

# SMITH/HAWKS

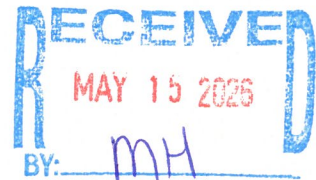
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## VIA HAND DELIVERY

May 15, 2026

Taylor Brown, Planning Director  
City of Key West Planning Department  
1300 White Street  
Key West, FL 33040



**RE: KEY PLAZA SHOPPING CENTER – REAL SUB, LLC’S APPLICATION FOR MAJOR DEVELOPMENT PLAN AND CONDITIONAL USE APPROVAL**

Dear Taylor,

Enclosed please find REAL SUB, LLC’s (the “**Applicant**”) Application for Major Development Plan and Conditional Use Approval to approve the redevelopment of a shopping center consisting of four parcels, 2900 North Roosevelt Boulevard (RE# 00065640-000000), 3022 North Roosevelt Boulevard (RE# 00065640-000800), 3026 North Roosevelt Boulevard (00065640-000400), and 900-924 Kennedy Drive (RE# 00065660-000000), all in Key West, Florida, 33040 (collectively, the “**Property**”), pursuant to Sections 108-91(B) and 122-418(12) of the City of Key West Code of Ordinances Land Development Regulations.

### **Project Description and Solutions Statement**

The Property, commonly known as Key Plaza, currently consists of aging commercial retail buildings on a site that is almost entirely paved. It contains approximately 255,959 square feet of commercial floor area, a large portion of which sits vacant. The proposed redevelopment will reduce the total commercial floor area to 190,925 square feet, a decrease of about 64,000 square feet.

Most of the existing buildings were constructed in the 1970s and sit low in the floodplain, making them vulnerable to wind and flood damage. The new buildings will be constructed to current building codes and designed to better withstand these conditions. The redevelopment will also add nearly three acres of green space and include improved stormwater systems to eliminate the rainwater runoff and puddling that now occur across the parking areas.

The project is planned in four phases, as shown on the site plans. Phasing will allow existing businesses and their employees to continue operating as much as possible throughout construction, helping to protect local jobs and maintain services for the community. In the early phases, new commercial space will be built first so that tenants from buildings scheduled for later demolition or renovation can relocate with minimal disruption.

The redevelopment will bring meaningful improvements to connectivity, safety, and walkability. Problematic entrance and exit points along North Roosevelt Boulevard and Kennedy Drive will be redesigned for smoother traffic flow. Both pedestrian and vehicle circulation throughout the property will be updated and enhanced. Attractive landscaping within the parking areas will provide shade and create a more pleasant experience for shoppers. Along the edges of the property, particularly along the North Roosevelt Boulevard corridor, substantial landscape buffers will screen the commercial activity and present a more attractive appearance to passing drivers.

Thank you for your consideration and please do not hesitate to contact me with any questions.

Sincerely,



Anthony J. Davila

BWS/AJD/bg



# DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

## CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov)

Fees listed below include a **\$376.81 advertising/noticing fee** and a **\$134.01 fire review fee** where applicable. Any Major or Minor Development Plan returned to the Planning Board after initial approval will require a new application fee equivalent to one-half of the current fee schedule.

Development Plan and Conditional Use Application Fee Schedule	
Development Plan	
Minor Development Plan	
Within Historic District Total Application Fee	\$ 3,618.26
Outside Historic District Total Application Fee	\$ 2,814.20
Conditional Use Total Application Fee	
Extension Total Application Fee	\$ 670.05
Major Development Plan Total Application Fee	
Conditional Use Total Application Fee	\$ 1,474.11
Extension Total Application Fee	\$ 670.05
Administrative Modification Fee	
Minor Modification Fee	\$ 1,853.65
Major Modification Fee	\$ 2,619.41
Conditional Use (not part of a development plan) Total Application Fee	
Extension (not part of a development plan) Total Application Fee	\$ 670.05
Revision or Addition (not part of a development plan) Fee	\$ 2431.01

**Applications will not be accepted unless complete**

<u>Development Plan</u>	<u>Conditional Use</u>	<u>Historic District</u>
Major <u>  x  </u>	<u>  x  </u>	Yes <u>      </u>
Minor <u>      </u>		No <u>  x  </u>

Please print or type:

- 1) Site Address: 2900, 3026 and 3022 N Roosevelt Blvd; and 900-924 Kennedy Dr., Key West, FL 33040
- 2) Name of Applicant: Smith Hawks, PL
- 3) Applicant is:  
 Property Owner:         
 Authorized Representative:   x    
 (attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant: 138 Simonton Street, Key West, FL 33040
- 5) Applicant's Phone #: 305-296-7227 Email:
- 6) **Email Address:** aj@smithhawks.com / bart@smithhawks.com
- 7) Name of Owner, if different than above: REAL SUB, LLC
- 8) Address of Owner: PO Box 32018, Lakeland, FL 33802

9) Owner Phone #: 561-346-4702 Email: hank@tlpittman.com  
10) Zoning District of Parcel: General Commercial (CG) RE# 00065640-000400, 00065640-000800, 00065640-000000, 00065660-000000

11) Is Subject Property located within the Historic District? Yes \_\_\_\_\_ No x

If Yes: Date of approval \_\_\_\_\_

HARC approval # \_\_\_\_\_

OR: Date of meeting \_\_\_\_\_

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

\_\_\_\_\_  
Please see cover letter provided.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

13) Has subject Property received any variance(s)? Yes \_\_\_\_\_ No x

If Yes: Date of approval \_\_\_\_\_ Resolution # \_\_\_\_\_

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes x No \_\_\_\_\_

If Yes, describe and attach relevant documents.

\_\_\_\_\_  
Basic utility and access easements  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

Please note, development plan and conditional use approvals are quasi-judicial hearings, and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

### Required Plans and Related Materials for both a Conditional Use and Minor/Major Development Plan

#### I. Existing Conditions.

- A) Recent Survey of the site by a licensed Surveyor (Survey must be within 10 years from submittal date of this application) showing all dimensions including distances from property lines, and including:
- 1) Size of site;
  - 2) Buildings, structures, and parking;
  - 3) FEMA Flood Zone;
  - 4) Topography;
  - 5) Easements; and
  - 6) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
- B) Existing size, type and location of trees, hedges, and other features.
- C) Existing stormwater retention areas and drainage flows.
- D) A sketch showing adjacent land uses, buildings, and driveways.

#### II. Proposed Development: Plans at 11" X 17" (10,000 Sq. ft. or less); 24" X 36" if site is over 10,000 sq. ft.

- A) Site Plan to scale of with north arrow and dimensions by a licensed architect or engineer.
- 1) Buildings
  - 2) Setbacks
  - 3) Parking:
    - a. Number, location and size of automobile and bicycle spaces
    - b. Handicapped spaces
    - c. Curbs or wheel stops around landscaping
    - d. Type of pavement
  - 4) Driveway dimensions and material
  - 5) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
  - 6) Location of garbage and recycling
  - 7) Signs
  - 8) Lighting
  - 8) Project Statistics:
    - a. Zoning
    - b. Size of site
    - c. Number of units (or units and Licenses)
    - d. If non-residential, floor area & proposed floor area ratio
    - e. Consumption area of restaurants & bars
    - f. Open space area and open space ratio
    - g. Impermeable surface area and impermeable surface ratio
    - h. Number of automobile and bicycle spaces required and proposed
- B) Building Elevations
- 1) Drawings of all building from every direction. If the project is in the Historic District, please submit HARC approved site plans.
  - 2) Height of building.
  - 3) Finished floor elevations and bottom of first horizontal structure
  - 4) Height of existing and proposed grades
- C) Drainage Plan: Existing & Proposed retention areas and calculations approved by the City Engineer. See one of the attached commercial and residential use Stormwater Retention Forms.
- D) Landscape Plan: Size, type, location and number of plants to be removed, kept, and installed. The plan must be approved by the City Landscape Coordinator through a letter of approval. If the project is a Major Development Plan a landscape design prepared by a licensed Landscape Architect is required per Section 108-511(b) of the Land Development Regulations.

- III. **Solutions Statement.** Aspects of the design that address community issues including but not limited to water pollution from stormwater runoff, potable water conservation, waste disposal, recycling, energy conservation, affordable housing, and impacts on neighbors such as lighting, noise, traffic and parking.

## **Development Plan Submission Materials**

### **Sec. 108-226. Scope.**

A development plan, for the purposes of this division, shall include but not necessarily be limited to the requirements in this division. With the exception of sections 108-227 through 108-229, the city planner may waive or modify requirements, information and specific performance criteria for development plan review after rendering a finding in writing that such requirements:

- (1) Are not necessary prior to development plan approval in order to protect the public interest or adjacent properties.
- (2) Bear no relationship to the proposed project or its impacts; and
- (3) Are found to be impractical based on the characteristics of the use, including the proposed scale, density/intensity, and anticipated impacts on the environment, public facilities and adjacent land uses.

### **Sec. 108-227. Title block.**

The development plan shall contain the following pertaining to the title block:

- (1) Name of development.
- (2) Name of owner/developer.
- (3) Scale.
- (4) North arrow.
- (5) Preparation and revision date.
- (6) Location/street address of development.

### **Sec. 108-228. Identification of key persons.**

The development plan shall contain the following pertaining to identification of key persons:

- (1) Owner.
- (2) Owner's authorized agent.
- (3) Engineer and architect.
- (4) Surveyor.
- (5) Landscape architect and/or environmental consultant.
- (6) Others involved in the application.
- (7) A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient.

### **Sec. 108-229. Project description.**

Project description should be included on the site plan sheet. The development plan shall contain the following pertaining to the project description:

- (1) Zoning (include any special districts).
- (2) Project site size (acreage and/or square footage).
- (3) Legal description.
- (4) Building size.
- (5) Floor area ratio permitted and proposed.
- (6) Lot coverage permitted and proposed.
- (7) Impervious surface.
- (8) Pervious surface.
- (9) Landscape areas.
- (10) Parking spaces permitted and proposed.
- (11) Delineation of location of existing and proposed structures.
- (12) Existing and proposed development type denoted by land use including density/intensity.
- (13) Setbacks.

**Sec. 108-230. Other project information.**

A general outline of the proposed development shall include the following criteria where applicable:

- (1) Proposed stages or phases of development or operation and facility utilization.
- (2) Target dates for each phase.
- (3) Expected date of completion.
- (4) Proposed development plan for the site.
- (5) A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospitalbeds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses).
- (6) For planned unit developments, indicate design techniques (i.e., clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site.
- (7) Buildings and siting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations.
- (8) Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas.

**Sec. 108-231. Residential developments.**

- (a) If the development includes residential units, the following characteristics shall be discussed in the written description:
  - (1) A breakdown of the proposed residential units by number of bedrooms.
  - (2) Tenure (i.e., owner-occupied or rental); and
  - (3) Structure type, such as single-family, duplex, multiple-family, mobile home.
- (b) Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements.

**Sec. 108-232. Intergovernmental coordination.**

The development plan shall contain the following pertaining to intergovernmental coordination:

- (1) Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project:
  - a. South Florida Regional Planning Council (SFRPC).
  - b. City electric system (CES).
  - c. State department of environmental protection (DEP).
  - d. Army Corps of Engineers (ACOE).
  - e. South Florida Water Management District (SFWMD).
  - f. State department of transportation (DOT).
  - g. State department of community affairs (DCA).
  - h. Florida Keys Aqueduct Authority (FKAA).
  - i. State fish and wildlife conservation commission (F&GC).
  - j. The county.
- (2) Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land.
- (3) When intergovernmental coordination efforts are incomplete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues.

**CONDITIONAL USE CRITERIA**

**Sec. 122-61. Purpose and intent**

The purpose of this article is to ensure that a conditional use shall only be permitted on specific sites where the proposed use may be adequately accommodated without generating adverse impacts on properties and land uses within the immediate vicinity. This article sets forth provisions and criteria for consideration of conditional uses on specific sites. Conditional uses shall be permitted only upon a finding that the proposed use satisfies this article.

**Sec. 122-62. Specific criteria for approval.**

- (a) Findings. A conditional use shall be permitted upon a finding by the planning board that the proposed use, application and, if applicable, development plan complies with the criteria specified in this section, including specific conditions established by the planning board and or the city commission during review of the respective application in order to ensure compliance with the comprehensive plan and land development regulations. If the proposed conditional use is a major development pursuant to sections 108-165 and 108-166, the city commission shall render the final determination pursuant to section 122-63. A conditional use shall be denied if the city determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public's interest. An application for a conditional use shall describe how the specific land use characteristics proposed meet the criteria described in subsection (c) of this section and shall include a description of any measures proposed to mitigate against possible adverse impacts of the proposed conditional use on properties in the immediate vicinity.
- (b) Characteristics of use described. The following characteristics of a proposed conditional use shall be clearly described as part of the conditional use application:
- (1) Scale and intensity of the proposed conditional use as measured by the following:
    - a. Floor area ratio;
    - b. Traffic generation;
    - c. Square feet of enclosed building for each specific use;
    - d. Proposed employment;
    - e. Proposed number and type of service vehicles; and
    - f. Off-street parking needs.
  - (2) On- or off-site improvement needs generated by the proposed conditional use and not identified on the list in subsection (b)(1) of this section including the following:
    - a. Utilities;
    - b. Public facilities, especially any improvements required to ensure compliance with concurrency management as provided in chapter 94;
    - c. Roadway or signalization improvements, or other similar improvements;
    - d. Accessory structures or facilities; and
    - e. Other unique facilities/structures proposed as part of site improvements.
  - (3) On-site amenities proposed to enhance site and planned improvements. Amenities including mitigative techniques such as:
    - a. Open space;
    - b. Setbacks from adjacent properties;
    - c. Screening and buffers;
    - d. Landscaped berms proposed to mitigate against adverse impacts to adjacent sites; and
    - e. Mitigative techniques for abating smoke, odor, noise, and other noxious impacts
- (c) Criteria for conditional use review and approval. Applications for a conditional use shall clearly demonstrate the following:
- (1) Land use compatibility. The applicant shall demonstrate that the conditional use, including its proposed scale and intensity, traffic-generating characteristics, and off-site impacts are compatible and harmonious with adjacent land use and will not adversely impact land use activities in the immediate vicinity.
  - (2) Sufficient site size, adequate site specifications, and infrastructure to accommodate the proposed use. The size and shape of the site, the proposed access and internal circulation, and the urban design enhancements must be adequate to accommodate the proposed scale and intensity of the conditional use requested. The site shall be of sufficient size to accommodate urban design amenities such as screening, buffers, landscaping, open space, off-street parking, efficient internal traffic circulation, infrastructure (i.e., refer to chapter 94 to ensure concurrency management requirements are met) and similar site plan improvements needed to mitigate against potential adverse impacts of the proposed use.

- (3) Proper use of mitigative techniques. The applicant shall demonstrate that the conditional use and site plan have been designed to incorporate mitigative techniques needed to prevent adverse impacts to adjacent land uses. In addition, the design scheme shall appropriately address off-site impacts to ensure that land use activities in the immediate vicinity, including community infrastructure, are not burdened with adverse impacts detrimental to the general public health, safety and welfare.
- (4) Hazardous waste. The proposed use shall not generate hazardous waste or require use of hazardous materials in its operation without use of city-approved mitigative techniques designed to prevent any adverse impact to the general health, safety and welfare. The plan shall provide for appropriate identification of hazardous waste and hazardous material and shall regulate its use, storage and transfer consistent with best management principles and practices. No use which generates hazardous waste or uses hazardous materials shall be located in the city unless the specific location is consistent with the comprehensive plan and land development regulations and does not adversely impact wellfields, aquifer recharge areas, or other conservation resources.
- (5) Compliance with applicable laws and ordinances. A conditional use application shall demonstrate compliance with all applicable federal, state, county, and city laws and ordinances. Where permits are required from governmental agencies other than the city, these permits shall be obtained as a condition of approval. The city may affix other conditions to any approval of a conditional use in order to protect the public health, safety, and welfare.
- (6) Additional criteria applicable to specific land uses. Applicants for conditional use approval shall demonstrate that the proposed conditional use satisfies the following specific criteria designed to ensure against potential adverse impacts which may be associated with the proposed land use:
- a. Land uses within a conservation area. Land uses in conservation areas shall be reviewed with emphasis on compliance with section 108-1 and articles III, IV, V, VII and VIII of chapter 110 pertaining to environmental protection, especially compliance with criteria, including land use compatibility and mitigative measures related to wetland preservation, coastal resource impact analysis and shoreline protection, protection of marine life and fisheries, protection of flora and fauna, and floodplain protection. The size, scale and design of structures located within a conservation area shall be restricted in order to prevent and/or minimize adverse impacts on natural resources. Similarly, public uses should only be approved within a wetland or coastal high hazard area V zone when alternative upland locations are not feasible on an upland site outside the V zone.
  - b. Residential development. Residential development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting setbacks, lot coverage, height, mass of building, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles III, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, internal circulation, and off-street parking; as well as possible required mitigative measures such as landscaping and site design amenities.
  - c. Commercial or mixed-use development. Commercial or mixed-use development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting floor area ratio, setbacks, lot coverage, height, mass of buildings, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles I, II, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, pedestrian access and circulation; internal vehicular circulation together with access and egress to the site, and off-street parking; as well as possible required mitigative measures such as landscaping, buffering, and other site design amenities. Where commercial or mixed-use development is proposed as a conditional use adjacent to U.S. 1, the development shall be required to provide mitigative measures to avoid potential adverse impacts to traffic flow along the U.S. 1 corridor, including but not limited to restrictions on access from and egress to U.S. 1, providing for signalization, acceleration and deceleration lanes, and/or other appropriate mitigative measures.
  - d. Development within or adjacent to historic district. All development proposed as a conditional use within or

adjacent to the historic district shall be reviewed based on applicable criteria stated in this section for residential, commercial, or mixed use development and shall also comply with appearance and design guidelines for historic structures and contributing structures and/or shall be required to provide special mitigative site and structural appearance and design attributes or amenities that reinforce the appearance, historic attributes, and amenities of structures within the historic district.

- e. Public facilities or institutional development. Public facilities or other institutional development proposed as a conditional use shall be reviewed based on land use compatibility and design criteria established for commercial and mixed-use development. In addition, the city shall analyze the proposed site location and design attributes relative to other available sites and the comparative merits of the proposed site, considering professionally accepted principles and standards for the design and location of similar community facilities and public infrastructure. The city shall also consider compliance with relevant comprehensive plan assessments of community facility and infrastructure needs and location impacts relative to service area deficiencies or improvement needs.
- f. Commercial structures uses and related activities within tidal waters. The criteria for commercial structures, uses and related activities within tidal waters are as provided in section 122-1186.
- g. Adult entertainment establishments. The criteria for adult entertainment establishments are as provided in division 12 of article V of this chapter.



**City of Key West  
Planning Department**

**Authorization Form**  
*(Where Owner is a Business Entity)*

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Hank Porcher as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Authorized Agent of REAL SUB, LLC, a Florida limited liability company  
*Name of office (President, Managing Member) Name of owner from deed*

authorize Smith Hawks, PL  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]  
*Signature of person with authority to execute documents on behalf of entity owner*

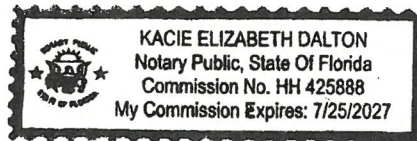
Subscribed and sworn to (or affirmed) before me on this 5/13/26  
*Date*

by Hank Porcher  
*Name of person with authority to execute documents on behalf of entity owner*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

Kacie Elizabeth Dalton  
*Notary's Signature and Seal*

Kacie Elizabeth Dalton  
*Name of Acknowledger typed, printed or stamped*



HH 425888  
*Commission Number, if any*

**EXHIBIT "I"**

**AUTHORIZATION OF AGENT**

TO: All applicable Governmental Permitting Agencies.

This will serve as confirmation that the undersigned owner hereby appoints Hank Porcher and T.L. Pittman and Associates, Inc. and any affiliate thereof as its authorized agent concerning all city, county and governmental agency applications including but not limited to permitting applications for the property located at 1112 Key Plaza, Key West, FL 33040 (Publix #1445), and defined by the attached legal description ("Exhibit A").

**REAL SUB, LLC**  
a Florida limited liability company

By: William W Rayburn, IV  
Name: William W. Rayburn, IV  
Title: Vice President of Real Estate Assets

**STATE OF FLORIDA**  
**COUNTY OF POLK**

The foregoing instrument was acknowledged before me this 9<sup>th</sup> day of January, 2026, by William W. Rayburn, IV, Vice President of Real Estate Assets, of **REAL SUB, LLC**, a Florida limited liability company, on behalf of the corporation. He is personally known to me.

(NOTARY SEAL)



**VICKI BREKKE**  
Commission # HH 608727  
Expires December 26, 2028

Vicki Brekke  
Notary Public, State of Florida

Print Name: Vicki Brekke  
Commission Number: \_\_\_\_\_  
Commission Expires: \_\_\_\_\_

# Exhibit "A"

## Legal Description

[TO BE ATTACHED PURSUANT TO SECTION "A" OF THIS AGREEMENT]

### Parcel 1:

On a parcel of land on the Island of Key West, Florida and being described as a part of Parcel 9, of Plot of Survey, recorded in Plat Book 3 at Page 35, of the Public Records of Monroe County, Florida, and other lands and being more particularly described by metes and bounds as follows:

Commencing at the Northeast corner of the said Parcel 9 bear South 52 degrees 25 minutes 40 seconds West along the Southeast Right-of-Way line (curb line) of North Roosevelt Boulevard for a distance of 102.71 feet, thence run South 37 degrees 34 minutes 20 seconds East for a distance of 300 feet to the POINT OF BEGINNING, thence run South 52 degrees 25 minutes 40 seconds West 15.82 feet to a point, thence run South 37 degrees 34 minutes 20 seconds East 90 feet to a point, thence run North 52 degrees 25 minutes 40 seconds East 10.25 feet to a point, thence run South 44 degrees 04 minutes 20 seconds East 211.36 feet to a point in the Southerly boundary line of the said Parcel 9, thence run North 52 degrees 25 minutes 40 seconds East, along the said Southerly line of Parcel 9 a distance of 202.53 feet to the West edge of the existing sidewalk and West Right-of-Way of Kennedy Drive (13th Street), thence run North 44 degrees 04 minutes 20 seconds West along the West edge of the existing sidewalk and along the Westerly line of Kennedy Drive (13th Street) a distance of 302.07 feet to a point bearing North 52 degrees 25 minutes 40 seconds East and distant 185.16 feet from the Point of Beginning, thence run South 52 degrees 25 minutes 40 seconds West a distance of 185.16 feet to the POINT OF BEGINNING.

### Parcels 2 and 3:

#### Part A:

A parcel of land on the Island of Key West, Monroe County, Florida and being a part of Parcel 9 and a part of Parcel 14, according to "Plat of Survey of Lands on Islands of Key West, Monroe County, Florida as indicated and described", recorded in Plat Book 3 at Page 35 of the Public Records of Monroe County, Florida; and other lands; said parcel of land being described herein by metes and bounds as follows:

COMMENCE at the Northeast corner of said Parcel 9 and run thence South 52°25'40" West along the South right of way of North Roosevelt Boulevard for a distance of 222.71 feet to the Point of Beginning; thence run South 37°34'20" East for a distance of 125 feet; thence run North 52°25'40" East for a distance of 120 feet; thence run South 37°34'20" East for a distance of 175 feet; thence run South 52 degrees 25 minutes 40 seconds West for a distance of 15.82 feet; thence run South 37°34'20" East for a distance of 90 feet; thence run North 52°25'40" East for a distance of 10.25 feet; thence run South 44°04'20" East for a distance of 211.36 feet to the south boundary of the said Parcel 9; thence run North 52°25'40" East for a distance of 198.90 feet to the westerly right-of-way of 13th Street; thence run Southeasterly along the said westerly right-of-way of 13th Street for a distance of 50.31 feet to the North boundary of said Parcel 14 extended easterly; thence run South 52°25'40" West along the north boundary of the said Parcel 14 and along the extension thereof for a distance of 150 feet, more or less, to the northwesterly corner of the lands described in Official Record Book 423 at Page 888 of the Public Records of Monroe County, Florida; thence run South 36°27'24" East for a distance of 100 feet; thence run South 52°25'40" West for a distance of 50 feet; thence run South 31°30'53" East for a distance of 149.64 feet; thence run South 21°10'40" East for a distance of 317.35 feet to a point on the south boundary line of said Parcel 14; thence run South 88°45'03" West along the south boundary of the said Parcel 14 for a distance of 690.77 feet to the Southwest corner of the said Parcel 14; thence run North 37°34'20" West along the westerly boundary of the said Parcel 14 and an extension thereof for a distance of 409 feet to a point lying 600 feet from the south right-of-way of the said North Roosevelt Boulevard and measured at right angles from the said Boulevard; thence run North 52°25'40" East for a distance of 50 feet; thence run North 37°34'20" West for a distance of 400 feet; thence run North 52°25'40" East for a distance of 97.29 feet; thence run North 37°34'20" West for a distance of 200 feet to the South right-of-way of the said North Roosevelt Boulevard; thence run North 52°25'40" East along the South right-of-way of the said North Roosevelt Boulevard for a distance of 480 feet back to the Point of Beginning.

## Exhibit "D"

### Legal Description

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[TO BE ATTACHED PURSUANT TO SECTION "A" OF THIS AGREEMENT]

#### Part B:

Together with Easement given by Bernard Jacobson, as Nominee of the Trustees of Republic Mortgage Investors to Market Place Property, N.V. dated December 18, 1980 and recorded December 18, 1980 under Clerk's File No. 227924, Official Records Book 823, Page 138 of the Public Records of Monroe County, Florida, said easement being on the following described parcel:

A parcel of land on the island of Key West, Monroe County, Florida and being a part of Parcel 14, according to Plat of Survey of Lands on Islands of Key West, Monroe County, Florida as indicated and described, recorded in Plat Book 3 at Page 35 of the Public Records of Monroe County, Florida, said parcel of land being described by metes and bounds as follows:

BEGIN at the Southeast corner of said Parcel 14 and run thence South  $68^{\circ}45'03''$  West along the South boundary of said Parcel 14 a distance of 191.88 feet to a point; thence North  $21^{\circ}10'40''$  West 22 feet to a point; thence North  $68^{\circ}45'03''$  East 191.88 feet to a point on the Westerly right of way boundary line of Kennedy Drive (13th Street); thence South  $21^{\circ}10'57''$  East along the said Westerly right of way line of Kennedy Drive (13th Street) for a distance of 22 feet back to the Point of Beginning.

#### Parcel 4:

#### Part A:

A parcel of land on the island of Key West, Florida, and being described as a part of Parcel 9 of a Plat of Survey recorded in Plat Book 3, at Page 35, Public Records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:

Commence at the Northeast corner of said Parcel 9, bear South  $50^{\circ}25'40''$  West along the Southeast Right of Way line (curb line) of North Roosevelt Boulevard for a distance of 102.71 feet to the Point of Beginning of the parcel of land being described herein; thence continue South  $50^{\circ}25'40''$  West along the Southeast Right of Way line (curb line) of said North Roosevelt Boulevard for a distance of 120 feet; thence run at right angles and Southeasterly a distance of 125 feet; thence run at right angles and Northeasterly for a distance of 120 feet; thence run at right angles and Northwesterly a distance of 125 feet back to the Point of Beginning.

#### LESS AND EXCEPT:

A portion of Parcel 9 of Plat of Survey of Lands on Island of Key West, Monroe County, Florida, according to the plat thereof, as recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida, more particularly described as follows:

Commence at the Point of Intersection of the Easterly line of Parcel 9 of said plat of Plat of Survey of Lands on Island of Key West, Monroe County, Florida, and the Existing Southeasterly Right-of-Way line of State Road No. 5, North Roosevelt Boulevard, as shown on the Florida Department of Transportation Right-of-Way map for State Road No. 5, Section 90010; Thence  $S54^{\circ}33'53''W$ , along the Southeasterly Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard, for a distance of 102.71 feet to the Point of Beginning of the hereinafter described Parcel; Thence continue  $S54^{\circ}33'53''W$ , along the previously described Right-of-Way line, for a distance of 120.00 feet; Thence  $S35^{\circ}28'07''E$ , departing the previously described line, for a distance of 5.00 feet to a point on a line parallel with and 5.00 feet Southeasterly of, as measured at right angles, the Southeasterly Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard; Thence  $N54^{\circ}33'53''E$ , along the previously described line, for a distance of 120.00 feet; Thence  $N35^{\circ}28'07''W$ , departing the previously described line, for a distance of 5.00 feet to the Point of Beginning.

## Exhibit "D"

### Legal Description

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[TO BE ATTACHED PURSUANT TO SECTION "A" OF THIS AGREEMENT]

**Part B:**

Easement rights contained in that Grant of Utility Easement from A.E. Golon and Florence Golon, husband and wife, to Mister Donut Development Corporation dated November 7, 1968 and filed December 3, 1968 in Official Records Book 422, Page 48, and further conveyed by Quit Claim Deed from Nancy Thornburgh and Sandra Kent, AKA Sandra Kent, individually and as Trustee under the will of A.E. Golon, deceased, to Robert G. Bauersachs and C. Janet Bauersachs, husband and wife, dated January 14, 1980 and filed January 24, 1980 in Official Records Book 804, Page 2127; and further conveyed by Quit Claim Deed from Robert G. Bauersachs and C. Janet Bauersachs, his wife, to Ralph M. Henriquez, Jr. and Danise Henriquez, his wife, dated March 9, 1987 and filed in Official Records Book 1004, Page 2354; and further conveyed by Quit Claim Deed by Gui Govaert, Trustee, to Jimmy Rodriguez dated May 10, 1991 and filed May 21, 1991 in Official Records Book 1170, Page 1315; and further conveyed by Jimmy Rodriguez, a married man to Joan Lord-Papy, a married woman, dated September 18, 1997 and filed September 26, 1997 in Official Records Book 1477, Page 1218, over the following described lands:

A parcel of land on the Island of Key West, Florida, and being described as a part of Parcel 9 of a Plat of Survey recorded in Plat Book 3, at Page 35, Public Records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:

Commence at the Northeast corner of said Parcel 9, bear South 52°25'40" West along the Southeast Right of Way line (curb line) of North Roosevelt Boulevard for a distance of 102.71 feet; thence run South 37°34'20" East for a distance of 125 feet to the Point of Beginning of the strip of land herein described; from said Point of Beginning continue South 37°34'20" East a distance of 75 feet to a point, which point is the Southeast corner of lands described in Official Records Book 66 on Pages 209 and 210 of the Public Records of Monroe County, Florida; from said point run South 52°25'40" West, a distance of 10 feet to a point; thence run North 37°34'20" West, a distance of 75 feet to a point; thence run North 52°25'40" East, a distance of 10 feet back to the Point of Beginning.



**City of Key West  
Planning Department  
Verification Form**  
*(Where Applicant is an entity)*

I, Anthony Davila, in my capacity as Attorney  
*(print name)* *(print position; president, managing member)*  
of Smith Hawks, PL  
*(print name of entity)*

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

2900 N Roosevelt Blvd., Key West, FL 33040, 3026 N Roosevelt Blvd., Key West, FL 33040, 3022 N Roosevelt Blvd., Key West, FL 33040, and 900-924 Kennedy Dr., Key West, FL 33040

*Street address of subject property*

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

*Anthony Davila*  
*Signature of Applicant*

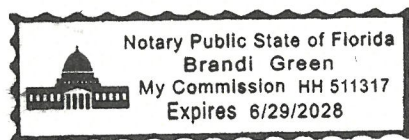
Subscribed and sworn to (or affirmed) before me on this 05/15/2026 by  
*date*

Anthony Davila  
*Name of Applicant*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

*Brandi Green*  
*Notary's Signature and Seal*

Brandi Green  
*Name of Acknowledger typed, printed or stamped*



06/29/2028  
*Commission Number, if any*

# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

Parcel ID 00065640-000000  
 Account# 1068403  
 Property ID 1068403  
 Millage Group 10KW  
 Location 2900 N ROOSEVELT Blvd, KEY WEST  
 Address  
 Legal Description KW PLAT OF SURVEY OF LANDS ON ISLAND OF KEY WEST MONROE COUNTY FLA PT TR 9 AND PT TR 14 PB3-35 AND A PARCEL OF LAND LYING SWLY OF 13TH ST AND A PARCEL OF LAND LYING BETWEEN TR 9 AND TR 14 OF PB3-35 OR563-1045/46 OR703-464/76E OR706-292/93OR823-135/37 OR823-138/42 OR880-522/38 OR926-593E OR955-197/201 OR1106-1/3 OR1263-410/13 OR1362-516/17(MERGER) OR1397-1706/10 OR1646-1307/11AFFD OR1646-1332/39AMD OR3265-2479 OR3265-2482 OR3265-2485  
 (Note: Not to be used on legal documents.)  
 Neighborhood 31030  
 Property Class SHOPPING CENTER (1500)  
 Subdivision  
 Sec/Twp/Rng 33/67/25  
 Affordable No  
 Housing



### Owner

REAL SUB LLC  
 PO Box 32018  
 Lakeland FL 33802

### Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$18,305,514	\$17,400,810	\$15,613,181	\$16,487,713
+ Market Misc Value	\$981,173	\$773,264	\$773,382	\$773,518
+ Market Land Value	\$31,513,385	\$15,319,007	\$14,589,530	\$14,589,530
= Just Market Value	\$50,800,072	\$33,493,081	\$30,976,093	\$31,850,761
= Total Assessed Value	\$50,800,072	\$26,663,613	\$24,239,649	\$22,036,045
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$50,800,072	\$33,493,081	\$30,976,093	\$31,850,761

### Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$15,319,007	\$17,400,810	\$773,264	\$33,493,081	\$26,663,613	\$0	\$33,493,081	\$0
2023	\$14,589,530	\$15,613,181	\$773,382	\$30,976,093	\$24,239,649	\$0	\$30,976,093	\$0
2022	\$14,589,530	\$16,487,713	\$773,518	\$31,850,761	\$22,036,045	\$0	\$31,850,761	\$0
2021	\$11,671,624	\$16,402,277	\$773,889	\$28,847,790	\$20,032,769	\$0	\$28,847,790	\$0
2020	\$11,671,624	\$17,174,467	\$774,261	\$29,620,352	\$18,211,609	\$0	\$29,620,352	\$0
2019	\$16,556,009	\$0	\$0	\$16,556,009	\$16,556,009	\$0	\$16,556,009	\$0
2018	\$16,556,009	\$0	\$0	\$16,556,009	\$16,556,009	\$0	\$16,556,009	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(1500)	767,870.00	Square Foot	0	0

**Buildings**

Building ID	40446	Exterior Walls	MIN WOOD SIDING
Style		Year Built	1974
Building Type	SHOPPING CENTER-B / 15B	EffectiveYearBuilt	2010
Building Name	VERIZON RETAIL	Foundation	CONCRETE SLAB
Gross Sq Ft	3127	Roof Type	FLAT OR SHED
Finished Sq Ft	1826	Roof Coverage	ROLLED COMPOS
Stories	1 Floor	Flooring Type	
Condition	GOOD	Heating Type	FCD/AIR DUCTED
Perimeter	273	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	19	Grade	400
Interior Walls		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,826	1,826	210
OPU	OP PR UNFIN LL	948	0	190
OPF	OP PRCH FIN LL	145	0	68
SBU	UTIL UNFIN BLK	208	0	84
<b>TOTAL</b>		<b>3,127</b>	<b>1,826</b>	<b>552</b>

Building ID	40447	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1973
Building Type	SHOPPING CENTER-C / 15C	EffectiveYearBuilt	2010
Building Name		Foundation	CONCRETE SLAB
Gross Sq Ft	231301	Roof Type	FLAT OR SHED
Finished Sq Ft	211123	Roof Coverage	MEMBRANE
Stories	1 Floor	Flooring Type	
Condition	GOOD	Heating Type	FCD/AIR DUCTED
Perimeter	3282	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	19	Grade	400
Interior Walls		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	211,123	211,123	0
GBF	GAR FIN BLOCK	2,065	0	0
CLP	LOAD PLATFM	1,840	0	0
OPU	OP PR UNFIN LL	5,871	0	0
OPF	OP PRCH FIN LL	9,515	0	0
SBF	UTIL FIN BLK	887	0	0
<b>TOTAL</b>		<b>231,301</b>	<b>211,123</b>	<b>0</b>

Building ID	40448	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1978
Building Type	SHOPPING CENTER-B / 15B	EffectiveYearBuilt	2010
Building Name		Foundation	
Gross Sq Ft	13755	Roof Type	with 0% FLAT OR SHED
Finished Sq Ft	11400	Roof Coverage	ROLLED COMPOS
Stories	1 Floor	Flooring Type	
Condition	GOOD	Heating Type	FCD/AIR DUCTED
Perimeter	500	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	19	Grade	400
Interior Walls		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	11,400	11,400	0
OPF	OP PRCH FIN LL	2,280	0	0
SBF	UTIL FIN BLK	75	0	0
<b>TOTAL</b>		<b>13,755</b>	<b>11,400</b>	<b>0</b>

Building ID	40449	Exterior Walls	C.B.S.
Style		Year Built	1991
Building Type	SHOPPING CENTER-B / 15B	EffectiveYearBuilt	2008
Building Name		Foundation	
Gross Sq Ft	12512	Roof Type	
Finished Sq Ft	6000	Roof Coverage	
Stories	1 Floor	Flooring Type	
Condition	GOOD	Heating Type	
Perimeter	320	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0

Depreciation % 23		Grade			400
Interior Walls		Number of Fire PI			0
Code	Description	Sketch Area	Finished Area	Perimeter	
EPD	ELEVATED FOUND	6,000	0	0	
FLA	FLOOR LIV AREA	6,000	6,000	0	
OPU	OP PR UNFIN LL	272	0	0	
OPF	OP PRCH FIN LL	240	0	0	
<b>TOTAL</b>		<b>12,512</b>	<b>6,000</b>	<b>0</b>	

**Yard Items**

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1975	1976	0x0	1	9146 SF	2
CH LINK FENCE	1990	1991	10 x 187	1	1870 SF	1
CH LINK FENCE	1990	1991	6 x 112	1	672 SF	2
RW2	1994	1995	0x0	1	624 SF	3
LC UTIL BLDG	2005	2006	8 x 10	1	80 SF	1
ASPHALT PAVING	1975	1976	0x0	1	329355 SF	2
CONC PATIO	1990	1991	0x0	1	5744 SF	2
CONC PATIO	1992	1993	0x0	1	1160 SF	2

**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Grantor	Grantee
3/8/2024	\$66,600,000	Warranty Deed	2453898	3265	2485	05 - Qualified		
3/8/2024	\$100	Quit Claim Deed	2453897	3265	2482	11 - Unqualified		
3/8/2024	\$100	Quit Claim Deed	2453896	3265	2479	11 - Unqualified		
4/1/1996	\$10,750,000	Warranty Deed		1397	1706	M - Unqualified		
6/1/1993	\$8,500,000	Warranty Deed		1263	410	K - Unqualified		
6/1/1989	\$5,575,000	Warranty Deed		1106	1	M - Unqualified		
8/1/1985	\$1	Warranty Deed		955	197	M - Unqualified		
12/1/1980	\$6,925,900	Warranty Deed		823	135	M - Unqualified		

**Permits**

Number	Date Issued	Status	Amount	Permit Type	Notes
25-2840	11/05/2025	Active	\$1,950		Install Cellular Communicator to existing fire alarm
BLD2024-2624	10/28/2025	Completed	\$200,000	Commercial	PUBLIX LIQUOR STORE REMODELING
BLD2025-1579	06/24/2025	Completed	\$7,045	Commercial	FIRE ALARM PERMIT
BLD2025-1109	05/02/2025	Completed	\$78,500	Commercial	PUBLIX #1455 FIRE SPRINKLER PERMIT MASTER (BLD2024-2623).
BLD2025-0933	04/15/2025	Active	\$10,500	Commercial	CHANGE OUT ONE (1) RUUD 5 TON PACKAGE UNIT ON ROOF - SAME FOR SAME
BLD2025-0794	04/07/2025	Active	\$9,882	Commercial	PUBLIX 1455 FIRE SUPPRESSION PERMIT. PLEASE LINK TO BLD2024-2623 MASTER PERMIT
BLD2025-0634	03/17/2025	Completed	\$616,580	Commercial	REFRIGERATION- REMODEL WALK-IN-COOLERS AND SEAFOOD CASES
BLD2025-0051	02/10/2025	Completed	\$350,000	Commercial	PUBLIX 1455 ELECTRICAL (PARENT PERMIT BLD2024-2623)
BLD2024-3207	01/31/2025	Completed	\$3,794	Commercial	PLUBLIX LIQUOR #1455 BLD2024-2624-CHANGE 1 RTU CHANGE 1 RTU.
BLD2025-0020	01/24/2025	Completed	\$18,500	Commercial	HOOD AND GREASE DUCT.
BLD2025-0021	01/24/2025	Completed	\$72,980	Commercial	PUBLIX 1455 - CHANGE (7) RTU AND FAN. MASTER BLD2024-2623
BLD2025-0050	01/21/2025	Completed	\$22,000	Commercial	PUBLIX LS 1455 ELECTRICAL (PARENT PERMIT BLD2024-2624)
BLD2025-0022	01/13/2025	Completed	\$62,700	Commercial	PLUBLIX 1455 PLUMBING (MASTER BLD2024-2623). PROVIDE AND INSTALL NEW PLUMBING FOR INTERIOR REMODEL OF PUBLIX SUPER MARKET.
BLD2025-0023	01/13/2025	Completed	\$2,500	Commercial	PUBLIX LS 1455, PLUMBING AS PER PLAN LIQUOR STORE.
BLD2024-2623	10/15/2024	Completed	\$1,000,000	Commercial	PUBLIX 1455 INTERIOR REMODELING WITH MINOR EXTERIOR WORK
BLD2024-1140	07/08/2024	Completed	\$1,980	Commercial	PUBLIX 1445, FIRE ALARM CELL BACK UP
BLD2024-1168	05/03/2024	Completed	\$1,980	Commercial	FIRE ALARM CELL BACK UP PUBLIX 1445 (KMART).
BLD2023-2735	10/03/2023	Completed	\$16,850	Commercial	change out existing 7.5 ton package unit same location same curb N

Number	Date Issued	Status	Amount	Permit Type	Notes
BLD2023-1103	04/17/2023	Completed	\$270,000	Commercial	Office Max - Remove 1625SQ existing flat roofing and install a new Hydro Stop Rubber Membrane roofing system. Remove 35SQ existing metal roofing and replace with a new 5V-Crimp metal roofing system.
BLD2023-1071	04/13/2023	Completed	\$1,150	Commercial	Install/wire 2 (two) existing outlets, atf, Key West Spine and Injury office.
BLD2023-0812	03/27/2023	Completed	\$330,000	Commercial	Dollar Tree: Remove 2365SQ existing flat roofing and install a new HydroStop Rubber Membrane Roofing System. Remove 25SQ existing 5V-Crimp metal roofing and replace with new of the same
BLD2023-0507	02/22/2023	Completed	\$8,000	Commercial	Emergency Permit for broken water line underground. Broken water line underground.
BLD2022-3357	12/14/2022	Completed	\$5,500	Commercial	Demo of existing interior finishes.
BLD2022-3504	12/07/2022	Completed	\$5,000	Commercial	emergency 8 in water main break
BLD2021-2630	02/08/2022	Completed	\$14,572	Commercial	14 SEER PACKAGE UNIT FOR FRONT DINGIN AREA AND A 4T/ 14 SEER SPLIT FOR THE REAR AREAS LIKE FOR LIKE REPLACEMENT. AC CHANGEOUT 2/8/2022 2:05:51 PM THE STAND IN THE PHOTO IS NOT ANCHORED.
BLD2021-2280	08/11/2021	Completed	\$7,000	Commercial	CHANGE OUT PACK UNIT
BLD2021-2088	07/03/2021	Completed	\$12,254	Commercial	LIKE FOR LIKE ROOF TOP A/C 5 TON CHANGEOUT
BLD2021-1606	06/10/2021	Completed	\$27,000	Commercial	PATCHING DAMAGED ASPHALT NOC
BLD2019-4218	12/05/2019	Completed	\$25,200	Commercial	ROOFING
BLD2019-3662	10/29/2019	Completed	\$7,595	Commercial	FENCE
BLD2019-3429	09/24/2019	Completed	\$4,050	Commercial	Provide/Install (new) 208v 3pk Disconnect for Trash Compactor
BLD2019-3012	08/27/2019	Completed	\$1,000	Commercial	INSTALL DOUBLE WALL VENT PIPE THOUGH W/GOOSE NECK VENT CAP TO BE DRIED IN BY MTM ROOFING. VENT PIPE IS FOR BREAD OVEN (TUDOR STYLE).
BLD2019-2551	08/20/2019	Completed	\$8,000	Commercial	Installation of 5 ton M4AH3060B1000A air handler/ M4AC4060C1000A condenser
BLD2019-2551	08/20/2019	Completed	\$8,000	Commercial	MECHANICAL HVAC
BLD2018-0662	08/08/2019	Completed	\$46,000	Commercial	Construct steel stud wall 40 lf with drywall both sides for handicap bathroom and prep area Install 2 layers 5/8 drywall on existing partition wall 60 lf install 960 sf tile floor *****Revision # 1 ***** Install 39 LF of Counter top, sandwich display, gelator cover 2 refrigerators and pizza oven
BLD2019-2765	08/05/2019	Completed	\$700	Commercial	Disconnect existing sign circuit and transformer and rewire new transformer for new sign
BLD2019-2613	08/01/2019	Completed	\$18,412	Commercial	
BLD2019-2613	08/01/2019	Completed	\$18,412	Commercial	7/22/2019 1:34:11 PM REMOVE AND REPLACE REAR ENTRY DOORS AT H&R BLOCK, KW SPINE, AT&T, ISLAND GUITAR , UPS STORE, KEY WEST CREPERIE AND BIG JOHNS PIZZA, REMOVE AND REPLACE DELIVERY DOORS AT REAR OF KMART/TMOBILE, REMOVE AND REPLACE 2 LOUVRE DOUBLE DOORS @STORAGE ROOM BEHIND METRO PCS AND PUBLIX LIQUORS AND ELECTRICAL ROOM DOOR AT PUBLIX LIQUOR *NOC WITH APPLICATION***
BLD2019-2579	07/18/2019	Completed	\$24,000	Commercial	Paint exterior of key plaza strip mall ( big johns through H&R Block)
BLD2019-2583	07/18/2019	Completed	\$5,000	Commercial	Interior remodel of (2) existing pool bathrooms plumbing to replace fixtures.
BLD2019-2055	06/17/2019	Completed	\$900	Commercial	Installing (2) 120 gallon ASMA LPG tanks on a 3' x 6' x 10" concrete slab, tied down to offset buoyancy. Running approximately 75' of LPG line to operate a commercial kitchen and external on demand water heater.
BLD2019-1580	05/28/2019	Completed	\$27,160	Commercial	INSTALL 2075 SQ' METAL FRAMED 20 GUAGE 3 5/8 WALL PARTITIONS
BLD2019-1497	04/26/2019	Completed	\$25,000	Commercial	INSTALLATION OF PLUMBING FOR KITCHEN AND FRONT BAR, GREASE LINE. COMPLETE WITH FLOOR DRAINS AND FLOOR SINK. INSTALLATION OF SANITARY BATHROOM LINES AND INSTALLATION OF OWNER PROVIDED FIXTURES
BLD2019-1127	03/29/2019	Completed	\$16,000	Commercial	Renovate electrical per attached plans including 50 outlets, 1 hood system, 1 walk in cooler, 30 light fixtures, 3 emergency lights (existing service to remain previously inspected and evaluated) UNIT 1124
BLD2019-0467	02/28/2019	Completed	\$900	Commercial	To install (2) 120 Gal propane tanks on a concrete foundation poured and formed to code. To run about 60' of copper tubing for pizza oven and on demand water heater
BLD2019-0745	02/26/2019	Completed	\$5,000	Commercial	Run new conduits, feeders, install new sub panel, breakers, new receptacles, switched.
18-1752	04/30/2018	Completed	\$2,500	Commercial	Install convenient receptacles, move switches and install exit lights. **NOC exempt** April 23, 2018 9:46:13 AM keywvxc.
18-1568	04/17/2018	Completed	\$25,000	Commercial	Demo 12lf of existing partition wall. Construct 88 lf of fire rated partition wall, install new tile on floor (1600 sq ft). Finish interior for tenant. **NOC RECV'D 5/3/18** May 3, 2018 1:36:22 PM KEYWGRC.
18-0951	03/26/2018	Completed	\$94,038	Commercial	Asphalt overlay, install and paint (2) new speed bumps and stripe layout. ****n.o.c required***** 6/6/2018 12:00:00 AM June 6, 2018 9:16:35 AM keywjky. *****N.O.C RECIEVED 06/06/18*****
17-1585	04/27/2017	Completed	\$12,000	Commercial	INSTALL 1 POT WASHER AND 1 NEW 3 COMPARTMENT SINK IN BAKERY DEPARTMENT
17-1586	04/27/2017	Completed	\$6,150	Commercial	INSTALL 60 AMP 3 PH SERIVCE TO NEW POT WASHER
17-1587	04/27/2017	Completed	\$18,000	Commercial	INSTALL POT WASHER EXHUAST DUCT AND FAN
17-1588	04/27/2017	Completed	\$51,119	Commercial	REPLACE EXISTING 3 COMPARTMENT SINK IN BAKERY DEPARTMENT. INSTALL NEW POT WASHER IN BAKER DEPT

