME OR UNDER MY DIRECT PERSONAL
SUPERVISION.
I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF
THE STATE OF FLORIDA.

SIGNATURE: _____

NAME: ANNALISE MANNIX

DATE: _____

LICENSE RENEWAL DATE: 02/28/2013

PAGES OR DIVISIONS COVERED BY THIS CERTIFICATION:

CS, A1, A2

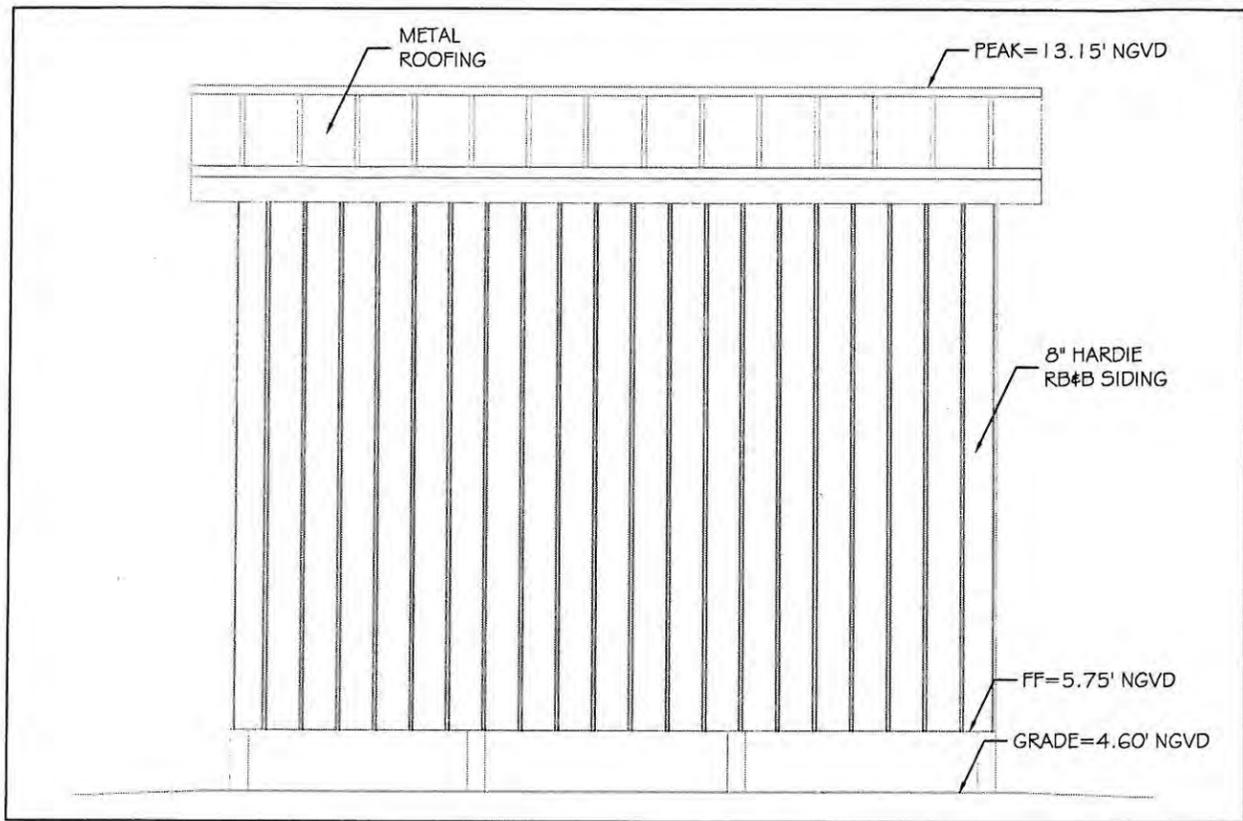
Title:

COVER SHEET

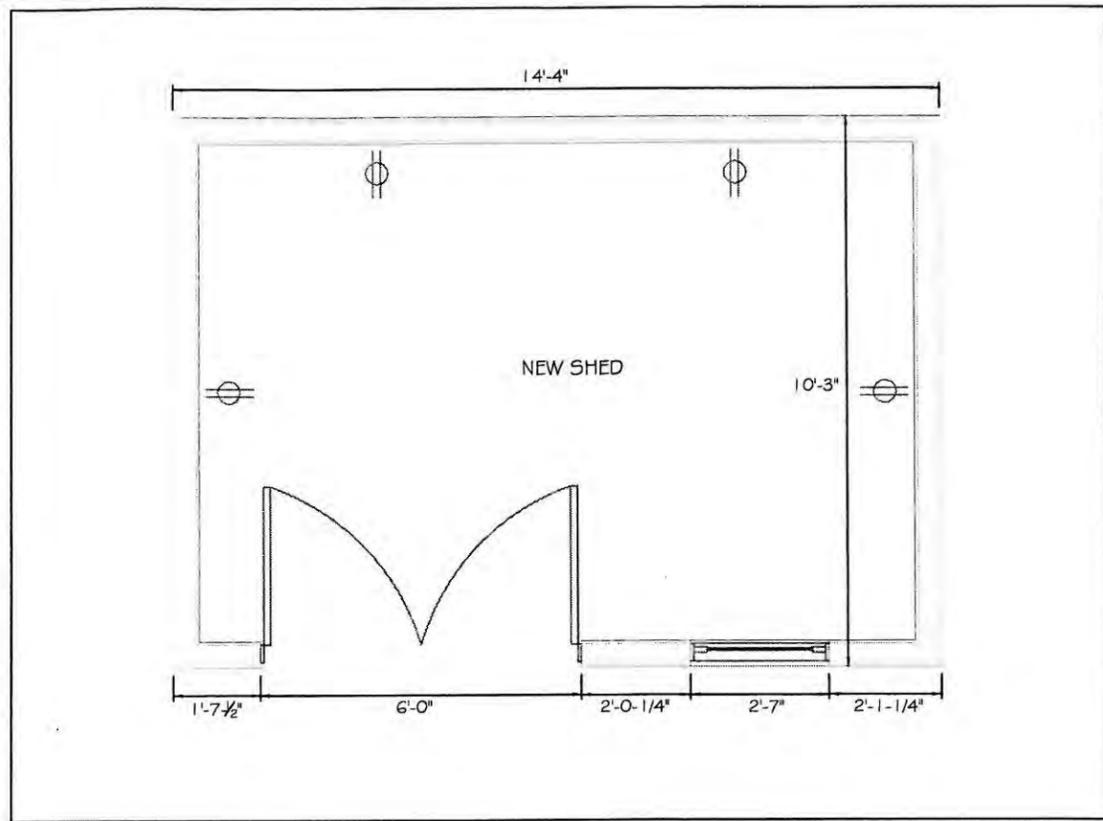
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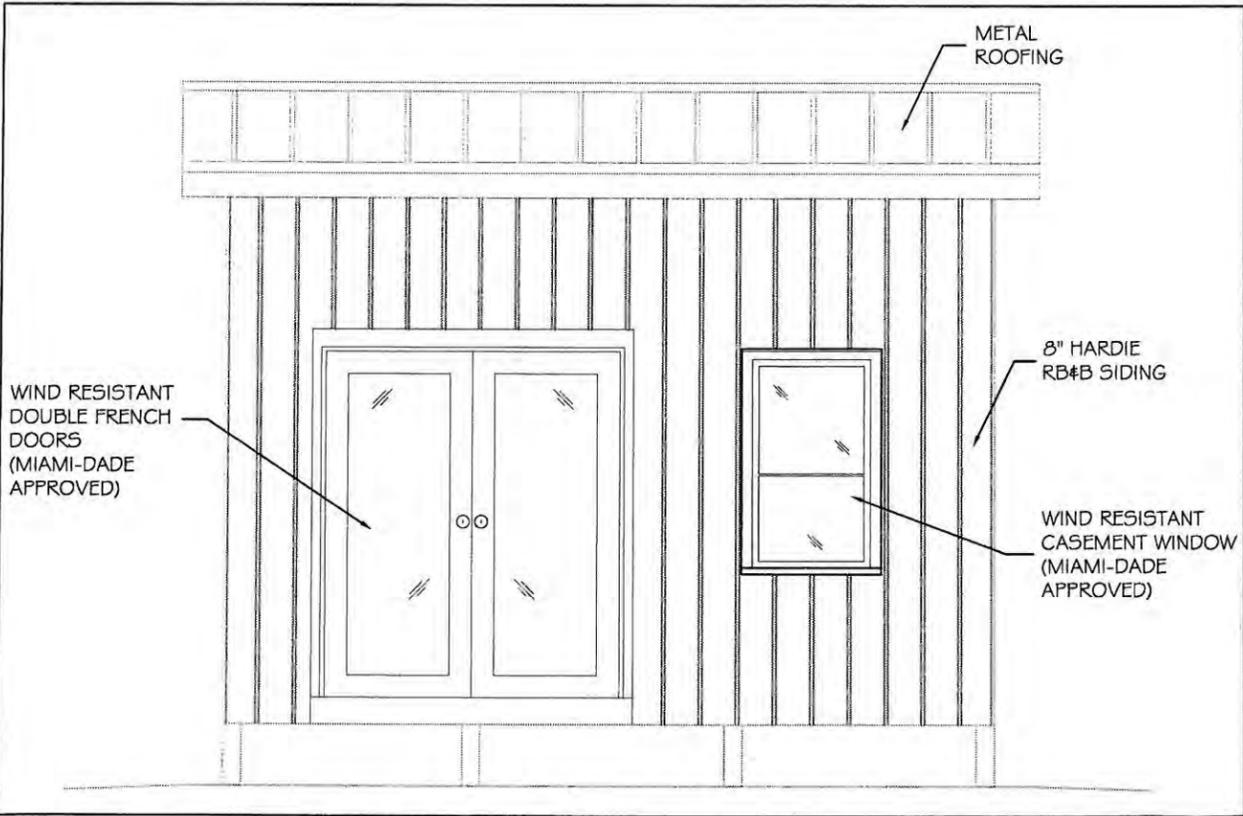
Date: 12 December 2012



