



**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**

To: Chairman and Planning Board Members

From: Nicole Malo

Through: Donald L. Craig, AICP, Planning Director

Meeting Date: June 16, 2011

Agenda Item: A request for variances to building coverage, front yard, rear yard and side yard setback requirements for a contributing structure in the Historic Medium Density Residential zoning district for property located at 313 Amelia Street (RE# 00026100-000000) per Section 90-391 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

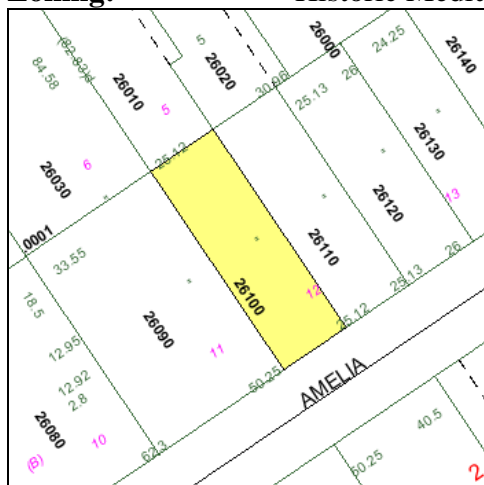
Request: A request to reconstruct an exterior staircase and add a second storey porch of 183 square feet for a multi-family contributing structure listed in the historic architectural survey

Applicant: Edward James Russell

Property Owner: Edward James Russell

Location: 313 Amelia Street (RE# 00026100-000000)

Zoning: Historic Medium Density Residential (HMDR) zoning district



Background: According to the Historical Architectural Survey this structure was built around 1892 as a single family home. Today the structure has two single family units, one in the front on the ground floor and a second floor unit which is accessed through the existing staircase in the rear of the property.

The entire property is approximately 2,000 square feet. Existing historical non-conformities include minimum lot size, building coverage, front, rear and both side yard setback requirements.

Request: The applicant is requesting variances to increased building coverage, and rear and southerly side yard setback requirements to reconstruct an exterior staircase and expand a second storey porch by 96 square feet. The proposed wood porch is uncovered and does not increase impervious surface. No site improvements are proposed. Additional variances to existing nonconforming front and northerly side yard setback conditions are also required to bring the site into compliance.

A summary of the site dimensions are provided below:

Site Data Table				
	Required/ Allowed	Existing	Proposed	Variance Request
Zoning	HMDR			
Flood Zone				
Size of Site	4,000 s.f	2,000 s.f		
Front Setback	10'	6'2"	No Change Proposed	3'10"
North Side Setback	5'	3'7"	No Change Proposed	1'5"
South Side Setback	5'	2'1"	2'	3'
Rear Setback	15'	11'11"	6'	9'
Building Coverage	40% (800 s.f)	56% (1,117 s.f)	60% (1,213 s.f)	20% (413 s.f)
Impervious Surface	60% (1,200 s.f)	56% (1,100 s.f)	No Change Proposed	None Required
Open Space/ Landscaping	35% (700 s.f)	42% (834 s.f)	37% (733 s.f)	None Required

Process:

Development Review Committee Meeting:

February 24, 2011

HARC:

December 28, 2010

Analysis – Evaluation for Compliance With The Land Development Regulations:

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

1. **Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The size of this historic lot is half of the required lot size in the HMDR zoning district. Additionally, many of the existing nonconformities on the site are associated with the contributing structure. However, the applicant has not demonstrated that there is not viable use of the land if the variance is not approved.

2. **Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

Although the location of the structure within the rear, front and side yard setbacks was not constructed by the applicant, the expansion of the porch is a condition created by the applicant.

3. **Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

Granting the variance request will confer upon the applicant special privileges denied to other lands, buildings or structures in the same zoning district.

4. **Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

No hardship conditions exist. Without the approval of this variance request the homeowners would still have reasonable use of the land and access to both units. The applicant's desire to construct an addition into the rear yard setback to create a porch does not constitute a hardship.

5. **Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.**

The variances requested are the minimum variances needed to expand the second floor porch at this time.

6. **Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

The exterior stair case and second floor porch are in the rear of the property and do not affect the view of the structure from the street. Furthermore, the Fire Marshalls Office has provided a letter that they do not see any life safety concerns that may arise from the proposed porch addition. Therefore the addition does not appear to be injurious to the public welfare.

- 7. Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

This request is not based on existing conditions on surrounding properties.

The Planning Board shall make factual findings regarding the following:

- 1. That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.**

The applicant does not meet all of the standards established by the City Code of Ordinances for a variance.

- 2. That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

The Planning Department has received two letters from immediate neighbors who are in support of the project. The department is not aware of any neighborhood objections to date.

Concurrency Facilities and Other Utilities or Service (Section 108-233):

No changes are proposed to the site. Although the site is not currently stormwater compliant, stormwater management is encouraged but not required because new impervious surface is not proposed.

RECOMMENDATION:

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends the request for variance be **denied**.

**Draft
Resolution**

**PLANNING BOARD RESOLUTION
2011-XX**

**A RESOLUTION OF THE KEY WEST PLANNING BOARD
FOR A VARIANCE APPROVAL FOR BUILDING
COVERAGE, FRONT YARD, REAR YARD AND SIDE YARD
SETBACK REQUIREMENTS FOR AN EXTERIOR
STAIRCASE AND SECOND STOREY PORCH FOR A MULTI-
FAMILY CONTRIBUTING STRUCTURE FOR PROPERTY
LOCATED AT 313 AMELIA STREET (RE# 00026100-000000)
IN THE HMDR ZONING DISTRICT PER SECTION 90-391
AND SECTIONS 122-600(4) (a.) AND (6) (a.), (b.), AND (c.), OF
THE LAND DEVELOPMENT REGULATIONS OF THE CODE
OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA**

WHEREAS, Section 122-600 (4)(a.) and 122-600(6) (a.), (b.), and (c.) of the Code of Ordinances provides that the maximum dimensional requirements for building coverage is 40%, and front yard building setbacks in the HMDR zoning district are 10 feet, and side yard building setbacks in the HMDR zoning district are 5 feet, and rear yard building setbacks in the HMDR zoning district are 15 feet; and

WHEREAS, the applicant requested variances to building coverage (20% (413 s.f)); and front yard setback (3' 10") and; side yard setbacks (North Side: 1' 3" and Southside 3'); and rear yard setback (9'), to allow improvements to a historically contributing multi-family structure, and;

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on June 16, 2011; and

_____ Chairman
_____ Planning Director

WHEREAS, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

WHEREAS, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

WHEREAS, the Planning Board finds that granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

WHEREAS, the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variance will

_____ Chairman
_____ Planning Director

not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of any variance; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or making a reasonable attempt to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by those neighbors;

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. A variance approval for a resolution of the Key West Planning Board for a variance approval for building coverage, front yard, rear yard and side yard setback requirements for an exterior staircase and second storey porch for a multi-family contributing structure for property located at 313 Amelia Street (RE# 00026100-000000) in the HMDR zoning district per section 90-391 and sections 122-600(4) (a.) and (6) (a.), (b.), and (c.), of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida. See site plans dated May 12, 2011.

Section 3. It is a condition of these variances that full, complete, and final application for all

_____ Chairman
_____ Planning Director

conditions of this approval for any use and occupancy for which these variances are wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application or shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

Section 4. The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the as described in Section 3 hereof, shall immediately operate to terminate these variances, which variances shall be of no force or effect.

Section 5. These variances do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 6. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 7. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Community Affairs. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and

_____ Chairman
_____ Planning Director

Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 16th day of June, 2011.

Authenticated by the Chairman of the Planning Board and the Planning Director.

Richard Klitenick
Planning Board Chairman

Date

Attest:

Donald Leland Craig, AICP, Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

_____ Chairman

_____ Planning Director

Application

VARIANCES ARE QUASI-JUDICIAL HEARINGS AND IT IS IMPROPER TO SPEAK TO A PLANNING BOARD AND/OR BOARD OF ADJUSTMENT MEMBER ABOUT THE VARIANCE OUTSIDE THE HEARING



Variance Application

**City of Key West
Planning Department**

Please print or type a response to the following:

1. Site Address 313 Amelia St.
2. Name of Applicant Edward James Russell
3. Applicant is: Owner X Authorized Representative _____
(attached Authorization Form must be completed)
4. Address of Applicant 16540 Old State Rd., Sugarloaf Key, FL 33042
5. Phone # of Applicant 305-481-1972 Mobile# _____ Fax# _____
6. E-Mail Address Edward.Russell@HMA.com
7. Name of Owner, if different than above Same as above
8. Address of Owner Same as above
9. Phone Number of Owner Same as above Fax# _____
10. Email Address Same as above
11. Zoning District of Parcel HMDR RE# 00026100-000000
12. Description of Proposed Construction, Development, and Use
Rebuild existing rear stairs to include a new porch.

13. Required information: (application will not move forward until all information is provided)

	Required	Existing	Requested
Front Setback	10 ft.	6 ft. 2in.	No Variance Requested
Side Setback - Left	5 ft.	2 ft. 1in.	2 ft. 0 in.
Side Setback - Right	5 ft.	3 ft. 7 in.	3 ft. 7 in.
Rear Setback	15 ft.	11 ft. 11 in.	6 ft. 0 in.
Building Coverage	40%	56%	60%
Open Space Requirements	35%	41%	No Variance Requested
Impervious Surface	60%	55%	No Variance Requested



14. Is Subject Property located within the Historic District? Yes X No _____
 If Yes, indicate date of HARC approval as well as the HARC Approval Number. Attach minutes of the meeting.

Date 8/31/10 HARC # H10-01-796

15. Are there any easements, deed restrictions or other encumbrances attached to the subject property? Yes _____ No X If Yes, please describe and attach relevant documents. _____

16. Will the work be within the dripline (canopy) of any tree on or off the property?

YES _____ NO X

If yes, provide date of landscape approval, and attach a copy of such approval.

Check List

(to be completed by Planning Staff and Applicant at time of submittal)

Applicant Initials	Staff Initials	The following must be included with this application
<u> EJR </u>	_____	Copy of the most recent recorded deed showing ownership and a legal description of the subject property
<u> EJR </u>	_____	Application Fee (to be determined according to fee schedule)
<u> EJR </u>	_____	Site Plan (existing and proposed) as specified on Variance Application Information Sheet
<u> EJR </u>	_____	Floor Plans of existing and proposed development (8.5 x 11)
<u> EJR </u>	_____	Copy of the most recent survey of the subject property
<u> EJR </u>	_____	Elevation drawings as measured from crown of road
<u> EJR </u>	_____	Stormwater management plan
<u> EJR </u>	_____	HARC Approval (if applicable)
<u> EJR </u>	_____	Notarized Verification Form
<u> EJR </u>	_____	A PDF or compatible electronic copy of the complete application on a compact disk

Please note that all architecture or engineering designs must be prepared and sealed by a professional architect or engineer registered in the state pursuant to F.S. chs. 471 and 481, respectively. Two signed and sealed copies will be required at time of submittal.



Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

This two story structure is located located on a unique and peculiar lot. It is an extremely undersized lot for this zoning district. The lot width is 62% of the minimum required. The lot depth is 88% the minimum depth required and the lot size is 50% of the minimum required.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

This is a historically platted lot. The current owner did no create these peculiarities and special conditions of the lot.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

No Special privileges will be conferred on the applicant. This will simply allow a deck to be built off the rear of the existing structure. Such a structure could be permitted without variances, if the lot complied with the minimum dimensions of the code.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Due to the peculiarities of the lot, this applicant will experience a hardship of deprivation. Other properties in this same district enjoy the rights associated with full sized lots. The codes were written to accommodate a minimum of a 4,000 sq. ft. lot. As a result, this applicant faces much larger setbacks relative to the width, depth, and size of his lot, and therefore has less area to quietly enjoy.



5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

This is the minimum variance necessary to construct the proposed deck.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The granting of this variance will not be injurious to the public welfare.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Nonconforming uses of other properties is not the basis for this variance request

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

Verification Form

Verification Form

Please note, variances are quasi-judicial hearings and it is improper to speak to a Planning Board or Board of Adjustment Member about the variance outside of the hearing.

This form should be completed by the applicant. Where appropriate, please indicate whether applicant is the owner or a legal representative. If a legal representative, please have the owner(s) complete the following page, "Authorization Form."

I, SeaTech, Inc., being duly sworn, depose and say
Name(s) of Applicant(s)

that: I am (check one) the _____ Owner Owner's Legal Representative
for the property identified as the subject matter of this application:

313 Amelia St.

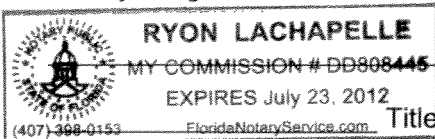
Street Address and Commonly Used Name (if any)

All of the answers to the above questions, drawings, plans and any other attached data which make up this application, are true and correct to the best of my knowledge and belief and that if not true or correct, are grounds for revocation of any action reliant on said information.

[Signature] _____
Signature of Owner/Legal Representative Signature of Joint/Co-owner

Subscribed and sworn to (or affirmed) before me on 1/28/11 (date) by
Robin Szmansky - for SeaTech, Inc. (name). He/She is personally known to me or has
presented _____ as identification.

[Signature]
Notary's Signature and Seal



Name of Acknowledger typed, printed or stamped
Title or Rank _____ Commission Number (if any)



Authorization Form

Authorization Form

Please note, variances are quasi-judicial hearings and it is improper to speak to a Planning Board or Board of Adjustment Member about the variance outside of the hearing.

Please complete this form if someone other than the owner is representing the property owner in this matter.

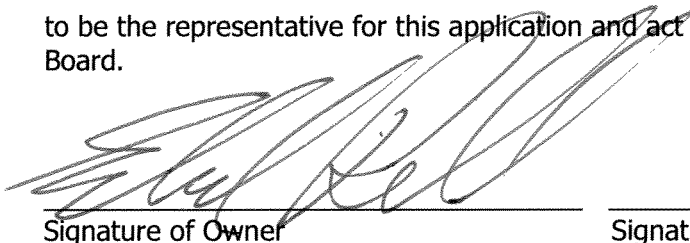
I, Edward James Russell _____ authorize

Please Print Name(s) of Owner(s)

SeaTech, Inc

Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the Planning Board.



Signature of Owner

Signature of Joint/Co-owner if applicable

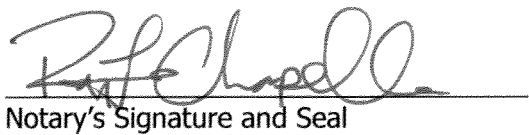
Subscribed and sworn to (or affirmed) before me on _____ (date) by

Edward James Russell

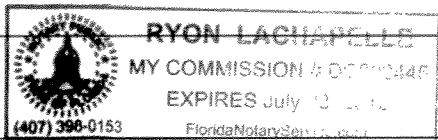
Please Print Name of Affiant

He/She is personally known to me or has

presented _____ as identification.