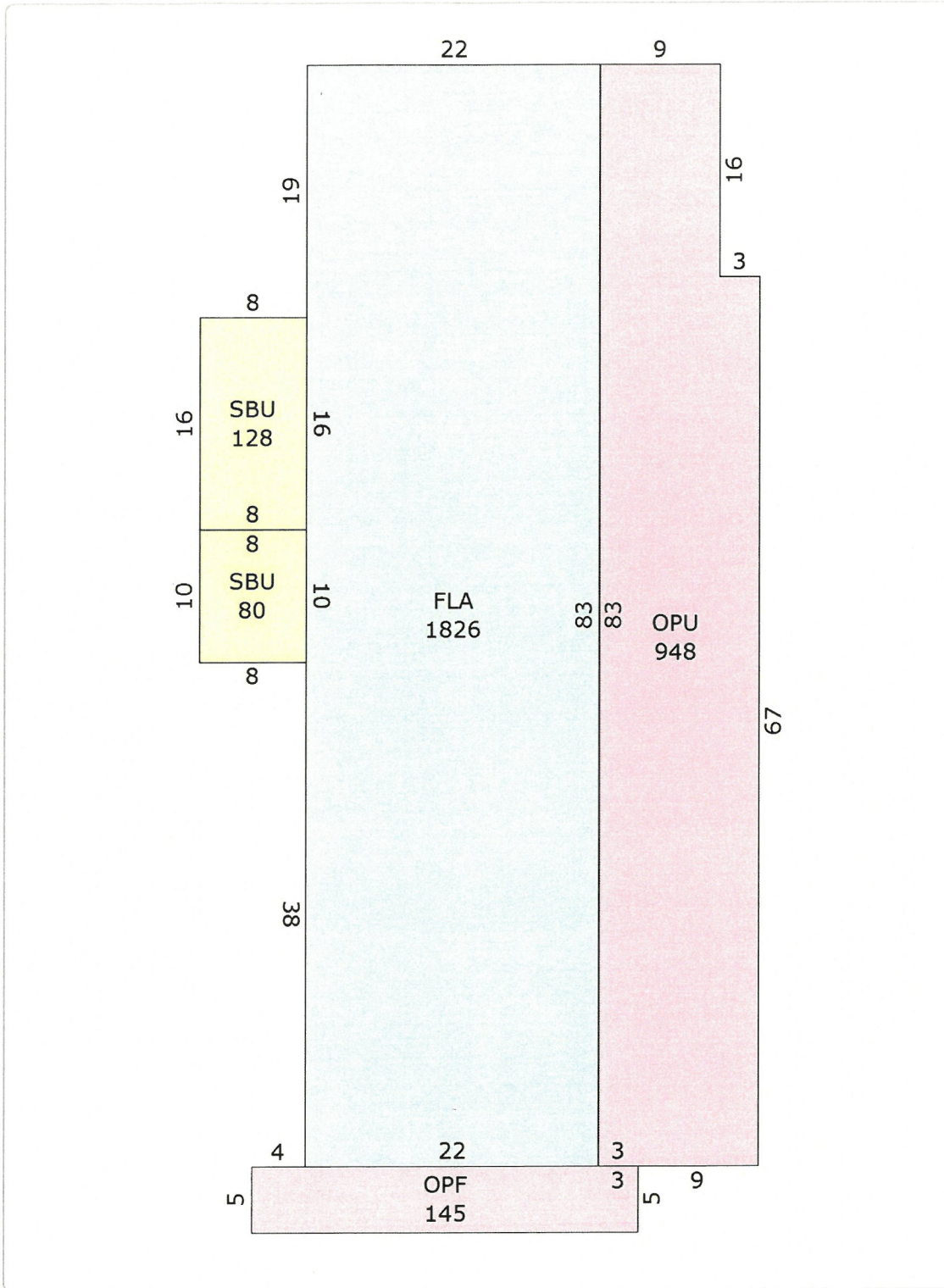
Number	Date Issued	Status	Amount	Permit Type	Notes
16-3099	08/10/2016	Completed	\$45,842	Commercial	Demolish AT&T hut
16-3101	08/10/2016	Completed	\$5,000	Commercial	Demolish AT&T Hut electrical CANCEL:To whom it may concern, In regards to permit #16-00003101 (electrical) and permit #16-00003102 (mechanical) the work never proceeded with either permit. Keys Energy disconnected from the project and no other electrical work needed to be done for the demolition of the building. There was also no mechanical work to be done. Please close these permits. The demolition permit associated with these permits is #16-00003099. This permit has received it's final inspection. Thank you. Sincerely, Rudy
16-3102	08/10/2016	Completed	\$1,000	Commercial	Demolish AT&T Hut a/c unit. CANCEL:To whom it may concern, In regards to permit #16-00003101 (electrical) and permit #16-00003102 (mechanical) the work never proceeded with either permit. Keys Energy disconnected from the project and no other electrical work needed to be done for the demolition of the building. There was also no mechanical work to be done. Please close these permits. The demolition permit associated with these permits is #16-00003099. This permit has received it's final inspection. Thank you. Sincerely, Rudy Krause Rudy Krause Construction
15-3711	11/02/2015	Completed	\$58,000	Commercial	ADD AND RELOCATE 177 FIRE SPRINKLERS IN PUBLIX.
15-2229	06/17/2015	Completed	\$550,000	Commercial	ELECTRICAL RENOVATIONS ASSOCIATED WITH INTERIOR RENOVATION
15-2230	06/17/2015	Completed	\$100,000	Commercial	RENOVATIONS TO EXISTING UNDERGROUND, SUPPLY, GAS AND EVAC PLUMBING SYSTEMS ASSOCIATED WITH INTERIOR RENOVATIONS.
15-2240	06/10/2015	Completed	\$22,400	Commercial	INSTALL NEW MODIFIED BITIMEN ROOF SYSTEM AT LOADING DOCK AREA CONSTRUCTED BY OTHERS.
15-1389	06/03/2015	Completed	\$375,000	Commercial	RENOVATION OF EXISTING GROCERY STORE INCL STRUCTURAL.
14-3916	09/10/2014	Completed	\$12,498	Commercial	CHANGE OUT OF 12 1/2 TON A/C SYSTEM W/EXISTING POWER AND CURB. **NOC REQUIRED
14-2766	06/09/2014	Completed	\$0	Commercial	AFTER THE FACT: SEAL COAT, RE-STRIPE PORTION OF PARKING LOT ADJACENT TO KMART, 120,520SF.
14-0739	03/03/2014	Expired	\$7,935	Commercial	CUT OUT 7LF OF BRIDGED WALL FLASHING AND ALLOW TO RELAX. PROVIDE AND INSTALL NEW EPDM MEMBRANE TO OPEN AREA AT WALL AND ROOF DECK AND TERMINATE AT ANGLE CHANGE W/NEW FASTNERS AND BATTEN BAR, COVER BATTEN BAR W/9" COVER STRIP, REMOVE ONE UNUSED A/C AND CURB, INSTALL INSULATION TO FILL 3-PLY COLD APPLIED MOD. ROOF SYSTEM. TO FLASH OVER.
13-4763	11/19/2013	Completed	\$8,000	Commercial	INSTALL GREASE TRAP
13-4720	11/18/2013	Completed	\$2,000	Commercial	INSTALL KITCHEN HOOD
13-4142	10/28/2013	Completed	\$4,000	Commercial	RUN DUCT WORK FOR EXHAUST
13-4393	10/18/2013	Completed	\$9,600	Commercial	ADJUST SPRINKLER COVERAGE FOR NEW WALLS AND CEILING HEIGHTS.
13-4144	10/09/2013	Completed	\$3,000	Commercial	REVISION: EXTRA DRAIN LINE TO CONNECT TO SEWER LINE.
13-4212	10/03/2013	Completed	\$12,498	Commercial	CHANGE OUT A 12 1/2 TON MINI SPLIT A.C. SYSTEM USING EXISTING ELECTRICAL AND STAND.
13-4212	10/03/2013	Completed	\$12,498	Commercial	CHANGE OUT OF A 12 1/2 TON MINI SPLIT A/C SYSTEM USING EXISTING ELECTRICAL AND STAND. REVISION: A.C. IS NOT A 12 1/2 TON MINI SPLIT, IT IS A 12 1/2 TON PACKAGE A.C. ENGINEEREED DRAWINGS ATTACHED.
13-3987	09/24/2013	Completed	\$2,040	Commercial	INSTALLING ABOVE DOORS CHANNEL LETTERS
13-3988	09/24/2013	Completed	\$2,040	Commercial	21 & 18 CHANNEL LETTERS INSTALLED TO FRONT FASCIA OF BLDG. ABOVE STORE FRONT W/ LAGS BOTS.
13-3931	09/17/2013	Completed	\$5,000	Commercial	INSTALL NEW LIGHT FIXTURES. 2 NEW ELECTRIC PANELS. RUN ELECTRIC FOR CASH REGISTER, PIZZA OVEN AND WALK-IN REFRIGERATOR.
13-3248	08/19/2013	Expired	\$12,800	Commercial	TO ADD AND RELOCATE FIRE SPRINKLERS THROUGHOUT STICK AND STEIN TO ACCOMMODATE EXISTING UNIT LAYOUT DUE TO IMPROPER FIRE SPRINKLER HEAD SPACING.
13-3011	08/02/2013	Completed	\$150,000	Commercial	CONSTRUCTION OF A LITTLE CAESARS WITHIN THE KEY WEST KMART STORE 1000SF.
13-2340	07/16/2013	Completed	\$1,075	Commercial	REVISION: MOVE PROPANE SLAB AWAY FROM BUILDING.
13-2807	07/15/2013	Expired	\$1,000	Commercial	INSTALL FIRE SYSTEM INTO EXHAUST HOOD
13-0564	07/05/2013	Completed	\$5,300	Commercial	REVISION INSTALLATION OF CONCRETE PAD WITH DRAWINGS FOR GAS TANK.
13-2087	06/14/2013	Completed	\$1,300	Commercial	INSTALL WALLS FOR 2 ROOM PARTITIONS.
13-2198	06/07/2013	Completed	\$1,785	Commercial	RELOCATE AND ADD SPRINKLER HEADS
13-2200	06/07/2013	Expired	\$2,035	Commercial	RELOCATE AND ADD FIRE SPRINKLER HEADS
13-2325	05/31/2013	Completed	\$600	Commercial	SIGN
13-2326	05/31/2013	Completed	\$1,000	Commercial	CHANNEL LETTERS 15" AND 30" RED BLUE INTERNALLY LIT WITH LED'S . INSTALLED FRONT FRONT FACIA OF BUILDING ABOVE DOOR W/ LAG BOLTS.
13-2076	05/09/2013	Completed	\$1,000	Commercial	RUN ELECTRICAL 220 FOR TAN BEDS & EXTRA WALL PLUGS.
13-1010	05/01/2013	Completed	\$3,000	Commercial	MOVE EXISTING TOILET & LAV. TO MAKE ADA, ADD 13 COMPARTMENT SINKS W/GREASE TRAP 2 HAND SINKS.
13-1815	04/26/2013	Completed	\$1,800	Commercial	INSTALL IRRIGATION SYSTEM USING PVC PIPE 3/4" & PVC PARTS, RAINBIRD POP UP SPRINKLERS, TIMER BOX, VOLVERS, RAIN SENSOR, IRRIGATION WIRE, VALVE BOXES. (EVERYTHING TRENCHED AND BURIED)
13-0827	04/12/2013	Completed	\$5,000	Commercial	INSTALLATION OF ROLLING DOOR AT ENTRANCE TO LIQUOR STORE.
13-1121	04/08/2013	Completed	\$3,500	Commercial	UPGRADE ELECTRICAL SERVICE FROM 100 AMP TO 150 AMP. INSTALL NEW ELECTRIC.
13-1243	04/04/2013	Completed	\$4,000	Commercial	INSTALL 3' X 8" HOOD SYSTEM.
13-1152	03/26/2013	Completed	\$2,400	Commercial	REPLACE FOURTY SIX (46) FLUORESCENT FIXTURES UNDER AWNINGS.
13-0969	03/14/2013	Completed	\$2,000	Commercial	REPLACE EXISTING LETTERS WITH SAME SIZE LETTERS & COPY LED "OFFICE MAX"
13-0828	03/06/2013	Completed	\$8,500	Commercial	10 SQS INSTALL MODIFIED RUBBER TO PARAPET WALL. INSTALL 320 LF OF FLASHING & FLASH A/C UNITS
13-0708	02/27/2013	Completed	\$1,500	Commercial	4' X 6" BACKLIT CABINET INSTALLED ABOVE DOOR IN SIGN AREA. CONNECTING TO EXISTING ELEC. 4' OF 6' H BULBS 75 WATTS EACH TOTAL OF 300 WATTS 2.34 MAX. AMPS.
13-0734	02/27/2013	Completed	\$45,000	Commercial	CHANGE OUT OF FIVE (5) TON A.C. SYSTEM WITH THIRTY (3) DROPS AND ONE (1) EXHAUST FAN
13-0649	02/20/2013	Completed	\$700	Commercial	INSTALL DRYER EXHAUST ONLY

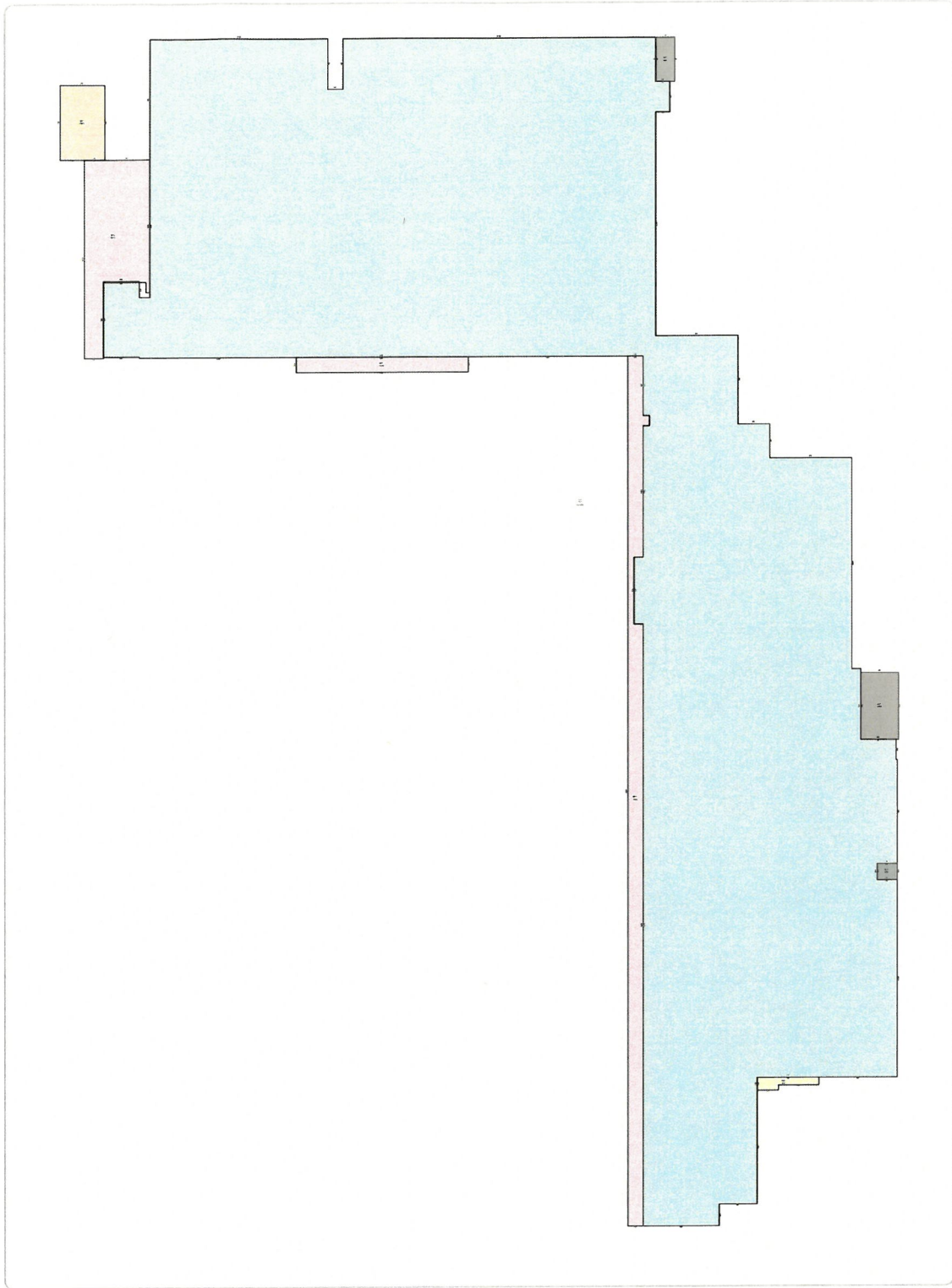
Number	Date Issued	Status	Amount	Permit Type	Notes
13-0635	02/15/2013	Completed	\$9,285	Commercial	PROVIDE & INSTALL NEW PLUMBING AS PER PLANS TWO (2) ADA TOILETS, TWO (2) ADA LAVATORIES/SINKS, ONE (1) DRINKING FOUNTAIN, ONE (1) MOP SINK AND ONE (1) WATER HEATER.
13-0601	02/14/2013	Completed	\$700	Commercial	INSTALLATION OF CONDUIT, CABLING, & DEVICES FOR TELE/DATA/POS SYSTEM
13-0602	02/14/2013	Completed	\$19,120	Commercial	INSTALLATION OF LIGHTING & POWER WITH ASSOCIATED BRANCH CIRCUITRY, FIXTURES, LIGHTING CONTROL, BOXES, DEVICES & COVERS.
13-0529	02/11/2013	Completed	\$1,500	Commercial	INSTALL PLUMBING TO HOT WATER HEATER, WASHER, 3 SINKS.

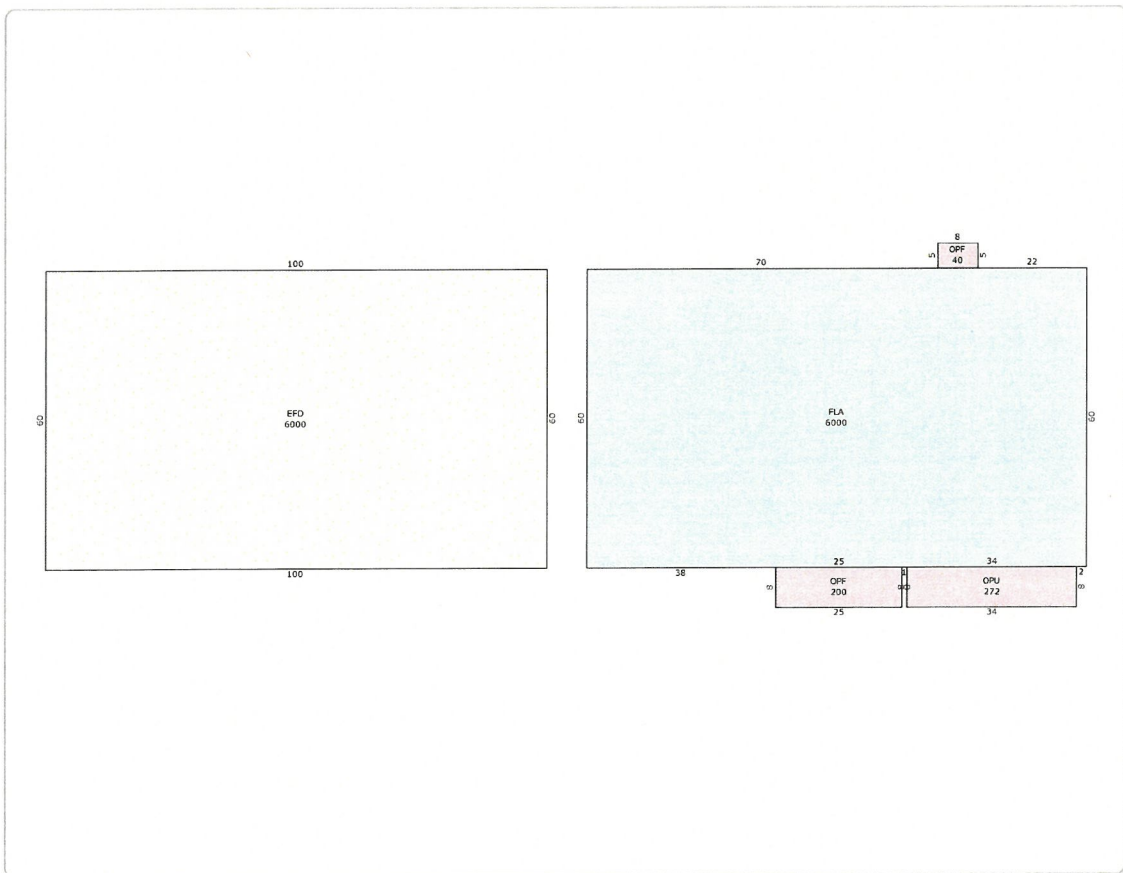
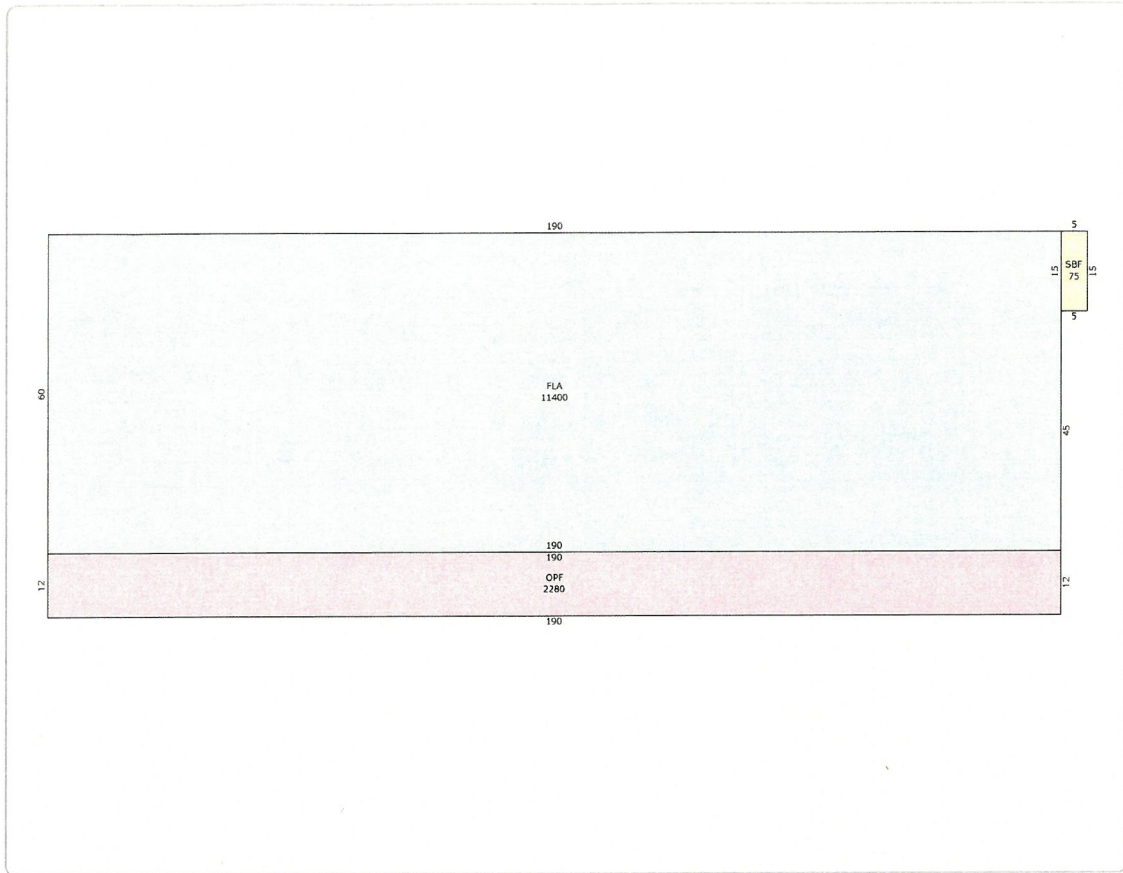
### View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)







Photos



Map



TRIM Notice

[2025 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[| User Privacy Policy](#) | [GDPR Privacy Notice](#)  
 Last Data Upload: 5/11/2026, 11:10:29 PM

Contact Us

Developed by  
 SCHNEIDER  
 GEOSPATIAL

This instrument prepared by  
(and after recording return to):  
Allison Campbell, Esq.  
Publix Super Markets, Inc.  
PO Box 407  
Lakeland, Florida 33802-0407

Property Appraiser's Parcel IDs: 00065640-000000 and 00065640-000800  
Property Appraiser's Property IDs: 1068403 and 1068501

### **SPECIAL WARRANTY DEED**

**KEY PLAZA I, INC., a Florida corporation, as successor Trustee under the Land Trust Agreement dated March 28, 1996, recorded April 10, 1996, in Official Records Book 1397, Page 1695, of the Public Records of Monroe County, Florida, as amended ("Grantor"), whose mailing address is Attn: Benjamin J. Dempsey, 50 Tice Boulevard, Suite 320, Woodcliff Lake, New Jersey 07677, in consideration of ten dollars (\$10.00) and other valuable considerations received from REAL SUB, LLC, a Florida limited liability company ("Grantee"), whose mailing address is Post Office Box 407, Lakeland, Florida 33802-0407, hereby grants and conveys to Grantee the real property in Monroe County, Florida, described on the attached Exhibit A, along with Grantor's right, title and interest in and to any rights, privileges, hereditaments, appurtenances, and easements related to such real property.**

This conveyance is subject to real estate taxes for 2024 and subsequent years, and the matters described on **Exhibit B** (without the intent of re-imposing same).

Subject in all events to the matters described on **Exhibit B** (without the intent of re-imposing same), Grantor hereby warrants the title to the property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor.

DATED this 8<sup>th</sup> day of March, 2024.

[SIGNATURE PAGE FOLLOWS]

Signed in the presence of:

**KEY PLAZA I, INC., a Florida corporation, as successor Trustee under the Land Trust Agreement dated March 28, 1996, recorded April 10, 1996, in Official Records Book 1397, Page 1695, of the Public Records of Monroe County, Florida, as amended**



(print name): TAL MOR  
Address: 50 THE BLVD, Suite 320  
Woodcliff Lake, NJ 07677



By: \_\_\_\_\_  
Name: Benjamin J. Dempsey  
Title: Vice President



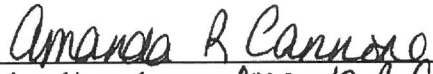
(print name): TARA M BOWER  
Address: 50 Tie Blvd, STE 320  
Woodcliff Lk NJ 07677

**STATE OF NEW JERSEY**

**COUNTY OF BERGEN**

The foregoing instrument was signed and acknowledged before me by means of  physical presence or  online notarization this 27 day of February, 2024, by Benjamin J. Dempsey, as Vice President of **KEY PLAZA I, INC., a Florida corporation, as successor Trustee under the Land Trust Agreement dated March 28, 1996, recorded April 10, 1996, in Official Records Book 1397, Page 1695, of the Public Records of Monroe County, Florida, as amended**, on behalf of the corporation in its capacity as successor Trustee. Such person  is personally known to me or  has produced a \_\_\_\_\_ as identification.

AMANDA R CANNONE  
Notary Public, State of New Jersey  
Comm. # 2443463  
My Commission Expires 2/26/2029



Printed/typed name: Amanda R Cannone  
Notary Public-State of New Jersey  
Commission Number: 2443463  
Commission expires: February 26, 2029

EXHIBIT A TO SPECIAL WARRANTY DEED

Property Description

Part A:

A parcel of land on the Island of Key West, Monroe County, Florida and being a part of Parcel 9 and a part of Parcel 14, according to "Plat of Survey of Lands on Islands of Key West, Monroe County, Florida as indicated and described", recorded in Plat Book 3 at Page 35 of the Public Records of Monroe County, Florida; and other lands; said parcel of land being described herein by metes and bounds as follows:

COMMENCE at the Northeast corner of said Parcel 9 and run thence South 52°25'40" West along the South right-of-way of North Roosevelt Boulevard for a distance of 222.71 feet to the Point of Beginning; thence run South 37°34'20" East for a distance of 125 feet; thence run North 52°25'40" East for a distance of 120 feet; thence run South 37°34'20" East for a distance of 175 feet; thence run South 52 degrees 25 minutes 40 seconds West for a distance of 15.82 feet; thence run South 37°34'20" East for a distance of 90 feet; thence run North 52°25'40" East for a distance of 10.25 feet; thence run South 44°04'20" East for a distance of 211.36 feet to the south boundary of the said Parcel 9; thence run North 52°25'40" East for a distance of 198.90 feet to the westerly right-of-way of 13th Street; thence run Southeasterly along the said westerly right-of-way of 13th Street for a distance of 50.31 feet to the North boundary of said Parcel 14 extended easterly; thence run South 52°25'40" West along the north boundary of the said Parcel 14 and along the extension thereof for a distance of 150 feet, more or less, to the northwesterly corner of the lands described in Official Record Book 423 at Page 888 of the Public Records of Monroe County, Florida; thence run South 36°27'24" East for a distance of 100 feet; thence run South 52°25'40" West for a distance of 50 feet; thence run South 31°30'53" East for a distance of 149.64 feet; thence run South 21°10'40" East for a distance of 317.35 feet to a point on the south boundary line of said Parcel 14; thence run South 68°45'03" West along the south boundary of the said Parcel 14 for a distance of 690.77 feet to the Southwest corner of the said Parcel 14; thence run North 37°34'20" West along the westerly boundary of the said Parcel 14 and an extension thereof for a distance of 409 feet to a point lying 600 feet from the south right-of-way of the said North Roosevelt Boulevard and measured at right angles from the said Boulevard; thence run North 52°25'40" East for a distance of 50 feet; thence run North 37°34'20" West for a distance of 400 feet; thence run North 52°25'40" East for a distance of 97.29 feet; thence run North 37°34'20" West for a distance of 200 feet to the South right-of-way of the said North Roosevelt Boulevard; thence run North 52°25'40" East along the South right-of-way of the said North Roosevelt Boulevard for a distance of 480 feet back to the Point of Beginning, less any portion lying in road right of way.

Part B:

Together with Easement given by Bernard Jacobson, as Nominee of the Trustees of Republic Mortgage Investors to Market Place Property, N.V. dated December 18, 1980 and recorded December 19, 1980 under Clerk's File No. 227924, Official Records Book 823, Page 138 of the Public Records of Monroe County, Florida, said easement being on the following described parcel:

A parcel of land on the Island of Key West, Monroe County, Florida and being a part of Parcel 14, according to Plat of Survey of Lands on Islands of Key West, Monroe County, Florida as indicated and described, recorded in Plat Book 3 at Page 35 of the Public Records of Monroe County, Florida, said parcel of land being described by metes and bounds as follows:

BEGIN at the Southeast corner of said Parcel 14 and run thence South  $68^{\circ}45'03''$  West along the South boundary of said Parcel 14 a distance of 191.88 feet to a point; thence North  $21^{\circ}10'40''$  West 22 feet to a point; thence North  $68^{\circ}45'03''$  East 191.88 feet to a point on the Westerly right of way boundary line of Kennedy Drive (13th Street); thence South  $21^{\circ}10'57''$  East along the said Westerly right of way line of Kennedy Drive (13th Street) for a distance of 22 feet back to the Point of Beginning.

EXHIBIT B TO SPECIAL WARRANTY DEED

1. Taxes and assessments for 2024 and subsequent year that are not yet due or payable;
2. Rights of tenants under the leases, tenancies, licenses or other rights of occupancy or use affecting the real property conveyed hereby (the "Property") that are identified in the exhibits to an Assignment and Assumption of Leases of even date herewith executed by Grantor and Grantee, without any options or rights of first refusal to purchase the Property or any portion thereof;
3. All matters that would be shown by an accurate survey of the Property;
4. Easement by and between A.E. Golan and Florence Golan, his wife, to The Utility Board of Key West, filed March 2, 1964, in Official Records Book 302, at Page 573, Public Records of Monroe County, Florida;
5. Grant of Easement by and between A.E. Golan and Florence Golan, his wife, to Mister Donut Development Corporation, filed in Official Records Book 422, Page 48, Public Records of Monroe County, Florida;
6. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded April 30, 1969 in Official Records Book 430, Page 680, Public Records of Monroe County, Florida;
7. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded April 30, 1969 in Official Records Book 430, Page 683, Public Records of Monroe County, Florida;
8. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded February 4, 1971 in Official Records Book 469, Page 24, Public Records of Monroe County, Florida;
9. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded August 6, 1971 in Official Records Book 482, Page 921, Public Records of Monroe County, Florida;
10. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded October 1, 1971 in Official Records Book 486, Page 1001, Public Records of Monroe County, Florida;
11. Grant of Easement by and between City National Bank of Miami, as Trustee and Florida Keys Aqueduct Authority recorded in Official Records Book 703, Page 464, Public Records of Monroe County, Florida;
12. Grant of Easement by and between City National Bank of Miami and Florida Keys Aqueduct Authority recorded in Official Records Book 703, Page 470, Public Records of Monroe County, Florida;
13. Grant of Easement by and between Lynn Grossman and City of Key West recorded in Official Records Book 703, Page 611, Public Records of Monroe County, Florida;

14. Easement by and between Benard Jacobson, as Nominee of the Trustee of Republic Mortgage Investors, and Market Place Property N.V. recorded December 19, 1980 in Official Records Book 823, Page 138, Public Records of Monroe County, Florida;
15. Easement by and between Market Place Property, N.V., a Netherlands Antilles corporation, to Bernard Jacobson, as Nominee of the Trustees of Republic Mortgage Investors, a Massachusetts business trust, recorded December 19, 1980 in Official Records Book 823, at Page 143, Public Records of Monroe County, Florida;
16. Easement granted to The Utility Board of the City of Key West, Florida recorded November 13, 1984, in official Records Book 926, Page 593, Public Records of Monroe County, Florida;
17. Agreement recorded in Official Records Book 1204, Page 94; and Resolution No. 91-575 recorded August 26, 1994 in Official Records Book 1320, Page 2076, Public Records of Monroe County, Florida;
18. Declaration of Easement and Covenant Running with the Land recorded March 20, 1995 in Official Records Book 1345, Page 2131; Affidavit recorded April 10, 1996 in Official Records Book 1397, Page 1743 (Showing Exhibit D left off original document), Public Records of Monroe County, Florida;
19. Restrictions contained in the Unrecorded Lease by and between Key Plaza Land Trust, a Florida land Trust and Officemax, Inc., an Ohio corporation, evidenced by the Memorandum of Lease recorded August 3, 2000 in Official Records Book 1646, Page 1427; Subordination, Non-disturbance and Attornment Agreement recorded April 13, 2012 in Official Records Book 2564, Page 1770; Subordination, Non-Disturbance and Attornment Agreement recorded August 9, 2022 in Official Records Book 3188, Page 1004, Public Record of Monroe County, Florida; and
20. Terms and conditions of the Unrecorded Lease by and between Auburndale Properties, L.L.C., as Trustee under Land Trust Agreement dated March 28, 1996, and Albertson's, Inc., a Delaware corporation recorded November 30, 2000 in Official Records Book 1664, Page 1625; Subordination, Non-disturbance and Attornment Agreement recorded April 2, 2012 in Official Records Book 2562, Page 1662; Assignment and Assumption Agreement for Store Lease in favor of Publix Super Markets, Inc., a Florida corporation, recorded May 2, 2012 in Official Records Book 2567, Page 2167 ; Subordination, Non-Disturbance and Attornment Agreement by and between First State Bank of the Florida Keys, lender, Key Plaza I, Inc., as Trustee of the Key Plaza Land Trust dated March 28, 1996, Landlord, and Publix Super Markets Inc., Tenant recorded August 9, 2022 in Official Records Book 3188, Page 1012, Public Records of Monroe County, Florida.

# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00065640-000800  
**Account#** 1068501  
**Property ID** 1068501  
**Millage Group** 10KW  
**Location** 3022 N ROOSEVELT Blvd, KEY WEST  
**Address**  
**Legal Description** KW PLAT OF SURVEY OF LANDS ON ISLAND OF KEY WEST MONROE COUNTY FLORIDA A 90 X 115.75 FT PARCEL BEING A PT OF TR 9 OF PB3-35 OR563-1045/46 OR703-464/76 OR706-292/93 OR823-135/37 OR823-138/42 OR926-593 OR955-197/201 OR1106-1/3 OR1263-410/13 OR1362-516/17(MERGER) OR1397-1706/10 OR1646-1307/11AFFD OR1646-1332/39AMD OR3265-2479 OR3265-2482 OR3265-2485  
*(Note: Not to be used on legal documents.)*  
**Neighborhood** 31030  
**Property Class** FINANCIAL (2300)  
**Subdivision**  
**Sec/Twp/Rng** 33/67/25  
**Affordable** No  
**Housing**



### Owner

[REAL SUB LLC](#)  
 3022 N Roosevelt Blvd  
 Key West FL 33040

### Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$1,756,909	\$1,613,101	\$1,562,133	\$1,562,133
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$742,524	\$727,367	\$692,731	\$692,731
= Just Market Value	\$2,499,433	\$2,340,468	\$2,254,864	\$2,254,864
= Total Assessed Value	\$2,499,433	\$1,543,677	\$1,403,343	\$1,275,767
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$2,499,433	\$2,340,468	\$2,254,864	\$2,254,864

### Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$727,367	\$1,613,101	\$0	\$2,340,468	\$1,543,677	\$0	\$2,340,468	\$0
2023	\$692,731	\$1,562,133	\$0	\$2,254,864	\$1,403,343	\$0	\$2,254,864	\$0
2022	\$692,731	\$1,562,133	\$0	\$2,254,864	\$1,275,767	\$0	\$2,254,864	\$0
2021	\$554,184	\$1,643,283	\$0	\$2,197,467	\$1,159,789	\$0	\$2,197,467	\$0
2020	\$554,184	\$1,643,283	\$0	\$2,197,467	\$1,054,354	\$0	\$2,197,467	\$0
2019	\$200,892	\$1,724,432	\$0	\$1,925,324	\$958,504	\$0	\$1,925,324	\$0
2018	\$871,368	\$0	\$0	\$871,368	\$871,368	\$0	\$871,368	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
(2300)	10,417.00	Square Foot	90	115

**Buildings**

Building ID	40457	Exterior Walls	C.B.S.
Style	1 STORY ELEV FOUNDATION	Year Built	1977
Building Type	FINANC INSITUT-A- / 23A	EffectiveYearBuilt	2008
Building Name		Foundation	
Gross Sq Ft	10448	Roof Type	FLAT OR SHED
Finished Sq Ft	9648	Roof Coverage	MIN/PAINT CONC
Stories	1 Floor	Flooring Type	CERM/CLAY TILE
Condition	GOOD	Heating Type	FCD/AIR DUCTED
Perimeter	396	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	23	Grade	450
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
CAN	CANOPY	800	0	0
FLA	FLOOR LIV AREA	9,648	9,648	0
<b>TOTAL</b>		<b>10,448</b>	<b>9,648</b>	<b>0</b>

**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Grantor	Grantee
3/8/2024	\$66,600,000	Warranty Deed	2453898	3265	2485	05 - Qualified		
3/8/2024	\$100	Quit Claim Deed	2453897	3265	2482	11 - Unqualified		
3/8/2024	\$100	Quit Claim Deed	2453896	3265	2479	11 - Unqualified		
4/1/1996	\$1	Warranty Deed		1397	1706	M - Unqualified		
6/1/1989	\$1	Warranty Deed		1106	1	M - Unqualified		
8/1/1985	\$1	Warranty Deed		955	197	M - Unqualified		
12/1/1980	\$40	Warranty Deed		823	135	M - Unqualified		

**Permits**

Number	Date Issued	Status	Amount	Permit Type	Notes
22-1326	01/10/2024	Completed	\$8,100	Commercial	change out 3ton Mitsubishi cassette, same for same.
BLD2021-2833	10/13/2021	Completed	\$24,500	Commercial	Change Out 2 - 7.5ton Package Unit Is Same Location On Same Stand
BLD2019-4217	12/05/2019	Canceled	\$1,900	Commercial	ROOFING KEYS FEDERAL DRIVE THRU: INSTALL HYDRYSTOP TP PRIMETER (APPROX. 2.5 SQ)
BLD2019-2644	07/26/2019	Completed	\$23,000	Commercial	Install new hydrostop to parapet and walls approx
17-00001050	03/20/2017	Expired	\$6,500	Commercial	CHANGE OUT OF (2) EXISTING ROOF MOUNTED 5 TON PACKAGE UNITS. NOC EXEMPT.
15-5225	02/08/2016	Completed	\$6,500	Commercial	SET 8 NEW ROOF CURBS W/ SUPPORT ANGLE FOR NEW UNITS.
13-4763	11/19/2013	Completed	\$8,000	Commercial	INSTALL GREASE TRAP.
13-4720	11/18/2013	Completed	\$2,000	Commercial	INSTALL KITCHEN HOOD.
13-4142	10/28/2013	Completed	\$4,000	Commercial	RUN DUCT WORK FOR EXHUST. PUT HOOD AND RELOCATE 3 GUAGES. N.O.C. REQ'D.
13-4393	10/18/2013	Completed	\$9,600	Commercial	ADJUST SPRINKLER COVERAGE FOR NEW WALLS AND CELING HEIGHTS.
13-3011	10/11/2013	Completed	\$15,877	Commercial	REVISION - REMOVE CONCRETE SIDEWALK TO INSTALL NEW SEWER & ATTACH TO SEWER MAIN IN FRONT OF BLDG. REPAIR CONCRETE SIDEWALK ONCE NEW SEWER LINE HAS BEEN COMPLETED.
13-4144	10/03/2013	Completed	\$500	Commercial	5 INSTALLATION DRAIN AND COLD/HOT WATER LINE. 2-HAND SINKS, 1-3 COMP SINKS, 2-F/SINKS. 10/9/2013 REVISION: EXTRA DRAIN LINE TO CONNECT TO SEWER LINE.
13-3931	09/17/2013	Completed	\$5,000	Commercial	INSTALL NEW LIGHT FIXTURES. (2) NEW ELECTRIC PANELS. RUN ELECTRIC FOR CASH REGISTER, PIZZA OVER AND WALKIN REFRIGERATOR. RUN POWER FOR ROOF EXHAUST HOOD.
13-3248	08/19/2013	Expired	\$12,800	Commercial	TO ADD AND RELOCATE FIRE SPRINKLERS THROUGHOUT STICK AND STEIN TO ACCOMODATE EXISTING UNIT LAYOUT DUE TO IMPROPER FILE SPRINKLER HEAD SPACING.
13-3011	08/02/2013	Completed	\$150,000	Commercial	THE INSERTION/CONSTRUCTION OF A LITTLE CAESARS WITHIN THE KEY WEST KMART STORE LITTLE CAESARS WILL OCCUPY APPROX. 1000 S.F. OF EXISTING SPACE WITHIN THE KMART STORE THRU RENOVATING AN AREA THAT WAS FORMELY A K-CAFE. ALL COOKING EQUIPMENT AND SERVICE COUNTERS WILL BE NEW THE ROOF TOP EXHAUST FAN WILL BE REPLACED.
13-2198	06/07/2013	Expired	\$1,785	Commercial	RELOCATE & ADD FIRE SPRINKLER HEADS TO CONFORM TO CODE.
13-2200	06/07/2013	Expired	\$2,035	Commercial	RELOCATE & ADD FIRE SPRINKLERS HEADS TO CONFORM TO CODE.
13-1122	03/25/2013	Completed	\$1,500	Commercial	INSTALL 6 NEW SUPPLY VENTS ON EXISTING SYSTEM.
13-0564	03/12/2013	Completed	\$5,000	Commercial	CHANGE 2 X 10 FRAMING ON CEILING TO 2 X 6 FRAMING
13-0796	03/04/2013	Completed	\$0	Commercial	INSTALLATION OF NEW SIGN "KMART" 245 SQ FT ILLUMINATED LED
13-0798	03/04/2013	Completed	\$800	Commercial	INSTALL 5 LETTER'S CHANNEL, 9 TRANSFORMERS 60W LED 120V, 12V LED SYSTEM (KMART SIGN)
13-0750	02/26/2013	Completed	\$199	Commercial	INSTALL BURGLAR ALARM

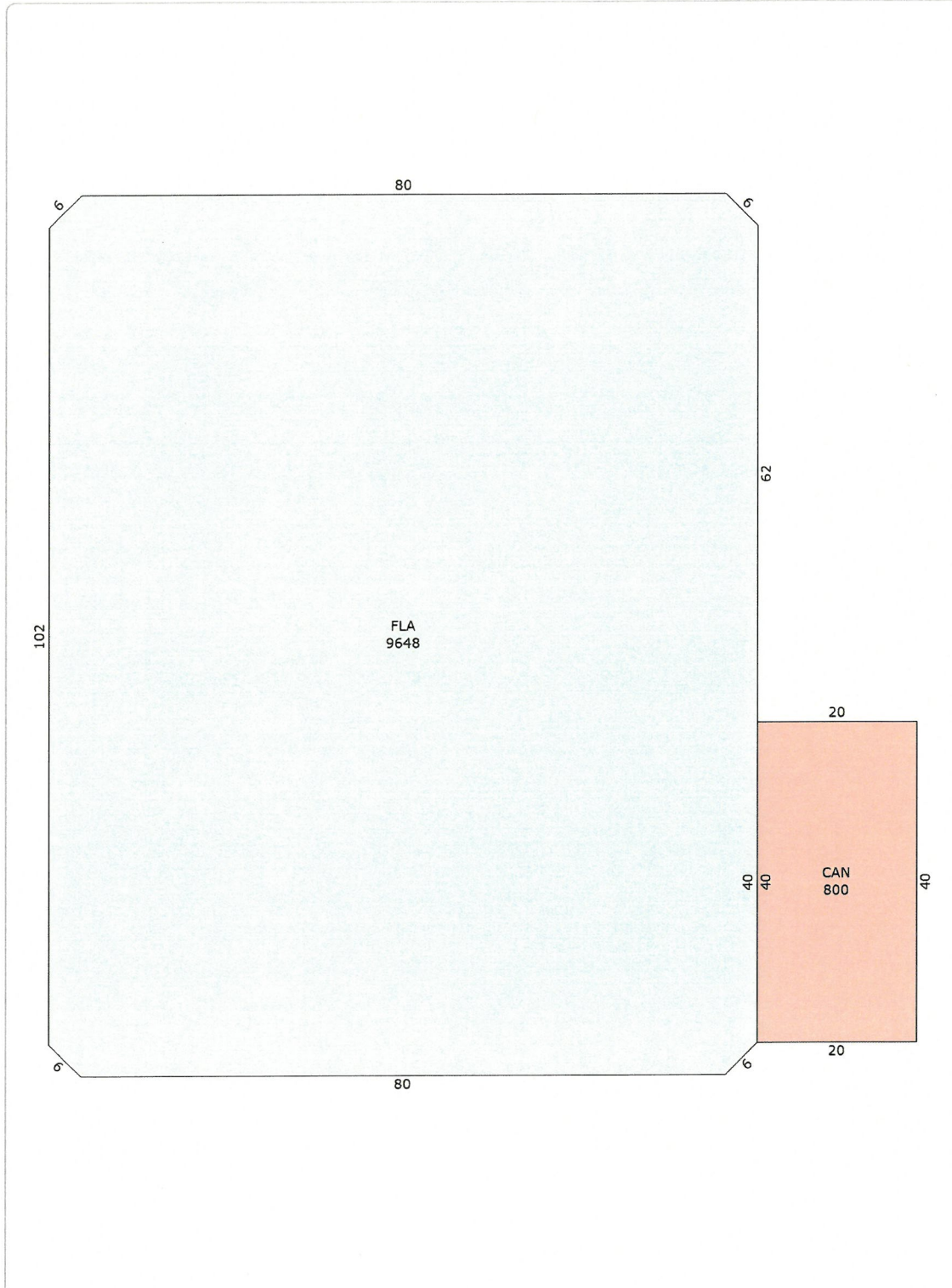
Number	Date Issued	Status	Amount	Permit Type	Notes
13-0564	02/15/2013	Completed	\$5,000	Commercial	RENOVATE BATHROOM TO MEET ADA. CONSTRUCT NEW CEILING, RAISED PLATFORM FOR BOOTHS, PARTITION WALLS, & COUNTER TOPS
12-3492	09/25/2012	Completed	\$2,000	Commercial	DIG TRENCH FOR 2" PVC CONDUIT SUB 40 PER PAGE #2, FOR UNDERGROUND PHONE LINE.
12-1649	05/10/2012	Completed	\$7,300	Commercial	to rough in and install one hand sink, one coffee machine, one handicap toilet, one handicap lavatory, one prep sink. to rough in out set grease trap.
12-1649	05/09/2012	Completed	\$7,300	Commercial	TO ROUGH IN & INSTALL ONE (1) HAND SINK ONE (1) 3 COMP. SINK, ONE (1) COFFEE MACHINE, ONE (1) HANDICAP TOILET, ONE HANDICAP LAVATORY, ONE (1) PREP. SINK. TO ROUGH IN OUT SET GREASE TRAP.
12-1552	05/04/2012	Completed	\$8,000	Commercial	CHANGE OUT OF A 7.5 TON AC SYSTEM & REDO 10 EXISTING DUCTS.
12-1552	05/04/2012	Completed	\$8,000	Commercial	CHANGE OUT A 7.5 TON AC SYSTEM
12-1285	04/18/2012	Completed	\$5,000	Commercial	COMPLETE ELECTRICAL INSTALLATION
11-1283	04/17/2012	Completed	\$15,000	Commercial	NEW OFFICE REPLACE EXISTING FLOORING ON NEW SIDE. OPEN UP WALKWAY FROM OLD SIDE TO NEW SIDE. INSTALL NEW BOOTH ON NEW SIDE. INSTALL NEW DRY WALL CEILING
12-1283	04/17/2012	Completed	\$15,000	Commercial	NEW OFFICE REPLACE EXISTING FLOORING ON NEW SIDE. OPEN UP WALKWAY FROM OLD SIDE TO NEW SIDE. INSTALL NEW BOOTH ON NEW SIDE. INSTALL NEW DRY WALL CEILING.
11-2790	01/20/2012	Completed	\$0	Commercial	
11-2790	01/11/2012	Completed	\$0	Commercial	
11-2790	12/30/2011	Completed	\$459,434	Commercial	SET GENERATION SUPPORT W/FOOTINGS. SHEET A1.4 REVISION
11-3389	12/30/2011	Completed	\$178,543	Commercial	**REVISION** INSTALL CONDUIT & WIRE FOR GENERATOR BATTERY CHARGER, WATER JACKET, HEATER, & GENERATOR OUTPUT POWER.
11-4662	12/27/2011	Completed	\$500	Commercial	DRIP IRRIGATION ON BATTERY TIMER AND RAINSWITCH
11-4663	12/27/2011	Completed	\$250	Commercial	INSTALL ONE (1") BACKFLOW PREVENTER
11-4390	12/01/2011	Completed	\$3,000	Commercial	INSTALL 8.5 SF OF GAF TPO ROOF SYSTEM OVER WOOD DECK OVER TAPERED INSULATION.
11-4273	11/21/2011	Completed	\$32,928	Commercial	INSTALLATION OF AUDIO, VIDEO, & ACCESS CONTROL SYSTEM. PULLING OF LOW VOLTAGE CASING.
11-2790	11/04/2011	Completed	\$459,434	Commercial	**REVISION** BUILD MASONARY & CONCRETE GENERATOR SUPPORT SHEET A-1.4.
11-3712	11/04/2011	Completed	\$60,800	Commercial	**REVISION** REVISED DUCT LAYOUT FOR EXISTING RTU LOCATION SHEET M-1.0.
11-3881	10/21/2011	Completed	\$6,000	Commercial	INSTALL TWO (2) WALL SIGNS 144" W X 72" H (72 S.F.) INTERNALLY LIT. COPY: KEYS FEDERAL CREDIT UNION
11-3712	10/13/2011	Completed	\$60,800	Commercial	FURNISH & INSTALL FIVE (5) A/C UNITS UP TO 10 TON, ONE (1) UNIT UP TO TWO (2) TON, NINETY EIGHT (98) GRILLES, THREE (3) EXHAUST FANS & (6) T-STATS AS PER PLANS
11-3595	10/03/2011	Completed	\$24,067	Commercial	ROUGH & TRIM OUT OF THREE (3) W CLOSETS ONE (1) URINAL, SIX (6) LAVATORIES, ONE (1) BREAKROOM SINK, ONE (1) ICE MAKER BOX, ONE (1) BI LEVEL WATER COOLER, ONE (1) MOP SINK, TWO (2) FLOOR DRAINS, ONE (1) ROOF DRAIN, & ONE (1) HUB DRAIN CONNECT TO EXISTING SEWER & WATER LINES AS PER PLANS.
11-3388	09/28/2011	Completed	\$2,721	Commercial	**DEMOLITION** DISCONNECT POWER TO EXISTING LIGHT FIXS. RECEPTACLES, ELECT PANELS & ALARM SYSTEMS
11-3389	09/27/2011	Completed	\$174,143	Commercial	INSTALL LIGHTING SWITCHING, RECEPTACLES ELECTRICAL PANELS & EQUIPMENT CONNECTIONS, WIRE ATS/GENERATOR AS PER PLANS ONL. REFEED EXISTING HVAC EQUIPMENT. INSTALL CONDUIT & WIRING FOR 120VAC INTERCONNECTED HARD WIRED SMOKE DETECTORS & ADA COMPLIANT NOTIFICATION DEVICES AS SHOWN ON PLANS.
11-3390	09/27/2011	Completed	\$7,930	Commercial	**LOW VOLTAGE** INSTALL BOXES & CONDUIT STUBS TO ACCESSABLE CEILING SPACE FOR DATA/COMM. SECURITY CAMERAS, ACCESS CONTROL & ALARM SYSTEM. WIRING & DEVICES TO BE DONE BY OTHERS.
11-2322	07/07/2011	Completed	\$6,000	Commercial	MORE 4" PVC SEWERLINE OFF NEIGHBORS PROPERTY BLDG 906 & INTO EASEMENT APPROX. 60 FT OF SEWER PIPING.
10-3683	11/15/2010	Completed	\$46,222	Commercial	REPLACE ONE 25 TON AAON ROOF TOP PACKAGE UNIT #3 WITH NEW 25 TON PACKAGE UNIT
09-4093	12/01/2009	Completed	\$15,000	Commercial	REPLACE TWO (2) 25 TON AAON ROOF TOP PACKAGE UNITS WITH TWO (2) NEW 25 TON AAON PACKAGE UNITS.
09-2105	07/14/2009	Completed	\$7,550	Commercial	ADD TWO ADA RAMPS: 1 IN FRONT OF KMART AND 1 IN FRONT OF RADIO SHACK.
09-1299	05/06/2009	Completed	\$65,000	Commercial	REMOVE TWO 40 TON TRANE PACKAGE UNITS & INSTALL TWO (2) NEW 40 TON PACKAGE UNITS *K-MART STORE*
09-0095	01/15/2009	Completed	\$14,000	Commercial	REMOVING ONE (1) 12-TON PACKAGE UNIT AND FIVE (5) 1/2 TON PACKAGE UNITS CARRIER AND REPLACING EXISTING WITH NEW LENNOX UNITS WITH ROOF CURBS. BLDG. AIR SERVICES INC.
06-4928	09/27/2006	Completed	\$4,000	Commercial	INSTALL ELECTRICAL OUTLETS.
06-2019	04/17/2006	Completed	\$36,000	Commercial	UP-GRADE PERMIT
06-0079	03/24/2006	Completed	\$100,000	Commercial	INSTALLATION OF SHELVING,RACKS AND DISPLAY AREA
06-0080	03/20/2006	Completed	\$25,000	Commercial	ALTERATIONS,REPLACEMENTS AS PER PLANS
05-5526	12/05/2005	Completed	\$2,499	Commercial	REPLACE 2 15KVA TRANSFORMERS & 1-800AMP 4-GANG METER ENCLOSURE
05-4951	11/04/2005	Completed	\$0	Commercial	HURRICANE DAMAGE DEMO THE ELECTRIC
05-4872	11/02/2005	Completed	\$20,000	Commercial	HURRICANE WILMA DAMAGE - REPAIR DAMAGE
03-0392	02/10/2003	Completed	\$56,250	Commercial	REPLACING ROOF A/C'
0102282	06/13/2001	Completed	\$25,000	Commercial	REPLACE 5 ROOF AC'S
0101831	05/02/2001	Completed	\$5,900	Commercial	AWNINGS
0102161	01/11/2001	Completed	\$80,000	Commercial	BURGLAR ALARM/CENTRAL AC
9801837	06/11/1998	Completed	\$600	Commercial	ELECTRICAL/K-MART SIGN
9700744	03/01/1997	Completed	\$3,585	Commercial	PAINTING
B951839	06/01/1995	Completed	\$10,000	Commercial	CONSTRUCT LOFT/STORAGE
E951840	06/01/1995	Completed	\$585	Commercial	ELECTRICAL
E952044	06/01/1995	Completed	\$700	Commercial	ELECTRICAL

Number	Date Issued	Status	Amount	Permit Type	Notes
B940008	01/01/1995	Completed	\$100,000	Commercial	RENOVATIONS
B-6545	11/08/1976	Completed	\$175,000	Commercial	BLOCK TWIN CINEMA, 760 SEATS, 10,400 SF

**View Tax Info**

[View Taxes for this Parcel](#)

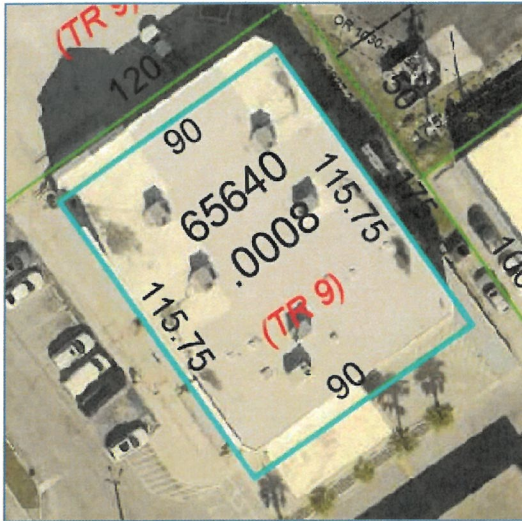
**Sketches (click to enlarge)**



**Photos**



Map



TRIM Notice

[2025 TRIM Notice \(PDF\)](#)

No data available for the following modules: Yard Items.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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Developed by  
**SCHNEIDER**  
 GEOSPATIAL

This instrument prepared by  
(and after recording return to):  
Allison Campbell, Esq.  
Publix Super Markets, Inc.  
PO Box 407  
Lakeland, Florida 33802-0407

Property Appraiser's Parcel IDs: 00065640-000000 and 00065640-000800  
Property Appraiser's Property IDs: 1068403 and 1068501

### **SPECIAL WARRANTY DEED**

**KEY PLAZA I, INC., a Florida corporation, as successor Trustee under the Land Trust Agreement dated March 28, 1996, recorded April 10, 1996, in Official Records Book 1397, Page 1695, of the Public Records of Monroe County, Florida, as amended ("Grantor"), whose mailing address is Attn: Benjamin J. Dempsey, 50 Tice Boulevard, Suite 320, Woodcliff Lake, New Jersey 07677, in consideration of ten dollars (\$10.00) and other valuable considerations received from REAL SUB, LLC, a Florida limited liability company ("Grantee"), whose mailing address is Post Office Box 407, Lakeland, Florida 33802-0407, hereby grants and conveys to Grantee the real property in Monroe County, Florida, described on the attached Exhibit A, along with Grantor's right, title and interest in and to any rights, privileges, hereditaments, appurtenances, and easements related to such real property.**

This conveyance is subject to real estate taxes for 2024 and subsequent years, and the matters described on **Exhibit B** (without the intent of re-imposing same).