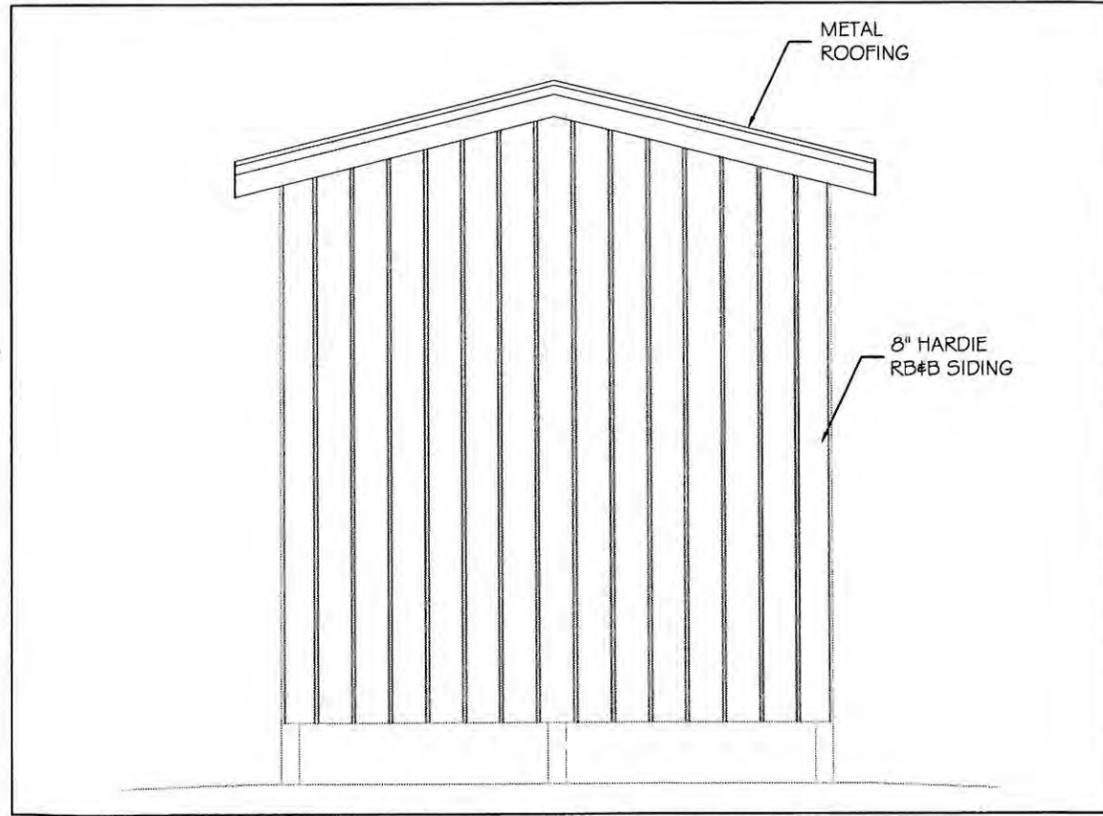
2 WEST ELEVATION
SCALE: 1/4" = 1'



4 FLOOR PLAN
SCALE: 1/4" = 1'



1 EAST ELEVATION (POOL SIDE)
SCALE: 1/4" = 1'



3 NORTH AND SOUTH ELEVATION
SCALE: 1/4" = 1'

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NEW SHED CONSTRUCTION
2413 Linda Avenue
Key West, Florida

Title:
ELEVATIONS
AND
FLOOR PLAN

Sheet Number:
A2

Date: 12 December 2012

WOOD AND FRAMING SPECIFICATIONS

- EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE NO. 2 DENSE, AS GRADED BY THE SOUTHERN PINE INSPECTION BUREAU.
- HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD OF STUD.
- PROVIDE BLOCKING BETWEEN ALL JOISTS 2 X 6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET.
- PROVIDE SOLID BLOCKING AT MID HEIGHT ON CENTER BETWEEN STUDS.
- ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND CONTINUOUS BOTTOM PLATES WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MIN. OF FOUR FEET.
- ALL LINTEL'S OVER ALL FRAMED OPENINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE.
2-2X6 FOR OPENINGS UP TO 3'-4"
2-2X8 FOR OPENINGS 3'-5" - 5'-8"
2-2X10 FOR OPENINGS 5'-9" - 8'-6"
2-2X12 FOR OPENINGS 8'-7" - 12'-6"
- FIRE STOPPING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO SEAL ALL CONCEALED DRAFT OPENINGS BOTH HORIZONTAL AND VERTICAL.
- FIRE STOPPING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
A) IN CONCEALED SPACE OF STUDWALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS.
B) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
C) IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIRESTOPPING SHALL BE PROVIDED THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORTS.
- FIRESTOPPING SHALL CONSIST OF TWO (2) INCH NOMINAL LUMBER, OR TWO (2) THICKNESS OF ONE (1) INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR ONE (1) THICKNESS OF THREE-FOURTHS (3/4) INCH PLYWOOD WITH JOINTS BACKED BY THREE-FOURTHS (3/4) INCH PLYWOOD, OR OTHER APPROVED MATERIALS.
- ALL TIMBER CONSTRUCTION SHALL CONFORM TO A.I.T.C. LATEST REVISION (FB=1500).

ELECTRICAL SPECIFICATIONS

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES AND ORDINANCES.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF HIS WORK WITH THAT OF OTHER CONTRACTORS.
- IT SHALL BE UNDERSTOOD THAT ALL WORK PERFORMED, SHALL BE DONE SO BY A LICENSED ELECTRICAL CONTRACTOR AND IN A FIRST CLASS WORKMANLIKE MANNER.
- ALL ELECTRICAL WORK AND MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY.
- ALL PANELS SHALL HAVE TYPED WRITTEN DIRECTORIES INDICATING ALL CIRCUITS.
- LIGHTING FIXTURES INCLUDING LAMPS SHALL BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ADEQUATE CIRCUITRY AND BREAKER SIZES WHICH ARE REQUIRED BY THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH AND INSTALL APPROVED HARD-WIRED SMOKE DETECTORS IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLA BUILDING CODE.
- ALL BATHROOM RECEPTACLES SHALL HAVE GROUND FAULT PROTECTION.
- ALL KITCHEN RECEPTACLES SHALL HAVE GROUND FAULT PROTECTION.
- ELECTRICIAN SHALL INSTALL NEW 70 CFM EXHAUST FANS IN EXISTING BATHROOMS CONNECTED TO LIGHT SWITCH.
- ELECTRICIAN SHALL COORDINATE WITH GENERAL CONTRACTOR AND KEYS ENERGY SERVICE.
- BALANCE ALL LEADS IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE.
- GROUND SERVICE PER NATIONAL ELECTRIC CODE 250-81-C.
- WIRE AND CABLE SHALL BE COPPER AND MINIMUM #12 SIZE.