Notary's Signature and Seal



Name of Acknowledger printed or stamped

Title or Rank

Commission Number (if any)



SECURITY CHECK

EDWARD J. RUSSELL R.P.H. 05-98
16540 OLD STATE RD
SUGARLOAF BEACH, FL 33042-3703

Date 8/30/10

Pay to the Order of CITY OF Key West \$ 1150.00

Eleven Hundred Fifty & 00/100 Dollars

FIRST STATE BANK
SUGARLOAF SHORES, FL 33044

For VARIANCE
313 AMELIA

[Signature]

⑆067000438⑆0202029155⑆0532

Security Check Bradford Exchange Checks 1-800-323-8104 www.bradfordexchangechecks.com



RECEIVED
May 6, 2011
KW Planning Dpt

Authorization Form

I, Edward Russell authorize
Please Print Name(s) of Owner(s)

Trepanier & Associates, Inc. to be the representative for 313 Amelia St.
Address/ Project Name

and act on my/our behalf with regard to this issue.

[Signature]

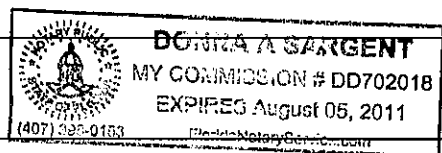
Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on 8/28/10 (date) by
EDWARD RUSSELL
Please Print Name of Affiant

He/She is personally known to me or has
presented _____
as identification.

[Signature]
Notary's Signature and Seal



Name of Acknowledger printed or stamped

Title or Rank

Commission Number, if any

R240-230-54-090

Deed

PREPARED BY AND RETURN TO:
RICHARD M. KLITENICK
RICHARD M. KLITENICK, P.A.
1009 SIMONTON STREET
KEY WEST, FL 33040
305-292-4101
FILE NUMBER: RE09-047
RECORDING PAID: \$18.50
DOC STAMPS PAID: \$2,065.00

Doc# 1777781 02/17/2010 9:55AM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

02/17/2010 9:55AM
DEED DOC STAMP CL: TRINA \$2,065.00

Doc# 1777781
Bk# 2453 Pg# 196

_____ [Space above this line for Recording Data] _____

WARRANTY DEED

THIS WARRANTY DEED is made on this 16th day of February, 2010, between KEY WEST BANK, FSB, whose address is 701 Whitehead Street, Key West, FL 33040, (hereinafter referred to as 'Grantor'), and EDWARD JAMES RUSSELL, a single man, whose address is 16540 Old State Road, Sugarloaf Key, FL 33042 (hereinafter collectively referred to as "Grantee").

(Whenever used herein the terms 'Grantor' and 'Grantee' include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said Grantor, for and in consideration of the sum of TWO HUNDRED NINETY-FIVE THOUSAND & 00/100^{ths} DOLLARS (\$295,000.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, with the street address of 313 Amelia Street, Key West FL 33040, more particularly described as:

PART OF LOT 12, IN SQUARE NO. 2, OF TRACT 10, ACCORDING TO A DIAGRAM MADE OF SAID TRACT 10 BY E.C. HOWE, RECORDED IN MONROE COUNTY, FLORIDA.

COMMENCING AT A POINT OF AMELIA STREET DISTANT FROM THE CORNER OF AMELIA AND THOMAS STREETS OF 150' 9" AND RUNNING ALONG AMELIA STREET IN A NORTHEASTERLY DIRECTION 25' 1.5"; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 79' 7"; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION 25' 1.5"; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION 79' 7" OUT TO AMELIA STREET AND THE POINT OF BEGINNING.

PARCEL IDENTIFICATION No.: 00026100-000000; ALTERNATE KEY ("AK") No.: 1026875

SUBJECT TO CONDITIONS AND RESTRICTIONS OF RECORD, IF ANY, BUT THIS DECLARATION SHALL NOT OPERATE TO RE-IMPOSE THE SAME.

SUBJECT TO: TAXES FOR THE YEAR 2010 AND SUBSEQUENT YEARS.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anyway appertaining.

To Have and to Hold, the same in fee simple forever.

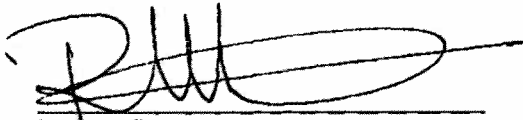


And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2009, and those items listed above.


In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

KEY WEST BANK, FSB
a Federally Chartered Thrift


Witness # 1 signature
Print name: RICHARD M. KLITENICK

By: 
Joseph G. Clark, Vice-President



Witness # 2 signature
Print name: Nika Stroble

STATE OF FLORIDA
COUNTY OF MONROE

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgements, JOSEPH G. CLARK, who is personally known to me to be the same person who is the named corporate principal Grantor described in the foregoing Warranty Deed, and he acknowledged to me that he executed the same freely and voluntarily for the purposes therein expressed with all requisite corporate authority.

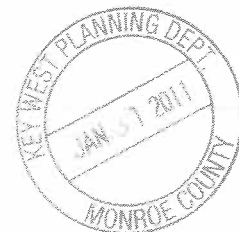
WITNESS my hand and official seal at Monroe County, Florida, on this 16th day of February, 2010.

(SEAL)


Notary Public-State of Florida
Commission Expires: 11-11-2012



MONROE COUNTY
OFFICIAL RECORDS

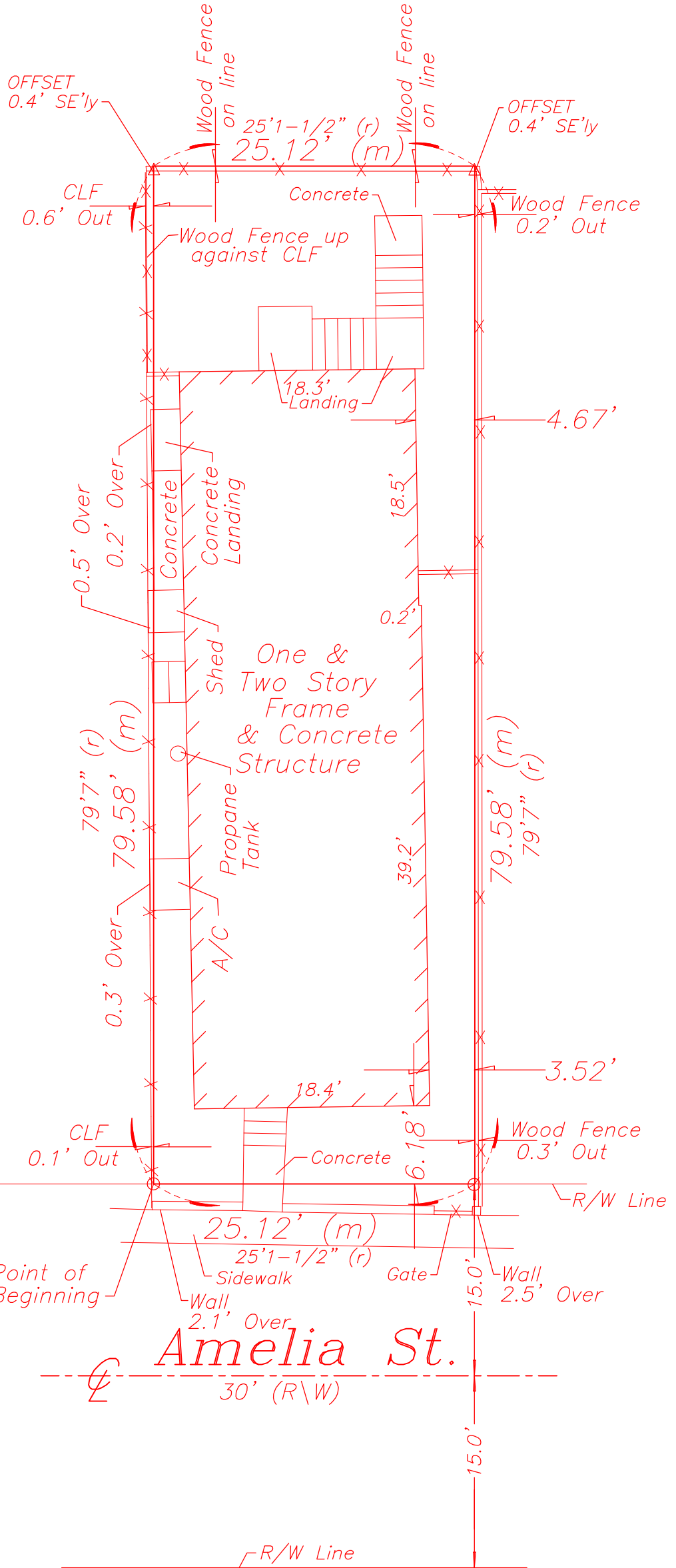
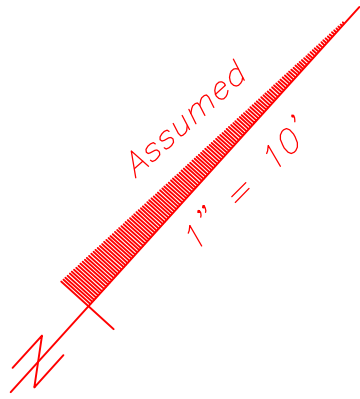


Survey

Boundary Survey Map of part of Lot 12, Square 2, Tract 10, Island of Key West



RECEIVED
May 6, 2011
KW Planning Dpt



LEGEND

- Set 3/4" Iron Pipe (6298)
- △ Set Nail & Disc (6298)
- ⊗ Wood Utility Pole
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- CLF Chain Link Fence
- R\W Right of Way
- ⊕ Centerline

NOTE:
This Survey Map is not full
and complete without the
attached Survey Report.

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of part of Lot 12, Square 2, Tract 10, Island of Key West



RECEIVED
May 6, 2011
KW Planning Dpt

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 313 Amelia Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Adjoiners are not furnished.
9. Date of field work: April 27, 2011
10. This Survey Report is not full and complete without the attached Survey Map.
11. The ownership of fences is undeterminable unless otherwise noted.

BOUNDARY SURVEY OF: Part of Lot Twelve (12), in Square No. Two (2) of Tract Ten (10) according to a diagram made of said Tract Ten (10) by E.C. Howe, recorded in Monroe County Records. COMMENCING at a point on Amelia Street distant from the corner of Amelia and Thomas Streets of One Hundred and Fifty (150) feet and Nine (9) inches and running along Amelia Street in a Northeasterly direction Twenty-five (25) feet One and one-half (1-1/2) inches; thence at right angles in a Northwesterly direction Seventy-nine (79) feet Seven (7) inches; thence at right angles in a Southwesterly direction Twenty-five (25) feet One and one-half (1-1/2) inches; thence at right angles in a Southeasterly direction Seventy-nine (79) feet and Seven (7) inches out to Amelia Street and the Point of Beginning.

BOUNDARY SURVEY FOR: Edward James Russell;

J. LYNN O'FLYNN, INC.

*J. Lynn O'Flynn, PSM
Florida Reg. #6298*

April 28, 2011

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244



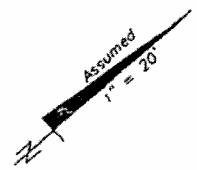
NORBY & Associates, Inc.
Professional Land Surveyors

Thomas A Norby
Reg No 5234



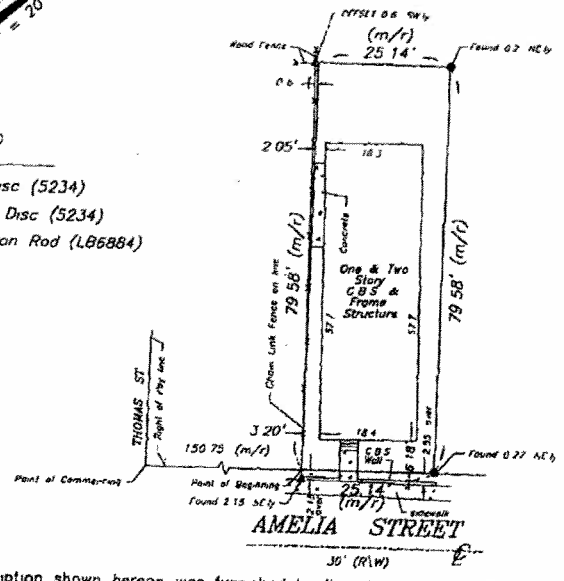
3154 Poyler Ave Key West, FL 33040

(305) 294-7422 FAX(305)293-8824



LEGEND

- △ Set Nail & Disc (5234)
- ▲ Found Nail & Disc (5234)
- Found 1/2" Iron Rod (L86884)
- ⊕ Centerline
- (M) Measured
- (R) Record
- R\W Right of Way



NOTES

- 1 The legal description shown hereon was furnished by the client or their agent
- 2 Underground foundations and utilities were not located
- 3 All angles are 90° (Measured & Record) unless otherwise noted
- 4 This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper
- 5 Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record
- 6 Street address 313 Amelia Street, Key West, FL 33040
- 7 Date of field work March 13, 2001

BOUNDARY SURVEY OF Part of Lot (12) Twelve, in Square No Two (2) of Tract Ten (10) according to a diagram made of said Tract Ten (10) by E.C. Howe, recorded in Monroe County Records COMMENCING at a point on Amelia Street distant from the corner of Amelia and Thomas Streets of One Hundred and Fifty (150) feet and Nine (9) inches and running along Amelia Street in a Northeasterly direction Twenty-five (25) feet, One and one-half (1-1/2) inches, thence at right angles in a Northwesterly direction Seventy-nine (79) feet Seven (7) inches, thence at right angles in a Southwesterly direction Twenty-five (25) feet One and one-half (1-1/2) inches, thence at right angles in a Southeasterly direction Seventy-nine (79) feet and Seven (7) inches out to Amelia Street and the Point of Beginning

BOUNDARY SURVEY FOR Carlo T Tynes & Louis H Tynes, Jr., First National Bank of the Florida Keys, Eric McCarthy, Attorneys' Title Insurance Fund, Inc.

NORBY & ASSOCIATES, INC

Thomas A Norby, PLS
Florida Reg 75234

March 13, 2001

Site Plans

SITE DATA

ZONING DISTRICT: HMDR
 FLOOD ZONE: AE6/ AE7
 F.I.R.M. - COMMUNITY #120168; PANEL #1516; SUFFIX "K"; DATED: 02-18-2005
 LEGAL DESCRIPTION: KW PB 1-25-40 PT LOT 12 SQR 2 TR 10 G12-149

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENTS AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.

OCCUPANCY CLASSIFICATION: R3
 CONSTRUCTION TYPE: V

THE FOLLOWING LOADINGS WERE USED:
 WIND LOAD: 150 MPH (ASCE 7-05) (3 SEC. GUST, EXPOSURE "C")
 FLOOR LIVE LOAD: 40 PSF

INDEX OF DRAWINGS

T-1 - SITE DATA
 A-1 - FLOOR PLANS
 A-2 - ELEVATIONS
 A-3 - ELEVATIONS
 S-1 - STRUCTURAL PLANS & DETAILS

GENERAL NOTES

- THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
- THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
- NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED, ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.)
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2007 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE 2007 FLORIDA BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
- THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.
- THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.
- PORTABLE RESTROOM FACILITIES TO BE PROVIDED AT THE SITE BY THE CONTRACTOR.
- ALL STORM WATER SHALL BE RETAINED ON THE PROPERTY.

