

Application



Application for Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

Application Fee: \$2,300.00 / After-the-Fact: \$4,300.00
(includes \$200.00 advertising/noticing fee and \$100.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 1020 Margaret St., Key West, FL 33040

Zoning District: HMDR

Real Estate (RE) #: 3049

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: William P. Horn, PA

Mailing 915 Eaton St.

Address:

City: Key State: FL 33040 Zip: _____

Home/Mobile Phone: _____ Office: (305) 296 8302 Fax: _____

Email: william@wphornarchitect.com

PROPERTY OWNER: (if different than above)

Name: Soni and Sons LTD Partnership

Mailing 830 Truman Ave.

Address:

City: Key West State: FL 33040 Zip: _____

Home/Mobile Phone: (305) 393 4961 Office: (305) 292 9596 Fax: _____

Email: tejnut2@gmail.com, kristsoni@gmail.com

Description of Proposed Construction, Development, and Use: Renovate two existing historic single family residential buildings and construct three new single family

residential buildings, add new pool and parking lot. Site is licensed for 5 units.

List and describe the specific variance(s) being requested:

Need a front yard setback variance for a street front porch and a rear yard setback variance to renovate the two historic buildings.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HMDR			
Flood Zone	X			
Size of Site	17,980.52 SF			
Height	30'			
Front Setback	10'	72'-11"	5'-6"	Yes
Side Setback - NORTH	5'	0'	5'	
Side Setback - SOUTH	5'	0'	5'	
Street Side Setback	N/A			
Rear Setback	15'	2'-3"	9'-4"	Yes
F.A.R	N/A			
Building Coverage	40% 7,192.52	27.5% 5,004	37% 6,697 SF	
Impervious Surface	60% 10,788	47% 8,418	59.7% 10,750.5	
Parking	5		7	
Handicap Parking	N/A			
Bicycle Parking				
Open Space/ Landscaping	35% 6,293.18	53% 9,562.52	35% 6,330.52	
Number and type of units	6 RES. UNITS	5 UNITS	5 UNITS	
Consumption Area or Number of seats	N/A			

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

The special conditions of this site include the two existing historic buildings being in the rear setback (we are improving the condition by 7'-3") and existing trees and existing neighboring conditions (see #4) creating the need for the front yard setback variance.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The conditions noted above are not created by the applicant and have been on the site over 100 years (location of existing buildings).

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

We are not asking for anything special that other properties do not have. There are many properties in the historic district that have buildings within rear and front setbacks.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

HARC staff wants the new buildings to be on the north side of the property (by the commercial hotel) not by the neighboring residential buildings on the south side and they want the new building that's facing the street to have a front yard porch per the guidelines.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

We tried to minimize the variances as much as possible. The rear yard setback will be improved by 7'-3" and we are only asking for the front yard setback for the porch only (not for the house).

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The two setback variances will not be injurious to the public welfare and will improve the rear yard and front yard.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Other properties were not considered for the request for the setback variances.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department along with one (1) electronic copy of materials on a flash drive.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Monroe County Property record card
- Signed and sealed survey (Survey must be within 10 years from submittal of this application)
- Site plan (plans **MUST** be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

Verification Form

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an Entity)

I, WILLIAM P. HORN, in my capacity as PRINCIPAL
(print name) (print position; president, managing member)

of WILLIAM P. HORN ANCIENT KEY, P.A.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1020 MARGARET STREET
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

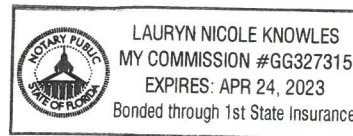
[Signature]
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 13th day of January 2020 by
date

William Horn
Name of Authorized Representative

He/She is personally known to me or has presented State of Florida DL as identification.

[Signature]
Notary's Signature and Seal



Laurny Knowles
Name of Acknowledger typed, printed or stamped

#GG327315
Commission Number, if any

Authorization Form

**City of Key West
Planning Department**



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Hansa V Soni as
Please Print Name of person with authority to execute documents on behalf of entity

Soni & Sons Ltd Partnership of
Name of office (President, Managing Member) Name of owner from deed

authorize WILLIAM P. HORN ANCHUTZ, P.A.
Please Print Name of Representative

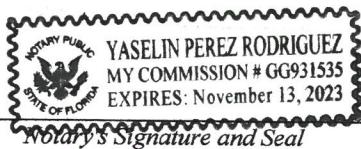
to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 01/09/2020
Date

by Hansa V. Soni
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented FIDL as identification.



Yaelin Perez Rodriguez
Name of Acknowledger typed, printed or stamped

66931535
Commission Number, if any

Boundary Survey

HOUSING PROJECT 1020 MARGARET STREET KEY WEST, FL 33040

REV 3

SITE DATA

SITE AREA: 17,512.25 S.F. (0.402 ACRES)
(DOES NOT INCLUDE THE 468.27 S.F. OF SITE AREA IN DISPUTE WITH NEIGHBOR)

LAND USE: HMDR

FLOOD ZONE: 'X' (PROPOSED NEW MAPS = AE +9.0' NAVD 88)

FAR: MAX. 1.0

DENSITY: MAX. 16 UNITS/ACRE
ALLOWED = 6.5 UNITS
PROPOSED = 5 UNITS (EXISTING LICENSES)

HEIGHT: ALLOWED = MAX. 30'
EXISTING = 22'-6"
PROPOSED = 26'-4"

SETBACKS:

FRONT SETBACK:
REQUIRED = 10'-0"
EXISTING = 72'-11"
PROPOSED = 5'-6"
(VARIANCE REQUIRED)

SIDE (NORTH) SETBACK:
REQUIRED = 5'-0"
EXISTING = 0'-0"
PROPOSED = 5'-0"

SIDE (SOUTH) SETBACK:
REQUIRED = 5'-0"
EXISTING = 0'-0"
PROPOSED = 0'-0"

REAR SETBACK:
REQUIRED = 15'-0"
EXISTING = 2'-3"
PROPOSED = 10'-0"
(VARIANCE REQUIRED)

BUILDING COVERAGE AREA:

ALLOWED: 7,004.90 S.F. (40% MAX.)
EXISTING: 4,747.43 S.F. (27.10%)
PROPOSED: 6,277.83 S.F. (35.84%)

IMPERVIOUS AREA:

ALLOWED: 10,507.35 S.F. (60% MAX.)
EXISTING: 8,142.88 S.F. (46.49%)
PROPOSED: 9,803.54 S.F. (55.98%)

LANDSCAPE AREA:

REQUIRED: 6,129.29 S.F. (35% MIN.)
EXISTING: 9,369.38 S.F. (53.51%)
PROPOSED: 6,187.06 S.F. (35.32%)

OPEN SPACE AREA:

REQUIRED: 6,129.29 S.F. (35% MIN.)
EXISTING: 9,369.38 S.F. (53.51%)
PROPOSED: 6,187.06 S.F. (35.32%)

PARKING:

REQUIRED: 1 SPACE/UNIT x 5 UNITS = 5 SPACES
EXISTING: 0 SPACES
PROPOSED: 7 SPACES

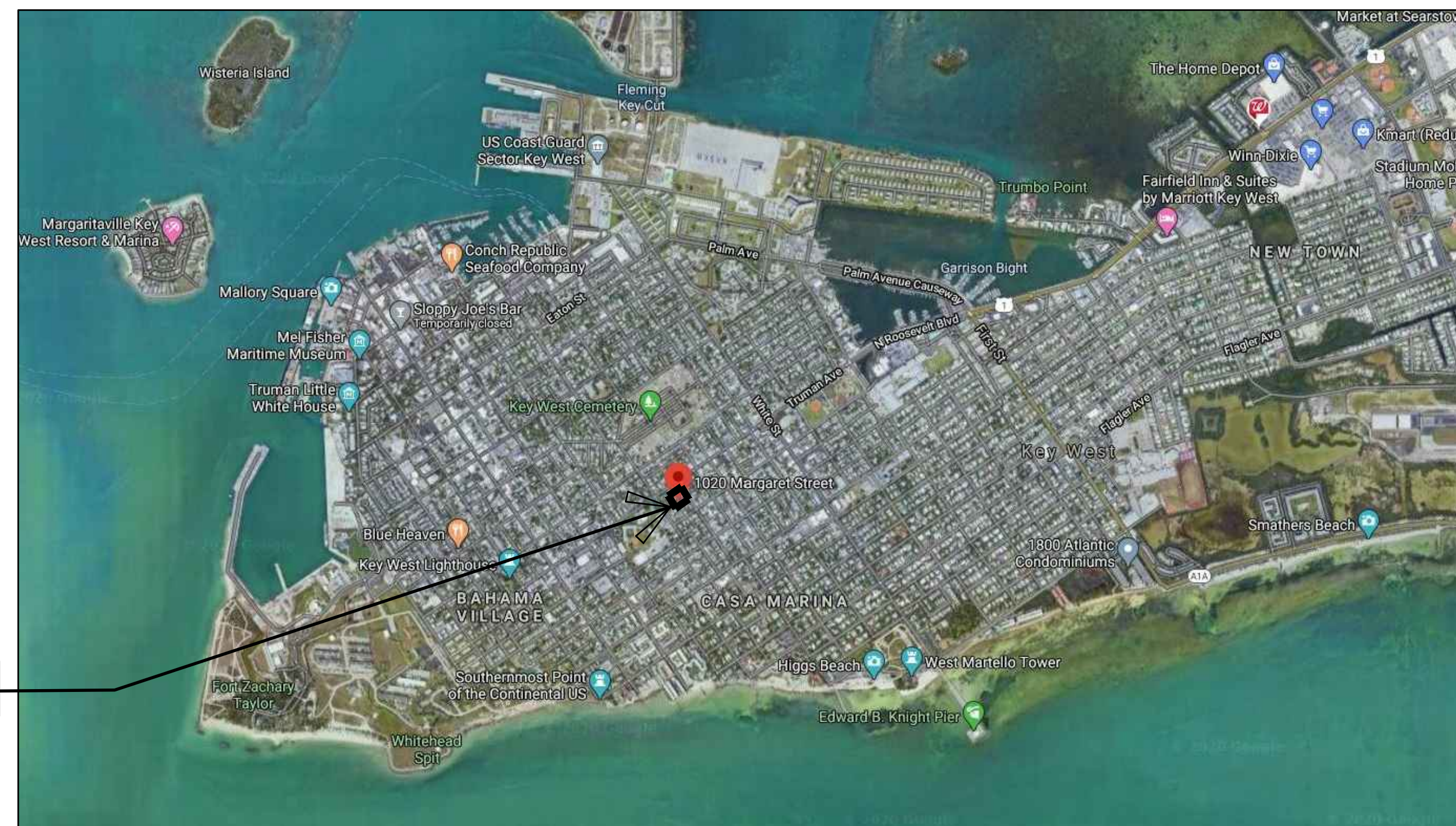
BUILDING DATA

5-SINGLE FAMILY UNITS (EXISTING LICENSES)

	ENCLOSED	COVERED
UNIT 1 - 2 BEDROOM (EXISTING BUILDING)		
FIRST FLOOR:	926 S.F.	92 S.F.
SECOND FLOOR:	-----	-----
UNIT 2 - 4 BEDROOM		
FIRST FLOOR:	1,904 S.F.	423 S.F.
SECOND FLOOR:	512 S.F.	-----
UNIT 3 - 3 BEDROOM		
FIRST FLOOR:	686 S.F.	90 S.F.
SECOND FLOOR:	686 S.F.	90 S.F.
UNIT 4 - 3 BEDROOM		
FIRST FLOOR:	686 S.F.	90 S.F.
SECOND FLOOR:	686 S.F.	90 S.F.
UNIT 5 - 3 BEDROOM		
FIRST FLOOR:	686 S.F.	90 S.F.
SECOND FLOOR:	686 S.F.	90 S.F.
TOTAL:	7,458 S.F.	1,055 S.F.

REV 3

VICINITY MAP



AREA OF WORK

LIST OF DRAWINGS

- A-0 COVER SHEET
- A-1 ROOF / SITE PLAN
- A-2 FIRST FLOOR PLAN
- A-2.1 SECOND FLOOR PLAN
- A-4 ELEVATIONS UNIT #2
- A-4.1 ELEVATIONS UNIT #2
- A-4.2 ELEVATIONS UNIT #1
- A-4.3 ELEVATIONS UNIT #3, #4 & #5
- A-4.4 STREET VIEWS
- D-1 DEMOLITION PLAN
- D-2 RELOCATION PLAN
- EX-1 EXISTING SITE PLAN
- EX-2 EXISTING FIRST FLOOR PLAN
- EX-3 EXISTING SECOND FLOOR PLAN
- EX-4 EXISTING ELEVATIONS
- EX-4.1 EXISTING ELEVATIONS
- C-1 DRAINAGE PLAN
- C-2 UTILITY PLAN
- TD-1 TREE DISPOSITION AND PLANTING PLAN
- LP-1 PLAN LIST AND SPECIFICATIONS
- LP-2 PLANTING PLAN
- SURVEY

KEY PERSONNEL

ARCHITECT:

WILLIAM P. HORN ARCHITECT, P.A.

WILLIAM P. HORN, RA, LEED AP
915 EATON ST.
KEY WEST, FL 33040
TEL. (305) 296-8302

STRUCTURAL ENGINEERING:

ARTIBUS DESIGN

SERGE MASHTAKOV, P.E.
3706 N. ROOSEVELT BLVD, SUITE I-208
KEY WEST, FL 33040
TEL. (305) 304-3512

LANDSCAPE CONSULTANT:

CRAIG REYNOLDS LANDSCAPE ARCHITECTURE

517 DUVAL STREET SUITE 204
KEY WEST, FL 33040
TEL. (305) 292-7243

SURVEYOR:

FLORIDA KEYS LAND SURVEYING
PROFESSIONAL SURVEYOR & MAPPER

19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33166
TEL. (305) 394-3690

OWNER:

SONI AND SONS LTD PARTNERSHIP

830 TRUMAN AVENUE
KEY WEST, FLORIDA 33040
TEL. (305) 292-9596

CIVIL ENGINEERING:

PEREZ ENGINEERING AND DEVELOPMENT INC.

ALLEN E. PEREZ, PE
1010 EAST KENNEDY DRIVE
SUITE 400
KEY WEST, FL 33040
TEL. (305) 293-9440

MEP ENGINEERING:

INNOVATIVE ENGINEERING GROUP INC.

SUDHIR GUPTA, PE, LEED AP
5532 N.W. 72ND AV.
MIAMI, FL 33166
TEL. (305) 888-9626

SCOPE OF WORK

THE EXISTING SITE CONTAINS AN OPEN GRAVEL/GRASS AREA IN THE FRONT HALF OF THE SITE AND TWO WOOD FRAME HISTORIC BUILDINGS WITH MANY NON-HISTORIC ADDITIONS AND SHEDS. THE ONE STORY BUILDING HAS TWO EXISTING RESIDENTIAL UNITS AND THE TWO STORY BUILDING HAS THREE EXISTING RESIDENTIAL UNITS. THE TWO STORY BUILDING HAD A FIRE ABOUT 8 MONTHS AGO AND NEEDS TO BE RENOVATED.

THE NEW PROJECT CONSISTS OF RE-USING THE EXISTING FIVE RESIDENTIAL LICENSES. NUMEROUS NON-HISTORIC ADDITIONS AND SHEDS WILL BE REMOVED AND THE TWO STORY EXISTING HISTORIC BUILDING WILL BE RELOCATED AND RENOVATED. EACH HISTORIC BUILDING WILL HAVE ONE UNIT. THREE NEW TWO STORY BUILDINGS WILL BE CONSTRUCTED, EACH WILL HAVE ONE UNIT. A NEW PARKING LOT WILL HAVE SEVEN CAR SPACES. A SMALL POOL WILL BE IN THE CENTER OF THE PROPERTY FOR ALL 5 SINGLE FAMILY RESIDENTIAL UNITS TO USE. THE ONE TWO STORY EXISTING BUILDINGS AND THE THREE NEW BUILDINGS WILL BE RAISED TO BE ONE FOOT ABOVE THE NEW "PROPOSED" FEMA FLOOD MAP ELEVATIONS. THE EXISTING ONE STORY BUILDING WILL REMAIN IN SAME LOCATION AND NOT BE RENOVATED IN THIS PHASE OF THE WORK UNTIL THE PROPERTY DISPUTE WITH THE NEIGHBOR IS RESOLVED.

INTERGOVERNMENTAL COORDINATION

WE WILL BE COORDINATING WITH ALL INTERGOVERNMENTAL AGENCY'S THROUGHOUT THE PLANNING APPROVAL PROCESS AND WILL BE COMPLETED PRIOR TO CITY COMMISSION APPROVAL.

FIRE SPRINKLER SYSTEM

ALL BUILDINGS WILL HAVE A FULLY OPERATIONAL RESIDENTIAL FIRE SPRINKLER SYSTEM TO CODE. CONTRACTOR TO PROVIDE SIGNED AND SEALED FIRE SPRINKLER DRAWINGS BY A FLORIDA REGISTERED ENGINEER TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.

REV 3

WILLIAM P. HORN
ARCHITECT, P.A.

915 EATON ST.
KEY WEST,
FLORIDA
33040

TEL. (305) 296-8302
FAX (305) 296-1033

LICENSE NO.
AA 0003040

1020 MARGARET
STREET RENOVATIONS
KEY WEST, FLORIDA.

SEAL

DATE

08-14-19
01-06-20 DRC
02-24-20 DRC REV.
09-22-20 HARC

REVISIONS

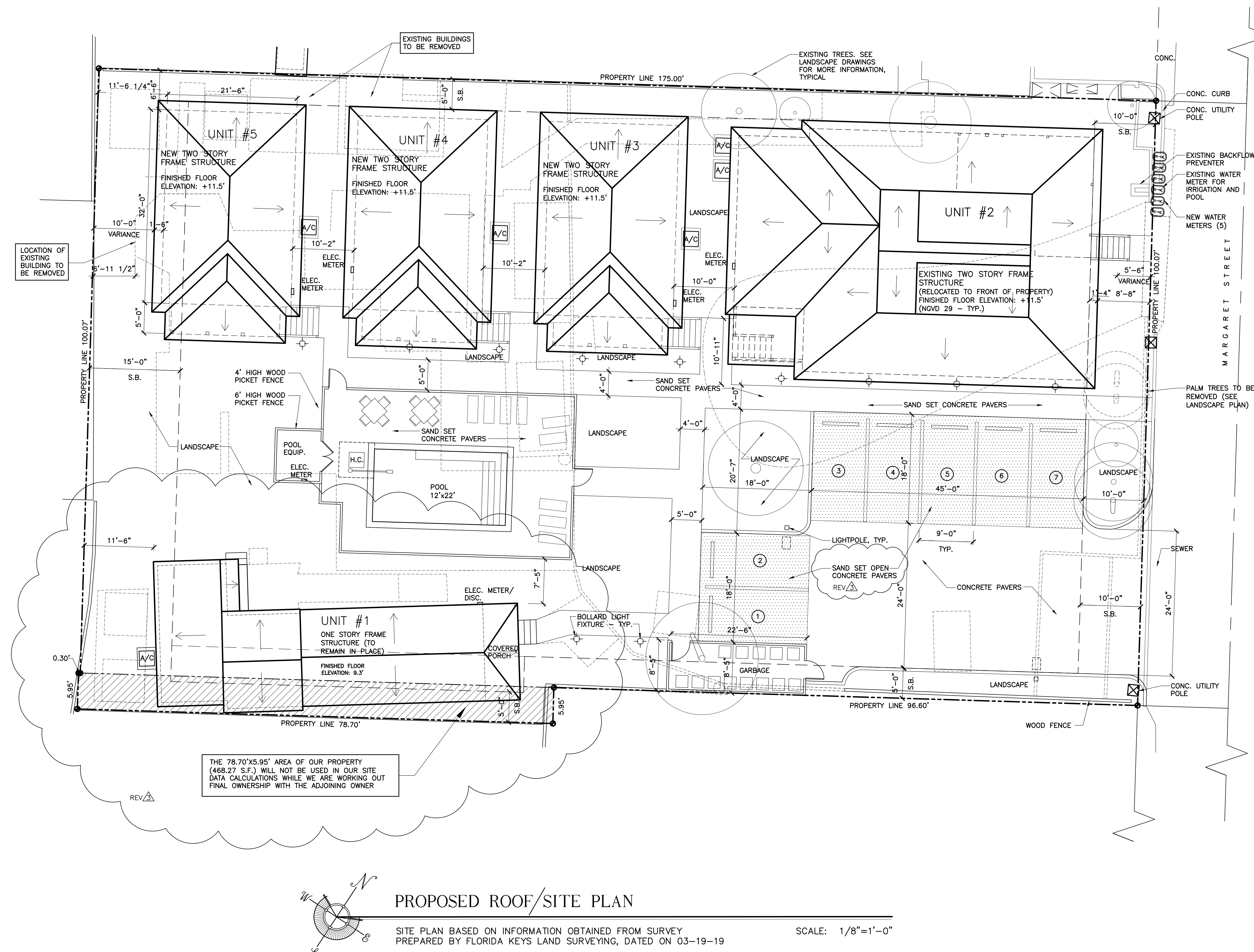
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06-18-20 REV. A
10-06-20 HARC REV.
02-19-21 REV. A

