

# MALLORY SQUARE RESTAURANT

## KEY WEST, FLORIDA



| DRAWING LIST |                                      |
|--------------|--------------------------------------|
| SHT. No.     | DESCRIPTION                          |
| T-1          | COVER SHEET                          |
| A-1          | PROPOSED SITE PLAN 1"=30'-0"         |
| A-1.1        | PROPOSED SITE PLAN 1/8"=1'-0"        |
| A-2          | FIRST FLOOR PLAN 1/8"=1'-0"          |
| A-3          | SECOND FLOOR PLAN 1/8"=1'-0"         |
| A-4          | ELEVATIONS                           |
| A-5          | ELEVATIONS                           |
| L-1.0        | EXISTING TREE DISPOSITION PLAN       |
| L-2.0        | LANDSCAPE PLAN                       |
| L-2.1        | PLANTING PLAN                        |
| L-2.2        | PLANTING NOTES & DETAILS             |
| C-1          | DRAINAGE PLAN                        |
| SU-1         | SURVEY                               |
| EX-1         | EXISTING SITE PLAN 1"=30'-0"         |
| EX-1.1       | EXISTING SITE PLAN 1/8"=1'-0"        |
| EX-2         | EXISTING FIRST FLOOR PLAN 1/8"=1'-0" |
| D-1          | DEMOLITION PLAN 1/8"=1'-0"           |
| A-1a         | SITE PLAN- LANDSCAPE SQ. FOOTAGE     |
| A-1b         | SITE PLAN- LOT COVERAGE SQ. FOOTAGE  |
| A-2a         | CONSUMPTION AREA 1ST. & 2ND. FLOOR   |
| EX-2a        | CONSUMPTION AREA EXISTING            |

| KEY PERSONNEL                                                                                                            |                                                                                                                                                            |                                                                                                                                                             |
|--------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>ARCHITECT:</b><br>WILLIAM P. HORN<br>ARCHITECT, P.A.<br>510 EATON ST.<br>KEY WEST, FL 33048<br>TEL: (305) 296-6302    | <b>ENGINEERING:</b><br>PAUL R. SEMMES, P.E.<br>SEATECH, INC.<br>510 EATON ST.<br>SUGARLOAF KEY, FLORIDA<br>(305) 294-4444                                  | <b>LANDSCAPE CONSULTANT:</b><br>ELIZABETH NEWLAND<br>LANDSCAPE ARCHITECTURE, LLC<br>77 NORTH COUNTRY AVENUE<br>MARATHON, FL 33060<br>(305) 481-6301         |
| <b>LAND USE PLANNERS:</b><br>OWEN TREMPER &<br>ASSOCIATES, INC.<br>P.O. BOX 2108<br>KEY WEST, FL 33040<br>(305) 293-6983 | <b>CIVIL ENGINEERING:</b><br>PEREZ ENGINEERING<br>AND DEVELOPMENT INC.<br>1010 EAST REMEDY DRIVE<br>SUITE 400<br>KEY WEST, FL 33040<br>TEL: (305) 293-5440 | <b>SURVEYOR:</b><br>ISLAND SURVEYING INC.<br>ENGINEERS PLANNERS<br>SURVEYORS<br>3152 HORTON DRIVE<br>SUITE 101<br>KEY WEST, FL 33040<br>TEL: (305) 293-0468 |
| <b>OWNER:</b><br>TROPICAL SOUP<br>CORPORATION<br>508 DUVAL STREET<br>KEY WEST, FL 33040<br>TEL: (305) 293-1886           |                                                                                                                                                            |                                                                                                                                                             |

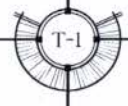
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08-09-10 HARC  
08-31-10 HARC REV.  
10-01-10 DRC  
11-05-10 PL BD

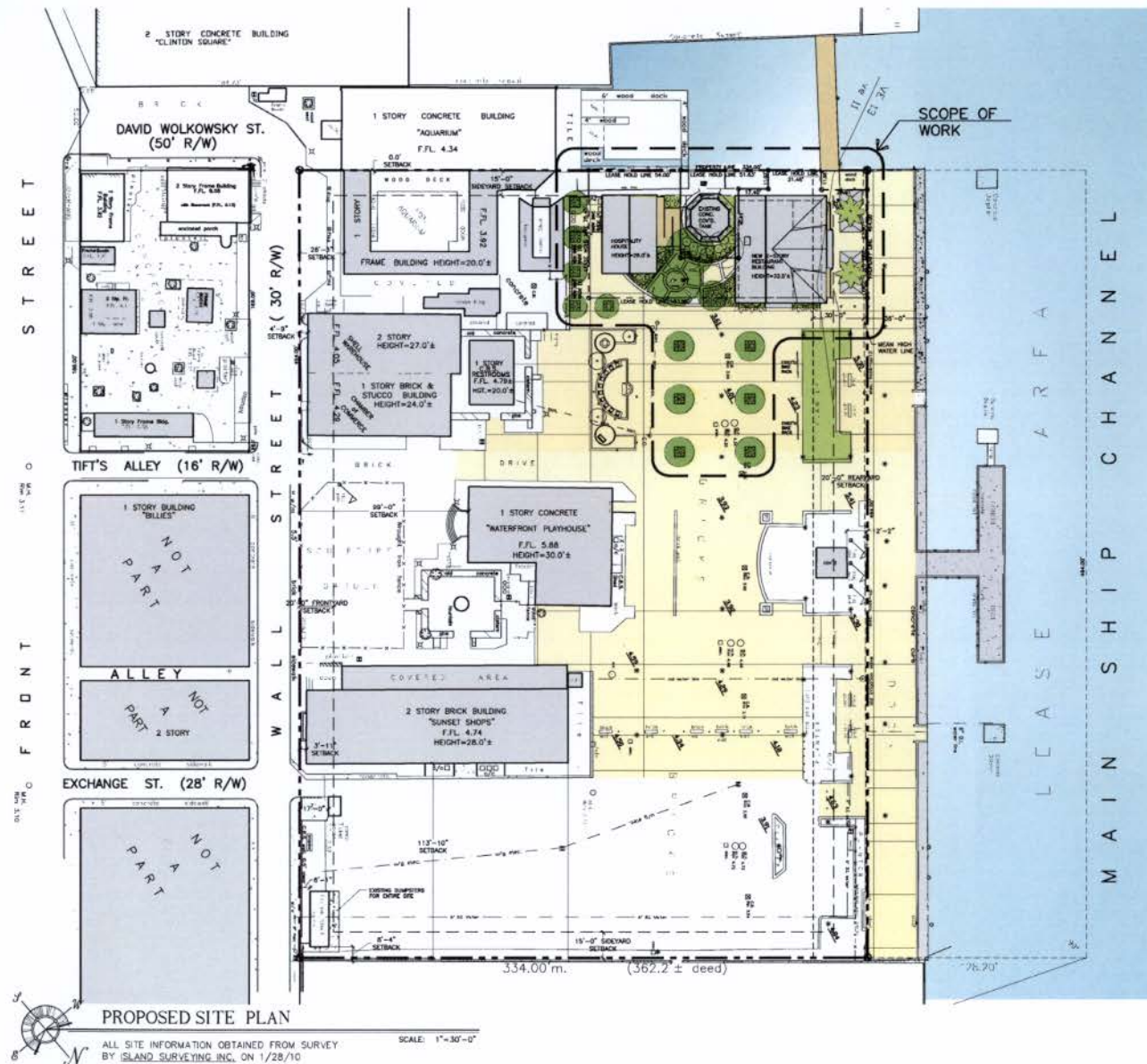
REVISIONS  
03-11-11 HARC REV.  
6 PL BD REV.  
05-09-11 HARC REV.  
05-20-11 PL BD REV.

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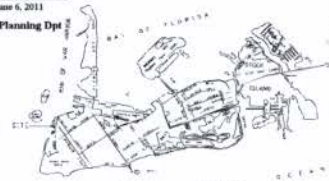
PROJECT  
NUMBER  
1006

MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA





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June 6, 2011  
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# LOCATION MAP City of Key West & Stock Island

## SITE DATA

SITE AREA: 154,888 S.F. (3.55 ACRES)  
LAND USE: HPS (PUBLIC SERVICES INC. RECREATION & OPEN SPACE)  
FLOOD ZONE: V-13/V-11, V-10, AE +9.0'  
SETBACKS:  
FRONT SETBACK: REQUIRED = 30.0'  
EXISTING = 4.75' (NOT IN LEASE AREA)  
PROPOSED = 4.75' (NOT IN LEASE AREA)  
SIDE SETBACK: REQUIRED = 15.0'  
EXISTING = 9.0' (IN LEASE AREA)  
PROPOSED = 15.0' (IN LEASE AREA)  
REAR SETBACK: REQUIRED = 30.0'  
EXISTING = 20.16' (IN LEASE AREA)  
PROPOSED = 30.16' (IN LEASE AREA)  
COASTAL CONST. CONTROL LINE: REQUIRED = 30.0'  
EXISTING = 25.0' (IN LEASE AREA)  
PROPOSED = 18.16'  
FAR: ALLOWABLE: 1.0 MAX (154,888 S.F.)  
EXISTING: 0.25 (38,728 S.F.)  
PROPOSED: 0.27 (42,210 S.F.)  
HEIGHT: ALLOWABLE: 28.0'  
EXISTING: 28.0' (HOSPITALITY HOUSE)  
PROPOSED: 33.62' (NEW RESTAURANT BLDG.)  
(ONLY NON-HABITABLE ROOF AREA IS ABOVE 25.0')  
LOT COVERAGE AREA: REQUIRED: 61,995 S.F. (40% MAX.)  
EXISTING: 33,162 S.F. (21.38%)  
PROPOSED: 35,530 S.F. (22.94%)  
IMPERVIOUS AREA: REQUIRED: 77,494 S.F. (50% MAX.)  
EXISTING: 140,815 S.F. (90.83%)  
PROPOSED: 140,780 S.F. (90.83%)  
LANDSCAPE AREA: REQUIRED: 20%  
EXISTING: 14,173 S.F. (9.14%)  
PROPOSED: 14,208 S.F. (9.18%)  
PARKING: IN PARKING WAIVER ZONE  
CONSUMPTION AREA - PARCEL 2  
EXISTING: 3,494.4 S.F.  
1,156.8 S.F. (NON CONSUMPTION AREA)  
2,344 S.F. (CONSUMPTION AREA)  
(156 SEATS @ 15 S.F./SEAT)  
PROPOSED: 2,344 S.F. (156 SEATS @ 15 S.F./SEAT)  
CONSUMPTION AREA - PARCEL 1  
EXISTING: 0 S.F. (0 SEATS @ 15 S.F./SEAT)

## BUILDING DATA

| EXISTING BUILDING DATA  |            |                          |            |
|-------------------------|------------|--------------------------|------------|
| 1ST FLOOR ENCLOSED      | 1,150 S.F. | 1ST FLOOR COVERED        | 380 S.F.   |
|                         |            | 1ST FLOOR WOOD DECK AREA | 985 S.F.   |
| TOTAL EXISTING ENCLOSED | 1,150 S.F. | TOTAL EXISTING COVERED   | 1,365 S.F. |
| PROPOSED BUILDING DATA  |            |                          |            |
| 1ST FLOOR ENCLOSED      | 2,842 S.F. | 1ST FLOOR COVERED        | 462 S.F.   |
| 2ND FLOOR ENCLOSED      | 1,891 S.F. | 2ND FLOOR COVERED        | 735 S.F.   |
| TOTAL PROPOSED ENCLOSED | 4,733 S.F. | TOTAL PROPOSED COVERED   | 1,197 S.F. |

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LICENSE NO.  
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Seal of the State of Florida

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BUNNELL, FLORIDA  
32110-1111  
CA 11111111

MALLORY  
SQUARE  
RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

SEAL

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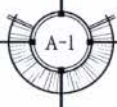
REVISIONS

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05-09-11 HARC REV.  
05-29-11 PL BD REV.

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915 EATON ST.  
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33040

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SeaTech inc.