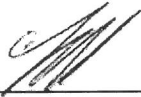
Subject in all events to the matters described on **Exhibit B** (without the intent of re-imposing same), Grantor hereby warrants the title to the property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor.

DATED this 8<sup>th</sup> day of March, 2024.

[SIGNATURE PAGE FOLLOWS]

Signed in the presence of:

**KEY PLAZA I, INC., a Florida corporation, as successor Trustee under the Land Trust Agreement dated March 28, 1996, recorded April 10, 1996, in Official Records Book 1397, Page 1695, of the Public Records of Monroe County, Florida, as amended**



(print name): TAL MOR  
Address: 50 TKE BLVD, SUITE 320  
Woodcliff Lake, NJ 07677



By: \_\_\_\_\_  
Name: Benjamin J. Dempsey  
Title: Vice President



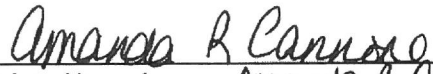
(print name): Talia M Bower  
Address: 50 Tke Blvd, STE 320  
Woodcliff Lk NJ 07677

**STATE OF NEW JERSEY**

**COUNTY OF BERGEN**

The foregoing instrument was signed and acknowledged before me by means of  physical presence or  online notarization this 27 day of February, 2024, by Benjamin J. Dempsey, as Vice President of **KEY PLAZA I, INC., a Florida corporation, as successor Trustee under the Land Trust Agreement dated March 28, 1996, recorded April 10, 1996, in Official Records Book 1397, Page 1695, of the Public Records of Monroe County, Florida, as amended**, on behalf of the corporation in its capacity as successor Trustee. Such person  is personally known to me or  has produced a \_\_\_\_\_ as identification.

AMANDA R CANNONE  
Notary Public, State of New Jersey  
Comm. # 2443463  
My Commission Expires 2/26/2029



Printed/typed name: Amanda R Cannone  
Notary Public-State of New Jersey  
Commission Number: 2443463  
Commission expires: February 26, 2029

EXHIBIT A TO SPECIAL WARRANTY DEED

Property Description

Part A:

A parcel of land on the Island of Key West, Monroe County, Florida and being a part of Parcel 9 and a part of Parcel 14, according to "Plat of Survey of Lands on Islands of Key West, Monroe County, Florida as indicated and described", recorded in Plat Book 3 at Page 35 of the Public Records of Monroe County, Florida; and other lands; said parcel of land being described herein by metes and bounds as follows:

COMMENCE at the Northeast corner of said Parcel 9 and run thence South 52°25'40" West along the South right-of-way of North Roosevelt Boulevard for a distance of 222.71 feet to the Point of Beginning; thence run South 37°34'20" East for a distance of 125 feet; thence run North 52°25'40" East for a distance of 120 feet; thence run South 37°34'20" East for a distance of 175 feet; thence run South 52 degrees 25 minutes 40 seconds West for a distance of 15.82 feet; thence run South 37°34'20" East for a distance of 90 feet; thence run North 52°25'40" East for a distance of 10.25 feet; thence run South 44°04'20" East for a distance of 211.36 feet to the south boundary of the said Parcel 9; thence run North 52°25'40" East for a distance of 198.90 feet to the westerly right-of-way of 13th Street; thence run Southeasterly along the said westerly right-of-way of 13th Street for a distance of 50.31 feet to the North boundary of said Parcel 14 extended easterly; thence run South 52°25'40" West along the north boundary of the said Parcel 14 and along the extension thereof for a distance of 150 feet, more or less, to the northwesterly corner of the lands described in Official Record Book 423 at Page 888 of the Public Records of Monroe County, Florida; thence run South 36°27'24" East for a distance of 100 feet; thence run South 52°25'40" West for a distance of 50 feet; thence run South 31°30'53" East for a distance of 149.64 feet; thence run South 21°10'40" East for a distance of 317.35 feet to a point on the south boundary line of said Parcel 14; thence run South 68°45'03" West along the south boundary of the said Parcel 14 for a distance of 690.77 feet to the Southwest corner of the said Parcel 14; thence run North 37°34'20" West along the westerly boundary of the said Parcel 14 and an extension thereof for a distance of 409 feet to a point lying 600 feet from the south right-of-way of the said North Roosevelt Boulevard and measured at right angles from the said Boulevard; thence run North 52°25'40" East for a distance of 50 feet; thence run North 37°34'20" West for a distance of 400 feet; thence run North 52°25'40" East for a distance of 97.29 feet; thence run North 37°34'20" West for a distance of 200 feet to the South right-of-way of the said North Roosevelt Boulevard; thence run North 52°25'40" East along the South right-of-way of the said North Roosevelt Boulevard for a distance of 480 feet back to the Point of Beginning, less any portion lying in road right of way.

Part B:

Together with Easement given by Bernard Jacobson, as Nominee of the Trustees of Republic Mortgage Investors to Market Place Property, N.V. dated December 18, 1980 and recorded December 19, 1980 under Clerk's File No. 227924, Official Records Book 823, Page 138 of the Public Records of Monroe County, Florida, said easement being on the following described parcel:

A parcel of land on the Island of Key West, Monroe County, Florida and being a part of Parcel 14, according to Plat of Survey of Lands on Islands of Key West, Monroe County, Florida as indicated and described, recorded in Plat Book 3 at Page 35 of the Public Records of Monroe County, Florida, said parcel of land being described by metes and bounds as follows:

BEGIN at the Southeast corner of said Parcel 14 and run thence South  $68^{\circ}45'03''$  West along the South boundary of said Parcel 14 a distance of 191.88 feet to a point; thence North  $21^{\circ}10'40''$  West 22 feet to a point; thence North  $68^{\circ}45'03''$  East 191.88 feet to a point on the Westerly right of way boundary line of Kennedy Drive (13th Street); thence South  $21^{\circ}10'57''$  East along the said Westerly right of way line of Kennedy Drive (13th Street) for a distance of 22 feet back to the Point of Beginning.

EXHIBIT B TO SPECIAL WARRANTY DEED

1. Taxes and assessments for 2024 and subsequent year that are not yet due or payable;
2. Rights of tenants under the leases, tenancies, licenses or other rights of occupancy or use affecting the real property conveyed hereby (the "Property") that are identified in the exhibits to an Assignment and Assumption of Leases of even date herewith executed by Grantor and Grantee, without any options or rights of first refusal to purchase the Property or any portion thereof;
3. All matters that would be shown by an accurate survey of the Property;
4. Easement by and between A.E. Golan and Florence Golan, his wife, to The Utility Board of Key West, filed March 2, 1964, in Official Records Book 302, at Page 573, Public Records of Monroe County, Florida;
5. Grant of Easement by and between A.E. Golan and Florence Golan, his wife, to Mister Donut Development Corporation, filed in Official Records Book 422, Page 48, Public Records of Monroe County, Florida;
6. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded April 30, 1969 in Official Records Book 430, Page 680, Public Records of Monroe County, Florida;
7. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded April 30, 1969 in Official Records Book 430, Page 683, Public Records of Monroe County, Florida;
8. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded February 4, 1971 in Official Records Book 469, Page 24, Public Records of Monroe County, Florida;
9. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded August 6, 1971 in Official Records Book 482, Page 921, Public Records of Monroe County, Florida;
10. Easement by and between A.E. Golan and Florence Golan, his wife, and in favor of Utility Board of the City of Key West, Florida recorded October 1, 1971 in Official Records Book 486, Page 1001, Public Records of Monroe County, Florida;
11. Grant of Easement by and between City National Bank of Miami, as Trustee and Florida Keys Aqueduct Authority recorded in Official Records Book 703, Page 464, Public Records of Monroe County, Florida;
12. Grant of Easement by and between City National Bank of Miami and Florida Keys Aqueduct Authority recorded in Official Records Book 703, Page 470, Public Records of Monroe County, Florida;
13. Grant of Easement by and between Lynn Grossman and City of Key West recorded in Official Records Book 703, Page 611, Public Records of Monroe County, Florida;

14. Easement by and between Benard Jacobson, as Nominee of the Trustee of Republic Mortgage Investors, and Market Place Property N.V. recorded December 19, 1980 in Official Records Book 823, Page 138, Public Records of Monroe County, Florida;
15. Easement by and between Market Place Property, N.V., a Netherlands Antilles corporation, to Bernard Jacobson, as Nominee of the Trustees of Republic Mortgage Investors, a Massachusetts business trust, recorded December 19, 1980 in Official Records Book 823, at Page 143, Public Records of Monroe County, Florida;
16. Easement granted to The Utility Board of the City of Key West, Florida recorded November 13, 1984, in official Records Book 926, Page 593, Public Records of Monroe County, Florida;
17. Agreement recorded in Official Records Book 1204, Page 94; and Resolution No. 91-575 recorded August 26, 1994 in Official Records Book 1320, Page 2076, Public Records of Monroe County, Florida;
18. Declaration of Easement and Covenant Running with the Land recorded March 20, 1995 in Official Records Book 1345, Page 2131; Affidavit recorded April 10, 1996 in Official Records Book 1397, Page 1743 (Showing Exhibit D left off original document), Public Records of Monroe County, Florida;
19. Restrictions contained in the Unrecorded Lease by and between Key Plaza Land Trust, a Florida land Trust and Officemax, Inc., an Ohio corporation, evidenced by the Memorandum of Lease recorded August 3, 2000 in Official Records Book 1646, Page 1427; Subordination, Non-disturbance and Attornment Agreement recorded April 13, 2012 in Official Records Book 2564, Page 1770; Subordination, Non-Disturbance and Attornment Agreement recorded August 9, 2022 in Official Records Book 3188, Page 1004, Public Record of Monroe County, Florida; and
20. Terms and conditions of the Unrecorded Lease by and between Auburndale Properties, L.L.C., as Trustee under Land Trust Agreement dated March 28, 1996, and Albertson's, Inc., a Delaware corporation recorded November 30, 2000 in Official Records Book 1664, Page 1625; Subordination, Non-disturbance and Attornment Agreement recorded April 2, 2012 in Official Records Book 2562, Page 1662; Assignment and Assumption Agreement for Store Lease in favor of Publix Super Markets, Inc., a Florida corporation, recorded May 2, 2012 in Official Records Book 2567, Page 2167 ; Subordination, Non-Disturbance and Attornment Agreement by and between First State Bank of the Florida Keys, lender, Key Plaza I, Inc., as Trustee of the Key Plaza Land Trust dated March 28, 1996, Landlord, and Publix Super Markets Inc., Tenant recorded August 9, 2022 in Official Records Book 3188, Page 1012, Public Records of Monroe County, Florida.

# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

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By continuing into this site you assert that you have read and agree to the above statement.

### Summary

Parcel ID 00065640-000400  
 Account# 1068454  
 Property ID 1068454  
 Millage Group 10KW  
 Location 3026 N ROOSEVELT Blvd, KEY WEST  
 Address  
 Legal Description KW PLAT OF SURVEY OF LANDS ON ISLAND OF KEY WEST MONROE COUNTY FLA PT TR 9 PB3-35 LYING SELY AND ADJACENT TO N ROOSEVELT BLVD (120FT X 125FT) OR301-149/52 OR752-1853/62 OR754-681/703 OR804-2125/26 OR804-2127/28 OR816-1631D/C OR1004-2352/53 OR1004-2354 OR1170-1317/18 OR1477-1216/17 OR1477-1218/19 OR1889-1507/08 OR2597-114/16 OR2709-896/98 OR2847-44/46 OR2927-2443 OR2927-2446 OR2927-2449 OR3266-0001  
 (Note: Not to be used on legal documents.)  
 Neighborhood 31030  
 Property Class RESTAURANT (2100)  
 Subdivision  
 Sec/Twp/Rng 33/67/25  
 Affordable No  
 Housing



### Owner

[REAL SUB LLC](#)  
 PO Box 32018  
 Lakeland FL 33802

### Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$160,221	\$183,871	\$178,889	\$189,111
+ Market Misc Value	\$26,516	\$23,640	\$23,640	\$23,640
+ Market Land Value	\$925,344	\$1,079,568	\$1,028,160	\$1,028,160
= Just Market Value	\$1,112,081	\$1,287,079	\$1,230,689	\$1,240,911
= Total Assessed Value	\$1,112,081	\$1,261,741	\$1,147,038	\$1,042,762
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,112,081	\$1,287,079	\$1,230,689	\$1,240,911

### Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,079,568	\$183,871	\$23,640	\$1,287,079	\$1,261,741	\$0	\$1,287,079	\$0
2023	\$1,028,160	\$178,889	\$23,640	\$1,230,689	\$1,147,038	\$0	\$1,230,689	\$0
2022	\$1,028,160	\$189,111	\$23,640	\$1,240,911	\$1,042,762	\$0	\$1,240,911	\$0
2021	\$822,528	\$189,111	\$23,640	\$1,035,279	\$947,966	\$0	\$1,035,279	\$0
2020	\$685,440	\$152,708	\$23,640	\$861,788	\$861,788	\$0	\$861,788	\$0
2019	\$771,120	\$159,545	\$23,640	\$954,305	\$954,305	\$0	\$954,305	\$0
2018	\$777,600	\$135,142	\$13,727	\$926,469	\$926,469	\$0	\$926,469	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
(2100)	14,400.00	Square Foot	120	125

**Buildings**

Building ID	40454	Exterior Walls	MIN WOOD SIDING
Style	GROUND LEVEL	Year Built	1968
Building Type	RESTAURANT & CAFETR / 21C	EffectiveYearBuilt	2000
Building Name		Foundation	CONCRETE SLAB
Gross Sq Ft	1857	Roof Type	GABLE/HIP
Finished Sq Ft	1569	Roof Coverage	
Stories	1 Floor	Flooring Type	
Condition	GOOD	Heating Type	
Perimeter	176	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	33	Grade	350
Interior Walls		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,569	1,569	0
SBF	UTIL FIN BLK	288	0	0
<b>TOTAL</b>		<b>1,857</b>	<b>1,569</b>	<b>0</b>

**Yard Items**

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1977	1978	0 x 0	1	484 SF	2
ASPHALT PAVING	1977	1978	0 x 0	1	8851 SF	2
FENCES	1996	1997	6 x 265	1	1590 SF	2

**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Grantor	Grantee
3/8/2024	\$1,300,000	Warranty Deed	2453901	3266	0001	01 - Qualified		
9/13/2018	\$100	Quit Claim Deed	2187426	2927	2449	11 - Unqualified		
9/13/2018	\$1,300,000	Warranty Deed	2187425	2927	2446	01 - Qualified		
8/22/2018	\$100	Quit Claim Deed	2187424	2927	2443	11 - Unqualified		
4/3/2017	\$100	Quit Claim Deed	2117000	2847	2847	30 - Unqualified	LORD-PAPY JOAN L/E	
10/21/2014	\$100	Quit Claim Deed		2709	896	14 - Unqualified		
10/4/2012	\$100	Quit Claim Deed		2597	114	14 - Unqualified		
9/1/1997	\$475,000	Warranty Deed		1477	1216	Q - Qualified		
5/1/1991	\$500,000	Warranty Deed		1170	1317	U - Unqualified		
3/1/1987	\$278,000	Warranty Deed		1004	2352	Q - Qualified		
1/1/1980	\$75,000	Conversion Code		804	2127	Q - Qualified		

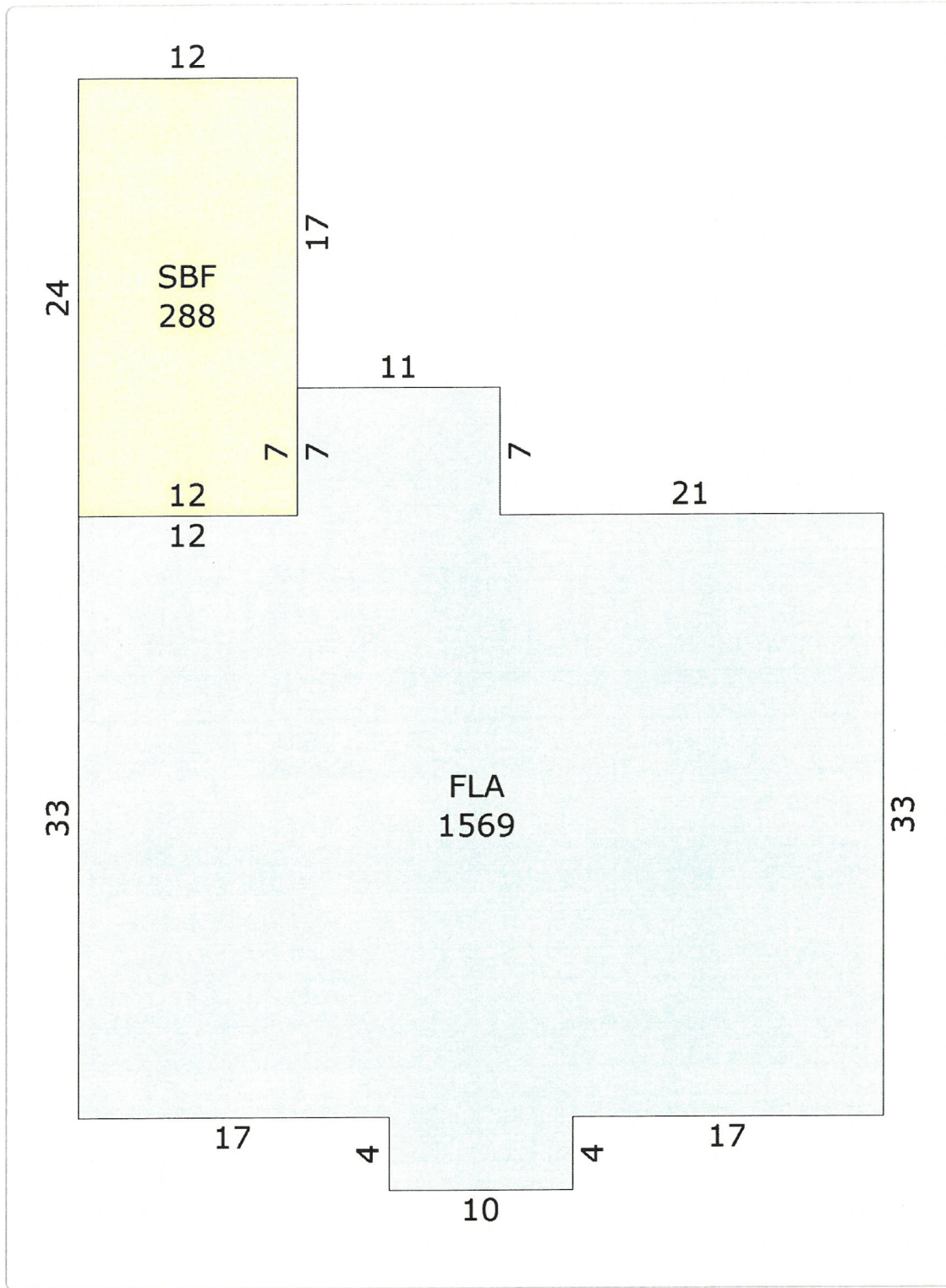
**Permits**

Number	Date Issued	Status	Amount	Permit Type	Notes
17-2226	06/02/2017	Completed	\$20,000	Commercial	REMOVE AND REPLACE 2 7 1/2 TON RTU PACKAGE UNITS ADN 1 2 TON MINI SPLIT SYSTEM
15-4261	11/02/2015	Completed	\$2,310	Commercial	INSTALL 3 PHASE 50-AMP OUTLET FOR FRYER.
15-4358	10/30/2015	Completed	\$1,515	Commercial	INSTALL FIRE SUPPRESSION SYSTEM
14-3837	08/11/2014	Completed	\$5,210	Commercial	NSTALL 400 SQ/FT OF WHITE 60 MILL TPO AROUND THE TWO A/C UNITS. N.O.C. APPLICATION.
12-4443	12/12/2012	Completed	\$1,350		INSTALL 50SF OF SBS MODIFIED BITUMEN SINGLE PLY ROOFING ON THE SMALL FRONT AWNING ROOF.
12-4443	12/12/2012	Completed	\$1,350	Commercial	INSTALL 50 SQ. FT. (1/2 SQS.) OF SBS MODIFIED BITUMEN SINGLE PLY ROODING ON THE SMALL FRONT AWNING ROOF.
12-3707	10/10/2012	Completed	\$8,900		500 SQ FT WHITE 60 MIL TPO SINGLE PLY ROOFING
12-3253	09/07/2012	Completed	\$2,000		ROOF SHEATHING 5/8 PLYWOOD- 15' X 17'
09-2385	08/03/2009	Completed	\$6,600	Commercial	REPLACE A 6-TON PACKAGE ROOF TOP UNIT ON EXISTING CURB WITH EXISTING POWER.
07-4217	09/17/2007	Completed	\$1,200	Commercial	REPAIR 20 BLOCKS & LIGHT DRYWALL.
05-0036	01/06/2005	Completed	\$2,400		SEWER LIN/PLUMBING
02/2544	09/19/2002	Completed	\$36,130		REPLACE SEWER LINES
02-1999	07/30/2002	Completed	\$2,200		PLUMBING
02-1461	06/07/2002	Completed	\$8,600		CHANGE (2) 6-TON A/C'
9600016	01/01/1997	Completed	\$5,590		RENOVATION
9603231	08/01/1996	Completed	\$1,572		ROOF

**View Tax Info**

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2025 TRIM Notice \(PDF\)](#)

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[User Privacy Policy](#) | [GDPR Privacy Notice](#)  
 Last Data Upload: 5/11/2026, 11:10:29 PM

Contact Us

Developed by  
**SCHNEIDER**  
 GEOSPATIAL

This instrument prepared by  
(and after recording return to):  
Allison Campbell, Esq.  
Publix Super Markets, Inc.  
PO Box 407  
Lakeland, Florida 33802-0407

Property Appraiser's Parcel ID: 00065640-000400  
Property Appraiser's Property ID: 1068454

### **SPECIAL WARRANTY DEED**

**KP PAD, LLC**, a Florida limited liability company ("**Grantor**"), whose mailing address is Attn: Benjamin J. Dempsey, 50 Tice Boulevard, Suite 320, Woodcliff Lake, New Jersey 07677, in consideration of ten dollars (\$10.00) and other valuable considerations received from **REAL SUB, LLC**, a Florida limited liability company ("**Grantee**"), whose mailing address is Post Office Box 407, Lakeland, Florida 33802-0407, hereby grants and conveys to Grantee the real property in Monroe County, Florida, described on the attached **Exhibit A**, along with Grantor's right, title and interest in and to any rights, privileges, hereditaments, appurtenances, and easements related to such real property.

This conveyance is subject to real estate taxes for 2024 and subsequent years, and the matters described on **Exhibit B** (without the intent of re-imposing same).

Subject in all events to the matters described on **Exhibit B** (without the intent of re-imposing same), Grantor hereby warrants the title to the property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor.


DATED this 8<sup>th</sup> day of March, 2024.


[SIGNATURE PAGE FOLLOWS]


Signed in the presence of:

**KP PAD, LLC**, a Florida limited liability company

By: **KP PAD GP CORP.**, a Florida corporation, as Manager

  
\_\_\_\_\_  
(print name): TAL MADR  
Address: 50 TICE BLVD, Ste 320  
Woodcliff Lake, NJ 07677

  
\_\_\_\_\_  
By: \_\_\_\_\_  
Name: Benjamin J. Dempsey  
Title: Executive Vice President

  
\_\_\_\_\_  
(print name): JANA M. B...  
Address: 50 TICE BLVD STE 320  
Woodcliff Lake NJ 07677

**STATE OF NEW JERSEY**

**COUNTY OF BERGEN**

The foregoing instrument was signed and acknowledged before me by means of  physical presence or  online notarization this 27 day of February, 2024, by Benjamin J. Dempsey, as Executive Vice President of KP PAD GP CORP., a Florida corporation, as the Manager of **KP PAD, LLC**, a Florida limited liability company, on behalf of such corporation and such limited liability company. Such person  is personally known to me or  has produced a \_\_\_\_\_ as identification.

AMANDA R CANNONE  
Notary Public, State of New Jersey  
Comm. # 2443463  
My Commission Expires 2/26/2029

Amanda R Cannone  
Printed/typed name: Amanda R Cannone  
Notary Public-State of New Jersey  
Commission Number: 2443463  
Commission expires: February 27, 2029

EXHIBIT A TO SPECIAL WARRANTY DEED

Property Description

Part A:

A parcel of land on the Island of Key West, Florida, and being described as a part of Parcel 9 of a Plat of Survey recorded in Plat Book 3, at Page 35, Public Records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:

Commence at the Northeast corner of said Parcel 9, bear South 50°25'40" West along the Southeast Right of Way line (curb line) of North Roosevelt Boulevard for a distance of 102.71 feet to the Point of Beginning of the parcel of land being described herein; thence continue South 50°25'40" West along the Southeast Right of Way line (curb line) of said North Roosevelt Boulevard for a distance of 120 feet; thence run at right angles and Southeasterly a distance of 125 feet; thence run at right angles and Northeasterly for a distance of 120 feet; thence run at right angles and Northwesterly a distance of 125 feet back to the Point of Beginning, less any portion lying in road right of way.

LESS AND EXCEPT:

A portion of Parcel 9 of Plat of Survey of Lands on Island of Key West, Monroe County, Florida, according to the plat thereof, as recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida, more particularly described as follows:

Commence at the Point of intersection of the Easterly line of Parcel 9 of said plat of Plat of Survey of Lands on Island of Key West, Monroe County, Florida, and the Existing Southeasterly Right-of-Way line of State Road No. 5, North Roosevelt Boulevard, as shown on the Florida Department of Transportation Right-of-Way map for State Road No.5, Section 90010; Thence S54°33'53"W, along the Southeasterly Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard, for a distance of 102.71 feet to the Point of Beginning of the hereinafter described Parcel; Thence continue S54°33'53"W, along the previously described Right-of-Way line, for a distance of 120.00 feet; Thence S35°26'07"E, departing the previously described line, for a distance of 5.00 feet to a point on a line parallel with and 5.00 feet Southeasterly of, as measured at right angles, the Southeasterly Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard; Thence N54°33'53"E, along the previously described line, for a distance of 120.00 feet; Thence N35°26'07"W, departing the previously described line, for a distance of 5.00 feet to the Point of Beginning.

Part B:

Easement rights contained in that Grant of Utility Easement from A.E. Golan and Florence Golan, husband and wife, to Mister Donut Development Corporation dated November 7, 1968 and filed December 3, 1968 in Official Records Book 422, Page 48, and further conveyed by Quit Claim Deed from Nancy Thornburgh and Sandra Kent, AKA Sondra Kent, individually and as Trustee under the will of A.E. Golan, deceased, to Robert G. Bauersachs and C. Janet Bauersachs, husband and wife, dated January 14, 1980 and filed January 24, 1980 in Official Records Book 804, Page 2127; and further conveyed by Quit Claim Deed from Robert G. Bauersachs and C. Janet Bauersachs, his wife, to Ralph M. Henriquez, Jr. and Danise Henriquez, his wife, dated March 9, 1987 and filed in Official Records Book 1004, Page 2354; and further conveyed by Quit Claim Deed by Gui Govaert, Trustee, to Jimmy Rodriguez dated May 10, 1991 and filed May 21, 1991 in Official Records Book 1170, Page 1315; and further conveyed by Jimmy Rodriguez, a married man to Joan Lord-Papy, a married woman, dated September 18, 1997 and filed September 26, 1997 in Official Records Book 1477, Page 1218, over the following described lands:

A parcel of land on the Island of Key West, Florida, and being described as a part of Parcel 9 of a Plat of Survey recorded in Plat Book 3, at Page 35, Public Records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:

Commence at the Northeast corner of said Parcel 9, bear South 52°25'40" West along the Southeast Right of Way line (curb line) of North Roosevelt Boulevard for a distance of 102.71 feet; thence run South 37°34'20" East for a distance of 125 feet to the Point of Beginning of the strip of land herein described; from said Point of Beginning continue South 37°34'20" East a distance of 75 feet to a point, which point is the Southeast corner of lands described in Official Records Book 66 on Pages 209 and 210 of the Public Records of Monroe County, Florida; from said point run South 52°25;40" West, a distance of 10 feet to a point; thence run North 37°34'20" West, a distance of 75 feet to a point; thence run North 52°25'40" East, a distance of 10 feet back to the Point of Beginning.

EXHIBIT B TO SPECIAL WARRANTY DEED

1. Taxes and assessments for 2024 and subsequent year that are not yet due or payable;
2. Rights of tenants under the leases, tenancies, licenses or other rights of occupancy or use affecting the real property conveyed hereby (the "Property") that are identified in the exhibits to an Assignment and Assumption of Leases of even date herewith executed by Grantor and Grantee, without any options or rights of first refusal to purchase the Property or any portion thereof;
3. All matters that would be shown by an accurate survey of the Property; and
4. Grant of Utility Easement from A.E. Golan and Florence Golan, husband and wife, to Mister Donut Development Corporation dated November 7, 1968 and filed December 3, 1968 in Official Records Book 422, Page 48, and further conveyed by Quit Claim Deed from Nancy Thornburgh and Sandra Kent, AKA Sondra Kent, individually and as Trustee under the will of A.E. Golan, deceased, to Robert G. Bauersachs and C. Janet Bauersachs, husband and wife, dated January 14, 1980 and filed January 24, 1980 in Official Records Book 804, Page 2127; and further conveyed by Quit Claim Deed from Robert G. Bauersachs and C. Janet Bauersachs, his wife, to Ralph M. Henriquez, Jr. and Danise Henriquez, his wife, dated March 9, 1987 and filed in Official Records Book 1004, Page 2354; and further conveyed by Quit Claim Deed by Gui Govaert, Trustee, to Jimmy Rodriguez dated May 10, 1991 and filed May 21, 1991 in Official Records Book 1170, Page 1315; and further conveyed by Jimmy Rodriguez, a married man to Joan Lord-Papy, a married woman, dated September 18, 1997 and filed September 26, 1997 in Official Records Book 1477, Page 1218, Public Records of Monroe County, Florida.

# Monroe County, FL

## \*\*PROPERTY RECORD CARD\*\*

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By continuing into this site you assert that you have read and agree to the above statement.

### Summary

Parcel ID 00065660-000000  
 Account# 1068527  
 Property ID 1068527  
 Millage Group 10KW  
 Location 900 - 924 KENNEDY Dr, KEY WEST  
 Address  
 Legal KW PLAT OF SURVEY OF LANDS ON ISLAND OF KEY WEST MONROE COUNTY  
 Description FLA PT TR 9 PB3-35 (PARCEL LYING SW'LY OF 13TH ST) OR406-431 OR503-1052 OR595-10 OR609-716 OR610-594 OR686-605 OR699-472 OR702-842 OR1275-1137 OR1321-2105 OR3107-2132 OR3265-2466  
 (Note: Not to be used on legal documents.)  
 Neighborhood 31060  
 Property Class SHOPPING CENTER (1600)  
 Subdivision  
 Sec/Twp/Rng 33/67/25  
 Affordable No  
 Housing



### Owner

[REAL SUB LLC](#)  
 PO Box 32018  
 Lakeland FL 33802

### Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$2,048,776	\$2,125,475	\$2,079,775	\$2,179,845
+ Market Misc Value	\$35,859	\$38,558	\$41,842	\$45,235
+ Market Land Value	\$3,193,819	\$3,193,819	\$3,193,819	\$3,358,117
= Just Market Value	\$5,278,454	\$5,357,852	\$5,315,436	\$5,583,197
= Total Assessed Value	\$5,278,454	\$5,357,852	\$5,315,436	\$5,583,197
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$5,278,454	\$5,357,852	\$5,315,436	\$5,583,197

### Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$3,193,819	\$2,125,475	\$38,558	\$5,357,852	\$5,357,852	\$0	\$5,357,852	\$0
2023	\$3,193,819	\$2,079,775	\$41,842	\$5,315,436	\$5,315,436	\$0	\$5,315,436	\$0
2022	\$3,358,117	\$2,179,845	\$45,235	\$5,583,197	\$5,583,197	\$0	\$5,583,197	\$0
2021	\$890,584	\$1,947,329	\$48,631	\$2,886,544	\$2,764,569	\$0	\$2,886,544	\$0
2020	\$552,162	\$1,925,317	\$35,766	\$2,513,245	\$2,513,245	\$0	\$2,513,245	\$0
2019	\$552,162	\$1,925,317	\$35,909	\$2,513,388	\$2,513,388	\$0	\$2,513,388	\$0
2018	\$2,872,429	\$0	\$0	\$2,872,429	\$2,872,429	\$0	\$2,872,429	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(1600)	61,419.60	Square Foot	302	198

**Buildings**

Building ID	40459	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1972
Building Type	SHPING CNTR-COMTY-B / 16B	EffectiveYearBuilt	2005
Building Name		Foundation	
Gross Sq Ft	3621	Roof Type	FLAT OR SHED
Finished Sq Ft	3111	Roof Coverage	MEMBRANE
Stories	1 Floor	Flooring Type	CERM/CLAY TILE
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED
Perimeter	224	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	26	Grade	400
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	3,111	3,111	0
OPF	OP PRCH FIN LL	510	0	0
<b>TOTAL</b>		<b>3,621</b>	<b>3,111</b>	<b>0</b>

Building ID	40460	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1969
Building Type	SHPING CNTR-COMTY-B / 16B	EffectiveYearBuilt	2000
Building Name		Foundation	
Gross Sq Ft	11537	Roof Type	FLAT OR SHED
Finished Sq Ft	9917	Roof Coverage	MEMBRANE
Stories	1 Floor	Flooring Type	CERM/CLAY TILE
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED
Perimeter	456	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	33	Grade	400
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	9,917	9,917	0
OPF	OP PRCH FIN LL	1,620	0	0
<b>TOTAL</b>		<b>11,537</b>	<b>9,917</b>	<b>0</b>

Building ID	40461	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1968
Building Type	SHPING CNTR-COMTY-B / 16B	EffectiveYearBuilt	2000
Building Name		Foundation	
Gross Sq Ft	3108	Roof Type	FLAT OR SHED
Finished Sq Ft	2508	Roof Coverage	MEMBRANE
Stories	1 Floor	Flooring Type	CERM/CLAY TILE
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED
Perimeter	214	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	33	Grade	400
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	2,508	2,508	0
OPF	OP PRCH FIN LL	600	0	0
<b>TOTAL</b>		<b>3,108</b>	<b>2,508</b>	<b>0</b>

Building ID	40462	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1972
Building Type	SHOPPING CENTR-COMTY / 16C	EffectiveYearBuilt	2000
Building Name		Foundation	
Gross Sq Ft	9345	Roof Type	FLAT OR SHED
Finished Sq Ft	6675	Roof Coverage	MEMBRANE
Stories	1 Floor	Flooring Type	CERM/CLAY TILE
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED
Perimeter	584	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	33	Grade	400
Interior Walls	with 0% DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	6,675	6,675	0
OPF	OP PRCH FIN LL	2,670	0	0
<b>TOTAL</b>		<b>9,345</b>	<b>6,675</b>	<b>0</b>

## Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1977	1978	0 x 0	1	204 SF	2
UTILITY BLDG	1994	1995	8 x 10	1	80 SF	2
FENCES	2005	2006	6 x 20	1	120 SF	2
LC UTIL BLDG	2005	2006	10 x 18	1	180 SF	1
LC UTIL BLDG	2005	2006	12 x 20	1	240 SF	1
ASPHALT PAVING	1977	1978	0 x 0	1	3304 SF	2
ASPHALT PAVING	1979	1980	0 x 0	1	2856 SF	2
ASPHALT PAVING	1979	1980	0 x 0	1	9092 SF	2

## Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Grantor	Grantee
3/8/2024	\$6,600,000	Warranty Deed	2453892	3265	2466	01 - Qualified		
6/21/2021	\$6,600,000	Warranty Deed	2326886	3107	2132	01 - Qualified		
9/1/1994	\$740,000	Warranty Deed		1321	2105	U - Unqualified		

## Permits

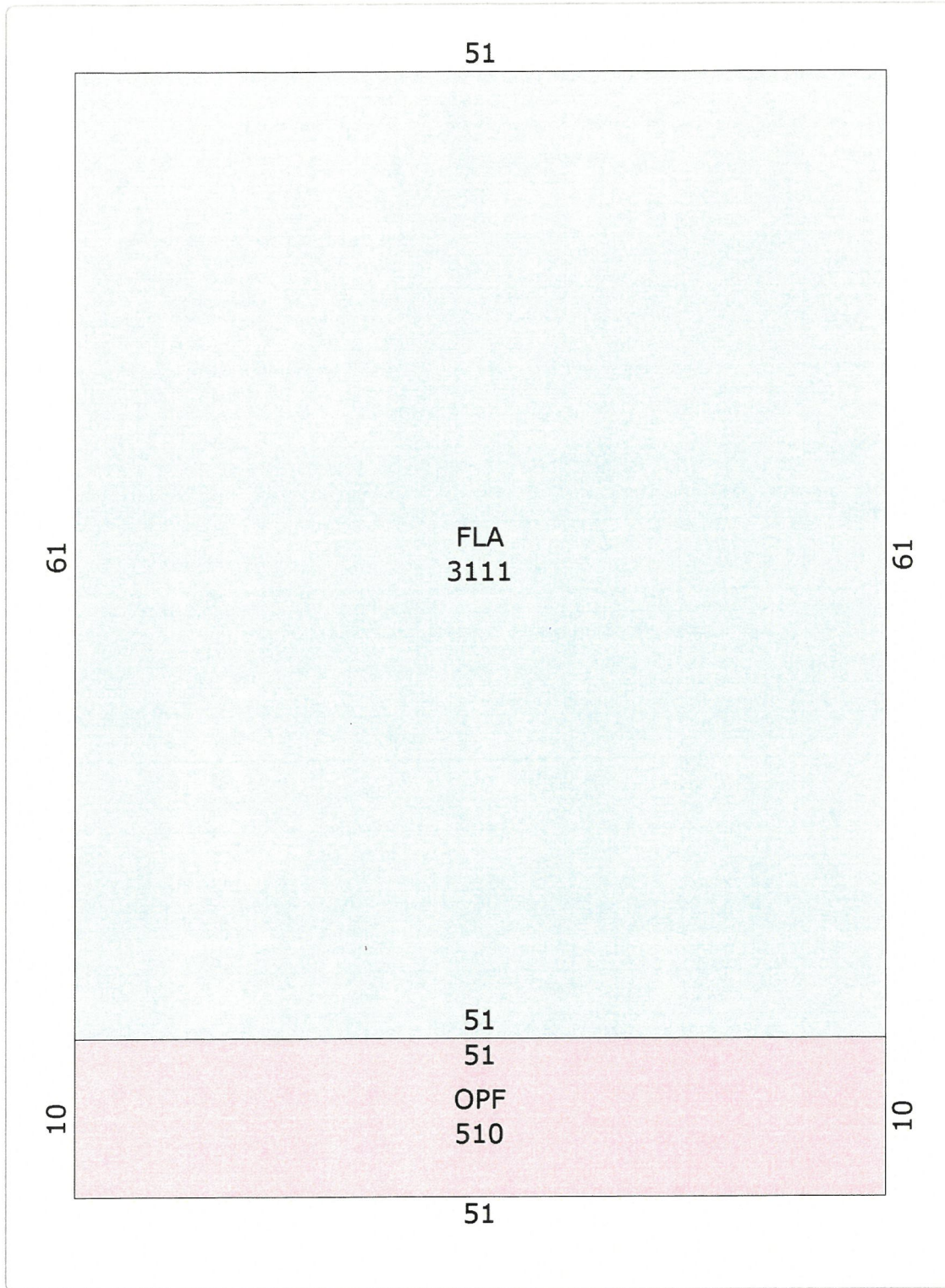
Number	Date Issued	Status	Amount	Permit Type	Notes
BLD2018-1112	02/11/2019	Active	\$1,800	Commercial	Patching of existing stucco 250 sf
17-3877	11/03/2017	Completed	\$90,000	Commercial	REROOF TPO INSULATED SYSTEM
17-27	01/06/2017	Active	\$29,280	Commercial	REPAIR SPALLING AND TIE BEAM. REINSTALL ONE DOOR ACCORDING TO PLANS
14-4599	10/03/2014	Completed	\$1,000	Commercial	REPAIR APPROX. 61 L.F. STUCCO OF CONCRETE FASCIA @ SHERWIN WILLIAMS STORE (NOC EXEMPT) **
13-0358	02/05/2013	Completed	\$1,000	Commercial	INSTALL 96" X 24" 10 MM PLASTIC MOUNTED TO BUILDING THE RIGHT OF THE DOOR & ONE 36" X 16" HANGING SIGN ATTACHED TO CHAINS (IN PREVIOUS SPOT) & DOOR LETTERING (VINYL) SIGN COPY: INTERNET HOT SPOT ON BOTH
12-3281	09/20/2012	Completed	\$2,000	Commercial	AFTER THE FACT: CUT DRIVE WAY AND RUN 180SF 3/4 WATER LINE.
12-2097	06/12/2012	Completed	\$4,800	Commercial	INSTALL A 5 TON A/C SYSTEM W/9 DROPS.
12-0960	03/15/2012	Completed	\$2,000	Commercial	replace fix/la 1-toilet and 12 ft of 4"
12-0871	03/09/2012	Completed	\$1,850	Commercial	EMERGENCY PERMIT: REMOVE DAMAGED BLOCK WALL FRONT OF BUILDING. REPAIR INTERIOR DRY WALL.
12-0797	03/02/2012	Completed	\$1,200	Commercial	AFTER THE FACT: RUN LOW VOLTAGE COAX/VIDEO CABLE ARUND BUILDINGS ADN MOUNT UNDER CAMERAS IN FOR LOCATION.
12-0276	01/27/2012	Completed	\$8,200	Commercial	DEMO. OF EXISTING CONCRETE FLOOR APPROX. 50' X 15'; 8" DEEP, INSTALL STORE FRONT WINDOW 8' X 60", REMODEL BATHROOM, INSTALL NEW STORE FRONT DOOR & REAR DOOR.
12-0209	01/20/2012	Completed	\$2,200	Commercial	REPLACE SWITCHES & RECEPTACLES MOVE AIR HANDLER & INSTALL DISCONNECT. ADD FOUR 8 FT FLOURECENT FIXTURES. REPLACE FOUR LAY IN FLOURECENT FIXTURES INSTALL BATHROOM VANITY LIGHT.
11-4394	12/06/2011	Completed	\$1,200	Commercial	BUILD 10' X 10' INTERIOR OFFICE 2X4 W/DRYWALL
11-4396	12/06/2011	Completed	\$1,500	Commercial	RELOCATE 4 CEILING LIGHTS. INSTALL 4 NEW CEILING LIGHTS. INSTALL 3 NEW ELEC. OUTLETS. INSTALL EXTERIOR LIGHTED SIGN. INSTALL 2 EXIT SIGNS, 2 EMERGENCY LIGHTS.
11-4415	12/05/2011	Completed	\$2,000	Commercial	120" W X 32" H INTERNALLY LIT WALL SIGN 26 SQ/FT. SIGN COPY - "INCOME TAX"
11-4164	11/14/2011	Completed	\$1,800	Commercial	INSTALL THIRTY FIVE (35) SHEETS 5/8" DRYWALL, TAPE AND FINISH
11-3838	10/18/2011	Completed	\$2,100	Commercial	UNIT 920 BLOCK UP 2 PASS THRU DOORS 2' X 7'; DRYWALL EACH SIDE. REMOVE EXISTING WOOD PARTITION WALL. REPAIR MISC DRYWALL & PAINT INTERIOR.
11-3631	10/14/2011	Completed	\$100	Commercial	DEMOLITION/REMOVAL OF TOILET, TUB & CAP SEWER & WATER LINES.
11-3631	10/04/2011	Completed	\$100	Commercial	DEMOLITION/REMOVAL OF TOILET, TUB & SEWER & WATER LINES.
11-0344	02/07/2011	Completed	\$2,500	Commercial	REPAIR 70 LN FT SEWER LINE
10-2359	07/20/2010	Completed	\$200	Commercial	ELECTRICAL DEMOLITION: REMOVE AND DISCONNECT COMMERCIAL COMPRESSOR AND COOLER.
10-2358	07/19/2010	Completed	\$7,900	Commercial	DEMO WALK IN COOLER, ALSO PIPING AND CONDENSER UNIT RELOCATE TO 1014 WHITE
08-1629	05/09/2008	Completed	\$3,500	Commercial	COVER ALL HOLES ON FACADE AFTER REMOVE EXISTING SIGNS & PAINT. CHIP (JACK HAMMER) CONCRETE, COVER PORCH WALKWAY WITH EPOXY APPROX. 3.250 SQ FT.
08-1629	05/09/2008	Completed	\$3,500	Commercial	COVER ALL HOLES ON FACADE AFTER REMOVE EXISTING SIGN
07-4757	10/18/2007	Completed	\$200	Commercial	RESET THREE (3) 420XS ON A 3X9X10" SLAB AND STRAP DOWN.
07-4757	10/18/2007	Completed	\$200	Commercial	RESET THREE 420XS ON 3X9X10" SLAB AND STRAP DOWN
07-4274	09/11/2007	Completed	\$4,461	Commercial	REPLACE EXISTING 2 GANG METER WITH NEW 2 GANG METER CENTER. ADD 2 200 AMP DISCONNECTS. INSTALL NEW SERVICE ENTRANCE.
07-3737	07/31/2007	Completed	\$4,250	Commercial	REPLACE 3 GANG METER SOCKET WITH NEW 400 AMP 3 GANG SERVICE. REPLACE LOAD SIDE CONDUCTORS AND REPLACE 2 SEPERATE 100 AMP SUB PANELS WITH UPGRADE TO 150 AMPS.
06-6693	01/17/2007	Completed	\$2,400	Commercial	INSTALL FOUR (4) NEW FIXTURES, 1 GREASE TRAP, ONE 3 SINK COMPARTMENT, 1 LAUNDRY TUB, 1 HAND SINK AND INSTALL TO HOT WATER HEATER
07-0011	01/08/2007	Completed	\$1,750	Commercial	UP-GRADE EXISTING ELECTRICAL SERVICE UP TO 200 AMP
07-0022	01/08/2007	Completed	\$1,750	Commercial	UP-GRADE ELECTRIC SEVICE TO 200 AMP
06-5304	09/20/2006	Completed	\$5,328	Commercial	REPLACE TIE BEAM - RE STUCCO WALL - INSTALL ONE GLASS DOOR - TILE 576SF OF FLOOR
06-2691	05/03/2006	Completed	\$4,000	Commercial	REMOVE ROOF OVER OVERHANG