GENERAL NOTES

- A COMPLETE COPY OF THE DRAWINGS AND SPECIFICATIONS SHALL BE KEPT IN A NEAT, PRESERVED, AND READILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES DURING THE COURSE OF THE PROJECT.
- THE DRAWINGS AND SPECIFICATIONS ARE TO BE USED TOGETHER, CONTRACTORS AND WORKERS SHALL CONSULT EACH WHEN QUESTIONS CONCERNING THE WORK ARISES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING AND LIFE SAFETY CODES. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THESE CODES AND SHALL BUILD ACCORDINGLY.
- WHERE A CONFLICT OR AMBIGUITY EXISTS BETWEEN A CONTRACTOR'S UNDERSTANDING OF A CODE AND THE DRAWINGS AND SPECIFICATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CEASE WORK ON THE ITEM IN QUESTION AND NOTIFY THE ENGINEER IN A MANNER THAT WILL ALLOW A TIMELY RESOLUTION.
- IN GENERAL NOMINAL DIMENSIONS ARE NOTED FOR STANDARD LUMBER SIZES BUT ACTUAL SIZES ARE GIVEN WHERE LUMBER IS TO BE MILLED TO A NONSTANDARD DIMENSION.
- DRAWINGS SHALL NOT BE SCALED WITHOUT PERMISSION OF THE ENGINEER WHERE ERRORS OR INCONSISTENCIES EXIST REGARDING DIMENSIONS ON THE DRAWINGS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A RESOLUTION BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- "V.I.F." MEANS THAT IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO MEASURE OR OTHERWISE CONFIRM A SITE CONDITION THAT CANNOT BE ACCURATELY DETERMINED BEFORE CONSTRUCTION BEGINS, AND TO NOTIFY THE ENGINEER IF IT DIFFERS FROM WHAT IS ON THE DRAWINGS BEFORE PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR SHALL COORDINATE & VERIFY WINDOW DIMENSIONING REQUIREMENTS WITH SELECTED MANUFACTURER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE & VERIFY ELECTRICAL & PLUMBING REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE TO KEEP A NEAT, SAFE WORK SITE DAILY.
- ALL CHANGES MUST BE APPROVED BY ENGINEER OR INCREASED COSTS FROM CHANGES WILL NOT BE PAID.
- CONCRETE SHALL CONFORM TO ACI 318, ACI 310 AND FLA BUILDING CODE.
- ALL WORK SHALL MEET ASCE 7-10 AND FBC 2010.

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Seal:

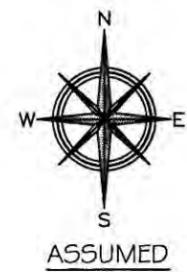
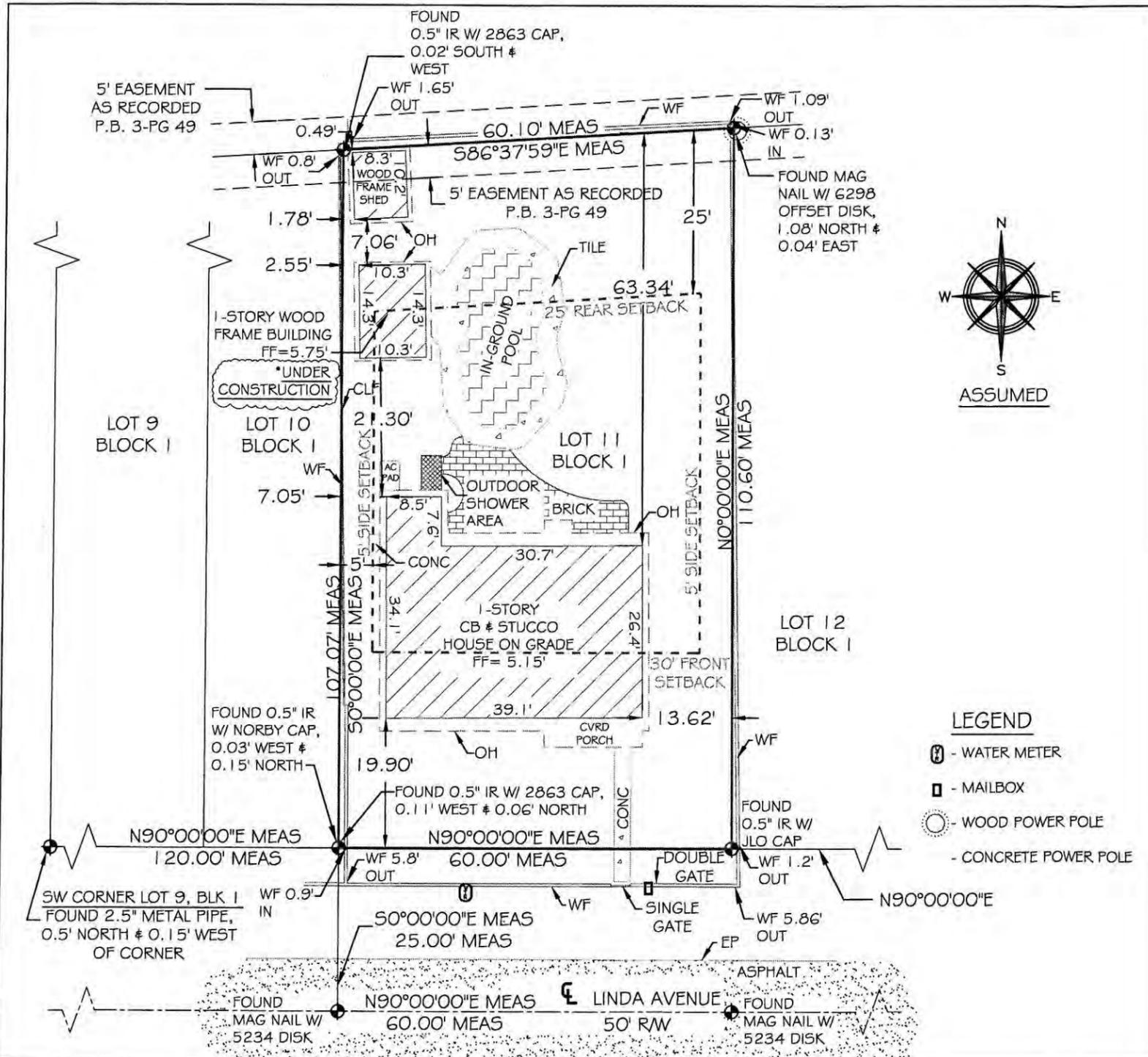
LICENSE EXPIRES
FEBRUARY 28, 2013