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32157  
C.A. 111111

**MALLORY  
SQUARE  
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REVISIONS

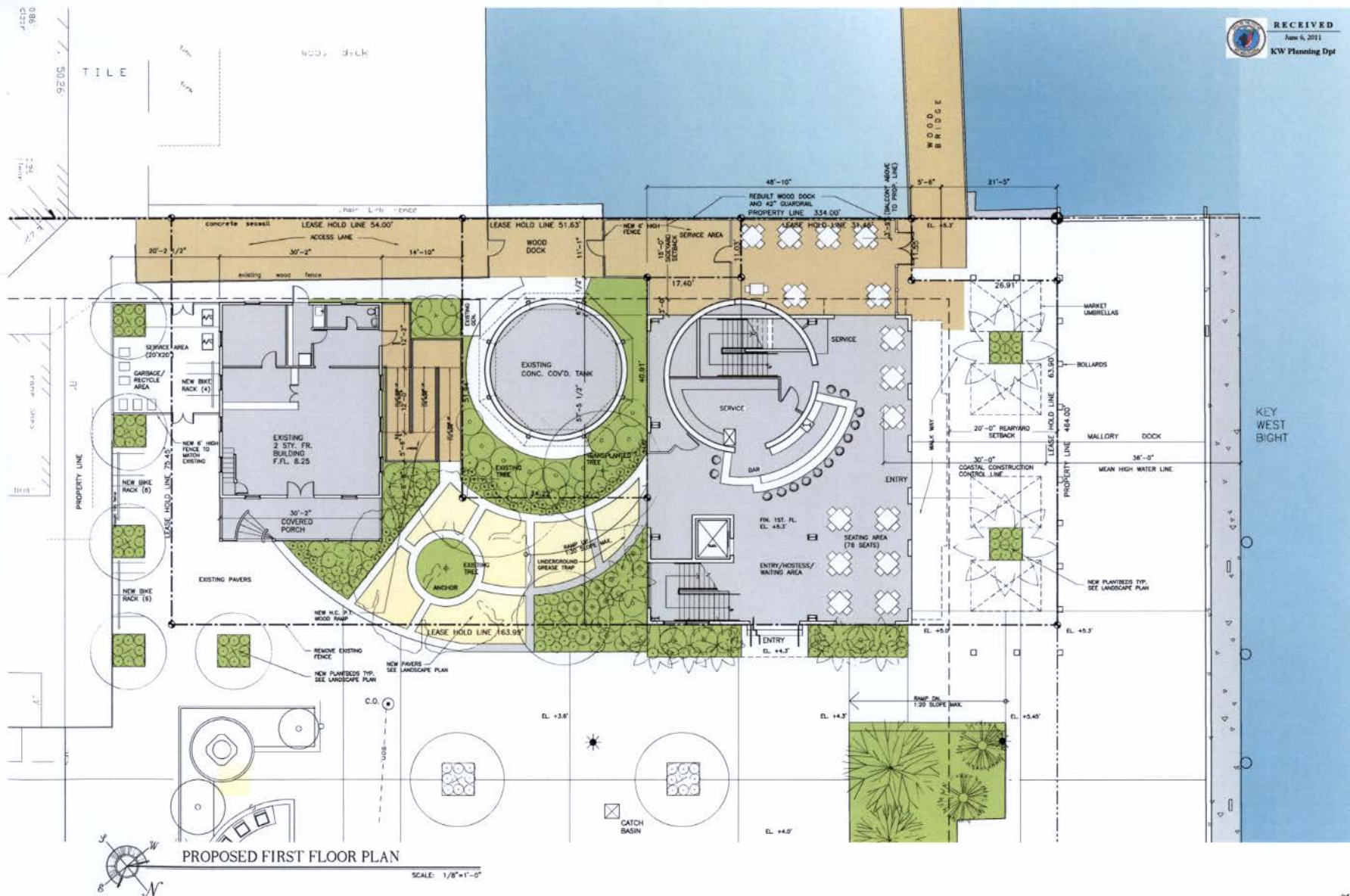
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| 05-20-11 | PL BD REV.   |

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MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

A-1



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KEY WEST, FLORIDA



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**MALLORY  
SQUARE  
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MALLORY DOCK  
KEY WEST, FLORIDA

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REVISIONS

03-11-11 HARC REV.

2 PL BD REV.

05-09-11 HARC REV.

05-20-11 PL BD REV.

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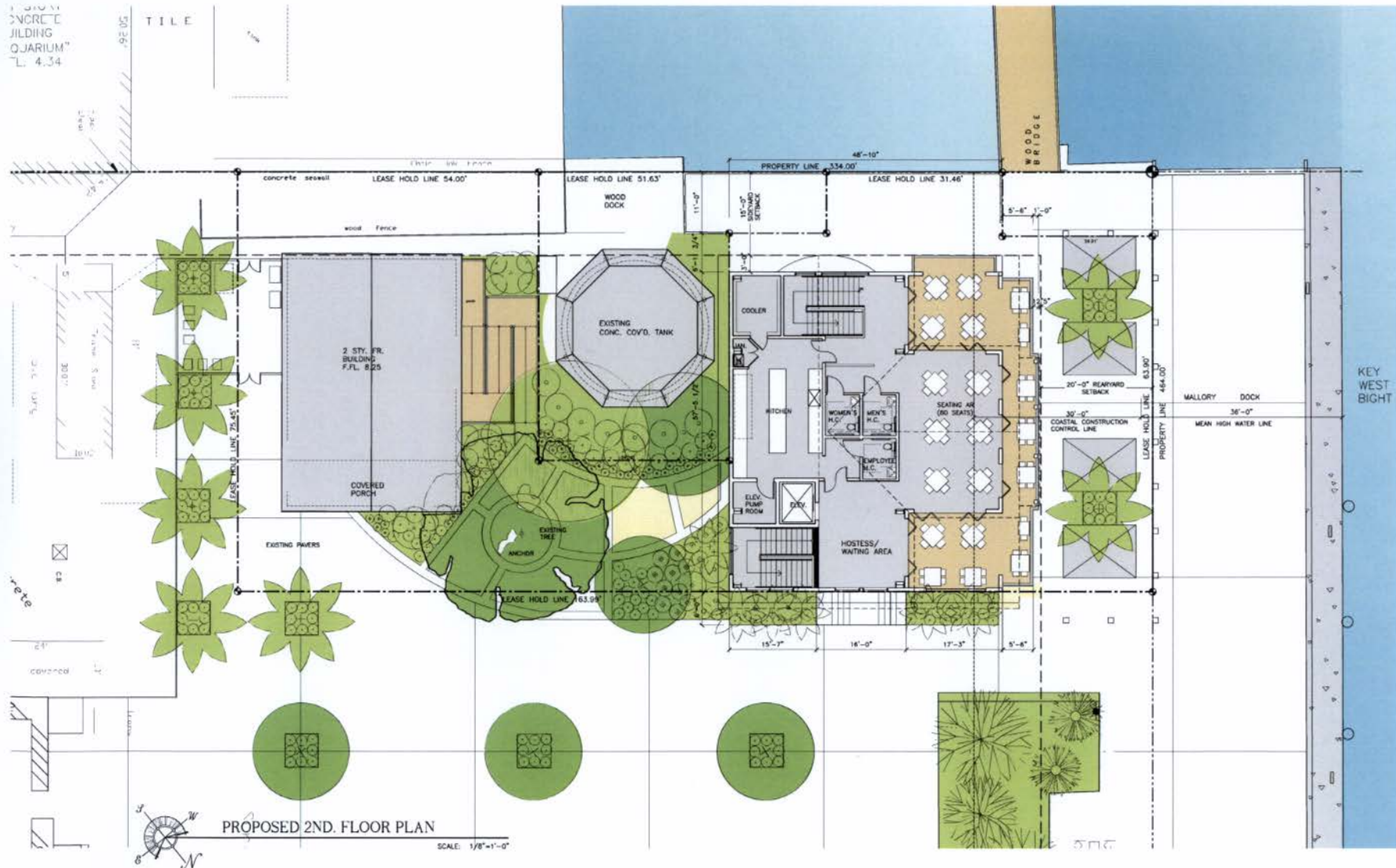
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MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA



PROPOSED NORTH ELEVATION

SCALE: 1/8"=1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"



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C.A.

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KEY WEST, FLORIDA

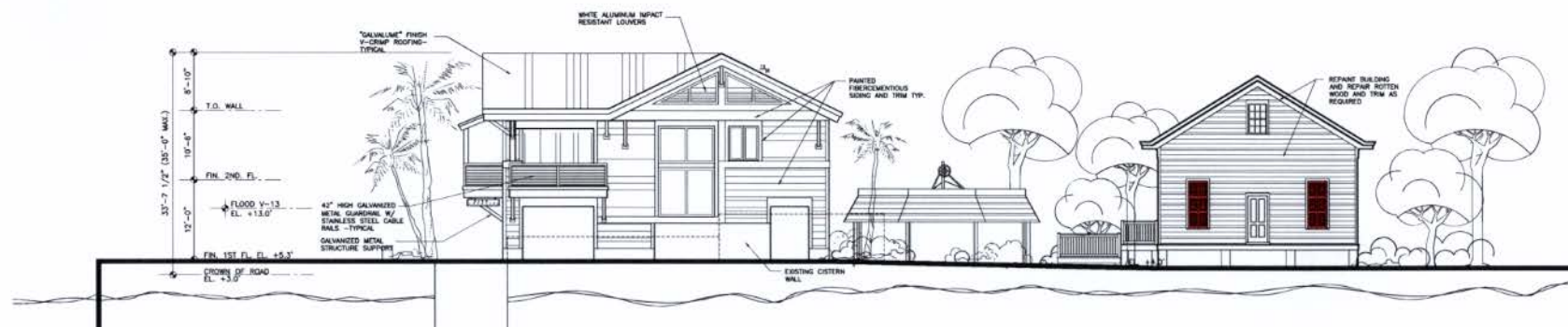
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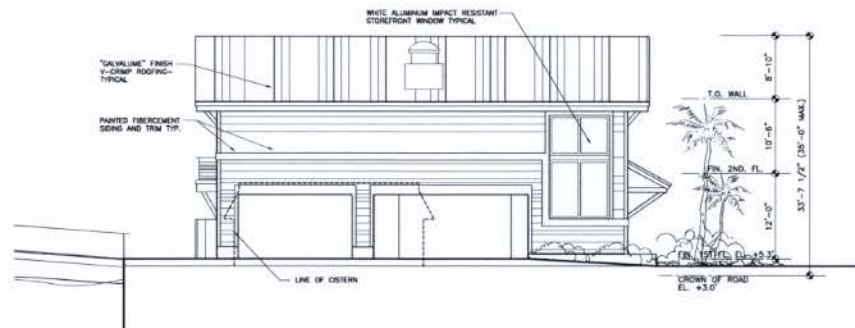
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PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0"

MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA



ONE STORY CONCRETE  
BUILDING "AQUARIUM"  
F.F.L. 4.34

TANK  
TANK

WOOD  
DECK



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TEL: 904-255-1118

S.S.E.



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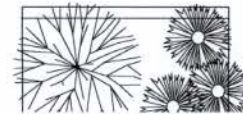
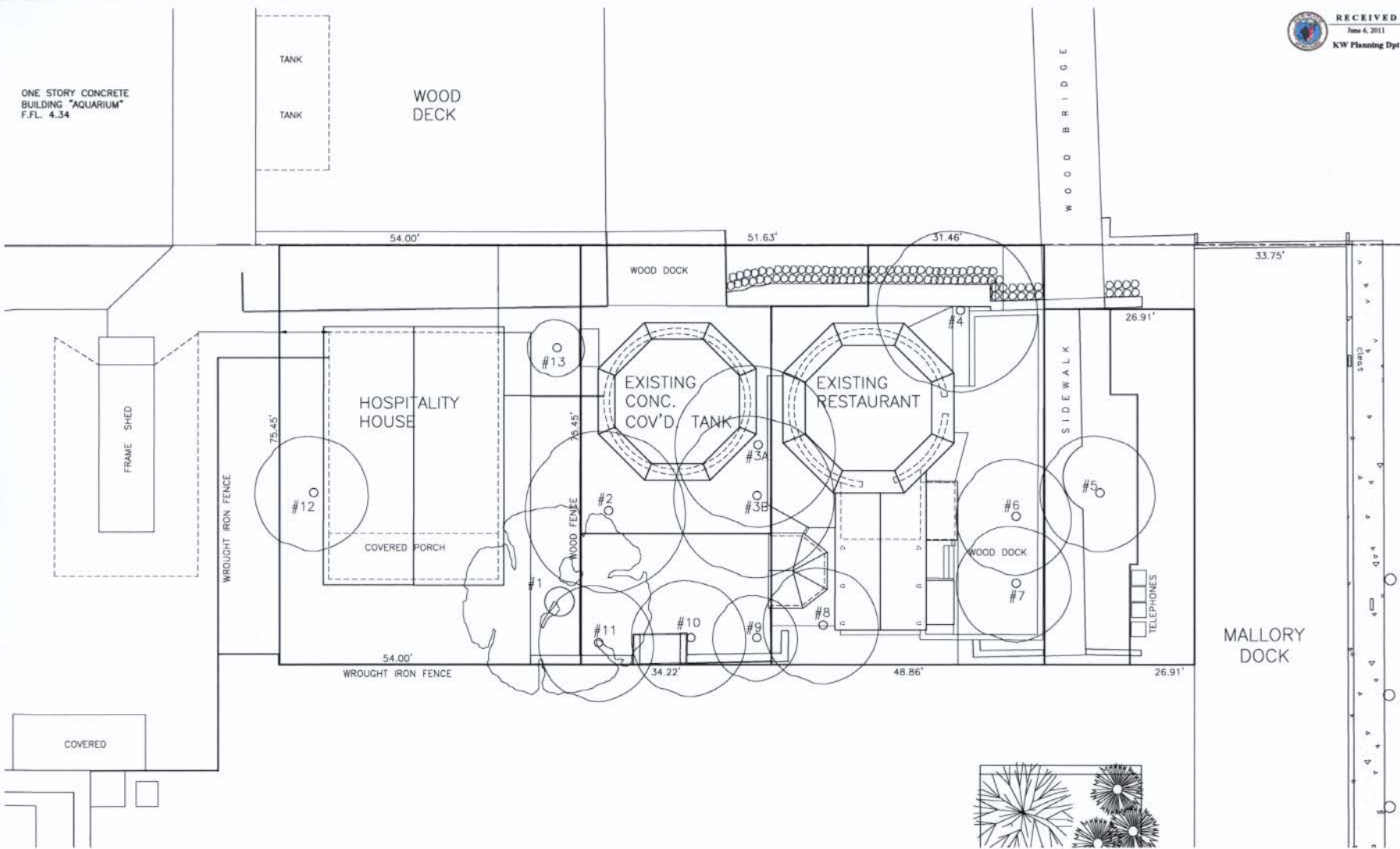
MALLORY SQUARE  
RESTAURANT  
KEY WEST, FLORIDA

DIST. (S.D.) (PUB. L.)  
D.T. (S.D.) (PUB. L.)  
D.T. (S.D.) (PUB. L.)