LEGEND

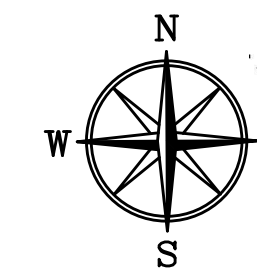
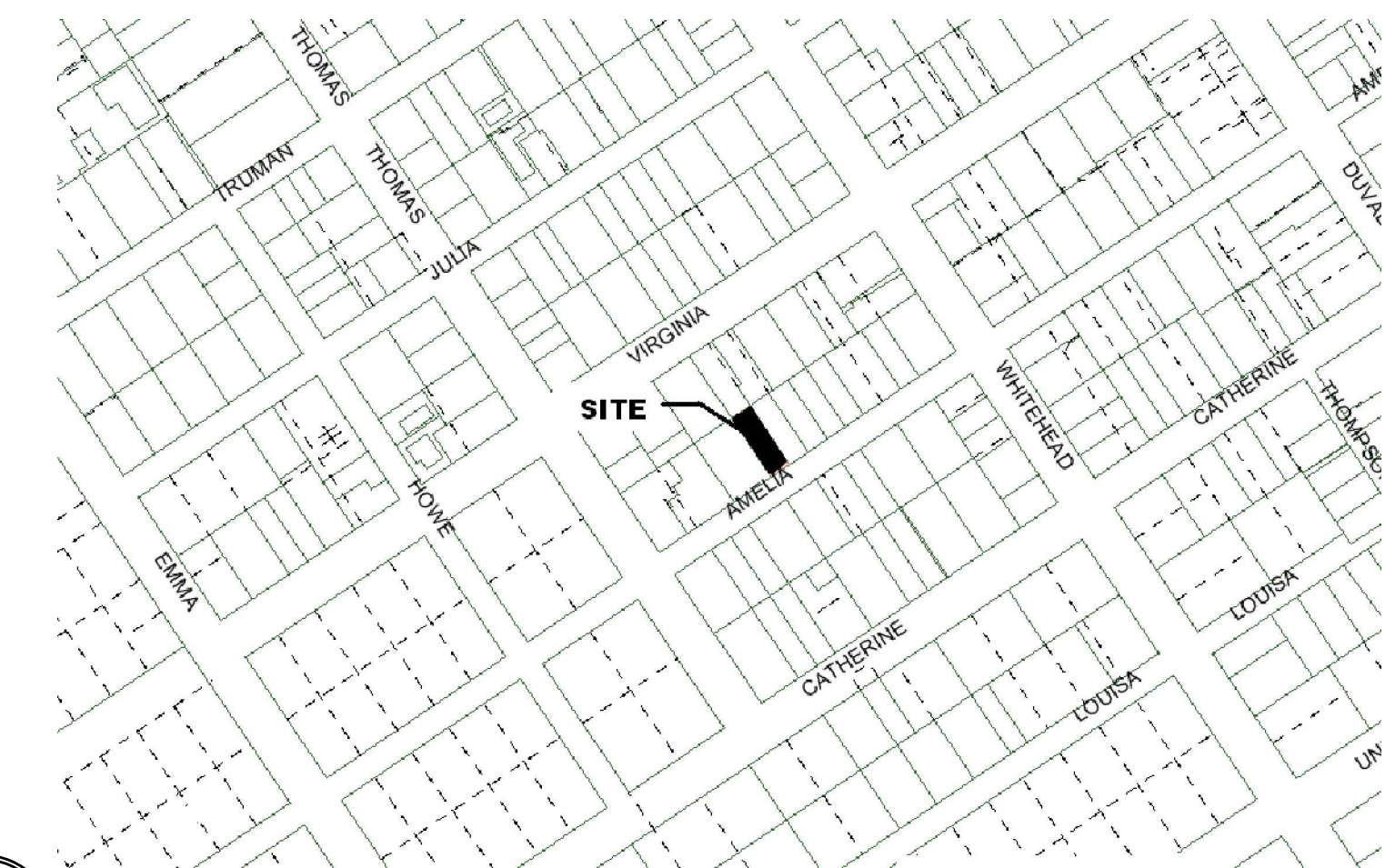
SYMBOLS		MATERIAL INDICATIONS		ABBREVIATIONS	
	ELEVATION MARK		CONCRETE	&	AND
	WALL TYPE SYMBOL		COMPACTED EARTH FILL	@	AT
	WINDOW TYPE SYMBOL		STUCCO OR GYPSUM WALL BOARD	APPROX.	APPROXIMATE(LY)
	DOOR NUMBER SYMBOL		CONCRETE MASONRY UNIT	FT.	FOOT/FEET
	GARAGE ROOM NAME AND ROOM NUMBER		BRICK	F.F.L.	FINISH FLOOR LEVEL
	DETAIL OR SECTION AREA		BATT INSULATION	IN.	INCH
	DETAIL OR SECTION NUMBER		RIDGE INSULATION	MAX.	MAXIMUM
	SHEET WHERE DETAIL IS SHOWN		SAND	MIN.	MINIMUM
	DETAIL OR SECTION NUMBER		GRAVEL	#	NUMBER
	SECTION		CONTINUOUS WOOD FRAMING	O.C.	ON CENTER
	SHEET WHERE DETAIL IS SHOWN		WOOD BLOCKING	LB.	POUND
	SHEET WHERE DETAIL IS TAKEN		PLYWOOD	PSI	POUND PER SQUARE INCH
			FINISH WOOD	P.T.	PRESSURE TREATED
				SF	SQUARE FOOT/FEET
				T & G	TONGUE AND GROOVE
				WWM	WELDED WIRE MESH

RUSSELL RESIDENCE

313 AMELIA STREET
 KEY WEST, FLORIDA
 H.A.R.C. #H10-01-796

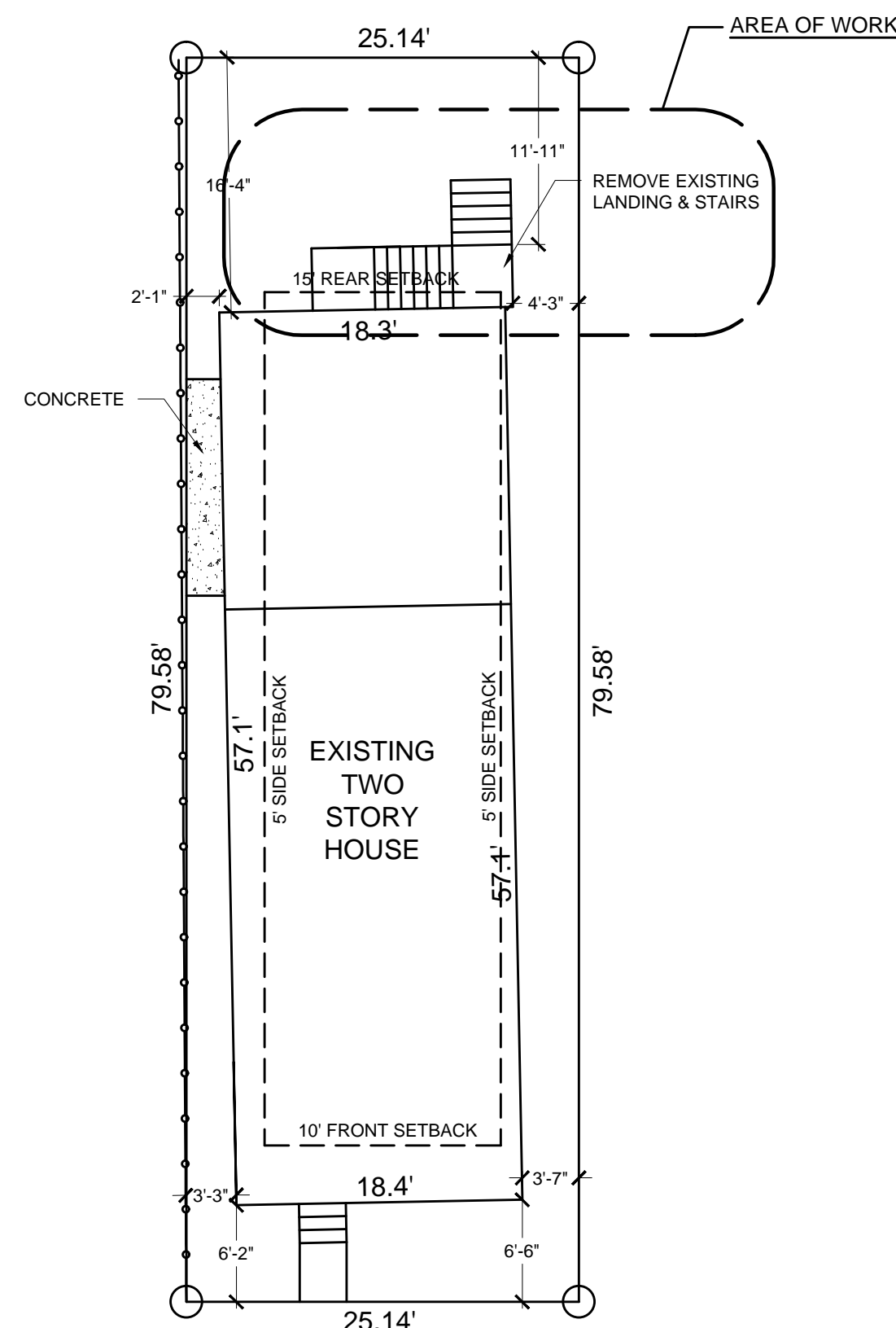


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LOCATION MAP

SITE DATA TABLE				
	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	HMDR	HMDR	HMDR	
LOT SIZE	2000 SF	2000 SF	2000 SF	
BUILDING AREA	1117 SF	800 SF	1213 SF	VARIANCE REQUIRED
BUILDING COVERAGE %	56%	40%	60%	VARIANCE REQUIRED
IMPERVIOUS COVERAGE	1100 SF	1200 SF	1100 SF	
IMPERVIOUS COVERAGE %	55%	60%	55%	
OPEN SPACE	834 SF	--	733 SF	
OPEN SPACE%	42%	--	37%	
BUILDING HEIGHT	16'-7"	30'-0"	16'-7"	
FRONT SETBACK	6'-2"	10'-0"	6'-2"	
LEFT SIDE SETBACK	2'-1"	5'-0"	2'-0"	VARIANCE REQUIRED
RIGHT SIDE SETBACK	3'-7"	5'-0"	3'-7"	
REAR SETBACK	11'-11"	15'-0"	6'-0"	VARIANCE REQUIRED

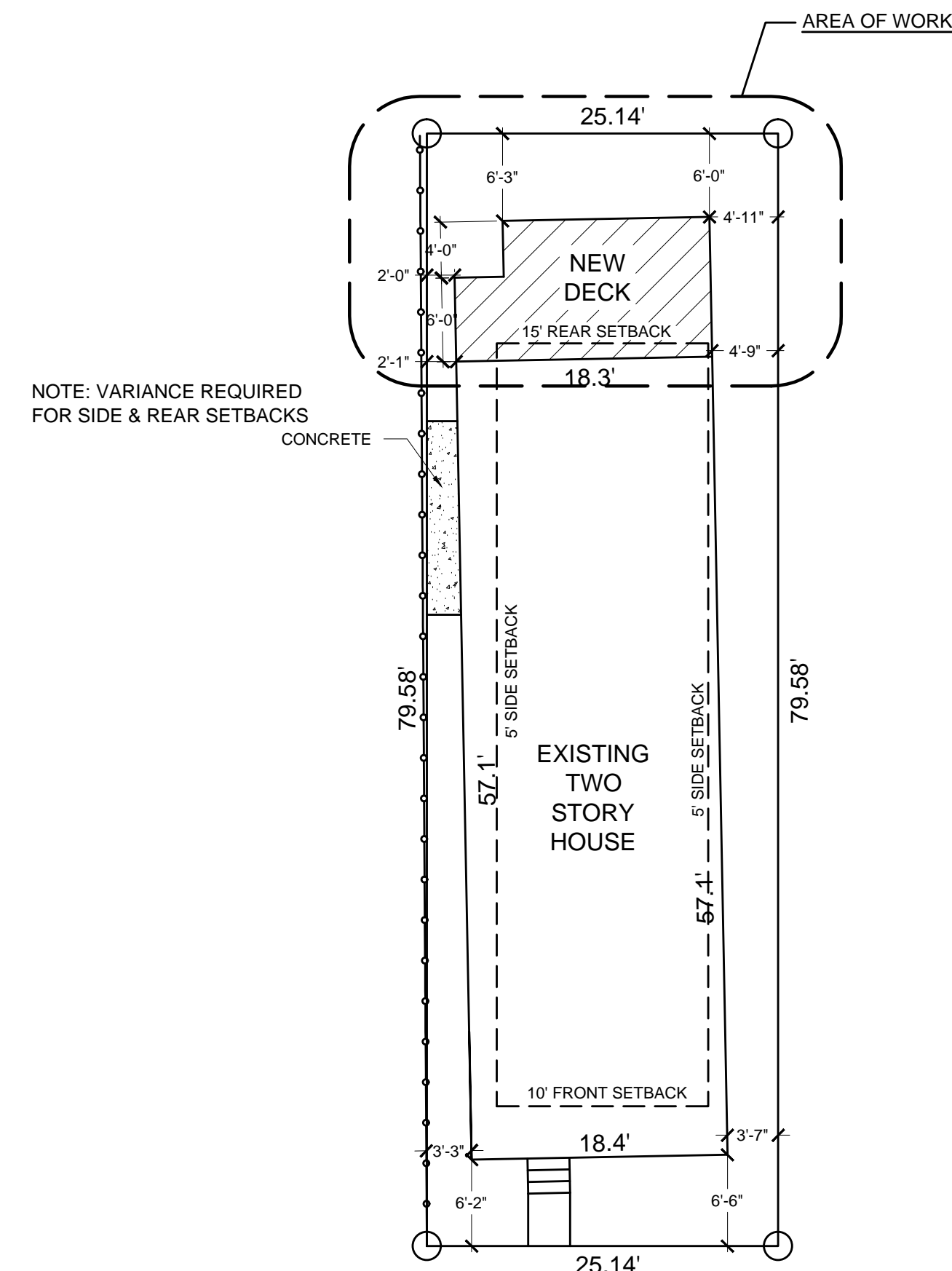


AMELIA STREET



EXISTING SITE PLAN

SCALE: 1"=10'-0"



AMELIA STREET



PROPOSED SITE PLAN

SCALE: 1"=10'-0"

Seatech Inc.
 830 CRANE BOULEVARD
 SUGARLOAF KEY, FLORIDA
 (305) 294-9993
 C.A. #28984

PAUL R. SEMMES
 P.E. #44137 DATE: _____

RUSSELL RESIDENCE
 313 AMELIA STREET
 KEY WEST, FLORIDA

REVISIONS

JOB:

START DATE: 06-30-10

ISSUE DATE: 01-28-11

DRAWN: EKM

T-1

WOOD AND FRAMING NOTES

- EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC 19%, NO. 2 DENSE, AS GRADED BY THE SOUTHERN PINE INSPECTION BUREAU.
- ALL TIMBER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION AITC.
- ALL WOOD SHALL BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM INSECTS AND DECAY. ALLOW TO DRY AFTER TREATMENT. PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARRIER SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM WINDOW FRAMES.
- ALL WOOD CONNECTIONS SHALL HAVE SIMPSON STRONG-TIE CO. OR EQUAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER RECOMMENDED FASTENERS BEFORE LOADING.
- CUTTING AND NOTCHING OF FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:
 - NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. (INCLUDING BIRDS MOUTH CUTS).
 - NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.
 - THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS OF FOUR INCHES OR GREATER NOMINAL THICKNESS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.
 - HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OF BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE MEMBER DEPTH.
- PROVIDE SECOND FLOOR JOIST MEMBER, SAME SIZE, UNDER ALL WALLS.
- HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD OF STUD.
- PROVIDE 1x4 PRESSURE TREATED FURRING AT 16" CC FOR ALL TRUSSES THAT WILL HAVE A FINISHED CEILING BELOW UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING BETWEEN ALL JOISTS 2 X 6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT ALL SUPPORTS.
- PROVIDE SOLID BLOCKING AT MID HEIGHT ON CENTER BETWEEN STUDS. (MINIMUM).
- ALL WALL STUDS SHALL BE SPF NO. 2 DENSE GRADE OR BETTER.
- SEE PLANS FOR WALL STUD SIZE AND SPACING.
- ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND CONTINUOUS BOTTOM PLATES WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.
- HEADER BEAMS OVER ALL FRAMED OPENINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE.
 - 2 X 6 FOR INTERIOR OPENINGS UP TO 4'-0", (3) 2 X 6 FOR EXTERIOR OPENINGS UP TO 4'-0"
 - 2 X 8 FOR INTERIOR OPENINGS UP TO 6'-0", (3) 2 X 8 FOR EXTERIOR OPENINGS UP TO 6'-0"
 - 2 X 10 FOR INTERIOR OPENINGS UP TO 8'-0", (3) 2 X 10 FOR EXTERIOR OPENINGS UP TO 8'-0"
 - 2 X 12 FOR INTERIOR OPENINGS UP TO 10'-0", (3) 2 X 12 FOR EXTERIOR OPENINGS UP TO 10'-0"
- EXTERIOR WALL STUDS SHALL BE STRAPPED TO ROOF TRUSSES OR RAFTERS WITH SIMPSON CONNECTORS OR EQUAL. PROVIDE 3 STUDS (MIN.) FOR GIRDER TRUSS AND BEAM BEARING POINTS.
- WHERE WOOD JOISTS/BEAMS ETC. FRAME INTO OTHER MEMBERS INSTALL SIMPSON "LUS" SERIES GALVANIZED JOIST HANGERS.
- FIRESTOPPING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO SEAL ALL CONCEALED DRAFT OPENINGS BOTH HORIZONTAL AND VERTICAL AND TO FORM A FIRE BARRIER BETWEEN FLOORS AND BETWEEN THE UPPER FLOOR AND THE ROOF SPACE.
- FIRESTOPPING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACE OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS.
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVER CEILINGS, ETC.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIRESTOPPING SHALL BE PROVIDED OF THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORTS.
- FIRESTOPPING SHALL CONSIST OF TWO (2) INCH NOMINAL LUMBER, OR TWO (2) THICKNESS OF ONE (1) INCH NOMINAL LUMBER WITH BROKEN LAP JOISTS, OR ONE (1) THICKNESS OF THREE-FOURTHS (3/4) INCH PLYWOOD WITH JOISTS BACKED BY THREE-FOURTHS (3/4) INCH PLYWOOD, OR OTHER APPROVED MATERIALS.
- SOLID DECKING SHALL BE TONGUE & GROOVE, SOUTHERN PINE, SELECT GRADE OF 3/4" X 6", NOMINAL SIZE AND PLACED IN A CONTINUOUS RANDOM LAY-UP. THE 3/4" X 6s SHALL BE TOE-NAILED THROUGH THE TONGUE AND FACE-NAILED WITH TWO NAILS PER SUPPORT USING 16D COMMON NAILS.
- PLYWOOD DECKING SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA). PLYWOOD SHEATHING SHALL BE APA STRUCTURAL I, IDENTIFIED WITH APA GRADE-TRADEMARK AND SHALL MEET THE REQUIREMENTS OF US PRODUCT STANDARD PSI OR APA PRP-108. ALL PLYWOOD WITH AN EDGE EXPOSED TO THE EXTERIOR SHALL BE EXTERIOR GRADE. FLOOR DECKING SHALL BE 3/4" MINIMUM AND GLUED AND FASTENED TO FLOOR FRAMING. ROOF DECKING SHALL BE 3/4" MINIMUM AND NAILED WITH 8D NAILS @ 6" IN THE FIELD AND 4" ALONG THE EDGES.
- FINISH CARPENTRY SHALL INCLUDE TRIM, FRAMES, PANELING AND CABINETRY. PROFILES AND PLASTIC LAMINATE ARE TO BE AS SELECTED BY THE OWNER OR NOTED ON THE DRAWINGS. CABINETS SHALL BE CUSTOM OR PREMIUM GRADES AS NOTED OR DETERMINED BY THE OWNER. PARTICLE OR PRESS BOARD SHALL NOT BE USED. SELECT GRADE SOUTHERN YELLOW PINE SHALL BE USED AS A QUALITY STANDARD FOR TRIM, FRAMES AND BASE UNLESS OTHERWISE NOTED. ALL WORK SHALL BE PERFORMED BY SKILLED FINISH CARPENTERS.
- WOOD SHELVING SHALL BE 3/4" PLYWOOD WITH EDGE BANDING AND PAINTED.

DEMOLITION NOTES

- PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE, AND ALSO AFTER AWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
- ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENT, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
- PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT.
- PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION. BRACING & SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED AND/OR APPROVED BY A PROFESSIONAL ENGINEER.
- DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ONSITE WHEN SPECIFICALLY APPROVED BY THE ENGINEER.



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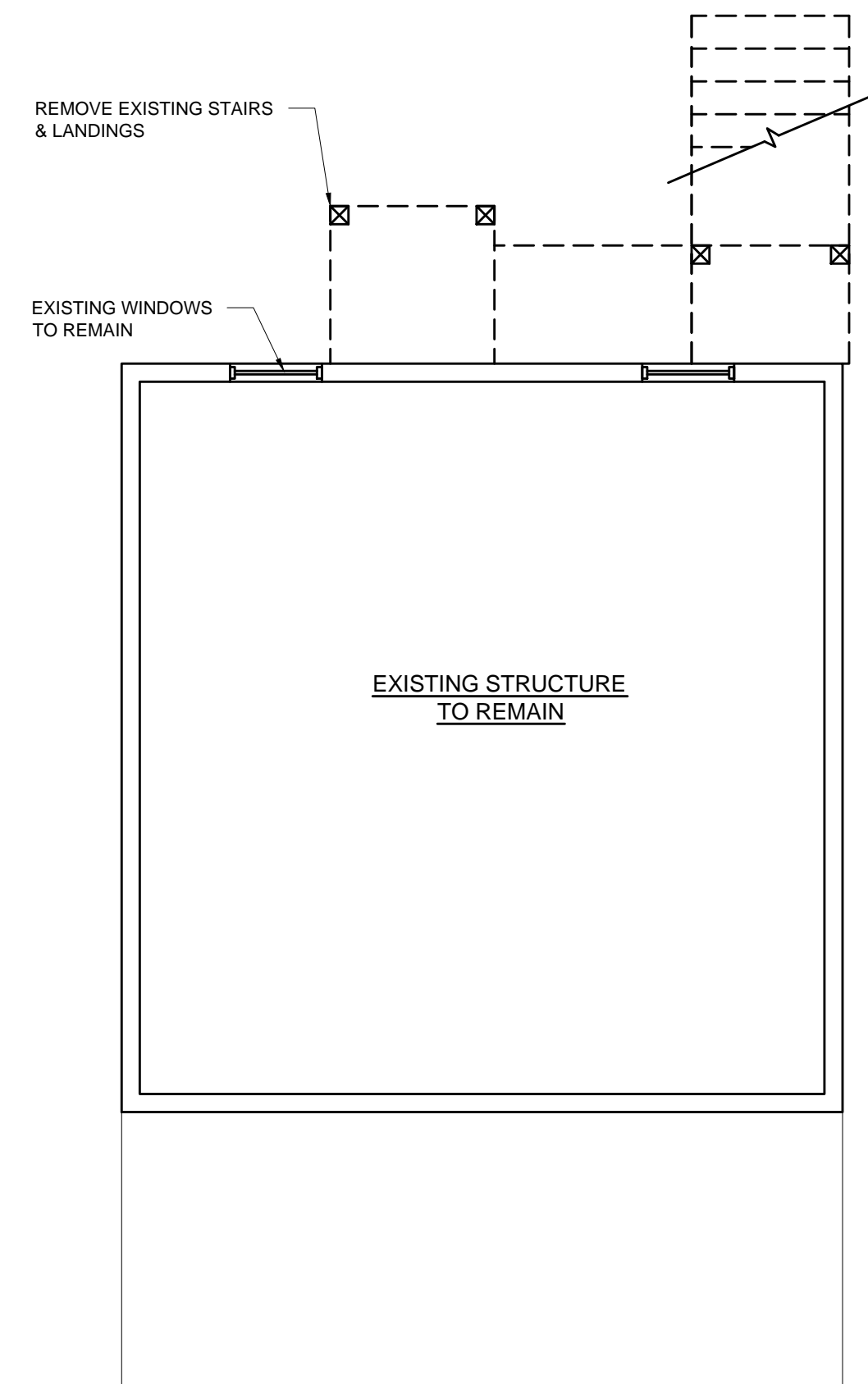
SeaTech Inc.

830 CRANE BOULEVARD
SUGARLOAF KEY, FLORIDA
(305) 294-9993
C.A. #28984

PAUL R. SEMMES
P.E.#41137 DATE: _____

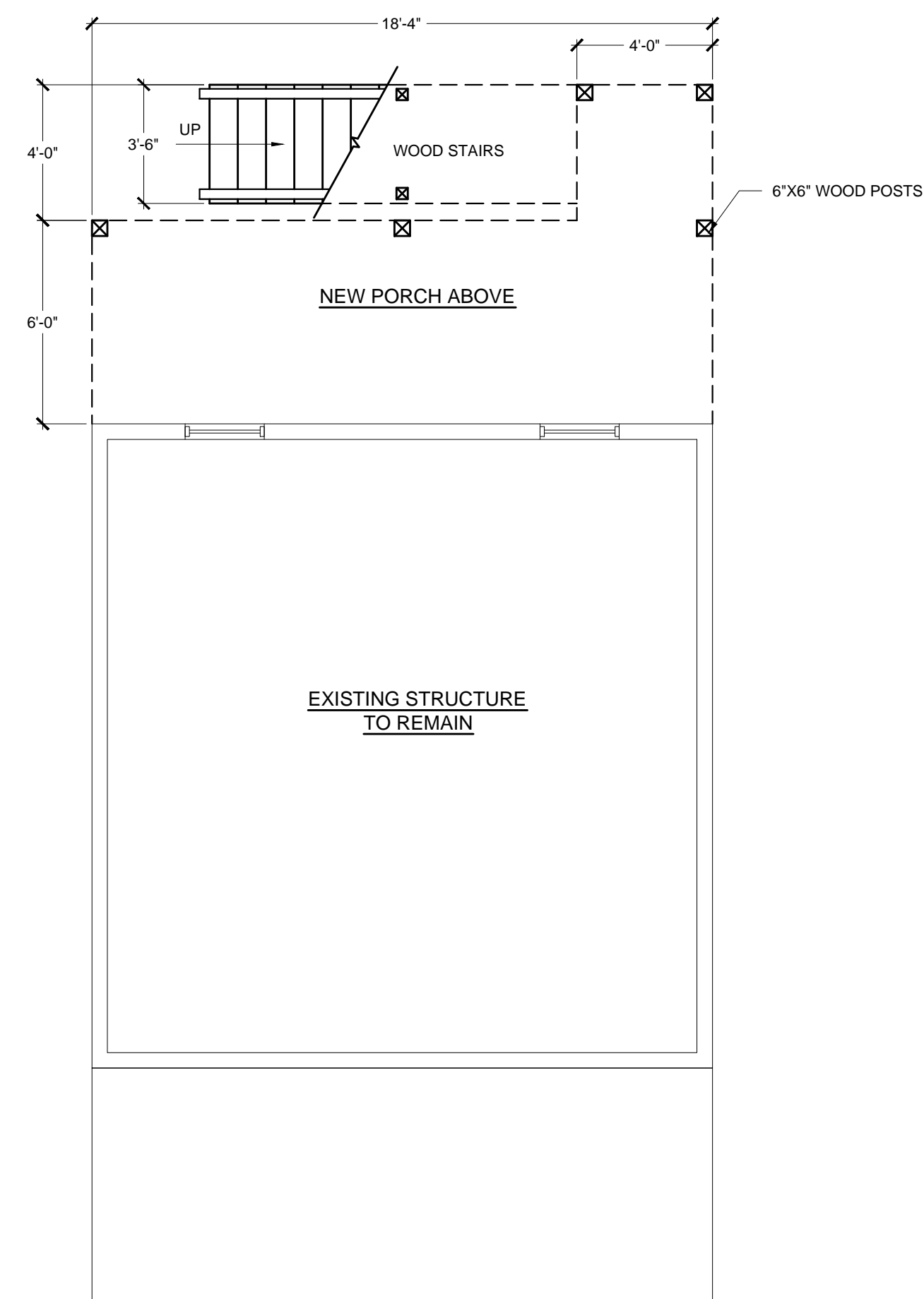
RUSSELL RESIDENCE

313 AMELIA STREET
KEY WEST, FLORIDA



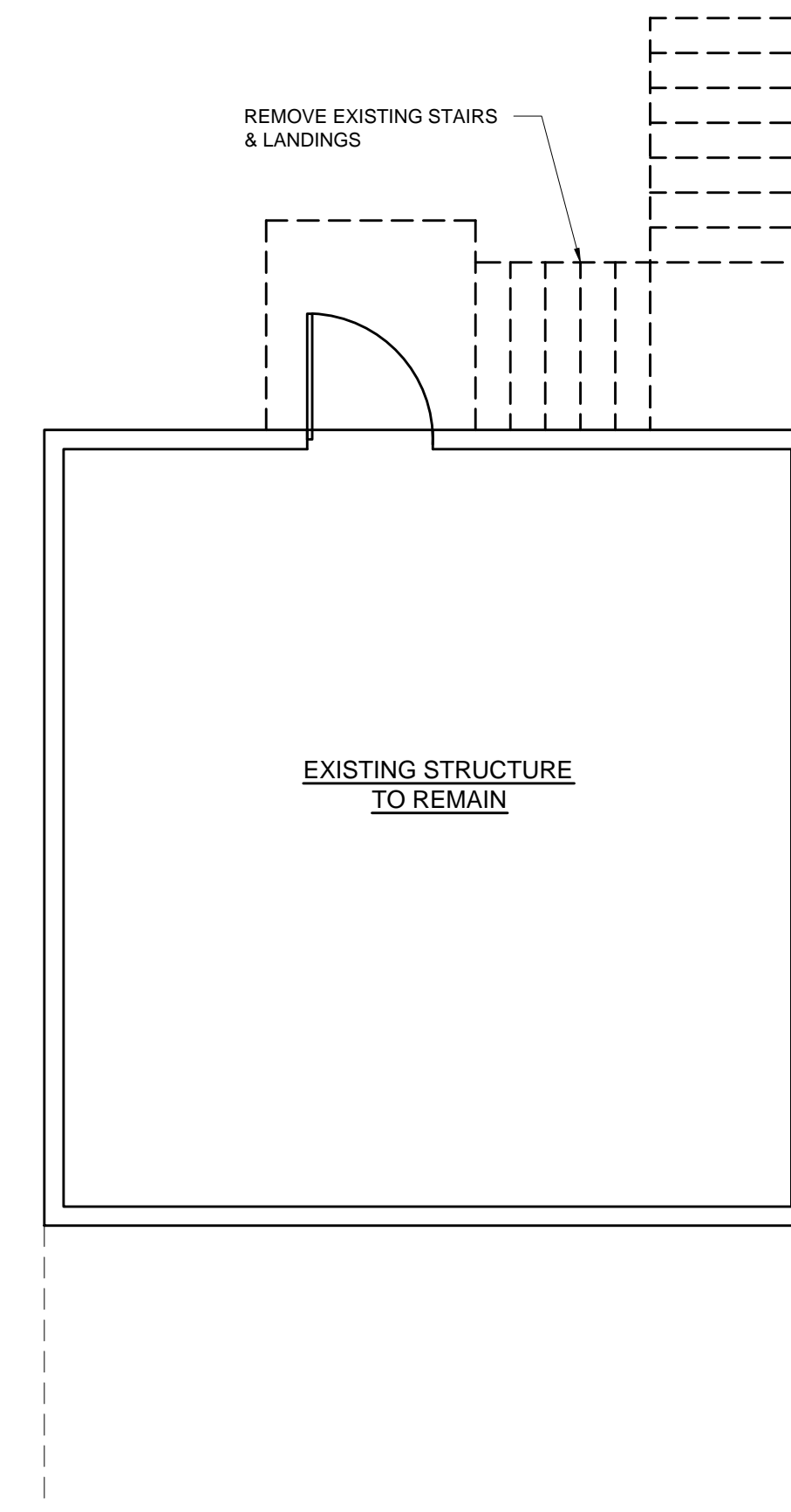
EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