Revisions:

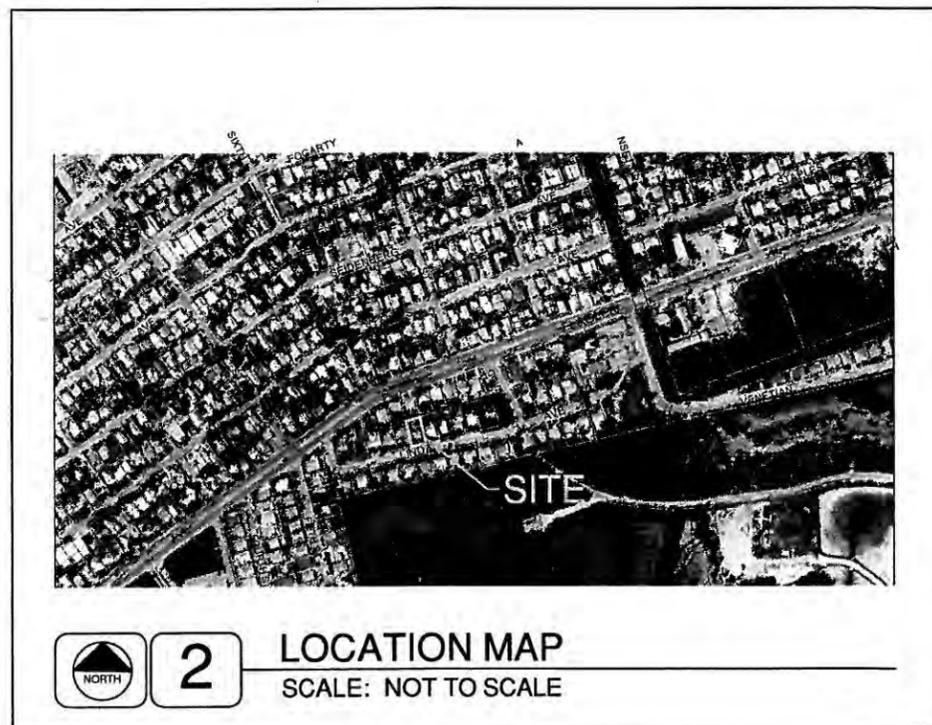
VARIANCE APPLICATION
NEW SHED CONSTRUCTION
2413 Linda Avenue
Key West, Florida

Title:
SURVEY,
LOCATION MAP
AND
SPECIFICATIONS

Sheet Number:
A1
Date: 12 December 2012



- LEGEND**
- ⊕ - WATER METER
 - - MAILBOX
 - ⊙ - WOOD POWER POLE
 - ⊖ - CONCRETE POWER POLE



2 LOCATION MAP
SCALE: NOT TO SCALE

DRC
Minutes & Comments



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

General Service Comments

Development Review Committee
January 24, 2013

**1415 Alberta Street
Easement Request**

Relocate air conditioner units off of the alley and onto the residential property.

Relocate Liquefied petroleum gas tank(s) off of the alley right-of-way and onto the residential property, in accordance with the Florida Building Code: Fuel Gas, Florida Fire Prevention Code, and NFPA 58.

Please coordinate relocation of tanks with the Building Department. At a minimum, LPG cylinders that are filled onsite shall be located a minimum distance of 10 ft from ignition sources*, openings into direct-vent appliances and mechanical ventilation air intakes, and 3 ft from windows and exhaust fans.

*Typical ignition sources are central AC compressors and electrical panels.

**2413 Linda Avenue
Setback Variance Application**

No comments.

**1970 North Roosevelt Blvd
Conditional Use Application**

No comments.

**317 Catherine Street
Multiple Variance Application**

Direct roof downspouts into landscape and swale areas.

**519 Fleming Street
Special Exception Request**

No comments.

**1800 Atlantic Boulevard, Suite 112-A
Transient License Transfer**

No comments.

Property Appraiser Information

Scott P. Russell, CFA Property Appraiser Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card - Map portion under construction.

Website tested on IE8,
IE9, & Firefox.
Requires Adobe Flash
10.3 or higher

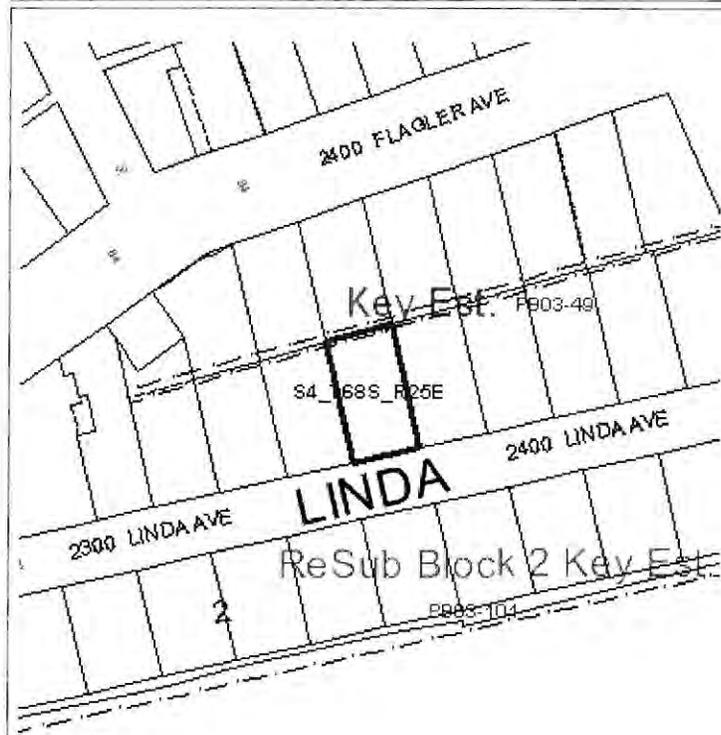
Alternate Key: 1064581 Parcel ID: 00064180-000000