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EMA

PROJECT NUMBER

1901



SEAL

DATE

08-14-19	
01-06-20	DRC
02-24-20	DRC REV.
09-22-20	HARC

REVISIONS

03-11-20	REV. △
06-18-20	REV. △
10-06-20	HARC REV.
02-19-21	REV. △

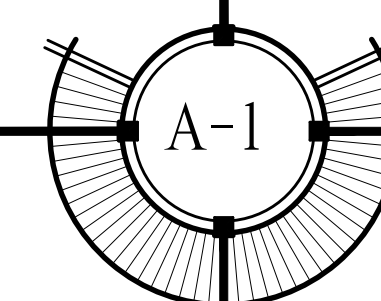
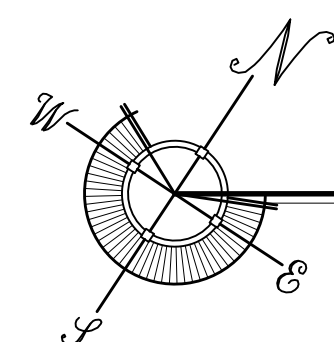
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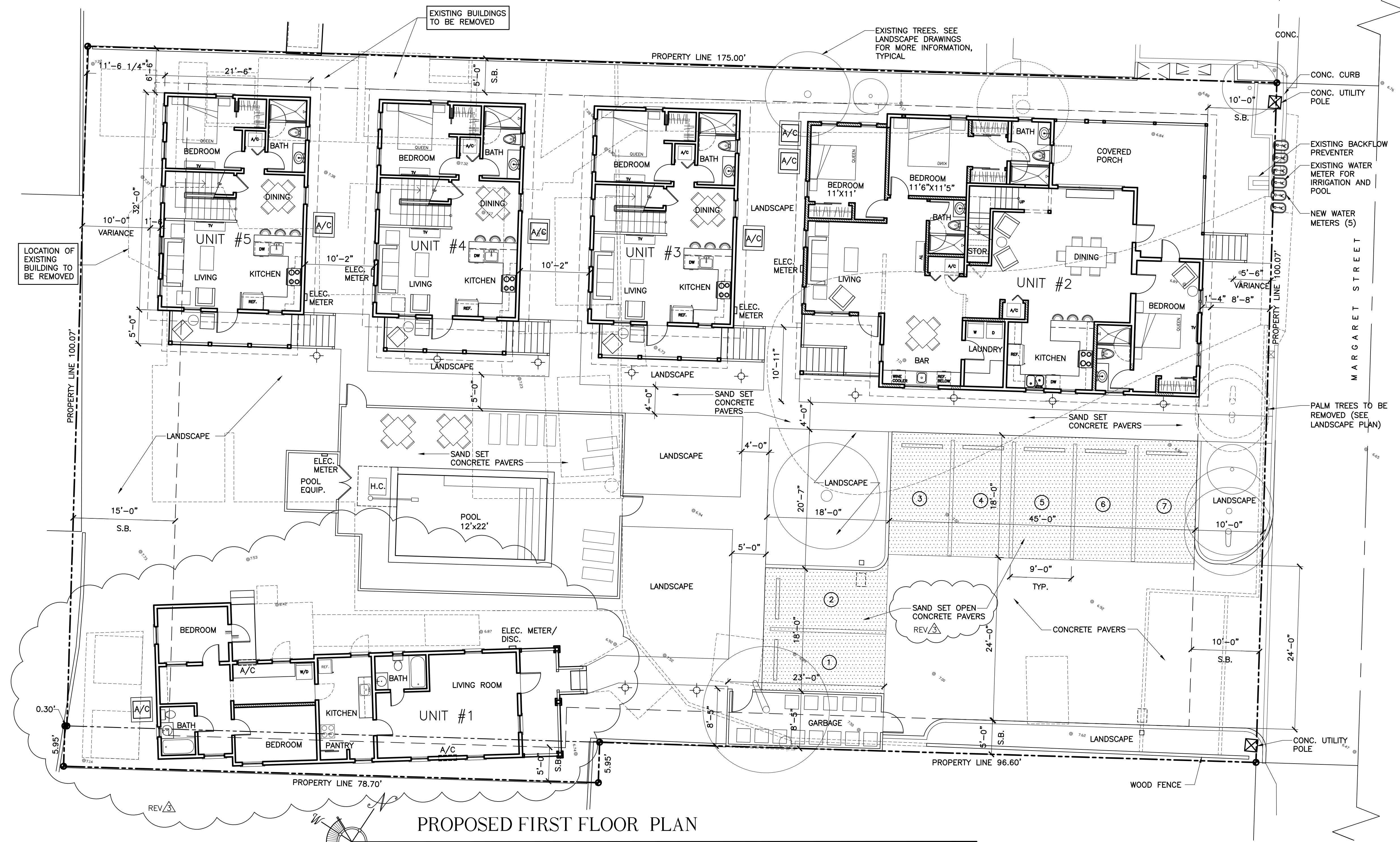
PROJECT NUMBER
1901

PROPOSED ROOF/SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 03-19-19

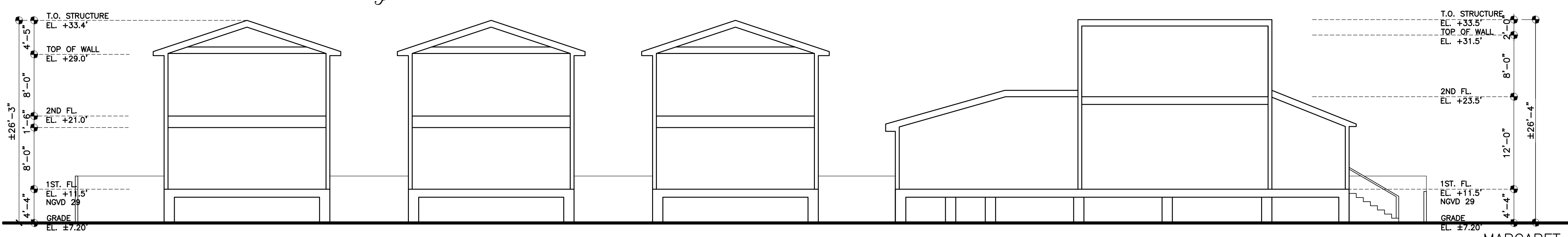
SCALE: 1/8" = 1'-0"





PROPOSED FIRST FLOOR PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 03-19-19
SCALE: 1/8"=1'-0"



CONCEPTUAL SITE SECTION

SCALE: 1/8"=1'-0"

DATE

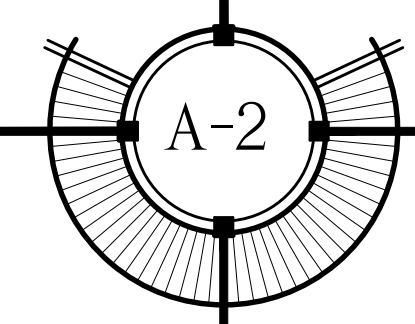
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02-24-20	DRC REV.
09-22-20	HARC

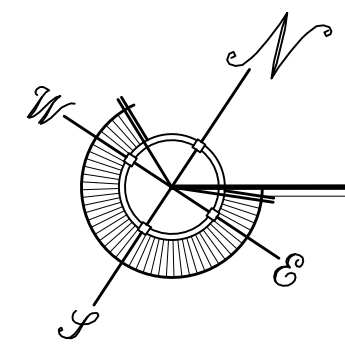
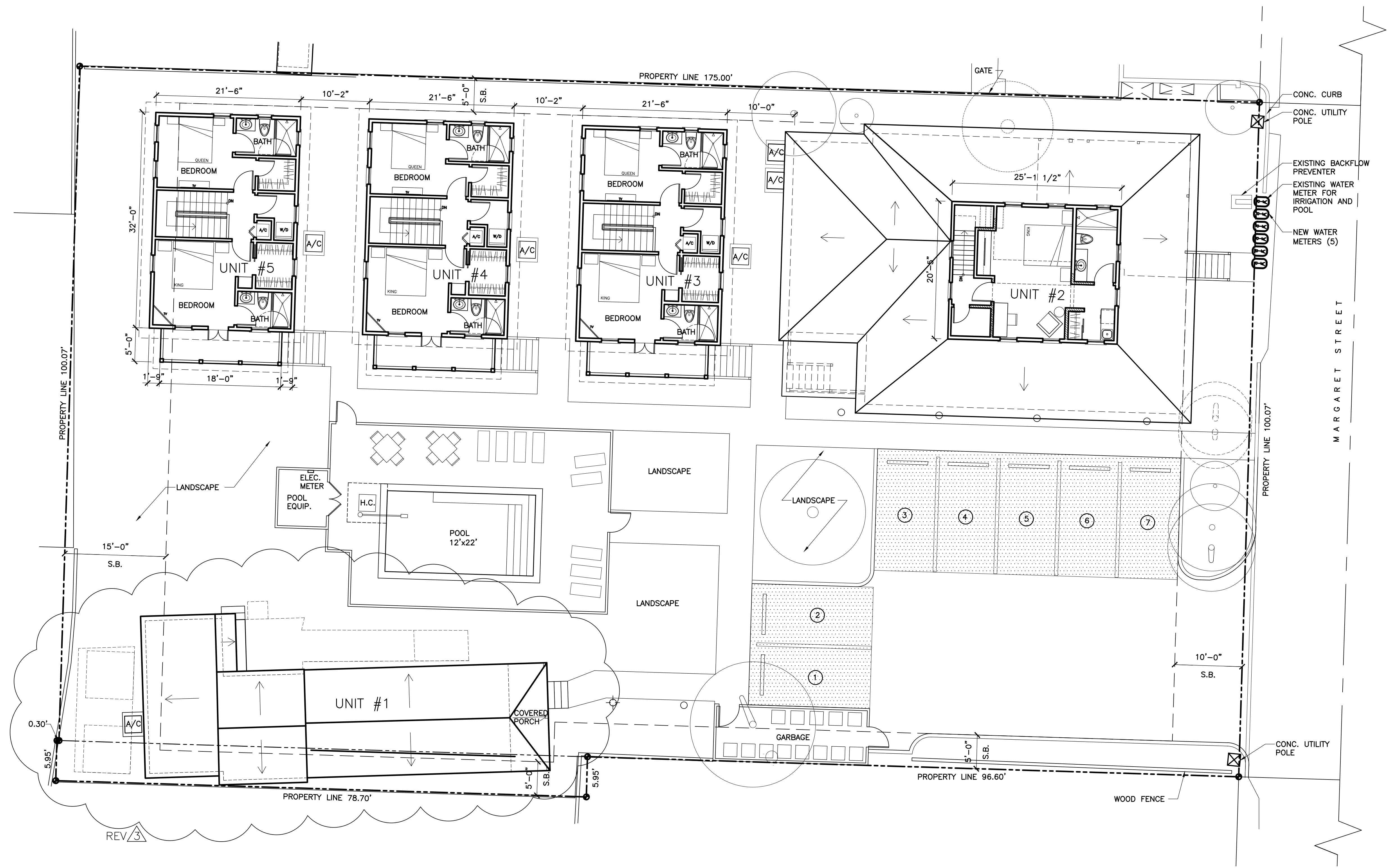
REVISIONS

03-11-20	REV. Δ
06-18-20	REV. Δ
10-06-20	HARC REV.
02-19-21	REV. Δ

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PROJECT NUMBER
1901





PROPOSED SECOND FLOOR PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 03-19-19

SCALE: 1/8"=1'-0"

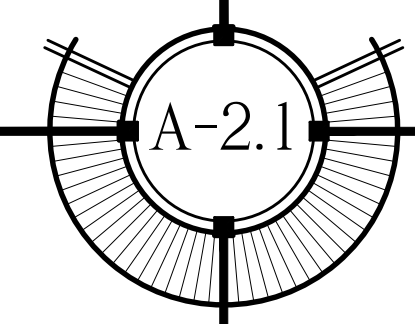
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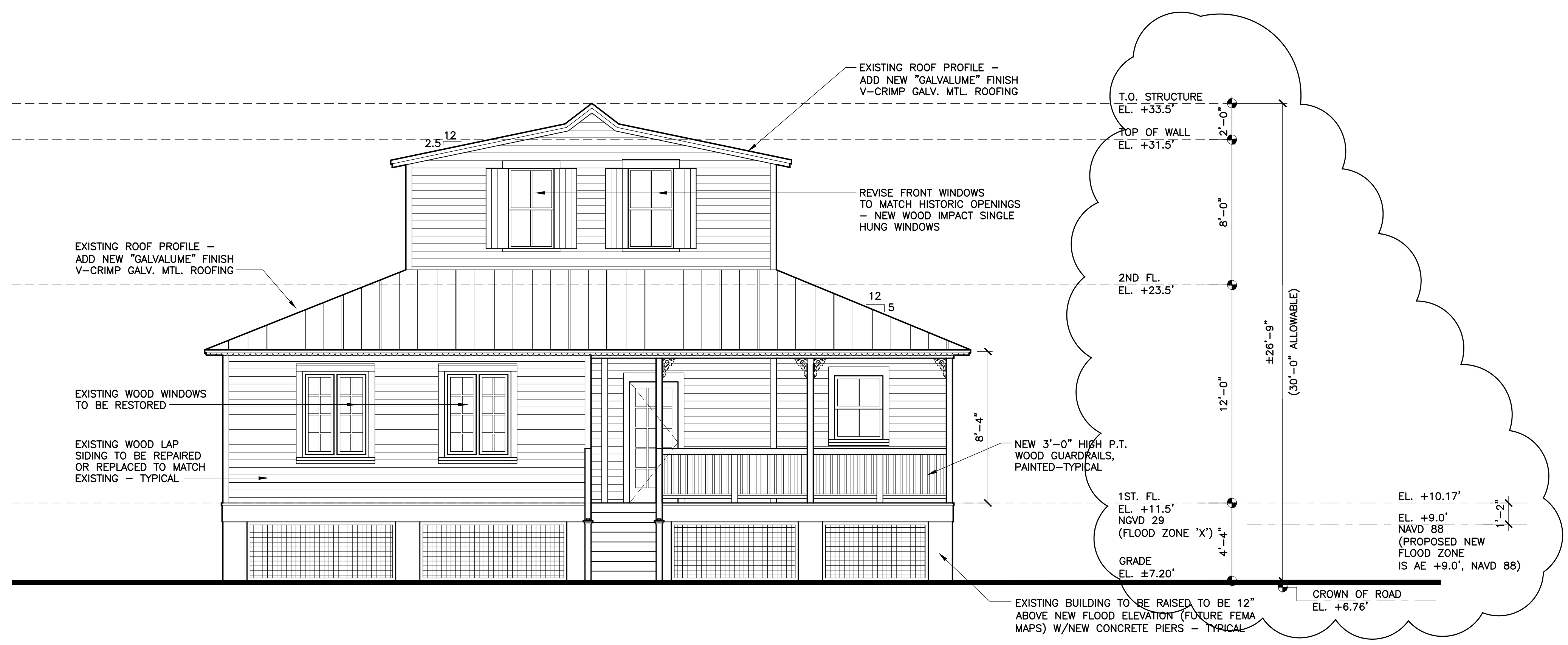
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02-24-20	DRC REV.
09-22-20	HARC

DATE	REVISIONS
03-11-20	REV. Δ
06-18-20	REV. Δ
10-06-20	HARC REV.
02-19-21	REV. Δ

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1
A-4 PROPOSED FRONT ELEVATION - UNIT #2

SCALE: 1/4"=1'-0"

REV



2
A-4 PROPOSED SIDE ELEVATION - UNIT #2

SCALE: 1/4"=1'-0"

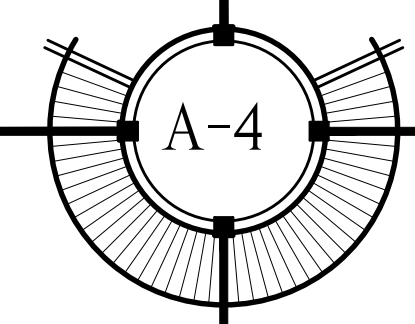
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09-22-20	HARC

DATE	REV.
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06-18-20	REV.
10-06-20	HARC REV.
02-19-21	REV.

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1 PROPOSED REAR ELEVATION - UNIT #2
A-4.1

SCALE: 1/4"=1'-0"



2 PROPOSED SIDE ELEVATION - UNIT #2
A-4.1

SCALE: 1/4"=1'-0"

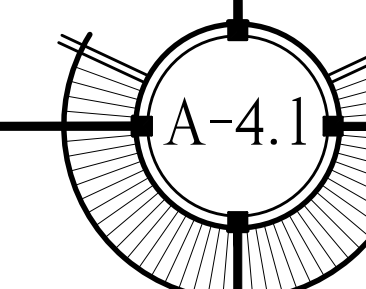
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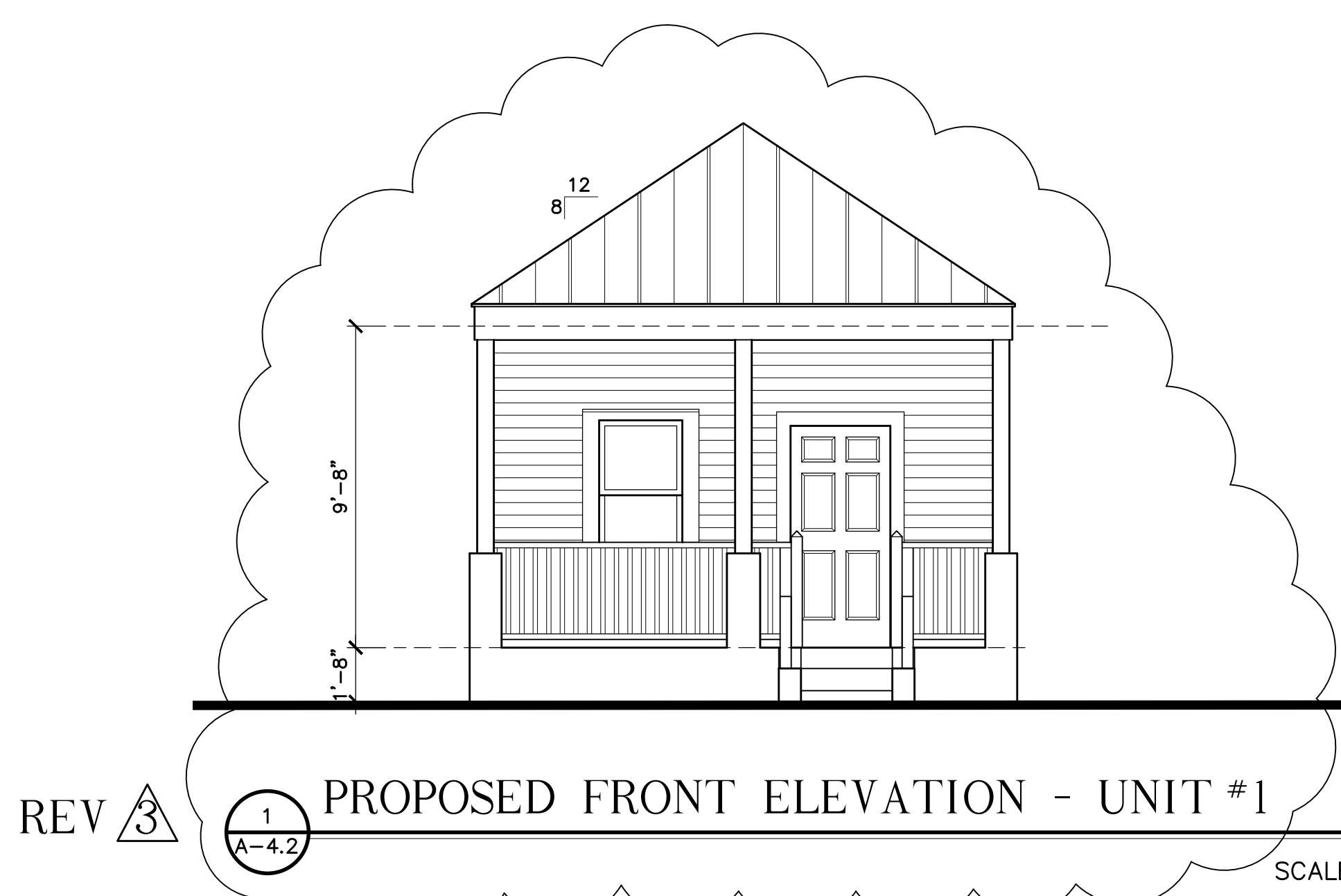
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03-11-20	REV.	△	
06-18-20	REV.	△	
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02-19-21	REV.	△	

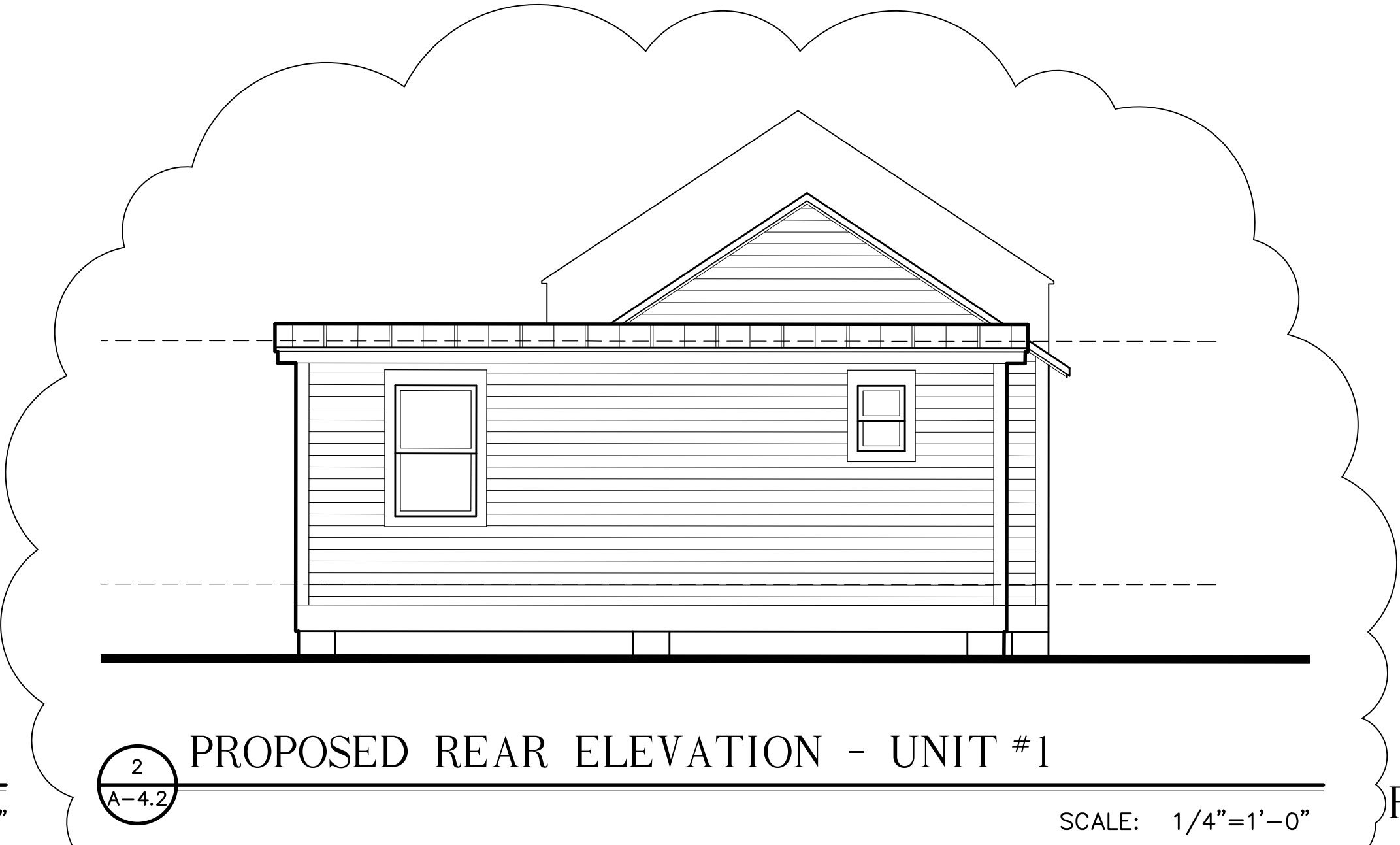
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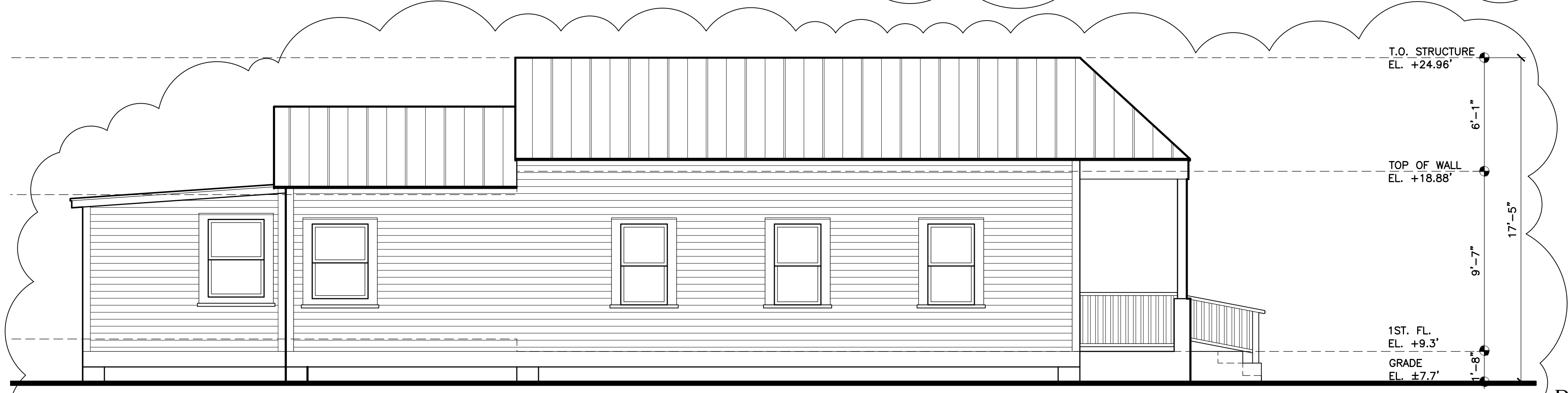