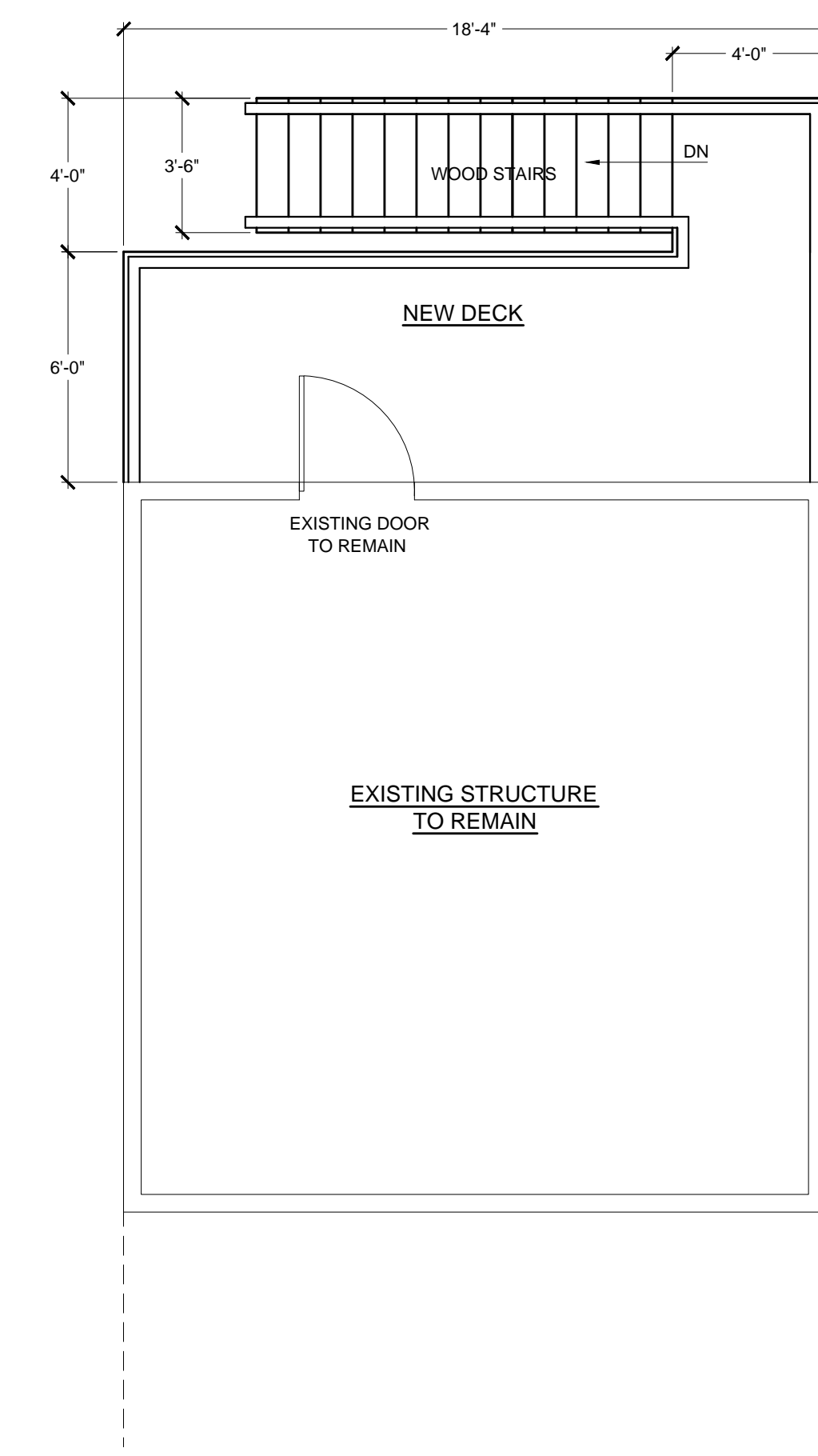
PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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DRAWN: EKM

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PAUL R. SEMMES
P.E.#44137 DATE:



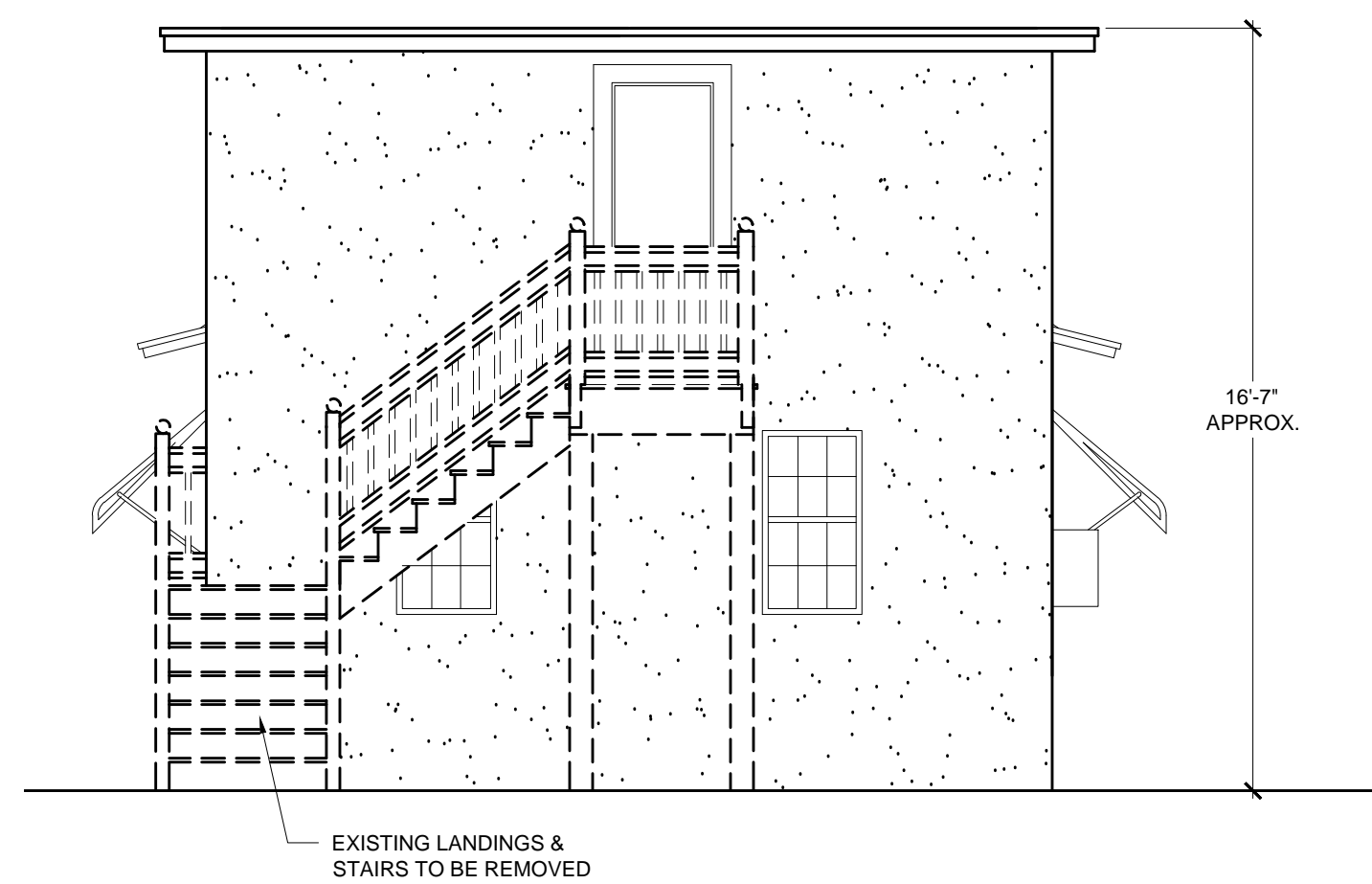
EXISTING NORTHWEST ELEVATION

SCALE:1/4"=1'-0"



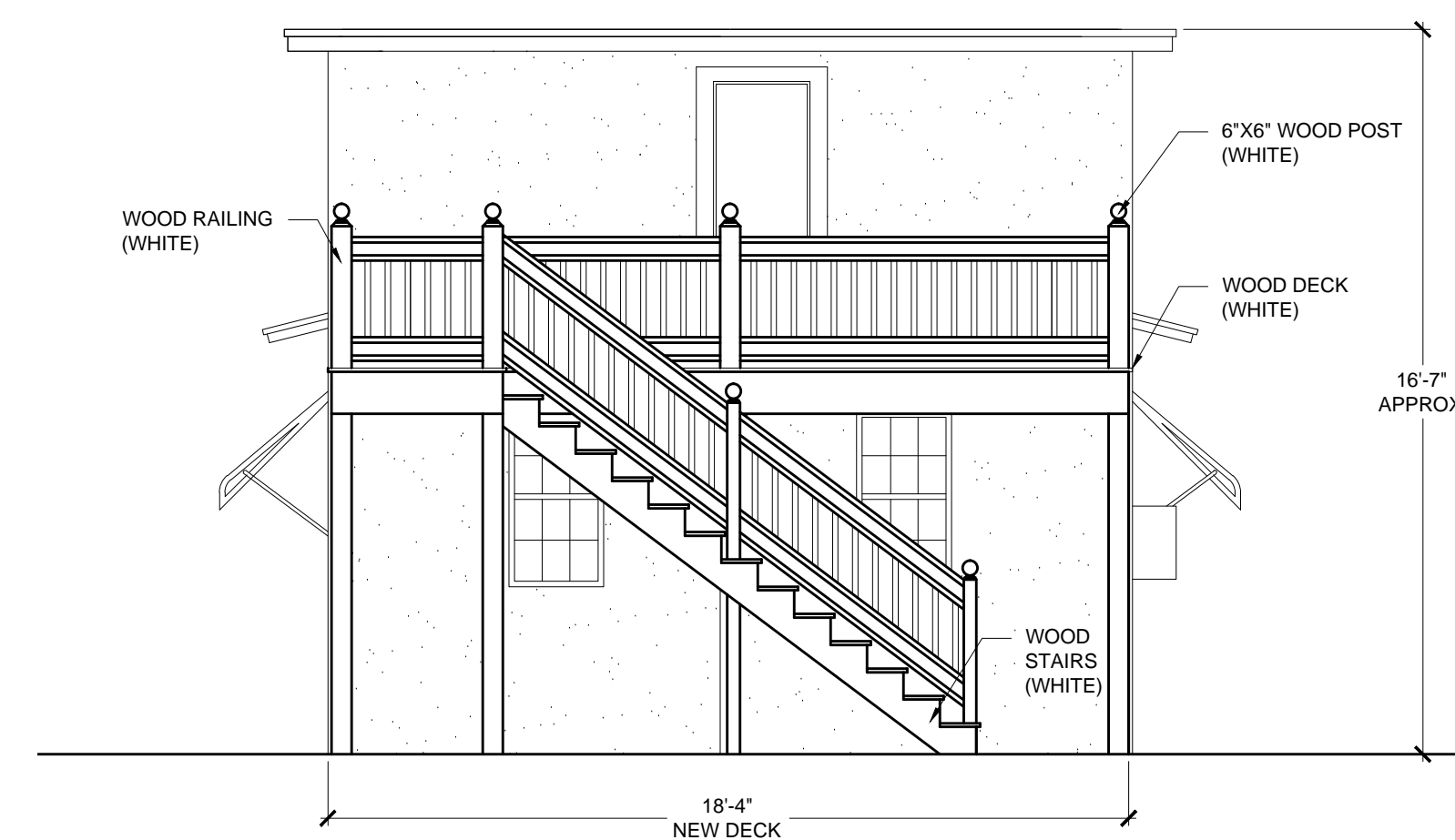
PROPOSED NORTHWEST ELEVATION

SCALE:1/4"=1'-0"



EXISTING SOUTHEAST ELEVATION

SCALE:1/4"=1'-0"



PROPOSED SOUTHEAST ELEVATION

SCALE:1/4"=1'-0"

RUSSELL RESIDENCE

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PAUL R. SEMMES
 P.E.#44137 DATE: _____