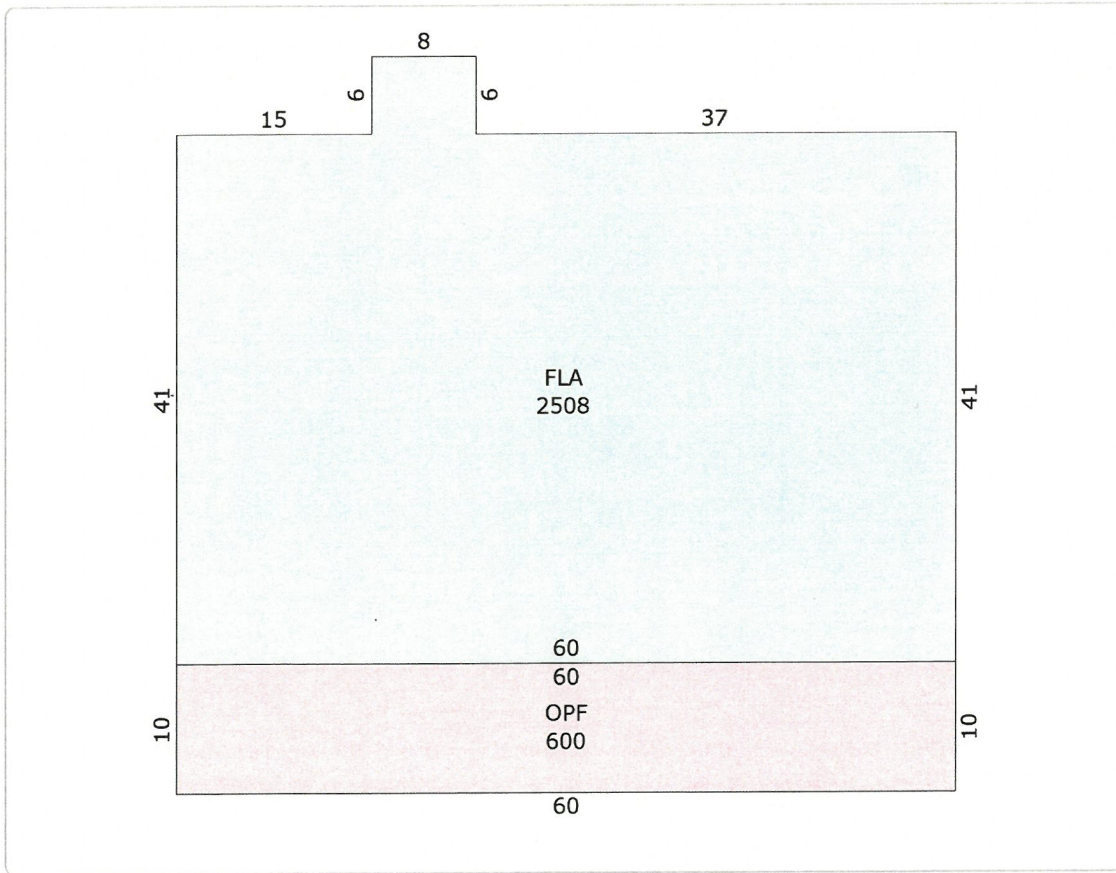
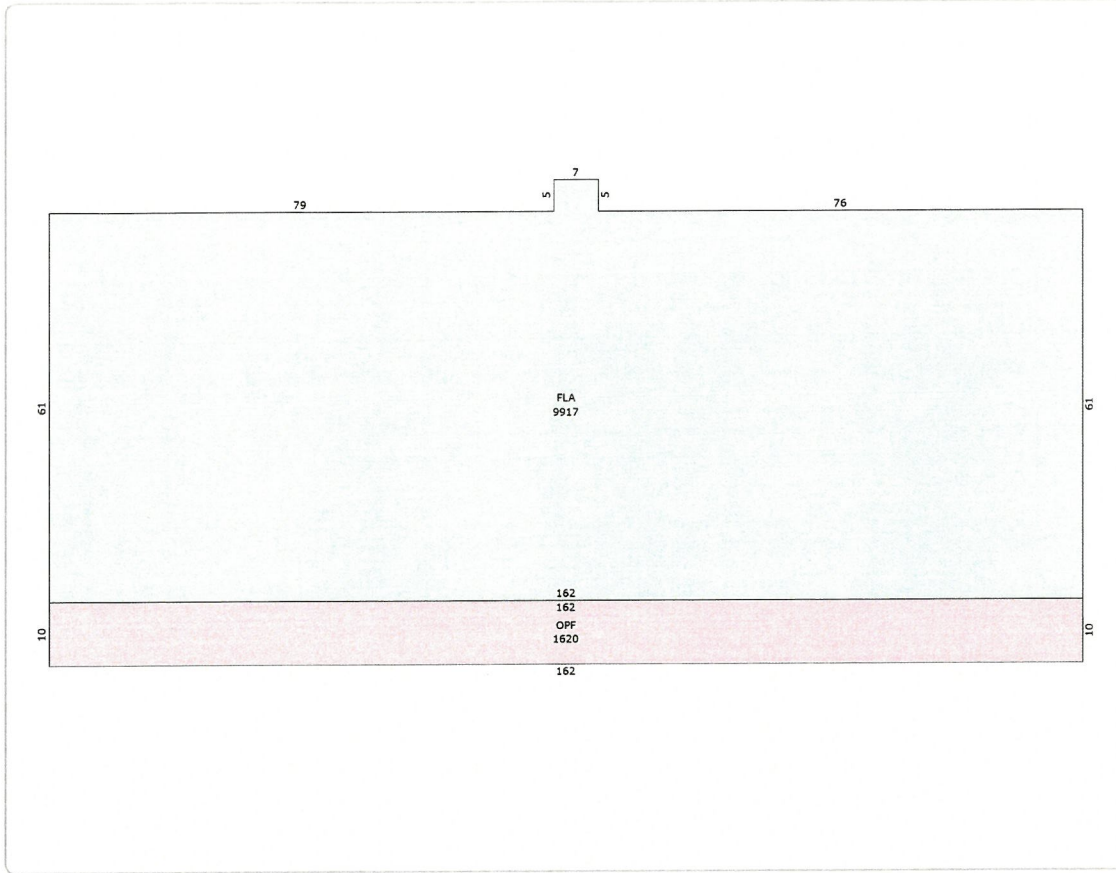
Number	Date Issued	Status	Amount	Permit Type	Notes
06-2491	04/21/2006	Completed	\$350	Commercial	HOOK UP 4-TON A/C
06-2457	04/19/2006	Completed	\$1,453	Commercial	INSTALL ONE 3-TON A/C
06-2359 06-1486	04/17/2006	Completed	\$1,500	Commercial	CONCRETE SPALLING REPAIRS
06-1486	03/03/2006	Completed	\$8,000	Commercial	REPLACE DRYWALL & TILE AND PAINT
06-0990	02/23/2006	Completed	\$2,000	Commercial	REPAIR SIGN DAMAGED FROM HURRICANE
06-0897	02/14/2006	Completed	\$1,750	Commercial	INSTALL LIGHTS & FRECEPTACLES
06-0899	02/14/2006	Completed	\$1,750	Commercial	INSTALL LIGHT RECEPTACLES
06-0189	01/15/2006	Completed	\$12,000	Commercial	LEVEL ROOF CONCRETE
05-5176	11/16/2005	Completed	\$2,500	Commercial	HURRICANE REPAIRS-REPLACE 5 TON A/C ON ROOF FOR SHERWIN WILLIAMS
05-4196	09/27/2005	Completed	\$1,500	Commercial	A.T.F.PERMIT BUILD UTILITY STROAGE SHED 13'x12'
05-4198	09/27/2005	Completed	\$1,500	Commercial	TAG PERMIT BUILD 20'x6' AROUND UTILIY SHED
04-3665	05/20/2005	Completed	\$18,000	Commercial	OVERLAY ASPHALT PARKING LOT
04-0474	02/19/2004	Completed	\$6,500	Commercial	SPALLING REPAIRS
03-3807	11/03/2003	Completed	\$1,000	Commercial	REPAIR CRACK, PAINT
03-3395	09/25/2003	Completed	\$9,600	Commercial	ROOF-RUBBER
02-2951	10/30/2002	Completed	\$7,500	Commercial	ROOF - TAR + FELT
02/2855	10/18/2002	Active	\$7,000		ROOFING
02-2855	10/17/2002	Completed	\$7,000	Commercial	INSTALL INSULATION
01-2465	07/05/2001	Completed	\$3,393	Commercial	REPLACE OLD AC SYSTEM
01-1352	03/29/2001	Completed	\$1,900	Commercial	ANSUL SYSTEM
0101310	03/22/2001	Completed	\$1		HOOD/EXHAUST FAN/DUCTWORK
97-4169	12/11/1997	Completed	\$4,600	Commercial	BUILDING REPAIR
97-3889	11/01/1997	Completed	\$3,000	Commercial	CHANGEOUT 7.5 TON AC
97-2679	08/01/1997	Completed	\$400	Commercial	ELECTRICAL
97-2367	07/01/1997	Completed	\$900	Commercial	DRAIN FOR CARWASH
97-2466	07/01/1997	Completed	\$6,000	Commercial	INTERIOR RENOVATIONS
97-2565	07/01/1997	Completed	\$1,000	Commercial	PLUMBING
97-1632	05/01/1997	Completed	\$500	Commercial	PAINT/STRIPE PARKING LOT
9701036	04/01/1997	Completed	\$1		WINDOW SIGNAGE
97-1221	04/01/1997	Completed	\$3,000	Commercial	SIGN
97-1278	04/01/1997	Completed	\$200	Commercial	LIGHTS FOR SIGN
97-0217	02/01/1997	Completed	\$1,100	Commercial	SIGN
96-4699	12/01/1996	Completed	\$500	Commercial	ELECTRICAL
96-4717	12/01/1996	Completed	\$4,000	Commercial	SIGN
9603974	10/01/1996	Completed	\$300		ELECTRICAL
96-4159	10/01/1996	Completed	\$10,000	Commercial	SIGN
9603351	08/01/1996	Completed	\$1,200		ROOF
9601608	04/01/1996	Completed	\$40,000		RENOVATION
96-1608	04/01/1996	Completed	\$2,000	Commercial	RENOVATION
96-1032	02/01/1996	Completed	\$300	Commercial	ELECTRIC
9600590	01/01/1996	Completed	\$2,500		RENOVATION
96-0384	01/01/1996	Completed	\$2,000	Commercial	RENOVATION
M953301	10/01/1995	Completed	\$3,685	Commercial	ELECTRICAL
B953251	09/01/1995	Completed	\$1,495	Commercial	ULITITY BLDG
E952136	06/01/1995	Completed	\$300	Commercial	ELECT.(916 KENNEDY)
M952118	06/01/1995	Completed	\$3,000	Commercial	3.5 TON AC(916 KENNEDY)
E950858	03/01/1995	Completed	\$285	Commercial	ELECT.(SANDWICH SHOP)
B950530	02/01/1995	Completed	\$9,000	Commercial	RENOVAT.(SHERMAN WILL)
B950267	01/01/1995	Completed	\$1,500	Commercial	RENOVAT.(SANDWICH SHOP)
	01/01/1900		\$0		

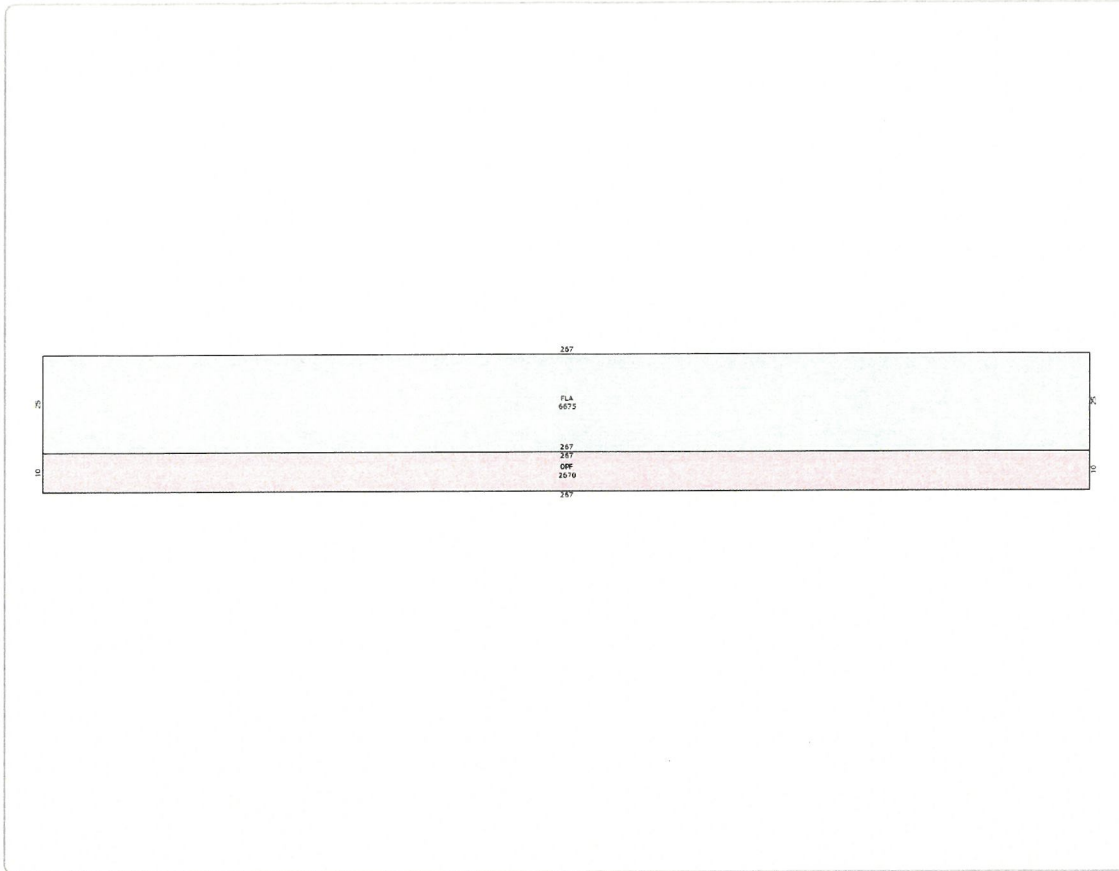
## View Tax Info

[View Taxes for this Parcel](#)

## Sketches (click to enlarge)







Photos



Map



TRIM Notice

[2025 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[| User Privacy Policy](#) | [GDPR Privacy Notice](#)  
Last Data Upload: 5/11/2026, 11:10:29 PM

[Contact Us](#)



This instrument prepared by  
(and after recording return to):  
Allison Campbell, Esq.  
Publix Super Markets, Inc.  
PO Box 407  
Lakeland, Florida 33802-0407

Property Appraiser's Parcel ID: 00065660-000000  
Property Appraiser's Property ID: 1068527

### SPECIAL WARRANTY DEED

**900 KENNEDY LLC**, a Florida limited liability company ("**Grantor**"), whose mailing address is Attn: Benjamin J. Dempsey, 50 Tice Boulevard, Suite 320, Woodcliff Lake, New Jersey 07677, in consideration of ten dollars (\$10.00) and other valuable considerations received from **REAL SUB, LLC**, a Florida limited liability company ("**Grantee**"), whose mailing address is Post Office Box 407, Lakeland, Florida 33802-0407, hereby grants and conveys to Grantee the real property in Monroe County, Florida, described on the attached **Exhibit A**, along with Grantor's right, title and interest in and to any rights, privileges, hereditaments, appurtenances, and easements related to such real property.

This conveyance is subject to real estate taxes for 2024 and subsequent years, and the matters described on **Exhibit B** (without the intent of re-imposing same).

Subject in all events to the matters described on **Exhibit B** (without the intent of re-imposing same), Grantor hereby warrants the title to the property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor.


DATED this   8<sup>th</sup>   day of March, 2024.

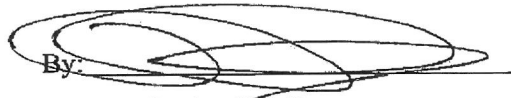
[SIGNATURE PAGE FOLLOWS]


Signed in the presence of:

**900 KENNEDY LLC**, a Florida limited liability company

By: KP PAD GP CORP., a Florida corporation, as Manager

  
\_\_\_\_\_  
(print name): TAL MOR  
Address: 50 TICE Blvd, Suite 320  
Woodcliff Lake, NJ 07677

  
\_\_\_\_\_  
By: \_\_\_\_\_  
Name: Benjamin J. Dempsey  
Title: Executive Vice President

  
\_\_\_\_\_  
(print name): TAL MOR  
Address: 50 TICE BLVD, STE 320  
WOODCLIFF LAKE NJ 07677

**STATE OF NEW JERSEY**

**COUNTY OF BERGEN**

The foregoing instrument was signed and acknowledged before me by means of  physical presence or  online notarization this 27 day of February, 2024, by Benjamin J. Dempsey, as Executive Vice President of KP PAD GP CORP., a Florida corporation, as the Manager of **900 KENNEDY LLC**, a Florida limited liability company, on behalf of such corporation and such limited liability company. Such person  is personally known to me or  has produced a \_\_\_\_\_ as identification.



Amanda R Cannone  
Printed/typed name: Amanda R Cannone  
Notary Public-State of New Jersey  
Commission Number: 2443463  
Commission expires: February 26, 2029

EXHIBIT A TO SPECIAL WARRANTY DEED

Property Description

On a parcel of land on the Island of Key West, Florida and being described as a part of Parcel 9, of Plat of Survey, recorded in Plat Book 3 at Page 35, of the Public Records of Monroe County, Florida, and other lands and being more particularly described by metes and bounds as follows:

Commencing at the Northeast corner of the said Parcel 9 bear South 52 degrees 25 minutes 40 seconds West along the Southeast Right-of-Way line (curb line) of North Roosevelt Boulevard for a distance of 102.71 feet, thence run South 37 degrees 34 minutes 20 seconds East for a distance of 300 feet to the POINT OF BEGINNING, thence run South 52 degrees 25 minutes 40 seconds West 15.82 feet to a point, thence run South 37 degrees 34 minutes 20 seconds East 90 feet to a point, thence run North 52 degrees 25 minutes 40 seconds East 10.25 feet to a point, thence run South 44 degrees 04 minutes 20 seconds East 211.36 feet to a point in the Southerly boundary line of the said Parcel 9, thence run North 52 degrees 25 minutes 40 seconds East, along the said Southerly line of Parcel 9 a distance of 202.53 feet to the West edge of the existing sidewalk and West Right-of-Way of Kennedy Drive (13th Street), thence run North 44 degrees 04 minutes 20 seconds West along the West edge of the existing sidewalk and along the Westerly line of Kennedy Drive (13th Street) a distance of 302.07 feet to a point bearing North 52 degrees 25 minutes 40 seconds East and distant 185.16 feet from the Point of Beginning, thence run South 52 degrees 25 minutes 40 seconds West a distance of 185.16 feet to the POINT OF BEGINNING, Less any portion lying in road right of way.

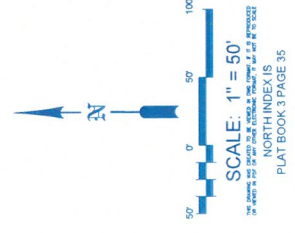
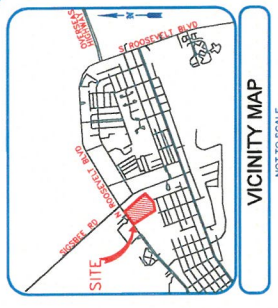
EXHIBIT B TO SPECIAL WARRANTY DEED

1. Taxes and assessments for 2024 and subsequent year that are not yet due or payable;
2. Rights of tenants under the leases, tenancies, licenses or other rights of occupancy or use affecting the real property conveyed hereby (the "Property") that are identified in the exhibits to an Assignment and Assumption of Leases of even date herewith executed by Grantor and Grantee, without any options or rights of first refusal to purchase the Property or any portion thereof;
3. All matters that would be shown by an accurate survey of the Property;
4. Easement granted to The City of Key West, Florida, recorded November 8, 1968, in Official Records Book 420, Page 326, as amended by that certain Amendment to Easement dated March 4, 2024, and recorded March 5, 2024, in Official Records Book 3265, Page 433, Public Records of Monroe County, Florida;
5. Easement granted to The City of Key West, Florida, recorded October 1, 1971, in Official Records Book 486, Page 1001, Public Records of Monroe County, Florida; and
6. Easement granted to Florida Keys Aqueduct Authority, recorded May 19, 1972, in Official Records Book 506, Page 167, Public Records of Monroe County, Florida.



# ALTA/NSPS LAND TITLE SURVEY

US Surveyor Internal Use Only - BD 24 04/29



**SITE DATA**

OWNER: PUBLIC MARKET, INC. (A FLORIDA CORPORATION)  
 PROJECT: 112 KEY PLAZA  
 SURVEYOR: MICHAEL J. FELDBRUSCH, P.S.M.  
 DATE: OCTOBER 28, 2023

- 1. SETBACKS - 5' - GENERAL COMMERCIAL
- 2. HEIGHT RESTRICTIONS - 40'
- 3. PARKING REQUIRED - 1 SPACE PER 300 SQUARE FEET OF GROSS FLOOR AREA
- 4. ADDITIONAL PARKING PROVIDED - 5 SPACES
- 5. VERTICAL DATUM - NAVD83, CONVERTED FROM NAVD83 USING THIS MAT
- 6. NOTES REGARDING TABLE A: REFS 16, 18, 17-
- 7. NO CONSTRUCTION OR BUILDING ADDITIONS IN RECENT MONTHS
- 8. NO UNDESIRABLE CHANGES IN STREET RIGHT-OF-WAY LINES, RECENT
- 9. LANDSCAPING (TREES, SHRUBS, HERBACEAE) ARE FROM A RECENT
- 10. FORWARDED BY BLDG/PLANNING UTILITY LOCATING ON 11/7/2023 AND
- 11. RECORDED UNDER NUMBER 84717/2023

NO.	DESCRIPTION	DATE	BY
1	REVISION	10/28/23	JLF
2	REVISION	10/28/23	JLF
3	REVISION	10/28/23	JLF
4	REVISION	10/28/23	JLF
5	REVISION	10/28/23	JLF
6	REVISION	10/28/23	JLF
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48	REVISION	10/28/23	JLF
49	REVISION	10/28/23	JLF
50	REVISION	10/28/23	JLF



NO.	DESCRIPTION	DATE	BY
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49	REVISION	10/28/23	JLF
50	REVISION	10/28/23	JLF

**ALTA/NSPS LAND TITLE SURVEY**  
 BOUNDARY SURVEY  
 SURVEYOR'S CERTIFICATION  
 PUBLIC SUPER MARKETS, INC. a Florida Corporation, Real Sub, LLC, a Florida limited liability company, FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND THAT THE SURVEY WAS COMPLETED ON OCTOBER 28, 2023, AND APRIL 9, 2024.  
 I, MICHAEL J. FELDBRUSCH, P.S.M., THE SURVEYOR, MAKE UNDER MY RESPONSIBLE CHARGE AND WITNESSE THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS, SECTION 472.007, FLORIDA STATUTES.

For requests, questions or concerns about this survey contact [mjfel@pubsup.com](mailto:mjfel@pubsup.com) or call 1-800-887-8783 ext. 201  
**U.S. SURVEYOR**  
 4929 Riverwind Pointe Drive  
 Evansville, Indiana 47715  
 AMERICA'S ALTA SURVEYOR  
 1-800-TO-SURVEY

PREPARED FOR:  
**PUBLIC SUPER MARKETS, INC.**  
 PROJECT ADDRESS:  
 112 KEY PLAZA  
 KEY WEST, FL 33040  
 PROJECT TYPE:  
 ALTA/NSPS LAND TITLE SURVEY  
 PROJECT LOCATION:  
 MONROE, COUNTY, STATE OF FLORIDA

PROFORMA  
 MICHAEL J. FELDBRUSCH, P.S.M.  
 FLORIDA REGISTRATION NO. 7308  
 I HAVE READ THIS SURVEY AND I HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR UNDER SECTION 472.007, FLORIDA STATUTES.  
 SHEET 2 OF 2  
 JOB NUMBER:  
 88555418-02.DWG

**COPYRIGHT NOTE:**  
 This property is in Zone AE of the Flood Insurance Rate Map, Community Panel No. 13020713000C, Flood Hazard Area. Field surveying was not performed to determine this zone. An elevation certificate may be needed to verify. Also, determination or apply for flood insurance coverage may require a separate determination. THE SURVEYOR'S ONLY OBLIGATION IS TO STATE THE FACTS AS DETERMINED BY THE SURVEY.

**FLOOD DATA:**  
 This property is in Zone AE of the Flood Insurance Rate Map, Community Panel No. 13020713000C, Flood Hazard Area. Field surveying was not performed to determine this zone. An elevation certificate may be needed to verify. Also, determination or apply for flood insurance coverage may require a separate determination. THE SURVEYOR'S ONLY OBLIGATION IS TO STATE THE FACTS AS DETERMINED BY THE SURVEY.

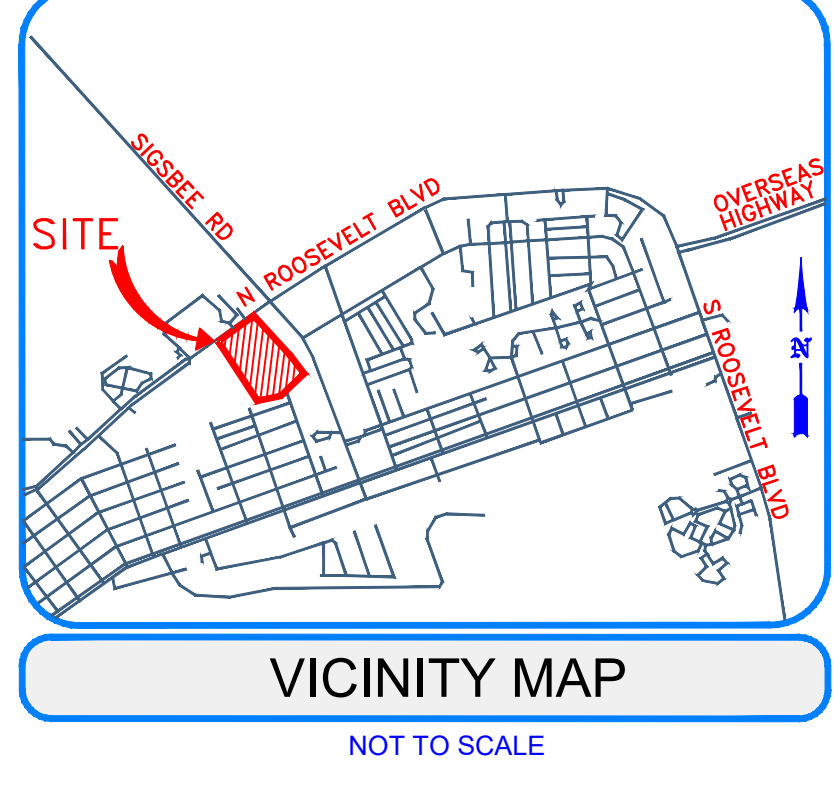
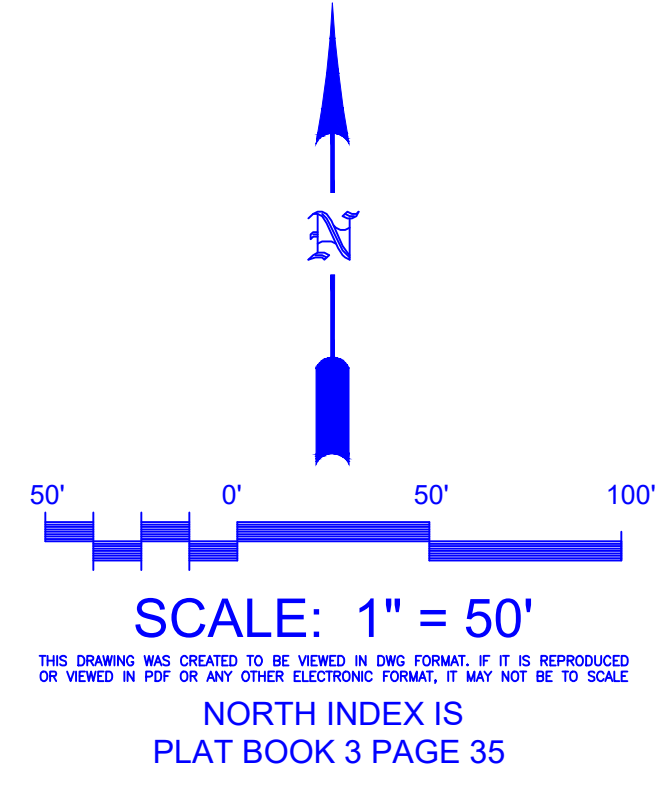


Know what's below  
 Call before you dig  
 811  
 STATEMENTS OF ACCURACY BASED UPON MAPS AND UTILITY LOCATIONS OF UTILITIES.

RECORD CLOSURE: 1:27651407901.9  
 MEASURED CLOSURE: 1:97651407901.9  
 THIS SURVEY IS NOT VALID FOR ANY FUTURE TRANSACTIONS OF THIS PROPERTY.

DATE OF ORIGINAL: OCTOBER 8, 2023  
 REVISION: A, ADD DPO/UD UTILITIES-AD, DATE: JUNE 29, 2026  
 REVISION: B, REVISION TO ADDS/UDS, DATE: MAY 9, 2026  
 REVISION: C, REVISION TO ADDS/UDS, DATE: MAY 9, 2026  
 FIELD SURVEY: EV, CAD: BD, PLS REVIEW.

# ALTA/NSPS LAND TITLE SURVEY



## LEGAL DESCRIPTION

Parcel 1:  
On a parcel of land on the island of Key West, Florida and being described as a part of Parcel 9, of Plat of Survey, recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida, and other lands and being more particularly described by metes and bounds as follows:  
Commencing at the Northeast corner of the said Parcel 9, bear South 52 degrees 25 minutes 40 seconds West along the Southeast Right-of-Way line (Curb line) of North Roosevelt Boulevard for a distance of 102.71 feet, thence run South 37 degrees 34 minutes 26 seconds East for a distance of 300 feet to the POINT OF BEGINNING, thence run South 52 degrees 25 minutes 40 seconds West 15.82 feet to a point, thence run South 37 degrees 34 minutes 26 seconds East 90 feet to a point, thence run South 52 degrees 25 minutes 40 seconds East 10.25 feet to a point, thence run South 44 degrees 04 minutes 20 seconds East 21.16 feet to a point in the Southern boundary line of the said Parcel 9, thence run North 52 degrees 25 minutes 40 seconds West along the said Southern line of Parcel 9 a distance of 202.53 feet to the West edge of the existing sidewalk and West Right-of-Way of Kennedy Drive (13th Street), thence run North 44 degrees 04 minutes 20 seconds West along the West edge of the existing sidewalk and along the Western line of Kennedy Drive (13th Street) a distance of 302.07 feet to a point bearing North 52 degrees 25 minutes 40 seconds East and distant 185.16 feet from the Point of Beginning, thence run South 52 degrees 25 minutes 40 seconds West a distance of 18.16 feet to the POINT OF BEGINNING, less any portion lying in road right of way.

Parcel 2 and 3:  
Part A:  
A parcel of land on the island of Key West, Monroe County, Florida and being a part of Parcel 14, according to the Plat of Survey of Lands on Islands of Key West, Monroe County, Florida as indicated and described, recorded in Plat Book 3 at Page 35 of the Public Records of Monroe County, Florida; and other lands; said parcel of land being described herein by metes and bounds as follows:  
COMMENCE at the Northeast corner of said Parcel 9 and run thence South 52°25'40" West along the South Right-of-Way of North Roosevelt Boulevard for a distance of 222.71 feet to the Point of Beginning, thence run South 37°34'20" East for a distance of 125 feet; thence run North 52°25'40" East for a distance of 125 feet; thence run South 52°25'40" East for a distance of 175 feet; thence run South 52°25'40" East for a distance of 175 feet; thence run North 52°25'40" East for a distance of 90 feet; thence run North 52°25'40" East for a distance of 10.25 feet; thence run South 44°04'20" East for a distance of 21.16 feet to the south boundary of the said Parcel 9; thence run North 52°25'40" East for a distance of 185.16 feet to the West edge of the existing sidewalk and West Right-of-Way of Kennedy Drive (13th Street) for a distance of 50.31 feet to the North boundary of said Parcel 14 extended eastward to the West edge of the north boundary of the said Parcel 14 and along the extension thereof for a distance of 150 feet to the north-west corner of the lands described in Official Record Book 423 at Page 35 of the Public Records of Monroe County, Florida; thence run South 32°27'24" East for a distance of 148.64 feet; thence run North 52°25'40" East for a distance of 317.35 feet to a point on the south boundary line of said Parcel 14; thence run South 52°25'40" West along the south boundary of the said Parcel 14 for a distance of 690.77 feet to the Southwest corner of the said Parcel 14; thence run North 37°34'20" West along the western boundary of the said Parcel 14 and on an extension thereof for a distance of 400 feet to a point lying 600 feet from the south right-of-way of the said North Roosevelt Boulevard and measured at right angles to the said North Roosevelt Boulevard North 52°25'40" East for a distance of 50 feet; thence run North 37°34'20" West for a distance of 102.71 feet to the Point of Beginning, thence run North 52°25'40" East for a distance of 97.29 feet; thence run North 37°34'20" West for a distance of 102.71 feet to the Point of Beginning, thence run North 52°25'40" East along the South right-of-way of the said North Roosevelt Boulevard for a distance of 480 feet to the Point of Beginning, less any portion lying in road right of way.

Part B:  
Together with Easement given by Bernard Jacobson, as Nominee of the Trustee of Republic Mortgage Investors, and Market Place Property N.V., recorded December 18, 1980, and recorded December 19, 1980 under Clerk's File No. 227928, 823, 823, 138 at 138 of the Public Records of Monroe County, Florida, said easement being as follows:  
A parcel of land on the island of Key West, Monroe County, Florida and being a part of Parcel 9, of a Plat of Survey recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida, and other lands as indicated and described, recorded in Plat Book 3 at Page 35 of the Public Records of Monroe County, Florida, said parcel of land being described by metes and bounds as follows:  
BEGIN at the Southeast corner of said Parcel 14 and run thence South 88°43'03" West along the South boundary of said Parcel 14 a distance of 191.88 feet to a point, thence North 88°43'03" East 191.88 feet to a point on the Western right-of-way of Kennedy Drive (13th Street), thence South 52°25'40" West along the said Western right-of-way line of Kennedy Drive (13th Street) for a distance of 22 feet back to the Point of Beginning.

Part C:  
A parcel of land on the island of Key West, Florida, and being described as a part of Parcel 9 of a Plat of Survey recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:  
Commence at the Northeast corner of said Parcel 9, bear South 52°25'40" West along the Southeast Right-of-Way line (Curb line) of North Roosevelt Boulevard for a distance of 102.71 feet to the Point of Beginning, thence run South 37°34'20" East for a distance of 125 feet to the Point of Beginning, thence run South 52°25'40" West along the said Southern line of Parcel 9 a distance of 202.53 feet to the West edge of the existing sidewalk and West Right-of-Way of Kennedy Drive (13th Street), thence run North 44°04'20" East for a distance of 302.07 feet to a point bearing North 52°25'40" East and distant 185.16 feet from the Point of Beginning, thence run South 52°25'40" West a distance of 18.16 feet to the POINT OF BEGINNING, less any portion lying in road right of way.

LESS AND EXCEPT:  
A portion of Parcel 9 of Plat of Survey of Lands on Island of Key West, Monroe County, Florida, according to the plat thereof, as recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida, more particularly described as follows:  
Commence at the Point of Intersection of the Eastern line of Parcel 9 of said Plat of Survey of Lands on Island of Key West, Monroe County, Florida, and the Existing Southeastery Right-of-Way line of State Road No. 5, North Roosevelt Boulevard, as shown on the Florida Department of Transportation Right-of-Way map for State Road No. 5, Section 90010; thence S54°33'53"W, along the Southeastery Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard, for a distance of 102.71 feet to the Point of Beginning of the hereinafter described Parcel; thence continue S54°33'53"W, along the previously described Right-of-Way line, for a distance of 120.00 feet, thence S52°28'07"E, departing the previously described line, for a distance of 5.00 feet to a point on a line parallel with and 5.00 feet Southeastery of, as measured at right angles, the Southeastery Right-of-Way line of said State Road No. 5, North Roosevelt Boulevard; thence N65°33'53"E, along the previously described line, for a distance of 120.00 feet, thence N52°28'07"E, departing the previously described line, for a distance of 5.00 feet to the Point of Beginning.

Part E:  
Easement rights contained in that Grant of Utility Easement from A.E. Golon and Florence Golon, husband and wife, to Master Donut Development Corporation dated November 7, 1968 and filed December 3, 1968 in Official Records Book 422, Page 48, and further conveyed by Quit Claim Deed from Nancy Thornburgh and Sandra Kent, AKA Sandra Kent, individually and as Trustee under the will of A.E. Golon, deceased, to Robert G. Boursoschs and C. Janet Boursoschs, husband and wife, dated January 14, 1980 and filed January 24, 1980 in Official Records Book 804, Page 2127; and further conveyed by Quit Claim Deed from Robert G. Boursoschs and C. Janet Boursoschs, his wife, to Ralph M. Henriques, Jr. and Denise Henriques, his wife, dated March 9, 1987 and filed in Official Records Book 1004, Page 2354; and further conveyed by Quit Claim Deed from Jimmy Rodriguez, to Jimmy Rodriguez, a married man to Joan Lord-Pagay, a married woman, dated September 18, 1997 and filed September 26, 1997 in Official Records Book 1477, Page 1218, over the following described lands:  
A parcel of land on the island of Key West, Florida, and being described as a part of Parcel 9 of a Plat of Survey recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida, and being more particularly described by metes and bounds as follows:  
Commence at the Northeast corner of said Parcel 9, bear South 52°25'40" West along the Southeast Right-of-Way line (Curb line) of North Roosevelt Boulevard for a distance of 102.71 feet; thence run South 37°34'20" East for a distance of 125 feet to the Point of Beginning, thence run South 52°25'40" West along the said Southern line of Parcel 9 a distance of 202.53 feet to the West edge of the existing sidewalk and West Right-of-Way of Kennedy Drive (13th Street), thence run North 44°04'20" East for a distance of 302.07 feet to a point bearing North 52°25'40" East and distant 185.16 feet from the Point of Beginning, thence run South 52°25'40" West a distance of 18.16 feet to the POINT OF BEGINNING, less any portion lying in road right of way.

## NOTES CORRESPONDING TO SCHEDULE B

- AS PER COMMITMENT NO. 11406507 REVISION 10, DATED MARCH 05, 2024.
6. INTENTIONALLY DELETED
  7. Subject to City Ordinance No. 81-43 and Amendment 82-5 thereof, which provides for the assessment and collection of waste in the City of Key West, NO PLOTTABLE ITEMS, NOT A SURVEY MATTER
  8. Subject to Code of Ordinances of the City of Key West, Section 74, which provides for the assessment and collection of waste in the City of Key West, NO PLOTTABLE ITEMS, NOT A SURVEY MATTER
  11. Subject to House Bill No. 634, Chapter 70-231, an Act relating to the bureau of beaches, shores and coastal construction; amending chapter 161, Florida Statutes, by adding Section 161.022, providing a setback line for the construction and encroaching; providing for the granting of variances by the Department of Natural Resources, providing penalties, and providing an effective date, NO PLOTTABLE ITEMS, NOT A SURVEY MATTER
  13. INTENTIONALLY DELETED
- As to Parcel 1:
14. Easement granted to the City of Key West, Florida, recorded November 8, 1968 in Official Records Book 420, Page 326, as affected by that Amendment to Easement recorded March 5, 2024, in Official Records Book 3265, Page 433, SHOWN HEREIN
  15. Easement granted to the City of Key West, Florida, recorded October 1, 1971 in Official Records Book 486, Page 1001, Public Records of Monroe County, Florida, SHOWN HEREIN
  16. Easement granted to Florida Keys Aqueduct Authority, recorded May 19, 1972 in Official Records Book 506, Page 167, Public Records of Monroe County, Florida, SHOWN HEREIN
  17. Terms and conditions of the Unrecorded Lease in favor of the Sherwin-Williams Company, a Ohio corporation as evidenced by the Subordination, Non Disturbance and Attornment Agreement and by the Sherwin-Williams Company, an Ohio corporation and First State Bank of the Florida Keys, Florida banking corporation, recorded June 24, 2021 in Official Records Book 3107, Page 2180, Public Records of Monroe County, Florida, NOTHING TO PLOT
- As to Parcel 2 and 3:
18. Easement granted by and between A.E. Golon and Florence Golon, husband and wife, to the Utility Board of Key West, filed March 2, 1984, in Official Records Book 302, at Page 573, Public Records of Monroe County, Florida, SHOWN HEREIN
  19. Grant of Easement by and between A.E. Golon and Florence Golon, his wife, to Master Donut Development Corporation, filed in Official Records Book 422, Page 48, Public Records of Monroe County, Florida, SHOWN HEREIN
  20. Easement by and between A.E. Golon and Florence Golon, his wife, and in favor of Utility Board of the City of Key West, Florida recorded April 30, 1969 in Official Records Book 430, Page 680, Public Records of Monroe County, Florida, SHOWN HEREIN
  21. Easement by and between A.E. Golon and Florence Golon, his wife, and in favor of Utility Board of the City of Key West, Florida recorded April 30, 1969 in Official Records Book 430, Page 683, Public Records of Monroe County, Florida, SHOWN HEREIN
  22. Easement by and between A.E. Golon and Florence Golon, his wife, and in favor of Utility Board of the City of Key West, Florida recorded February 4, 1971 in Official Records Book 469, Page 24, Public Records of Monroe County, Florida, SHOWN HEREIN
  23. Easement by and between A.E. Golon and Florence Golon, his wife, and in favor of Utility Board of the City of Key West, Florida recorded August 6, 1971 in Official Records Book 482, Page 921, Public Records of Monroe County, Florida, AVOIDS SUBJECT PROPERTY, SHOWN HEREIN
  24. Easement by and between A.E. Golon and Florence Golon, his wife, and in favor of Utility Board of the City of Key West, Florida recorded October 1, 1971 in Official Records Book 486, Page 1001, Public Records of Monroe County, Florida, SHOWN HEREIN
  25. Grant of Easement by and between City National Bank of Miami, as Trustee and Florida Keys Aqueduct Authority recorded in Official Records Book 703, Page 30, Public Records of Monroe County, Florida, SHOWN HEREIN
  26. Grant of Easement by and between City National Bank of Miami and Florida Keys Aqueduct Authority recorded in Official Records Book 703, Page 470, Public Records of Monroe County, Florida, SHOWN HEREIN
  27. Grant of Easement by and between Lynn Grossman and City of Key West recorded in Official Records Book 703, Page 811, Public Records of Monroe County, Florida, EXHIBIT B IS SHOWN HEREIN; EXHIBIT A IS THE PROPERTY EXHIBIT B BELONGS TO, EXHIBIT C IS BLANKET IN NATURE OVER SURVEYED PROPERTY.
  28. Easement by and between Bernard Jacobson, as Nominee of the Trustee of Republic Mortgage Investors, and Market Place Property N.V., recorded December 18, 1980, in Official Records Book 823, Page 138, Public Records of Monroe County, Florida, SHOWN HEREIN
  29. Easement by and between Market Place Property, N.V., a Netherlands Antilles Corporation, to Bernard Jacobson, as Nominee of the Trustee of Republic Mortgage Investors, a Massachusetts business trust, recorded December 19, 1980 in Official Records Book 823, at Page 143, Public Records of Monroe County, Florida, SHOWN HEREIN; DEPICTED AS DESCRIBED IN DOCUMENT
  30. INTENTIONALLY DELETED.

## NOTES CORRESPONDING TO SCHEDULE E

- AS PER COMMITMENT NO. 11406507 REVISION 10, DATED MARCH 05, 2024.
31. Easement granted to the Utility Board of the City of Key West, Florida recorded November 13, 1964, in Official Records Book 926, Page 593, Public Records of Monroe County, Florida, SHOWN HEREIN
  32. INTENTIONALLY DELETED.
  33. Agreement recorded in Official Records Book 1204, Page 94; and Resolution No. 91-375 recorded August 26, 1994 in Official Records Book 1320, Page 2076, Public Records of Monroe County, Florida, SHOWN HEREIN
  34. Declaration of Easement and Consent Runding with the Land recorded March 26, 1999 in Official Records Book 1345, Page 2131, Affidavit recorded April 10, 1998 in Official Records Book 1397, Page 1743 (Showing Exhibit B left off original document), Public Records of Monroe County, Florida, EXHIBIT "A" BLANKET IN NATURE, EXHIBIT "B" BANKING CENTER PARCEL SHOWN HEREIN, EXHIBIT "C" ENCROACHMENT ZONE IS THE SAME AS EASEMENT PARCEL EXHIBIT "C"
  35. Restrictions contained in the Unrecorded Lease by and between Key Plaza Land Trust, a Florida land Trust and Officinas, Inc., an Ohio corporation, evidenced by the Memorandum of Lease recorded August 3, 2000 in Official Records Book 1848, Page 1427; Subordination, Non-disturbance and Attornment Agreement recorded April 13, 2012 in Official Records Book 2564, Page 1770; Subordination, Non-disturbance and Attornment Agreement recorded August 9, 2022 in Official Records Book 3188, Page 1004, Public Record of Monroe County, Florida, BLANKET IN NATURE; PARCEL 2 OF DOCUMENTS SHOWN HEREIN;
  36. Terms and conditions of the Unrecorded Lease by and between Auburndale Properties, LLC, as Trustee under Land Trust Agreement dated March 28, 1996, and Auburndale, Inc., a Delaware corporation, recorded November 30, 2000 in Official Records Book 1664, Page 1620; Subordination, Non-disturbance and Attornment Agreement recorded April 2, 2012 in Official Records Book 2562, Page 1662; Assignment and Assumption Agreement for Store Lease in favor of Public Super Markets, Inc., a Florida corporation, recorded May 2, 2012 in Official Records Book 2567, Page 2167, Public Records of Monroe County, Florida, SHOWN HEREIN; SETBACK AND UNKNOWN LINE FROM SITE PLAN SHOWN HEREIN;
  37. INTENTIONALLY DELETED
  38. INTENTIONALLY DELETED
  39. Grant of Utility Easement from A.E. Golon and Florence Golon, husband and wife, to Master Donut Development Corporation dated November 7, 1968 and filed December 3, 1968 in Official Records Book 422, Page 48, and further conveyed by Quit Claim Deed from Nancy Thornburgh and Sandra Kent, AKA Sandra Kent, individually and as Trustee under the will of A.E. Golon, deceased, to Robert G. Boursoschs and C. Janet Boursoschs, husband and wife, dated January 14, 1980 and filed January 24, 1980 in Official Records Book 804, Page 2127; and further conveyed by Quit Claim Deed from Robert G. Boursoschs and C. Janet Boursoschs, his wife, to Ralph M. Henriques, Jr. and Denise Henriques, his wife, dated March 9, 1987 and filed in Official Records Book 1004, Page 2354; and further conveyed by Quit Claim Deed by Qui Govert, Trustee, to Jimmy Rodriguez dated May 10, 1991 and filed May 21, 1991 in Official Records Book 1170, Page 1315; and further conveyed by Jimmy Rodriguez, a married man to Joan Lord-Pagay, a married woman, dated September 18, 1997 and filed September 26, 1997 in Official Records Book 1477, Page 1218, Public Records of Monroe County, Florida, SHOWN HEREIN

- (1) The undersigned has received and examined a copy of Fidelity National Title Insurance Company Commitment No. 11406507 REVISION 10 dated MARCH 05, 2024 effective of 5:00PM. The location of any matter shown thereon, to the extent each can be located, has been shown on this survey with the appropriate recording reference. If any such matter is not locatable, the reason is stated herein. If any such matter does not affect the subject property, a statement to that effect is stated herein.
- (2) The land described and depicted in this survey is the same as that described in the title insurance commitment described above.
- (3) If the subject property lies within a Special Flood Hazard Area the floor elevations of all improvements on the subject property are as shown on this survey.
- (4) Ingress and egress to the subject property is provided by NORTH ROOSEVELT BOULEVARD/STATE ROAD No. 5, KENNEDY DRIVE/13th STREET and 12TH STREET to which the subject property abuts, the same being paved and dedicated public rights-of-way maintained by Key West/Monroe County/Florida.
- (5) The total number of non-handicap striped parking spaces located on the subject property is 716 and the total number of handicap striped parking spaces located on the subject property is 30. These totals meet the minimum requirements for the subject property as required by Article VII, Division 2, Subdivision 1, Sec. 108.572, Item 16, which sets forth the following parking requirements: 1 space per 300 of gross floor area.
- (6) Fee Parcel 1, Fee Parcel 2 and Fee Parcel 4A are contiguous along their common boundaries without any gaps, gores or hiatuses and when taken as a whole form one tract of land.
- (7) Fee Parcel 2A is contiguous with Easement Parcel 2B along their common boundaries without any gaps, gores or hiatuses.
- (8) Fee Parcel 4A is contiguous with Easement Parcel 4B along their common boundaries without any gaps, gores or hiatuses.

## STANDARD LEGEND

MONUMENT FOUND	POWDERLINE	—S—	SAIL EIDER LINE
MONUMENT SET	QUI WIRE	—S—	SEWER MANHOLE
MAG NAIL FOUND	LIGHT POLE	—S—	GREASE TRAP
MAG NAIL FOUND	BURIED LIGHT POLE	—S—	CLEAN OUT
MAG NAIL FOUND	BURIED ELECTRIC	—S—	STORM DRAIN MANHOLE
R.R. SPIKE FOUND	OVERHEAD ELECTRIC	—S—	STORM ALLET
R.R. SPIKE FOUND	ELECTRIC MANHOLE	—S—	CATCH BASIN
BENCHMARK	ELECTRIC METER	—S—	CURB INLET
CONC. R/W MARKER	GENERATOR	—S—	TELEPHONE BOX
CONC. R/W MARKER	ELECTRICAL VALVE	—S—	TELEPHONE FEDERAL
CONC. R/W MARKER	ELECTRICAL FEEDER	—S—	TELEPHONE MARKER
CONC. R/W MARKER	WATER LINE	—S—	TELEPHONE MANHOLE
CONC. R/W MARKER	WATER VALVE	—S—	TELEPHONE POLE
CONC. R/W MARKER	WATER METER	—S—	TELEPHONE LINE
CONC. R/W MARKER	WATER METER	—S—	OVERHEAD TELEPHONE
CONC. R/W MARKER	WATER METER	—S—	UNDERGROUND TELEPHONE
CONC. R/W MARKER	WATER METER	—S—	CABLE TELEVISION
CONC. R/W MARKER	WATER METER	—S—	FIBER OPTIC CABLE
CONC. R/W MARKER	WATER METER	—S—	OVERHEAD CABLE
CONC. R/W MARKER	WATER METER	—S—	CABLE BOX
CONC. R/W MARKER	WATER METER	—S—	CABLE FEEDER
CONC. R/W MARKER	WATER METER	—S—	UNDERGROUND MANHOLE
CONC. R/W MARKER	WATER METER	—S—	TELECOMMUNICATIONS
CONC. R/W MARKER	WATER METER	—S—	PEDESTAL
CONC. R/W MARKER	WATER METER	—S—	TELECOMMUNICATIONS
CONC. R/W MARKER	WATER METER	—S—	VALVE
CONC. R/W MARKER	WATER METER	—S—	FIBER OPTIC
CONC. R/W MARKER	WATER METER	—S—	VALVE
CONC. R/W MARKER	WATER METER	—S—	TRINITY
CONC. R/W MARKER	WATER METER	—S—	HANDICAP SIGN

STATE ROAD PLANS 2004B-13-02-01 (9 OF 16)  
 FPM REVISIONS OF PARCEL 14 ACCORDING TO 2086 PG 2185 PG 63  
 THE ABOVE SYMBOLS MAKE NO STATEMENT AS TO OWNERSHIP UNLESS NOTED OTHERWISE

## IMPROVEMENT NOTES

- THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS DEED LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.
- 81 NONE
  - 82 EASEMENT ENCROACHMENT

## SURVEYOR NOTES

- THIS SURVEY IS SUBJECT TO ANY AND ALL ENFORCEABLE RESTRICTIVE COVENANTS, ITEMS LISTED BELOW MAY REPRESENT AN EASEMENT THAT WAS NOT SHOWN IN SCHEDULE B DOCUMENTS
- 82 10' UTILITY EASEMENT BOOK 1030 PG 1284 (WHICH DOES NOT AFFECT SUBJECT PROPERTY, PARCEL 4A DERIVES ITS ELECTRIC SUPPLY FROM THIS EASEMENT AREA)
  - 82 UTILITY EASEMENT BOOK 1030 PAGE 1286 (WHICH DOES NOT AFFECT SUBJECT PROPERTY, PARCEL 4A DERIVES ITS ELECTRIC SUPPLY FROM THIS EASEMENT AREA)
  - 82 50' PROPERTY DESCRIBED IN BOOK 66 PAGE 209
  - 82 5' RIGHT-OF-WAY IN USE BY STATE HIGHWAY BUT NOT OWNED BY STATE

## Boundary Survey

### ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S CERTIFICATION

TO: PUBLIX SUPER MARKETS, INC., a Florida Corporation; Real Sub, LLC, a Florida limited liability company; FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6a, 6b, 7a, 7b(1), 7c, 8, 9, 11a, 11b, 13, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 26th, 2023 AND APRIL 9, 2026.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5A17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

For inquiries, questions or concerns about this survey contact mfeldbusch@ussurveyor.com or call 1-800-867-8783 ext. 201

**U.S. SURVEYOR**  
 4929 Riverwind Pointe Drive  
 Evansville, Indiana 47715  
 AMERICA'S ALTA SURVEYOR  
**1-800-TO-SURVEY**

PREPARED FOR: **PUBLIX SUPER MARKETS, INC.**

PROJECT LOCATION: **MONROE COUNTY, STATE OF FLORIDA**

PROJECT ADDRESS: **1112 KEY PLAZA KEY WEST, FL 33040**

PROJECT TYPE: **ALTA/NSPS LAND TITLE SURVEY**

DATE OF CERTIFICATION: **04/28/2026**

DATE OF SIGNATURE: **04/28/2026**

**PROFORMA**  
 MICHAEL J. FELDBUSCH, PSM  
 FLORIDA REGISTRATION No. 7358  
 DATE OF CERTIFICATION: 04/28/2026  
 SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPERS

**SHEET 1 OF 2**

JOB NUMBER: **SS86649-02.DWG**

**COPYRIGHT NOTE:**  
 THIS SURVEY SHALL NOT BE USED WITH AN ATTORNEY OR LETTER OF OPINION OR RULE INCLUDING, BUT NOT LIMITED TO, FILING, CONVEYING, RECORDING, PERMITTING, ETC. IF IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT. DIGITAL MILLIUMS COPYRIGHT ACT TO COPY OR MODIFY AND REUSE THE SURVEY BEYOND THE DATE OF THE SURVEY FOR ANY PURPOSE BEYOND THE ORIGINAL DATE, SCOPE.