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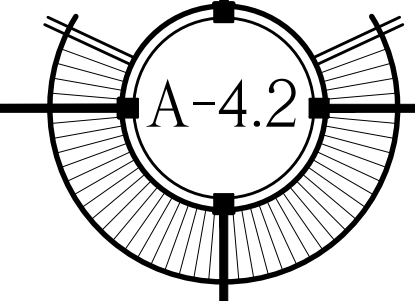
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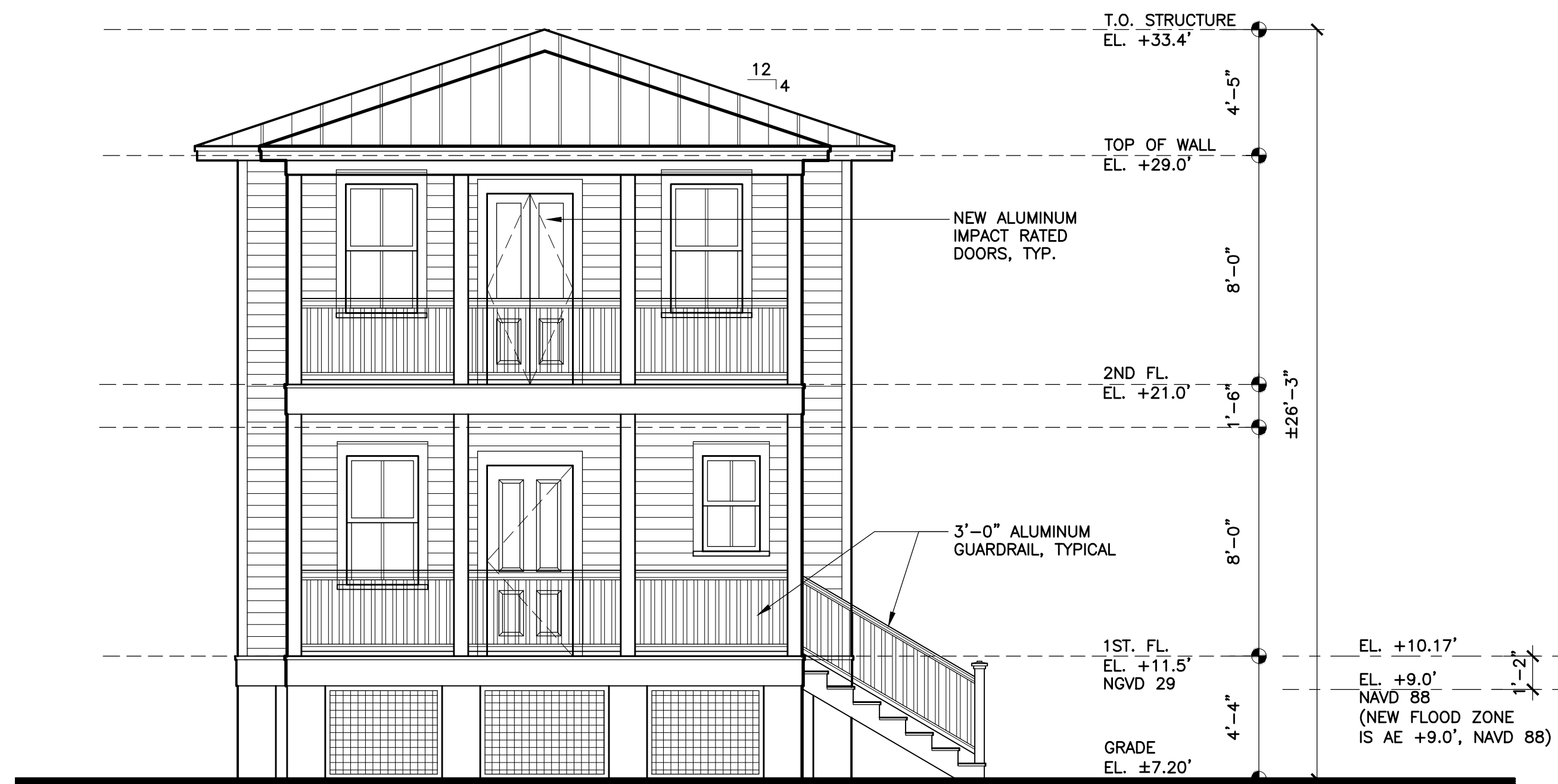
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09-22-20 HARC

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02-19-21 REV. △

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JW
EMA

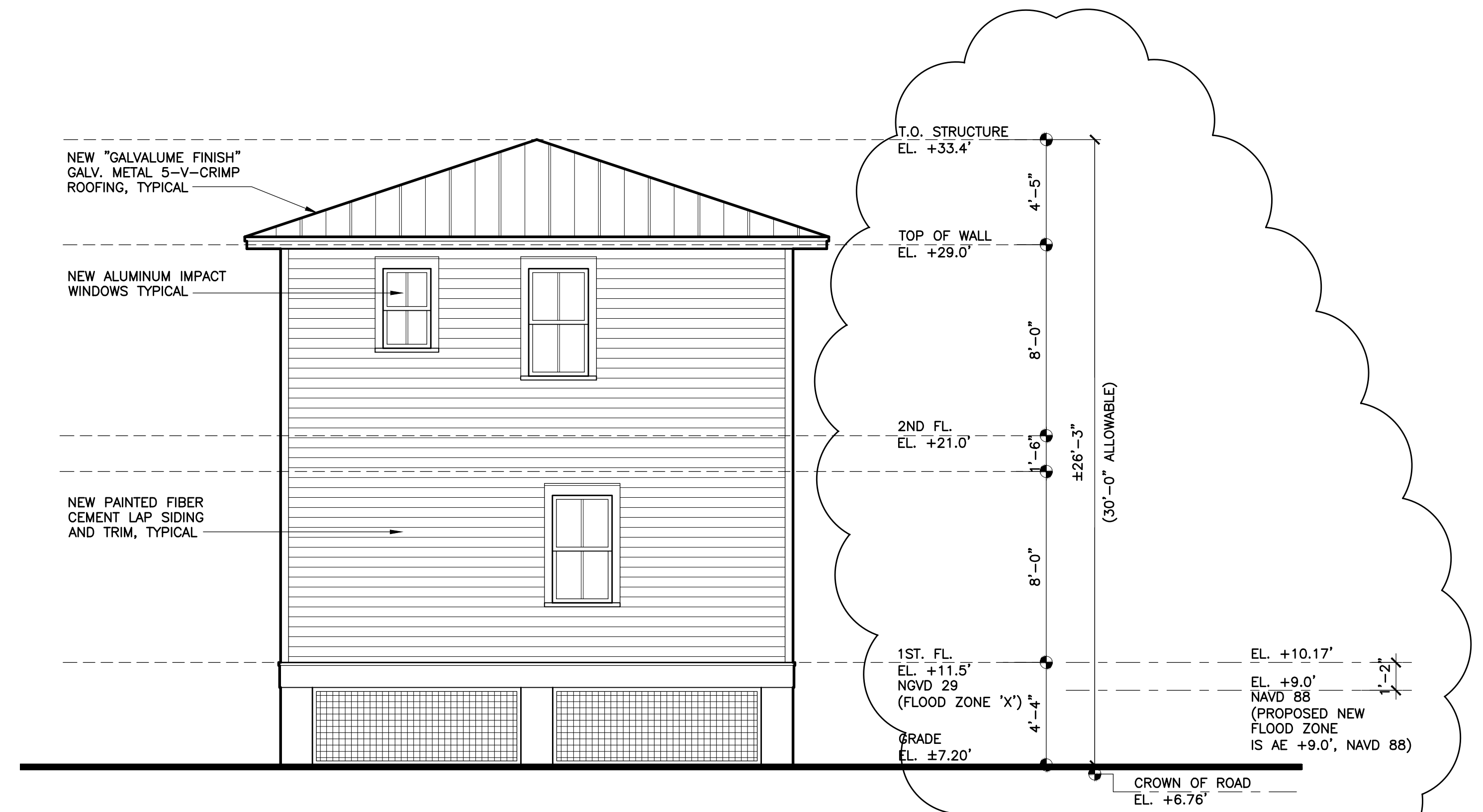
PROJECT
NUMBER
1901



1 PROPOSED FRONT ELEVATION - UNIT #3, #4 & #5

A-4.3

SCALE: 1/4"=1'-0"



1 PROPOSED REAR ELEVATION - UNIT #3, #4 & #5

A-4.3

SCALE: 1/4"=1'-0"

REV △



2 PROPOSED SIDE ELEVATION - UNIT #3, #4 & #5

A-4.3

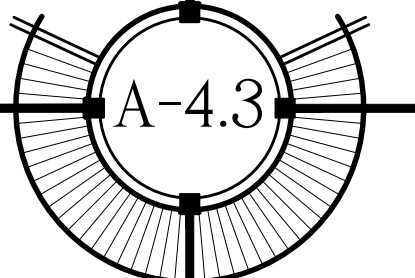
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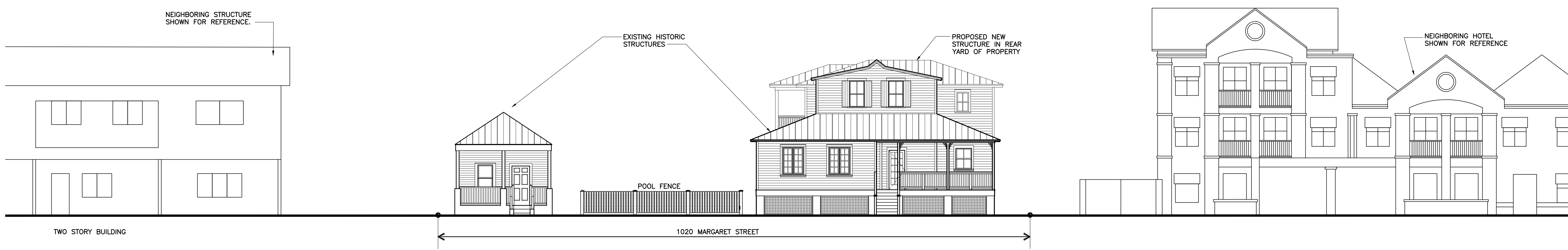


2 PROPOSED SIDE ELEVATION - UNIT #3, #4 & #5

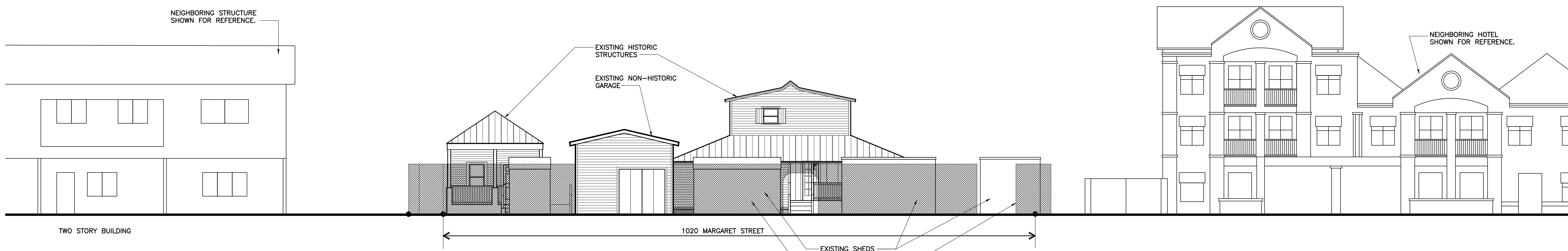
A-4.3

SCALE: 1/4"=1'-0"





1
A-4.4
PROPOSED STREET VIEW
SCALE: 1/8"=1'-0"



2
A-4.4
EXISTING STREET VIEW
SCALE: 1/8"=1'-0"

SEAL

DATE

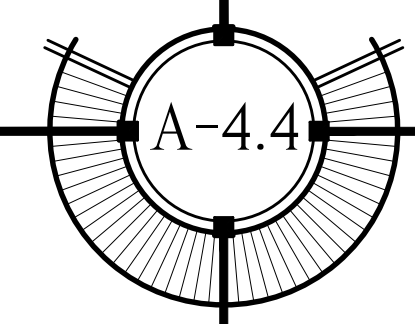
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01-06-20	DRC
02-24-20	DRC REV.
09-22-20	HARC

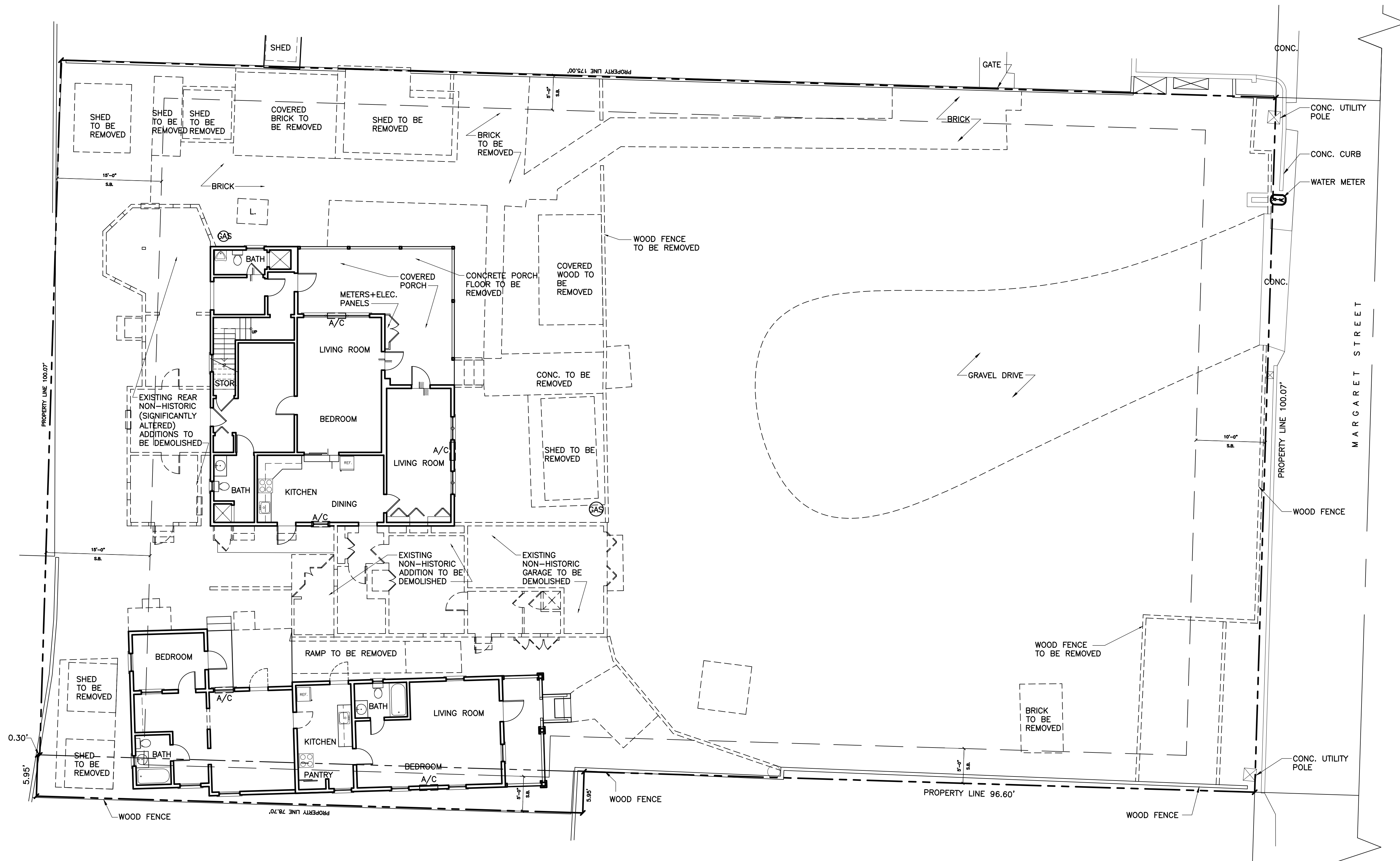
REVISIONS

03-11-20	REV. Δ
06-18-20	REV. Δ
10-06-20	HARC REV.
02-19-21	REV. Δ

DRAWN BY
JW
EMA

PROJECT NUMBER
1901



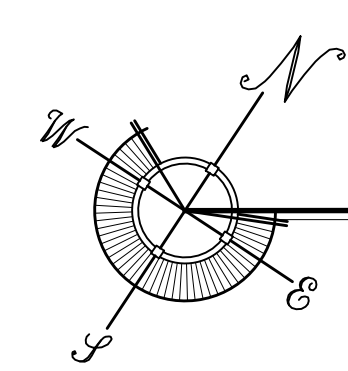


SEAL

DATE	REVISIONS
08-14-19	
01-06-20	DRC
02-24-20	DRC REV.
09-22-20	HARC

REVISIONS
03-11-20 REV. Δ
06-18-20 REV. Δ
10-06-20 HARC REV.

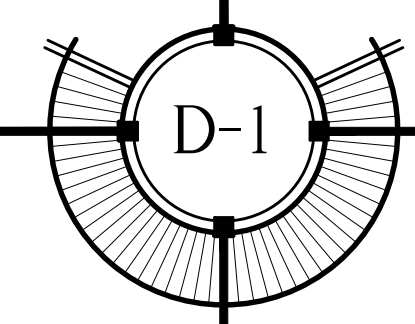
DRAWN BY
JW
EMA
PROJECT
NUMBER
1901

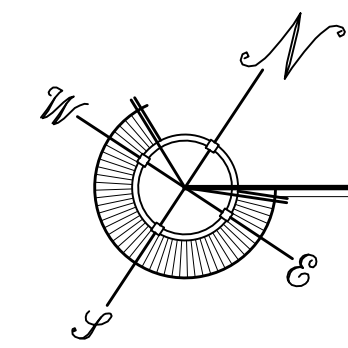
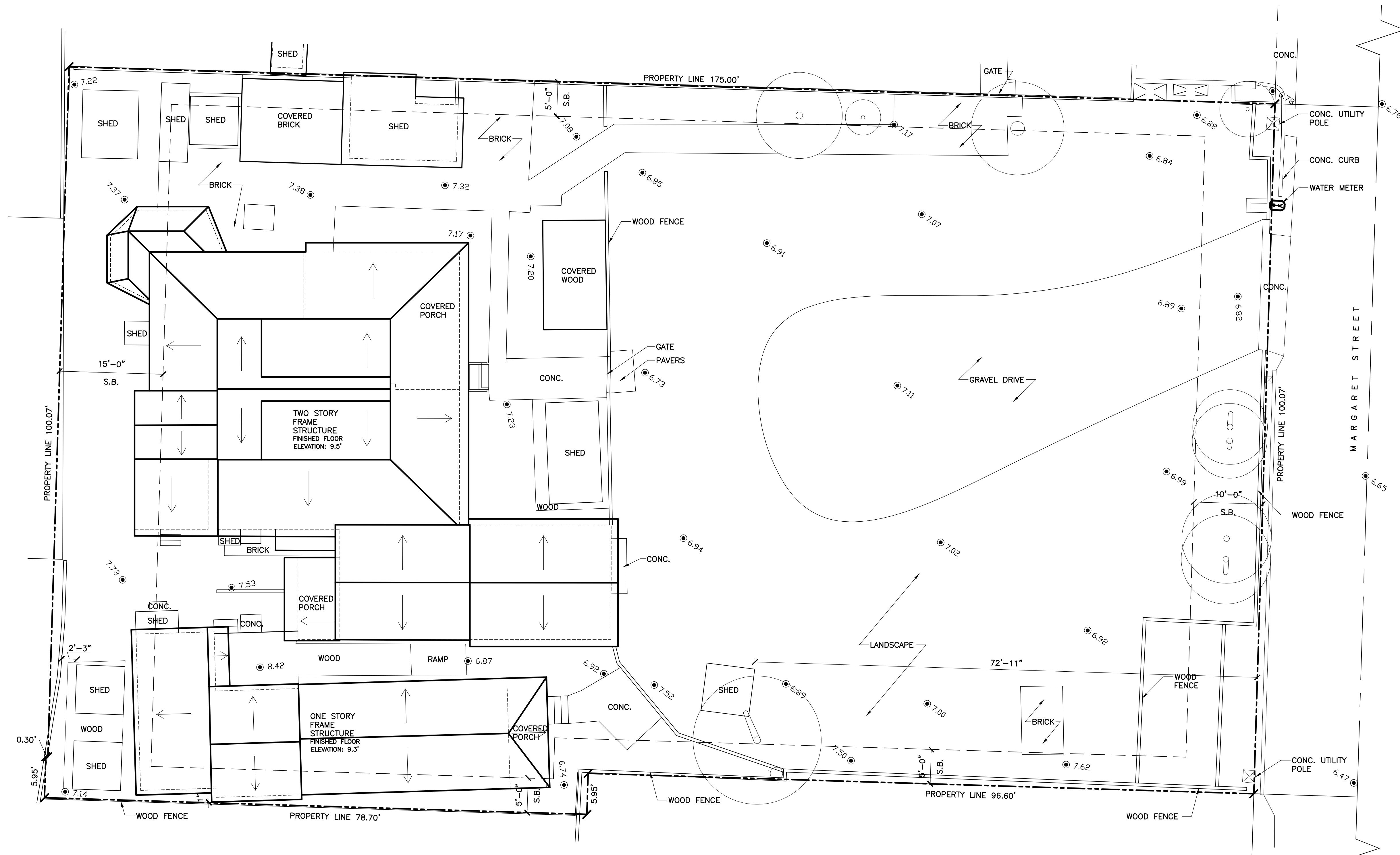