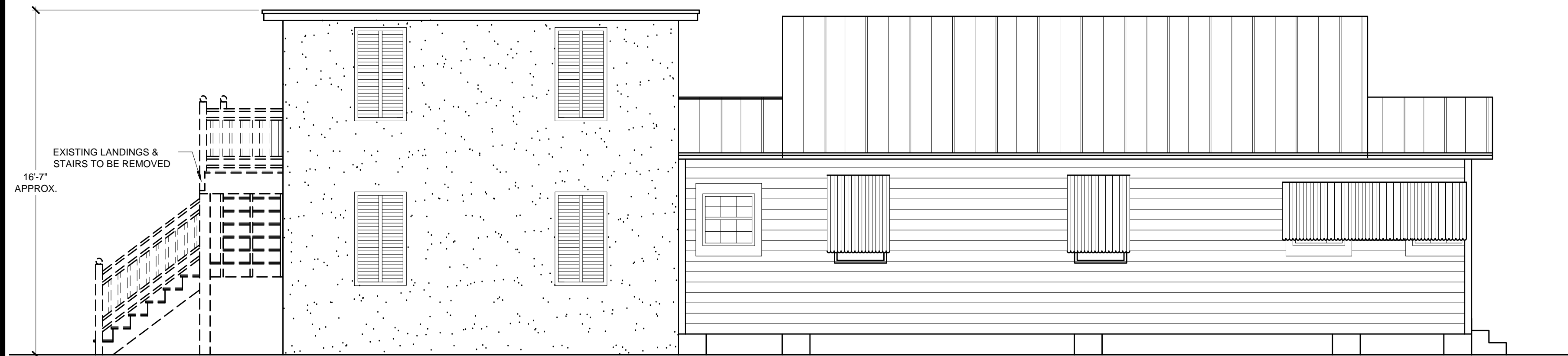
RUSSELL RESIDENCE

313 AMELIA STREET
 KEY WEST, FLORIDA

REVISIONS

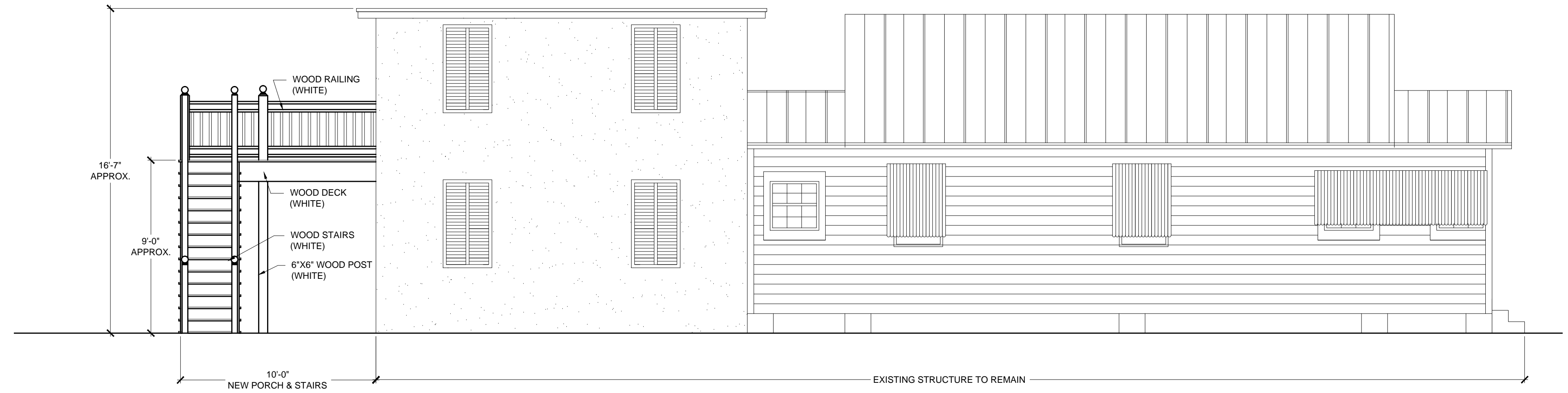
JOB:
 START DATE: 06-30-10
 ISSUE DATE: 01-28-11
 DRAWN: EKM

A-3



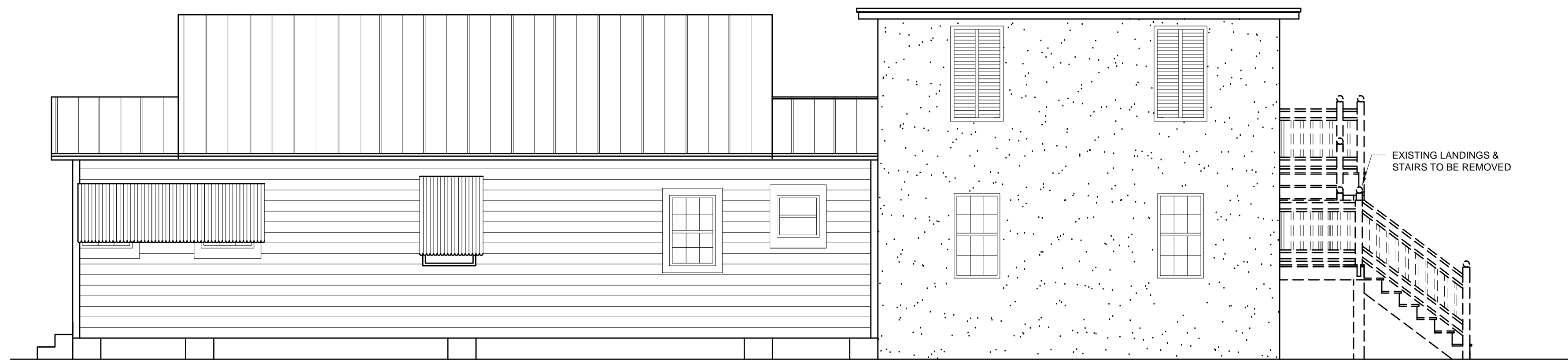
EXISTING SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



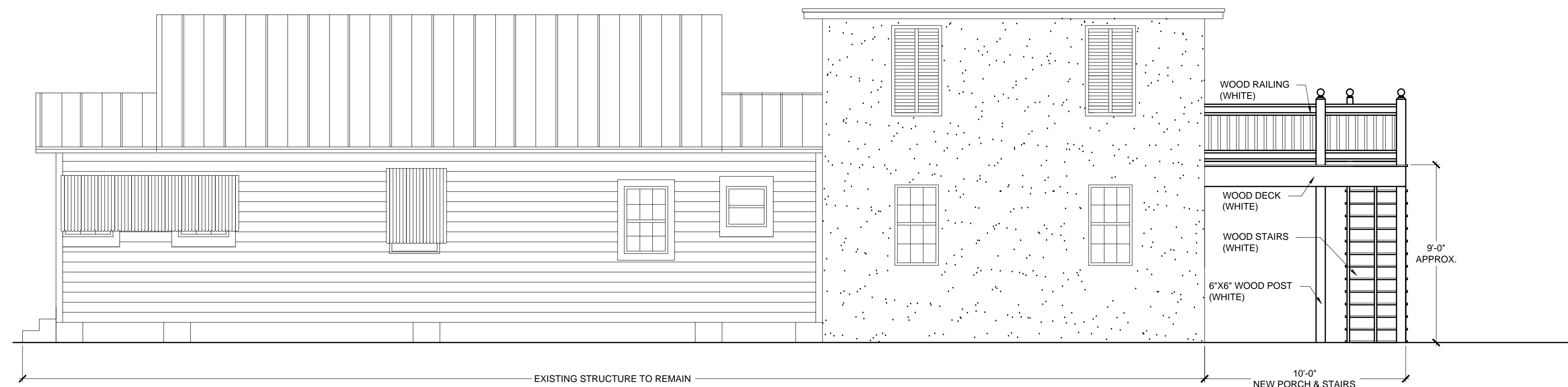
PROPOSED SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

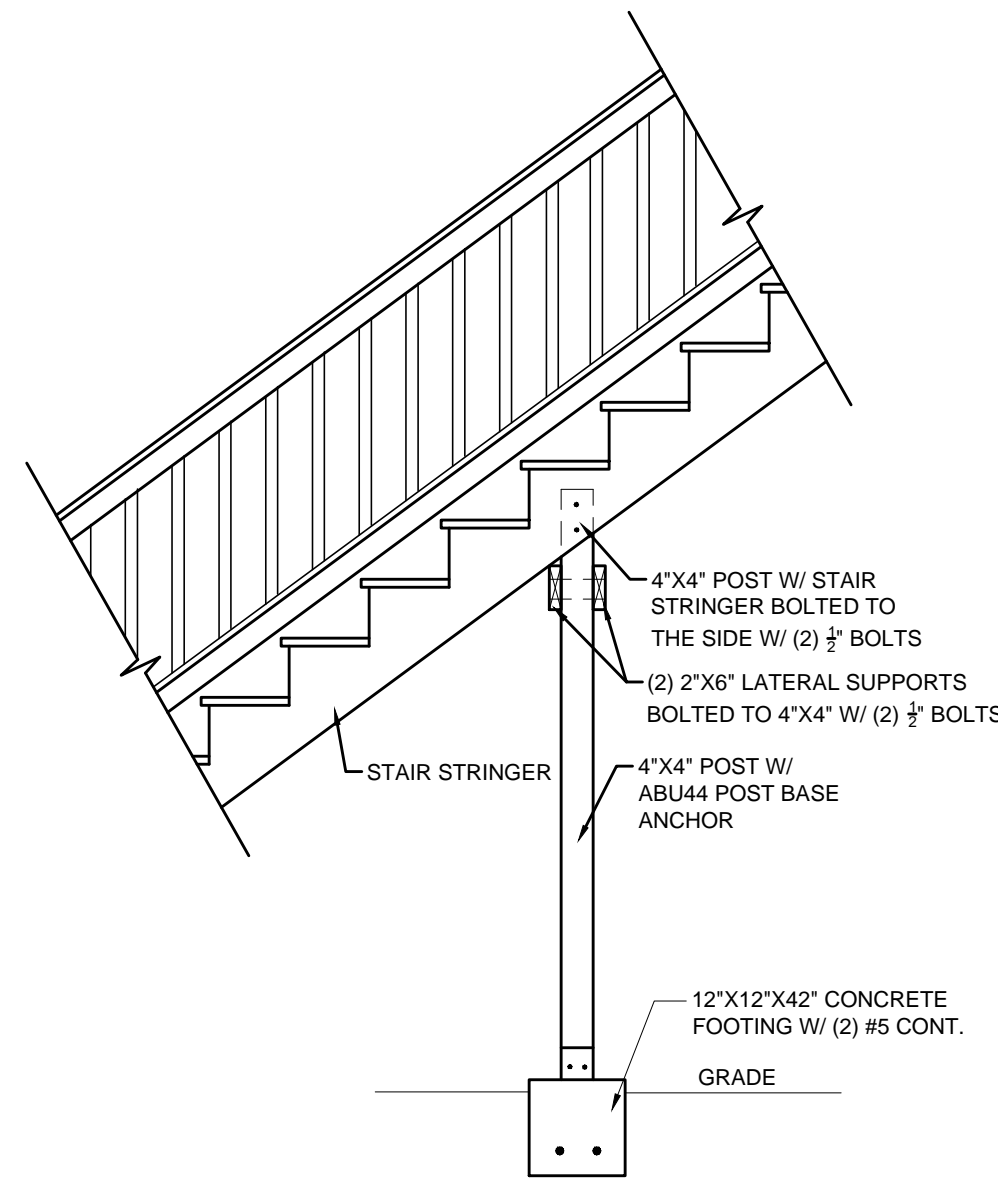


PROPOSED NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

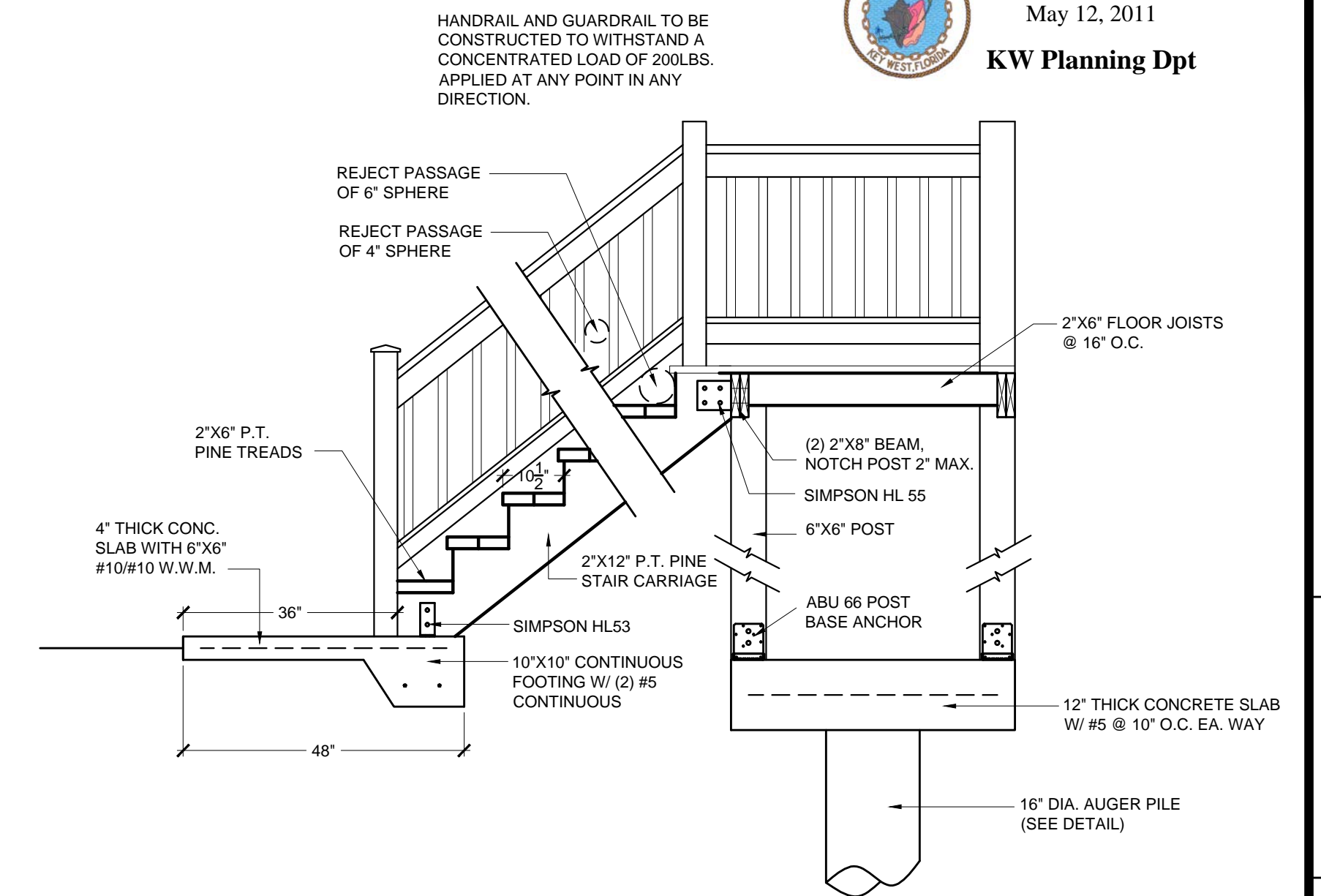
FOUNDATION & CONCRETE NOTES

1. ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
2. AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK SHALL BE NO LESS THAN 16" DIAMETER NOR LESS THAN 3' INTO ROCK WITH (4) 2"x4" #4 BENT BARS WITH SHORT LEG TIED TO #6S AND LONG LEG EXTENDED INTO SLAB IN FOUR DIRECTIONS UNLESS OTHERWISE NOTED. CONCRETE SHALL NOT BE MIXED IN PLACE IN A WET AUGER HOLE.
3. CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR GRID LINES UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL FURNISH FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND SLABS PRIOR TO PLACING CONCRETE. A MINIMUM OF 3 REPRESENTATIVE TESTS SHALL BE TAKEN FOR EACH FOOTING AND SLAB FOUR.
5. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
6. SLABS, TOPPING, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULKHEADS AND SHEAR KEYS UNLESS OTHERWISE NOTED. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR OTHERWISE APPROVED BY THE ENGINEER.
7. ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
8. CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
9. MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 308R. HOT WEATHER CONCRETING, NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND TO SEAL IN MOISTURE AFTER THE FINISH HAS SET, OR THE CONCRETE COVERED AND SPRAYED.
10. PROVIDE PLASTIC SLEEVES IN MASONRY PARTITIONS AND CONCRETE FOUNDATIONS AS INDICATED AND REQUIRED FOR UTILITY SERVICES. NO OTHER PIPE, CONDUIT OR ACCESSORY SHALL BE PLACED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
11. PROVIDE MASONRY FILLED CELL OR CONCRETE COLUMN WITH (1) #6 REBAR FROM BEAM TO BEAM ON BOTH SIDES OF ALL EXTERIOR OPENINGS.
12. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
13. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES AND WIRED TOGETHER.
14. REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
15. LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
16. PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES TO BE GALVANIZED.
17. ALL UNIT MASONRY CONSTRUCTION AND DETAILS SHALL BE IN ACCORDANCE WITH ACI 530.
18. CONCRETE BLOCK SHALL CONFORM WITH ASTM C90. MORTAR SHALL BE TYPE S, ASTM C270.
19. ANCHOR BOLTS, NUTS AND WASHERS SHALL BE MINIMUM 3/4" GALVANIZED STEEL AND EMBEDDED MINIMUM 7" INTO CONCRETE AND SPACED MAXIMUM 4" CC.
20. MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS BE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.