EXISTING TREE  
DISPOSITION  
PLAN

S 11 N 11  
L-1.0

D.T. (S.D.) (PUB. L.)



MALLORY SQUARE RESTAURANT EXISTING TREE & PALM DISPOSITION

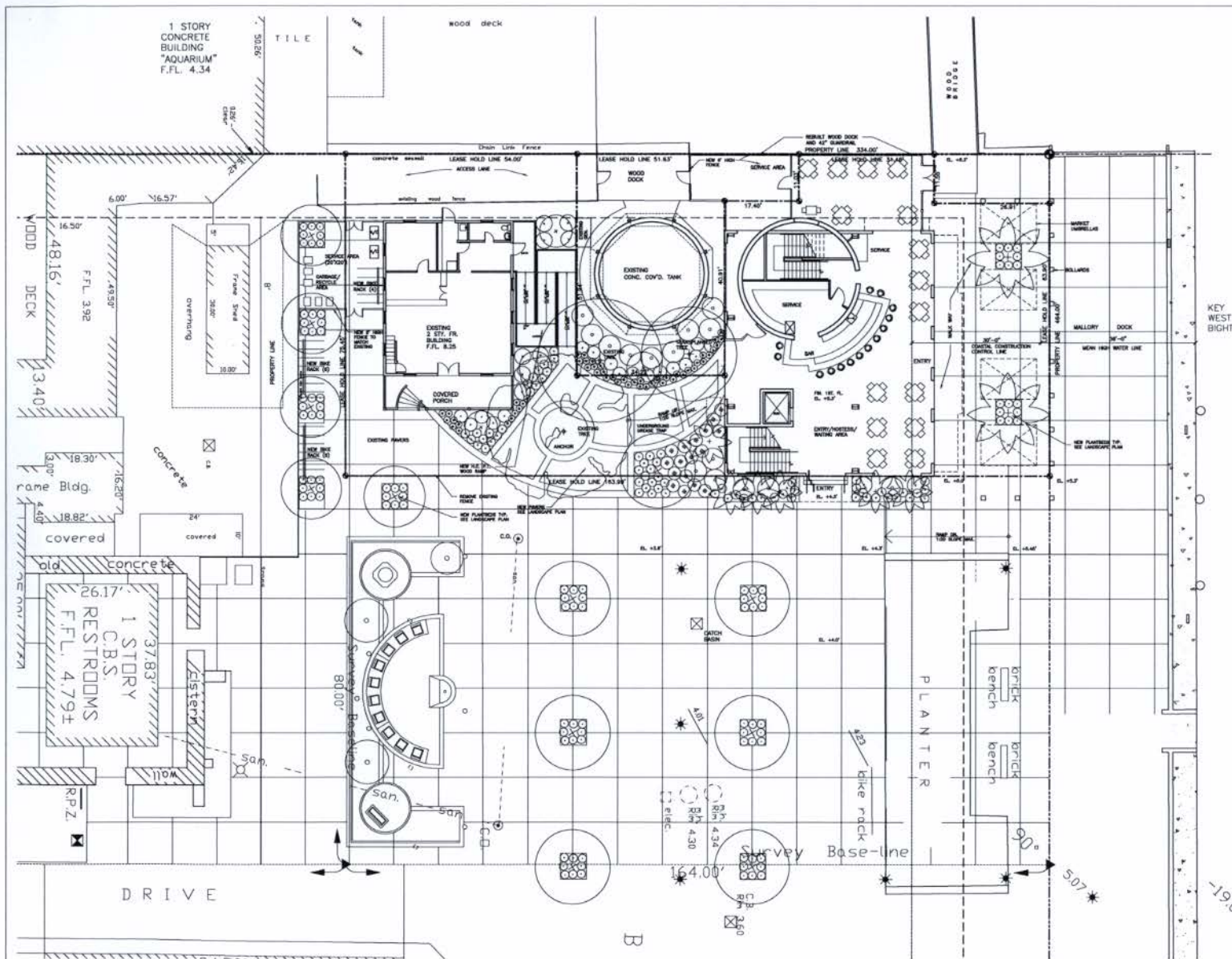
| NUMBER | BOTANICAL NAME       | COMMON NAME     | HEIGHT | SPREAD | CALIPER       | CONDITION | STATUS     | TRANSPLANT LOCATION      |
|--------|----------------------|-----------------|--------|--------|---------------|-----------|------------|--------------------------|
| 1      | Ficus aurea          | Ficus           | 35'    | 35'    | 48"           | Good      | Remain     |                          |
| 2      | Bursera simaruba     | Gumbo Limbo     | 20'    | 30'    | 12"/12"       | Good      | Remain     |                          |
| 3A     | Coccoloba uellera    | Sea Grape       | 30'    | 30'    | 6" x 6" Multi | Fair      | Remove     |                          |
| 3B     | Coccoloba uellera    | Sea Grape       | 30'    | 30'    | 6" x 6" Multi | Fair      | Remove     |                          |
| 4      | Coccoloba uellera    | Sea Grape       | 30'    | 30'    | 6" x 6" Multi | Fair      | Remove     |                          |
| 5      | Bursera simaruba     | Gumbo Limbo     | 20'    | 20'    | 15"           | Poor      | Transplant | Mallory Square Plant Bed |
| 6      | Bursera simaruba     | Gumbo Limbo     | 20'    | 20'    | 13"           | Good      | Transplant | North West of Tank       |
| 7      | Delonix regia        | Poinciana       | 20'    | 20'    | 11.6"         | Poor      | Remove     |                          |
| 8      | Cocos nucifera       | Coconut Palm    | 28'    | 20'    | 12"           | Good      | Remove     |                          |
| 9      | Ficus benjamina      | Ficus           | 15'    | 10'    | 4"            | Poor      | Remove     |                          |
| 10     | Cocos nucifera       | Coconut Palm    | 20'    | 20'    | 12"           | Good      | Remove     |                          |
| 11     | Cocos nucifera       | Coconut Palm    | 28'    | 20'    | 12"           | Good      | Remove     |                          |
| 12     | Cocos nucifera       | Coconut Palm    | 20'    | 20'    | 12"/Bend      | Fair      | Remove     |                          |
| 13     | Washingtonia robusta | Washington Palm | 50'    | 10'    | 12"           | Fair      | Remove     |                          |

9/20/2010



EXISTING TREE DISPOSITION PLAN  
SCALE: 1/2" = 12'-0"

ALL SITE INFORMATION OBTAINED FROM SURVEY  
BY ISLAND SURVEYING, INC. ON 1/28/10



1 STORY  
CONCRETE  
BUILDING  
"AQUARIUM"  
F.F.L. 4.34

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



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ELIABETH  
NEWLAND  
LANDSCAPE  
ARCHITECTURE, LLC

73 North Couch Avenue  
MIDWEST FLORENCE, FL 32205  
TEL: 904-763-1111



S.S.E.



C. 111111

R. 111111

MALLORY SQUARE  
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KEY WEST, FLORIDA

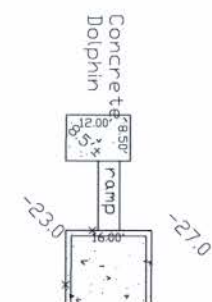
DATE: 11-11-11  
BY: E.N.  
CHECKED: E.N.  
TITLE: LANDSCAPE PLAN

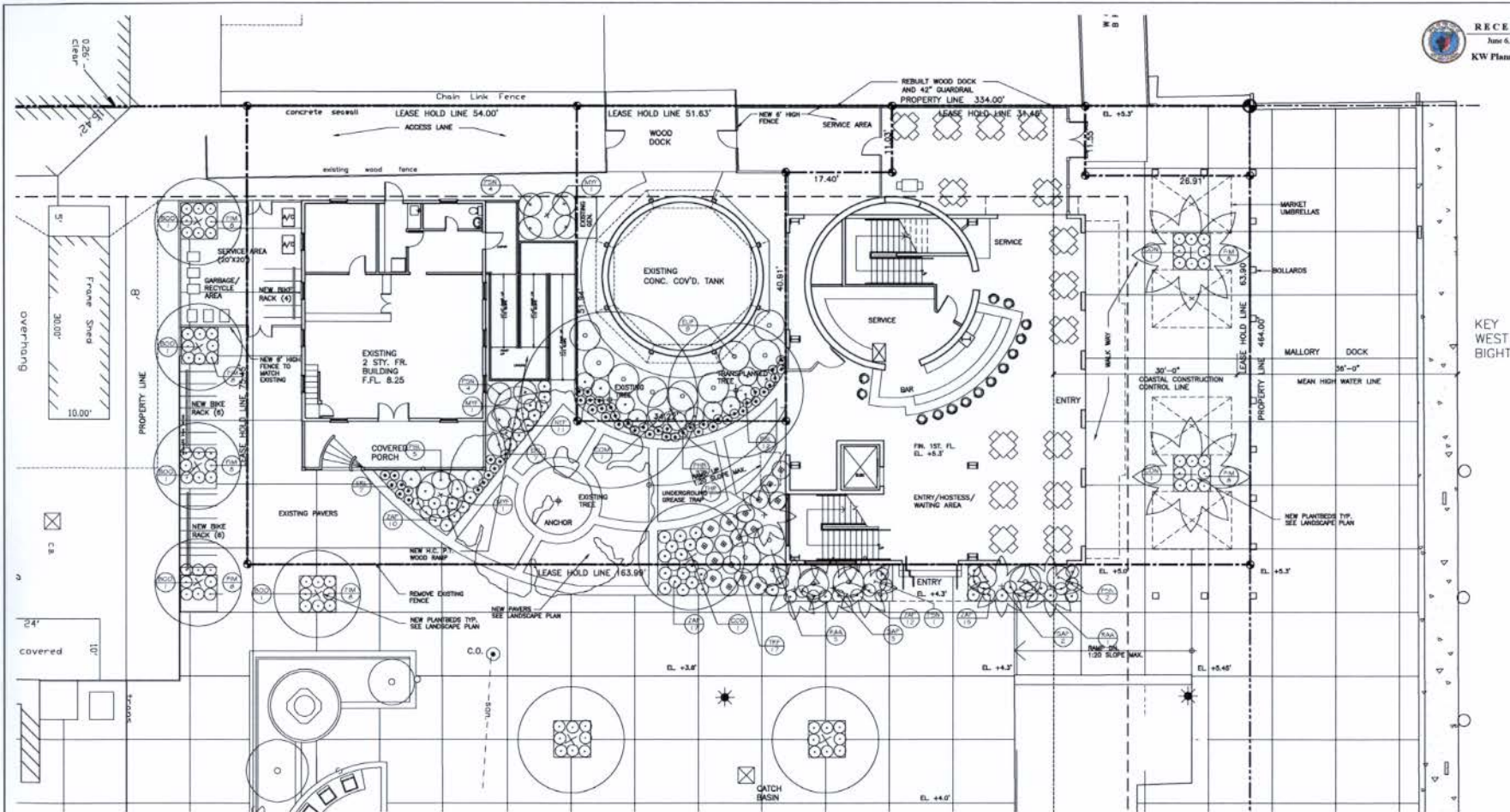
LANDSCAPE PLAN

SHEET 11

L-11

DATE: MAY 11, 2011





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ELIZABETH  
NEWLAND  
LANDSCAPE  
ARCHITECTURE, LLC

73 North Canby Avenue  
WEST PALM BEACH, FL 33411-1111

STY:



DATE: 01/11/11

REVISION:

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MALLORY SQUARE  
RESTAURANT  
KEY WEST, FLORIDA

DATE: 01/11/11

BY: E.N. / C.B.