DEMOLITION PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 03-19-19

SCALE: 1/8"=1'-0"





EXISTING SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 03-19-19

SCALE: 1/8"=1'-0"

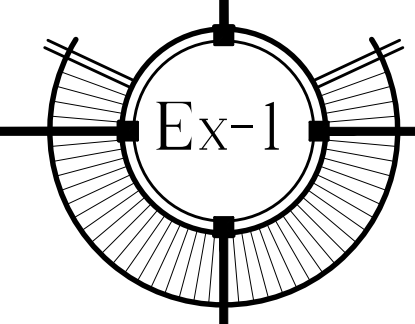
SEAL

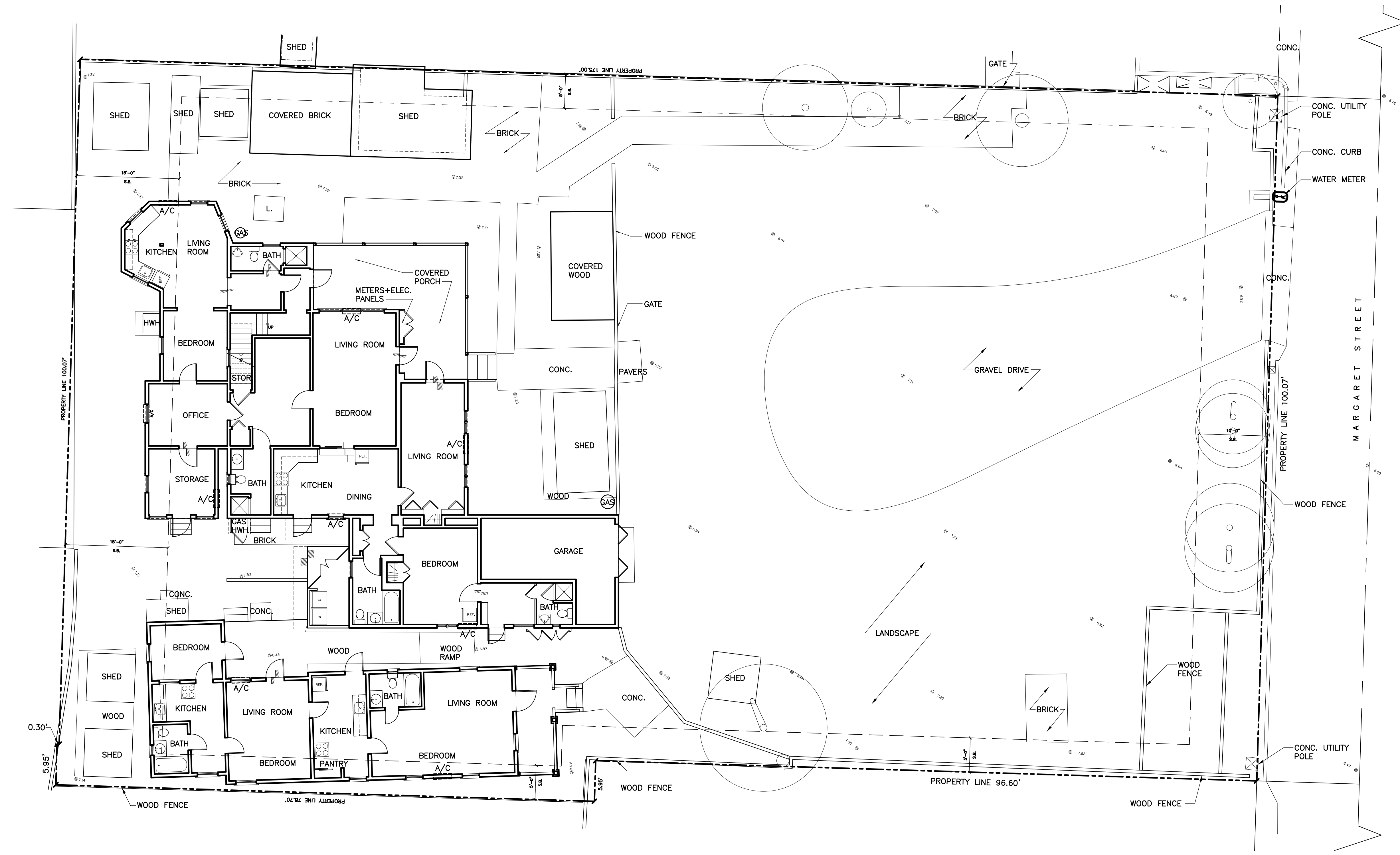
DATE	REVISIONS
08-14-19	
01-06-20	DRC
02-24-20	DRC REV.
09-22-20	HARC

REVISIONS
03-11-20 REV. Δ
06-18-20 REV. Δ
10-06-20 HARC REV.
02-19-21 REV. Δ

DRAWN BY
JW
EMA

PROJECT
NUMBER
1901





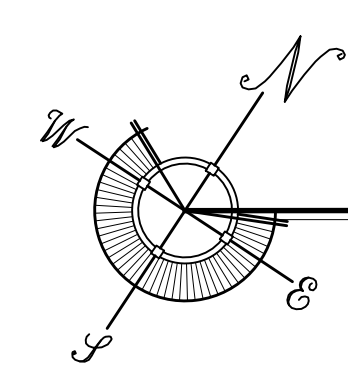
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DATE	REVISIONS
08-14-19	
01-06-20	DRC
02-24-20	DRC REV.
09-22-20	HARC

REVISIONS
03-11-20 REV. Δ
06-18-20 REV. Δ
10-06-20 HARC REV.
02-19-21 REV. Δ

DRAWN BY
JW
EMA

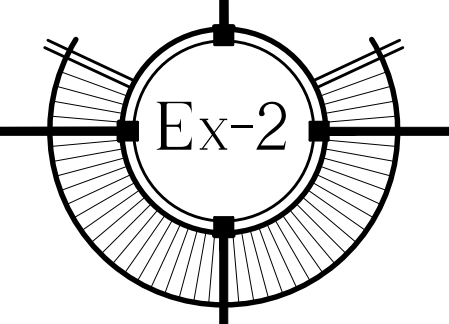
PROJECT
NUMBER
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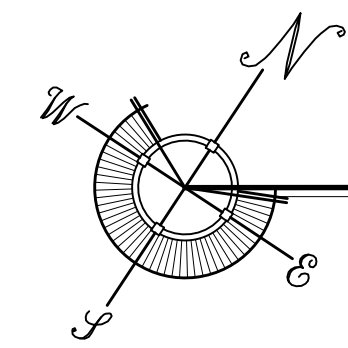
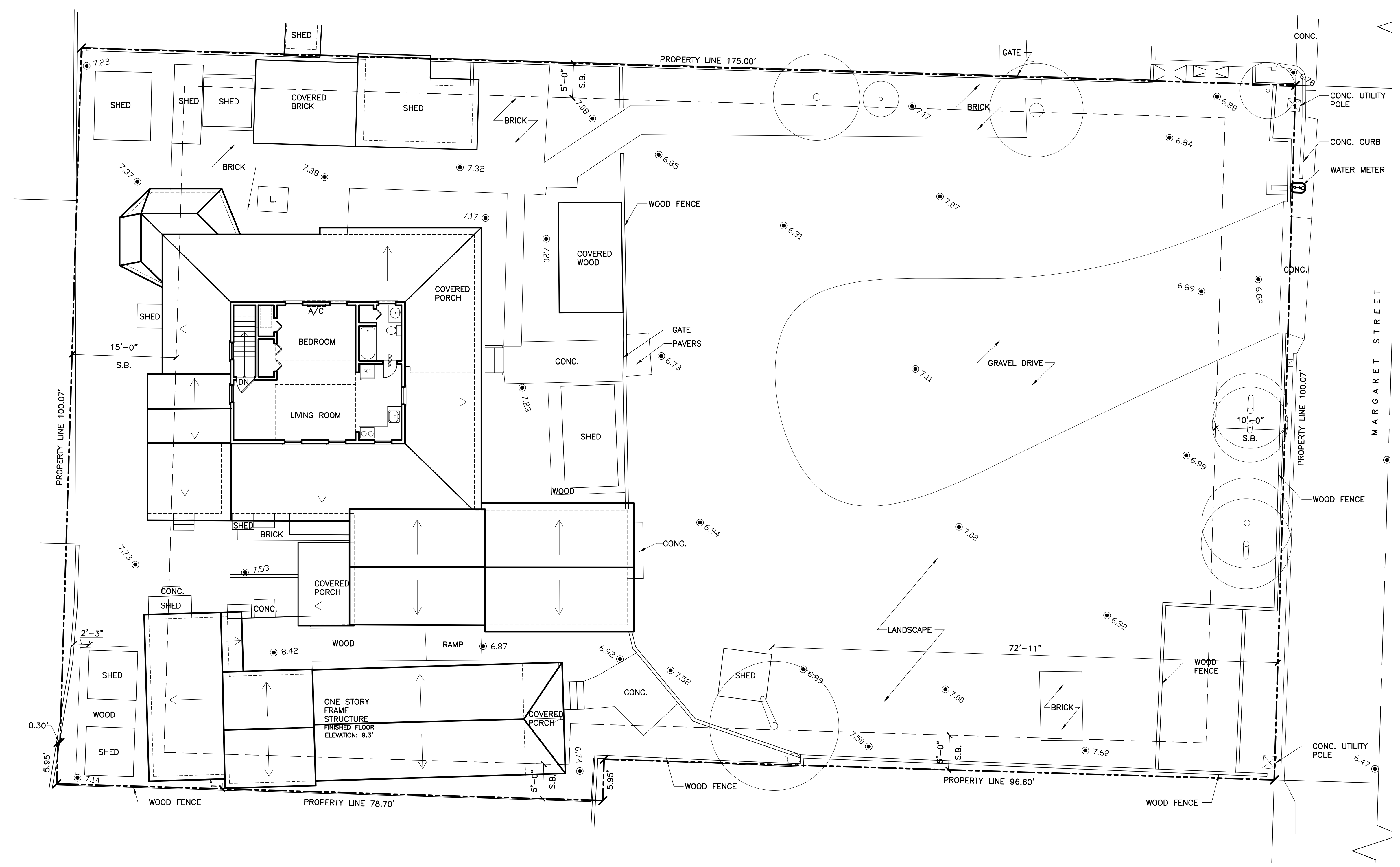


EXISTING FIRST FLOOR PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 03-19-19

SCALE: 1/8"=1'-0"





EXISTING SECOND FLOOR PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 03-19-19

SCALE: 1/8"=1'-0"

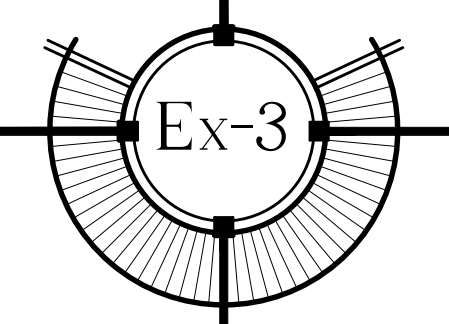
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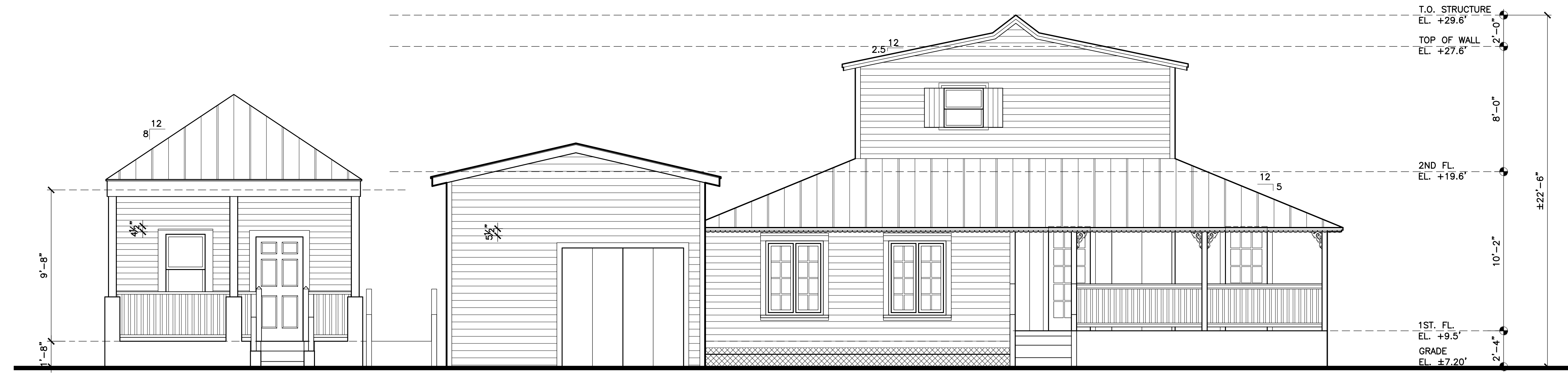
DATE	REVISIONS
08-14-19	
01-06-20	DRC
02-24-20	DRC REV.
09-22-20	HARC

REVISIONS
03-11-20 REV. Δ
06-18-20 REV. Δ
10-06-20 HARC REV.
02-19-21 REV. Δ

DRAWN BY
JW
EMA

PROJECT
NUMBER
1901





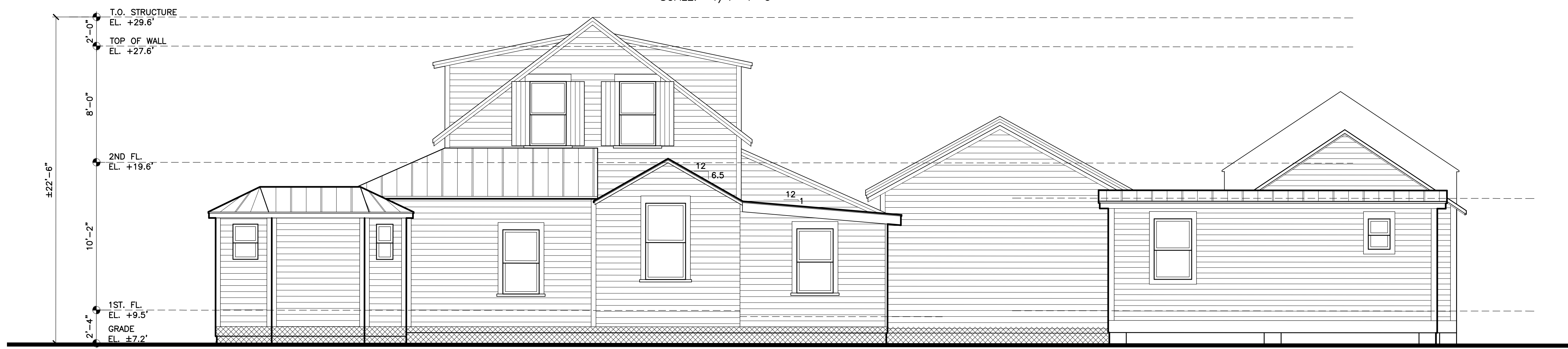
1 EXISTING FRONT ELEVATION
Ex-4

SCALE: 1/4"=1'-0"



2 EXISTING SIDE ELEVATION - MAIN BLDG.
Ex-4

SCALE: 1/4"=1'-0"



3 EXISTING HISTORIC BLDG REAR ELEVATION
Ex-4

SCALE: 1/4"=1'-0"

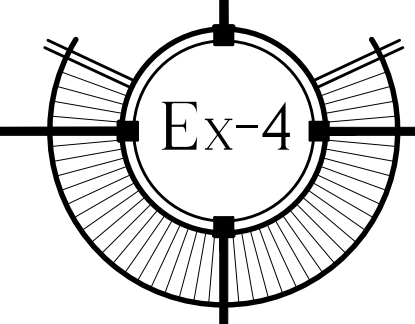
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DATE	REV.
08-14-19	
01-06-20	DRC
02-24-20	DRC REV.
09-22-20	HARC

REVISIONS	DATE	REV.
	03-11-20	REV. Δ
	06-18-20	REV. Δ
	10-06-20	HARC REV.
	02-19-21	REV. Δ

DRAWN BY
JW
EMA

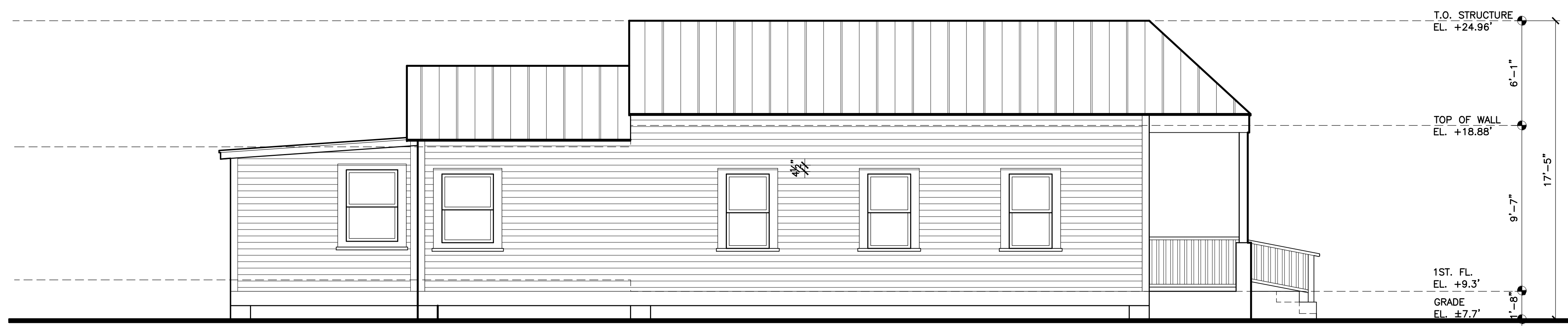
PROJECT NUMBER
1901





1 EXISTING HISTORIC BLDG SIDE ELEVATION

SCALE: 1/4"=1'-0"



2 EXISTING SIDE ELEVATION - ONE STORY BLDG.

SCALE: 1/4"=1'-0"



3 EXISTING SIDE ELEVATION

SCALE: 1/4"=1'-0"

SEAL

DATE

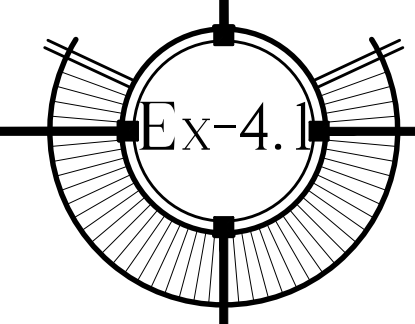
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02-24-20	DRC REV.
09-22-20	HARC

REVISIONS

03-11-20	REV. Δ
06-18-20	REV. Δ
10-06-20	HARC REV.
02-19-21	REV. Δ

DRAWN BY
JW
EMA

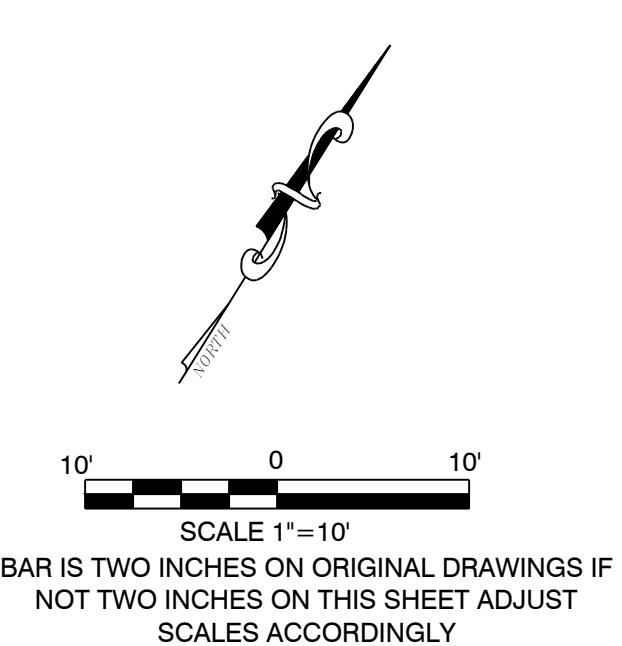
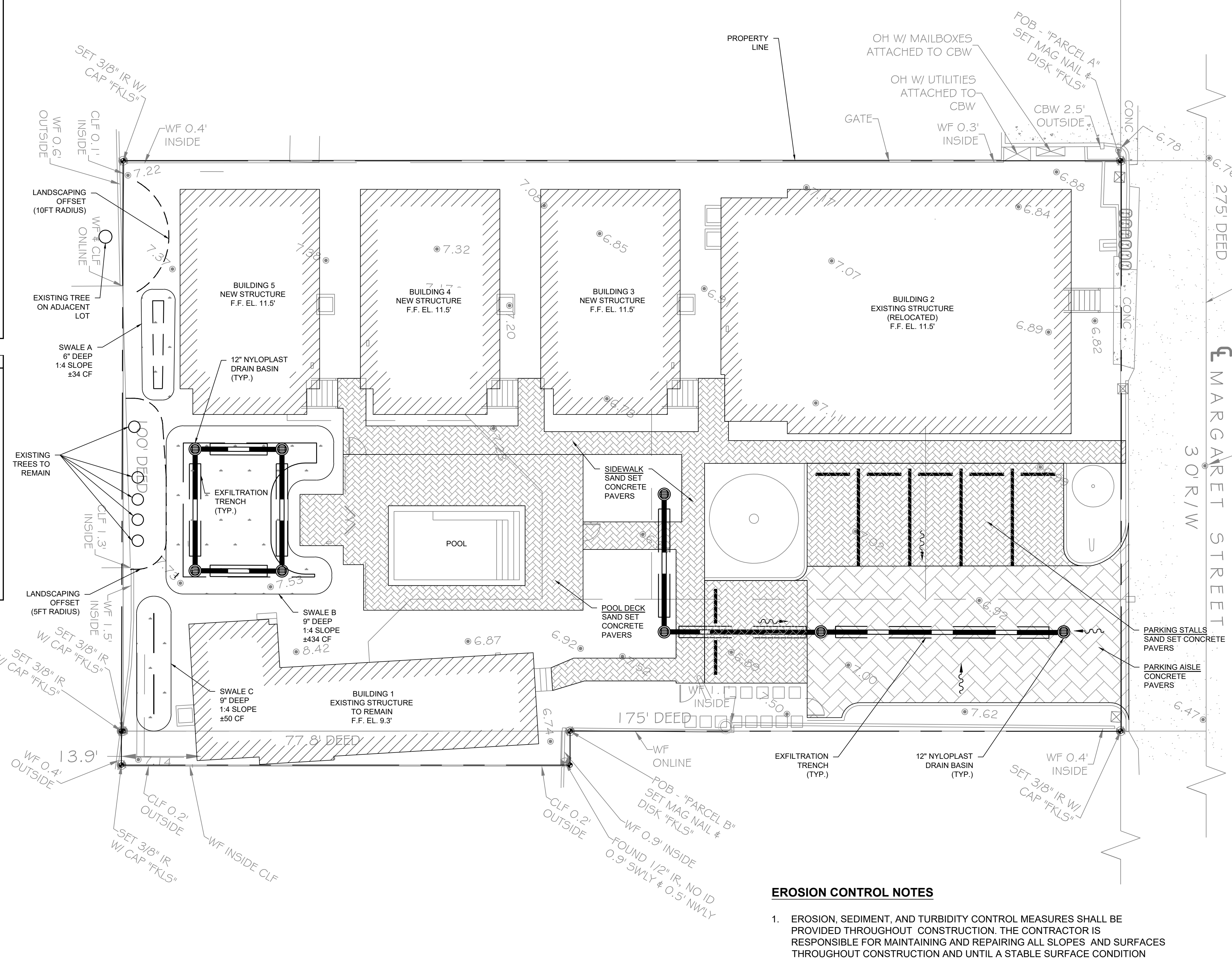
PROJECT NUMBER
1901