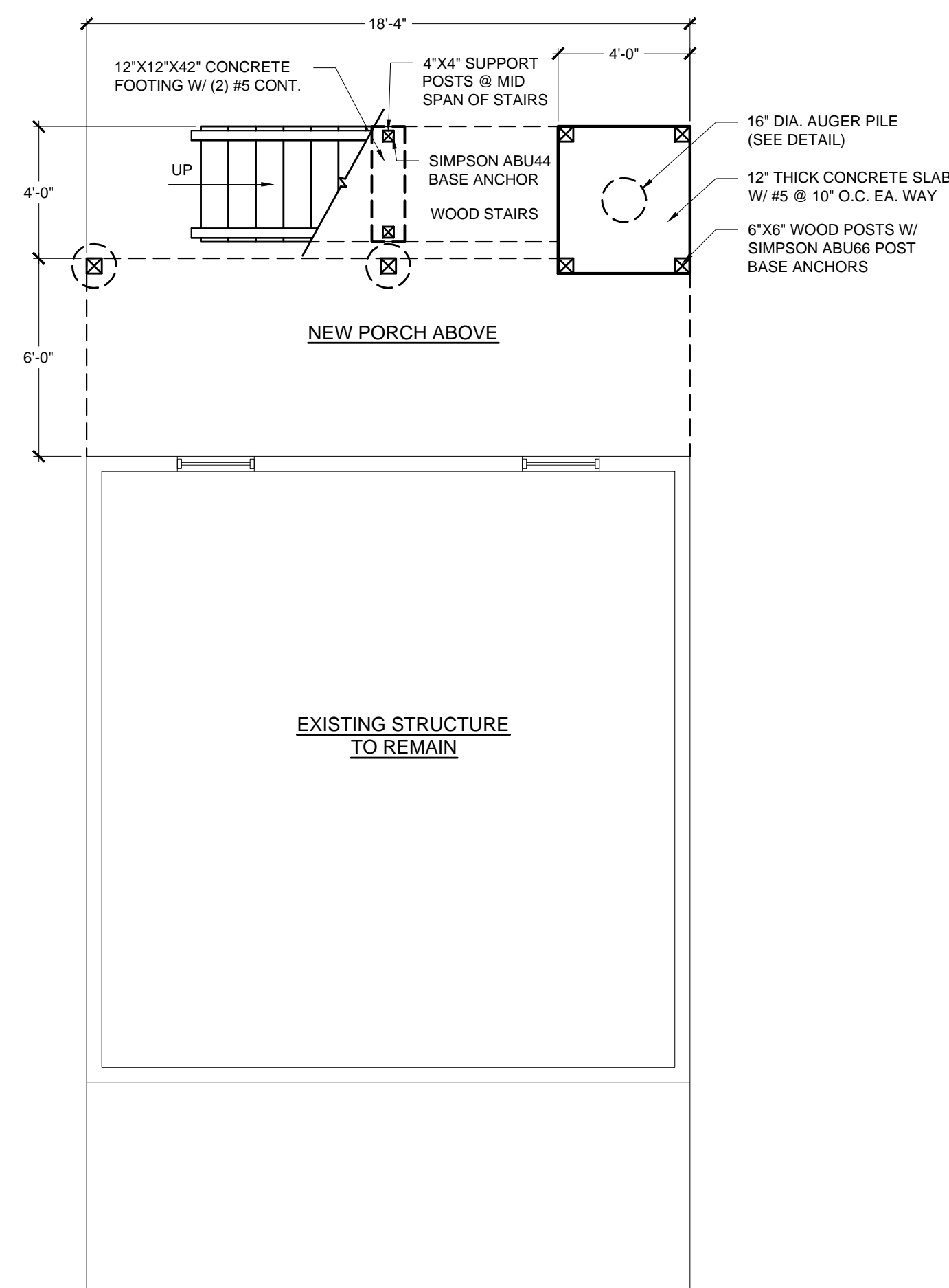
MID SPAN STAIR SUPPORT DETAIL

SCALE: 1/2"=1'-0"



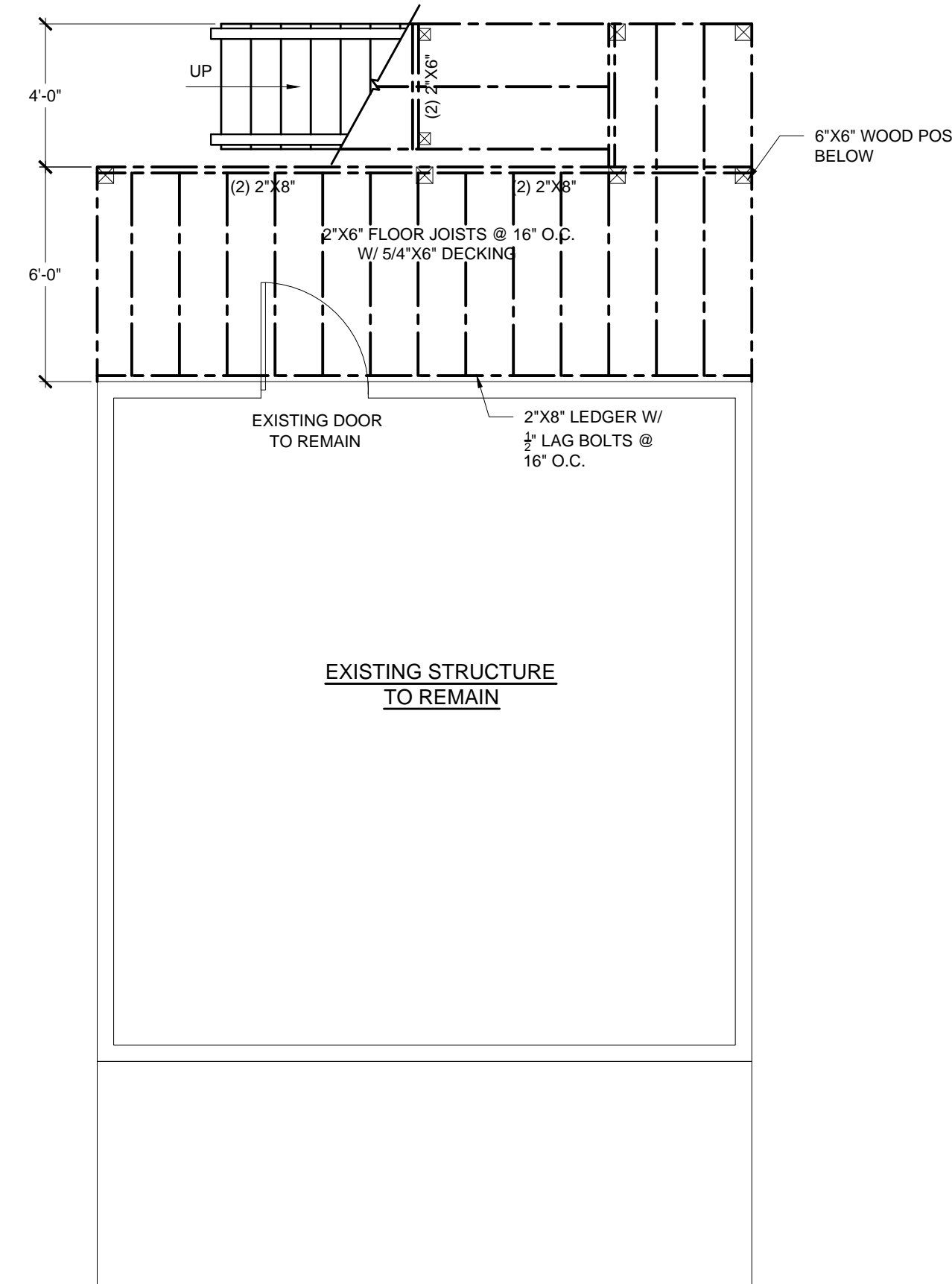
STAIR DETAIL

SCALE: 1/2"=1'-0"



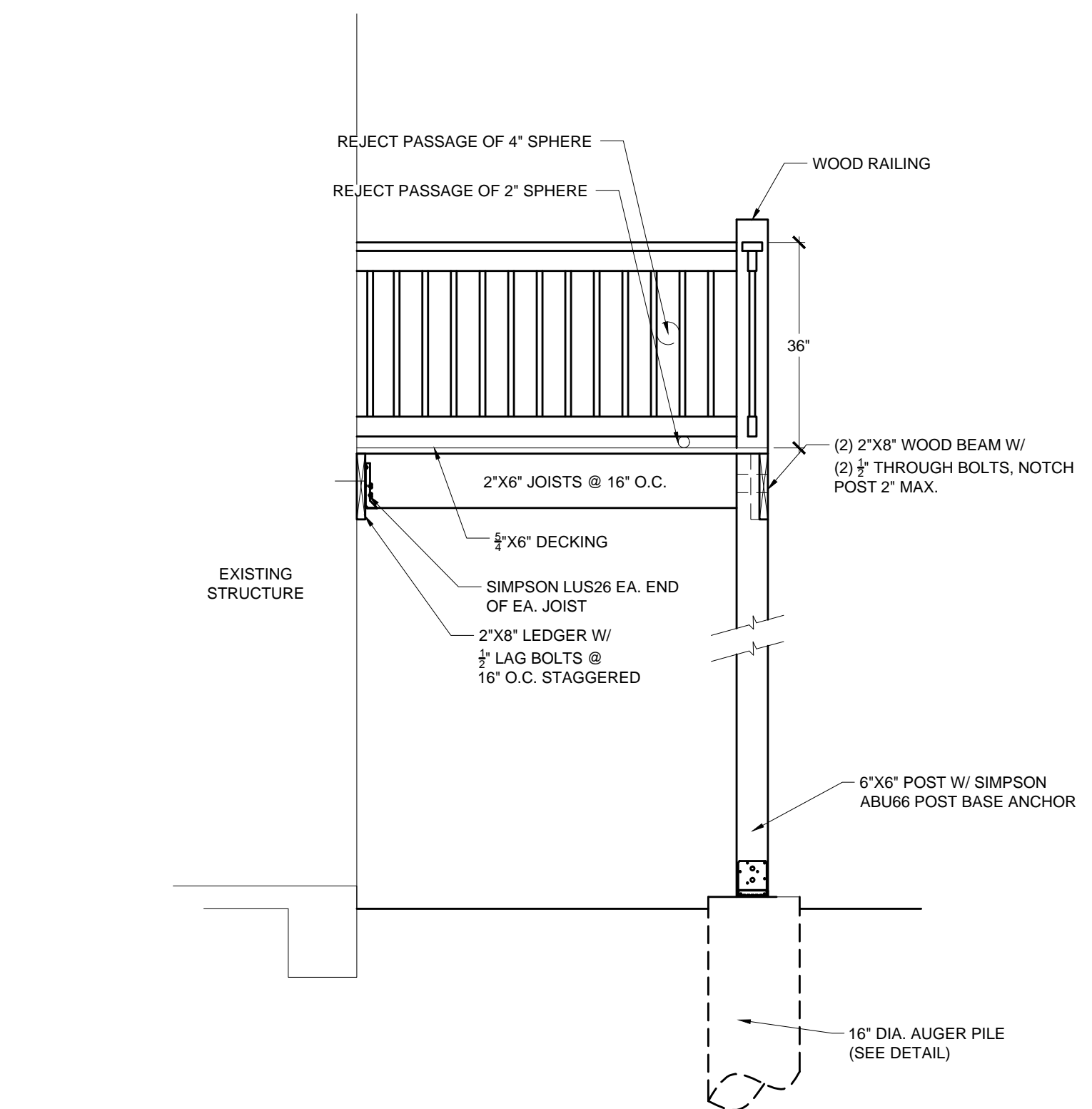
FOUNDATION PLAN

SCALE: 1/4"=1'-0"



DECK FRAMING PLAN

SCALE: 1/4"=1'-0"



SECTION A

SCALE: 1/2"=1'-0"

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Seatech Inc.

830 CRANE BOULEVARD
SUGARLOAF KEY, FLORIDA
(305) 294-9993
C.A. #28984

PAUL R. SEMMES
P.E.#44137 DATE:

RUSSELL RESIDENCE

313 AMELIA STREET
KEY WEST, FLORIDA

REVISIONS

JOB:
START DATE: 06-30-10
ISSUE DATE: 01-28-11
DRAWN: EKM

S-1

SeaTech inc.
 830 CRANE BOULEVARD SUGARLOAF KEY, FLORIDA 33042
 TEL: (305) 294-9993 FAX: (850)939-3953
 C.A.#28984

SHEET: 1 OF 11
 DATE: 12-30-10
 BY: EKM
 JOB # _____



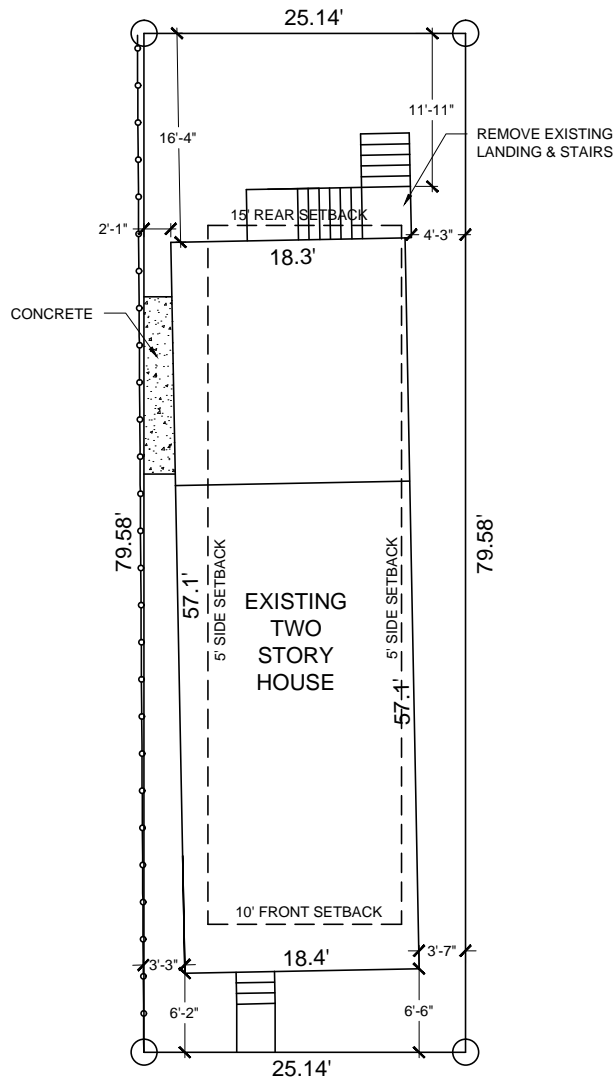
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NEW REAR DECK

313 AMELIA STREET, KEY WEST, FLORIDA



AMELIA STREET



EXISTING SITE PLAN

PAUL R. SEMMES, P.E.