**FLOOD DATA:** This property is in Zone **AE** of the Flood Insurance Rate Map, Community Panel No. **12087C1509K** which has an effective date of **02/15/2005** and is in a Special Flood Hazard Area. Field surveying was not performed to determine this zone. An elevation certificate may be needed to verify this determination or apply for an amendment from the Federal Emergency Management Agency.

NOTICE: OTHER FLOODMAPS MAY EXIST THAT SHOW FLOODPLAIN AS DETERMINED BY STATE OR MUNICIPALITIES. THE CERTIFICATION ONLY COVERS THE FEMA FIRM MAP REFERENCED HEREIN.

Know what's below  
**811** Call before you dig

IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES, WHETHER SHOWN ON THIS SURVEY OR NOT. COMMENCEMENT OF WORK ON THIS SURVEY HAS BEEN PREPARED USING AVAILABLE UTILITY DATA. THIS SURVEYOR DOES NOT MAKE STATEMENTS OF ACCURACY BASED UPON MAPS AND UTILITY LOCATES OF OTHERS.

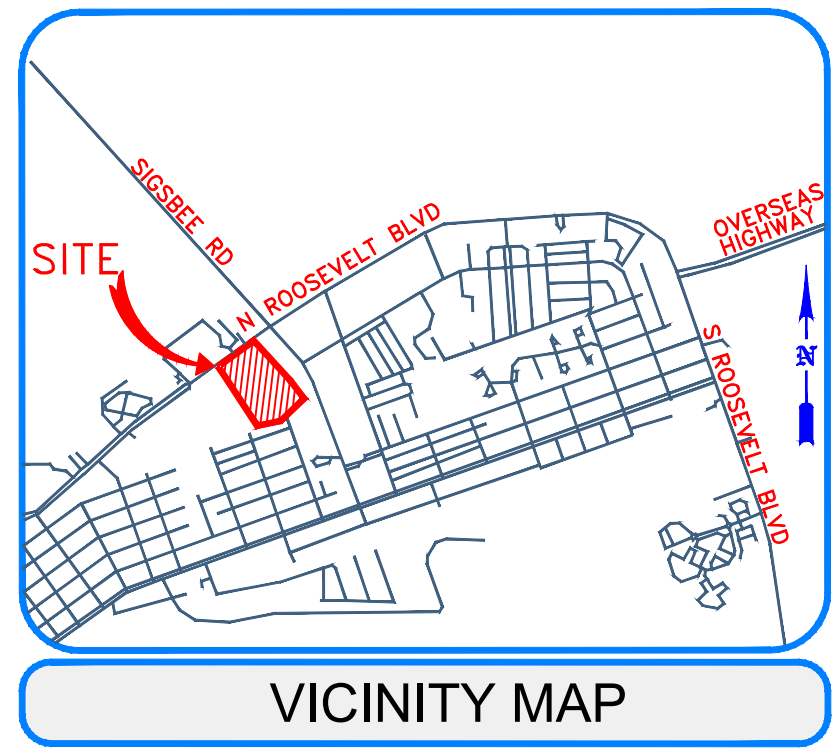
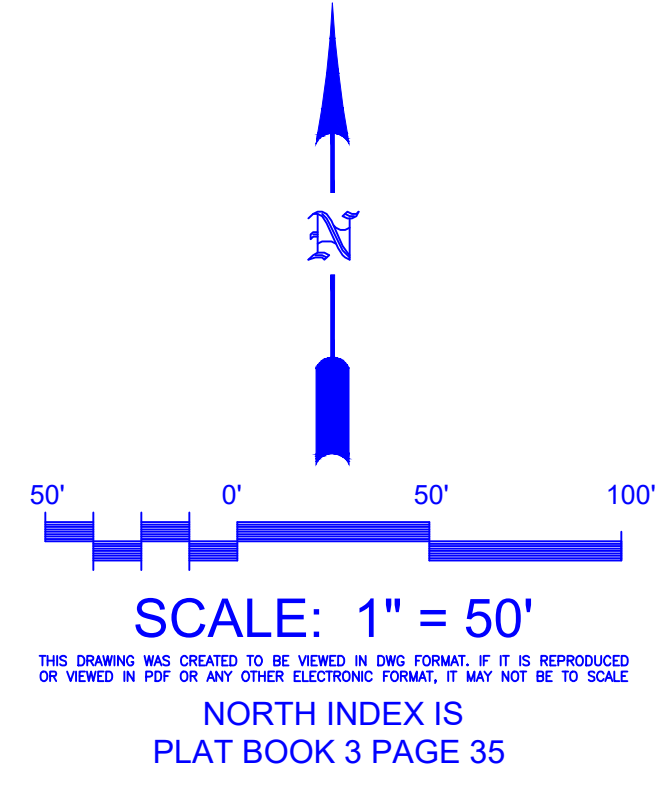
RECORD CLOSURE 1:27614075901.9  
 MEASURED CLOSURE 1: 978.658'

CERTIFICATION IS ONLY TO THE PARTIES HEREIN NAMED. THIS SURVEY IS NOT VALID FOR ANY FUTURE TRANSACTIONS OF THIS PROPERTY.

DATE OF ORIGINAL: **OCTOBER 8, 2023**  
 REVISION: **ADD TOPO/UG UTILITIES-BD** DATE: **APRIL 29, 2026**  
 REVISION: **REVISE TO NGVD29/SPOTS** DATE: **MAY 8, 2026**  
 REVISION: DATE: 2026

FIELD SURVEY: **EV** CAD: **BD** PLS REVIEW: \_\_\_\_\_

# ALTA/NSPS LAND TITLE SURVEY

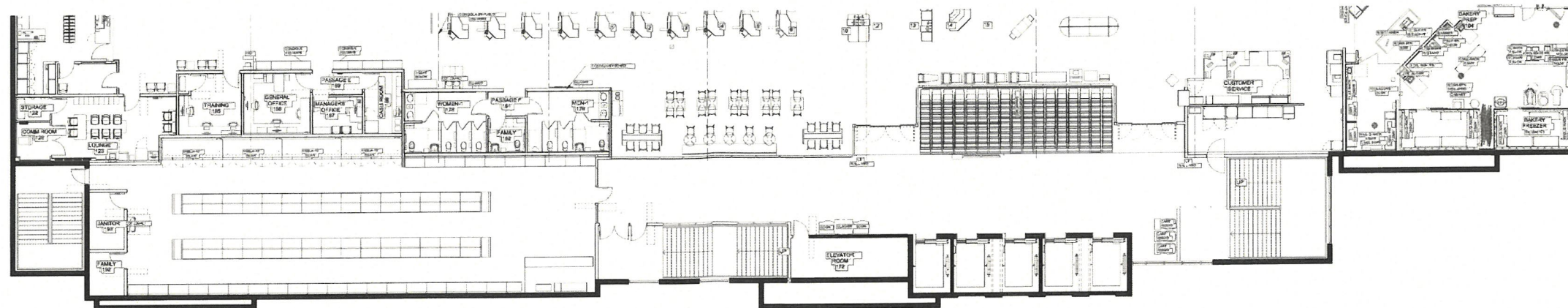


### SITE DATA

ZONING AND RESTRICTIONS SHOWN HEREON WERE OBTAINED BY A GENERAL REQUEST AT THE PUBLIC COUNTER OF THE LOCAL ZONING AUTHORITY. NO REPRESENTATION IS MADE FOR THE ACCURACY OR COMPLETENESS OF SAID THIRD PARTY INFORMATION. THIS FIRM IS NOT AN EXPERT IN THE INTERPRETATION OF COMPLEX ZONING ORDINANCES. COMPLIANCE IS URGED TO CONTACT THE LOCAL AGENCY DIRECTLY.

- ZONING:
  - SETBACKS- CG - GENERAL COMMERCIAL
  - FRONT- 25'
  - SIDE- 15'
  - STREET SIDE- 20'
  - REAR- 25'
- HEIGHT RESTRICTIONS- 40'
- PARKING REQUIRED:
  - 1 SPACE PER 300 SQUARE FEET OF GROSS FLOOR AREA
- PARKING PROVIDED:
  - REGULAR- 718 SPACES
  - HANDICAP- 30 SPACES
  - TOTAL SPACES PROVIDED- 748
- ADDITIONAL PARKING PROVIDED:
  - CART RETURNS- 6 SPACES
  - MOTORCYCLE PARKING AREAS- 3
- VERTICAL DATUM- NAVD83, CONVERTED FROM NAVD88 USING NOS NAT
- CONVERSION FROM NAVD83 TO NAVD88 -1.346 FEET
- BENCHMARK- DESIGNATION- W 267
- ELEVATION- 100.000
- ELEV- 3.75' (NAVD88)
- NOTES REGARDING TABLE A ITEMS 16 & 17-
  - NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS IN RECENT MONTHS.
  - NO OBSERVABLE CHANGES IN STREET RIGHT-OF-WAY LINES, RECENT STREET OR SIDEWALK REPAIRS.
- UNDERGROUND UTILITIES SHOWN HEREON ARE FROM A REPORT FURNISHED BY BLOOMINGTON UTILITY LOCATORS ON 11/17/2023 AND UNDERGROUND PAINT MARKINGS 04/17/2026

LINE	BEARING	DISTANCE
L1(P2A)	N 52°25'40" E	145.00
L1(B)	S 35°26'07" E	15.00
L1(C)	N 54°33'15" E	120.00
L1(D)	S 37°44'20" E	115.00
L1(E)	S 37°44'20" E	125.00
L1(F)	S 37°44'20" E	175.00
L1(G)	S 37°44'20" E	175.00
L1(H)	S 52°25'40" W	165.16
L1(I)	S 52°25'40" W	183.06
L1(J)	S 44°04'02" E	135.10
L1(K)	S 44°04'02" E	135.10
L1(L)	S 44°04'02" E	135.10
L1(M)	S 44°04'02" E	135.10
L1(N)	S 44°04'02" E	135.10
L1(O)	S 44°04'02" E	135.10
L1(P)	S 44°04'02" E	135.10
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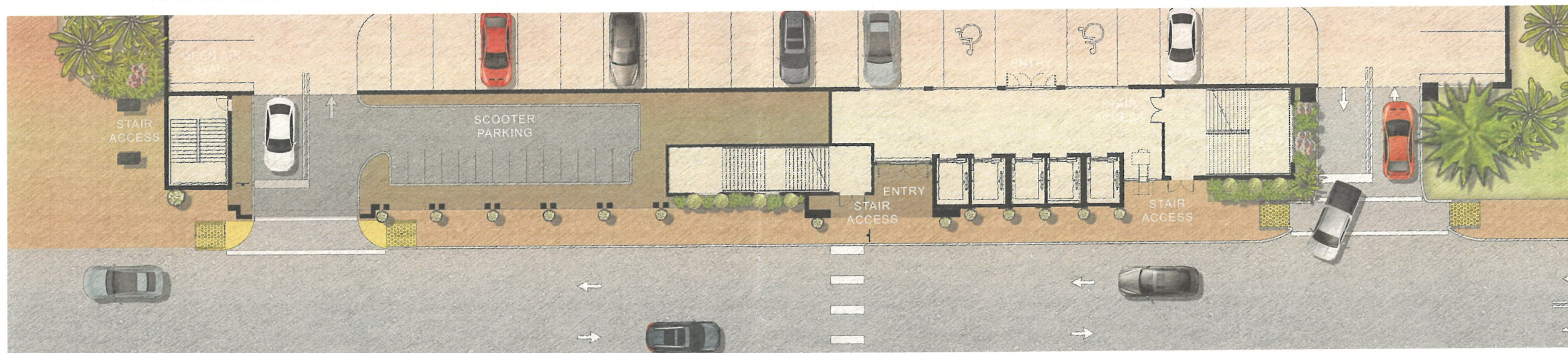


PUBLIX SECOND LEVEL (STORE) FLOORPLAN



NORTH PUBLIX ELEVATION

**SIGNAGE REQUIREMENTS:** FLAT AND FACADE SIGNS SHALL NOT BE RESTRICTED AS TO AREA, EXCEPT THAT IN THE HISTORIC ZONING DISTRICTS THEY SHALL BE RESTRICTED TO TEN PERCENT OF FRONT BUILDING FACADE AREA, BUT THEY SHALL NOT PROJECT MORE THAN FOUR INCHES FROM THE FACE OF THE BUILDING **SIGNAGE PERMITTED:** 13692 X 10% = 1369 SF SIGNAGE ALLOWED **PROVIDED:** PUBLIX:187.05 SF SIGNAGE SHOWN PUBLIX LIQUORS: 43.07 SF SIGNAGE SHOWN **TOTAL SIGNAGE: 230.12 SF TOTAL**



PUBLIX SIDEWALK PLAN

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

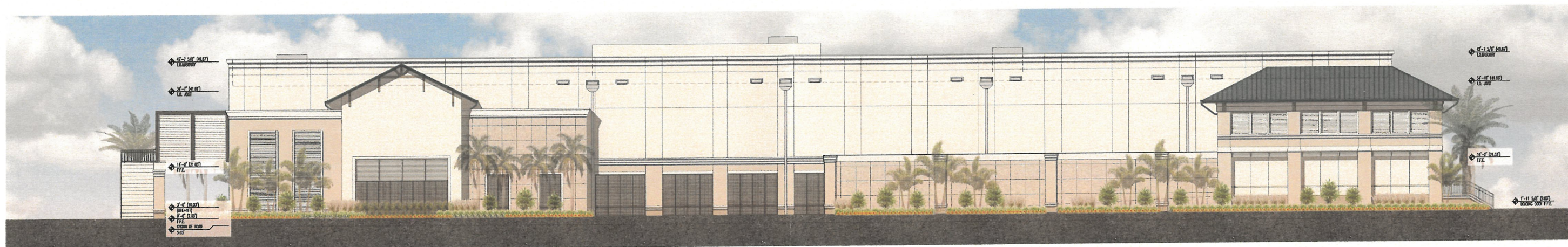
KEY WEST, FL

05.13.2026

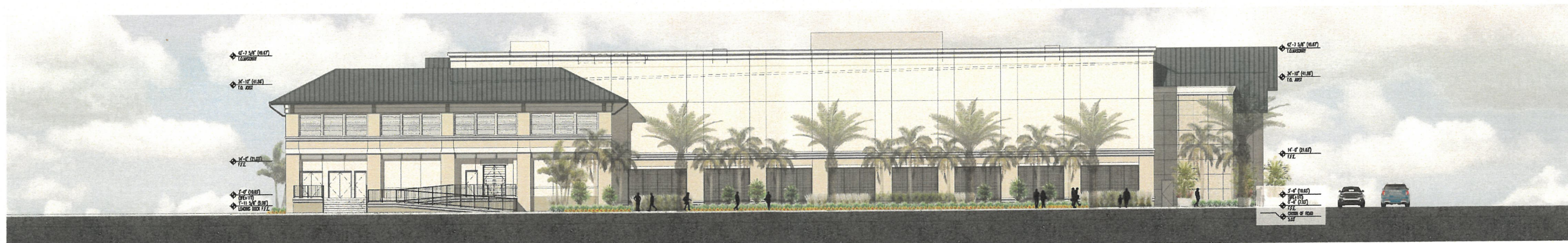
**FISHER**  
ARCHITECTS  
FISHER AND ASSOCIATES, LLC ©2026 AA26001738



WEST PUBLIX ELEVATION



SOUTH PUBLIX ELEVATION



EAST PUBLIX ELEVATION

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026



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AA2601738

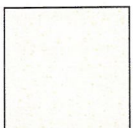
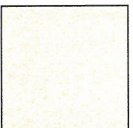
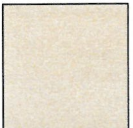


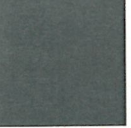


NORTHEAST INLINE JR ANCHOR RETAIL ELEVATION

**SIGNAGE REQUIREMENTS:** FLAT AND FACADE SIGNS SHALL NOT BE RESTRICTED AS TO AREA, EXCEPT THAT IN THE HISTORIC ZONING DISTRICTS THEY SHALL BE RESTRICTED TO TEN PERCENT OF FRONT BUILDING FACADE AREA, BUT THEY SHALL NOT PROJECT MORE THAN FOUR INCHES FROM THE FACE OF THE BUILDING



NORTHEAST INLINE JR ANCHOR RETAIL ELEVATION

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

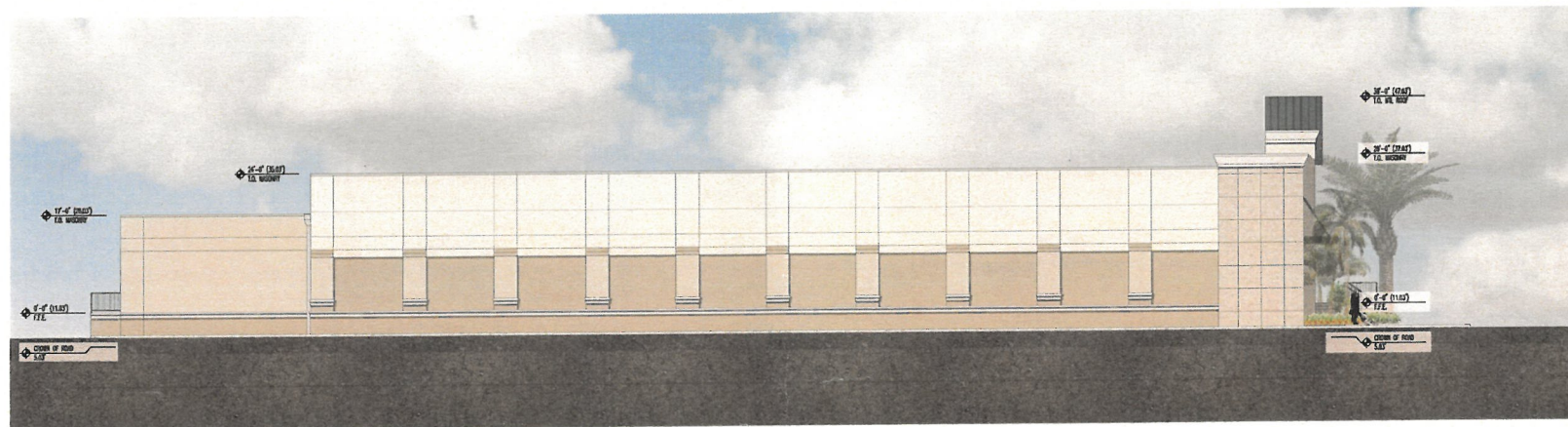
KEY WEST, FL

05.13.2026

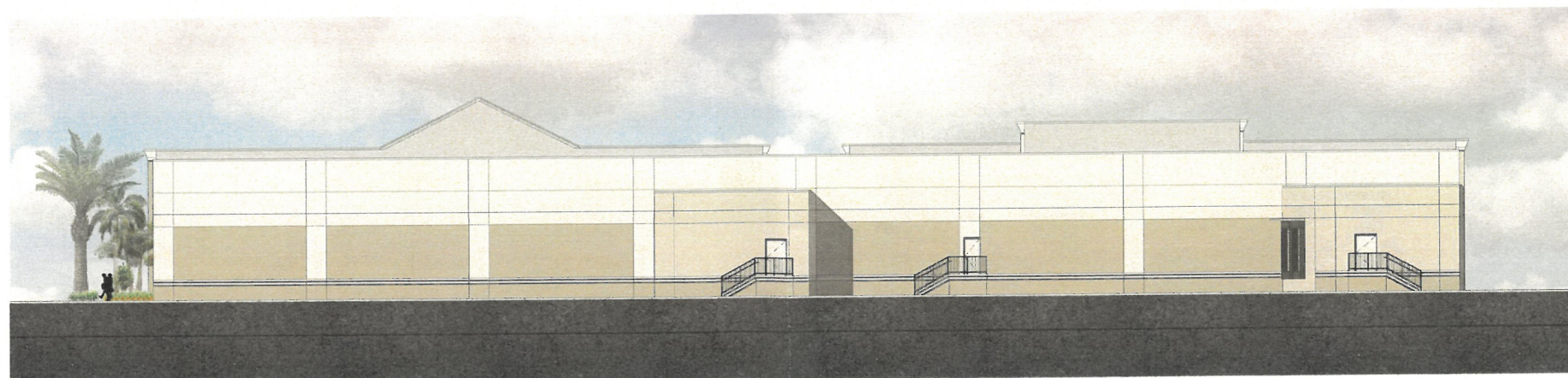
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ARCHITECTS  
FISHER AND ASSOCIATES, LLC ©2026 AA26001738



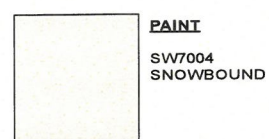
NORTHWEST INLINE JR ANCHOR RETAIL ELEVATION



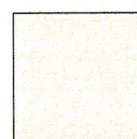
SOUTHEAST INLINE JR ANCHOR RETAIL ELEVATION



SOUTHWEST INLINE JR ANCHOR RETAIL ELEVATION



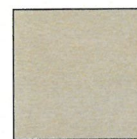
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SNOWBOUND



**PAINT**  
SW7551  
GREEK VILLA



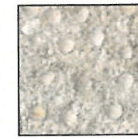
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GRECIAN  
IVORY



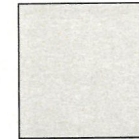
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AVENUE  
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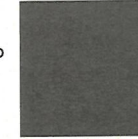
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DRIFTWOOD



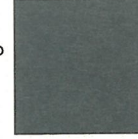
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TABBY  
STUCCO



**METAL**  
PREFINISHED  
METAL -  
PAC CLAD  
CLEAR  
ANODIZED



**METAL**  
PREFINISHED  
METAL -  
PAC CLAD  
BURNISHED  
SLATE



**METAL**  
PREFINISHED  
METAL -  
PAC CLAD  
CHARCOAL



**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026

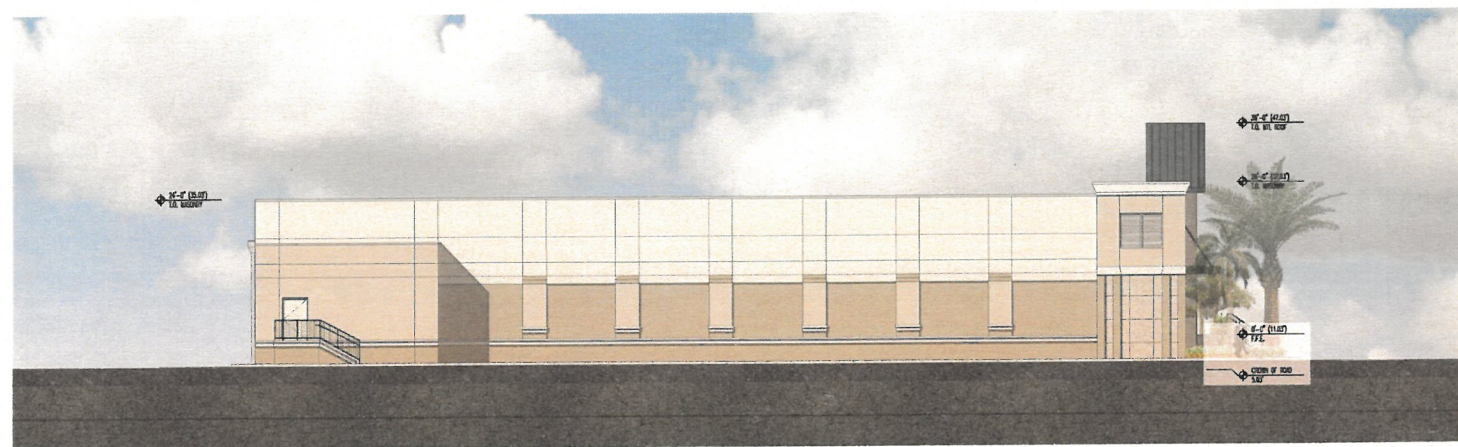


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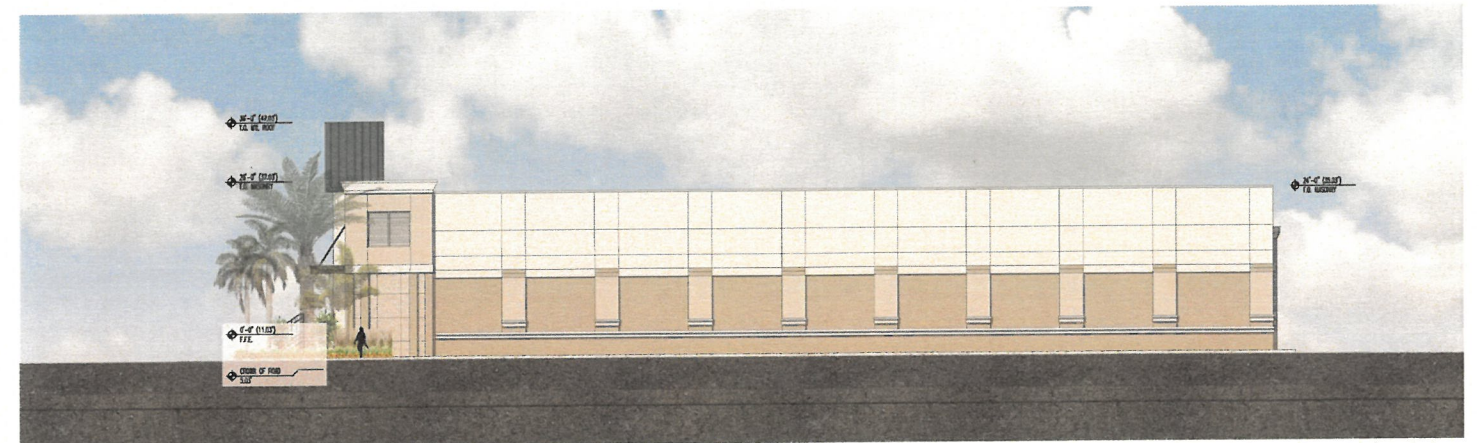
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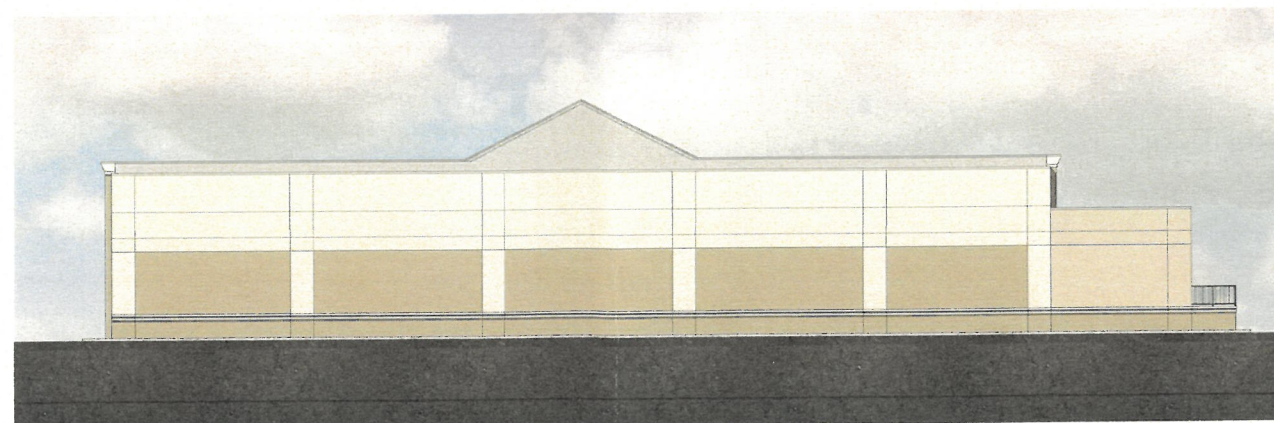
SOUTHWEST JR ANCHOR RETAIL ELEVATION



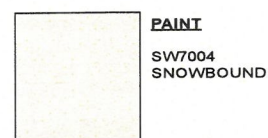
NORTHWEST JR ANCHOR RETAIL ELEVATION



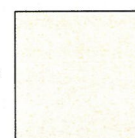
SOUTHEAST JR ANCHOR RETAIL ELEVATION



NORTHEAST JR ANCHOR RETAIL ELEVATION



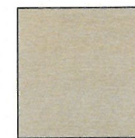
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SW7004  
SNOWBOUND



**PAINT**  
SW7551  
GREEK VILLA



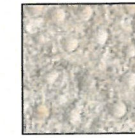
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GRECIAN  
IVORY



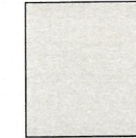
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TAN



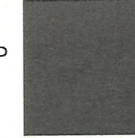
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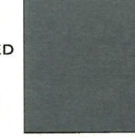
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TABBY  
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**METAL**  
PREFINISHED  
METAL -  
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CLEAR  
ANODIZED



**METAL**  
PREFINISHED  
METAL -  
PAC CLAD  
BURNISHED  
SLATE



**METAL**  
PREFINISHED  
METAL -  
PAC CLAD  
CHARCOAL



KEY PLAZA PUBLIX  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026





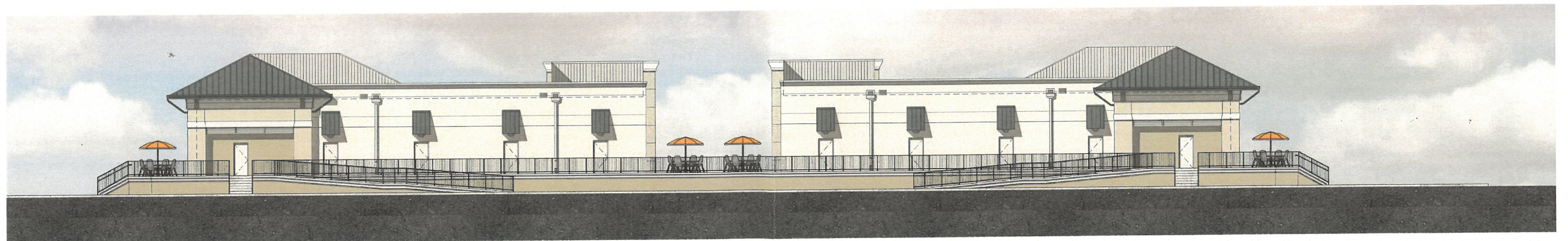
NORTHWEST SMALL RETAIL SHOPS ELEVATION



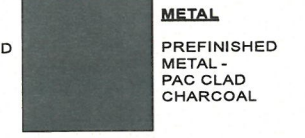
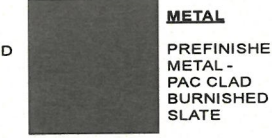
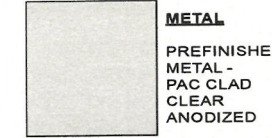
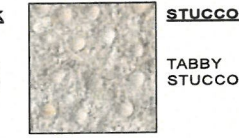
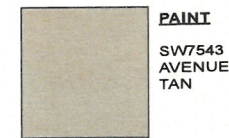
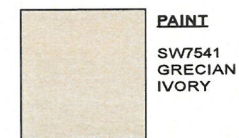
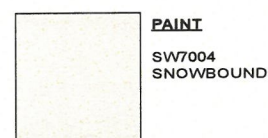
SOUTHWEST SMALL RETAIL SHOPS ELEVATION



NORTHEAST SMALL RETAIL SHOPS ELEVATION



SOUTHEAST SMALL RETAIL SHOPS ELEVATION



KEY PLAZA PUBLIX  
DESIGN DEVELOPMENT

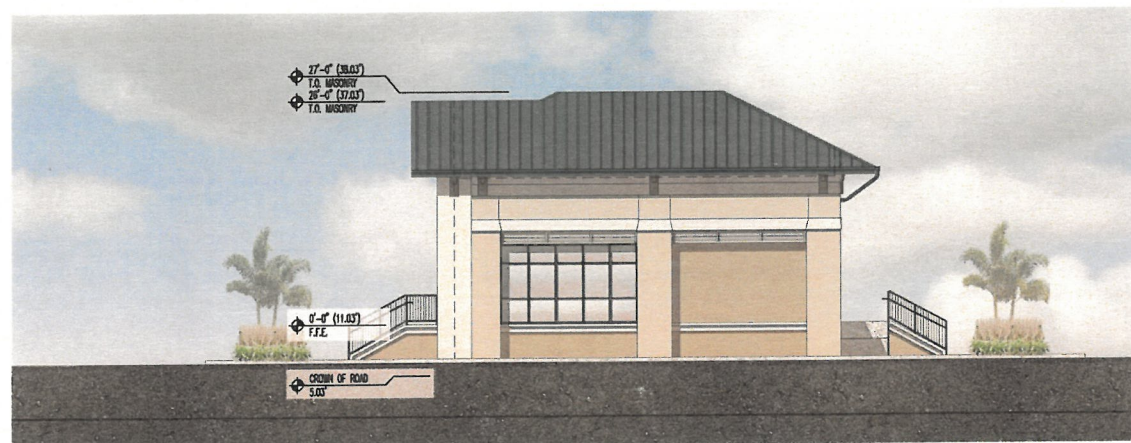
KEY WEST, FL

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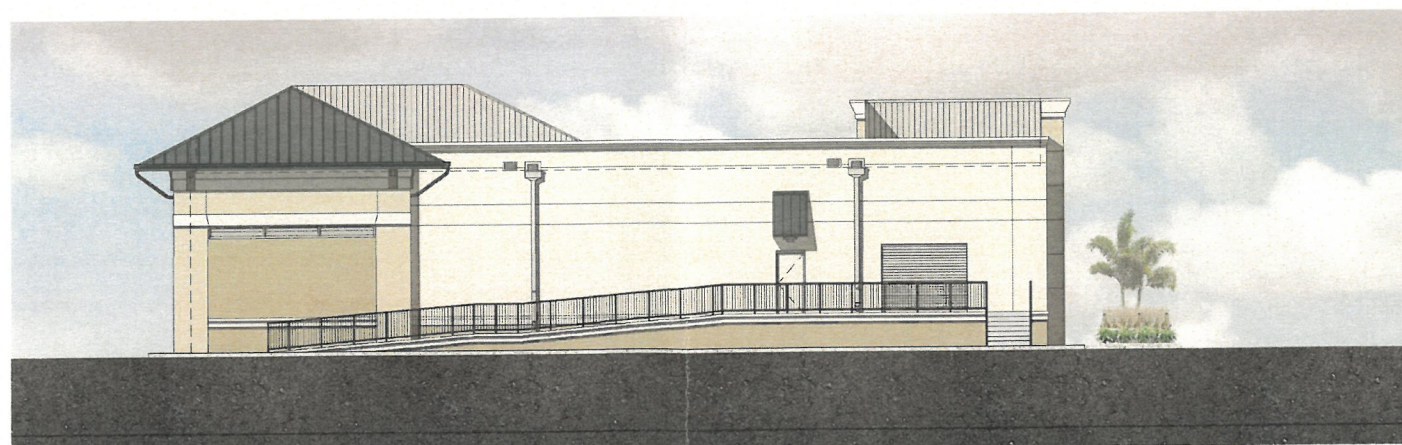
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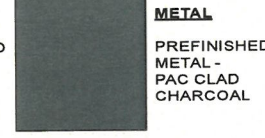
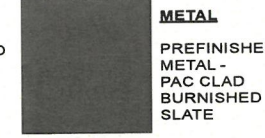
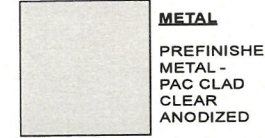
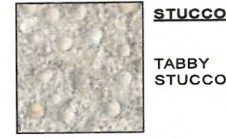
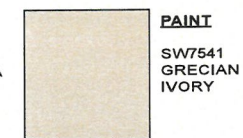
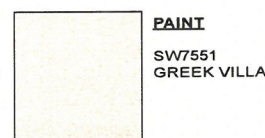
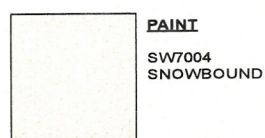
NORTHWEST RESTAURANT RETAIL ELEVATION



NORTHWEST RESTAURANT RETAIL ELEVATION



SOUTHWEST RESTAURANT RETAIL ELEVATION

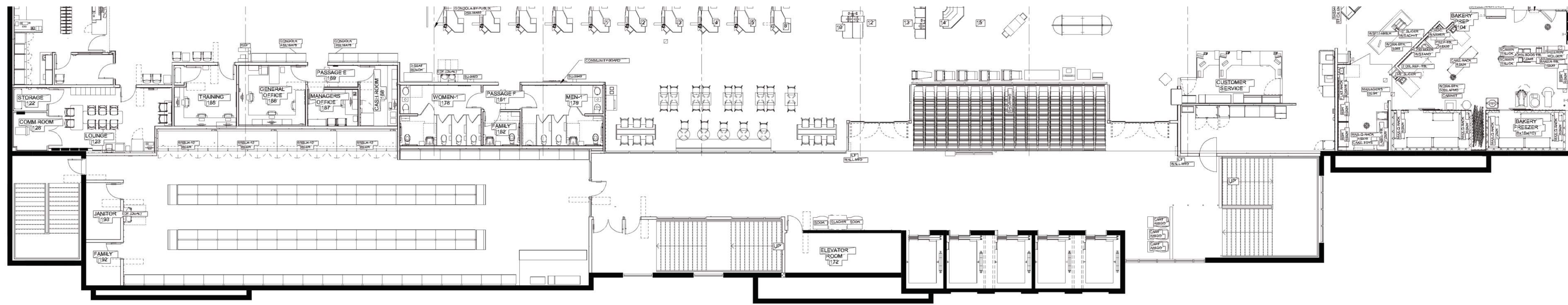


KEY PLAZA PUBLIX  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026

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FISHER AND ASSOCIATES, LLC ©2026 AA2601738

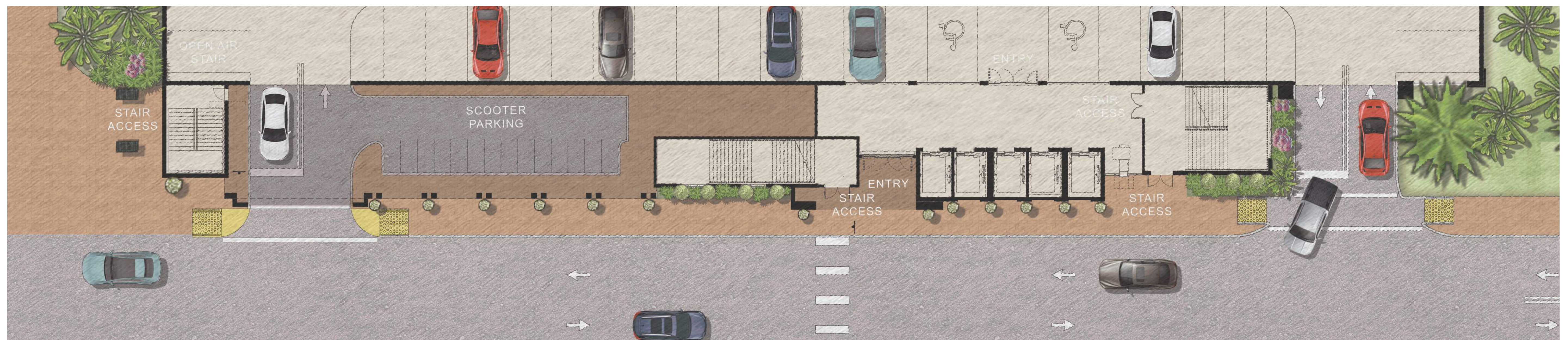


PUBLIX SECOND LEVEL (STORE) FLOORPLAN



NORTH PUBLIX ELEVATION

**SIGNAGE REQUIREMENTS:** FLAT AND FACADE SIGNS SHALL NOT BE RESTRICTED AS TO AREA, EXCEPT THAT IN THE HISTORIC ZONING DISTRICTS THEY SHALL BE RESTRICTED TO TEN PERCENT OF FRONT BUILDING FACADE AREA, BUT THEY SHALL NOT PROJECT MORE THAN FOUR INCHES FROM THE FACE OF THE BUILDING. **SIGNAGE PERMITTED:** 13692 X 10% = 1369 SF SIGNAGE ALLOWED  
**PROVIDED:** PUBLIX: 187.05 SF SIGNAGE SHOWN PUBLIX LIQUORS: 43.07 SF SIGNAGE SHOWN TOTAL SIGNAGE: 230.12 SF TOTAL



PUBLIX SIDEWALK PLAN

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026



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AA26001738



WEST PUBLIX ELEVATION



SOUTH PUBLIX ELEVATION



EAST PUBLIX ELEVATION

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026





NORTHEAST INLINE JR ANCHOR RETAIL ELEVATION

**SIGNAGE REQUIREMENTS:** FLAT AND FACADE SIGNS SHALL NOT BE RESTRICTED AS TO AREA, EXCEPT THAT IN THE HISTORIC ZONING DISTRICTS THEY SHALL BE RESTRICTED TO TEN PERCENT OF FRONT BUILDING FACADE AREA, BUT THEY SHALL NOT PROJECT MORE THAN FOUR INCHES FROM THE FACE OF THE BUILDING



NORTHEAST INLINE JR ANCHOR RETAIL ELEVATION

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026



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NORTHWEST INLINE JR ANCHOR RETAIL ELEVATION



SOUTHEAST INLINE JR ANCHOR RETAIL ELEVATION



SOUTHWEST INLINE JR ANCHOR RETAIL ELEVATION

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026





SOUTHWEST JR ANCHOR RETAIL ELEVATION



NORTHWEST JR ANCHOR RETAIL ELEVATION



SOUTHEAST JR ANCHOR RETAIL ELEVATION



NORTHEAST JR ANCHOR RETAIL ELEVATION

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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KEY PLAZA PUBLIX  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026





NORTHWEST SMALL RETAIL SHOPS ELEVATION



SOUTHWEST SMALL RETAIL SHOPS ELEVATION



NORTHEAST SMALL RETAIL SHOPS ELEVATION



SOUTHEAST SMALL RETAIL SHOPS ELEVATION

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026





NORTHEAST RESTAURANT RETAIL ELEVATION



NORTHWEST RESTAURANT RETAIL ELEVATION



NORTHWEST RESTAURANT RETAIL ELEVATION



SOUTHWEST RESTAURANT RETAIL ELEVATION

	<b>PAINT</b> SW7004 SNOWBOUND		<b>PAINT</b> SW7551 GREEK VILLA		<b>PAINT</b> SW7541 GRECIAN IVORY		<b>PAINT</b> SW7543 AVENUE TAN		<b>WOOD LOOK</b> KNOTWOOD DRIFTWOOD		<b>STUCCO</b> TABBY STUCCO		<b>METAL</b> PREFINISHED METAL - PAC CLAD CLEAR ANODIZED		<b>METAL</b> PREFINISHED METAL - PAC CLAD BURNISHED SLATE		<b>METAL</b> PREFINISHED METAL - PAC CLAD CHARCOAL
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**KEY PLAZA PUBLIX**  
DESIGN DEVELOPMENT

KEY WEST, FL

05.13.2026



# SITE PLAN SUBMITTAL FOR PUBLX AT KEY PLAZA PUBLX STORE NO. 1445 KENNEDY DRIVE AND NORTH ROOSEVELT BLVD. KEY WEST, FL 33040

## GENERAL NOTES

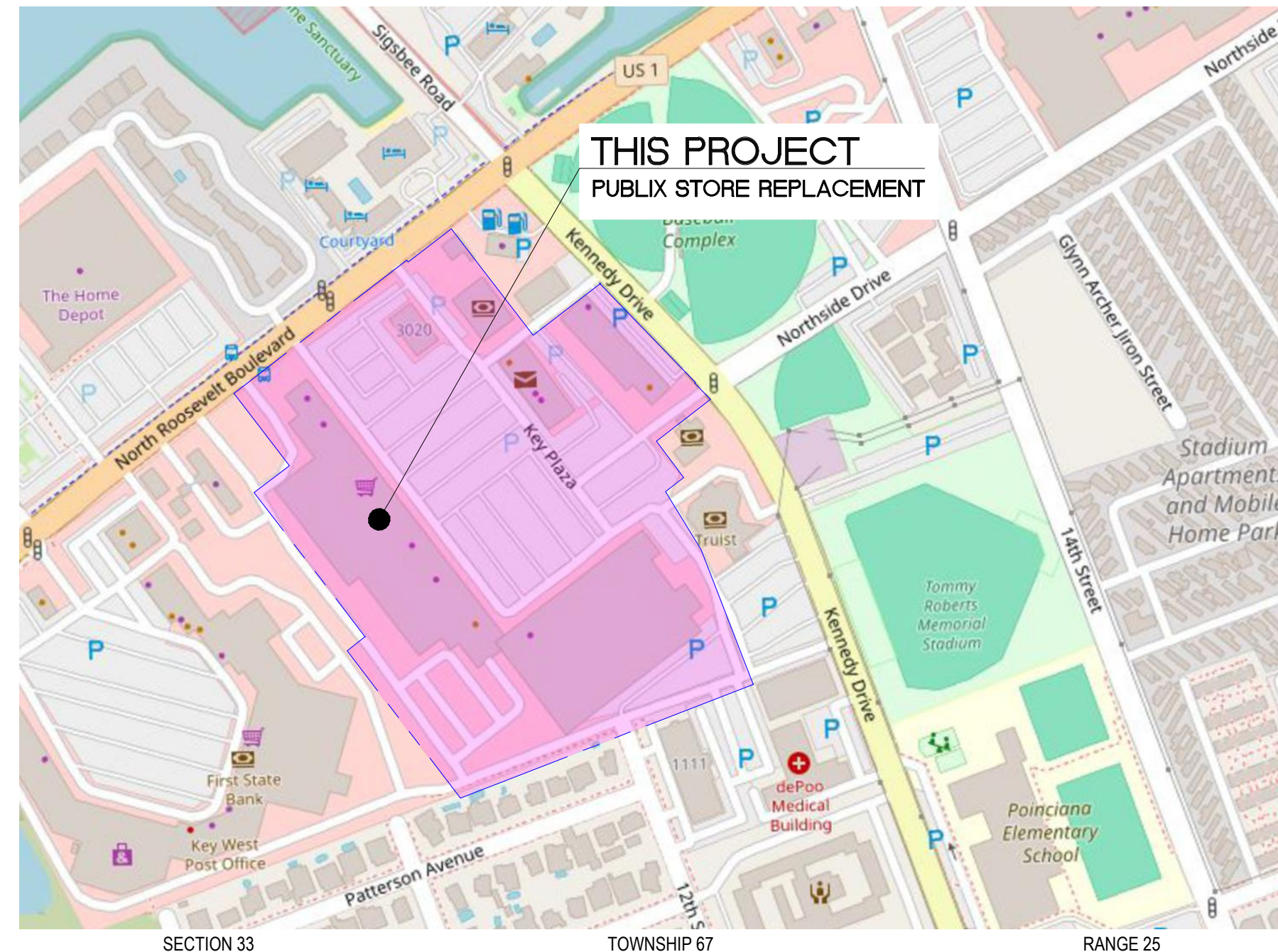
- ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88.  
3. BENCHMARK – DESIGNATION=W 267  
PID=AA0022  
ELEV.=3.75'
- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO PROP. ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
- BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY US SURVEYOR, EVANSVILLE, INDIANA, DATED 4/28/2026.
- THIS PROJECT AREA APPEARS TO BE LOCATED MOSTLY IN FLOOD ZONE "AE", WITH A BASE FLOOD ELEVATION 8 FEET (N.G.V.D. '29), AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY-PANEL NUMBER 1509, MAP NO. 12087C-1509K, FLOOD ZONE(S): AE, BASE ELEVATION: AE-8, MAP DATE: FEBRUARY 18, 2005.

## STRIPING AND SIGNAGE NOTES

- ALL STRIPING IN RIGHT-OF-WAY AND ALL ON-SITE STOP BARS APPLIED TO ASPHALTIC PAVEMENT SHALL BE THERMOPLASTIC WITH A MIXTURE OF 50 PERCENT GLASS SPHERES AND 50 PERCENT SHARP SILICA SAND APPLIED AT A RATE OF 0.20 PSF IN ACCORDANCE WITH FDOT SECTION 711.
- ALL ON-SITE STRIPING APPLIED TO CONCRETE PAVEMENT SHALL BE TRAFFIC PAINT IN ACCORDANCE WITH FDOT SECTION 917.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- SIGN POSTS SHALL BE STEEL CHANNEL IN ACCORDANCE WITH MONROE COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SHALL BE BREAK-A-WAY.
- STOP SIGNS SHALL BE MOUNTED WITH 7' CLEAR FROM SIGN BOTTOM TO GRADE. WHERE INDICATED, ADDITIONAL SIGNAGE SHALL BE MOUNTED BELOW STOP SIGN.
- PROVIDE REFLECTIVE PAVEMENT MARKERS (RPMs), AS REQUIRED BY MONROE COUNTY PUBLIC WORKS DEPARTMENTS.
- ALL NEW PAVEMENT MARKINGS SHALL BE SLIP RESISTANT.

## ADA COMPLIANCE NOTES

- THIS SET OF DOCUMENTS HAS BEEN DESIGNED TO COMPLY WITH FBC 8TH EDITION (2023) AND THE 2023 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND PER APPLICABLE FDOT STANDARD PLAN INDEXES 522-001, 522-002 & 522-003. ALL RELATED SECTIONS OF THE CODE ARE NOTED WITHIN THESE DOCUMENTS AND STRICT COMPLIANCE IS REQUIRED BY ALL CONSTRUCTION TRADES. CONSTRUCTION QUALITY AND COMPLIANCE OF THE FINAL PRODUCT ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL ACCESSIBLE ROUTES MUST NOT EXCEED A SLOPE OF 1:20 (5.00%), CURB CUT RAMPS AND RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.33%). RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL GROSS SLOPES MUST NOT EXCEED A SLOPE OF 1:50 (2.00%). RAMPS MUST ALSO COMPLY WITH FBC BUILDING 1010 AND FBC ACCESSIBILITY 405.
- PLANTERS, TREE GRATES AND OTHER ELEMENTS MUST BE FLUSH AND ADA COMPLIANT. PAVERS ON PEDESTRIAN PATH MUST BE FLUSH, FIRM, STABLE AND HAVE NO OPEN JOINTS.
- ALL DETECTABLE WARNINGS TO BE IN ACCORDANCE WITH MONROE COUNTY TESTED MATERIAL, TYPE & COLOR.