Water Quantity Calculations - 25yr/72hr Design Storm			
Water Quality - Predevelopment			
Total basin Area	0.402	ac	17,512 sf
Pervious Area	0.209	ac	9,099 sf
Impervious Area	0.193	ac	8,413 sf
% Impervious	48.04%		
Rainfall for 25yr/24hr event	P ₂₄ = 9	in	
Rainfall for 25yr/3day event	P ₇₂ = 12.23	in	
Depth to Water Table	4	ft	
Predeveloped Available Storage	8.18	in	
Soil Storage	S = 4.25	in	
$Q_{pre} = \frac{(P72 - 0.25)^2}{(P72 + 0.85)}$	Q _{pre} = 8.29	in	
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72hr} = 3.33	ac-in	
Water Quality - Postdevelopment			
Project Area	A = 0.402	ac	17,512 sf
Pervious Area	0.143	ac	6,231 sf
Impervious Area	0.259	ac	11,281 sf
% Impervious	64.4%		
Rainfall for 25yr/24hr event	P ₂₄ = 9	in	
Rainfall for 25yr/3day event	P ₇₂ = 12.23	in	
Depth to Water Table	4	ft	
Developed Available Storage	8.18	in	
Soil Storage	S = 2.91	in	
$Q_{post} = \frac{(P72 - 0.25)^2}{(P72 + 0.85)}$	Q _{post} = 9.32	in	
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72hr} = 3.75	ac-in	
Postdevelopment - Predevelopment			
$Q_{pre-post} = Q_{post} - Q_{pre}$	Q _{pre-post} = 1.03	in	
Pre/Post Volume = Q _{pre-post} x A	V _{pre-post} = 0.42	ac-in	

Water Quality Calculations			
Water Quality			
Project Area	0.402	ac	17,512 sf
Surface Water	0.000	ac	0 sf
Roof Area	0.144	ac	6,278 sf
Pavement/Walkways	0.115	ac	5,003 sf
Pervious area	0.143	ac	6,231 sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)	0.115	ac	5,003 sf
% Impervious for Water Quality	29%		
A) One inch of runoff from project area	0.402	ac-in	
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))	0.287	ac-in	
Total Volume Required	0.416	ac-in	1,509 cf
Pond Volume Provided	0.143	ac-in	519 cf
Exfiltration Volume Provided	0.303	ac-in	1,100 cf
Total Volume Provided	0.446	ac-in	1,619 cf

Exfiltration Trench Design	
Required trench length (L) =	$\frac{V}{K(H^2W + 2H^2Du - Du^2 + 2H^2Ds) + 1.39 \times 10^{-4}(W)(Du)}$
Assumed Hydraulic Conductivity, K =	0.000145
H =	5 ft
W =	3 ft
Du =	3.5 ft
Ds =	0 ft
Volume of Trench, V =	0.303 ac-in
Trench Length Provided =	151 FT



STORMWATER MANAGEMENT CALCULATIONS ARE PROVIDED IN ACCORDANCE WITH SECTIONS 114-3 AND 114-4 OF THE LAND DEVELOPMENT REGULATIONS.

NOTE: ASSUMED HYDRAULIC CONDUCTIVITY VALUE

NOTE: CONTRACTOR TO COORDINATE CONVEYANCE OF ROOF DRAINS/RUNOFF TO NEW STORMWATER MANAGEMENT SYSTEM

EROSION CONTROL NOTES

- EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL.
- FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH SECTION 985, FDOT SPECIFICATION.
- PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND FILTER SOCK ALONG THE PROPOSED LIMITS OF CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURED DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC.
 CERTIFICATE OF AUTHORIZATION No. 879

ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51468
 March 16, 2021

1010 East Kennedy Drive, Suite 202
 Key West, Florida 33040
 Tel: (305) 235-9440

ORIGINAL: JAN. 2020

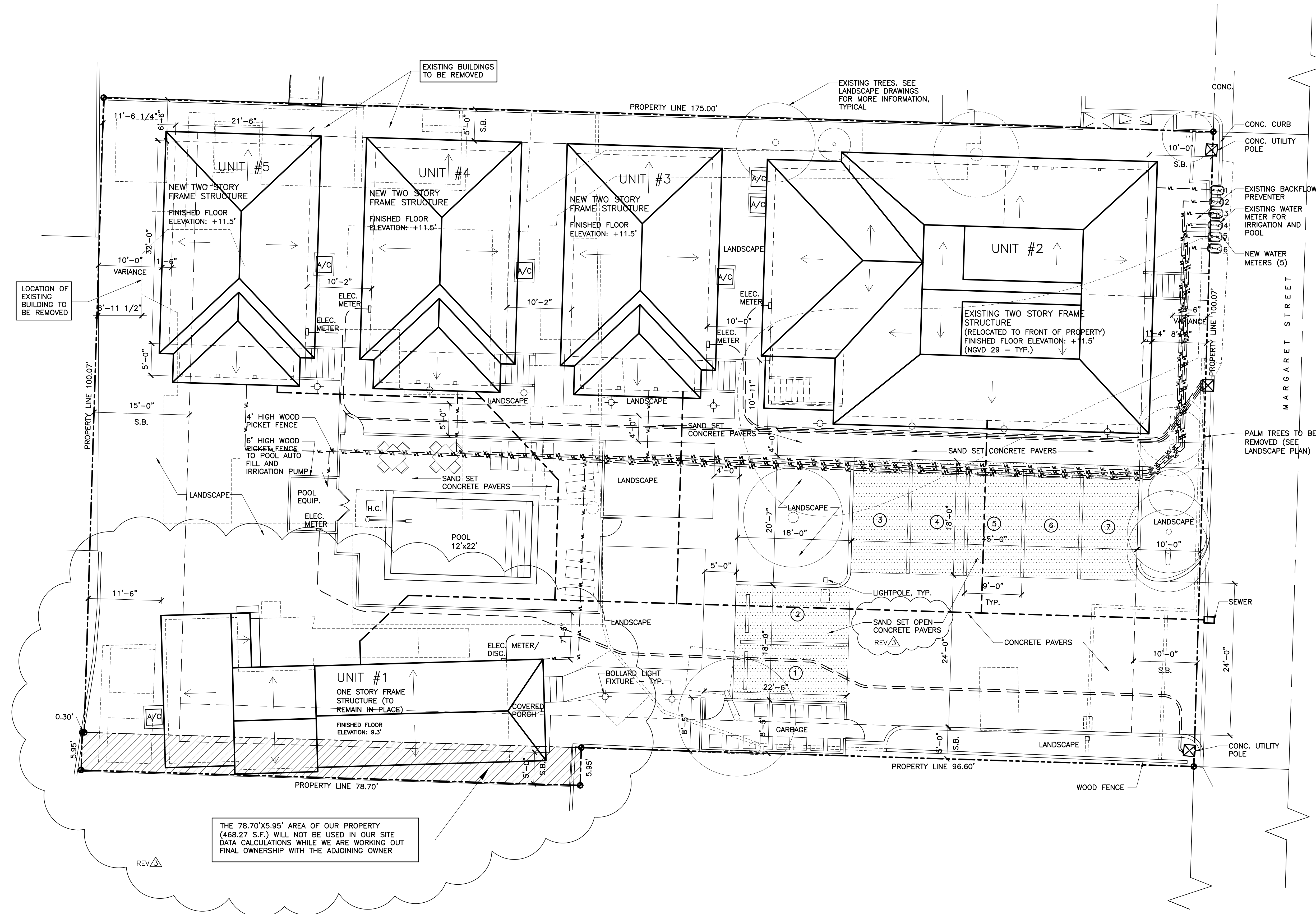
REVISIONS:
 1. PERC 4/18/20
 2. Planning Revisions 4/29/21
 3
 4
 5
 6

CONCEPTUAL DRAINAGE PLAN
 1020 MARGARET STREET
 KEY WEST, FL 33040

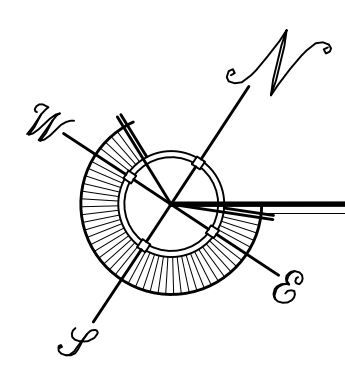
WILLIAM P. HORN, ARCHITECT
 915 EATON STREET
 KEY WEST, FL 33040

JOB NO. 201008
 DRAWN AEP
 DESIGNED AEP
 CHECKED AEP

SHEET C-1



THE 78.70'X5.95' AREA OF OUR PROPERTY (468.27 S.F.) WILL NOT BE USED IN OUR SITE DATA CALCULATIONS WHILE WE ARE WORKING OUT FINAL OWNERSHIP WITH THE ADJOINING OWNER



PROPOSED UTILITY SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY FLORIDA KEYS LAND SURVEYING, DATED ON 03-19-19

SCALE: 1/8"=1'-0"

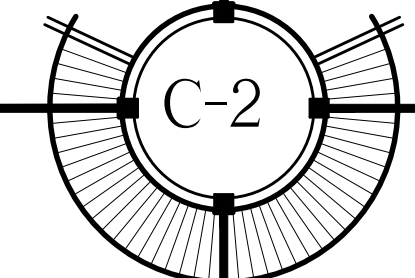
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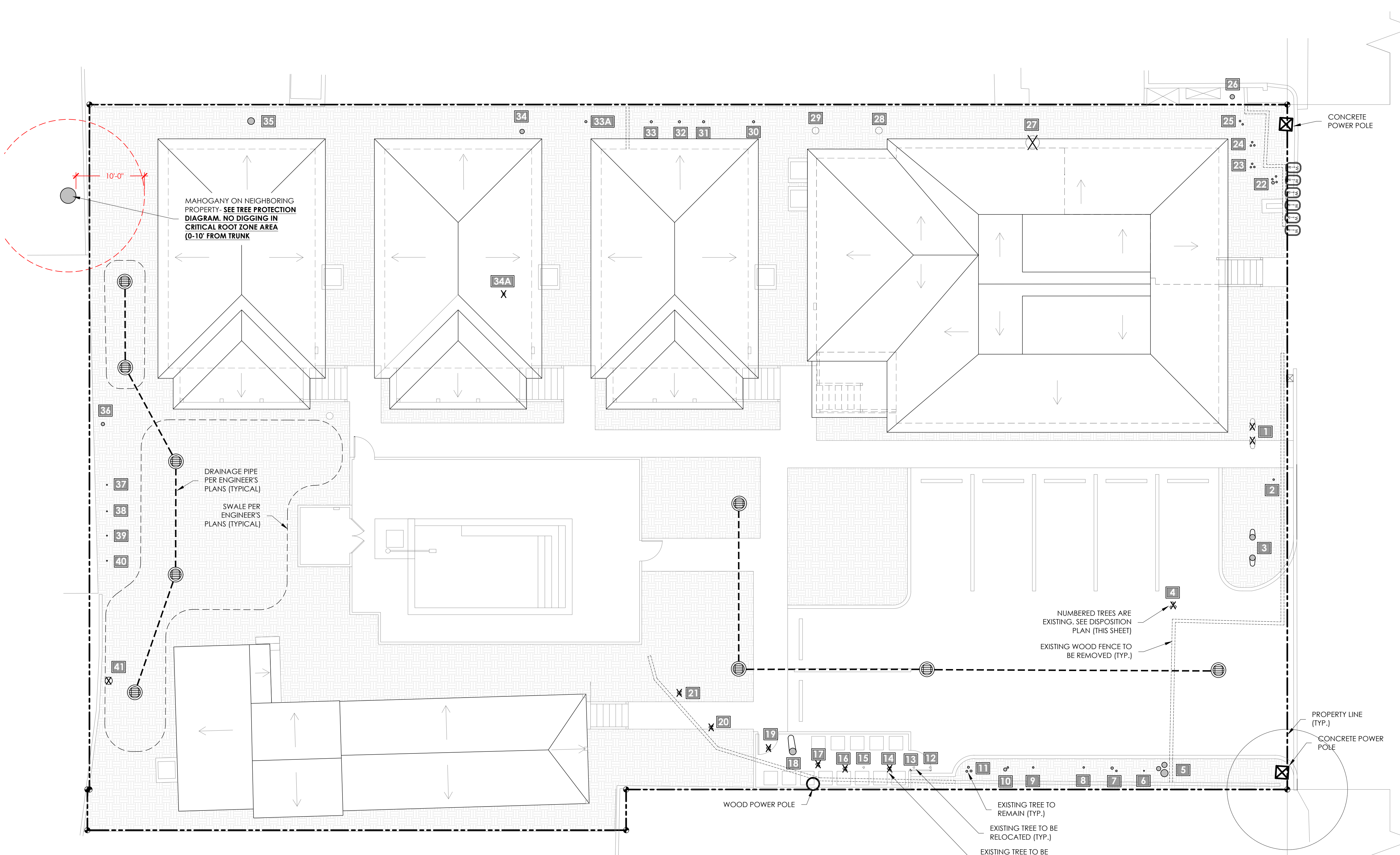
DATE	REVISION
08-14-19	
01-06-20	DRC
02-24-20	DRC REV.
09-22-20	HARC