PLANTING  
PLAN

SCALE: 1" = 10'

L-1

0101 MAY 11 11

PLANTING PLAN

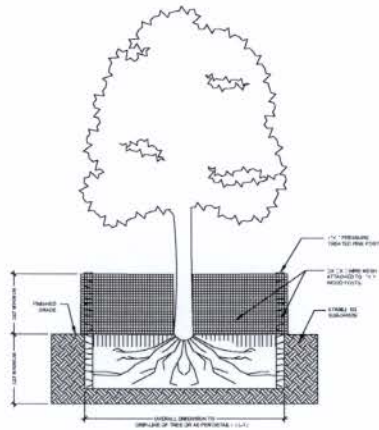
SCALE: 1" = 10'

MALLORY SQUARE RESTAURANT PLANT LIST

| SYMBOL                          | QUANTITY | SCIENTIFIC NAME                 | COMMON NAME           | NATIVE | CALIPER | HEIGHT  | CANOPY  | CONTAINER | SPACING  | CONDITION      |
|---------------------------------|----------|---------------------------------|-----------------------|--------|---------|---------|---------|-----------|----------|----------------|
| <b>SHADE TREES/PALMS</b>        |          |                                 |                       |        |         |         |         |           |          |                |
| BOO                             | 5        | Bougainvillea ovata             | Stringbark            | Yes    | 4"-6"   | 14'-18' | 12'-14' | 45 Gal    | As Shown | 6' CT          |
| COM                             | 1        | Coccoloba miraguama             | Coccoloba Miraguama   | No     | 5'-8"   | 10'-12' | 8'-10'  | 45 Gal    | As Shown | Matched Multi  |
| COO                             | 1        | Coccoloba diversifolia          | Pigeon Plum           | Yes    | 4'-6"   | 12'-14' | 8'-10'  | 45 Gal    | As Shown | 6' CT          |
| CON                             | 2        | Coccotheca nucifera             | Coconut Palm          | No     | 12'-14" | 30'     | 20'-22' | 8' B & B  | As Shown | 20'-CT No Bend |
| SAP                             | 5        | Sabal palmetto                  | Sabal Palm            | Yes    | 12'-14" | 10'-14' | NA      | 8' B & B  | As Shown | With Bouts     |
| THR                             | 1        | Thunbergia madagascariensis     | Thatch Palm           | Yes    | 3'-4"   | 8'-10'  | 6'-8'   | 45 Gal    | As Shown | Multi          |
| <b>SMALL TREES/LARGE SHRUBS</b> |          |                                 |                       |        |         |         |         |           |          |                |
| EUF                             | 8        | Eugenia foetida                 | Spanish Blupper       | Yes    | NA      | 6'-8'   | 3'-4'   | 25 Gal    | As Shown | Shrub Type     |
| MYT                             | 3        | Myrsine tomentosa               | Sourwood Shrub        | Yes    | NA      | 6'-8'   | 3'-4'   | 25 Gal    | As Shown | Shrub Type     |
| RAA                             | 5        | Randia aculeata                 | White Indigo Berry    | Yes    | NA      | 6'-8'   | 3'-4'   | 25 Gal    | As Shown | Shrub Type     |
| <b>MEDIUM SHRUBS</b>            |          |                                 |                       |        |         |         |         |           |          |                |
| PSJ                             | 11       | Psychotria nervosa              | Wild Coffee           | Yes    | NA      | 24'-36" | 24'-36" | 3 Gal     | As Shown | Shrub Type     |
| <b>SMALL SHRUBS/GRASSES</b>     |          |                                 |                       |        |         |         |         |           |          |                |
| ERL                             | 14       | Erodia cicutaria                | Golden Creeper        | Yes    | NA      | 12'-18" | 12'-18" | 1 Gal     | As Shown |                |
| FM                              | 54       | Ficus microcarpa 'Green Island' | Green Island Ficus    | No     | NA      | 18'-24" | 18'-24" | 3 Gal     | As Shown |                |
| NEP                             | 11       | Nephrolepis exaltata            | Sword Fern            | Yes    | NA      | 12'-18" | 12'-18" | 1 Gal     | As Shown |                |
| PHB                             | 37       | Philodendron 'Burgundy'         | Burgundy Philodendron | No     | NA      | 12'-18" | 12'-18" | 3 Gal     | As Shown |                |
| PSL                             | 17       | Psychotria ligustrifolia        | Dwarf Wild Coffee     | Yes    | NA      | 24'-36" | 24'-36" | 3 Gal     | As Shown |                |
| TRF                             | 17       | Trichostema fortunei            | Dwarf Fakahatchee     | Yes    | NA      | 18'-24" | 18'-24" | 3 Gal     | As Shown |                |
| <b>ACCENTS</b>                  |          |                                 |                       |        |         |         |         |           |          |                |
| ZAP                             | 36       | Zamia pumila                    | Coontie               | Yes    | NA      | 24'-36" | 24'-36" | 7 Gal     | As Shown |                |

9/20/2010

1. Trees to be relocated shall be not pruned a minimum of eight weeks prior to transplanting. Landscape Contractor shall maintain transplanted materials during root pruning period and during transplanting procedure to maintain healthy, moving, spraying, fertilizing, pruning and other horticultural practices.
2. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All utility companies under the General Contractor shall be notified by Landscape Contractor in writing at least 10 days prior to beginning of project. General Contractor shall not be responsible for damage to utility or irrigation lines.
3. The Landscape Contractor shall comply with all local and State codes and shall be responsible for obtaining all applicable permits.
4. Landscape Contractor may inspect the relocated materials to ensure compliance with horticultural practices as noted. Landscape Architect will submit a written report to Landscape Contractor of any deficiencies noted during the maintenance period.
5. The Landscape Contractor is responsible for maintaining the transplanted trees for a period of one year. At the time of final inspection all transplanted trees that are not in a healthy growing condition they shall be replaced by the Landscape Contractor.
6. Root Pruning and Transplanting Operations: The Landscape Contractor shall take all procedures to minimize shock of root pruning and transplanting in accordance with standard horticultural practices including:
  - A. The diameter of the root-pruning or transplanting circle shall be at a distance away from the trunk equal to 1/2" times each foot of trunk diameter at breast height.
  - B. All roots shall be cleanly cut with a sharp spade, a clean saw or chainsaw depending on the size of the root.
  - C. The canopy of the tree shall be thinned to compensate for the root loss, still leaving the entire shape of the canopy intact. The thinning shall be as per the ANSI A-300 Standards.
  - D. After root pruning, backfill to original existing grade with a soil mixture consisting of 50% existing soil and 50% mulch.
  - E. Provide a minimum of 2" mulch over backfill area to prevent weed growth, conserve moisture and prevent evaporation.
  - F. Install tree bracing as per Planting Detail 8/1-2.2 to ensure stability of tree during time period prior to transplanting.
  - G. If General Contractor commences site building demolition prior to the completion of the root pruning period the Landscape Contractor is responsible for providing tree protection as per Tree Protection Detail 3/1-2.2 to ensure that the tree or root system is not damaged during the root pruning period.
  - H. After root pruning, during root pruning period, backfill to original existing grade with a soil mixture consisting of 50% existing soil and 50% mulch.
  - I. Immediately prior to transplanting the transplanted tree to its new location, the tree shall be dug out prior to moving from the hole.
  - J. Final safety of root ball for transplanting.
  - K. Transplanting must occur within 24 hours after being dug for relocation. Plants should be kept in shade and be covered with plastic.
  - L. Digging and preparation of the new hole for the transplanted shall be done prior to moving the tree from the existing location.
  - M. The depth of the new hole shall be equal to the depth of the root ball and the width shall be equal to twice the width of the root ball.
  - N. The depth of the new hole shall be equal to the depth of the root ball and the width shall be equal to twice the width of the root ball.
  - O. Trees shall be staked from the ground with heavy equipment designed specifically for tree relocation so that the bark and crown is not injured and damaged by the equipment.
  - P. The staking used to lift the tree shall be non-damaging to the bark and the staking shall be removed from the root ball to ensure that the weight of the tree, staking shall not be easily removed around the trunk of the tree that can cause damage, girdling and could be deadly and costly to the tree.
  - Q. The tree shall be planted slightly higher than its original planting level prior to relocation. The tree shall be carefully confirmed to be planting hole and not damaged, placed or normal to the growth pattern prior to transplanting.
  - R. The tree shall be backfilled according to Planting Detail 8/1-2.2 with a soil mix consisting of 50% backfill and 50% mulch. The tree shall be backfilled according to the Planting Detail 8/1-2.2 with a soil mix consisting of 50% backfill and 50% mulch.
  - S. The Landscape Contractor is responsible for providing water to root water trees at installation to ensure all aspects in the landscape prior to transplanting.
  - T. A 1/2" layer of mulch shall be applied around the edge of the root ball to help hold water.
  - U. Provide a minimum of 2" layer of mulch over existing and backfill area outside staking to prevent the weed growth, conserve moisture, and prevent evaporation.
  - V. Over the guarantee period the Landscape Contractor is responsible for meeting any trees that are not vertical when caused by wind less than 15 mph.
  - W. After the transplanted trees are in their final location the Owner will be responsible for watering water and watering to maintain soil moisture during the guarantee period at a minimum of:
    - First Month: Daily Second Month: 2 Times Per Week Third and Fourth Month: 2 Times Per Week
    - Fifth and Sixth Month: 1 Time Per Week
 At each irrigation procedure apply 2-3 gallons of water per inch of trunk girth to the top of the root ball.



5 SHRUB PLANTING DETAIL  
SCALE: N.T.S.

## 1 TREE TRANSPLANTING NOTES SCALE: N.T.S.

### GENERAL NOTES

1. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All utility companies under the General Contractor shall be notified in writing at least 10 days prior to beginning of project. General Contractor shall not be responsible for damage to utility or irrigation lines.
2. The Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to accepting bids. Failure to do so shall not be considered cause for future claims or complaints.
3. Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within 10 days of contract award. In case of discrepancies planting plans shall be submitted to the Landscape Architect for review and approval. The Landscape Contractor shall be responsible for providing water to root water trees at installation to ensure all aspects in the landscape prior to transplanting.
4. No substitutions are to be made without prior approval of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
5. All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
6. The Landscape Contractor is responsible for coordinating root pruning and tree and palm removals and transplants shown on the Tree Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcover, and weeds within landscape areas.
7. Landscape Contractor to provide finish grade in plant beds 2" lower than finish elevation of landscape elements to accommodate 2" layer of mulch. Landscape elements include masts, driveways, curbs, sidewalks and planters.

### PLANTING NOTES

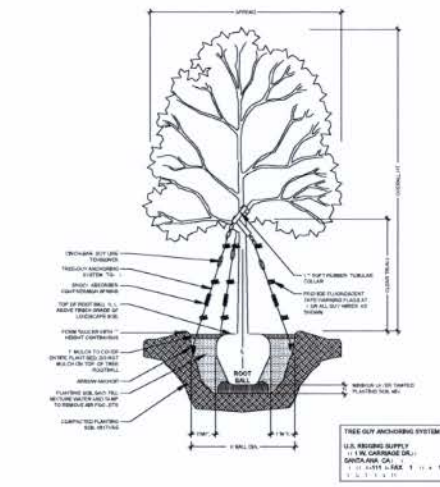
1. Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, soil, planting mix, fertilizer, herbicide, preemergence herbicide, weed, and mulch.
2. Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
3. All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part 1 and 2 by the State of Florida Department of Agriculture.
4. Landscape Contractor is responsible for scheduling a variety of staff for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
5. Landscape Contractor shall coordinate work with that of the Irrigation and Landscape Lighting Contractor.
6. The Landscape Contractor shall install new plant areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall visit 7 seven days after preemergence herbicide prior to planting.
7. Planting soil shall be a mix of 20% island mulch and 80% backfill. Planting soil shall be backfilled to the crown and root system, roots shall be spread and placed in the hole.
8. All soil mix in plant beds for groundcover, shrubs, palms and trees shall be as per spec.
9. All planting areas and plant beds shall be tested for nutrient levels prior to final planting. Soil and irrigation analysis to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be decompact so that drainage is not impeded.
10. All synthetic fabric, staking, or wire backfill shall be removed before trees are planted. All synthetic fabric shall be removed from trenches and install prior to final acceptance. The top 1/2" of the backfill shall be removed or backfilled into the plant hole before trees are backfilled.
11. Landscape Contractor is responsible for mulching all plant beds and devices with a minimum 2" layer of natural color Eucalyptus or Eucalyptus immediately after planting. In no case shall Cypress mulch be used.
12. All Tree/Palm lists and areas to be created a mulched area with width of the plant.
13. Landscape Contractor shall give and stake all trees and palms as per specifications and details. No plant shall be applied to any surface of trees or palms. No rock, sawdust or any other material shall be used around trees and palms. All pruning and staking shall be removed before mulch after planting.
14. All palm trees and other trees and palms shall be staked for stability for their duration. All unbraced and unbraced trees shall be staked and braced and staked and braced during construction.
15. All broken branches and other tree branches are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to max. 1/2" of height clearance to the base of canopy.
16. Landscape Contractor to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical analysis as indicated for each type of plant.
  - Palms: 12-4-12 N-P-K, Slow Release Palm Special with micronutrients.
  - Shrubs, Groundcover and Trees: 8-8-8 N-P-K, with micronutrients.