**LOCATION MAP**  
SCALE: 1" = 300'

## LEGAL DESCRIPTION

**Parcel 1:**  
On a parcel of land on the island of Key West, Florida and being described as a part of Parcel 9, of Plat of Survey, recorded in Plat Book 3, at Page 35, of the Public Records of Monroe County, Florida, and other lands and being more particularly described by metes and bounds as follows:  
Commencing at the Northeast corner of the said Parcel 9, bear South 52 degrees 25 minutes 40 seconds West along the Southeast Right-of-Way line (curb line) of North Roosevelt Boulevard for a distance of 102.71 feet; thence run South 37 degrees 37 minutes 20 seconds East for a distance of 300 feet to the POINT OF BEGINNING; thence run East 90 degrees to a point; thence run North 43 degrees 20 minutes 40 seconds East 10.25 feet to a point; thence run South 44 degrees 04 minutes 04 seconds East 211.36 feet to a point on the Southern boundary line of the said Parcel 9; thence run North 52 degrees 25 minutes 40 seconds East, along the said Southern line of Parcel 9 a distance of 202.53 feet to the West edge of the existing sidewalk and West Right-of-Way of Kennedy Drive (13th Street); thence run North 44 degrees 04 minutes 20 seconds West along the West edge of the existing sidewalk and along the West line of Kennedy Drive (13th Street) a distance of 302.27 feet to a point bearing North 52 degrees 25 minutes 40 seconds East and distant 185.16 feet from the Point of Beginning; thence run South 52 degrees 25 minutes 40 seconds West a distance of 185.16 feet to the POINT OF BEGINNING. Less any portion lying in road right of way.

**Parcel 2 and 3:**  
A parcel of land on the island of Key West, Monroe County, Florida and being a part of Parcel 9 and a part of Parcel 14, according to Plat of Survey of Lands on Islands of Key West, Monroe County, Florida, as recorded and described in Plat Book 3, at Page 35 of the Public Records of Monroe County, Florida; and other lands and parcels of land being described herein by metes and bounds as follows:  
COMMENCE at the Northeast corner of said Parcel 9, and run thence South 52°25'40" West along the South Right-of-Way of North Roosevelt Boulevard for a distance of 222.71 feet to the Point of Beginning; thence run South 37°37'20" East for a distance of 120 feet; thence run North 52°25'40" East for a distance of 130 feet; thence run South 37°34'00" East for a distance of 170 feet; thence run South 52 degrees 25 minutes 40 seconds West for a distance of 15.82 feet; thence run South 37°34'00" East for a distance of 80 feet; thence run North 52°25'40" East for a distance of 211.36 feet to the Point of Beginning; thence run North 52°25'40" East for a distance of 130 feet; thence run South 44°04'04" East for a distance of 100 feet; thence run North 52°25'40" East for a distance of 100 feet; thence run South 52°25'40" East for a distance of 100 feet; thence run North 52°25'40" East for a distance of 149.84 feet; thence run South 21°10'40" East for a distance of 317.35 feet to a point on the Southern boundary of said Parcel 14; thence run South 68°45'03" West along the south boundary of the said Parcel 14 for a distance of 800.77 feet to the Southeast corner of the said Parcel 14; thence run North 37°34'20" West along the western boundary of the said Parcel 14 and on an extension thereof for a distance of 400 feet to a point lying 800 feet from the south right-of-way of the said North Roosevelt Boulevard and measured at right angles from the said Boulevard; thence run North 52°25'40" East for a distance of 400 feet; thence run North 37°34'20" West for a distance of 400 feet; thence run North 52°25'40" East for a distance of 400 feet; thence run North 37°34'20" West for a distance of 200 feet to the South right-of-way of the said North Roosevelt Boulevard; thence run North 52°25'40" East along the South right-of-way of the said North Roosevelt Boulevard for a distance of 480 feet back to the Point of Beginning, less any portion lying in road right of way.

**Part B:**  
Together with Easement given by Bernard Jacobson, as Nominee of the Trustees of Republic Mortgage Investors to Market Plaza Property, N.V. dated December 11, 1988 and recorded in Official Records Book 823 and Clerk's File No. 227924, Official Records Book 823, Page 138 of the Public Records of Monroe County, Florida, said easement being the following described parcel:  
A parcel of land on the island of Key West, Monroe County, Florida and being a part of Parcel 14, according to Plat of Survey of Lands on Islands of Key West, Monroe County, Florida, as recorded and described, recorded in Plat Book 3, at Page 35 of the Public Records of Monroe County, Florida, said parcel of land being described by metes and bounds as follows:  
BEGIN at the Southeast corner of said Parcel 14 and run thence South 68°45'03" West along the South boundary of said Parcel 14 a distance of 181.88 feet to a point; thence North 21°10'40" West 22 feet to a point; thence North 68°45'03" East 181.88 feet to a point on the Western right-of-way boundary line of Kennedy Drive (13th Street); thence South 21°10'37" East along the said Western right-of-way of Kennedy Drive (13th Street) for a distance of 22 feet back to the Point of Beginning.

## PAVING-GRADING-DRAINAGE NOTES

- PAVING AND DRAINAGE SHALL BE IN ACCORDANCE WITH MONROE COUNTY AND FDOT STANDARDS, LATEST EDITION.
- UNLESS OTHERWISE NOTED, ALL EXISTING IMPROVEMENTS WITHIN THE PROPOSED BUILDING LIMITS INCLUDING, BUT NOT LIMITED TO, STRUCTURES, FOUNDATIONS, SLABS, PAVEMENTS, DRAINAGE FACILITIES AND UTILITY FACILITIES, SHALL BE REMOVED IN THEIR ENTIRETY.
- GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBGRADES SHOULDERS, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENT AND GRADES SHOWN IN THESE DRAWINGS.
- DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. DRAINAGE PIPE TO BE HIGH DENSITY CORRUGATED POLYETHYLENE (HDPE).
- ALL DRAINAGE PIPE ON PRIVATE PROPERTY SHALL BE HIGH DENSITY CORRUGATED POLYETHYLENE (HDPE) PIPE.
- WHERE APPLICABLE, SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- CONCRETE CURB, SIDEWALK AND SLABS SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE, AS SHOWN IN THESE DRAWINGS.
- ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
- ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH, UNLESS OTHERWISE DIRECTED.
- COORDINATE SPECIALTY PAVEMENT SHOWN WITH ARCHITECTURAL AND LANDSCAPE DRAWINGS.
- TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO VERIFY SPECIFIED COMPACTION DENSITY AND CONCRETE STRENGTH. FAILURE OF ANY TESTING TO MEET SPECIFIED REQUIREMENTS SHALL BE DEEMED NON-COMPLYING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON DRAWINGS OR NOT.

## INDEX OF DRAWINGS

SHT. NO.	TITLE
C-1.0	LOCATION MAP AND NOTES
C-2.0	OVERALL SITE PLAN
C-2.1	PHASE 1 SITE PLAN
C-2.2	PHASE 2 SITE PLAN
C-2.3	PHASE 3 SITE PLAN
C-2.4	PHASE 4 SITE PLAN
C-3.0	OVERALL PAVING-GRADING SITE UTILITY PLAN
SWPP-1	STORM WATER POLLUTION PREVENTION NOTES
SWPP-2	STORM WATER POLLUTION PREVENTION PLAN
G-1.0	OVERALL FIRE SITE PLAN
L-1.0	OVERALL TREE DISPOSITION PLAN
L-1.1	TREE TABLE
L-2.0	OVERALL PLANTING PLAN (CANOPY)
L-2.1	PLANTING SCHEDULE
L-2.2	PLANTING DETAILS

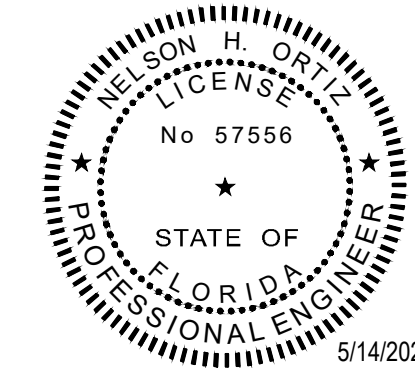
# GRÄEF

Graef-USA Inc.  
9200 South Dadeland Boulevard  
Suite 230  
Miami, FL 33156  
305 / 378 5555  
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL.

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ  
PE-57556 (CIVIL)

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT TITLE:

PUBLX AT KEY PLAZA  
PUBLX STORE #1445

KENNEDY DRIVE AND NORTH  
ROOSEVELT BLVD.  
KEY WEST, FL 33040  
Parcel ID.: 00065640-000000

REAL SUB LLC  
PO Box 32018  
Lakeland, FL 33802

NO. DATE REVISIONS BY

## PROJECT INFORMATION:

PROJECT NUMBER: 2026-7003

DATE: 04/10/26

DRAWN BY: P.F.

CHECKED BY: N.H.O.

APPROVED BY: N.H.O.

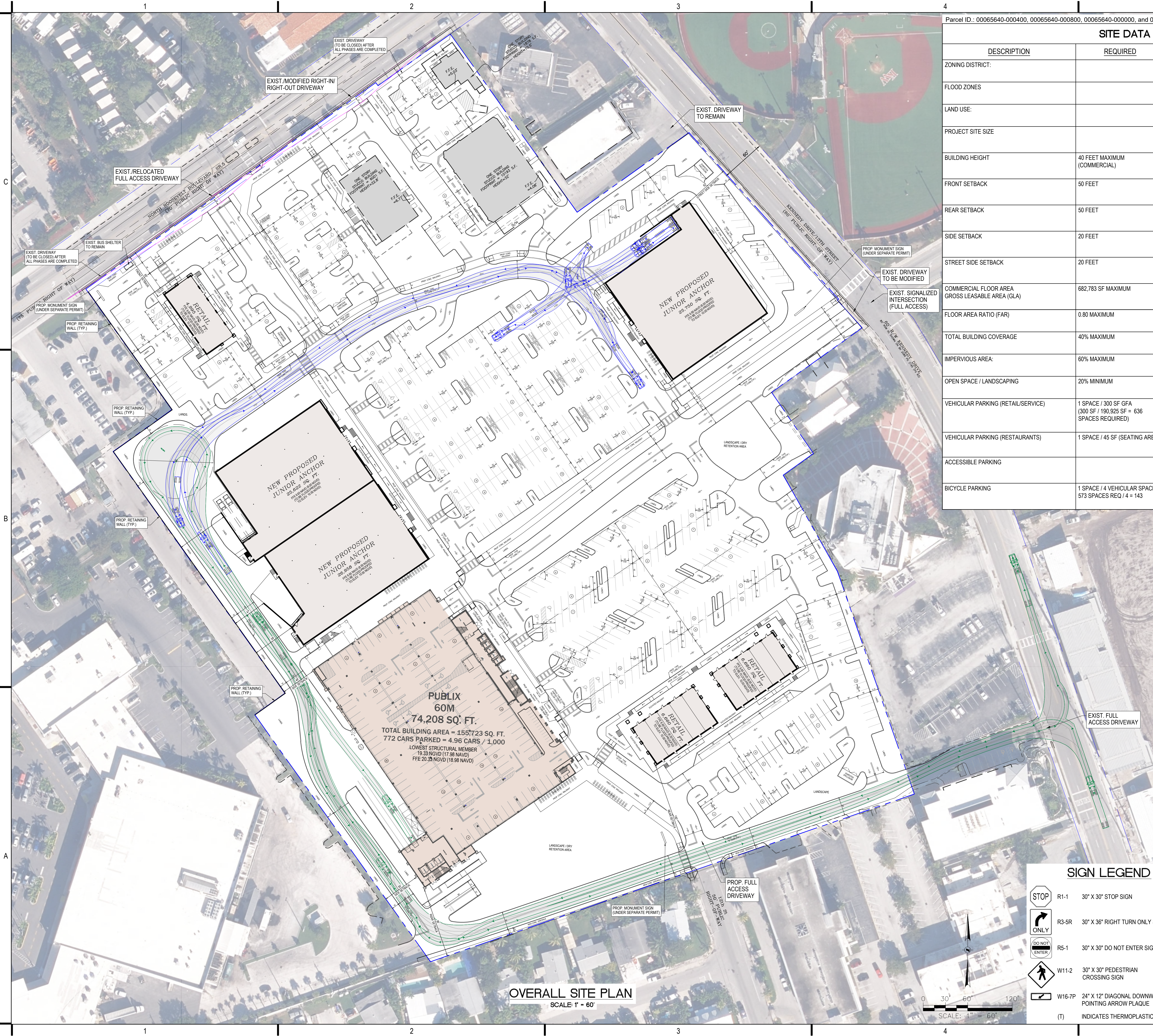
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SHEET TITLE:

LOCATION MAP AND NOTES

SHEET NUMBER:

# C-1.0



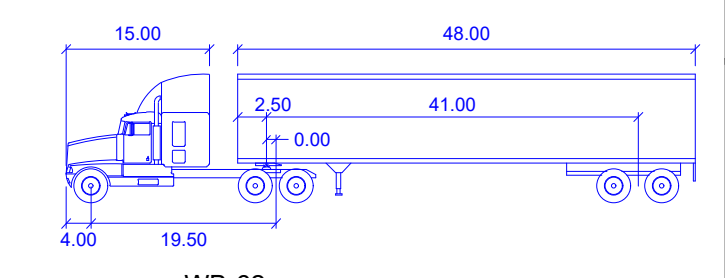
**OVERALL SITE PLAN**  
SCALE: 1" = 60'

Parcel ID.: 00065640-000400, 00065640-000800, 00065640-000000, and 00065660-000000

SITE DATA TABLE			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT:		(CG) COMMERCIAL GENERAL	(CG) COMMERCIAL GENERAL
FLOOD ZONES		AE-8, AE-9	AE-8, AE-9
LAND USE:		MIXED - COMMERCIAL SHOPPING CENTER	MIXED - COMMERCIAL SHOPPING CENTER
PROJECT SITE SIZE		853,479 SF / 19.59 AC	853,479 SF / 19.59 AC
BUILDING HEIGHT	40 FEET MAXIMUM (COMMERCIAL)	1-STORY HEIGHT (ALL EXISTING BUILDINGS)	40' (MAX.)
FRONT SETBACK	50 FEET	NORTH ROOSEVELT BLVD. 66.3 FEET (MIN.)	NORTH ROOSEVELT BLVD. 65 FEET (MIN.)
REAR SETBACK	50 FEET	SOUTH SITE BOUNDARY 25.1 FEET (MIN.)	SOUTH EDGE OF SITE 95 FEET (MIN.)
SIDE SETBACK	20 FEET	WEST SITE BOUNDARY 23.5 FEET (MIN.)	WEST SITE BOUNDARY 48 FEET (MIN.)
STREET SIDE SETBACK	20 FEET	KENNEDY DRIVE / 13TH STREET 66.3 FEET (MIN.)	KENNEDY DRIVE / 13TH STREET 62 FEET (MIN.)
COMMERCIAL FLOOR AREA GROSS LEASABLE AREA (GLA)	682,783 SF MAXIMUM	255,592 SF	190,925 SF
FLOOR AREA RATIO (FAR)	0.80 MAXIMUM	0.299	0.223
TOTAL BUILDING COVERAGE	40% MAXIMUM	255,592 SF (29.95%)	190,925 SF (22.37%)
IMPERVIOUS AREA:	60% MAXIMUM	807,433 SF (94.60%)	679,441 SF (79.61%)
OPEN SPACE / LANDSCAPING	20% MINIMUM	46,046 SF (5.40%)	174,038 SF (20.39%)
VEHICULAR PARKING (RETAIL/SERVICE)	1 SPACE / 300 SF GFA (300 SF / 190,925 SF = 636 SPACES REQUIRED)	746 TOTAL SPACES PROVIDED (INCLUDES ACCESSIBLE SPACES)	704 TOTAL SPACES PROVIDED (INCLUDES ACCESSIBLE SPACES)
VEHICULAR PARKING (RESTAURANTS)	1 SPACE / 45 SF (SEATING AREA)	N/A	N/A
ACCESSIBLE PARKING		30 TOTAL ACCESSIBLE	35 TOTAL ACCESSIBLE
BICYCLE PARKING	1 SPACE / 4 VEHICULAR SPACES 573 SPACES REQ / 4 = 143		144 BICYCLE SPACES

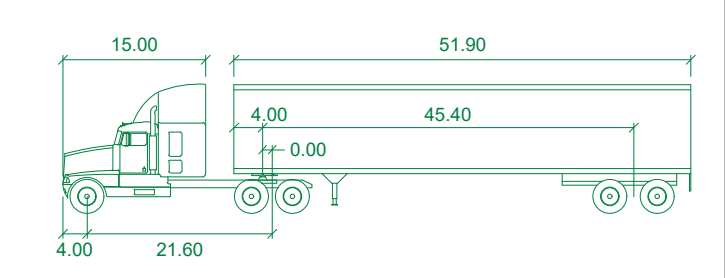
**GENERATOR NOTE**

PROPOSED LOCATION OF STORAGE TANK(S) AT THE SUBJECT SITE IS NOT WITHIN 500 FEET OF ANY EXISTING COMMUNITY WATER SUPPLY WELL, NOT WITHIN 500 FEET OF ANY NON-TRANSIENT, NON-COMMUNITY WATER SUPPLY WELL, AND NOT WITHIN 100 FEET OF ANY OTHER EXISTING POTABLE WATER SUPPLY WELL.



**WB-62 TRUCK PROFILE**  
N.T.S.

Tractor Width	8.00	Lock to Lock Time	6.0
Tractor Track	8.50	Steering Angle	28.4
Tractor Track	8.00	Articulating Angle	70.0
Trailer Track	8.50		

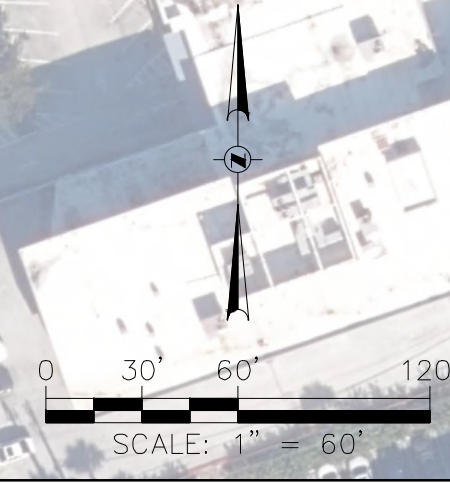


**WB-67 TRUCK PROFILE**  
N.T.S.

Tractor Width	8.00	Lock to Lock Time	6.0
Tractor Track	8.50	Steering Angle	31.9
Tractor Track	8.00	Articulating Angle	75.0
Trailer Track	8.50		

**SIGN LEGEND**

- R1-1 30" X 30" STOP SIGN
- R3-5R 30" X 36" RIGHT TURN ONLY SIGN
- R5-1 30" X 30" DO NOT ENTER SIGN
- W11-2 30" X 30" PEDESTRIAN CROSSING SIGN
- W16-7P 24" X 12" DIAGONAL DOWNWARD POINTING ARROW PLAQUE
- (T) INDICATES THERMOPLASTIC

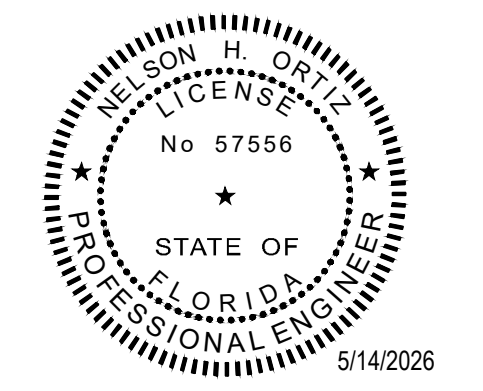


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Miami, FL 33156  
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www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL.

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ  
PE-57556 (CIVIL)

PROJECT TITLE:

**PUBLIX AT KEY PLAZA  
PUBLIX STORE #1445**

KENNEDY DRIVE AND NORTH ROOSEVELT BLVD.  
KEY WEST, FL 33040  
Parcel ID.: 00065640-000000

REAL SUB LLC  
PO Box 32018  
Lakeland, FL 33802

ISSUE:  
NO. DATE REVISIONS BY

**PROJECT INFORMATION:**

PROJECT NUMBER: 2026-7003  
DATE: 04/10/26  
DRAWN BY: P.F.  
CHECKED BY: N.H.O.  
APPROVED BY: N.H.O.  
SCALE: AS SHOWN

**SHEET TITLE:**

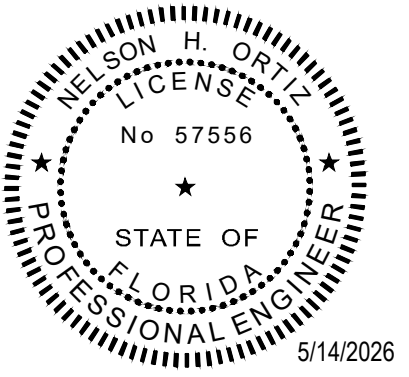
OVERALL SITE PLAN

**SHEET NUMBER:**

**C-2.0**



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!



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FOR THE FIRM: PE-57556 NELSON H. ORTIZ (CIVIL)

PROJECT TITLE:

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 PUBLIX STORE #1445**

KENNEDY DRIVE AND NORTH  
 ROOSEVELT BLVD.  
 KEY WEST, FL 33040  
 Parcel ID.: 00065640-000000

REAL SUB LLC  
 PO Box 32018  
 Lakeland, FL 33802

NO. DATE REVISIONS BY

PROJECT INFORMATION:

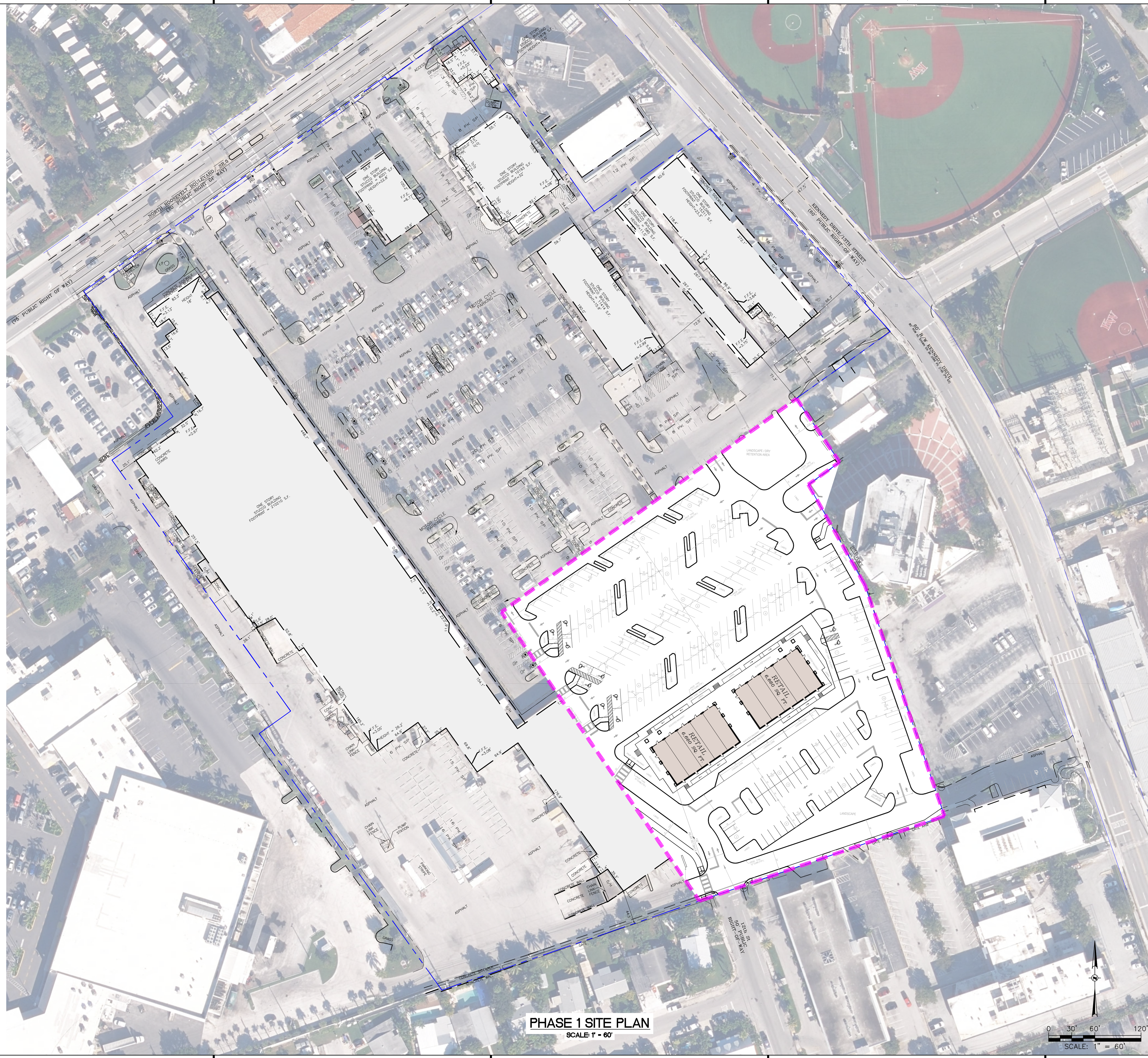
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 DATE: 04/10/26  
 DRAWN BY: P.F.  
 CHECKED BY: N.H.O.  
 APPROVED BY: N.H.O.  
 SCALE: AS SHOWN

SHEET TITLE:

PHASE 1 SITE PLAN

SHEET NUMBER:

# C-2.1

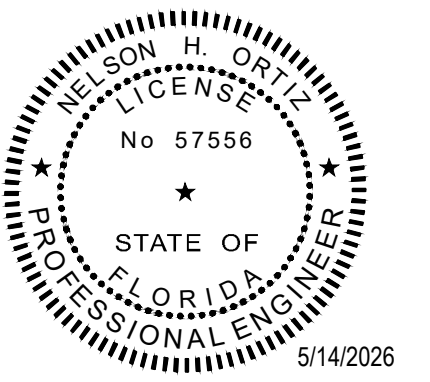


**PHASE 1 SITE PLAN**  
 SCALE: 1" = 60'

0 30' 60' 120'  
 SCALE: 1" = 60'



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NO. DATE REVISIONS BY

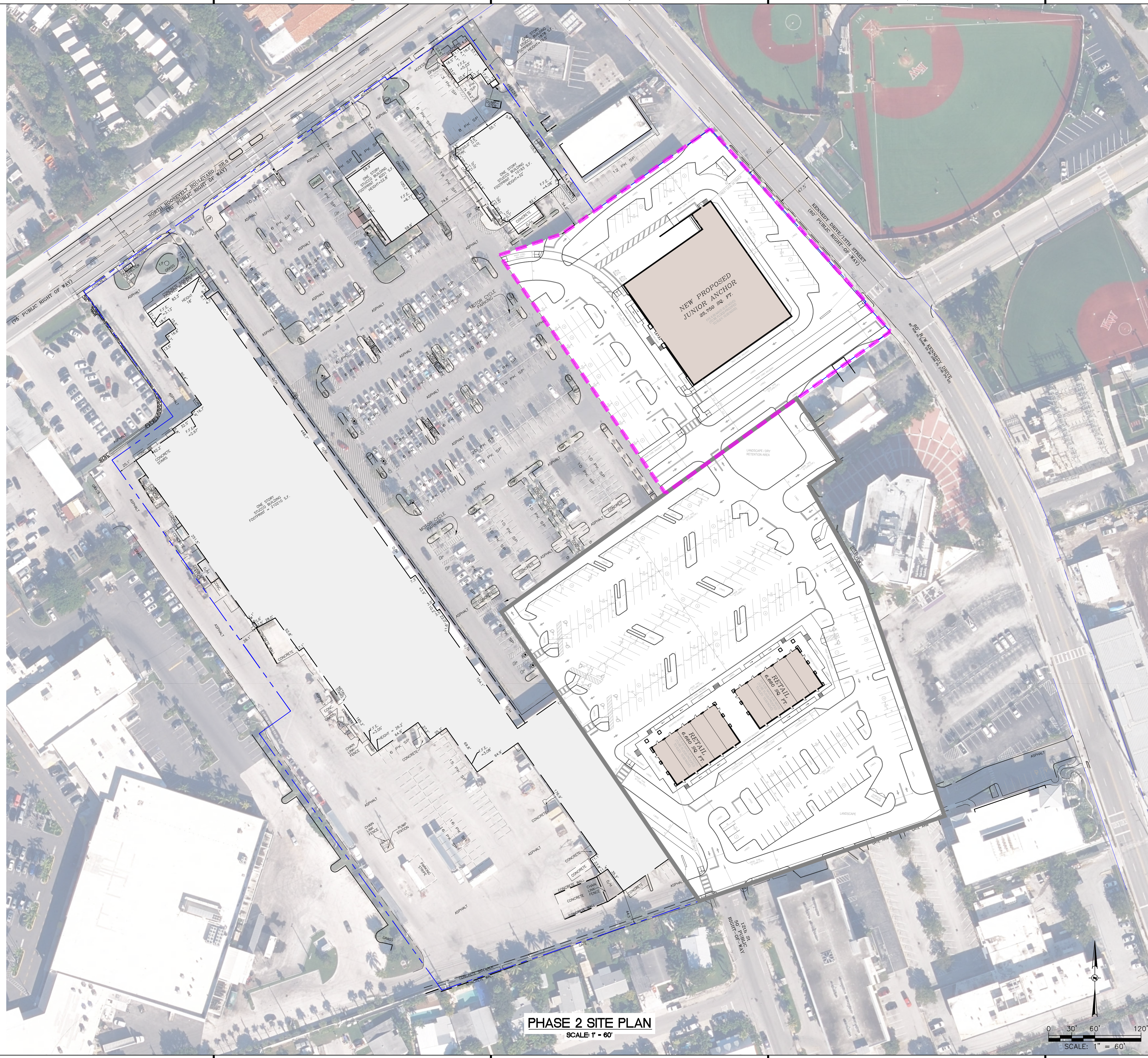
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 DRAWN BY: P.F.  
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 APPROVED BY: N.H.O.  
 SCALE: AS SHOWN

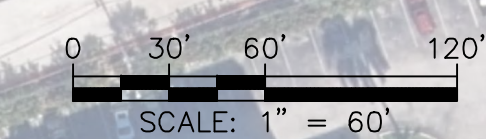
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PHASE 2 SITE PLAN

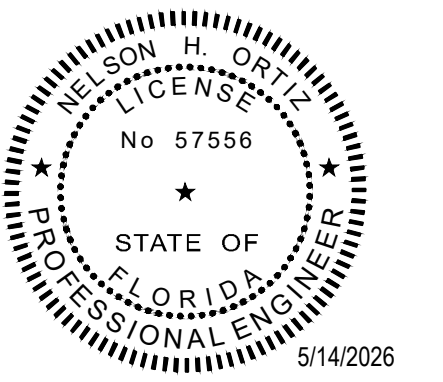
SHEET NUMBER:



PHASE 2 SITE PLAN  
 SCALE: 1" = 60'



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NO. DATE REVISIONS BY

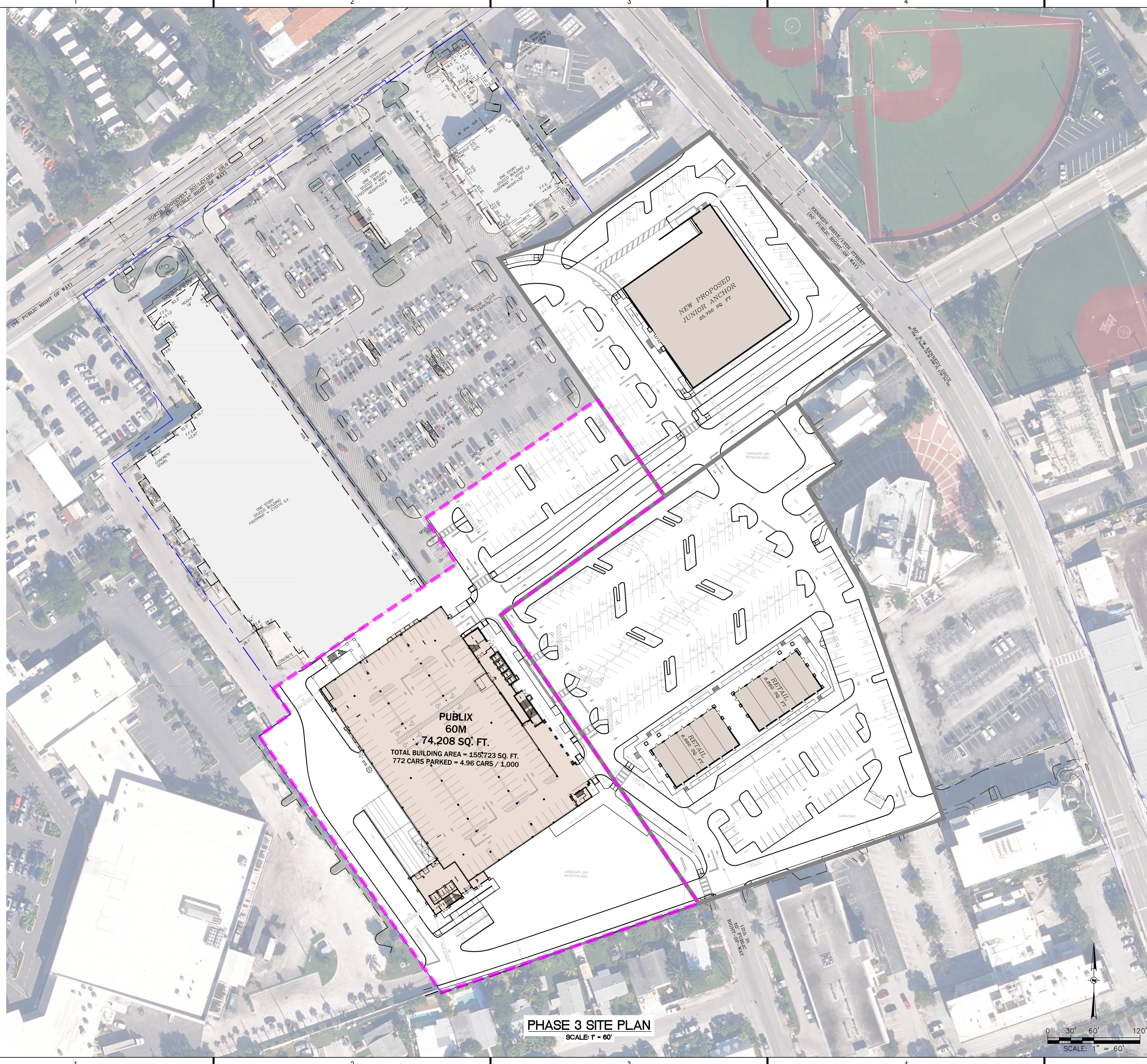
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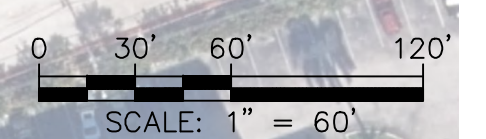
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PHASE 3 SITE PLAN

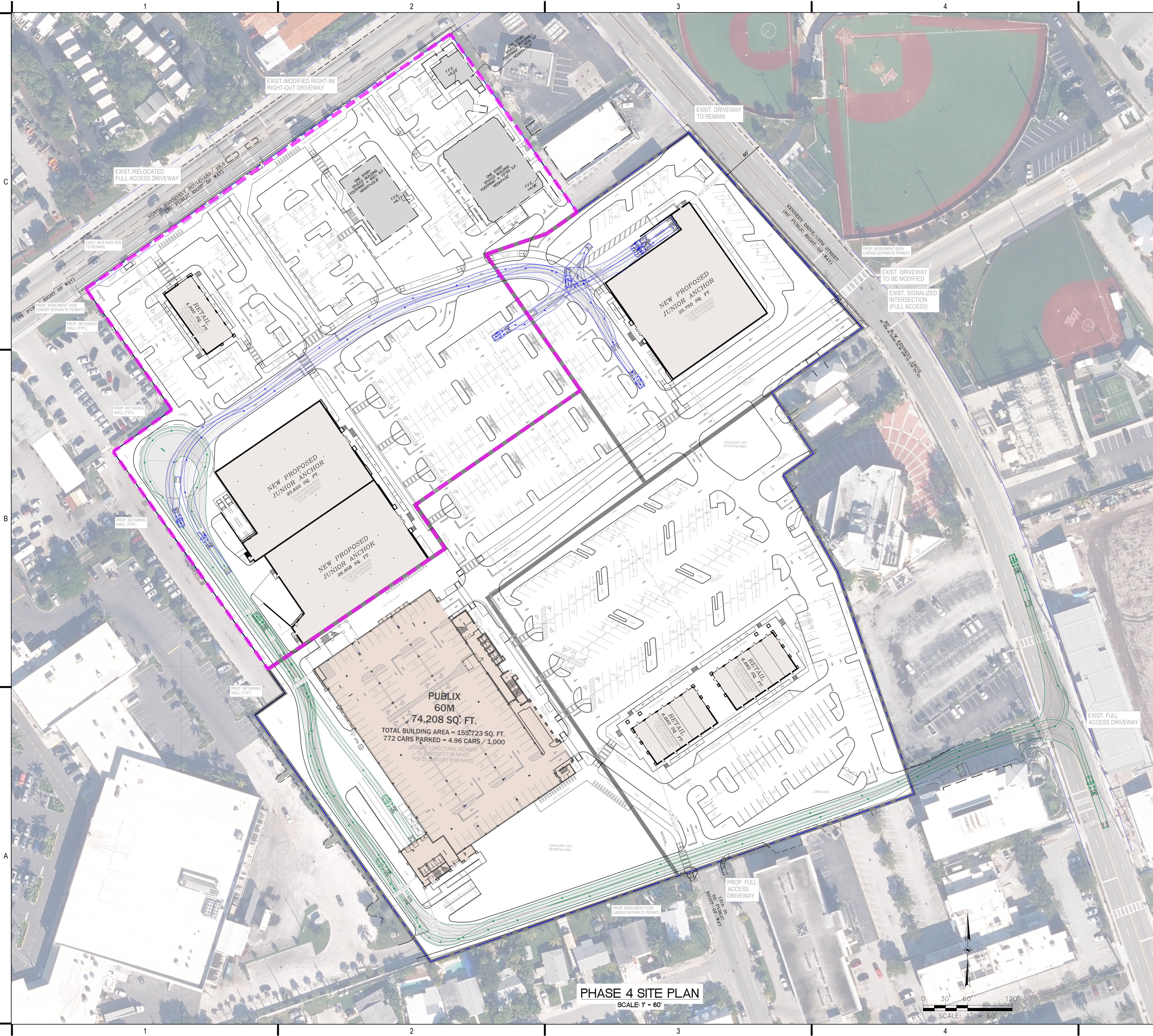
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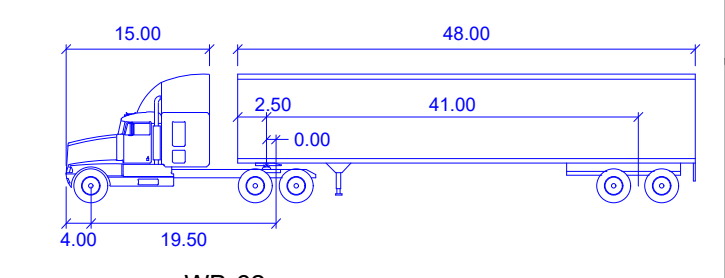
**PHASE 3 SITE PLAN**  
 SCALE: 1" = 60'



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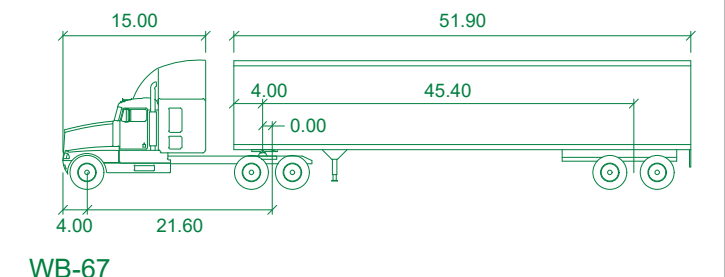
**PHASE 4 SITE PLAN**  
SCALE: 1" = 60'



**WB-62** feet

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

**WB-62 TRUCK PROFILE**  
N.T.S.



**WB-67** feet

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 31.9
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

**WB-67 TRUCK PROFILE**  
N.T.S.

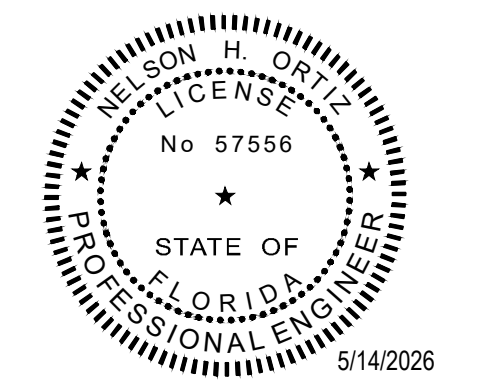
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FOR THE FIRM: PE-57556 NELSON H. ORTIZ (CIVIL)

PROJECT TITLE:  
**PUBLIX AT KEY PLAZA  
PUBLIX STORE #1445**

KENNEDY DRIVE AND NORTH ROOSEVELT BLVD.  
KEY WEST, FL 33040  
Parcel ID.: 00065640-000000  
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ISSUE:  
NO. DATE REVISIONS BY

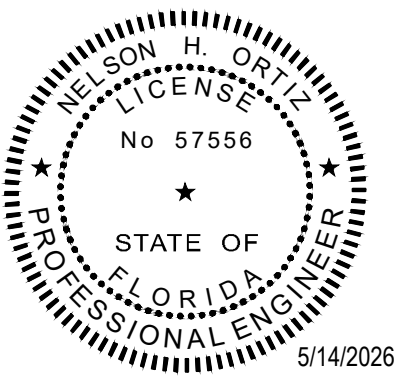
**PROJECT INFORMATION:**

PROJECT NUMBER: 2026-7003  
DATE: 04/10/26  
DRAWN BY: P.F.  
CHECKED BY: N.H.O.  
APPROVED BY: N.H.O.  
SCALE: AS SHOWN

SHEET TITLE:  
OVERALL SITE PLAN

SHEET NUMBER:

**C-2.4**



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL.

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)  
 PE-57556

PROJECT TITLE:

PUBLIX AT KEY PLAZA  
 PUBLIX STORE #1445

KENNEDY DRIVE AND NORTH  
 ROOSEVELT BLVD.  
 KEY WEST, FL 33040  
 Parcel ID.: 00065640-000000

REAL SUB LLC  
 PO Box 32018  
 Lakeland, FL 33802

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2026-7003  
 DATE: 04/10/26  
 DRAWN BY: P.F.  
 CHECKED BY: N.H.O.  
 APPROVED BY: N.H.O.  
 SCALE: AS SHOWN

SHEET TITLE:

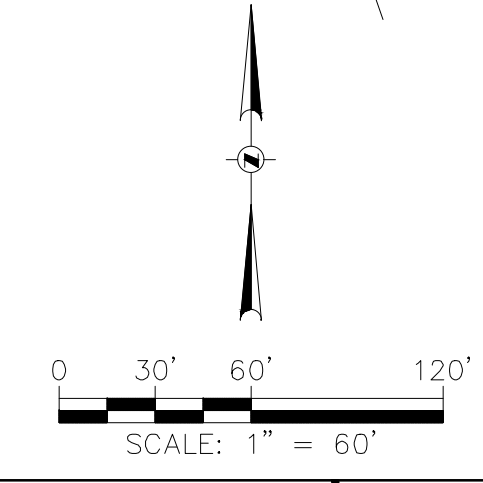
OVERALL PAVING-GRADING SITE  
 UTILITY PLAN

SHEET NUMBER:



**Sunshine811**

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!



**STORMWATER POLLUTION PREVENTION NOTES**

**A. GENERAL NOTES**

- ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN PLANS ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED IN THE FDOT STANDARDS.
- ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH FDEP'S NPDES REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
- ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
- CONTRACTOR'S SUBMITTALS: THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING ITEMS TO FDEP IN ORDER FOR THE NPDES PERMIT TO BE PROCESSED:
- IF THIS SWPPP IS ADOPTED BY THE CONTRACTOR, THE SWPPP SHEETS AND OTHER PLAN SHEETS SHALL BE INCLUDED BY REFERENCE IN THE NOTICE OF INTENT (NOI) SUBMITTAL. THE CONTRACTOR MAY ELECT TO SUBMIT A REVISED SWPPP THAT IS IN COMPLIANCE WITH THE STORM WATER REGULATIONS AT 40 CFR (22.26(B)(14) AND STATE WATER QUALITY STANDARDS.
  - SIGNED CONTRACTOR CERTIFICATION FORMS (2). THESE FORMS MUST BE SIGNED BY BOTH THE PRIME CONTRACTOR AND SUB-CONTRACTOR (IF APPLICABLE) PERFORMING SOIL-DISTURBING ACTIVITIES.
  - HAZARDOUS MATERIAL SPILL CONTROL PLAN.
  - STAGING AREAS, STOCKPILE LOCATIONS AND STABILIZATION PRACTICES.
  - BRIDGE CONSTRUCTION METHOD AND SEQUENCING (IF APPLICABLE).
  - DEWATERING PLAN (IF APPLICABLE).
- NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE NPDES PACKAGE HAS BEEN MAILED TO THE FDEP.
- ANY DAMAGED OR INEFFECTIVE BAGS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION OF ROCK BAG INSTALLATION IS AS MENTIONED IN EROSION CONTROL PLANS. THE PROJECT ENGINEER MAY SPECIFY OTHER AREAS AS NECESSARY.
- DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP.
- COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
- CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION ID4" FDOT STANDARDS SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION.
- STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER AND/OR OTHER APPROPRIATE EROSION CONTROL MEASURES.
- INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
- ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPALLY SEPARATE STORM SEWER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES SHALL HAVE EROSION CONTROLS PROVIDED FOR THOSE INLETS.
- THE AGGREGATE LAYER OF ALL CONSTRUCTION ENTRANCE GRAVEL BEDS MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. THE ENTRANCE MUST WIDEN AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

**B. SITE DESCRIPTION**

- CONSTRUCTION ACTIVITY:  
NEW RETAIL BUILDINGS AND ASSOCIATED PARKING LOT IMPROVEMENT.
- PROJECT LIMITS:  
PUBLIX AT KEY PLAZA. THIS SITE IS BOUNDED BY NORTH ROOSEVELT BLVD.(STATE ROAD 5) (FLORIDA KEYS OVERSEAS HERITAGE TRAIL) ON THE NORTH; KENNEDY DRIVE/ 13TH STREET ON THE EAST; EXISTING COMMERCIAL SITE ON THE EAST AND WEST; AND A PRIVATE ACCESS ROAD ON THE SOUTH.

PROJECT DESCRIPTION:  
LAND DEVELOPMENT AT THE PUBLIX AT KEY PLAZA WILL INCLUDE A NEW ELEVATED PUBLIX SUPERMARKET WITH GARAGED PARKING, NEW AT-GRADE PARKING, AND NEW DRAINAGE SYSTEM.

- MAJOR SOIL DISTURBING ACTIVITIES:  
DEMOLITION; CLEARING; EXCAVATION FOR STORMWATER FACILITIES AND OTHER UTILITIES; AND, BUILDING FOUNDATIONS & CONSTRUCTION.
- TOTAL PROJECT AREA: 19.59 ACRES  
TOTAL AREA TO BE DISTURBED: 19.59 ACRES
- LOCATIONS OF DRAINAGE AREAS AND OUTFALLS:  
SEE ATTACHED PLAN.
- THE DRAINAGE SYSTEM FOR THIS PROJECT IS A CLOSED SYSTEM. RECEIVING WATERS IN THE EVENT OF A MAJOR STORM EVENT WILL BE SALT POND KEYS AT LATITUDE AND LONGITUDE 24°34'08.0"N 81°46'16.0"W.
- AREA OF DISCHARGE FOR THIS PROJECT IS 19.59 ACRES = 853,479 SF
- SOILS ARE CLASSIFIED AS URBAN LAND AND QUALITY OF DISCHARGE IS LIMEROCK FILL AND SAND.
- LATITUDE AND LONGITUDE OF DIRECT DISCHARGE POINT IS NOT APPLICABLE SINCE THIS IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, LATITUDE AND LONGITUDE OF THIS PROJECT AS INDICATED IN THE NOI IS 24°33'57.5"N 81°46'13.2"W; AND LATITUDE AND LONGITUDE OF THE SALT POND KEYS IS 24°34'08.0"N 81°46'16.0"W.

**C. CONTROLS**

NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS.

- CLEARING AND DEMOLITION
- CONSTRUCTION OF THE CONCH REPUBLIC SHOPPES PHASE 1 AND ASSOCIATED DRAINAGE SYSTEM WILL INCLUDE DRAINAGE WELLS, EXFILTRATION TRENCHES AND DRY RETENTION AREAS.

PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, ALL EROSION CONTROLS MUST BE IMPLEMENTED.

- TEMPORARY STABILIZATION:  
DISTURBED PORTIONS OF THE SITE (E.G. EMBANKMENT AT TEMPORARY RAMPS) WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SOD OR TEMPORARY SEEDING AND MULCHING NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.

PERMANENT STABILIZATION: DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOD NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

EROSION AND SEDIMENT CONTROLS:

- (1) STABILIZATION PRACTICES:
- TEMPORARY SODDING
  - TEMPORARY GRASSING
  - PERMANENT SODDING, SEEDING OR SEED & MULCH
  - TEMPORARY MULCHING
  - ARTIFICIAL COVERING
  - BUFFER ZONES
  - PRESERVATION OF NATURAL RESOURCES

OTHER:

- (2) STRUCTURAL PRACTICES:
- SAND BAGGING
  - SILT FENCES
  - ROCK BAGS
  - BERMS
  - DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES
  - PIPE SLOPE DRAINS
  - FLUMES
  - ROCK BEDDING AT CONSTRUCTION EXIT
  - TIMBER BEDDING AT CONSTRUCTION EXIT
  - DITCH LINER
  - SEDIMENT TRAPS
  - SEDIMENT BASINS
  - STORM INLET SEDIMENT TRAP
  - STONE OUTLET STRUCTURES
  - CURBS AND GUTTERS
  - STORM SEWERS
  - VELOCITY CONTROL DEVICES
  - TURBIDITY BARRIER
  - RIP RAP

- DESCRIPTION OF STORM WATER MANAGEMENT:

THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF RAINWATER LEADERS THAT CONVEY STORMWATER INTO THE EXISTING DRAINAGE SYSTEM THAT TREATS THE WATER QUANTITY REQUIREMENTS.

OTHER CONTROLS

- (1) WASTE DISPOSAL:  
IN APPROVED OFFSITE AREAS PROVIDED BY THE CONTRACTOR.
- (2) OFFSITE VEHICLE TRACKING:
- HAUL ROADS DAMPENED FOR DUST CONTROL
  - LOADED HAUL TRUCKS TO BE COVERED WITH TARP/AULIN
  - EXCESS DIRT ON ROAD REMOVED DAILY
  - STABILIZED CONSTRUCTION ENTRANCE

- OTHER:

- (1) SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
- (2) FERTILIZERS AND PESTICIDES: FERTILIZER TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. IF STORED ON-SITE, STORAGE WILL BE IN COVERED SHED. THE CONTENT OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEPARATE PLASTIC BIN TO AVOID SPILLS.
- (3) NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING) THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SPILLS TO MONROE COUNTY. DEWATERING IS NOT ANTICIPATED.