Ownership Details

Mailing Address:
JACOBSEN BEVERLY J
2413 LINDA AVE
KEY WEST, FL 33040-5109

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 04-68-25
Property Location: 2413 LINDA AVE KEY WEST
Subdivision: Key Estates
Legal Description: BK 1 LT 11 KEY ESTATES PB 3-49 OR29-313/14 OR150-294/95 OR482-526 OR1551-461/62 OR2546-1365/66F/J OR2547-976/77





Show Parcel Map that can launch map - Must have Adobe Flash Player 10.3 or higher

Exemptions

Exemption	Amount
39 - 25000 HOMESTEAD	25,000.00
44 - ADDL HOMESTEAD	25,000.00

Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	60	109	6,530.00 SF

Building Summary

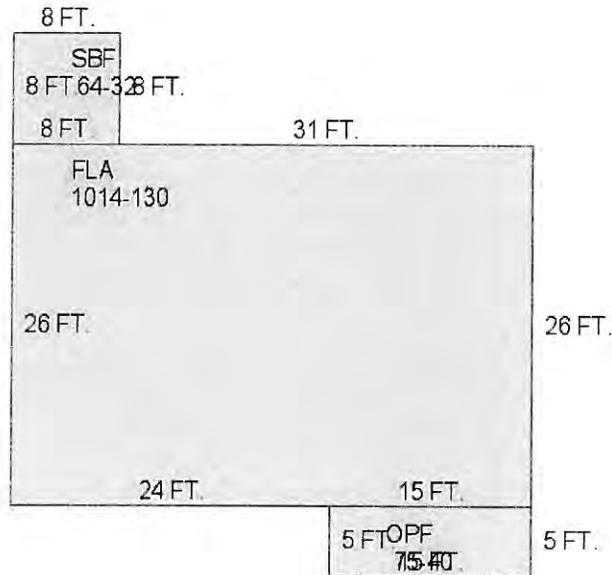
Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 1014
 Year Built: 1958

Building 1 Details

Building Type R1 Effective Age 17 Year Built 1958 Functional Obs 0	Condition A Perimeter 130 Special Arch 0 Economic Obs 0	Quality Grade 500 Depreciation % 22 Grnd Floor Area 1,014
Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.		
Roof Type GABLE/HIP Heat 1 FCD/AIR DUCTED Heat Src 1 ELECTRIC	Roof Cover METAL Heat 2 NONE Heat Src 2 NONE	Foundation CONCR FTR Bedrooms 2
Extra Features:		
2 Fix Bath 0		Vacuum 0

3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	5:C.B.S.	1	1957	N	Y	0.00	0.00	1,014
2	OPF		1	1957	N	N	0.00	0.00	75
3	SBF	5:C.B.S.	1	1957	N	Y	0.00	0.00	64

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	FN2:FENCES	320 SF	80	4	2005	2006	2	30
1	UB3:LC UTIL BLDG	100 SF	0	0	1984	1985	1	30
3	PT3:PATIO	100 SF	0	0	1957	1958	2	50

Appraiser Notes

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
10-0629	03/02/2010	12/13/2011	3,000	Residential	1474SF VCRIMP.
10-1617	07/06/2010	12/13/2011	0		INSTALL BRANCH CIRCUITRY FOR SMOKE DETECTORS WITH ASSOC. BOXES AND OVER-CURRENT PROTECTION.
10-1628	07/06/2010	12/13/2011	1,995	Residential	CHANGE OUT AIR HANDLER; 7KW HEATER; INSTALL EXHAUST FAN AND DUCTING TO SOFFIT.
10-1609	07/06/2010	12/13/2011	19,283	Residential	AIRPORT NOISE REDUCTION PROJECT: REPLACE 9 WINDOWS, 10 HURRICANE SHUTTERS, 3 DOORS.
10-3193	10/14/2010	12/13/2011	2,100	Residential	INSTALL ONE THREE TON CONDENSING UNIT ONLY.
3 9802911	09/18/1998	11/09/1998	5,400	Residential	ROOFING
4 0103781	11/28/2001	10/29/2002	3,800	Residential	3 TON AC
1 0103894	12/10/2001	10/29/2002	1,700	Residential	UPGRADE TO 200AMP
2 0100136	01/17/2002	10/29/2002	1,500	Residential	UPGRADE SERVICE
5 05-4454	10/06/2005	11/14/2005	1,500	Residential	DEMO CHAIN LINK AND ERECT 4' WOOD FENCE