## 2 GENERAL PLANTING NOTES SCALE: N.T.S.

## 3 TREE PROTECTION DETAIL SCALE: N.T.S.

### GENERAL NOTES

1. Before beginning work, the General Contractor is required to meet at the site with the Landscape Architect and the City of Key West Urban Forestry Program Manager to review all work procedures, access routes, storage areas, and tree protection measures.
2. The General Contractor is required to coordinate with the Landscape Architect and the City of Key West Urban Forestry Program Manager to determine the amount of tree canopy that the General Contractor will be required to remove or relocate to compensate for the root loss. All work shall be done within the tree protection zone. The thinning shall be as per the ANSI A-300 Standards.
3. The General Contractor shall meet factors to protect trees to be preserved as per Tree Protection Detail 3/1-2.2 and Tree Disposition Plan 1-1.5. Factors include a specific protection zone for each tree or group of trees to be protected. Factors are to remain until all site work has been completed. Factors may not be relocated or removed without the written permission of the Landscape Architect or the City of Key West Urban Forestry Manager.
4. Construction trailers, traffic, and storage areas shall remain outside the tree protection zone at all times.
5. All underground utilities and shall be protected. Factors are to remain until all site work has been completed. Factors may not be relocated or removed without the written permission of the Landscape Architect or the City of Key West Urban Forestry Manager.
6. No construction materials, equipment, spoil, or waste or residual water may be deposited, stored, or parked within the tree protection zone (defined lines).
7. Additional tree planting material for clearance during construction shall be stored as per ANSI A-300 Standards and not be construction personnel.
8. Any vegetation placed under existing materials must be safe for use around trees and staked for tree use. Any materials used on site must be tree-safe and not easily transported by air.
9. Any work should occur to any tree during construction, the General Contractor is responsible for notifying the Landscape Architect and the City of Key West Urban Forestry Program Manager as soon as possible for evaluation so that appropriate treatments can be applied.
10. The General Contractor shall verify the Landscape Architect and the City of Key West Urban Forestry Program Manager of any pruning, construction, relocation, or other work that is required to maintain tree health.
11. All trees to remain on site shall be irrigated three times a week for the duration of construction. At each irrigation procedure shall apply to the soil area within the tree protection zone 2.0 gallons of water per inch of trunk caliper.
12. Closures created to protect existing trees shall be installed before the tree protection zone is established. All irrigation procedures shall be as per the ANSI A-300 Standards.
13. Before grading, pad preparation, or excavation for foundations, footings, walls or bracing near trees the trees shall be not pruned 12 inches outside the tree protection zone by cutting all roots evenly to a depth of 36 inches. Roots shall be not manually digging a trench and cutting any roots to a depth of 36 inches. Roots shall be not manually digging a trench and cutting any roots to a depth of 36 inches. Roots shall be not manually digging a trench and cutting any roots to a depth of 36 inches.
14. Any work damaged during grading or construction shall be replaced to original condition or better.
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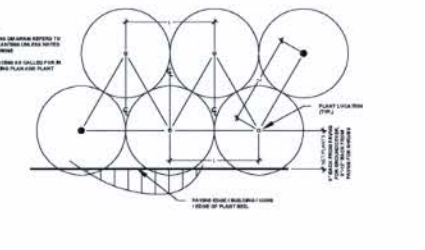


## 6 TREE TRANSPLANTING DETAIL OFFSITE SCALE: N.T.S.

## 7 TREE PLANTING DETAIL ON SITE SCALE: N.T.S.

### GENERAL NOTES

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## 8 SHRUB PLANTING DETAIL SCALE: N.T.S.



ELI C. BETH  
NEWLAND  
LANDSCAPE  
ARCHITECTURE, LLC

73 North Crand Avenue  
MIAMI BEACH, FL 33139  
TEL: 305.775.1775



GI 1 11 11

REVISIONS

| NO. | DATE     | DESCRIPTION       |
|-----|----------|-------------------|
| 1   | 06/06/11 | ISSUED FOR PERMIT |

MALLORY SQUARE  
RESTAURANT  
KEY WEST, FLORIDA

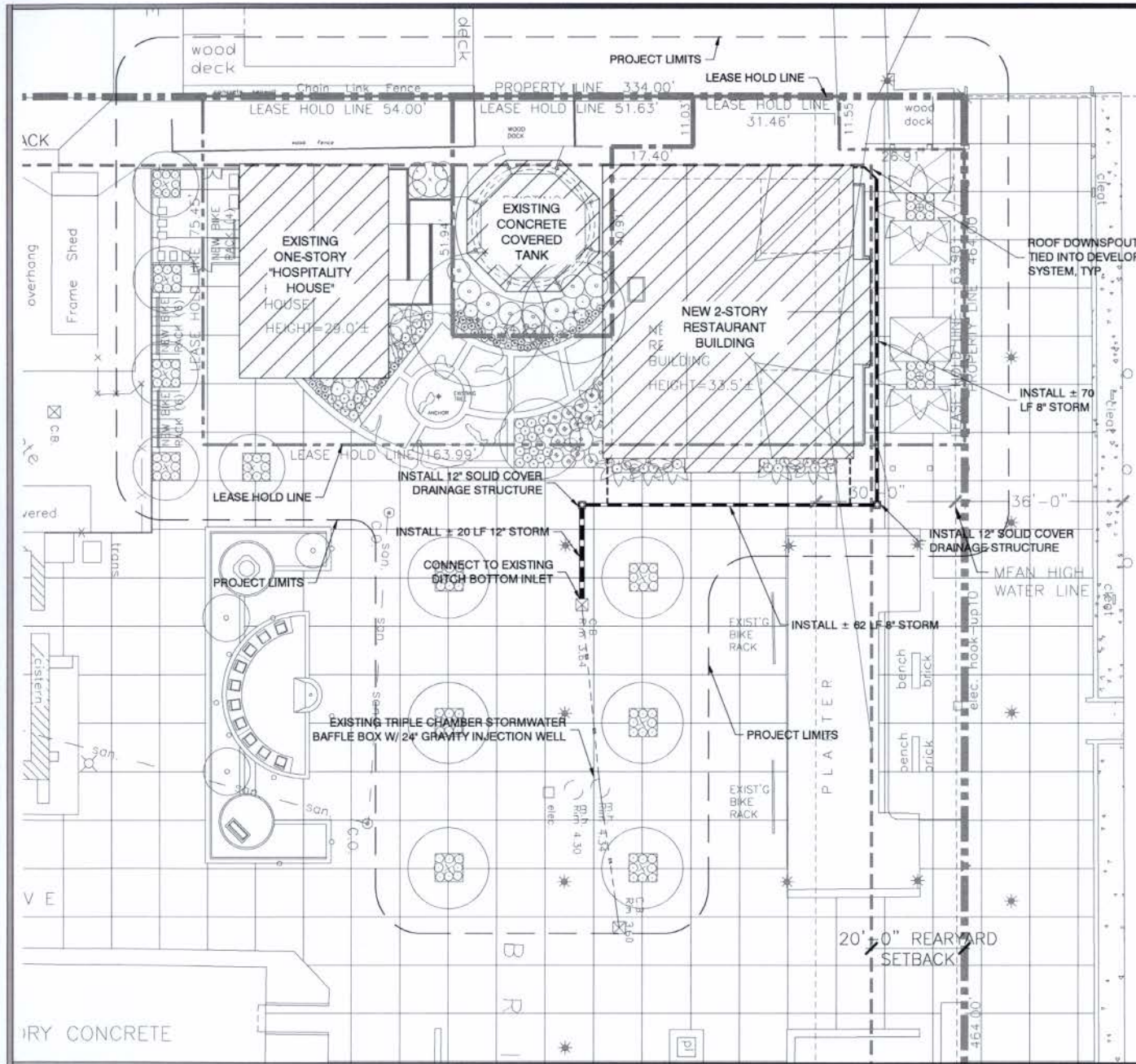
DATE: 06/06/11  
BY: E.C.B.

PLANTING  
NOTES &  
DETAILS

SCALE: 1/8" = 1'-0"

L-11

DATE: MAY 2011



SCALE 1"=20'  
 BAR IS TWO INCHES ON ORIGINAL DRAWING IF  
 NOT TWO INCHES ON THIS SHEET ADJUST  
 SCALES ACCORDINGLY



RECEIVED  
 June 6, 2011  
 KW Planning Dept

**Perez Engineering & Development, Inc.**  
 1000 S.W. 10th Ave., Suite 400  
 Fort Lauderdale, FL 33304  
 TEL: (954) 222-4444 FAX: (954) 222-4444  
 C-1  
 3007 East Broward Blvd., Suite 140  
 Fort Lauderdale, FL 33304  
 TEL: (954) 222-4444 FAX: (954) 222-4444

**ALINE PEREZ, P.E.**  
 Project P.E. No. 1146  
 May 24, 2011

**MALLERY SQUARE RESTAURANT**  
**MALLERY SQUARE**  
**KEY WEST, FL 33040**  
**CONCEPTUAL DRAINAGE PLAN**

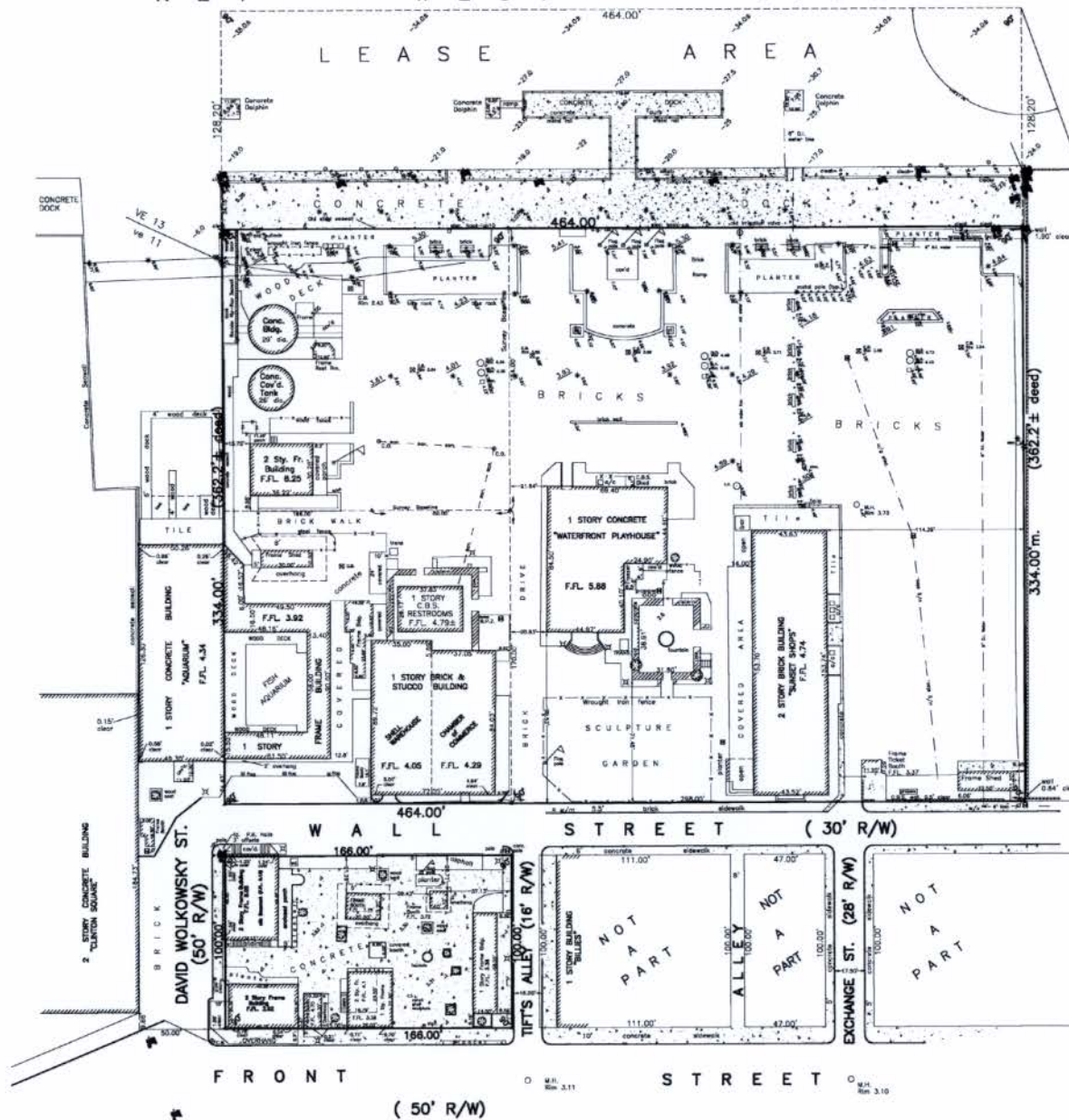
- LEGEND**
- PROJECT LIMITS
  - - - LEASE HOLD LINE
  - ▨ ROOF AREA
  - EXISTING GRADE
  - EXISTING DITCH BOTTOM INLET
  - EXISTING STORM PIPE
  - STORMWATER PIPE
  - STORMWATER INLET (CYCLOPLAST IN-LINE BASIN)
  - STORMWATER FLOW
  - STORMWATER MANHOLE