- REMARKS:

IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED OR HAZARDOUS SPILLS OCCUR DURING CONSTRUCTION, MONROE COUNTY SHALL BE CONTACTED.

APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS: MONROE COUNTY BUILDING DEPARTMENT.

**D. MAINTENANCE**

ITEM:	MAINTENANCE:
SILT FENCE	ALL CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING CONSTRUCTION. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S DAILY INSPECTION REPORT.
CONSTRUCTION ENTRANCE	WHEN THE CONSTRUCTION ENTRANCE GRAVEL BEDS BECOME LOADED WITH SEDIMENTS, REWORK BEDS TO DISPLACE SEDIMENT LOAD AND RE-ESTABLISH EFFECTIVENESS OF THE GRAVEL BEDS.

**E. INSPECTION**

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FEATURES AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5" OR GREATER. IN ADDITION, A DAILY REVIEW OF THE LOCATION OF SILT FENCES SHALL BE MADE IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CHANGED THE NATURAL CONTOUR AND DRAINAGE RUNOFF. IN ORDER TO INSURE THAT SILT FENCES AND OTHER EROSION CONTROL DEVICES ARE PROPERLY LOCATED FOR EFFECTIVENESS, A FORM ACCEPTABLE TO THE FDEP WILL BE USED TO REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. EACH INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED WEEKLY TO THE PROJECT ENGINEER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S INSPECTION REPORT.

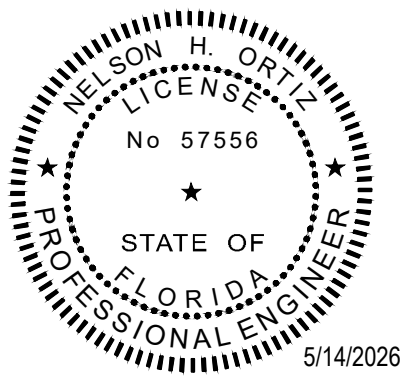


Graef-USA Inc.  
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Miami, FL 33156  
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305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL.

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM : NELSON H. ORTIZ  
PE-57556 (CIVIL)

PROJECT TITLE:

PUBLIX AT KEY PLAZA  
PUBLIX STORE #1445

KENNEDY DRIVE AND NORTH  
ROOSEVELT BLVD.  
KEY WEST, FL 33040  
Parcel ID.: 00065640-000000

REAL SUB LLC  
PO Box 32018  
Lakeland, FL 33802

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2026-7003

DATE: 04/10/26

DRAWN BY: P.F.

CHECKED BY: N.H.O.

APPROVED BY: N.H.O.

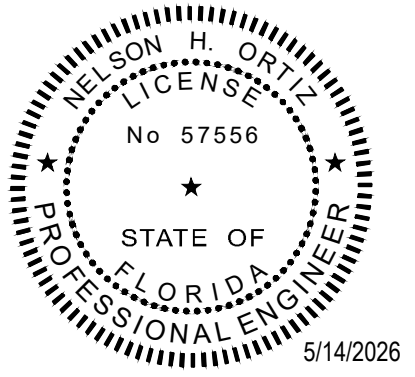
SCALE: AS SHOWN

SHEET TITLE:

STORMWATER POLLUTION  
PREVENTION NOTES

SHEET NUMBER:

**SWPP-1**



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FOR THE FIRM: PE-57556 NELSON H. ORTIZ (CIVIL)

PROJECT TITLE:

PUBLIX AT KEY PLAZA  
 PUBLIX STORE #1445

KENNEDY DRIVE AND NORTH  
 ROOSEVELT BLVD.  
 KEY WEST, FL 33040  
 Parcel ID.: 00065640-000000

REAL SUB LLC  
 PO Box 32018  
 Lakeland, FL 33802

ISSUE:

NO. DATE REVISIONS BY

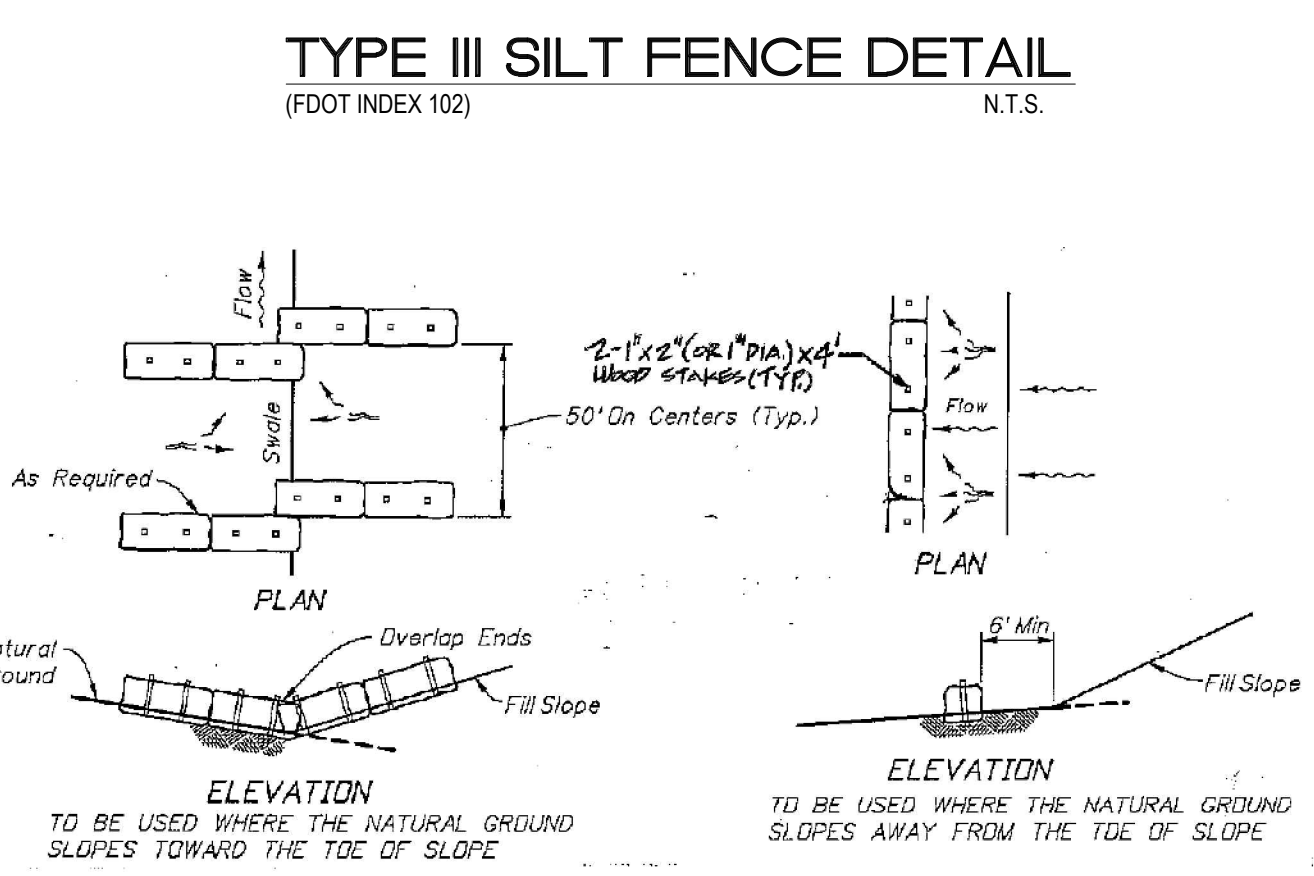
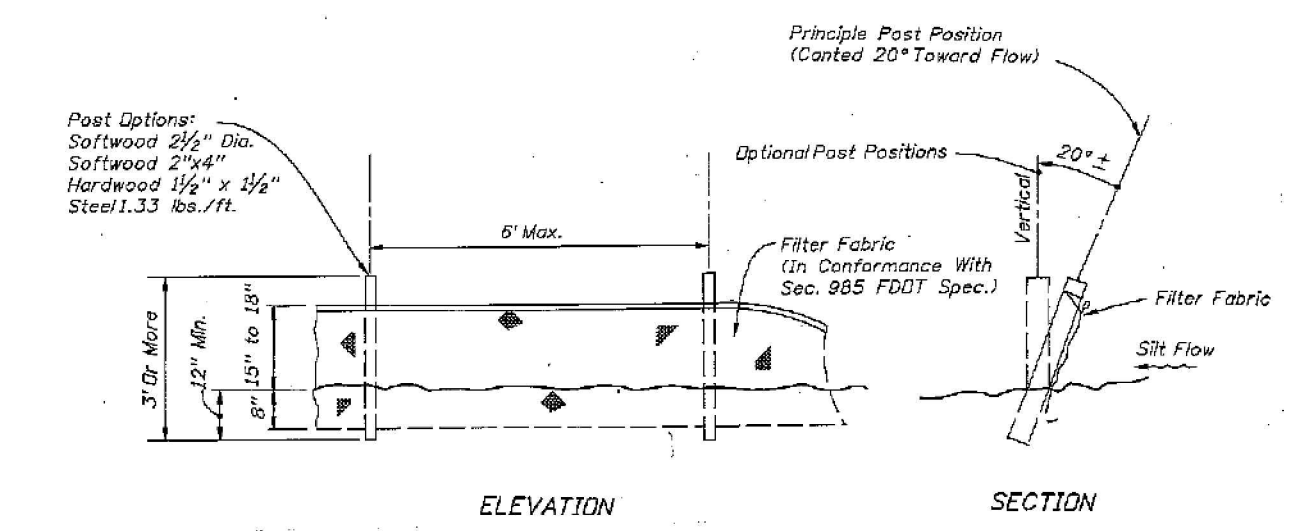
PROJECT INFORMATION:

PROJECT NUMBER: 2026-7003  
 DATE: 04/10/26  
 DRAWN BY: P.F.  
 CHECKED BY: N.H.O.  
 APPROVED BY: N.H.O.  
 SCALE: AS SHOWN

SHEET TITLE:

OVERALL STORMWATER POLLUTION PREVENTION PLAN

SHEET NUMBER:



**HAY BALES FOR FILL SLOPES**  
 (FDOT INDEX 102) N.T.S.

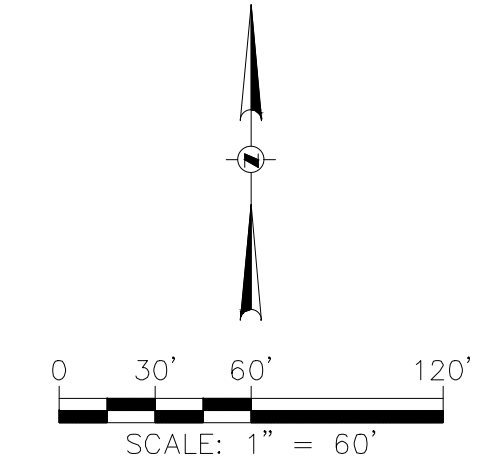
**LEGEND**

- GRAVEL BED (No. 57 ROCK)
- STAKED SILT FENCE

**NOTES:**

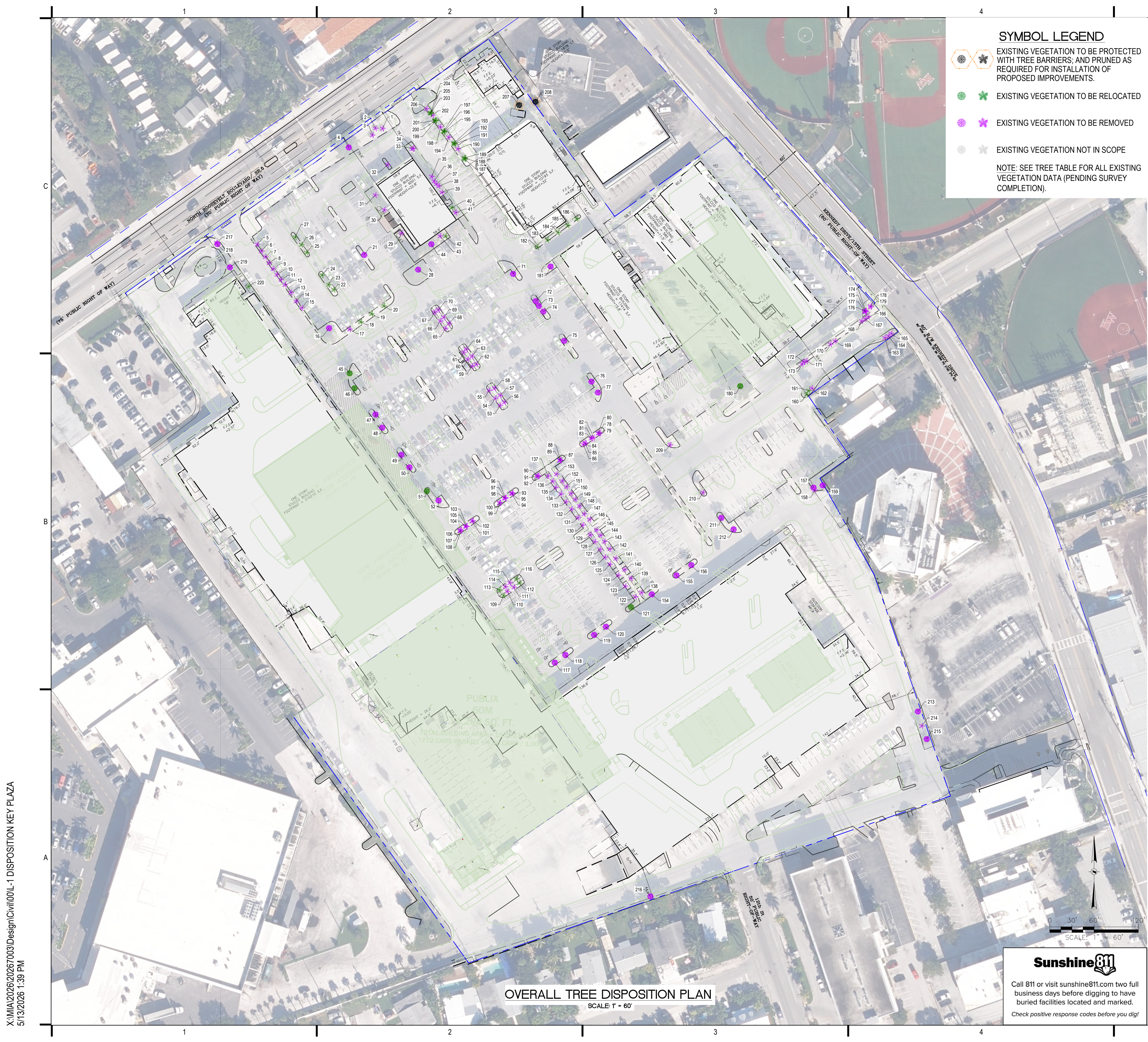
1. PERIMETER CONSTRUCTION FENCE SHALL BE PROVIDED WITH WIND SCREEN TO MAINTAIN SUFFICIENT DUST CONTROL.
2. INSTALLATION OF EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH FDOT INDEX No. 102, LATEST EDITION, AND MONROE COUNTY.

**OVERALL STORMWATER POLLUTION PREVENTION PLAN**  
 SCALE: 1" = 60'



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 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!





### SYMBOL LEGEND

- EXISTING VEGETATION TO BE PROTECTED WITH TREE BARRIERS; AND PRUNED AS REQUIRED FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- EXISTING VEGETATION TO BE RELOCATED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING VEGETATION NOT IN SCOPE

NOTE: SEE TREE TABLE FOR ALL EXISTING VEGETATION DATA (PENDING SURVEY COMPLETION).

- ### TREE DISPOSITION NOTES
- ALL TREE/PALM PRUNING, TREE/PALM PROTECTION AND PLANTING WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF GOVERNING AUTHORITIES HAVING JURISDICTION, INCLUDING MONROE COUNTY, CITY OF KEY WEST AND LATEST ANSI A300 STANDARDS.
  - SEE SURVEY FOR ADDITIONAL SITE INFORMATION.
  - CONTRACTOR SHALL PROTECT ALL EXISTING PAVEMENTS, CURBING, WALLS, FENCING, VEGETATION, SHRUBS, GROUND COVER, SOD, UNDERGROUND UTILITIES, IRRIGATION EQUIPMENT, AND OTHER SITE INFRASTRUCTURE INDICATED TO REMAIN WITHIN WORK AREAS FROM DAMAGE DURING PROGRESS OF WORK, AND SHALL RESTORE OR REPLACE ALL SUCH ITEMS DAMAGED DURING PROGRESS OF WORK TO MATCH EXISTING.
  - PROTECTIVE VEGETATION BARRIERS SHALL BE PROVIDED IN COMPLIANCE WITH ALL MDC REQUIREMENTS. PROTECTIVE BARRIERS SHALL BE PLACED AROUND EACH TREE OR PALM NO LESS THAN TEN FEET (IN RADIUS) FROM THE TRUNK OF ANY PROTECTED TREE OR PALM. PROTECTIVE BARRIERS SHALL BE A MINIMUM OF FOUR FEET ABOVE GROUND LEVEL AND SHALL BE CONSTRUCTED OF WOOD, PLASTIC OR METAL, AND SHALL REMAIN IN PLACE UNTIL DEVELOPMENT IS COMPLETED. PROTECTIVE BARRIERS SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION.
  - ONLY CLEARING BY HAND IS PERMISSIBLE WITHIN THE DRIPLINE OF TREES DESIGNATED FOR PRESERVATION. THE ROOT SYSTEMS OF TREES SHALL BE PROTECTED AT ALL TIMES. IF ROOTS ARE EXPOSED, THE CONTRACTOR SHALL PROVIDE TEMPORARY EARTH COVER MIXED WITH PEAT MOSS AND WRAPPED WITH BURLAP TO PREVENT EXPOSED ROOTS FROM DRYING OUT BEFORE PERMANENT BACKFILL IS PLACED. THE CONTRACTOR SHALL ALSO WATER, MAINTAIN IN MOIST CONDITION, AND OTHERWISE TEMPORARILY SUPPORT AND PROTECT THE TREE OR ROOT FROM DAMAGE UNTIL THE TREE OR ROOT IS PERMANENTLY COVERED WITH EARTH.
  - NO EXCESS OIL, FILL, EQUIPMENT, BUILDING MATERIALS OR BUILDING DEBRIS SHALL BE PLACED WITHIN THE AREAS SURROUNDED BY PROTECTIVE BARRIERS, NOR SHALL THERE BE DISPOSAL OF ANY WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO TREES OR UNDERSTORY PLANTS WITHIN THE AREAS SURROUNDED BY PROTECTIVE BARRIERS.
  - PROTECTIVE BARRIERS OR PROTECTIVE DESIGNATIONS SHALL REMAIN IN PLACE UNTIL THEY ARE AUTHORIZED TO BE REMOVED BY APPROPRIATE BUILDING OR OTHER FIELD INSPECTION STAFF OR UNTIL RECEIPT OF A CERTIFICATE OF OCCUPANCY.
  - ALL LANDSCAPE WORK SHALL BE COORDINATED WITH OTHER DISCIPLINES AS REQUIRED THROUGHOUT DURATION OF WORK.
  - CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING AND RELOCATED TREES/PALMS WITHIN PROJECT LIMITS IN A HEALTHY GROWING CONDITION FOR A PERIOD OF AT LEAST ONE (1) YEAR AFTER FINAL ACCEPTANCE. CONTRACTOR SHALL PROVIDE MAINTENANCE AS MAY BE REQUIRED, INCLUDING STAKING, WATERING, PRUNING AND RE-PLANTING TO ENSURE OVERALL HEALTH OF TREES/PALMS.
  - ANY EXISTING OR RELOCATED TREE/PALM THAT SHOULD DIE, OR IS OTHERWISE FOUND TO BE UNACCEPTABLE TO THE LANDSCAPE ARCHITECT OWNER DURING THE PROGRESSION OF WORK AND THROUGHOUT THE REQUIRED MAINTENANCE PERIOD AFTER FINAL ACCEPTANCE, SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR WITH EQUAL OR BETTER PLANT MATERIAL; AND THE SITE SHALL BE RESTORED AT NO ADDITIONAL COST TO THE OWNER.
  - ALL INVASIVE PLANT SPECIES INCLUDED IN LATEST FLORIDA INVASIVE SPECIES COUNCIL CATEGORY I PLANT LIST SHALL BE REMOVED FROM THE PROJECT SITE IN THEIR ENTIRETY, INCLUDING THE ROOTBALL, ALL SPROUTS AND DROPPINGS. FIELD VERIFY ALL.

- ### TREE BARRIER NOTES
- TREE BARRIERS SHOWN ON PLAN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL COORDINATE EXACT DIMENSIONS AND PLACEMENTS IN FIELD.
  - CONTRACTOR SHALL PROVIDE 6'-8" BARRIERS AROUND TREES LESS THAN 18" DBH, AND 10'-12" BARRIERS AROUND TREES 18" DBH OR GREATER.
  - REFER TO TREE PROTECTION DETAILS ON SHEET L-1.1.

- ### TREE TRIMMING NOTES
- ALL TREES AND PALMS EXISTING TO REMAIN, OR TO BE RELOCATED SHALL BE CANOPY AND/OR ROOT PRUNED AS INDICATED BELOW.
  - ALL OPERATIONS SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS FOR THIS OCCUPATION AND WORK, SPECIFICALLY, BUT NOT EXCLUSIVELY, WORK SHALL COMPLY WITH APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 STANDARDS FOR MAINTENANCE OF TREES AND WOODY PLANTS AND Z-133.1-1994 SAFETY REQUIREMENTS.
  - PRUNING SHALL BE PERFORMED TO REDUCE THE POTENTIAL FOR INSECT/DISEASE PROBLEMS OF TREES, BY REMOVAL OF DEAD AND DYING LIMBS, REMOVING HAZARDOUS LIMBS AND BY CORRECTING POOR GROWTH HABITS OF TREES.
  - ALL TRIMMING/PRUNING WORK SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST.
  - NO USE OF CLIMBING SPIKES OR OTHER EQUIPMENT THAT IS NOT RECOMMENDED FOR USE BY AN ISA CERTIFIED ARBORIST SHALL BE ALLOWED IN GAINING ACCESS OR REACHING INTO TREES AND PALMS FOR PRUNING.
  - NO MORE THAN 30% OF FOLIAGE SHALL BE REMOVED AT ANY GIVEN TIME.
  - TOPPING AND/OR CUTTING OF THE TIPS OF THE BRANCHES IS NOT ALLOWED UNLESS SPECIFICALLY DIRECTED BY THE URBAN FORESTER. AN EFFECT KNOWN AS "LIONS TAILING" IS NOT PERMITTED. THIS IS A RESULT OF PRUNING OUT TOO MANY OF THE INSIDE LATERAL BRANCHES.

### INDEX OF DRAWINGS

DWG. NO.	TITLE
L-1.0	OVERALL TREE DISPOSITION PLAN
L-1.1	TREE TABLE
L-2.0	OVERALL PLANTING PLAN (CANOPY)
L-2.1	PLANTING SCHEDULE
L-2.2	PLANTING DETAILS

# GRAEF

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9200 South Dadeland Boulevard  
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Miami, FL 33156  
305 / 378 5555  
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:

5/13/2026

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PAOLO FERRERA, R.L.A. ON THE DATE ADJACENT TO THE SEAL.

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: PAOLO FERRERA  
LA 6667210

PROJECT TITLE:  
**PUBLIX AT KEY PLAZA  
PUBLIX STORE #1445**

KENNEDY DRIVE AND NORTH  
ROOSEVELT BLVD.  
KEY WEST, FL 33040  
Parcel ID.: 00065640-000000

REAL SUB LLC  
PO Box 32018  
Lakeland, FL 33802

PRELIMINARY - NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS	BY

ISSUE:

PROJECT INFORMATION:

PROJECT NUMBER: 2026-7003

DATE: 04/10/26

DRAWN BY: P.F.

CHECKED BY: N.H.O.

APPROVED BY: P.F.

SCALE: AS SHOWN

SHEET TITLE:  
OVERALL TREE DISPOSITION PLAN

SHEET NUMBER:

# L-1.0

X:\MIA\2026\20267003\Design\Civil\00L-1 DISPOSITION KEY PLAZA 5/13/2026 1:39 PM

**OVERALL TREE DISPOSITION PLAN**  
SCALE: 1" = 60'

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

TREE TABLE

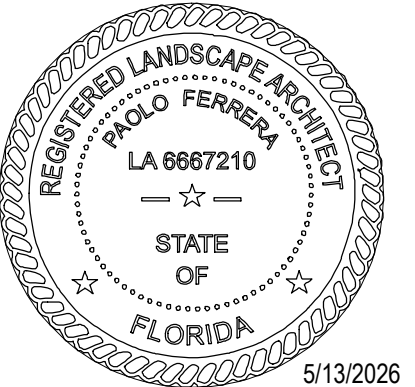
#	Scientific Name	Common Name	Size (c.t. feet)		Listing	Condition	Disposition
			(dsh inches)	Unit			
1	<i>Sabal palmetto</i>	cabbage palm	14.00	c.t.	KWSPTL	Fair	REMOVE
2	<i>Sabal palmetto</i>	cabbage palm	16.00	c.t.	KWSPTL	Fair	REMOVE
3	<i>Sabal palmetto</i>	cabbage palm	17.00	c.t.	KWSPTL	Fair	REMOVE
4	<i>Swietenia mahagoni</i>	mahogany	25.50	dsh	KWSPTL	Fair	REMOVE
5	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Poor	REMOVE
6	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Poor	REMOVE
7	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Poor	REMOVE
8	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Poor	REMOVE
9	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Poor	REMOVE
10	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Poor	REMOVE
11	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Fair	REMOVE
12	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Fair	REMOVE
13	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Fair	REMOVE
14	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
15	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Fair	REMOVE
16	<i>Swietenia mahagoni</i>	mahogany	16.50	dsh	KWSPTL	Poor	REMOVE
17	<i>Sabal palmetto</i>	cabbage palm	12.50	c.t.	KWSPTL	Fair	REMOVE
18	<i>Sabal palmetto</i>	cabbage palm	13.00	c.t.	KWSPTL	Good	RELOCATE
19	<i>Sabal palmetto</i>	cabbage palm	12.50	c.t.	KWSPTL	Good	RELOCATE
20	<i>Sabal palmetto</i>	cabbage palm	12.50	c.t.	KWSPTL	Good	RELOCATE
21	<i>Bursera simaruba</i>	gumbo limbo	6.00	dsh	KWSPTL	Poor	REMOVE
22	<i>Sabal palmetto</i>	cabbage palm	13.50	c.t.	KWSPTL	Good	RELOCATE
23	<i>Sabal palmetto</i>	cabbage palm	7.00	c.t.	KWSPTL	Good	RELOCATE
24	<i>Sabal palmetto</i>	cabbage palm	11.00	c.t.	KWSPTL	Good	RELOCATE
25	<i>Sabal palmetto</i>	cabbage palm	13.00	c.t.	KWSPTL	Good	RELOCATE
26	<i>Sabal palmetto</i>	cabbage palm	14.00	c.t.	KWSPTL	Good	RELOCATE
27	<i>Sabal palmetto</i>	cabbage palm	13.00	c.t.	KWSPTL	Good	RELOCATE
28	<i>Swietenia mahagoni</i>	mahogany	20.00	dsh	KWSPTL	Poor	REMOVE
29	<i>Sabal palmetto</i>	cabbage palm	16.00	c.t.	KWSPTL	Fair	REMOVE
30	<i>Sabal palmetto</i>	cabbage palm	17.00	c.t.	KWSPTL	Fair	REMOVE
31	<i>Adonidia merrillii</i>	Christmas palm	12.50	c.t.	-	Fair	REMOVE
32	<i>Adonidia merrillii</i>	Christmas palm	12.50	c.t.	-	Fair	REMOVE
33	<i>Washingtonia robusta</i>	Mexican fan palm	5.00	c.t.	FKIETF Cat II	Good	REMOVE
34	<i>Washingtonia robusta</i>	Mexican fan palm	5.00	c.t.	FKIETF Cat II	Good	REMOVE
35	<i>Washingtonia robusta</i>	Mexican fan palm	14.00	c.t.	FKIETF Cat II	Fair	REMOVE
36	<i>Washingtonia robusta</i>	Mexican fan palm	11.50	c.t.	FKIETF Cat II	Good	REMOVE
37	<i>Washingtonia robusta</i>	Mexican fan palm	13.00	c.t.	FKIETF Cat II	Good	REMOVE
38	<i>Washingtonia robusta</i>	Mexican fan palm	5.50	c.t.	FKIETF Cat II	Good	REMOVE
39	<i>Washingtonia robusta</i>	Mexican fan palm	12.00	c.t.	FKIETF Cat II	Good	REMOVE
40	<i>Sabal palmetto</i>	cabbage palm	15.00	c.t.	KWSPTL	Good	RELOCATE
41	<i>Sabal palmetto</i>	cabbage palm	15.00	c.t.	KWSPTL	Fair	REMOVE
42	<i>Sabal palmetto</i>	cabbage palm	13.00	c.t.	KWSPTL	Good	RELOCATE
43	<i>Sabal palmetto</i>	cabbage palm	16.50	c.t.	KWSPTL	Fair	REMOVE
44	<i>Swietenia mahagoni</i>	mahogany	13.75	dsh	KWSPTL	Poor	REMOVE
45	<i>Swietenia mahagoni</i>	mahogany	14.00	dsh	KWSPTL	Fair	RELOCATE
46	<i>Swietenia mahagoni</i>	mahogany	19.00	dsh	KWSPTL	Fair	RELOCATE
47	<i>Swietenia mahagoni</i>	mahogany	11.00	dsh	KWSPTL	Poor	REMOVE
48	<i>Swietenia mahagoni</i>	mahogany	10.00	dsh	KWSPTL	Poor	REMOVE
49	<i>Swietenia mahagoni</i>	mahogany	4.00	dsh	KWSPTL	Poor	REMOVE
50	<i>Swietenia mahagoni</i>	mahogany	11.00	dsh	KWSPTL	Poor	REMOVE
51	<i>Swietenia mahagoni</i>	mahogany	12.00	dsh	KWSPTL	Fair	RELOCATE
52	<i>Swietenia mahagoni</i>	mahogany	10.00	dsh	KWSPTL	Poor	REMOVE
53	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
54	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
55	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
56	<i>Adonidia merrillii</i>	Christmas palm	5.00	c.t.	-	Good	REMOVE
57	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
58	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
59	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
60	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
61	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Good	REMOVE
62	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
63	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
64	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
65	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
66	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
67	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
68	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
69	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
70	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
71	<i>Swietenia mahagoni</i>	mahogany	8.00	dsh	KWSPTL	Poor	REMOVE
72	<i>Swietenia mahagoni</i>	mahogany	8.50	dsh	KWSPTL	Poor	REMOVE
73	<i>Conocarpus erectus</i>	buttonwood, silver	7.50	dsh	KWSPTL	Fair	REMOVE
74	<i>Swietenia mahagoni</i>	mahogany	6.75	dsh	KWSPTL	Poor	REMOVE
75	<i>Swietenia mahagoni</i>	mahogany	8.00	dsh	KWSPTL	Poor	REMOVE
76	<i>Swietenia mahagoni</i>	mahogany	9.00	dsh	KWSPTL	Poor	REMOVE
77	<i>Swietenia mahagoni</i>	mahogany	10.25	dsh	KWSPTL	Poor	REMOVE
78	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
79	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
80	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE

TREE TABLE

#	Scientific Name	Common Name	Size (c.t. feet)		Listing	Condition	Disposition
			(dsh inches)	Unit			
81	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
82	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
83	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
84	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
85	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
86	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
87	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
88	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
89	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
90	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
91	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
92	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
93	<i>Adonidia merrillii</i>	Christmas palm	9.00	c.t.	-	Good	REMOVE
94	<i>Adonidia merrillii</i>	Christmas palm	9.50	c.t.	-	Good	REMOVE
95	<i>Adonidia merrillii</i>	Christmas palm	5.00	c.t.	-	Fair	REMOVE
96	<i>Adonidia merrillii</i>	Christmas palm	9.50	c.t.	-	Fair	REMOVE
97	<i>Adonidia merrillii</i>	Christmas palm	9.50	c.t.	-	Fair	REMOVE
98	<i>Adonidia merrillii</i>	Christmas palm	9.50	c.t.	-	Fair	REMOVE
99	<i>Adonidia merrillii</i>	Christmas palm	8.50	c.t.	-	Good	REMOVE
100	<i>Adonidia merrillii</i>	Christmas palm	8.50	c.t.	-	Good	REMOVE
101	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
102	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
103	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
104	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
105	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
106	<i>Adonidia merrillii</i>	Christmas palm	9.00	c.t.	-	Good	REMOVE
107	<i>Adonidia merrillii</i>	Christmas palm	9.00	c.t.	-	Good	REMOVE
108	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
109	<i>Sabal palmetto</i>	cabbage palm	11.00	c.t.	KWSPTL	Good	RELOCATE
110	<i>Sabal palmetto</i>	cabbage palm	15.00	c.t.	KWSPTL	Fair	REMOVE
111	<i>Sabal palmetto</i>	cabbage palm	18.00	c.t.	KWSPTL	Fair	REMOVE
112	<i>Sabal palmetto</i>	cabbage palm	12.00	c.t.	KWSPTL	Good	RELOCATE
113	<i>Sabal palmetto</i>	cabbage palm	11.00	c.t.	KWSPTL	Good	RELOCATE
114	<i>Sabal palmetto</i>	cabbage palm	15.00	c.t.	KWSPTL	Fair	REMOVE
115	<i>Sabal palmetto</i>	cabbage palm	15.00	c.t.	KWSPTL	Fair	REMOVE
116	<i>Sabal palmetto</i>	cabbage palm	12.00	c.t.	KWSPTL	Good	RELOCATE
117	<i>Swietenia mahagoni</i>	mahogany	6.50	dsh	KWSPTL	Poor	REMOVE
118	<i>Swietenia mahagoni</i>	mahogany	9.50	dsh	KWSPTL	Poor	REMOVE
119	<i>Swietenia mahagoni</i>	mahogany	10.50	dsh	KWSPTL	Poor	REMOVE
120	<i>Swietenia mahagoni</i>	mahogany	7.00	dsh	KWSPTL	Poor	REMOVE
121	<i>Swietenia mahagoni</i>	mahogany	13.00	dsh	KWSPTL	Fair	RELOCATE
122	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Poor	REMOVE
123	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Fair	REMOVE
124	<i>Adonidia merrillii</i>	Christmas palm	6.60	c.t.	-	Good	REMOVE
125	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
126	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Fair	REMOVE
127	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Fair	REMOVE
128	<i>Adonidia merrillii</i>	Christmas palm	9.00	c.t.	-	Good	REMOVE
129	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
130	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
131	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
132	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
133	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
134	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
135	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Good	REMOVE
136	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
137	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Poor	REMOVE
138	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Poor	REMOVE
139	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Fair	REMOVE
140	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
141	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
142	<i>Adonidia merrillii</i>	Christmas palm	7.00	c.t.	-	Good	REMOVE
143	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
144	<i>Adonidia merrillii</i>	Christmas palm	8.00	c.t.	-	Good	REMOVE
145	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
146	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
147	<i>Adonidia merrillii</i>	Christmas palm	7.50	c.t.	-	Good	REMOVE
148	<i>Adonidia merrillii</i>	Christmas palm	6.00	c.t.	-	Good	REMOVE
149	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
150	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
151	<i>Adonidia merrillii</i>	Christmas palm	6.50	c.t.	-	Good	REMOVE
152	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Good	REMOVE
153	<i>Adonidia merrillii</i>	Christmas palm	5.50	c.t.	-	Fair	REMOVE
154	<i>Swietenia mahagoni</i>	mahogany	5.25	dsh	KWSPTL	Poor	REMOVE
155	<i>Swietenia mahagoni</i>	mahogany	4.00	dsh	KWSPTL	Poor	REMOVE
156	<i>Swietenia mahagoni</i>	mahogany	9.50	dsh	KWSPTL	Poor	REMOVE
157	<i>Coccoloba uvifera</i>	seagrape	6.50	dsh	KWSPTL	Fair	REMOVE
158	<i>Thrinax radiata</i>	Florida thatch palm	4.50	c.t.	KWSPTL	Good	REMOVE
159	<i>Coccoloba uvifera</i>	seagrape	6.75	dsh	KWSPTL	Poor	REMOVE
160	<i>Sabal palmetto</i>	cabbage palm	13.00	c.t.	KWSPTL	Good	PROTECT

TREE TABLE

#	Scientific Name	Common Name	Size (c.t. feet)		Listing	Condition	Disposition
			(dsh inches)	Unit			
161	<i>Sabal palmetto</i>	cabbage palm	16.00	c.t.	KWSPTL	Good	PROTECT
162	<i>Sabal palmetto</i>	cabbage palm	11.00	c.t.	KWSPTL	Fair	PROTECT
163	<i>Sabal palmetto</i>	cabbage palm	12.00	c.t.	KWSPTL	Good	PROTECT
164	<i>Sabal palmetto</i>	cabbage palm	12.50	c.t.	KWSPTL	Fair	PROTECT
165	<i>Sabal palmetto</i>	cabbage palm	10.50	c.t.	KWSPTL	Fair	PROTECT
166	<i>Sabal palmetto</i>	cabbage palm	11.50	c.t.	KWSPTL	Good	REMOVE
167	<i>Sabal palmetto</i>	cabbage palm	11.50	c.t.	KWSPTL	Fair	REMOVE
168	<i>Sabal palmetto</i>	cabbage palm	13.50	c.t.	KWSPTL	Fair	REMOVE
169	<i>Sabal palmetto</i>	cabbage palm	13.00	c.t.	KWSPTL	Good	REMOVE
170	<i>Sabal palmetto</i>	cabbage palm	13.50	c.t.	KWSPTL	Fair	REMOVE
171	<i>Sabal palmetto</i>	cabbage palm	14.00	c.t.	KWSPTL	Fair	REMOVE
172	<i>Sabal palmetto</i>	cabbage palm	16.00	c.t.	KWSPTL	Fair	REMOVE
1							



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PAOLO FERRERA, P.L.A. ON THE DATE ADJACENT TO THE SEAL.

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: PAOLO FERRERA  
LA 6667210

PROJECT TITLE:

PUBLIX AT KEY PLAZA  
PUBLIX STORE #1445

KENNEDY DRIVE AND NORTH  
ROOSEVELT BLVD.  
KEY WEST, FL 33040  
Parcel ID.: 00065640-000000

REAL SUB LLC  
PO Box 32018  
Lakeland, FL 33802

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2026-7003

DATE: 04/10/26

DRAWN BY: P.F.

CHECKED BY: N.H.O.

APPROVED BY: P.F.

SCALE: AS SHOWN

SHEET TITLE:

OVERALL PLANTING PLAN (CANOPY)

SHEET NUMBER:

### SYMBOL LEGEND

- EXISTING VEGETATION TO BE PROTECTED WITH TREE BARRIERS; AND PRUNED AS REQUIRED FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- RELOCATED VEGETATION
- EXISTING VEGETATION NOT IN SCOPE
- PROPOSED TREES/ PALMS
- PROPOSED SHRUBS/ GROUND COVERS

### NOTES:

1. SEE TREE TABLES FOR EXISTING VEGETATION DATA.
2. SEE PLANTING SCHEDULE FOR PROPOSED VEGETATION

### PLANTING NOTES

1. ALL TREE RELOCATION AND PLANTING WORK SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE PROVISIONS OF GOVERNING AUTHORITIES HAVING JURISDICTION, INCLUDING CITY OF MIRAMAR, BROWARD COUNTY AND LATEST ANSI A300 STANDARDS.
2. ALL PROVIDED PLANTS SHALL COMPLY WITH APPLICABLE PROVISIONS OF FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES GRADES AND STANDARDS FOR NURSERY PLANTS FOR GRADE NUMBER 1 OR BETTER.
3. ALL GUYS AND STAKING MATERIAL SHOULD BE REMOVED WHEN THE TREE IS STABLE AND ESTABLISHED, BUT IN NO CASE MORE THAN ONE YEAR AFTER INITIAL PLANTING OF THE TREE. TREE STABILIZATION SHALL BE IN ACCORDANCE WITH ANSI A-300 AND 2-133. TREES SHALL BE RE-STAKED IN THE EVENT OF BLOW OVER OR OTHER FAILURES OF THE STAKING AND GUYING.
4. SEE SURVEY FOR ADDITIONAL SITE INFORMATION.
5. REFER TO SPECIFICATIONS FOR ADDITIONAL CONTRACT REQUIREMENTS.
6. CONTRACTOR SHALL PROTECT ALL EXISTING PAVEMENTS, CURBING, WALLS, FENCING, VEGETATION, SHRUBS, GROUND COVER, SOD, UNDERGROUND UTILITIES, IRRIGATION EQUIPMENT AND OTHER SITE INFRASTRUCTURE INDICATED TO REMAIN WITHIN WORK AREAS FROM DAMAGE DURING PROGRESS OF WORK; AND SHALL RESTORE OR REPLACE ALL SUCH ITEMS DAMAGED DURING PROGRESS OF WORK TO MATCH EXISTING.
7. PROTECTIVE VEGETATION BARRIERS SHALL BE PROVIDED IN COMPLIANCE WITH ALL CITY OF MIRAMAR, BROWARD COUNTY REQUIREMENTS AND SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION.
8. CONTRACTOR SHALL CANOPY PRUNE AND ROOT PRUNE ALL EXISTING TREES AS MAY BE REQUIRED FOR COORDINATION WITH PROPOSED SITE IMPROVEMENTS. ALL PROTECTED AND/OR RELOCATED TREES SHALL BE CANOPY PRUNED TO PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 14 FEET ABOVE ALL FIRE DEPARTMENT ACCESS WAYS.
9. CONTRACTOR SHALL PROVIDE ROOT BARRIERS FOR ALL EXISTING AND PROPOSED TREES LOCATED WITHIN 6 FEET FROM NEW PAVEMENTS OR PEDESTRIAN AREAS. ALL SHADE TREES INSTALLED WITHIN SIX (6) FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM, AS APPROVED BY THE CITY. EXTENT OF ROOT BARRIERS SHALL BE COORDINATED IN FIELD. CONTRACTOR SHALL COORDINATE ROOT PRUNING WORK WITH SITE PAVING REPAIR AND CONSTRUCTION WORK. ALL ROOT PRUNING WORK SHALL BE PERFORMED UNDER SUPERVISION OF A CERTIFIED ARBORIST.
10. ALL EXISTING LANDSCAPE IN THE RIGHT-OF-WAY THAT IS ADJACENT TO WORK AREAS SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL PRUNE ANY TREE CANOPY ENROACHING ONTO PROJECT SITE AREAS AS MAY BE REQUIRED TO ACCOMMODATE PROPOSED ON-SITE IMPROVEMENTS.
11. ALL LANDSCAPE WORK SHALL BE COORDINATED WITH OTHER DISCIPLINES AS REQUIRED THROUGHOUT DURATION OF WORK. CONTRACTOR SHALL PROTECT AND MAINTAIN RELOCATED TREES/PALMS IN SECURE TEMPORARY STAGING AREA AS MAY BE REQUIRED, INCLUDING STAKING, WATERING AND PRUNING, TO ENSURE OVERALL HEALTH OF TREES/PALMS.
12. ANY TREE/PALM THAT SHOULD DIE, OR IS OTHERWISE FOUND TO BE UNACCEPTABLE TO THE LANDSCAPE ARCHITECT/ OWNER DURING TEMPORARY STAGING OR WITHIN THE REQUIRED MAINTENANCE PERIOD AFTER FINAL INSTALLATION, SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR WITH EQUAL OR BETTER PLANT MATERIAL, AND THE SITE SHALL BE RESTORED AT NO ADDITIONAL COST TO OWNER.
13. CONTRACTOR SHALL PROVIDE TEMPORARY OR PERMANENT IRRIGATION PRIOR TO, OR CONCURRENTLY WITH ALL TREE/PALM RELOCATION WORK. ALL RELOCATED PLANT MATERIAL SHALL BE WATERED BEGINNING AT THE TIME OF INITIAL TRANSPLANTING, AND SUBSEQUENTLY THEREAFTER AS REQUIRED. REFER TO PLANTING SPECIFICATIONS.
14. CONTRACTOR SHALL WARRANTY NEWLY INSTALLED TREES FOR A PERIOD OF AT LEAST ONE (1) YEAR, BEGINNING AFTER FINAL ACCEPTANCE. CONTRACTOR SHALL PROVIDE MAINTENANCE OF PLANTS IMMEDIATELY AFTER INSTALLATION AS MAY BE REQUIRED TO ENSURE OVERALL HEALTH OF TREES, INCLUDING STAKING/BRACING, WATERING, PRUNING, AND REPLACEMENT.
15. PROVIDE DYE-FREE MULCH FROM MELALEUCA, EUCALYPTUS, AUSTRALIAN PINE, OR OTHER NON-OLD GROWTH HARDWOOD FOR ALL PLANTING AREAS UNLESS NOTED OTHERWISE. MULCH RINGS SHALL EXTEND AT LEAST 3 FEET FROM EDGE OF TREE TRUNKS AND BASE OF PALMS. MULCH SHALL BE AT LEAST 6 INCHES AWAY FROM ANY PORTION OF A BUILDING OR STRUCTURE, AND AT LEAST 3 INCHES AWAY FROM TREE TRUNKS, PALMS, OR SHRUB STEMS. MULCH SHALL BE APPLIED TO COMPLETELY COVER ALL LANDSCAPE AREAS, AND EXTEND TO NEAREST PAVEMENT, CURBING OR FENCING. CONTRACTOR SHALL SUBMIT PRODUCT SAMPLE FOR APPROVAL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
16. NO STRUCTURE OR PLANTING SHALL EXCEED 30 INCHES IN HEIGHT WITHIN SAFETY SIGHT TRIANGLES.
17. SHRUBS SHALL BE INSTALLED WITH A MINIMUM HEIGHT OF 24 INCHES AND SPREAD OF 18 INCHES IMMEDIATELY UPON PLANTING.
18. ALL INVASIVE PLANT SPECIES INCLUDED IN LATEST FLORIDA INVASIVE SPECIES COUNCIL CATEGORY I PLANT LIST SHALL BE REMOVED FROM THE PROJECT SITE IN THEIR ENTIRETY, INCLUDING THE ROOTBALL, ALL SPROUTS AND DROPPINGS. FIELD VERIFY ALL.

### SUB-GRADE NOTES

1. ALL PROPOSED LANDSCAPE AREAS SHALL BE FREE FROM ANY REMNANT SUB-SURFACE STRUCTURAL OR PAVEMENT ELEMENTS INCLUDING FOUNDATIONS, FOOTINGS AND COMPACTED SUB-BASE LAYERS. ALL NEW PLANTING BEDS, LANDSCAPE AREAS LOCATED IN RECLAIMED PAVED AREAS AND LANDSCAPE ISLANDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF THIRTY-SIX (36) INCHES BELOW THE INTENDED ROOT BALL DEPTH, AND BACK-FILLED WITH A SUITABLE SOIL AS NOTED BELOW.
2. BACKFILL MATERIAL SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS, OR OTHER EXTRANEOUS MATERIAL OVER 1-INCH IN DIAMETER. CONTRACTOR SHALL DOCUMENT ALL SUB-SURFACE CONDITIONS FOR APPROVAL BY LANDSCAPE ARCHITECT/ OWNER/ ENGINEER PRIOR TO PLANT INSTALLATIONS. ADDITIONAL SOIL PERCOLATION TESTING AND/OR SOIL AMENDMENTS MAY BE REQUIRED AS DETERMINED IN FIELD TO ENSURE HEALTHY GROWING CONDITIONS.

### SOIL NOTE

1. THE REQUIRED SOIL MIX COMBINATION FOR THE LANDSCAPING BEDS MUST CONSIST OF 25% MUSHROOM COMPOST, 25% PINE BARK FINES AND 50% OF A SOIL WITH A PH LESS THAN 7 WHICH IS THEN MIXED INTO 50% NATIVE SOIL.

### SHELL MULCH NOTE

1. PROVIDE 3-INCH DEEP LAYER OF NATIVE FLORIDA SHELL MULCH FOR ALL PLANTING AREAS UNLESS NOTED OTHERWISE. MULCH SHALL BE AT LEAST 3 INCHES AWAY FROM THE EDGE OF TREE TRUNKS, PALMS, OR SHRUB STEMS. MULCH SHALL BE APPLIED TO COMPLETELY COVER ALL LANDSCAPE AREAS, AND EXTEND TO NEAREST PAVEMENT, CURBING OR FENCING. CONTRACTOR SHALL SUBMIT PRODUCT SAMPLE FOR APPROVAL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

## OVERALL PLANTING PLAN (CANOPY)

SCALE: 1" = 60'

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**LANDSCAPE REQUIREMENTS**

4/10/24, 8:38 AM Key West, FL Code of Ordinances  
 Sec. 108-413 - Requirements along street frontage.

(a) Location of landscaping. Landscaping shall be required to be located within the property line and/or building setback as established by the land development regulations or as otherwise established. Landscaping, when required in easements, may be adjusted by the planning board. A decision on any related issue decided upon by the planning board but remaining in dispute shall be resolved by the city commission.

(b) Minimum standards. The landscaping shall comply with the following stipulated minimum standards and shall, in all cases, consist of a minimum of 70 percent native species. The local extension service provides a list of native trees, shrubs, and ground cover:

MINIMUM STANDARDS FOR LANDSCAPING ALONG THE RIGHT-OF-WAY

Area of Site	Width of Required Landscaping (linear feet)	Number of Plant Units* Required per 100 Linear Feet of Property Line or Right-of-Way
Less than 0.5 acre	10	40
0.5 to <1 acre	20	80
1 to <3 acres	30	120
3 or more acres	40	160

\*A plant unit is a measurement describing the amount of required plant material in flexible units based on the unit values in the following table.

Type of Plant Material	Number of Plant Units
One canopy or shade tree	10
One evergreen or ornamental tree	3
One shrub	1

All property other than the required landscaped strip lying between the right-of-way and off-street parking area or other vehicular use area shall be landscaped with grass or other ground cover.

(c) Required screening material. Any combination of barriers, shrub or landscaped berm shall be planted or installed along the entire length of each required landscape strip. In all residential or commercial or mixed use districts, the barrier, shrub, or landscaped berm (berm with shrubs) shall be a minimum of 3.5 feet in height, except in commercial districts, where the barrier, shrub or landscaped berm along street rights-of-way shall be a minimum of three feet in height.

Where a barrier is erected, the barrier shall be restricted to a decorative masonry wall pursuant to standards cited in section 108-465. Where a decorative wall is provided, the required plant material shall be planted on the street side along a public right-of-way and shall be maintained in perpetuity.

4/10/24, 8:38 AM Key West, FL Code of Ordinances  
 By the applicant or successive owners. All nonliving barriers abutting public streets shall be at least 18 inches inside the property line or within the building setback line, whichever is greater.

(Ord. No. 97-10, § 1(3)-1(3.5), 7-3-1997)  
 Sec. 108-414 - Requirements for interior areas.

(a) Scope. This section presents a summary of the minimum requirements for landscaping and tree planting within the interior of parking lots and along the other perimeters of a parking lot.

(b) Size and composition of interior landscaping. All off-street parking areas including all paved areas for off-street parking, drives, aisles, standing zones, and other vehicular use areas, except parking areas for single-family residences, shall have a minimum landscape area of 20 percent of the total parking area. Each landscaped area shall have a minimum dimension of six feet with a minimum of 60 square feet of continuous landscaped open area and is required to contain at least one shade tree. All landscaped open area shall contain grass, ground cover or other living plant material. Landscaped area for the interior of parking lots as well as landscaped area for perimeter requirements and other nonvehicular use areas shall not include any water areas. The total number of required trees shall be one tree for each 100 square feet or fraction thereof of required landscape area.