REVISIONS	DATE	BY
03-11-20	REV.	△
06-18-20	REV.	△
10-06-20	HARC REV.	
02-19-21	REV.	△

DRAWN BY
JW
EMA

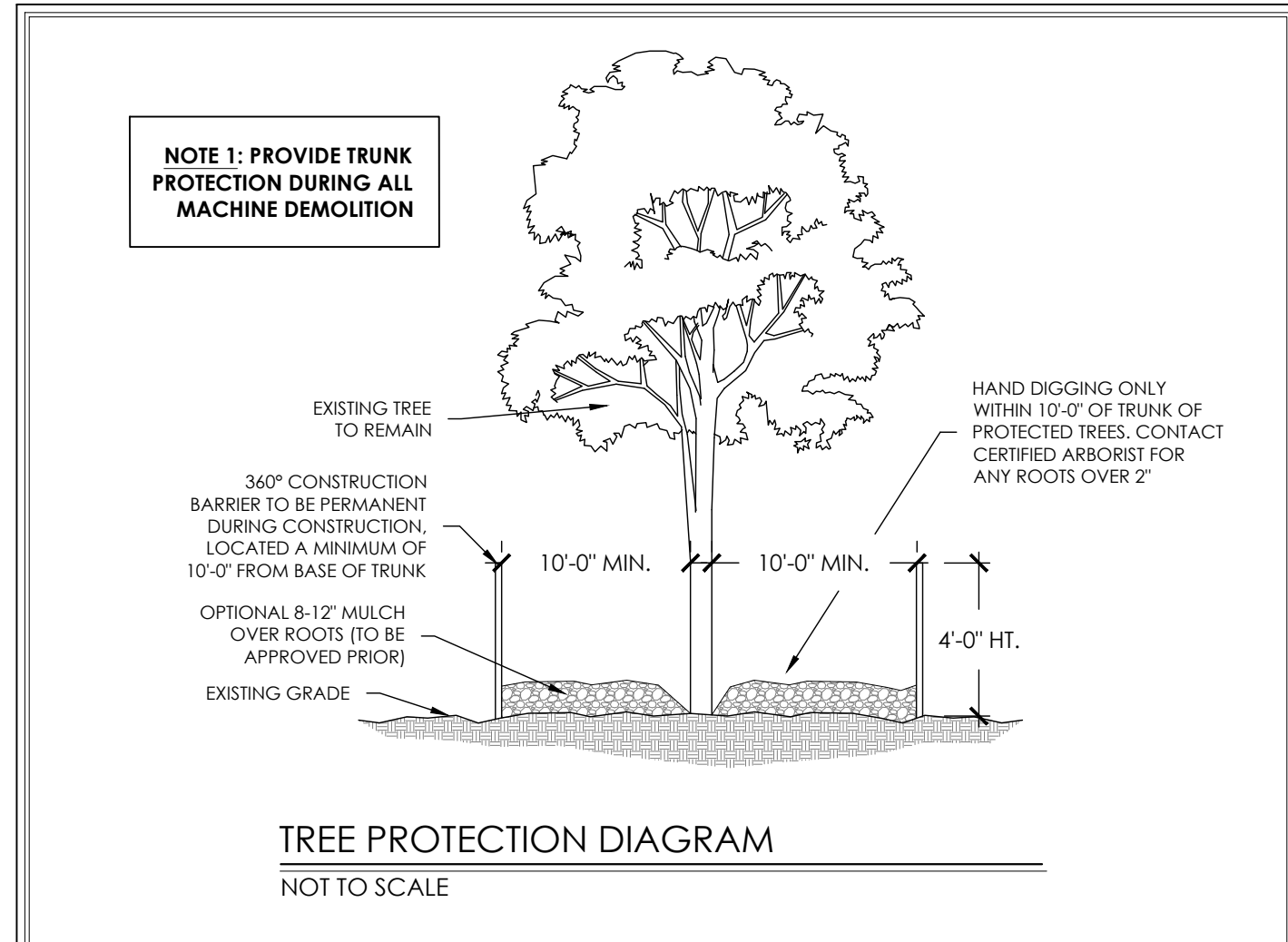
PROJECT NUMBER
1901





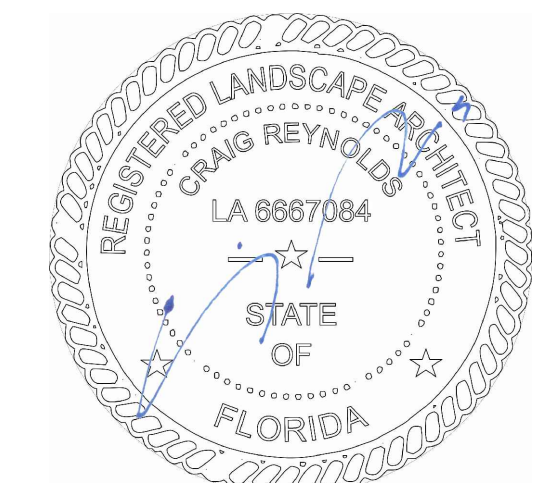
TREE DISPOSITION PLAN

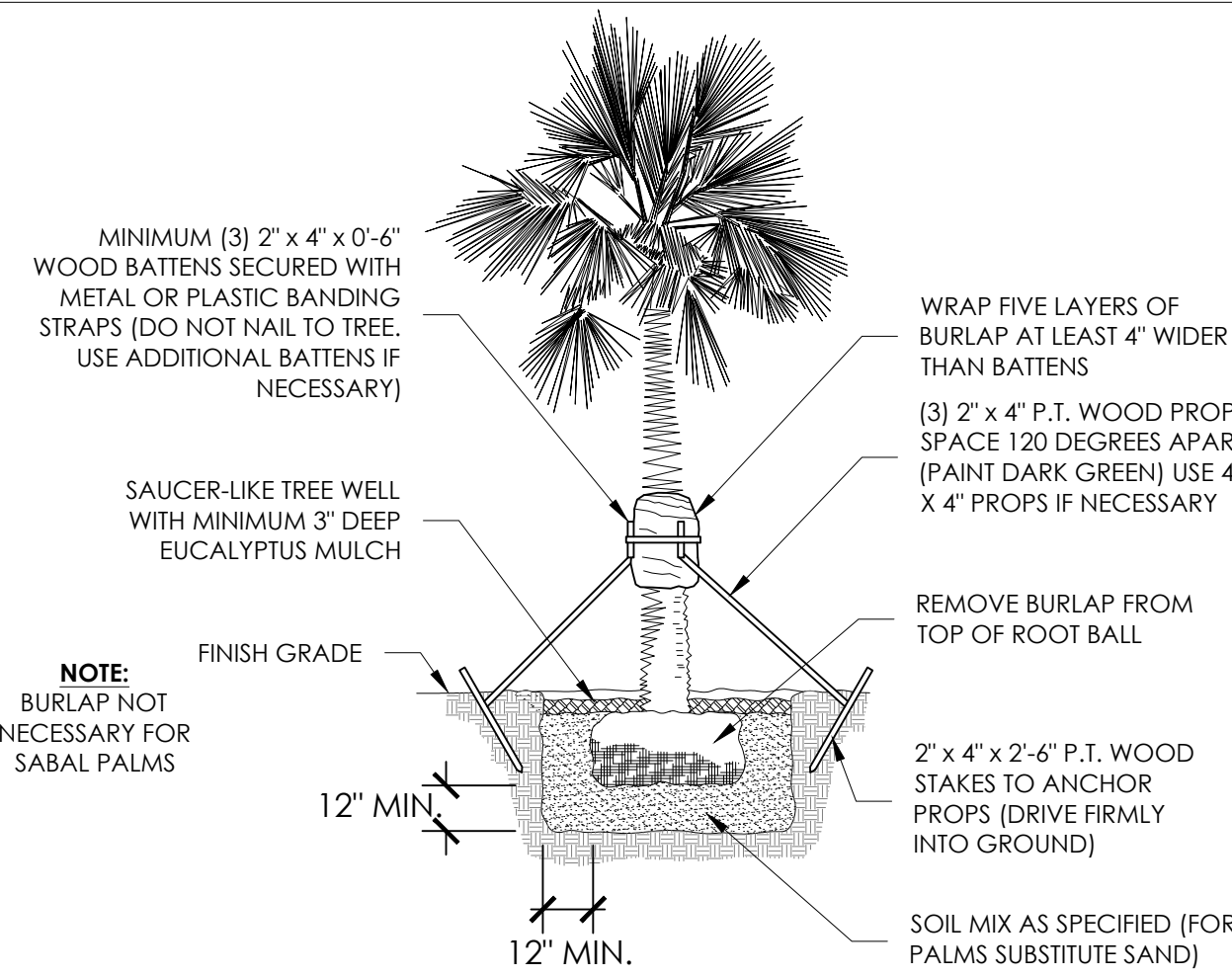
ID	Botanical Name	Common Name	Size	Disposition
TREES & PALMS				
1	<i>Cocos nucifera</i>	Coconut Palm	Double, > 10' HT	REMOVE
2	<i>Annona sp.</i>	Soursop	4" Caliper	REMAIN
3	<i>Cocos nucifera</i>	Coconut Palm	Double, > 10' HT	REMAIN
4	<i>Conocarpus erectus</i>	Silver buttonwood	6" DBH.	REMOVE
5	<i>Moringa oleifera</i>	Moringa Tree	14" Caliper	REMAIN
6	<i>Euphoria longana</i>	Longan	1" Caliper	REMAIN
7	<i>Conocarpus erectus</i>	Silver buttonwood	3" Caliper	REMAIN
8	<i>Mangifera indica</i>	Mango	1" Caliper	REMAIN
9	<i>Mangifera indica</i>	Mango	1" Caliper	REMAIN
10	<i>Conocarpus erectus</i>	Silver buttonwood	4" Caliper	REMAIN
11	<i>Annona sp.</i>	Soursop	6" Caliper	REMAIN
12	<i>Mangifera indica</i>	Mango	1" CA, Unregulated	RELOCATE
13	<i>Pouteria sapota</i>	Mamey Sapote	1" CA, Unregulated	RELOCATE
14	<i>Conocarpus erectus</i>	Silver buttonwood	Hedge, Unregulated	REMOVE
15	<i>Pouteria sapota</i>	Mamey Sapote	1" CA, Unregulated	RELOCATE
16	<i>Conocarpus erectus</i>	Silver buttonwood	Hedge, Unregulated	REMOVE
17	<i>Conocarpus erectus</i>	Silver buttonwood	Hedge, Unregulated	REMOVE
18	<i>Azadirachta indica</i>	Neem Tree	14" Caliper	REMAIN
19	<i>Conocarpus erectus</i>	Silver buttonwood	Hedge, Unregulated	REMOVE
20	<i>Conocarpus erectus</i>	Silver buttonwood	7" DBH.	REMOVE
21	<i>Conocarpus erectus</i>	Silver buttonwood	6" Caliper	REMAIN
22	<i>Conocarpus erectus</i>	Silver buttonwood	5" Caliper	REMAIN
23	<i>Conocarpus erectus</i>	Silver buttonwood	4" Caliper	REMAIN
24	<i>Conocarpus erectus</i>	Silver buttonwood	4" Caliper	REMAIN
25	<i>Conocarpus erectus</i>	Silver buttonwood	3" Caliper	REMAIN
26	<i>Moringa oleifera</i>	Moringa Tree	5" Caliper	REMAIN
27	<i>Syzygium samarangense</i>	Wax Jambu	28" DBH.	REMOVE
28	<i>Cocos nucifera</i>	Coconut Palm	< 10' HT	RELOCATE
29	<i>Azadirachta indica</i>	Neem Tree	10" Caliper	RELOCATE
30	Unknown Tree	Unknown Tree	3" Caliper	REMAIN
31	<i>Mangifera indica</i>	Mango	2" Caliper	REMAIN
32	<i>Annona sp.</i>	Soursop	1" Caliper	REMAIN
33	<i>Mangifera indica</i>	Mango	1" Caliper	REMAIN
33a	<i>Ficus carica</i>	Turkey Fig Tree	3" Caliper	REMAIN
34	<i>Psidium sp.</i>	Guava	6" Caliper	REMAIN
34a	<i>Swietenia mahagoni</i>	Mahogany	< 1" CA, Unregulated	REMOVE
35	Unknown Tree	Unknown Tree	12" Caliper	REMAIN
36	<i>Mangifera indica</i>	Mango	1" Caliper	REMAIN
37	<i>Euphoria longana</i>	Longan	1" Caliper	REMAIN
38	<i>Annona sp.</i>	Soursop	1" Caliper	REMAIN
39	<i>Annona sp.</i>	Soursop	1" Caliper	REMAIN
40	<i>Annona sp.</i>	Soursop	1" Caliper	REMAIN
41	<i>Livistonia chinense</i>	Chinese Fan Palm	> 10' HT.	REMOVE



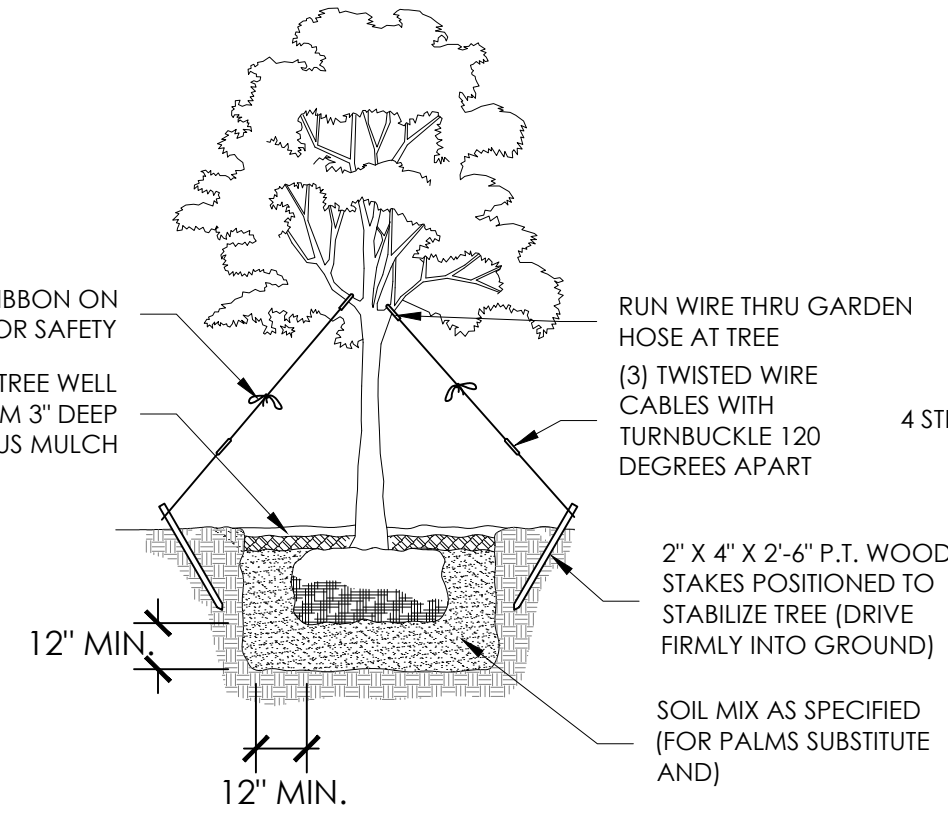
NOTE: GENERAL CONTRACTOR TO COORDINATE ALL TREE REMOVALS & RELOCATIONS WITH QUALIFIED LANDSCAPE CONTRACTOR OR ARBORIST AS WELL AS COORDINATION WITH CITY AND TREE COMMISSION OFFICIALS.
NO EXCEPTIONS.

NOTE: CONTRACTOR TO CONFIRM ALL JURISDICTIONAL APPROVALS ARE IN PLACE BEFORE PROCEEDING WITH ANY SITE WORK.
NO EXCEPTIONS

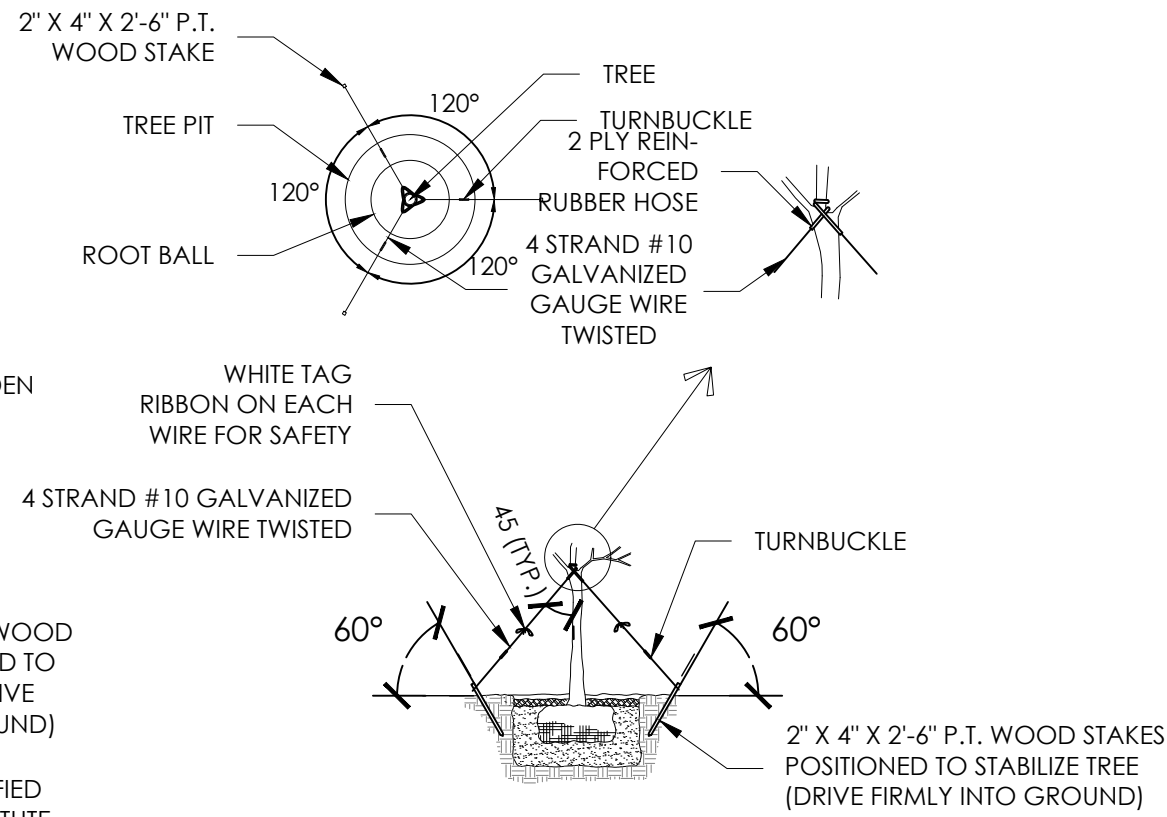




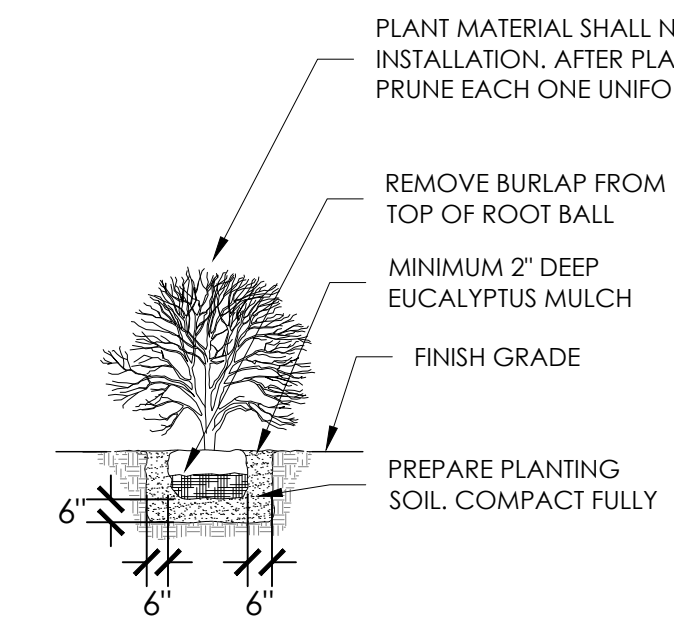
DETAIL OF SPECIMEN TREE & TALL PALMS SUPPORT
NOT TO SCALE



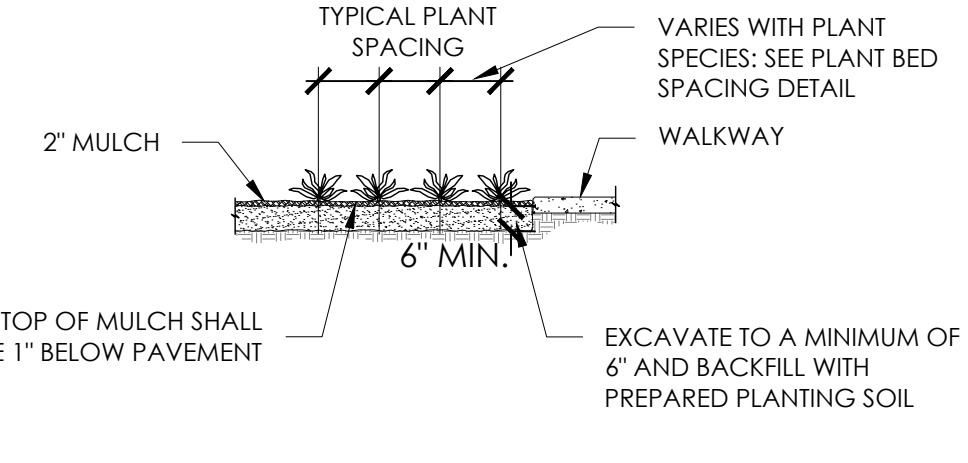
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NOT TO SCALE



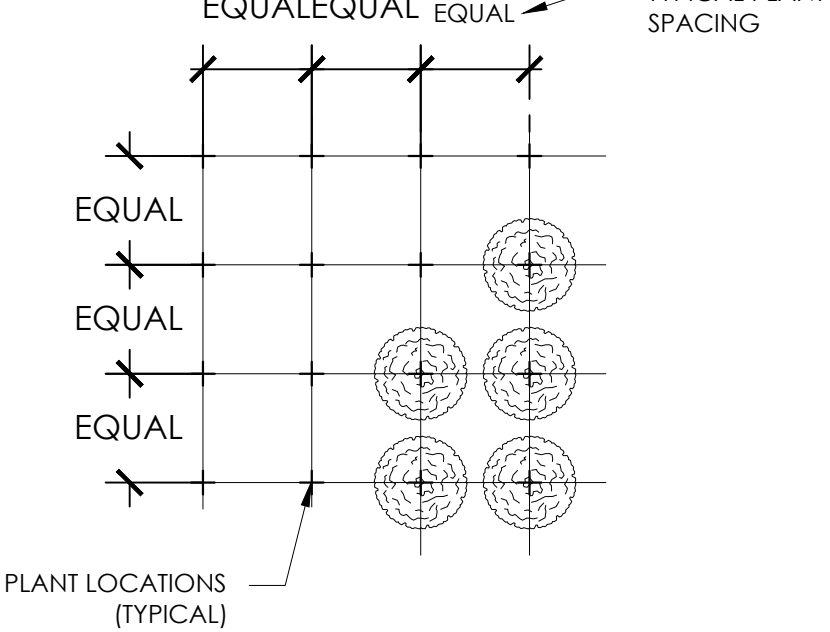
DETAIL OF TYPICAL TREE GUYING
NOT TO SCALE



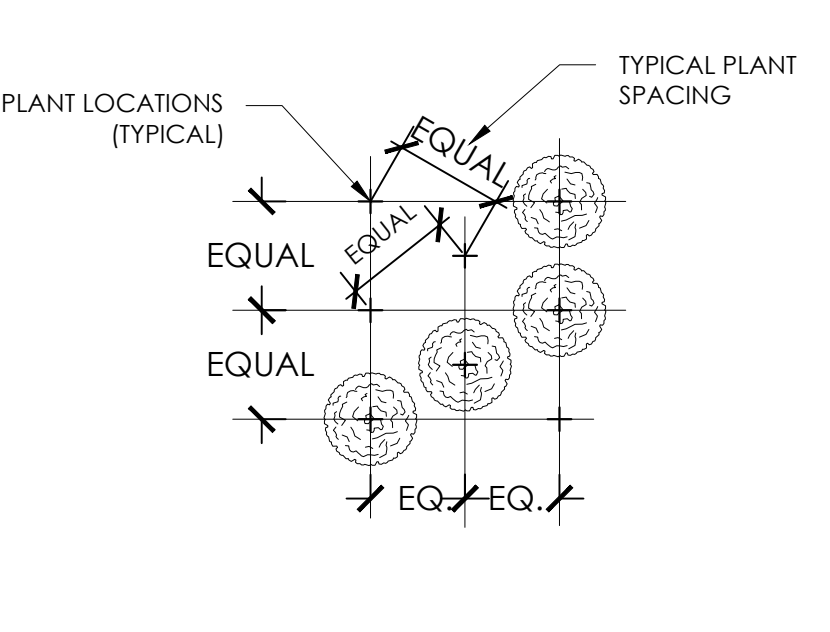
DETAIL OF TYPICAL SHRUB PLANTING
NOT TO SCALE



DETAIL OF TYPICAL PLANTING BED
NOT TO SCALE



DETAIL OF TYPICAL SQUARE PLANT SPACING
NOT TO SCALE



DETAIL OF TYPICAL TRIANGULAR PLANT SPACING
NOT TO SCALE

GENERAL LANDSCAPE NOTES:

- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
- ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECT BY OWNER. LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR TO HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
- ALL TREES TO BE STAKED IN A GOOD WORKMANLINE MANNER. NO NAIL STAKING PERMITTED (REFER TO PLANTING DETAILS).
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- ALL TREE HOLES TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND. ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND (SEE SPEC).
- ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR SIX MONTHS FROM DATE OF FINAL ACCEPTANCE. ALL TREES & PALMS ARE TO GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE - NO EXCEPTIONS
- ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
- ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION ACCORDING TO MANUFACTURERS' RECOMMENDATIONS. TYPE AND AMOUNT OF FERTILIZER IS UP TO DISCRETION OF LANDSCAPE CONTRACTOR IN ORDER TO AVOID "BURN" ON PLANTS THAT MAY ALREADY CONTAIN FERTILIZER FROM NURSERY AND ENSURE PROPER ESTABLISHMENT TO MAINTAIN CONTRACTORS WARRANTY.
- PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES
- NO CHANGE SHALL BE MADE WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH GENERAL CONTRACTOR, IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
- ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED.
- ALL TREES TO BE RELOCATED WILL BE ROOT PRUNED 30 DAYS MINIMUM (OR MORE IF REQUIRED BY SPECIES). UPON RELOCATION, THIN OUT 30% OF THE RELOCATED TREES' CANOPY.
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH WASHED BEACH SAND, AND SOD DISTURBED AREA, IF REQUIRED.
- ALL TREES ON SOD AREA SHALL RECEIVE A MULCH RING 2' IN DIAMETER TYPICAL.
- ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
- ALL 1 GALLON MATERIAL TO HAVE 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD MINIMUM.
- LANDSCAPE CONTRACTOR TO BE COUNTY OR CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.

END

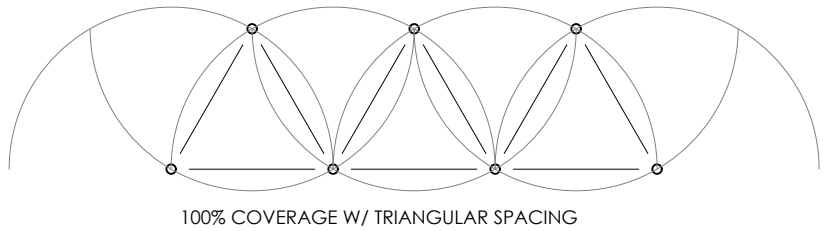
TREE BRACING NOTES:

- 2" AND LARGER CALIPER TREES BRACED BY GUYING:**
- CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE
 - CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
 - SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
 - PLACE THE HOSE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
 - THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE. ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
 - TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE
 - PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
 - THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
 - FLAG THE GUY WIRES WITH SURVEYORS FLAGGING OR APPROVED EQUAL FOR SAFETY.
 - GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.
- SPECIMEN TREES AND TALL PALMS BRACED WITH PROPS:**
- CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED (PT) 2"x4", 4"x4").
 - WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/3 OF THE DISTANCE FROM GROUND TO THE CLEAR TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER.
 - SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4"x12'-16')
 - USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
 - PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
 - PLACE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. DO NOT NAIL INTO TREE.
 - WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4"x30" STAKES. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. **NOTE: ON STRAIGHT TREES OR PALMS, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM OR TREE.**
 - CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. DO NOT PENETRATE TREE OR PALM WITH NAILS.
 - IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARED LABELED WITH THE STATEMENT "DO NOT REMOVE".
 - PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

END

IRRIGATION NOTES:

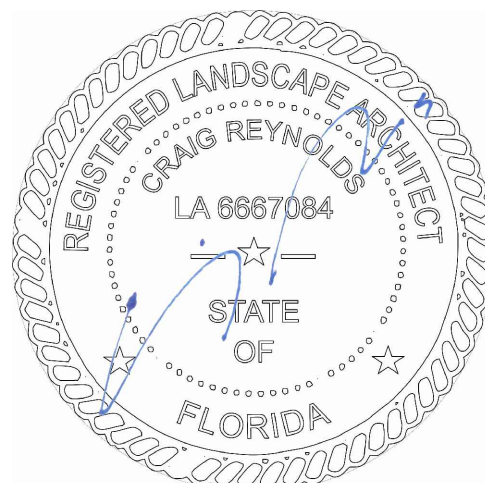
- IRRIGATION CONTRACTOR TO PROVIDE LINE ITEMS IN BID WITH ALL MATERIALS USED, INCLUDING BUT NOT LIMITED TO HEAD COUNT AND TYPE, NUMBER OF VALVES, AND ESTIMATED USAGE IN GPM. **NO EXCEPTIONS.**
- LANDSCAPE IRRIGATION CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION WITH PROJECT LANDSCAPE CONTRACTOR TO AVOID DAMAGE TO IRRIGATION DURING PLANTING; ALL LARGE PLANT MATERIAL (5 GALLON AND UP) MUST BE INSTALLED PRIOR TO IRRIGATION. **NO EXCEPTIONS.**
- ALL LADY PALMS (RHAPIS SPP.), HELICONIA, AND BAMBOOS TO HAVE SINGLE BUBBLER; ALL MAJOR PALMS TO HAVE TWO BUBBLERS ON OPPOSING SIDES OF ROOT BALL.
- IRRIGATION CONTRACTOR TO COORDINATE LOCATION OF MAIN LINES AND VALVE BOXES WITH LANDSCAPE CONTRACTOR PRIOR TO IMPLEMENTATION. AVOID ROOT BALLS OF TREES AND LARGE PLANT MATERIAL. **NO EXCEPTIONS.** REFER TO LANDSCAPE DRAWINGS.
- ALL VALVE BOXES TO BE LOCATED AWAY FROM WALKWAYS, GARDEN PATHS, ROOTBALLS OF LARGE PLANTS, AND GROUNDCOVERS. **NO EXCEPTIONS.**
- ALL PIPE TO BE PVC SCHEDULE 40, 8" MINIMUM COVER.
- ALL VALVES TO HAVE FLOW CONTROL AND BE INSTALLED IN GREEN VALVE BOXES WITH ROOM TO WORK IN THE FUTURE.
- ALL HEADS INSTALLED ON FLEXIBLE PVC PIPE AND FITTINGS.
- PRESSURIZED BACKFLOW PREVENTER, RAINBIRD WR2RC RAIN SENSOR, AND MULTI-PROGRAMMABLE RAINBIRD ESPAME CONTROLLER WITH BATTERY BACKUP REQUIRED.
- ALL CROSSINGS UNDER ANY HARDSCAPE, WALLS, ETC. TO BE SLEEVED TWO TIMES THE SPRINKLER PIPE SIZE WITH SCHEDULE 40 PVC.
- ALL SPRINKLERS TO BE COMMERCIAL GRADE RAINBIRD 6" AND 12" POP-UPS AND INSTALLED OUT OF SIGHT. NO STATIC RISERS OR DRIP - **NO EXCEPTIONS**
- IRRIGATION CONTRACTOR TO MEASURE WATER AVAILABLE ON-SITE AND USE NO MORE THAN 75% OF AVAILABLE GPM.
- WATER CONNECTION TO THE HOUSE, INCLUDING SHUT-OFF VALVES, SHALL NOT BE ALTERED BY PRESSURIZED BACKFLOW PREVENTER.
- ALL WIRE SPLICES TO BE IN VALVE BOXES AND CLEARLY LABELED AT BACK OF TIME CLOCK. ALL WIRE SPLICES TO BE INSTALLED WITH WATER PROOF CONNECTIONS.
- 2 SPARE WIRES TO BE RUN TO THE LAST VALVE IN EACH DIRECTION.
- CONTROLLER TO BE HARD-WIRED AT TIME OF COMPLETION PRIOR TO FINAL PAYMENT. THIS COORDINATION TO BE SOLE RESPONSIBILITY OF IRRIGATION CONTRACTOR. **NO EXCEPTIONS**
- SYSTEM TO PROVIDE 100% CONTROLLED COVERAGE ON COMPLETION WITH HEAD SPACING PER MANUFACTURERS SPECIFICATIONS AND HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING. **SEE DETAIL BELOW - NO EXCEPTIONS.**
- ADDITIONS/MODIFICATIONS FROM IRRIGATION PLAN MAY BE NECESSARY.
- IRRIGATION CONTRACTOR TO BE COUNTY AND CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AND AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.
- ALL HEADS TO BE 12" OFF OF ALL BUILDINGS
- AS-BUILT IRRIGATION DRAWING(S) TO BE PROVIDED PRIOR TO FINAL PAYMENT.**



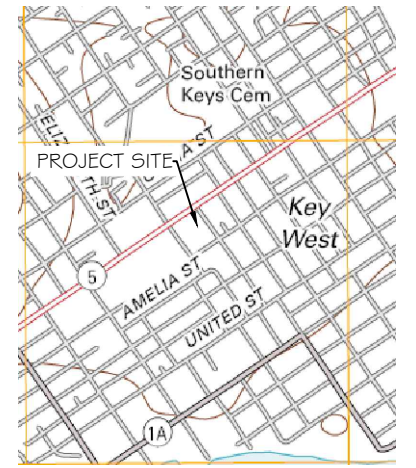
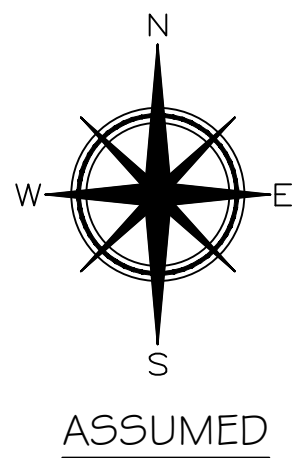
END

PLANT LIST

Qty.	Botanical Name	Common Name	Specifications	Caliper	Caliper TOTAL
ORNAMENTAL/ NON-CANOPY TREES & PALMS					
1	Coccoloba diversifolia	Pigeon Plum	12' PH, FL #1	2" min.	2"
6	Myrcianthes fragrans	Simpson Stopper	6' PH, FL #1	1" min.	6"
3	Krugiodendron ferreum	Black Ironwood	7 gallon, FL #1	1" min.	3"
5	Calyptrothos zuzygium	Myrtle of the River	7 gallon, FL #1		
4	Calyptrothos zuzygium	Myrtle of the River	8' PH, FL #1	1" min.	4"
4	Sabal Palmetto	Cabbage Palm	Slicks, CT +/- 10' - must clear eaves of building		
3	Thrinax radiata	Green Thatch Palm	6' PH		
7	Conocarpus erectus	Silver buttonwood	(4) 8' PH, FL #1 (3) 12' PH, FL #1	(4) 1" min. (3) 1.5" min.	8.5"
1	Simarouba glauca	Paradise Tree	12' PH, FL #1	2" min.	3"
7	Eugenia foetida	Spanish Stopper	12' PH, FL #1	1" min.	7"
SHRUBS & ACCENTS					
9	Serenoa repens	Saw Palmetto	green, 14" PH MIN.		
28	Gymnanthes lucida	Crabwood	7 gallon, full		
21	Chrysobalanus icaco	Cocoplum	3 gallon, full		
9	Byrsanima lucida	Locust Berry	3 gallon, full		
2	Myrcianthes fragrans	Simpson Stopper	5' PH, FL #1	1" min.	2"
GROUNDCOVER					
115	Chrysobalanus icaco 'Horizontal'	Horizontal Cocoplum	3 gallon, full		
400	Lantana camara 'Purple'	Purple Trailing Lantana	1 gallon, full		
Per Plan	St. Augustine Sod			REPLACEMENT INCHES REQUIRED	REPLACEMENT INCHES PROVIDED
Per Plan	Black Eucalyptus Mulch			35.4"	36"

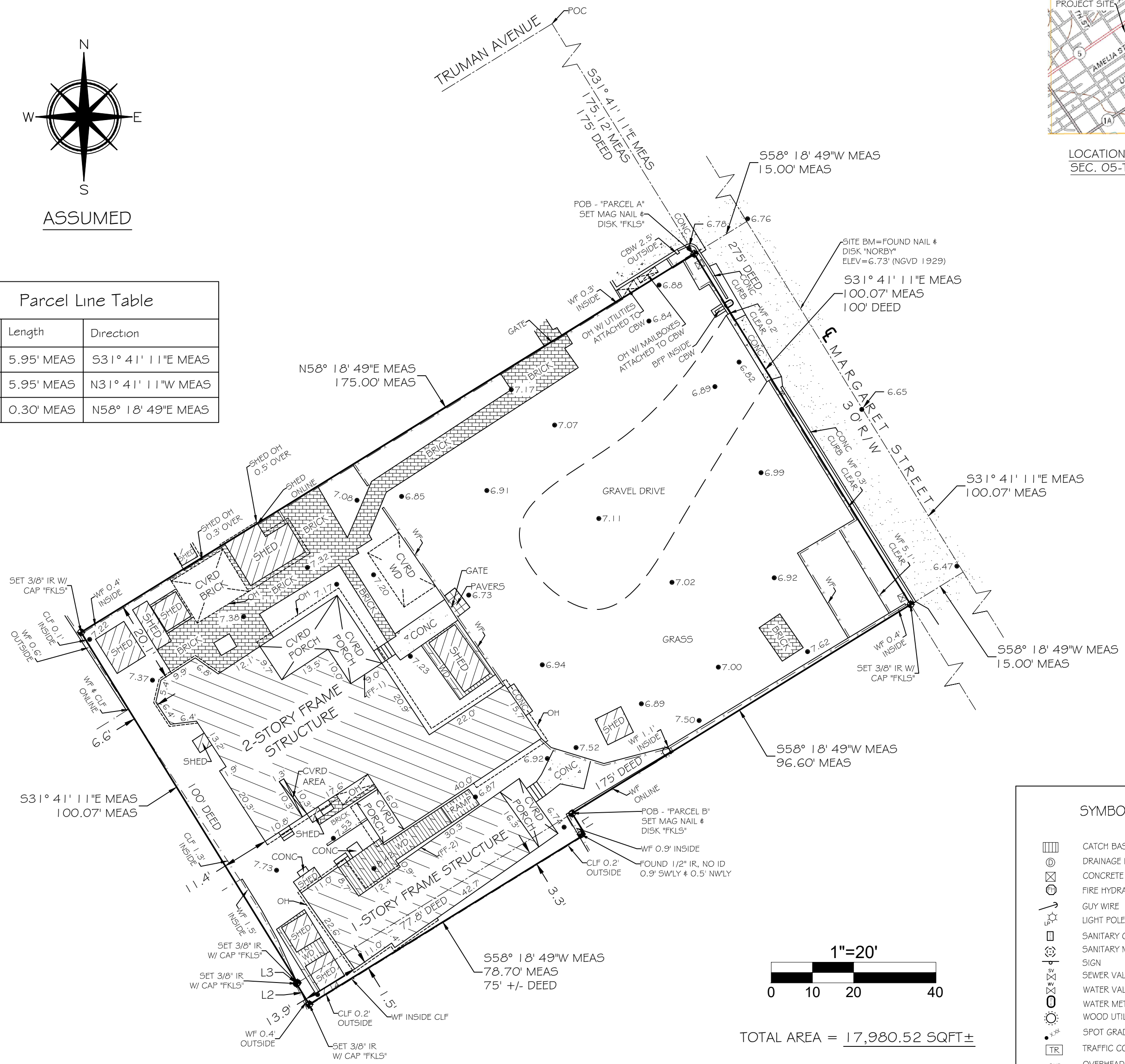


MAP OF BOUNDARY SURVEY



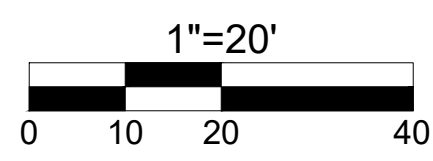
LOCATION MAP - NTS
SEC. 05-T685-R25E

Parcel Line Table		
Line #	Length	Direction
L1	5.95' MEAS	S31° 41' 11" E MEAS
L2	5.95' MEAS	N31° 41' 11" W MEAS
L3	0.30' MEAS	N58° 18' 49" E MEAS



SYMBOL LEGEND:

	CATCH BASIN
	DRAINAGE MANHOLE
	CONCRETE UTILITY POLE
	FIRE HYDRANT
	GUY WIRE
	LIGHT POLE
	SANITARY CLEANOUT
	SANITARY MANHOLE
	SIGN
	SEWER VALVE
	WATER VALVE
	WATER METER
	WOOD UTILITY POLE
	SPOT GRADE ELEVATION (TYPICAL)
	TRAFFIC CONTROL BOX
	OVERHEAD UTILITY LINE



TOTAL AREA = 17,980.52 SQFT ±

SURVEYORS NOTES

- BEARING BASE: ALL BEARINGS ARE BASED ON S31°41'11"E ASSUMED ALONG THE CENTERLINE OF MARGARET STREET.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK: DESIGNATION *872 4580 TIDAL 25" P.I.D. AAO004, ELEVATION=5.111' (NGVD 1929).
- ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHERS THAN THE SIGNING PARTY IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.
- THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD EVIDENCE. THE SURVEYOR MAKES NO GUARANTIES THAT THE UNDERGROUND UTILITIES SHOWN HEREON ENCOMPASS ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE EVIDENCE AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- STREET ADDRESS: 1020 MARGARET STREET, KEY WEST, FL 33040.
- ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.
- ALL FIELD DATA WAS ACQUIRED ON 02/05/2019.
- COMMUNITY NO.: 120168; MAP NO.: 12087C-1516K; MAP DATE: 02-18-2005; FLOOD ZONE: X-SHADED; BASE ELEVATION: N/A

- (FF-1) = 9.5' (NGVD 1929)
- (FF-2) = 9.3' (NGVD 1929)

- FINISHED FLOOR ELEVATIONS (FF-1 & FF-2) WERE TAKEN AT THE DOOR THRESHOLD LOCATION AS INDICATED ON THE SURVEY MAP, NO INTERIOR FLOOR ELEVATIONS WERE MEASURED OR VERIFIED.

LEGAL DESCRIPTION(S)

"PARCEL A"
A parcel of land in Tract Twelve (12) on the Island of Key West, and more particularly described by metes and bounds as follows: COMMENCING at the intersection of the Southeasterly property line of Division Street (Truman Avenue) and the Southwesterly property line of Margaret Street, run Southeasterly along the Southwesterly property line of Margaret Street for a distance of 175 feet to the point of beginning of the parcel of land hereinafter described; from said point of beginning continue Southeasterly along the Southwesterly property line of Margaret Street for a distance of 100 feet; thence at right angles to Margaret Street and Southwesterly for a distance of 175 feet; thence at right angles and Northwesterly for a distance of 100 feet; thence at right angles and Northeasterly for a distance of 175 feet, back to the point of beginning on Margaret Street.

"PARCEL B" - ALSO
A parcel of land in Part of Tract Twelve (12) on the Island of Key West, and more particularly described by metes and bounds as follows: COMMENCING at the intersection of the Southeasterly property line of Division Street (Truman Avenue) and the Southwesterly property line of Margaret Street, run Southeasterly along the Southwesterly property line of Margaret Street for a distance of 275 feet to a point; from said point run Southwesterly and at right angles to Margaret Street along an old wood fence line for a distance of 96.6 feet to the point of beginning of the parcel of land hereinafter described; thence bear Southerly meandering an old fence line to a point which is 5.95 feet, measured at right angles to the preceding course; thence bear Southwesterly and parallel to Division Street (Truman Avenue) for a distance of 75 feet, more or less to a point which is 175.3 feet Southwesterly of and measured at right angles to Margaret Street; thence bear Northwesterly and parallel with Margaret Street and across the back face of an old frame privy for a distance of 5.95 feet to a point; thence at right angles and Northeasterly and parallel with Division Street (Truman Avenue) for a distance of 77.8 feet back to the point of beginning.

CERTIFIED TO -

Soni & Sons Limited Partnership Agreement;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

BFP = BACK-FLOW PREVENTER	GVW = GUY WIRE	POC = POINT OF COMMENCEMENT
BO = BLOW OUT	HB = HOSE BIB	PRC = POINT OF REVERSE CURVE
C & G = 2" CONCRETE CURB & GUTTER	IP = IRON PIPE	PRM = PERMANENT REFERENCE MONUMENT
CB = CONCRETE BLOCK	IR = IRON ROD	PT = POINT OF TANGENT
CBW = CONCRETE BLOCK WALL	L = ARC LENGTH	R = RADIUS
CL = CENTERLINE	LS = LANDSCAPING	RW = RIGHT OF WAY LINE
CLF = CHAINLINK FENCE	MB = MAILBOX	SSCO = SANITARY SEWER CLEAN-OUT
CM = CONCRETE MONUMENT	MEAS = MEASURED	SW = SIDE WALK
CONC = CONCRETE	MF = METAL FENCE	TBM = TEMPORARY BENCHMARK
CPP = CONCRETE POWER POLE	MHWL = MEAN HIGH WATER LINE	TOS = TOP OF SLOPE
CVRD = COVERED	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)	TYP = TYPICAL
DELTA = CENTRAL ANGLE	NTS = NOT TO SCALE	UR = UNREADABLE
DEASE = DRAINAGE EASEMENT	OH = ROOF OVERHANG	UE = UTILITY EASEMENT
EL = ELEVATION	OHW = OVERHEAD WIRES	WD = WOOD DECK
ENCL = ENCLOSURE	PC = POINT OF CURVE	WF = WOOD FENCE
EP = EDGE OF PAVEMENT	PM = PARKING METER	WL = WOOD LANDING
FF = FINISHED FLOOR ELEVATION	PCC = POINT OF COMPOUND CURVE	WM = WATER METER
FH = FIRE HYDRANT	PCP = PERMANENT CONTROL POINT	WPP = WOOD POWER POLE
FI = FENCE INSIDE	PK = PARKER KALON NAIL	WRACK LINE = LINE OF DEBRIS ON SHORE
FND = FOUND	POB = POINT OF BEGINNING	WV = WATER VALVE
FO = FENCE OUTSIDE	PI = POINT OF INTERSECTION	
FOL = FENCE ON LINE		

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE:	02/05/2019
MAP DATE:	03/19/2019
REVISION DATE:	XXXX/XXXX
SHEET:	1 OF 1
DRAWN BY:	MPB
JOB NO.:	19-105

SIGNED:
ERIC A. ISAACS, #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

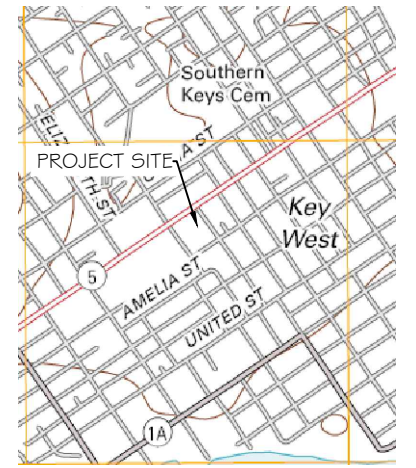
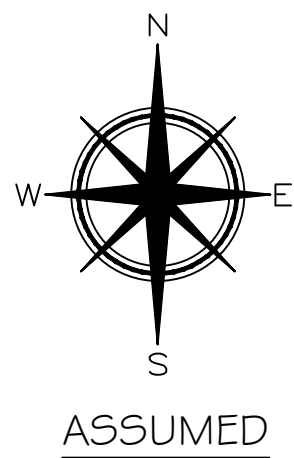
NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER



**FLORIDA KEYS
LAND SURVEYING**
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5email@gmail.com

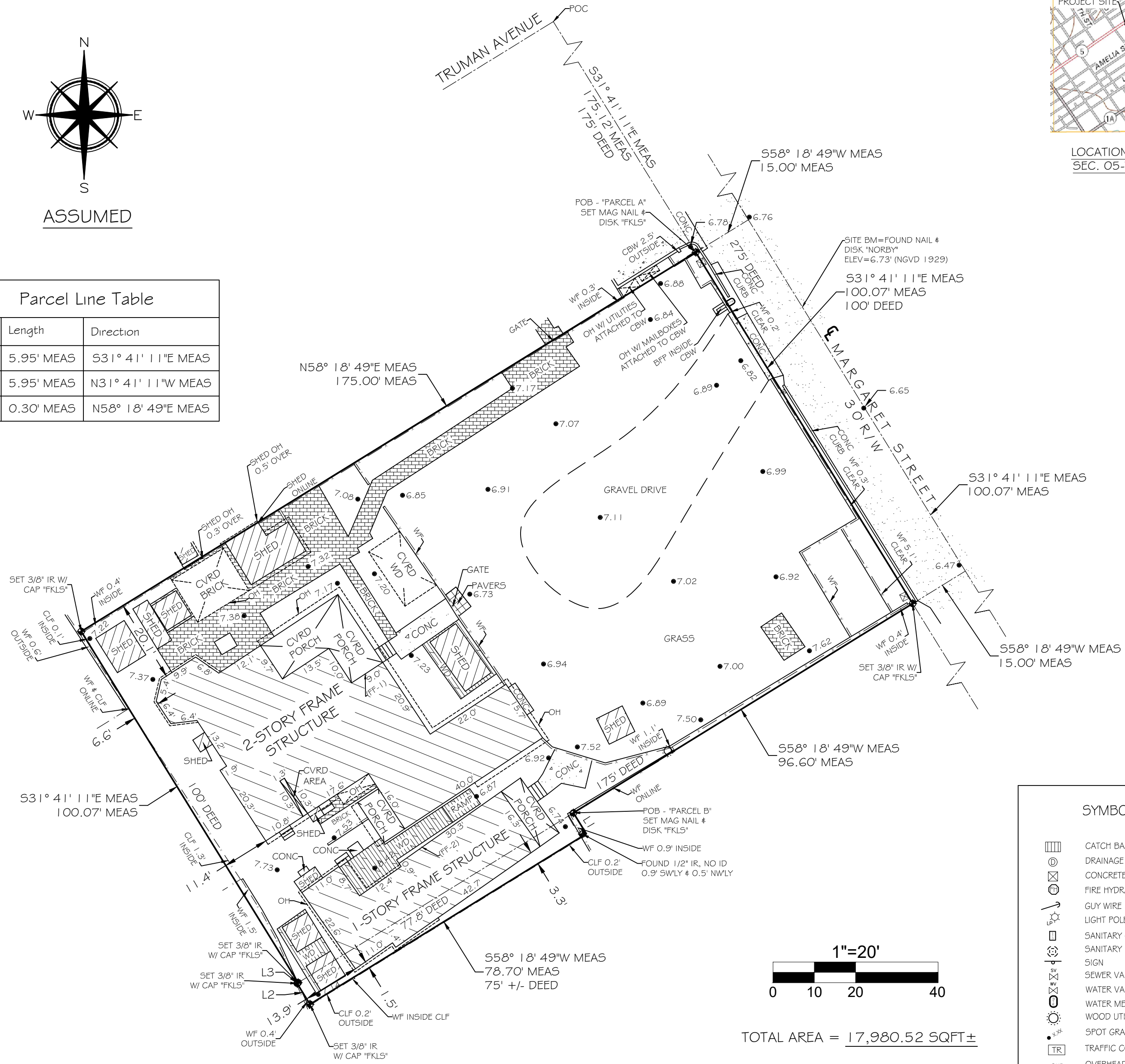
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MAP OF BOUNDARY SURVEY



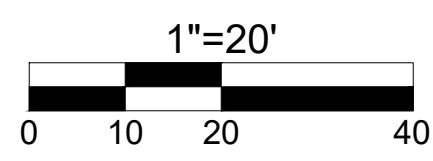
LOCATION MAP - NTS
SEC. 05-T685-R25E

Line #	Length	Direction
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L2	5.95' MEAS	N31° 41' 11" W MEAS
L3	0.30' MEAS	N58° 18' 49" E MEAS



SYMBOL LEGEND:

- CATCH BASIN
- DRAINAGE MANHOLE
- CONCRETE UTILITY POLE
- FIRE HYDRANT
- GUY WIRE
- LIGHT POLE
- SANITARY CLEANOUT
- SANITARY MANHOLE
- SIGN
- SEWER VALVE
- WATER VALVE
- WATER METER
- WOOD UTILITY POLE
- SPOT GRADE ELEVATION (TYPICAL)
- TRAFFIC CONTROL BOX
- OVERHEAD UTILITY LINE



TOTAL AREA = 17,980.52 SQFT ±

SURVEYORS NOTES

- BEARING BASE: ALL BEARINGS ARE BASED ON S31°41'11" E ASSUMED ALONG THE CENTERLINE OF MARGARET STREET.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK: DESIGNATION *872 4580 TIDAL 25" P.I.D. AA0004, ELEVATION=5.111' (NGVD 1929).
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- THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD EVIDENCE. THE SURVEYOR MAKES NO GUARANTIES THAT THE UNDERGROUND UTILITIES SHOWN HEREON ENCOMPASS ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE EVIDENCE AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
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LEGAL DESCRIPTION(S)

"PARCEL A"
A parcel of land in Tract Twelve (12) on the Island of Key West, and more particularly described by metes and bounds as follows: COMMENCING at the intersection of the Southeasterly property line of Division Street (Truman Avenue) and the Southwesterly property line of Margaret Street, run Southeasterly along the Southwesterly property line of Margaret Street for a distance of 175 feet to the point of beginning of the parcel of land hereinafter described; from said point of beginning continue Southeasterly along the Southwesterly property line of Margaret Street for a distance of 100 feet; thence at right angles to Margaret Street and Southwesterly for a distance of 175 feet; thence at right angles and Northwesterly for a distance of 100 feet; thence at right angles and Northeasterly for a distance of 175 feet, back to the point of beginning on Margaret Street.