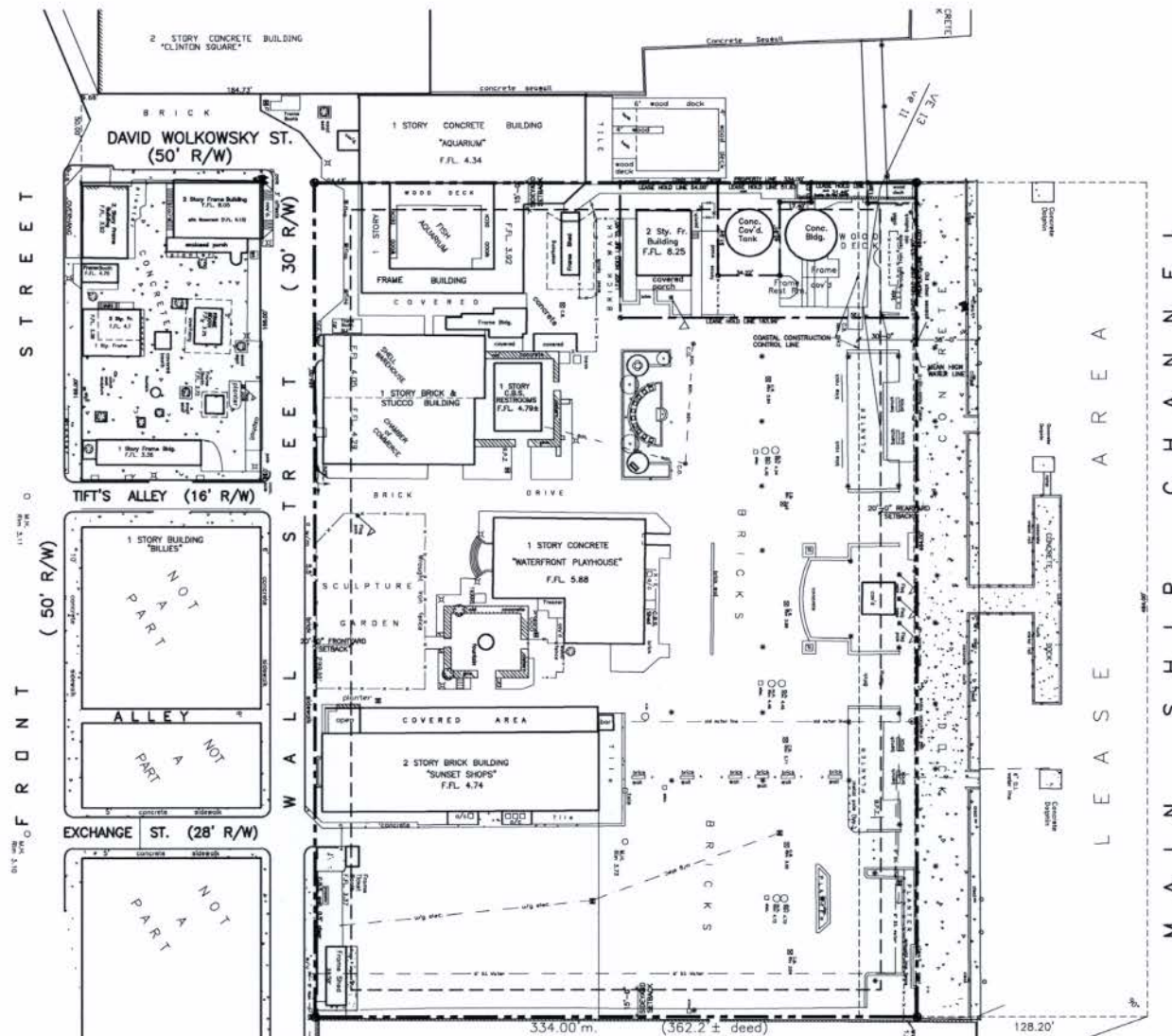
**GENERAL DRAINAGE NOTES**

- STORMWATER FLOW TESTS ON EXISTING GRAVITY INJECTION WELL ARE TO BE CONDUCTED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- "HOSPITALITY HOUSE": EXISTING GUTTER & DOWNSPOUT SYSTEMS TO BE REPAIRED AS REQUIRED.

JOB NO. 0101018  
 DRAWN: NTM  
 DESIGNED: AEP  
 CHECKED: OC  
 SHEET

## L E A S E A R E A





# EXISTING SITE PLAN

ALL SITE INFORMATION OBTAINED FROM SURVEY  
BY ISLAND SURVEYING, INC. ON 1/28/10

SCALE: 1"=30'-0"

## MALLORY SQUARE RESTAURANT MALLORY DOCK KEY WEST, FLORIDA



WILLIAM P. HORN  
ARCHITECT, P.A.

510 EATON ST  
KEY WEST  
FLORIDA  
33640

TEL: (305) 294-4363  
FAX: (305) 296-1033

LICENSE NO.  
AA 000240

SealTech

PAUL H. SEYMOUR, P.E.

P.E. - 1177

CRANE BOULEVARD

MARGARITAVILLE, FLORIDA

33400

MALLORY  
SQUARE  
RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

SEAL

### SITE DATA

SITE AREA: 154,888 S.F. (3.55 ACRES)  
LAND USE: HPS (PUBLIC SERVICES INC. RECREATION & OPEN SPACE)  
FLOOD ZONE: V-11 / V-13

DATE  
06-03-10  
08-09-10 HARC  
08-31-10 HARC REV.  
10-01-10 DRC  
11-05-10 PL BD

REVISIONS  
03-11-11 HARC REV.  
03-11-11 PL BD REV.  
05-09-11 HARC REV.  
05-20-11 PL BD REV.

DRAWN BY  
EMA

PROJECT  
NUMBER  
1006





RECEIVED  
June 6, 2011  
KW Planning Dpt

WILLIAM P. HORN  
ARCHITECT, P.A.

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LICENSE: 143  
AA 000368

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PAUL H. SEMMES, P.E.  
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1101 CRANE BOULEVARD  
BUDALOE, FLORIDA  
33407-1177

MALLORY  
SQUARE  
RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

SEAL

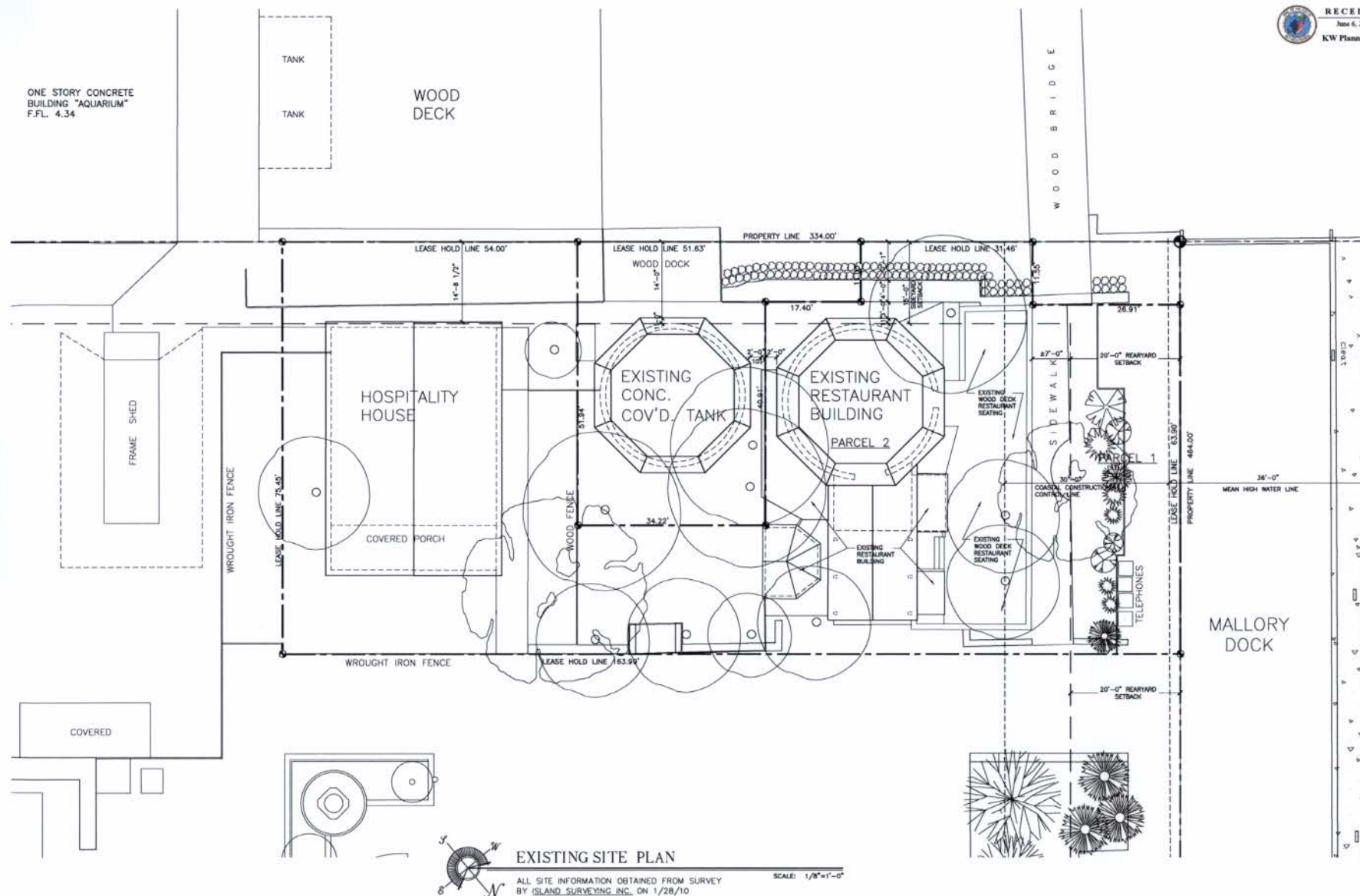
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08-31-10 HARC REV  
10-01-10 DRC  
11-05-10 PL BD

REVISIONS  
03-11-11 HARC REV  
2 PL BD REV  
05-09-11 HARC REV  
05-20-11 PL BD REV

DRAWN BY  
EMA

PROJECT  
NUMBER  
1006

MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA





RECEIVED  
June 6, 2011  
KW Planning Dpt

WILLIAM P. HORN  
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915 EASTON ST.  
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FLORIDA  
33841

TEL: 305.296.6162  
FAX: 305.296.1022

LICENSE NO.  
AA 000340

**Seafish**

PAUL R. GEMMEL, P.E.

P.E. 11177  
— GRANGE BOULEVARD  
BUDALAP, FLORIDA  
33411  
CA 11177

MALLORY  
SQUARE  
RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

KEY WEST  
BIGHT

SEAL

DATE

06-03-10  
06-09-10 HARC  
08-31-10 HARC REV.  
10-01-10 DRC  
11-05-10 PL BD

REVISIONS

03-11-11 HARC REV.  
2 PL BD REV.  
05-09-11 HARC REV.  
05-20-11 PL BD REV.

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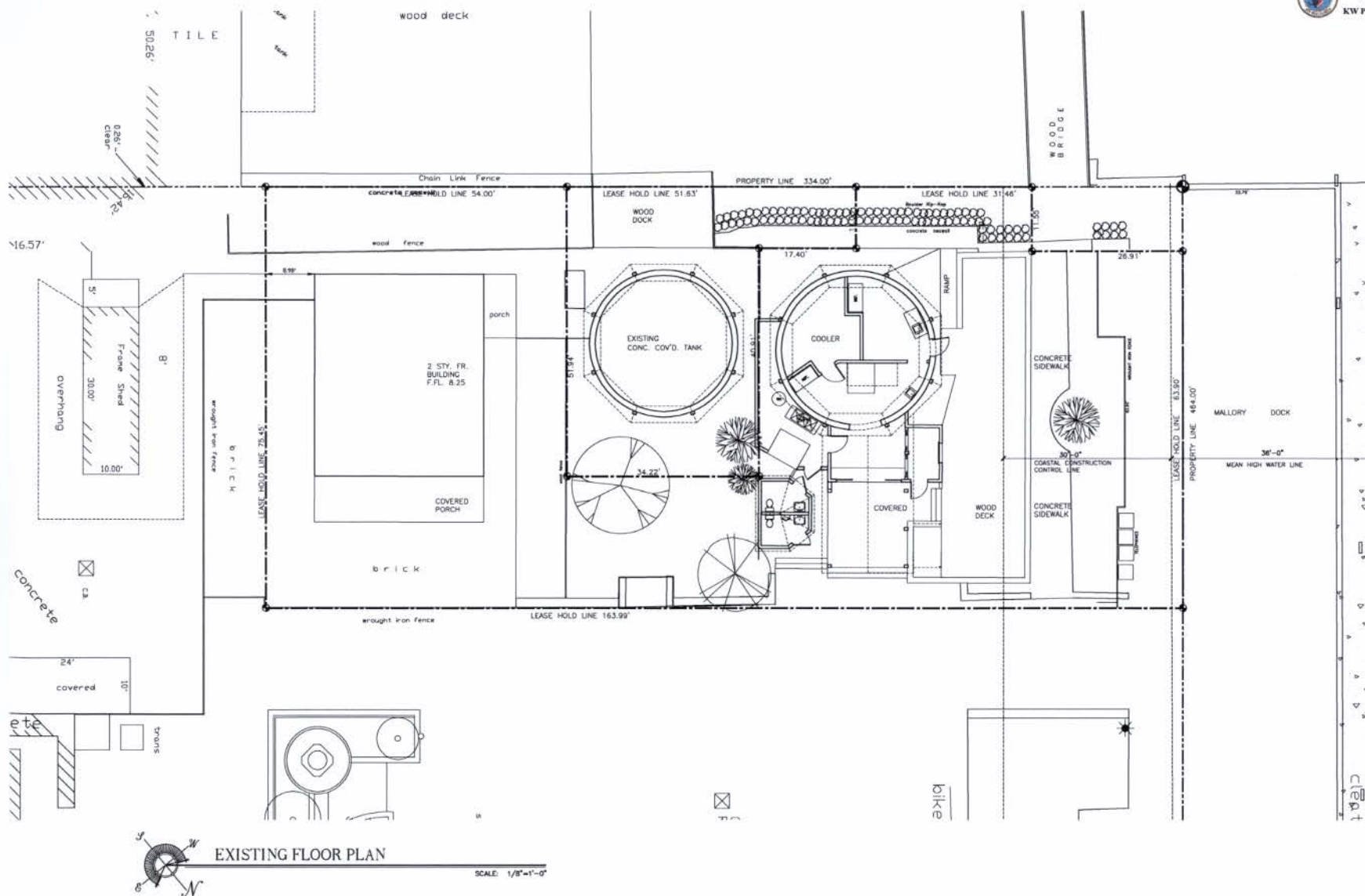
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PROJECT

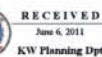
NUMBER

1006

EX-2



MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA



315 EATON ST.  
MEY WEST.  
FLORIDA  
33041

TEL: (305) 296-6302  
FAX: (305) 296-1033

LICENSE NO.  
AA-000000



SeaTech

PAUL R. SEMMES, P.E.