(c) Use of interior landscape strip. Interior parking landscaping shall, insofar as possible, be used to delineate and guide major traffic movement within the parking area and to prevent cross space driving wherever possible. Landscaping dividing strips with concrete curbing along the outer perimeter and with or without walkways shall be used to subdivide parking areas. Landscaping shall be designed so no more than ten spaces shall be in an uninterrupted row. Where two rows of parking spaces are adjacent to one another (i.e., head to head), a landscape strip with a minimum dimension of six feet shall be planted along the common boundary. In addition, each ten parking stalls must be separated by a parallel landscaped area with a minimum dimension of nine feet to allow car doors to open freely. The end of each aisle and corner area must be landscaped. Each landscape strip shall contain a minimum of one shade tree.

(Ord. No. 97-10, § 1(3)-1(3.6), 7-3-1997)  
 Sec. 108-415 - Perimeter landscape requirements.

(a) Scope, standards. Perimeter landscaping defines parking areas and prevents two adjacent lots from becoming one large expanse of paving. Perimeter landscaped areas for all off-street parking areas, excepting single-family homes and parking lots for six or less vehicles, must meet the following standards:

MINIMUM PARKING LOT PERIMETER LANDSCAPING

Building Site (sq. ft.)	Perimeter Landscaping Width (feet)
20,000 or less	5.0
20,000—50,000	7.5
Over 50,000	10.0

(b) Required plant material in perimeter landscape strip. One canopy shade tree and ten shrubs per 35 linear feet or fraction thereof is required in perimeter landscaped areas.

(c) Cross easements. Cross easements between abutting parking lots together with coordinated plans for access, egress and internal circulation may be required for purposes of maintaining adopted levels of service for traffic circulation and avoiding the cumulative effect of uncontrolled curb cut proliferation.

(Ord. No. 97-10, § 1(3)-1(3.7), 7-3-1997)  
 Sec. 108-416 - Other landscape requirements for nonvehicular use areas.

(a) Trees shall be planted in the nonvehicular open space, excluding the required street frontage landscape strips, the interior parking lot landscape strips, and the perimeter landscape strips, to meet the following requirements:

LANDSCAPE REQUIREMENTS IN NONVEHICULAR USE AREAS

Percent of Site in Nonvehicular Open Space (NOS) (percent)	Tree Requirement
Less than 30	4 trees/2,000 sq. ft. NOS
30—39	4 trees/2,500 sq. ft. NOS
40—49	4 trees/3,000 sq. ft. NOS
50—59	4 trees/3,500 sq. ft. NOS
60 or more	4 trees/4,000 sq. ft. NOS

(b) Grass, ground cover, shrubs, and other landscaping materials shall be used to treat all ground not covered by building, paving, or other structures. All structures shall be treated with landscaping so as to enhance the appearance of the structure and to screen any unsightly features. Trees, as required in this section, shall be spaced in clusters or situated in strategic locations consistent with good principles of design and plant installation.

(Ord. No. 97-10, § 1(3)-1(3.8), 7-3-1997)

**PLANTING SCHEDULE (CANOPY)**

KEY	DESCRIPTION	CATEGORY	NOTES	NATIVE	WATER USE	QUANTITY
BS	BURSERIA SIMARUBA GUMBO LIMBO 16' HEIGHT/ 5' CANOPY/ 3" CALIPER/ 4' CLEAR TRUNK	LARGE SHADE TREE		YES	LOW	57
CD	COCOLOBA DIVERSIFOLIA PIGEON PLUM 14' HEIGHT/ 5' CANOPY/ 2.5' CALIPER/ 5' CLEAR TRUNK	MEDIUM SHADE TREE		YES	LOW	0
CE	CONOCARPUS ERECTUS GREEN BUTTONWOOD 16' HEIGHT/ 5' CANOPY/ 3" CALIPER/ 5' CLEAR TRUNK	LARGE SHADE TREE		YES	LOW	96
CN	COCOS NUCIFERA COCONUT PALM 14' GREY WOOD	LARGE PALM		YES	LOW	16
CO	CHRYSOPLYLLUM OLIVIFORME SATIN LEAF TREE 14' HEIGHT/ 5' CANOPY/ 2.5' CALIPER/ 5' CLEAR TRUNK	MEDIUM SHADE TREE		YES	LOW	59
CP	CALYPTRANTHES PALLENS SPICEWOOD 10' HEIGHT/ 5' CANOPY/ 2" CALIPER	SMALL SHADE TREE		YES	LOW	0
CU	COCOLOBA UVIFERA SEA GRAPE 14' HEIGHT/ 5' CANOPY/ 2.5' CALIPER/ 5' CLEAR TRUNK	MEDIUM SHADE TREE		YES	LOW	22
CW	CAPELLA WINTERANA WILD CINNAMON BARK 12' HEIGHT/ 4' CANOPY/ 2" CALIPER	SMALL SHADE TREE		YES	LOW	0
EF	EUGENIA FOETIDA SPANISH STOPPER 18' HEIGHT/ 18' SPREAD/ FULL	SMALL SHADE TREE		YES	LOW	10
FA	FIGUS AUREA STRANGLER FIG 18' HEIGHT/ 10' CANOPY/ 5' CALIPER/ 6' CLEAR TRUNK	LARGE SPECIMEN TREE		YES	LOW	4
FC	FIGUS CITRIFOLIA SHORT LEAF FIG 20' HEIGHT/ 10' CANOPY/ 5' CALIPER/ 6' CLEAR TRUNK	LARGE SPECIMEN TREE		YES	LOW	15
GD	GUAPIRA DISCOLOR BLOLLY 12' HEIGHT/ 4' CANOPY/ 2" CALIPER	MEDIUM SHADE TREE		YES	LOW	13
LL	LYSILOMA LATSILIOQUUM WILD TAMARIND 14' HEIGHT/ 5' CANOPY/ 2.5' CALIPER	LARGE SHADE TREE		YES	LOW	52
MF	MYRCIANTHES FRAGRANS SIMPSON'S STOPPER 12' HEIGHT/ 4' CANOPY/ 2" CALIPER	SMALL TREE		YES	LOW	42
PP	PISCIDIA PISCIPULA JAMAICA DOGWOOD 12' HEIGHT/ 4' CANOPY/ 2" CALIPER	MEDIUM SHADE TREE		YES	LOW	0
RR	ROYSTONEA REGIA ROYAL PALM 12' GREY WOOD	LARGE PALM		YES	LOW	17
SF	SIDEROXYLON FOETIDISSIMUM MASTIC 16' HEIGHT/ 5' CANOPY/ 3" CALIPER/ 4' CLEAR TRUNK	LARGE SHADE TREE		YES	LOW	0
SP	SABAL PALMETTO CABBAGE PALM 12' CLEAR TRUNK	LARGE PALM		YES	LOW	0
TR	THRINAX RADIATA FLORIDA THATCH PALM 12' HEIGHT/ 4' CLEAR TRUNK	SMALL PALM		YES	LOW	27

**PLANTING SCHEDULE (UNDERSTORY)**

KEY	DESCRIPTION	CATEGORY	NOTES	NATIVE	WATER USE	QUANTITY
BL	BYRSONIMA LUCIDA LOCUST BERRY 24' HEIGHT/ 24' SPREAD/ 36" OC	SHRUB		YES	LOW	TBD
CIR	CHRYSOBALANIS ICACO CV RED TIP COCOPLUM 30' HEIGHT/ 24' SPREAD/ 30" OC	SHRUB		YES	LOW	TBD
CR	CLUSIA ROSEA CLUSIA 30' HEIGHT/ 24' SPREAD/ 30" OC FULL SHRUB	SHRUB		YES	LOW	TBD
CRN	CLUSIA ROSEA 'NANA' COCONUT PALM 18' HEIGHT/ 18' SPREAD/ 24" OC FULL SHRUB	SHRUB		YES	LOW	TBD
EL	ERNODEA LITTORALIS GOLDEN BEACH CREEPER 12' HEIGHT/ 18' SPREAD/ 18" OC	GROUND COVER		YES	LOW	TBD
HD	HELIANTHUS DEBILIS BEACH SUNFLOWER 16' HEIGHT/ 18' SPREAD/ 24" OC	GROUND COVER		YES	LOW	TBD
HL	HYMENOCALLIS LATIFOLIA PERFUMED SPIDER LILY 18' HEIGHT/ 18' SPREAD/ 24" OC	GROUND COVER		YES	LOW	TBD
IVS	ILEX VOMITORIA 'SCHELLINGS' DWARF YAUPON HOLLY 18' HEIGHT/ 18' SPREAD/ 24" OC	SHRUB		YES	LOW	TBD
LI	LANTANA INVOLUCRATA SPANISH STOPPER 18' HEIGHT/ 18' SPREAD/ 24" OC	SHRUB		YES	LOW	TBD
MC	MUHLBERGIA CAPILLARIS PINK MUHLY GRASS 18' HEIGHT/ 18' SPREAD/ 30" OC	GROUND COVER		YES	LOW	TBD
QJ	QUADRELLA JAMAICENSIS JAMAICAN CAPER 24' HEIGHT/ 30' SPREAD/ 36" OC FULL SHRUB	SHRUB		YES	LOW	TBD
TA	TRACHELOSPERMUM ASIATICUM 'MINIMA' ASIATIC JASMINE 6' HEIGHT/ 12' SPREAD/ 18" OC	GROUND COVER		YES	LOW	TBD
VM	VERBENA MARITIMA BEACH VERBENA 12' HEIGHT/ 12' SPREAD, 18" OC	GROUND COVER		YES	LOW	TBD
ZP	ZAMIA PUMILA COONTIE 30' HEIGHT/ 30' SPREAD/ 36" OC	GROUND COVER		YES	LOW	TBD

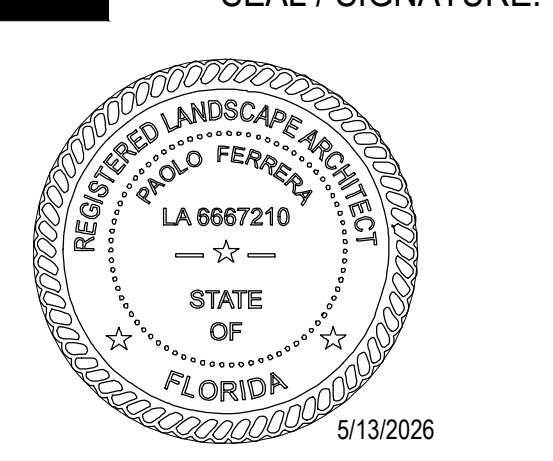
NOTES:  
 1. SHRUB AND GROUND COVER QUANTITIES ARE APPROXIMATE. CONTRACTOR SHALL FILL ENTIRE LANDSCAPE AREAS AS SHOWN ON PLANS.  
 2. ALL STREET TREES/PALMS WITH THEIR CANOPY LOCATED WITHIN THE PUBLIC ROW TO BE PROVIDED WITH A CANOPY HEIGHT CLEARANCE OF 8 FEET (MIN.).  
 3. ALL GROUND COVERS LOCATED WITHIN CLEAR SIGHT TRIANGLE SHALL BE MAINTAINED AT HEIGHT OF 18 INCHES OR LESS.



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 Suite 230  
 Miami, FL 33156  
 305 / 378 5555  
 305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PAOLO FERRERA, P.L.A. ON THE DATE ADJACENT TO THE SEAL.

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM : PAOLO FERRERA  
 LA 6667210

PROJECT TITLE:

PUBLX AT KEY PLAZA  
 PUBLX STORE #1445

KENNEDY DRIVE AND NORTH  
 ROOSEVELT BLVD.  
 KEY WEST, FL 33040  
 Parcel ID.: 00065640-000000

REAL SUB LLC  
 PO Box 32018  
 Lakeland, FL 33802

ISSUE:  
 NO. DATE REVISIONS BY

PROJECT INFORMATION:

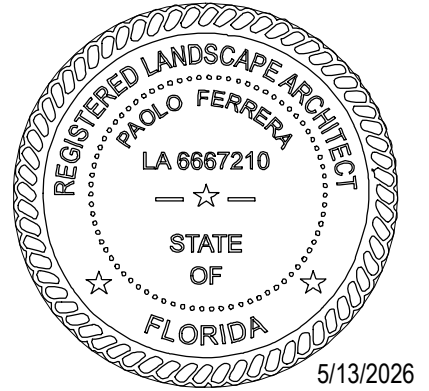
PROJECT NUMBER: 2026-7003  
 DATE: 04/10/26  
 DRAWN BY: P.F.  
 CHECKED BY: N.H.O.  
 APPROVED BY: P.F.  
 SCALE: AS SHOWN

SHEET TITLE:  
 PLANTING SCHEDULE

SHEET NUMBER:

L-2.1

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PAOLO FERRERA, R.L.A. ON THE DATE ADJACENT TO THE SEAL.

SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: PAOLO FERRERA  
LA 6687210

PROJECT TITLE:

PUBLX AT KEY PLAZA  
PUBLX STORE #1445

KENNEDY DRIVE AND NORTH  
ROOSEVELT BLVD.  
KEY WEST, FL 33040  
Parcel ID.: 00065640-000000

REAL SUB LLC  
PO Box 32018  
Lakeland, FL 33802

ISSUE:

NO. DATE REVISIONS BY

PRELIMINARY - NOT FOR CONSTRUCTION

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APPROVED BY: P.F.

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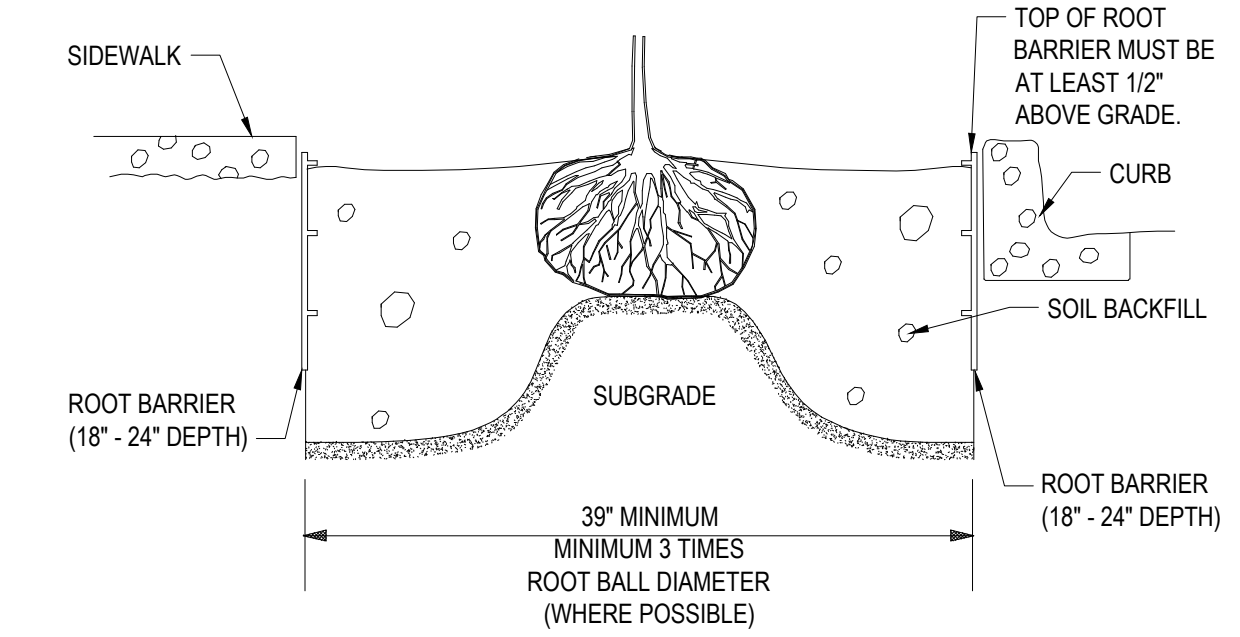
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PLANTING DETAILS

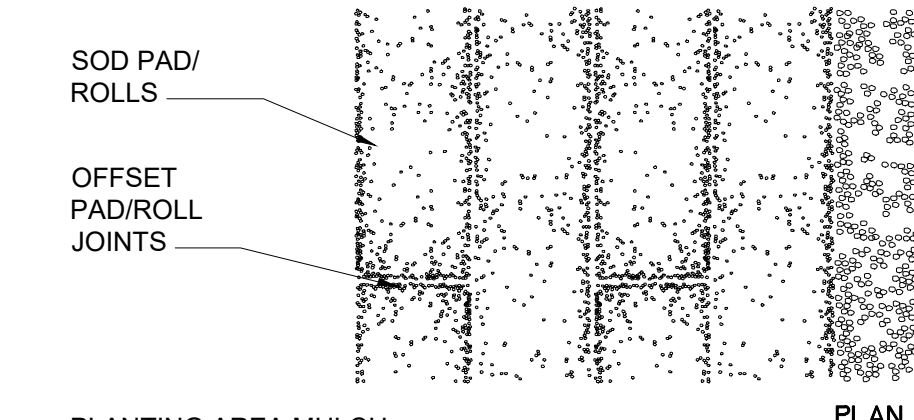
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### SHELL MULCH NOTE

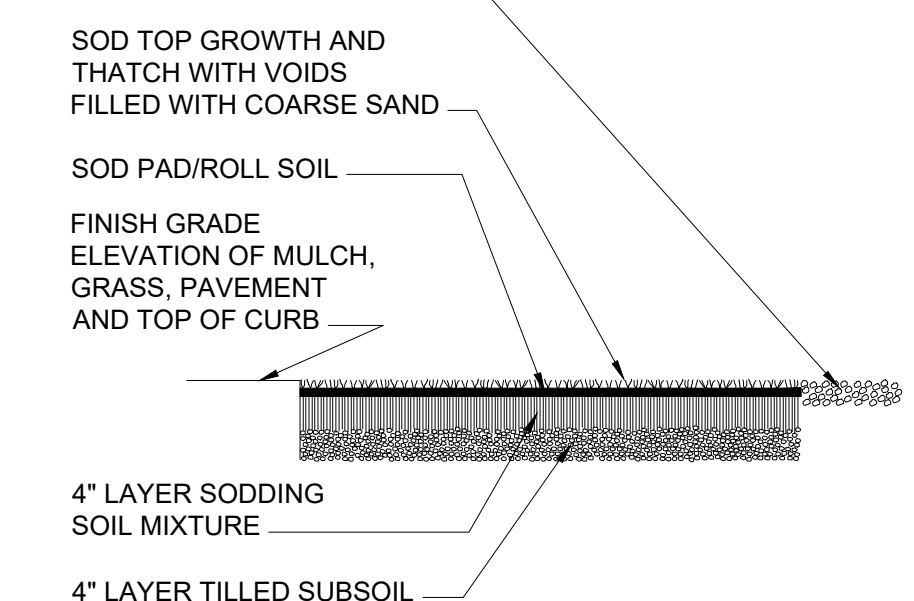
- PROVIDE 3-INCH DEEP LAYER OF NATIVE FLORIDA SHELL MULCH FOR ALL PLANTING AREAS UNLESS NOTED OTHERWISE. MULCH SHALL BE AT LEAST 3 INCHES AWAY FROM THE EDGE OF TREE TRUNKS, PALMS, OR SHRUB STEMS. MULCH SHALL BE APPLIED TO COMPLETELY COVER ALL LANDSCAPE AREAS, AND EXTEND TO NEAREST PAVEMENT, CURBING OR FENCING. CONTRACTOR SHALL SUBMIT PRODUCT SAMPLE FOR APPROVAL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



ROOT BARRIER DETAIL  
N.T.S.

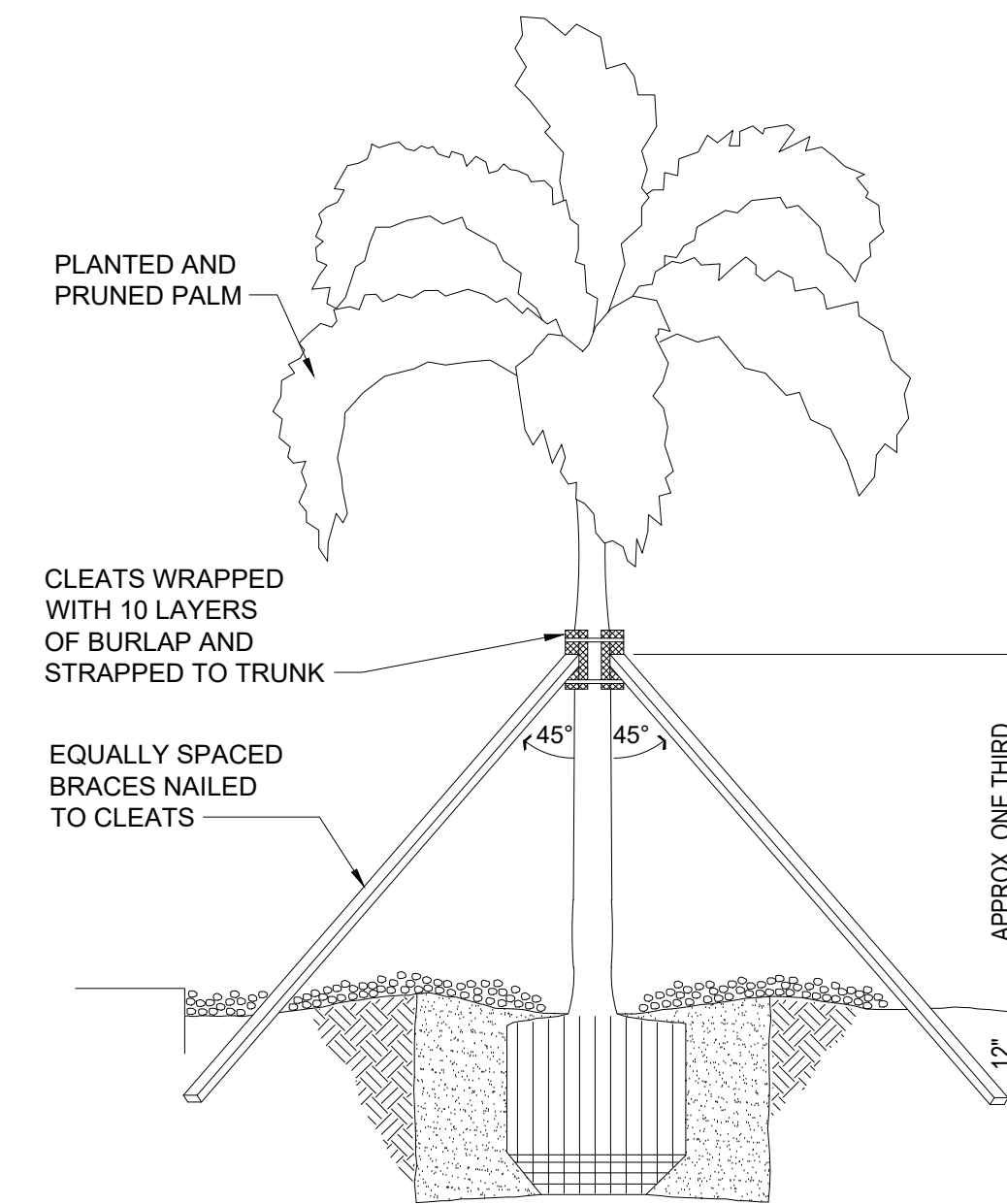


PLAN



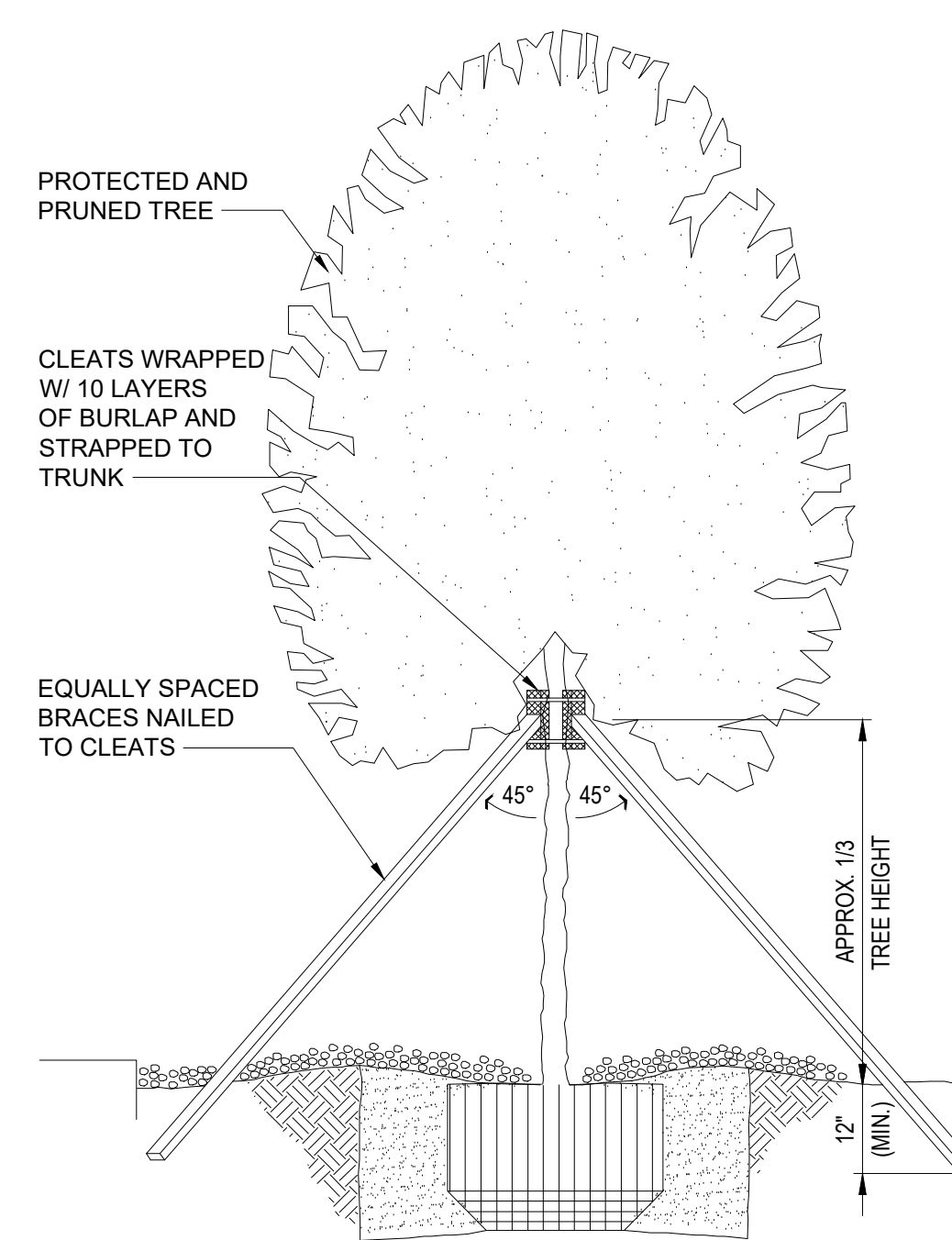
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CALIPER	CLEATS	STRAPS	BRACES	NAILS
4"-8"	2"x4"x8"	(2) 1/2"x0.20"	(3) 2"x4"	(2) 16d
8"-12"	2"x4"x12"	(3) 1/2"x0.20"	(4) 2"x4"	(3) 16d
12"-24"	2"x4"x12"	(3) 1/2"x0.20"	(5) 2"x4"	(3) 16d

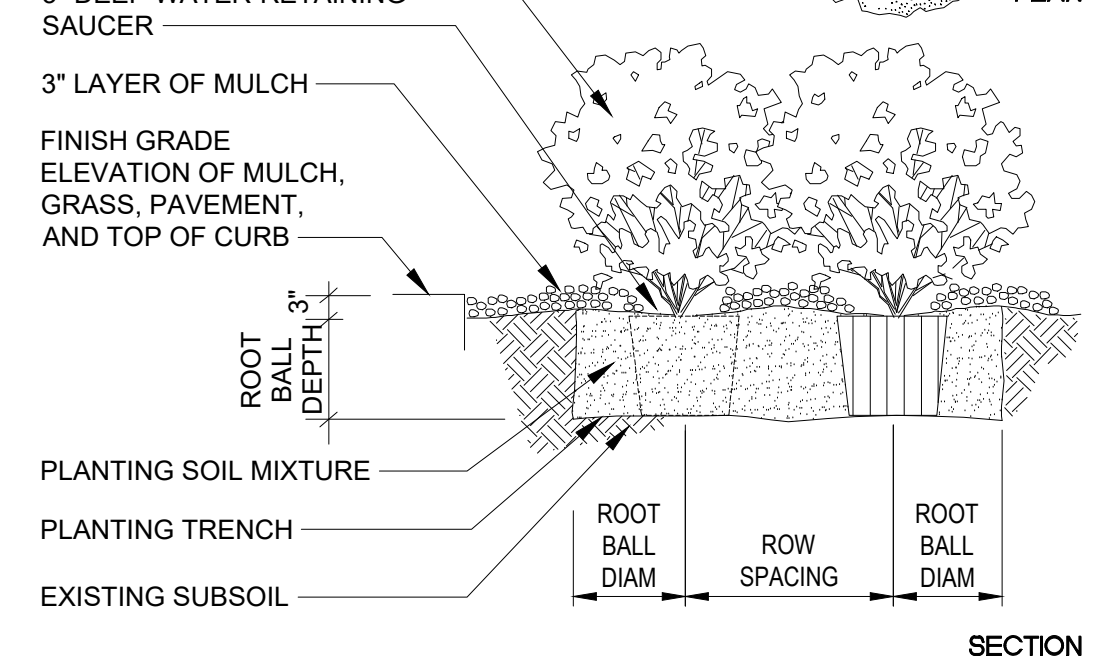
PALM BRACING DETAIL  
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CALIPER	CLEATS	STRAPS	BRACES	NAILS
4"-8"	2"x4"x8"	(2) 1/2"x0.20"	(3) 2"x4"	(2) 16d
8"-12"	2"x4"x12"	(3) 1/2" X 0.20"	(4) 2"x4"	(3) 16d
12"-24"	2"x4"x12"	(3) 1/2" X 0.20"	(5) 2"x4"	(3) 16d

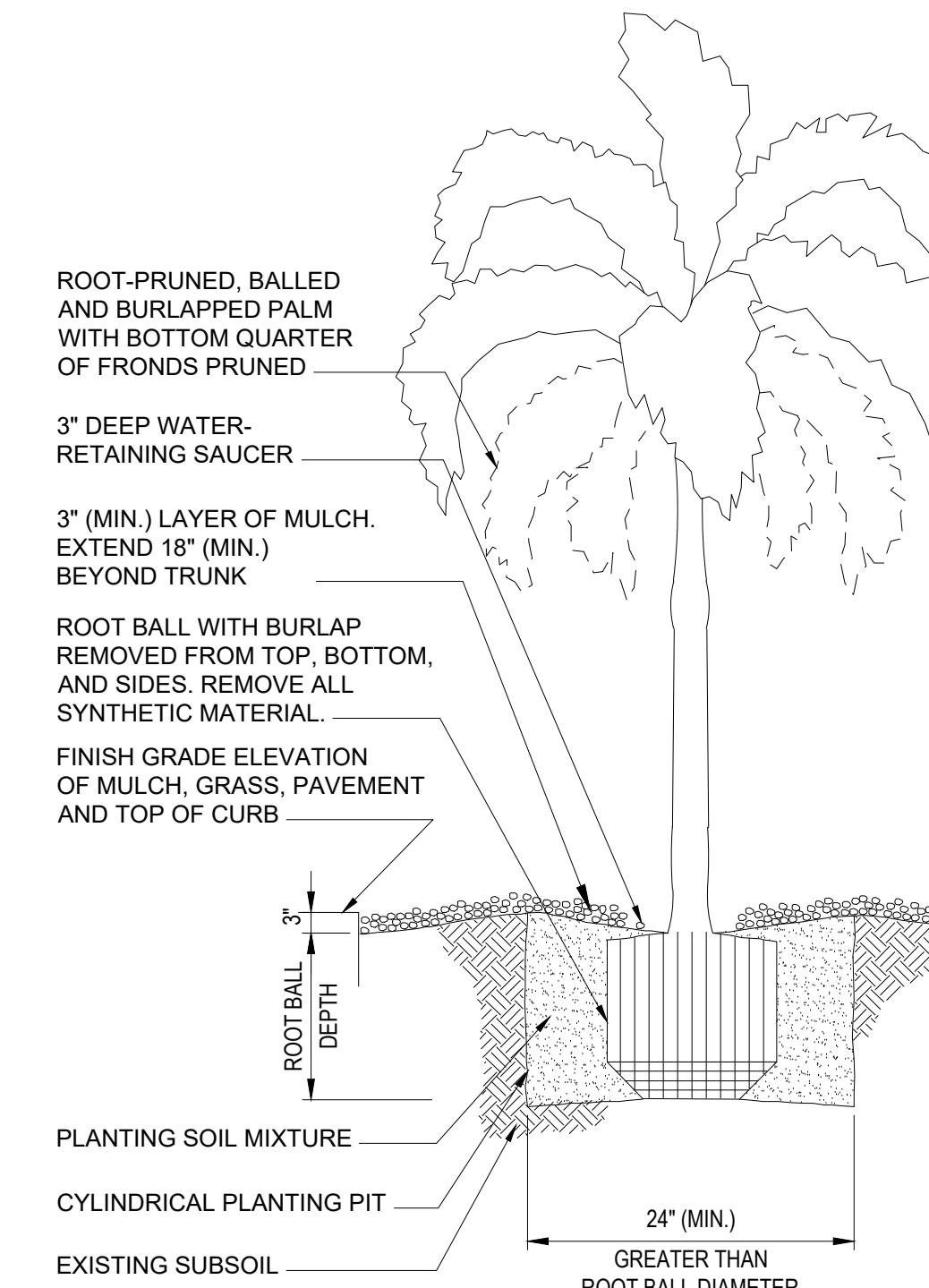
TREE BRACING DETAIL  
N.T.S.

TRIANGULAR PLANT LAYOUTS	
PLANT SPACING	ROW SPACING
12"	10.4"
18"	15.6"
24"	20.8"
30"	26.0"
36"	31.2"
48"	41.6"
60"	52.0"

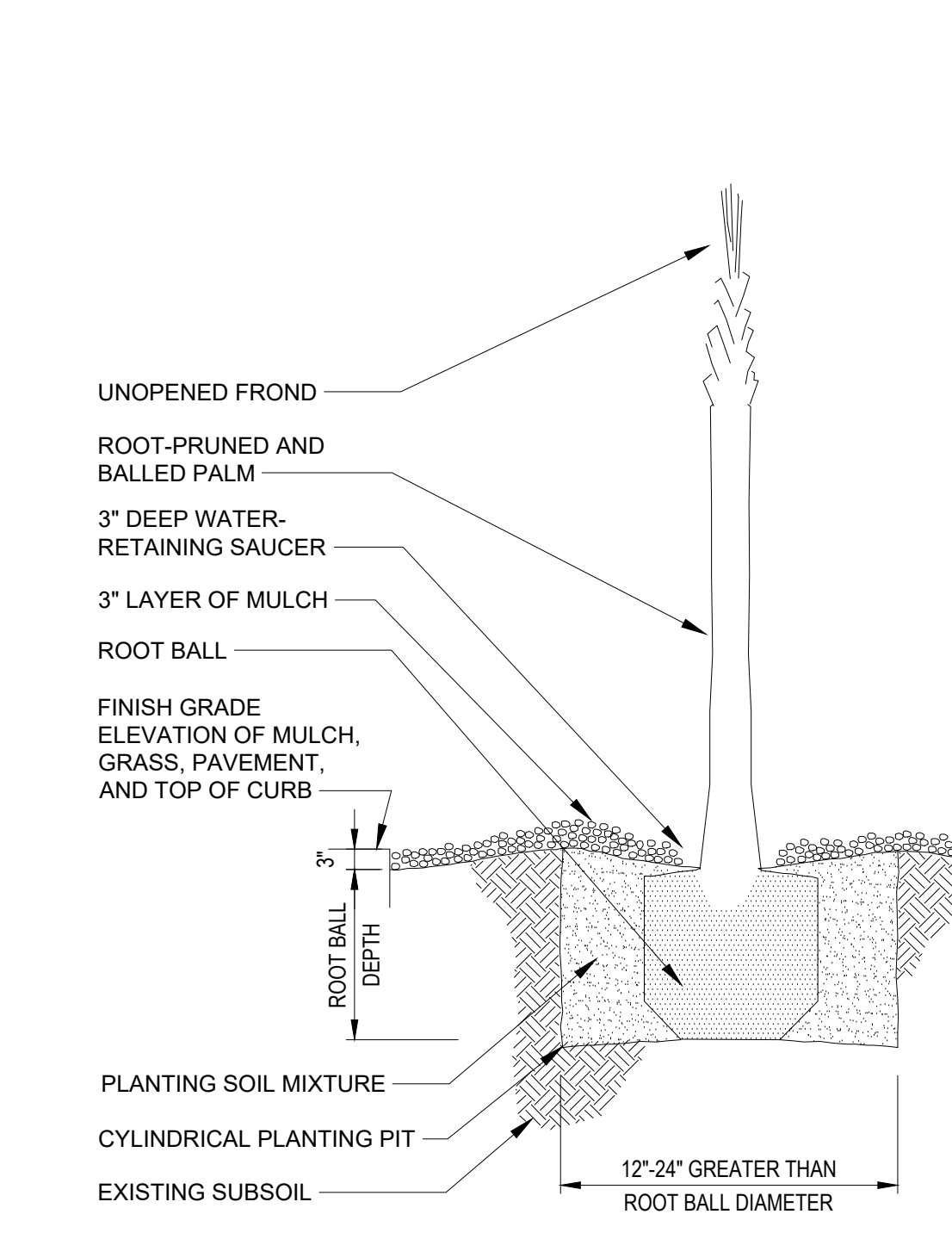


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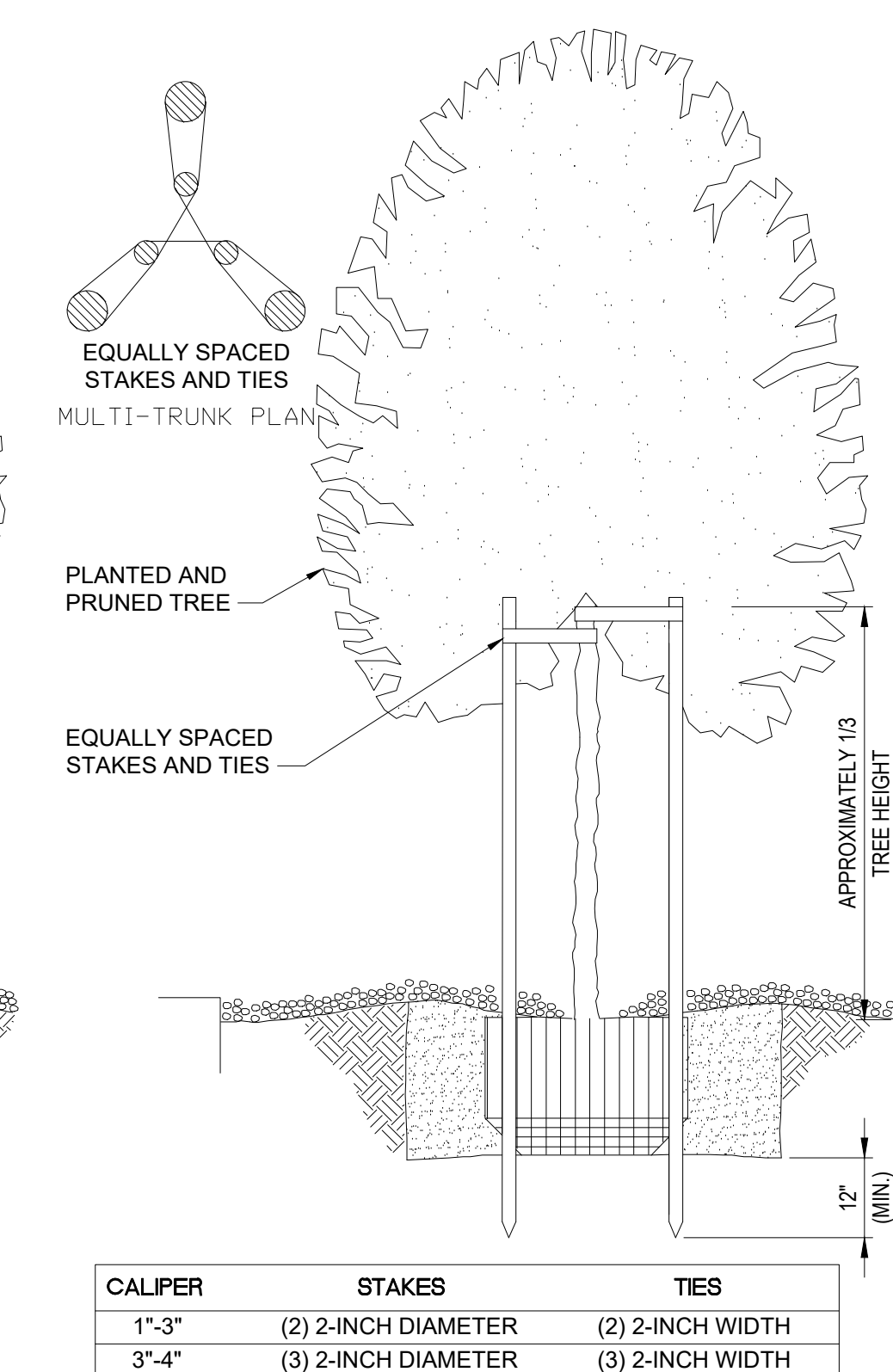
SHRUB PLANTING DETAIL  
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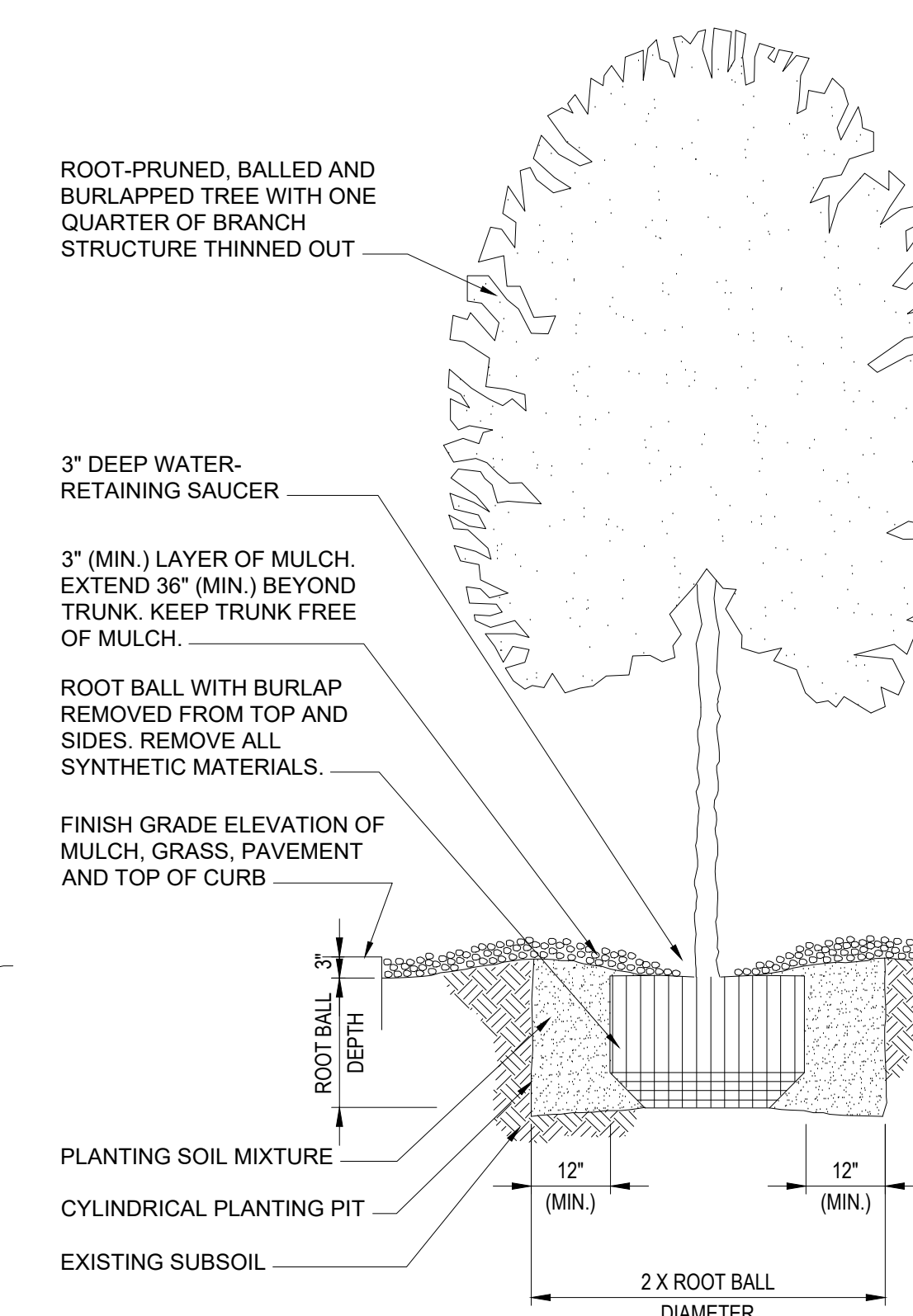
PALM PLANTING DETAIL  
N.T.S.



SABAL PALM PLANTING DETAIL  
N.T.S.

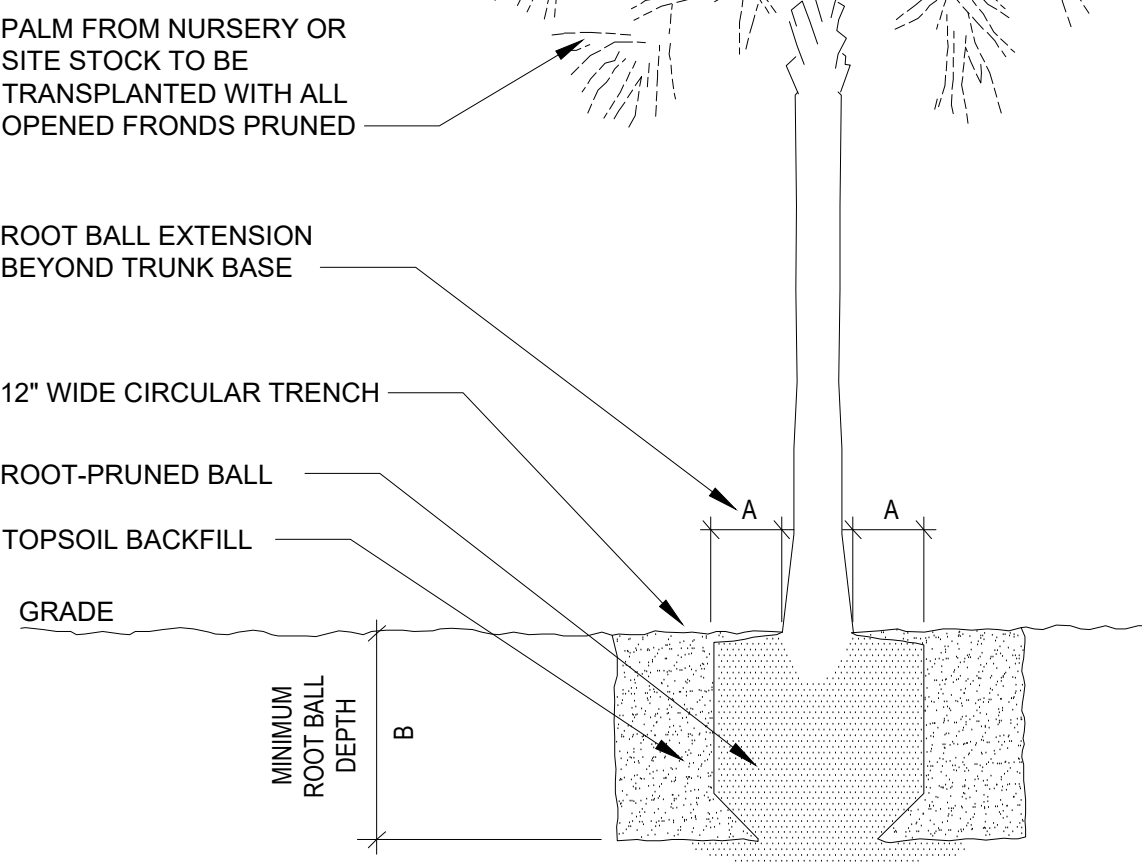


TREE STAKING DETAIL  
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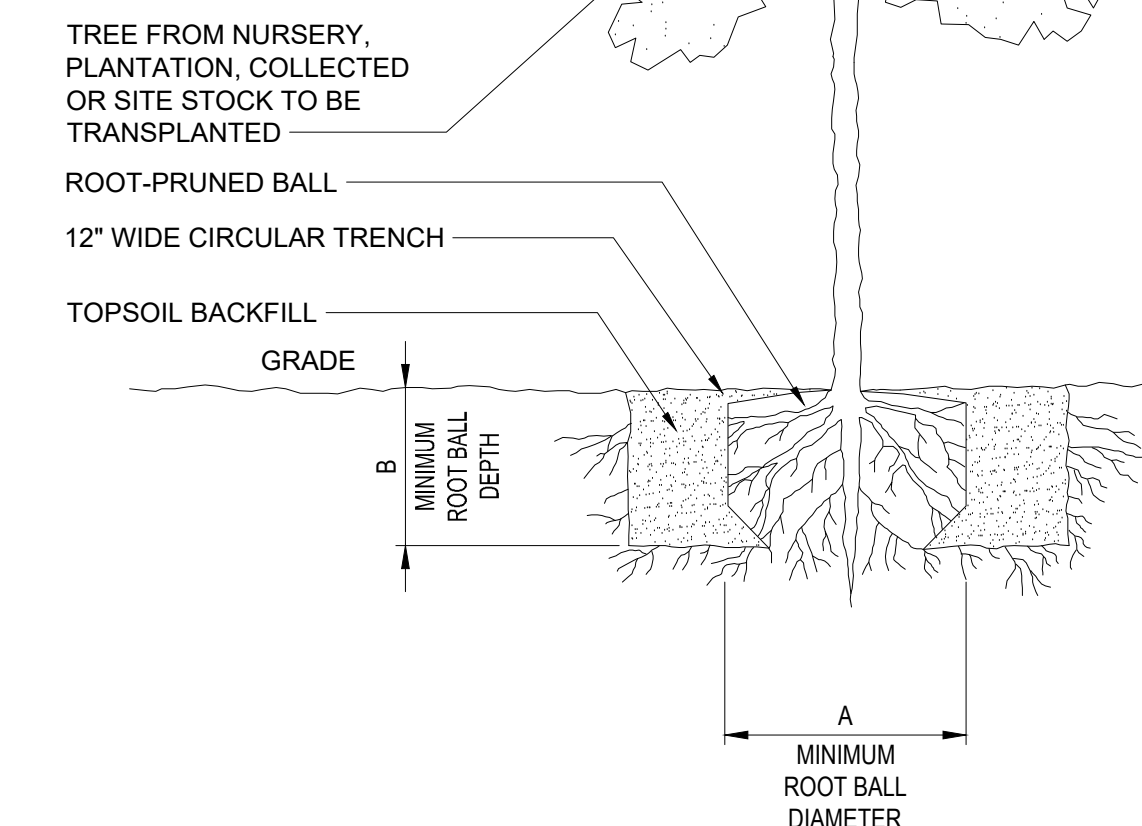
TREE PLANTING DETAIL  
N.T.S.

MINIMUM ROOT BALL DIMENSIONS		
HEIGHT	A	B
UNDER 15'	8"	12"
15'-25'	10"	18"
25'-30'	12"	24"
OVER 30'	14"	24"



SABAL PALM DIGGING DETAIL  
N.T.S.

MINIMUM ROOT BALL DIMENSIONS		
CALIPER	A	B
1" - 1-1/2"	18"	12"
1-1/2" - 2"	22"	15"
2" - 2-1/2"	26"	17"
2-1/2" - 3"	30"	20"
3" - 3-1/2"	34"	22"
3-1/2" - 4"	38"	25"
4" - 4-1/2"	42"	27"
4-1/2" - 5"	46"	30"
5" - 5-1/2"	50"	32"
5-1/2" - 6"	54"	35"
OVER 6"	10-12" PER INCH OF CALIPER	2/3 OF BALL DIAM



TREE DIGGING DETAIL  
N.T.S.

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