"PARCEL B" - ALSO
A parcel of land in Part of Tract Twelve (12) on the Island of Key West, and more particularly described by metes and bounds as follows: COMMENCING at the intersection of the Southeasterly property line of Division Street (Truman Avenue) and the Southwesterly property line of Margaret Street, run Southeasterly along the Southwesterly property line of Margaret Street for a distance of 275 feet to a point; from said point run Southwesterly and at right angles to Margaret Street along an old wood fence line for a distance of 96.6 feet to the point of beginning of the parcel of land hereinafter described; thence bear Southerly meandering an old fence line to a point which is 5.95 feet, measured at right angles to the preceding course; thence bear Southwesterly and parallel to Division Street (Truman Avenue) for a distance of 75 feet, more or less to a point which is 175.3 feet Southwesterly of and measured at right angles to Margaret Street; thence bear Northwesterly and parallel with Margaret Street and across the back face of an old frame privy for a distance of 5.95 feet to a point; thence at right angles and Northeasterly and parallel with Division Street (Truman Avenue) for a distance of 77.8 feet back to the point of beginning.

CERTIFIED TO -

Soni & Sons Limited Partnership Agreement;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

BFP = BACK-FLOW PREVENTER	GVW = GUY WIRE	POC = POINT OF COMMENCEMENT
BO = BLOW OUT	HB = HOSE BIB	PRC = POINT OF REVERSE CURVE
C & G = 2" CONCRETE CURB & GUTTER	IP = IRON PIPE	PRM = PERMANENT REFERENCE MONUMENT
CB = CONCRETE BLOCK	IR = IRON ROD	PT = POINT OF TANGENT
CBW = CONCRETE BLOCK WALL	L = ARC LENGTH	R = RADIUS
CL = CENTERLINE	LS = LANDSCAPING	RW = RIGHT OF WAY LINE
CLF = CHAINLINK FENCE	MB = MAILBOX	SSCO = SANITARY SEWER CLEAN-OUT
CM = CONCRETE MONUMENT	MEAS = MEASURED	SW = SIDE WALK
CONC = CONCRETE	MF = METAL FENCE	TBM = TEMPORARY BENCHMARK
CPP = CONCRETE POWER POLE	MHWL = MEAN HIGH WATER LINE	TOS = TOP OF BANK
CVRD = COVERED	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)	TOS = TOE OF SLOPE
DELTA = CENTRAL ANGLE	NTS = NOT TO SCALE	TYP = TYPICAL
DEASE = DRAINAGE EASEMENT	OH = ROOF OVERHANG	UR = UNREADABLE
EL = ELEVATION	OHW = OVERHEAD WIRES	UE = UTILITY EASEMENT
ENCL = ENCLOSURE	PC = POINT OF CURVE	WD = WOOD DECK
EP = EDGE OF PAVEMENT	PM = PARKING METERS	WF = WOOD FENCE
FF = FINISHED FLOOR ELEVATION	PCC = POINT OF COMPOUND CURVE	WL = WOOD LANDING
FH = FIRE HYDRANT	PCP = PERMANENT CONTROL POINT	WM = WATER METER
FI = FENCE INSIDE	PK = PARKER KALON NAIL	WPP = WOOD POWER POLE
FND = FOUND	POB = POINT OF BEGINNING	WRACK LINE = LINE OF DEBRIS ON SHORE
FO = FENCE OUTSIDE	PI = POINT OF INTERSECTION	WV = WATER VALVE
FOL = FENCE ON LINE		

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION AND THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE:	02/05/2019
MAP DATE:	03/19/2019
REVISION DATE:	XXXX/XXXX
SHEET:	1 OF 1
DRAWN BY:	MPB
JOB NO.:	19-105

SIGNED:
ERIC A. ISAACS, #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER



**FLORIDA KEYS
LAND SURVEYING**
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5email@gmail.com

Deed

THIS INSTRUMENT PREPARED BY:
John S. Bohatch, Esquire
GUTTENMACHER & BOHATCH, P.A.
7301 SW 57 Ct., Suite 560
South Miami, Florida 33143

Doc# 1824461 02/17/2011 10:00AM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

RETURN INSTRUMENT TO:
John S. Bohatch, Esquire
GUTTENMACHER & BOHATCH, P.A.
7301 SW 57 Ct., Suite 560
South Miami, Florida 33143
(305) 666-1040

02/17/2011 10:00AM
DEED DOC STAMP CL: DIONNE \$0.70

Parcel ID Number:

Doc# 1824461
Bk# 2505 Pg# 206

Warranty Deed

(Deed prepared without title examination)

THIS INDENTURE, made this 25 day of January, 2011 A.D. Between VASANTLAL B. SONI, and HANSA V. SONI, husband and wife, whose address is 830 Truman Avenue, Key West, Florida 33040, GRANTORS, and SONI & SONS LIMITED PARTNERSHIP AGREEMENT, A Florida Limited Partnership (ID: A99000001246), whose address is 830 Truman Avenue, Key West, Florida 33040, of the County of Monroe, State of Florida, GRANTEE.

WITNESSETH that the GRANTORS for and in consideration of the sum of TEN & NO/100 (\$10.00) DOLLARS, and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs and assigns forever, the following described land, situated, lying and being in the County of Monroe, State of FLORIDA to wit:

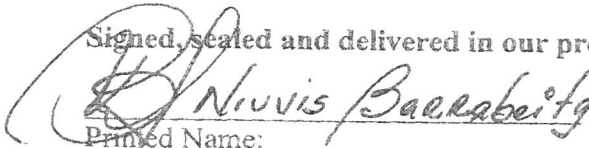
SEE "EXHIBIT A" ATTACHED HERETO

Subject to restrictions, reservations and easements of record, if any, which are not reimposed hereby, and taxes for the current and subsequent years.

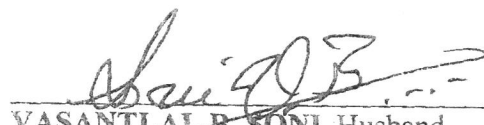
And the GRANTORS do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the GRANTORS have hereunto set their hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Printed Name: _____

Witness

 (seal)
VASANTLAL B. SONI, Husband

GUTTENMACHER & BOHATCH, P.A.

Printed Name: JOHN S. BOHATCH

Witness

Printed Name: Nivvis Parabeity

Witness

Printed Name: JOHN S. BOHATCH

Witness

[Signature] (seal)
HANSA V. SONI, Wife

STATE OF FLORIDA)
)ss:
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 25 day of January, 2011, by **VASANTLAL B. SONI** who is personally known to me or who have produced N/A as identification and who did take an oath.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal at Key West, Monroe County, Florida, this 25 day of January, 2011.



[Signature]
Notary Public, State of Florida - Signature

Notary Public, State of Florida - Printed Name

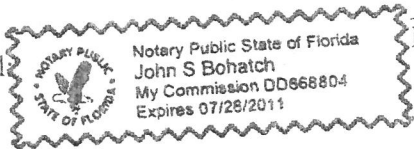
Official Seal:

NOTARY served as second witness

STATE OF FLORIDA)
)ss:
COUNTY OF MONROE)

The foregoing instrument was acknowledged before me this 25 day of January, 2011, by **HANSA V. SONI** who is personally known to me or who have produced N/A as identification and who did take an oath.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal at Key West, Monroe County, Florida, this 25 day of January, 2011.



[Signature]
Notary Public, State of Florida - Signature

Notary Public, State of Florida - Printed Name

Official Seal:

NOTARY served as second witness

"EXHIBIT A"

A parcel of land in Tract Twelve (12) on the Island of Key West, and more particularly described by metes and bounds as follows: COMMENCING at the intersection of the Southeasterly property line of Division Street (Truman Avenue) and the Southwesterly property line of Margaret Street, run Southeasterly along the Southwesterly property line of Margaret Street for a distance of 175 feet to the point of beginning of the parcel of land hereinafter described; from said point of beginning continue Southeasterly along the Southwesterly property line of Margaret Street for a distance of 100 feet; thence at right angles to Margaret Street and Southwesterly for a distance of 175 feet; thence at right angles and Northwesterly for a distance of 100 feet; thence at right angles and Northeasterly for a distance of 17 feet, back to the point of beginning on Margaret Street.

ALSO

A parcel of land in Part of Tract Twelve (12) on the Island of Key West, and more particularly described by metes and bounds as follows: COMMENCING at the intersection of the Southeasterly property line of Division Street (Truman Avenue) and the Southwesterly property line of Margaret Street, run Southeasterly along the Southwesterly property line of Margaret Street for a distance of 275 feet to a point; from said point run Southwesterly and at right angles to Margaret Street along an old wood fence line for a distance of 96.6 feet to the point of beginning of the parcel of land hereinafter described; thence bear Southerly meandering and old fence line to a point which is 5.95 feet, measured at right angles to the preceding course; thence bear Southwesterly and parallel to Division Street (Truman Avenue) for a distance of 75 feet, more or less to a point which is 175.3 feet Southwesterly of and measured at right angles to Margaret Street; thence bear Northwesterly and parallel with Margaret Street and across the back face of an old frame privy for a distance of 5.95 feet to a point; thence at right angles and Northeasterly and parallel with Division Street (Truman Avenue) for a distance of 77.8 feet back to the point of beginning.

MONROE COUNTY
OFFICIAL RECORDS

GUTTENMACHER & BOHATCH, P.A.

Property Record Card



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00030490-000000
 Account# 1031267
 Property ID 1031267
 Millage Group 10KW
 Location 1020 MARGARET St 101, KEY WEST
 Address
 Legal KW PT OF TR 12 G67-42 G67-383 G67-385 OR59-188/91 OR77-366/70 CASE 85-136-CA-17 OR934-1076/84 OR1052-753/54 OR2505-206/08
 Description (Note: Not to be used on legal documents.)
 Neighborhood 6096
 Property Class MULTI FAMILY LESS THAN 10 UNITS (0800)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

SONI AND SONS LIMITED PARTNERSHIP
 AGREEMENT
 830 Truman Ave
 Key West FL 33040

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$205,029	\$480,898	\$488,993	\$349,025
+ Market Misc Value	\$5,525	\$5,760	\$5,997	\$2,178
+ Market Land Value	\$859,513	\$764,925	\$764,925	\$1,128,498
= Just Market Value	\$1,070,067	\$1,251,583	\$1,259,915	\$1,479,701
= Total Assessed Value	\$1,070,067	\$1,222,853	\$1,111,685	\$1,010,623
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,070,067	\$1,251,583	\$1,259,915	\$1,479,701

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (080D)	17,500.00	Square Foot	100	175

Buildings

Building ID	2362	Exterior Walls	ABOVE AVERAGE WOOD
Style	2 STORY ON GRADE	Year Built	1943
Building Type	M.F. - R3 / R3	EffectiveYearBuilt	1943
Gross Sq Ft	3817	Foundation	WD CONC PADS
Finished Sq Ft	2584	Roof Type	GABLE/HIP
Stories	2 Floor	Roof Coverage	METAL
Condition	AVERAGE	Flooring Type	CONC S/B GRND
Perimeter	344	Heating Type	NONE with 0% NONE
Functional Obs	50	Bedrooms	5
Economic Obs	0	Full Bathrooms	3
Depreciation %	69	Half Bathrooms	0
Interior Walls	WALL BD/WD WAL	Grade	550
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	330	0	86
DUF	FIN DET UTILIT	204	0	58
FLA	FLOOR LIV AREA	2,584	2,584	329
GBF	GAR FIN BLOCK	320	0	72
OPF	OP PRCH FIN LL	259	0	90

Code	Description	Sketch Area	Finished Area	Perimeter
SBF	UTIL FIN BLK	120	0	44
TOTAL		3,817	2,584	679

Building ID	2363	Exterior Walls	ABOVE AVERAGE WOOD
Style	1 STORY ELEV FOUNDATION	Year Built	1933
Building Type	M.F. - R2 / R2	EffectiveYearBuilt	2002
Gross Sq Ft	1002	Foundation	WD CONC PADS
Finished Sq Ft	906	Roof Type	GABLE/HIP
Stories	1 Floor	Roof Coverage	METAL
Condition	AVERAGE	Flooring Type	SFT/HD WD
Perimeter	140	Heating Type	NONE with 0% NONE
Functional Obs	0	Bedrooms	1
Economic Obs	0	Full Bathrooms	2
Depreciation %	24	Half Bathrooms	0
Interior Walls	DRYWALL	Grade	450
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	906	906	156
OPF	OP PRCH FIN LL	96	0	44
TOTAL		1,002	906	200

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
WALL AIR COND	1987	1988	1	1 UT	2
WOOD DECK	1987	1988	1	48 SF	2
WALL AIR COND	1994	1995	1	1 UT	1
FENCES	2001	2002	1	600 SF	2
BRICK PATIO	1994	1995	0	778 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
1/25/2011	\$100	Warranty Deed		2505	206	11 - Unqualified	Improved
5/1/1988	\$270,000	Warranty Deed		1052	753	Q - Qualified	Improved
2/1/1985	\$120,000	Warranty Deed		934	1076	Q - Qualified	Improved

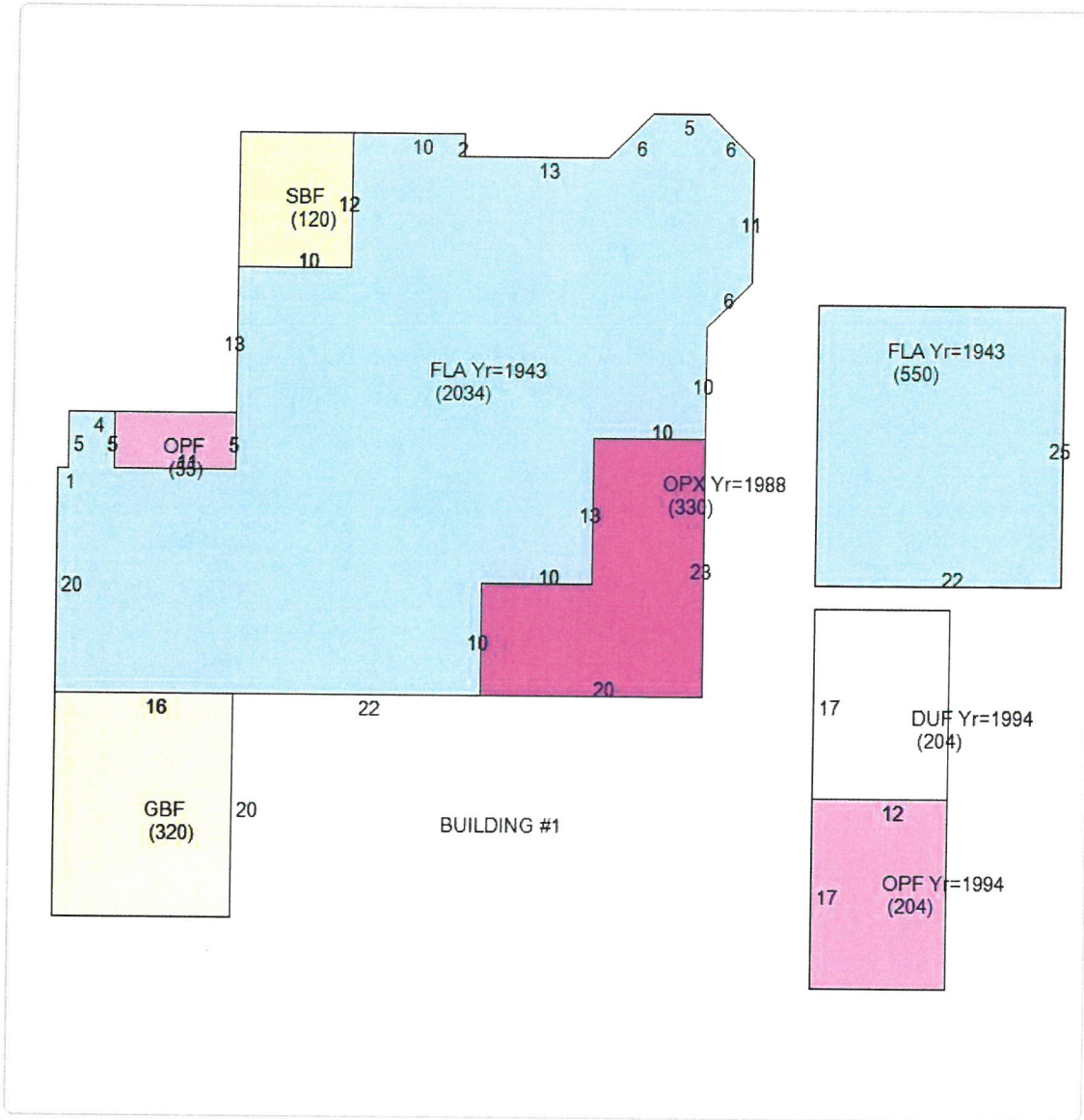
Permits

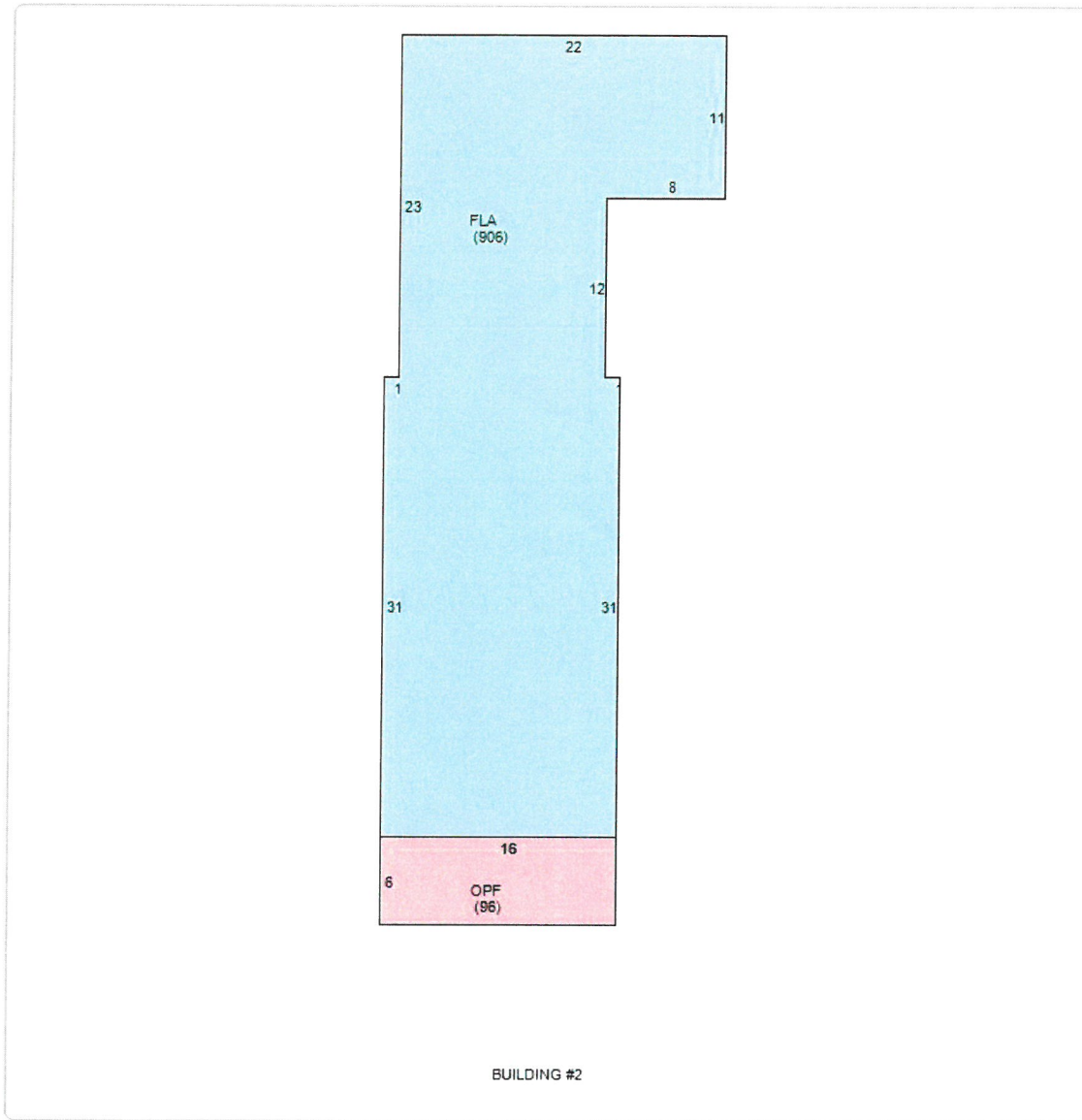
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18-0976	11/26/2019		\$0	Residential	EMERGENCY::REMOVE ROMEX FROM LOAD CENTER FEEDING BITCOIN SYSEM PER FIRE MARSHALS INSTRUCTIONS. ADD ON TO PERMIT: REMOVAL OF EXISTING ROMEX CABELING INSTALLATION OF SMOKE/CO DETECTION SYSTEM THROUGH OUR BUILDING; REMOVAL OF EXISTING OCO AND REPLACEMENT WITH ARC FAULT BREAKERS. INSTALLATION OF WB7 LOCATION EMERGENCY LIGHT. INDEXTING OF LOAD CENTER ONCE POWER IS RESTORED
19-3715	11/26/2019		\$0	Residential	Interior demolition: Demo explore drywall on walls and ceiling in all areas, demo and remove flooring on all areas
19-0527	4/1/2019	6/7/2019	\$13,500	Residential	REPLACE 5VCRIMP 9 SQRS
B943237	10/1/1994	12/1/1994	\$2,800	Residential	REPLACE WOOD ON GARAGE

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)





Photos



Map



TRIM Notice

Trim Notice

2019 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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