CRANE BOULEVARD  
MIAMI BEACH, FLORIDA 33139  
C.A. 1111

**MALLORY  
SQUARE  
RESTAURANT**  
MALLORY DOCK  
KEY WEST, FLORIDA

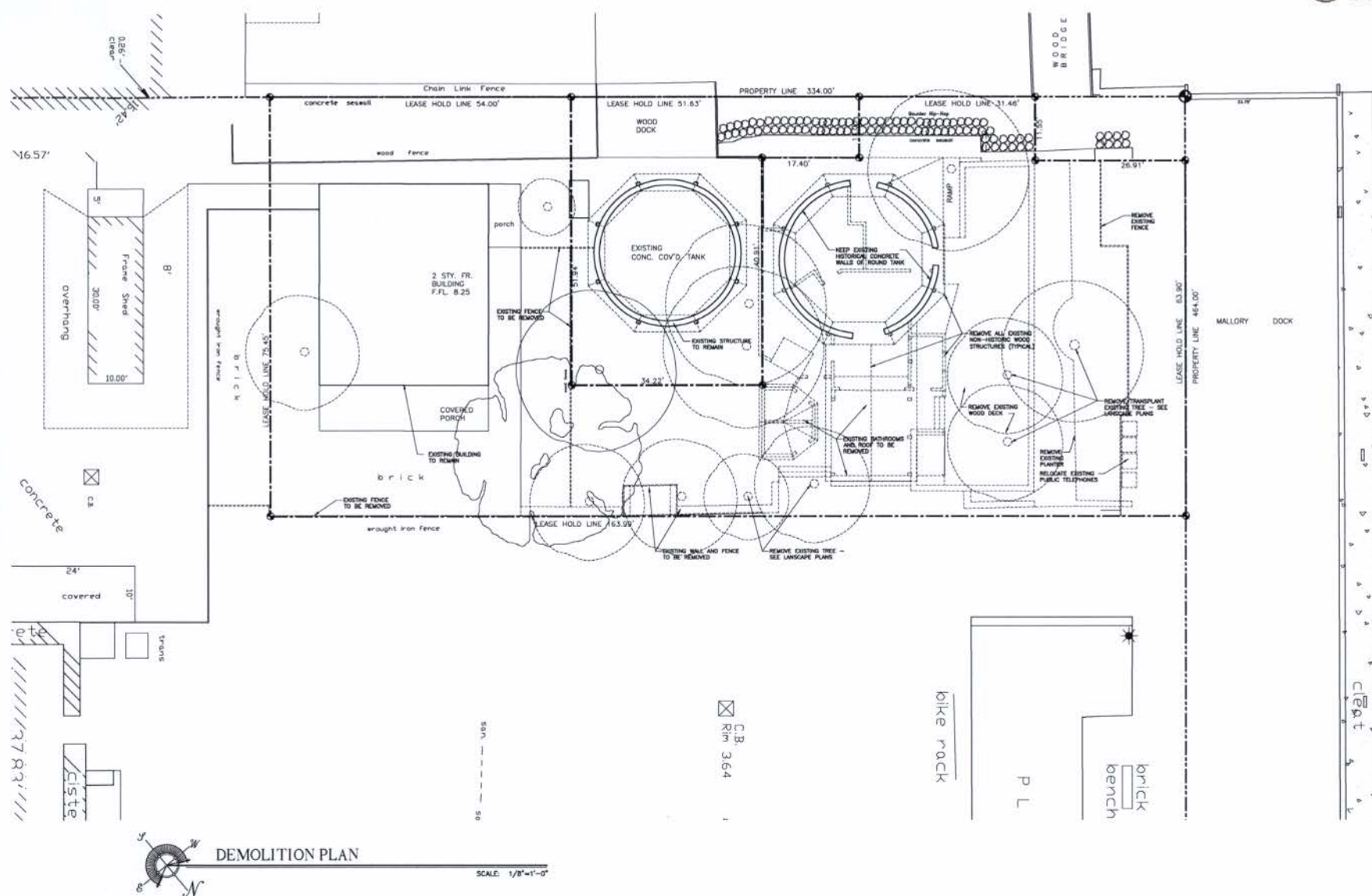
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| DATE     |           |
|----------|-----------|
| 06-03-10 |           |
| 08-09-10 | HARC      |
| 08-31-10 | HARC REV. |
| 10-01-10 | DRC       |
| 11-05-10 | PL. BD.   |

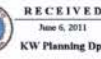
REVISIONS

|          |                |
|----------|----------------|
| 03-11-11 | HARC REV.      |
|          | & PL. BD. REV. |
| 05-09-11 | HARC REV.      |
| 05-20-11 | PL. BD. REV.   |

DRAWN BY  
FMA

PROJECT  
NUMBER  
1006

MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA



LICENSE NO.  
AA-6603842

CRANE BOULEVARD  
SUGARLOAF KEY FLORIDA  
33060  
CA 94027

**MALLORY  
SQUARE  
RESTAURANT**  
MALLORY DOCK  
KEY WEST, FLORIDA

SEAL

DATE \_\_\_\_\_

06-03-10  
08-09-10 HARC  
08-31-10 HARC REV.  
10-01-10 DRC  
11-05-10 PL BD

REVISIONS

|          |             |
|----------|-------------|
| 03-11-11 | HARC REV    |
|          | & PL BD REV |
| 05-09-11 | HARC REV    |
| 05-20-11 | PL BD REV   |

DRAWN BY \_\_\_\_\_  
EMA

PROJECT  
NUMBER  
1006



ALL SITE INFORMATION OBTAINED FROM SURVEY  
BY ISLAND SURVEYING INC. ON 1/28/10

SCALE: 1"=30'-0"

MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

# SITE DATA

SITE AREA: 154,988 S.F. (3.56 ACRES)

LAND USE: HPS (PUBLIC SERVICES INC. RECREATION & OPEN SPACE)

FLAND ZONE: V-13/NV-11/N-10, NE + 8.0'

SETBACKS:

FRONT SETBACK:

REQUIRED = 20.0'

EXISTING = 4.75' (NOT IN LEASE AREA)

PROPOSED = 4.75' (NOT IN LEASE AREA)

SIDE SETBACK:

REQUIRED = 15.0'

EXISTING = 8.0' (IN LEASE AREA)

PROPOSED = 15.0' (IN LEASE AREA)

REAR SETBACK:

REQUIRED = 20.0'

EXISTING = 20.16' (IN LEASE AREA)

PROPOSED = 20.16' (IN LEASE AREA)

COASTAL CONST. CONTROL LINE:

REQUIRED = 30.0'

EXISTING = 35.0'

PROPOSED = 18.18'

FAR:

ALLOWING: 1.0 MAF (154,988 S.F.)

EXISTING: 0.35 (NEW RESTAURANT BLDG.)

PROPOSED: 0.27 (42,210 S.F.)

HEIGHT:

ALLOWABLE: 25.0'

EXISTING: 28.66' (HOSPITALITY HOUSE)

PROPOSED: 33.67' (NEW RESTAURANT BLDG.)

NOTE: NON-HABITABLE ROOF AREA IS ABOVE 25.0'

LOT COVERAGE AREA:

REQUIRED: 61,960 S.F. (40% MAX.)

EXISTING: 33,103 S.F. (21.38%)

PROPOSED: 39,530 S.F. (25.48%)

IMPERVIOUS AREA:

REQUIRED: 77,494 S.F. (50% MAX.)

EXISTING: 140,615 S.F. (90.8%)

PROPOSED: 140,780 S.F. (90.83%)

LANDSCAPE AREA:

REQUIRED: 20%

EXISTING: 14,173 S.F. (9.14%)

PROPOSED: 14,308 S.F. (9.23%)

PARKING IN PARKING WANNER ZONE:

CONSUMPTION AREA - PARCEL 2

EXISTING: 3,454 S.F.

-1,150.4 S.F. (NON CONSUMPTION AREA)

2,344 S.F. (CONSUMPTION AREA)

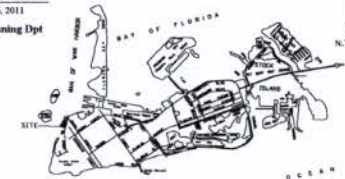
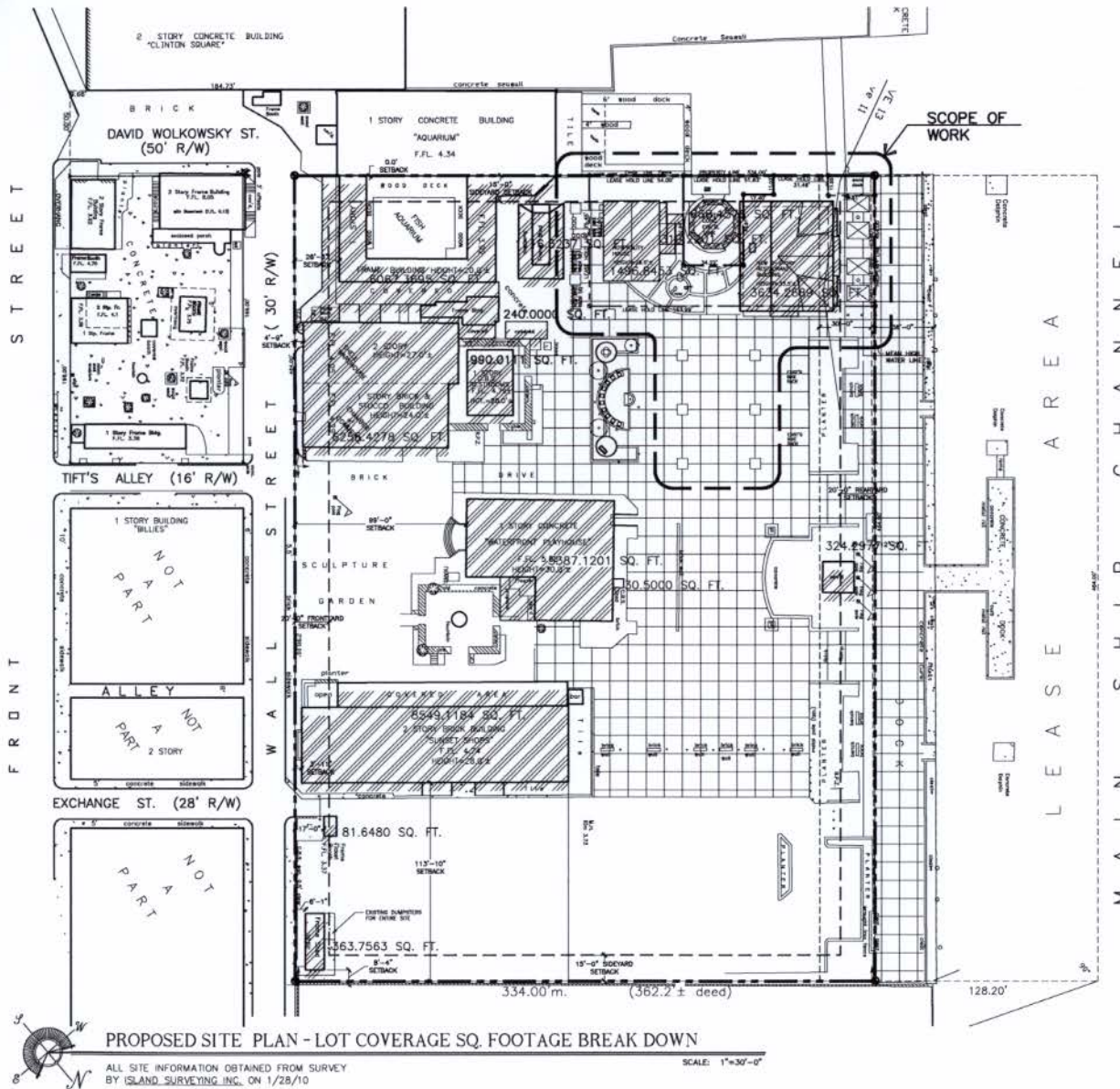
(156 SEATS @ 15 S.F./SEAT)

PROPOSED: 2,344 S.F. (156 SEATS @ 15 S.F./SEAT)

CONSUMPTION AREA - PARCEL 1

EXISTING: 0 S.F. (0 SEATS @ 15 S.F./SEAT)

|                                    |            |                                   |          |
|------------------------------------|------------|-----------------------------------|----------|
| BUILDING DATA                      |            |                                   |          |
| EXISTING BUILDING DATA             |            |                                   |          |
| 1ST. FLOOR<br>ENCLOSED             | 1,150 S.F. | 1ST. FLOOR<br>COVERED             | 360 S.F. |
|                                    |            | 1ST. FLOOR<br>WOOD DECK AREA      | 885 S.F. |
| TOTAL EXISTING ENCLOSED 1,150 S.F. |            | TOTAL EXISTING COVERED 1,365 S.F. |          |
| PROPOSED BUILDING DATA             |            |                                   |          |
| 1ST. FLOOR<br>ENCLOSED             | 2,842 S.F. | 1ST. FLOOR<br>COVERED             | 462 S.F. |
| 2ND. FLOOR<br>ENCLOSED             | 1,891 S.F. | 2ND. FLOOR<br>COVERED             | 736 S.F. |
| TOTAL PROPOSED ENCLOSED 4,733 S.F. |            | TOTAL PROPOSED COVERED 1,197 S.F. |          |