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2012	109,632	1,396	162,303	273,331	210,975	25,000	185,975
2011	100,273	1,430	155,811	257,514	204,830	25,000	179,830
2010	102,947	1,474	97,382	201,803	201,803	25,000	176,803
2009	119,005	1,508	128,554	249,067	216,086	25,000	191,086
2008	110,858	1,542	205,440	317,840	215,870	25,000	190,870
2007	136,954	1,586	205,440	343,980	209,583	25,000	184,583
2006	130,495	1,620	321,000	453,115	153,658	25,000	128,658
2005	182,227	537	224,700	407,464	197,428	25,000	172,428
2004	127,269	538	205,440	333,247	191,678	25,000	166,678
2003	124,955	538	96,300	221,793	188,105	25,000	163,105
2002	137,846	552	78,324	216,722	183,697	25,000	158,697
2001	117,935	570	78,324	196,829	180,805	25,000	155,805
2000	116,403	565	64,200	181,169	175,539	25,000	150,539
1999	106,192	532	64,200	170,925	170,925	25,000	145,925
1998	72,946	304	64,200	137,449	137,449	0	137,449
1997	73,743	320	51,360	125,423	125,423	0	125,423
1996	49,029	223	51,360	100,612	100,612	0	100,612
1995	49,029	207	51,360	100,596	100,596	0	100,596
1994	43,847	193	51,360	95,400	95,400	0	95,400
1993	40,800	0	51,360	92,160	92,160	0	92,160
1992	40,800	0	51,360	92,160	92,160	0	92,160

1991	40,800	0	51,360	92,160	92,160	0	92,160
1990	40,800	0	48,150	88,950	88,950	0	88,950
1989	37,091	0	46,545	83,636	83,636	0	83,636
1988	26,437	0	35,310	61,747	61,747	0	61,747
1987	26,121	0	25,038	51,159	51,159	0	51,159
1986	26,265	0	23,433	49,698	49,698	0	49,698
1985	25,191	0	23,675	48,866	48,866	0	48,866
1984	23,692	0	23,675	47,367	47,367	0	47,367
1983	23,726	0	23,675	47,401	47,401	0	47,401
1982	24,189	0	17,723	41,912	41,912	0	41,912

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
12/7/2011	2547 / 976	100	QC	11
12/7/1998	1551 / 0461	200,000	WD	Q

This page has been visited 301,089 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176

Public Notices
(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 p.m., February 28, 2013 at Old City Hall, 510 Greene Street, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Variance – 2413 Linda Avenue (RE# 00064180-000000) – A request for side yard setback requirements to construct a shed in the SF zoning district per Section 90-391, Section 122-238 (6) a. 2. of the Land Development Regulations of the Code of Ordinances of the City of Key West.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at www.keywestcity.com.

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing:

Variance – 2413 Linda Avenue (RE# 00064180-000000) – A request for side yard setback requirements to construct a shed in the SF zoning district per Section 90-391, Section 122-238 (6) a. 2. of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Applicant/Owner	Beverly Jacobsen	Date of Hearing:	Thursday, February 28, 2013
Project Location:	2413 Linda Avenue	Location of Hearing:	Old City Hall, 510 Greene City Commission Chambers
Time of Hearing:	6:00 PM		

Interested parties may appear at the public hearing and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Karen de Berjeois at kdeberje@keywestcity.com .

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing:

Variance – 2413 Linda Avenue (RE# 00064180-000000) – A request for side yard setback requirements to construct a shed in the SF zoning district per Section 90-391, Section 122-238 (6) a. 2. of the Land Development Regulations of the Code of Ordinances of the City of Key West.

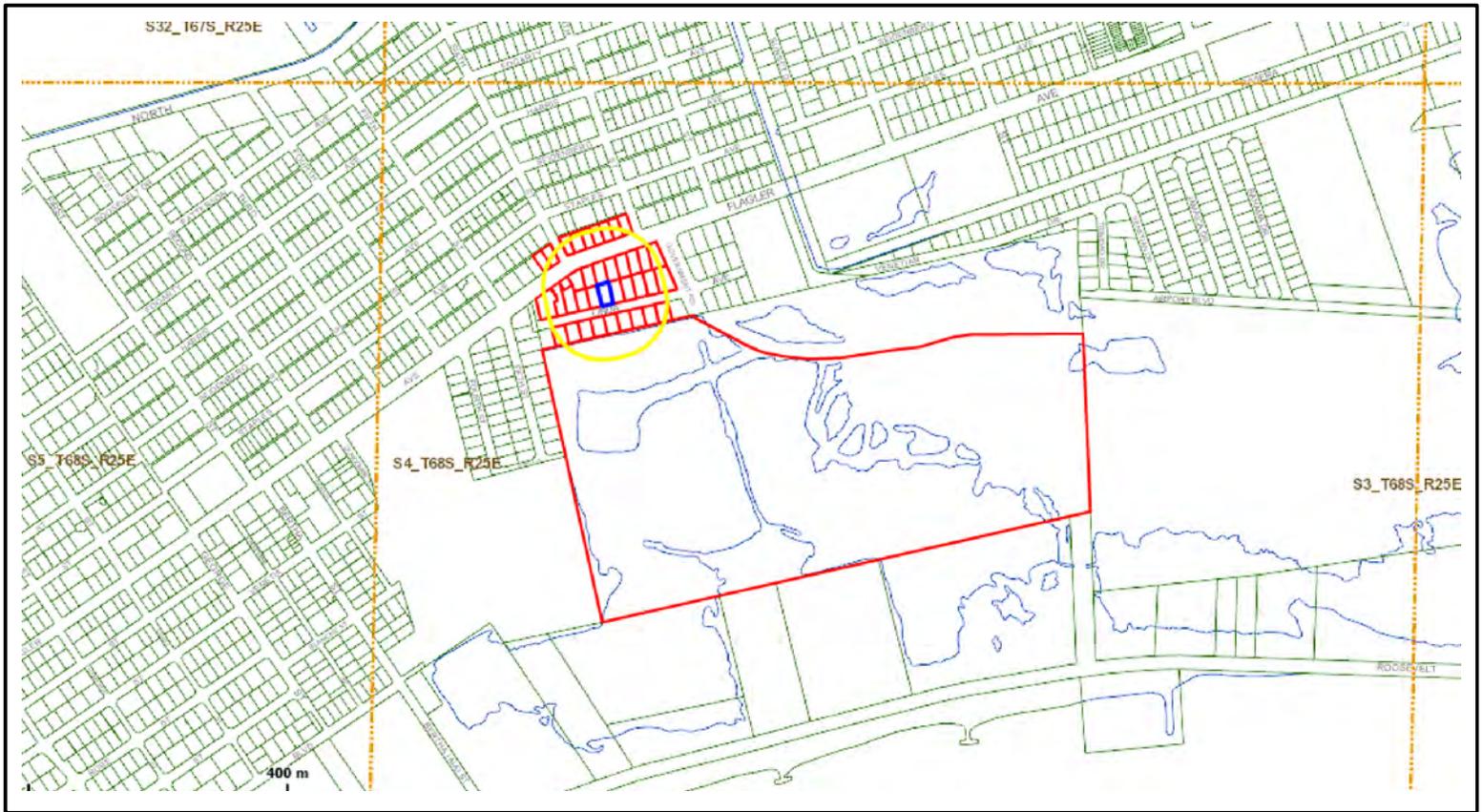
Applicant/Owner	Beverly Jacobsen	Date of Hearing:	Thursday, February 28, 2013
Project Location:	2413 Linda Avenue	Location of Hearing:	Old City Hall, 510 Greene City Commission Chambers
Time of Hearing:	6:00 PM		