### LOCATION MAP

City of Key West & Stock Island

| SITE DATA                                                    |                                               |
|--------------------------------------------------------------|-----------------------------------------------|
| SITE AREA: 154,888 S.F. (3.55 ACRES)                         |                                               |
| LAND USE: HPS (PUBLIC SERVICES INC. RECREATION & OPEN SPACE) |                                               |
| FLOOD ZONE: V-13/V-11/V-15, AE +8.0'                         |                                               |
| SETBACKS:                                                    |                                               |
| FRONT SETBACK:                                               | REQUIRED = 20.0'                              |
|                                                              | EXISTING = 4.75' (NOT IN LEASE AREA)          |
| SIDE SETBACK:                                                | REQUIRED = 15.0'                              |
|                                                              | EXISTING = 9.0' (IN LEASE AREA)               |
| REAR SETBACK:                                                | REQUIRED = 20.0'                              |
|                                                              | EXISTING = 20.16' (IN LEASE AREA)             |
| COASTAL CONST. CONTROL LINE:                                 | REQUIRED = 30.0'                              |
|                                                              | EXISTING = 25.0'                              |
|                                                              | PROPOSED = 18.16'                             |
| FAR:                                                         | ALLOWABLE: 1.0 MAX (154,888 S.F.)             |
|                                                              | EXISTING: 0.25 (38,720 S.F.)                  |
|                                                              | PROPOSED: 0.27 (42,210 S.F.)                  |
| HEIGHT:                                                      | ALLOWABLE: 25.0'                              |
|                                                              | EXISTING: 28.0' (HOSPITALITY HOUSE)           |
|                                                              | PROPOSED: 33.6' (NEW RESTAURANT BLDG.)        |
|                                                              | (ONLY NON-HABITABLE ROOF AREA IS ABOVE 25.0') |
| LOT COVERAGE AREA:                                           | REQUIRED: 61,905 S.F. (40% MAX.)              |
|                                                              | EXISTING: 33,163 S.F. (21.38%)                |
|                                                              | PROPOSED: 35,530 S.F. (22.95%)                |
| IMPERVIOUS AREA:                                             | REQUIRED: 77,494 S.F. (50% MAX.)              |
|                                                              | EXISTING: 140,815 S.F. (90.85%)               |
|                                                              | PROPOSED: 140,780 S.F. (90.63%)               |
| LANDSCAPE AREA:                                              | REQUIRED: 20%                                 |
|                                                              | EXISTING: 14,173 S.F. (9.14%)                 |
|                                                              | PROPOSED: 14,308 S.F. (9.18%)                 |
| PARKING: IN PARKING WAIVER ZONE                              |                                               |
| CONSUMPTION AREA - PARCEL 2                                  |                                               |
| EXISTING:                                                    | 3,494.4 S.F.                                  |
|                                                              | -1,150.4 S.F. (NON CONSUMPTION AREA)          |
|                                                              | 2,344 S.F. (CONSUMPTION AREA)                 |
|                                                              | (156 SEATS @ 15 S.F./SEAT)                    |
| PROPOSED:                                                    | 3,344 S.F. (156 SEATS @ 15 S.F./SEAT)         |
| CONSUMPTION AREA - PARCEL 1                                  |                                               |
| EXISTING:                                                    | 0 S.F. (0 SEATS @ 15 S.F./SEAT)               |

| BUILDING DATA           |            |                          |            |
|-------------------------|------------|--------------------------|------------|
| EXISTING BUILDING DATA  |            |                          |            |
| 1ST FLOOR ENCLOSED      | 1,150 S.F. | 1ST FLOOR COVERED        | 380 S.F.   |
|                         |            | 1ST FLOOR WOOD DECK AREA | 880 S.F.   |
| TOTAL EXISTING ENCLOSED | 1,150 S.F. | TOTAL EXISTING COVERED   | 1,365 S.F. |
| PROPOSED BUILDING DATA  |            |                          |            |
| 1ST FLOOR ENCLOSED      | 2,842 S.F. | 1ST FLOOR COVERED        | 482 S.F.   |
| 2ND FLOOR ENCLOSED      | 1,891 S.F. | 2ND FLOOR COVERED        | 738 S.F.   |
| TOTAL PROPOSED ENCLOSED | 4,733 S.F. | TOTAL PROPOSED COVERED   | 1,197 S.F. |

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A.A. 000340

Seatech  
PAUL R. SEMMES, P.E.  
P.E. 11117

CRANE BOULEVARD  
BURLINGTON, FLORIDA  
33431  
C.A. 11117

MALLORY  
SQUARE  
RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

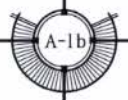
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DATE  
06-03-10  
08-09-10 HARC  
08-31-10 HARC REV  
10-01-10 DRC  
11-09-10 PL BD

REVISIONS  
03-11-11 HARC REV  
& PL BD REV  
05-09-11 HARC REV  
05-20-11 PL BD REV

DRAWN BY  
EMA

PROJECT  
NUMBER  
1006



MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA



RECEIVED  
June 6, 2011  
KW Planning Dpt

WILLIAM P. HORN  
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LICENSE NO.  
AA 800360

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PAUL R. SEMMES P.E.  
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TEL: (415) 335-1111  
CA 11 1111

MALLORY  
SQUARE  
RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

SEAL

DATE

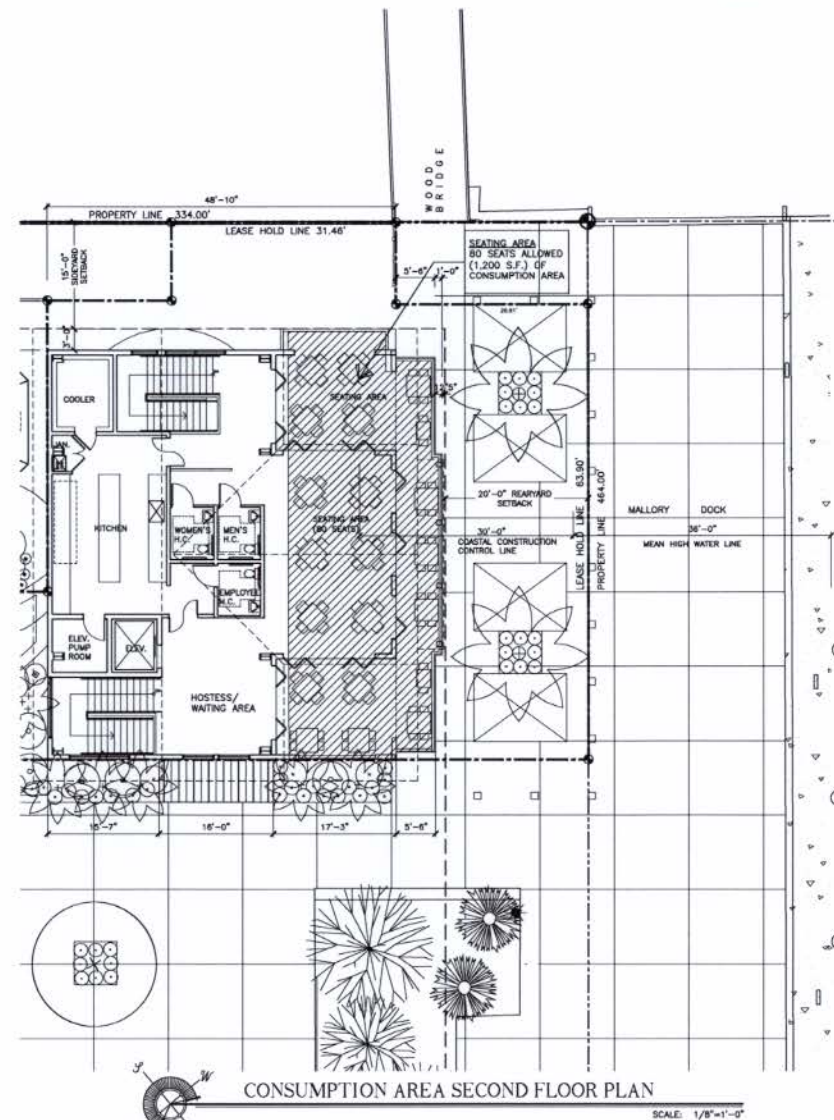
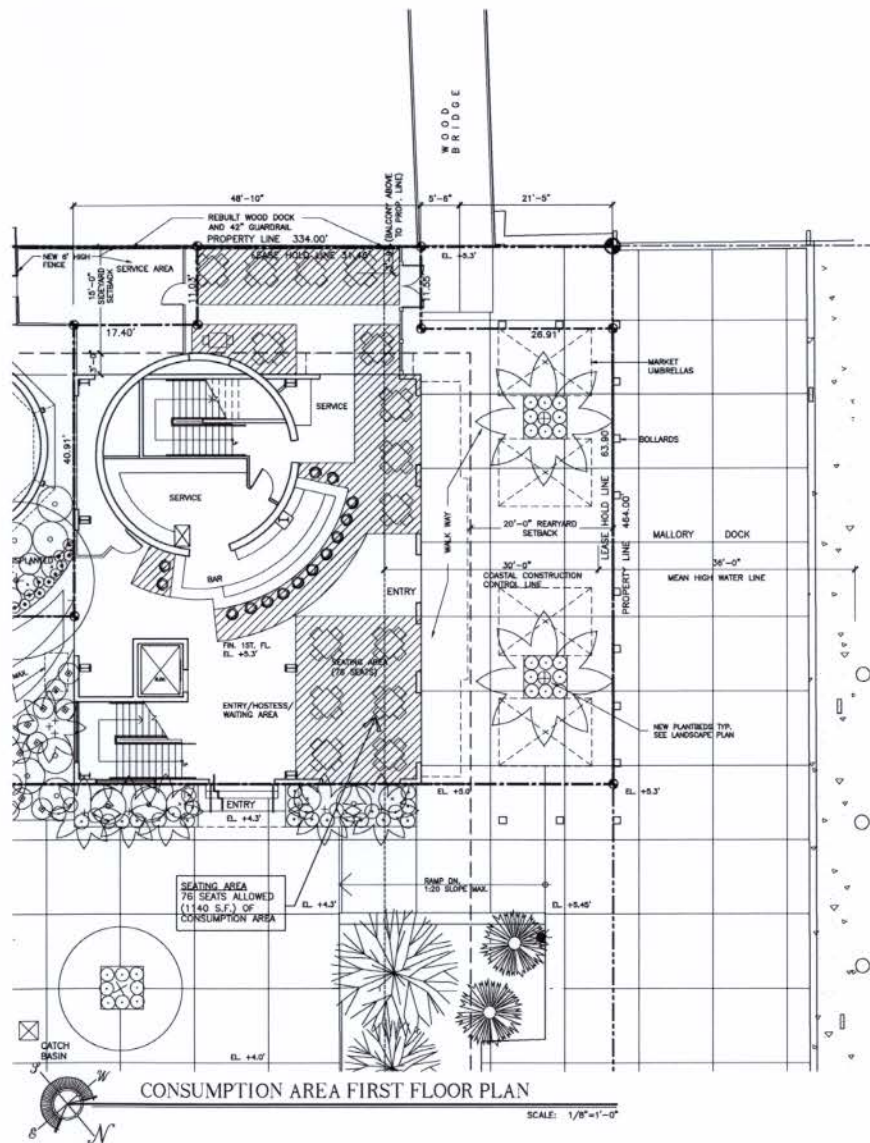
06-03-10  
08-09-10 HARC  
08-31-10 HARC REV.  
10-01-10 DRC  
11-05-10 PL BD

REVISIONS

03-11-11 HARC REV.  
4 PL BD REV.  
05-09-11 HARC REV.  
05-20-11 PL BD REV.

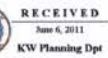
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PROJECT  
NUMBER  
1006



MALLORY SQUARE RESTAURANT  
MALLORY DOCK  
KEY WEST, FLORIDA

A-2a



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FAX: (305) 296-1323

LICENSE NO.  
A.A. 00030-00

PAUL R. SEMMES, P.E.

CRANE BOULEVARD  
SUGARLOAF KEY FLORIDA  
33060  
C.A. 33060

**MALLORY  
SQUARE  
RESTAURANT**  
MALLORY DOCK  
KEY WEST, FLORIDA

SEAL

| DATE     |           |
|----------|-----------|
| 06-03-10 |           |
| 08-09-10 | HARC      |
| 08-31-10 | HARC REV. |
| 10-01-10 | DRC       |
| 11-05-10 | PL. BD    |

**REVISIONS**

|          |                |
|----------|----------------|
| 03-11-11 | HARC REV.      |
|          | & PL. BD. REV. |
| 05-09-11 | HARC REV.      |
| 05-20-11 | PL. BD. REV.   |

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PROJECT NUMBER  
1006

EX-2a