Interested parties may appear at the public hearing and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

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Monroe County, Florida

2413 Linda

Printed: Feb 22, 2013

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
1 BARR STEVEN F	15 CHARLES ST	APT 5H	NEW YORK	NY	10014	
2 SYMINGTON ALEXANDER AND ANNA	2429 LINDA AVE		KEY WEST	FL	33040	
3 LEON MERCEDES S	2404 FLAGLER AVE		KEY WEST	FL	33040	
4 HERNANDEZ JOSE L JR AND KRISTIE A	2417 LINDA AVE		KEY WEST	FL	33040	
5 TRAMONT MICHEAL	1107 KEY PLAZA	PMB 230	KEY WEST	FL	33040	
6 SAUER FRANK	2312 LINDA AVE		KEY WEST	FL	33040	
7 CONFIDENTIAL DATA F.S. 119.07	1430 7TH ST		KEY WEST	FL	33040	
8 MONROE COUNTY	500 WHITEHEAD ST		KEY WEST	FL	33040	
9 CAPAS DOUGLAS M AND FLORENCE A	2308 LINDA AVE		KEY WEST	FL	33040	
10 COOPER CHRISTOPHER	2418 LINDA AVE		KEY WEST	FL	33040	
11 FERGUSON ANDREW AND ALISON	2401 LINDA AVE		KEY WEST	FL	33040	
12 HARDING KENNETH L	1213 14TH ST		KEY WEST	FL	33040	
13 ROYCRAFT CECILIA ANNE	2428 FLAGLER AVE		KEY WEST	FL	33040	
14 CAPAS DOUGLAS M	2308 LINDA AVE		KEY WEST	FL	33040	
15 SAGE GREGORY SCOTT	2400 FLAGLER AVE		KEY WEST	FL	33040	
16 DAWSON ZELMA B REV LIV TRUST DTD 5/6/1998	2433 LINDA AVE		KEY WEST	FL	33040	
17 ANTON ZDENEK AND JILL LORENZ	2421 FLAGLER AVE		KEY WEST	FL	33040	
18 GVILI RAFI AND ELLEN K	2405 LINDA AVE		KEY WEST	FL	33040	
19 JACKSON EUGENE N AND DEBRA A	2428 LINDA AVE		KEY WEST	FL	33040	
20 VILDOSTEGUI ERNESTO AND PAMELA S	2307 LINDA AVE		KEY WEST	FL	33040	
21 MARTINEZ MICHAEL D	1110 16TH TER		KEY WEST	FL	33040	
22 PETERSON DAVID AND MARCI MCGEE	2421 LINDA AVE		KEY WEST	FL	33040	
23 TAYLOR DEBRA ANN	2419 FLAGLER AVE		KEY WEST	FL	33040	
24 CAMPO TONY M	P O BOX 2337		KEY WEST	FL	33045	
25 VAN ALLEN BRUCE	P O BOX 583		INVERNESS	FL	34451	
26 HUNTER KENNETH R AND JULIE M	380 MADISON ST		DENVER	CO	80206	
27 STUKEY AND SPATARO JT REV TR AG 4/16/2011	5577 SW 91ST TER		GAINESVILLE	FL	32608-4369	
28 PROKHODNOY VLADIMIR	1223 WHITE ST APT 203		KEY WEST	FL	33040-3365	
29 GRIFFITHS JUDITH ANN	2417 FLAGLER AVE		KEY WEST	FL	33040-3843	
30 KRUMEL COURTNEY B	2418 FLAGLER AVE		KEY WEST	FL	33040-3844	
31 BAHRI JOSE AND BEATA	2414 FLAGLER AVE		KEY WEST	FL	33040-3844	
32 JANICKI STANISLAW AND URSULA	1413 6TH ST		KEY WEST	FL	33040-3856	
33 BALMACEDA JOSE AND DANA	1426 6TH ST		KEY WEST	FL	33040-3857	
34 VALDES JOSEPH A JR	3518 DUCK AVE		KEY WEST	FL	33040-4429	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
35 ATWOOD STUART T JR AND DOLORES D	2400 LINDA AVE		KEY WEST	FL	33040-5100	
36 JACOBSEN BEVERLY J	2413 LINDA AVE		KEY WEST	FL	33040-5109	
37 SUNSHAW OF KEY WEST LLC	18 ASTER TER		KEY WEST	FL	33040-6205	
38 KENT SUSAN	812 WINDSOR LN		KEY WEST	FL	33040-6447	