SCALE: 1"=15'-0"

#44137 DATE: _____

SeaTech inc.
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SHEET: 2 OF 11
 DATE: 12-30-10
 BY: EKM
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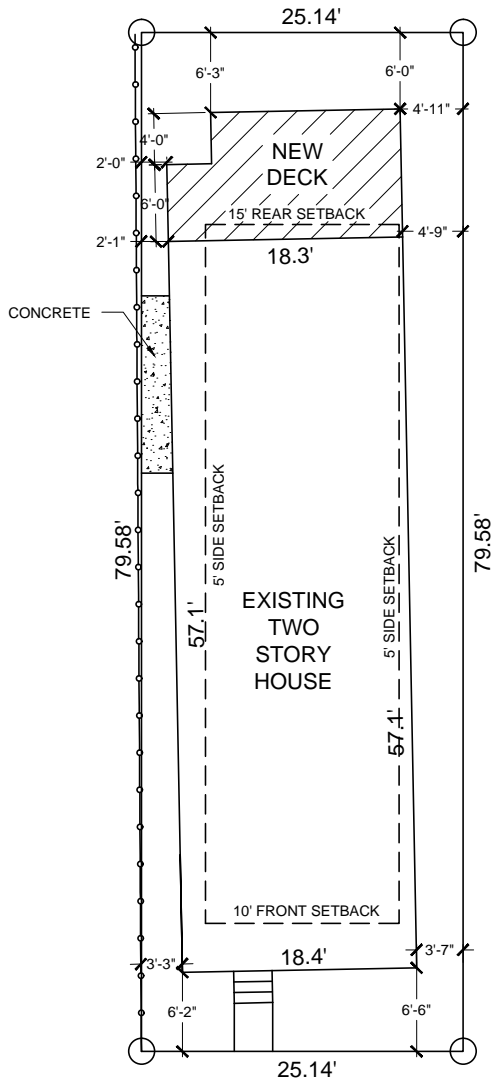


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REAR DECK

313 AMELIA STREET, KEY WEST, FLORIDA

H.A.R.C. APPROVAL #H10-01-796



AMELIA STREET



PROPOSED SITE PLAN

PAUL R. SEMMES, P.E.

SCALE: 1"=15'-0"

#44137 DATE: _____



SHEET: 3 OF 11
 DATE: 12-30-10
 BY: EKM
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NEW DECK

313 AMELIA STREET, KEY WEST, FLORIDA

SITE DATA TABLE				
	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	HMDR	HMDR	HMDR	
LOT SIZE	2000 SF	2000 SF	2000 SF	
BUILDING AREA	1117 SF	800 SF	1213 SF	VARIANCE REQUIRED
BUILDING COVERAGE %	56%	40%	60%	VARIANCE REQUIRED
IMPERVIOUS COVERAGE	1100 SF	1200 SF	1100 SF	
IMPERVIOUS COVERAGE %	55%	60%	55%	
OPEN SPACE	834 SF	--	733 SF	
OPEN SPACE%	42%	--	37%	
BUILDING HEIGHT	16'-7"	30'-0"	16'-7"	
FRONT SETBACK	6'-2"	10'-0"	6'-2"	
LEFT SIDE SETBACK	2'-1"	5'-0"	2'-0"	VARIANCE REQUIRED
RIGHT SIDE SETBACK	3'-7"	5'-0"	3'-7"	
REAR SETBACK	11'-11"	15'-0"	6'-0"	VARIANCE REQUIRED

PAUL R. SEMMES, P.E.
 #44137 DATE: _____

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 C.A.#28984

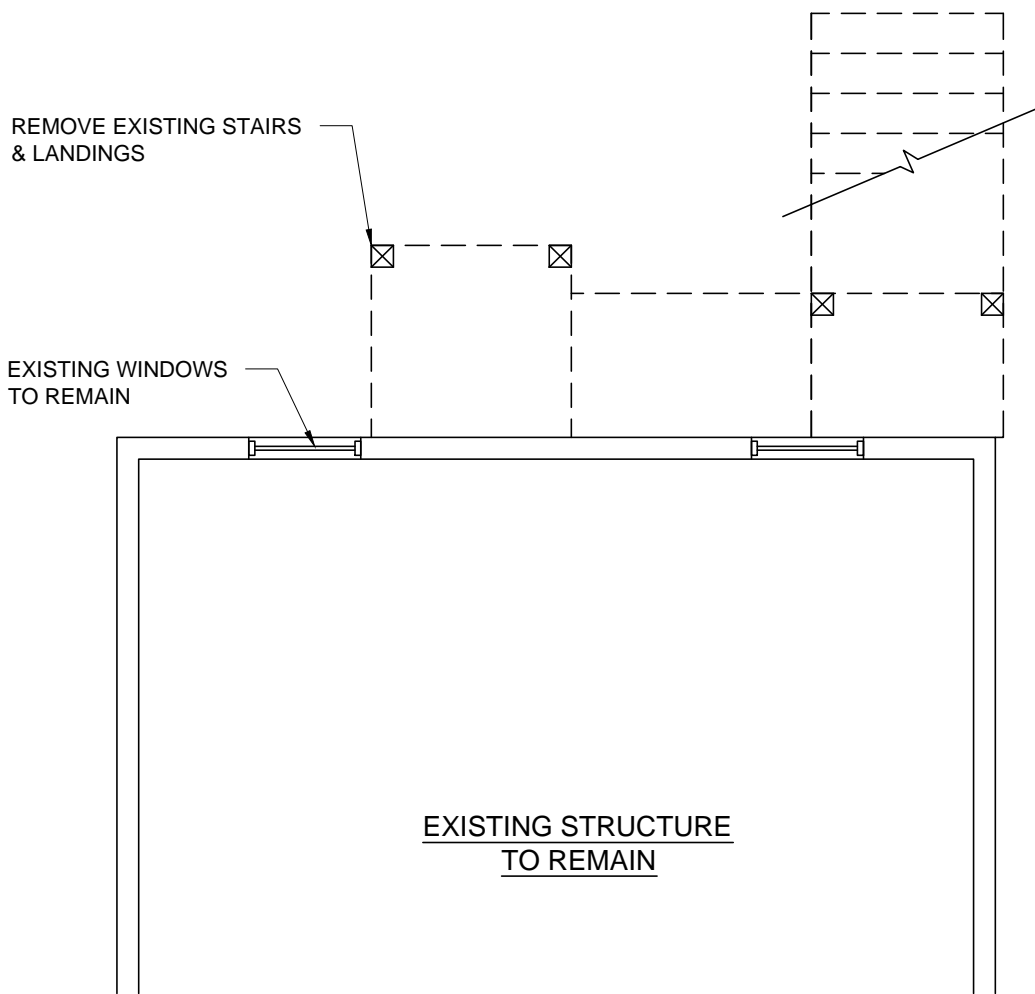
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 DATE: 12-30-10
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NEW DECK

313 AMELIA STREET, KEY WEST, FLORIDA



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PAUL R. SEMMES, P.E.
 #44137 DATE: _____

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 C.A.#28984

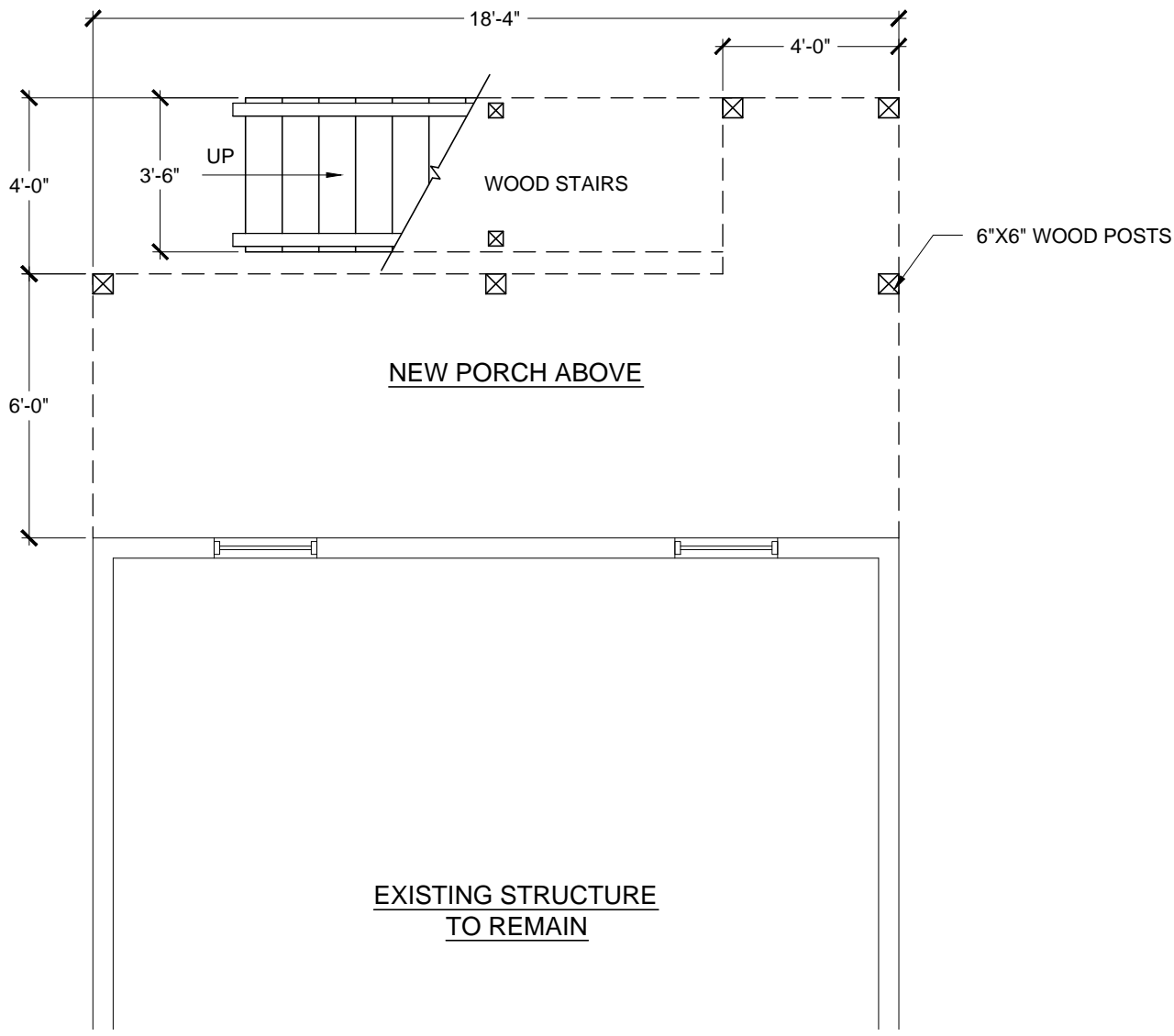
SHEET: 5 OF 11
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NEW DECK

313 AMELIA STREET, KEY WEST, FLORIDA



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PAUL R. SEMMES, P.E.
 #44137 DATE: _____

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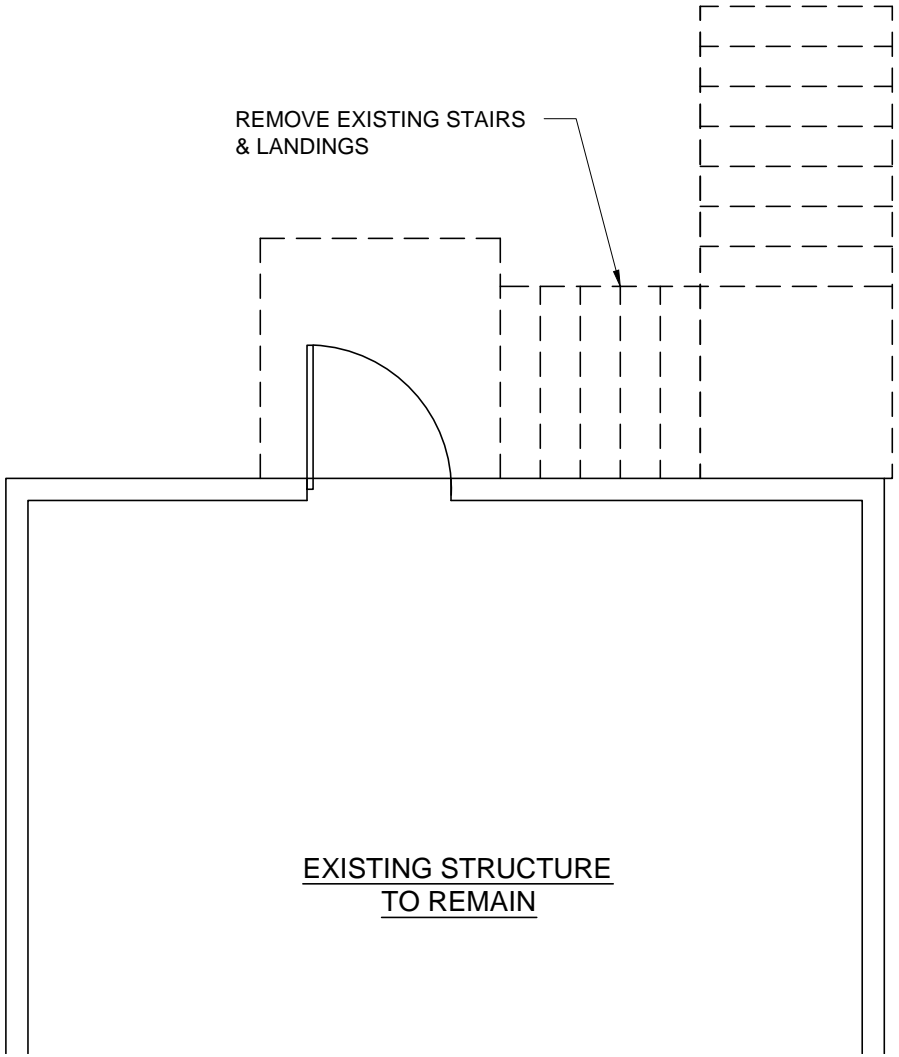
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 DATE: 12-30-10
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NEW DECK

313 AMELIA STREET, KEY WEST, FLORIDA



EXISTING STRUCTURE
 TO REMAIN

EXISTING SECOND FLOOR PLAN

SCALE:1/4"=1'-0"

PAUL R. SEMMES, P.E.
 #44137 DATE: _____

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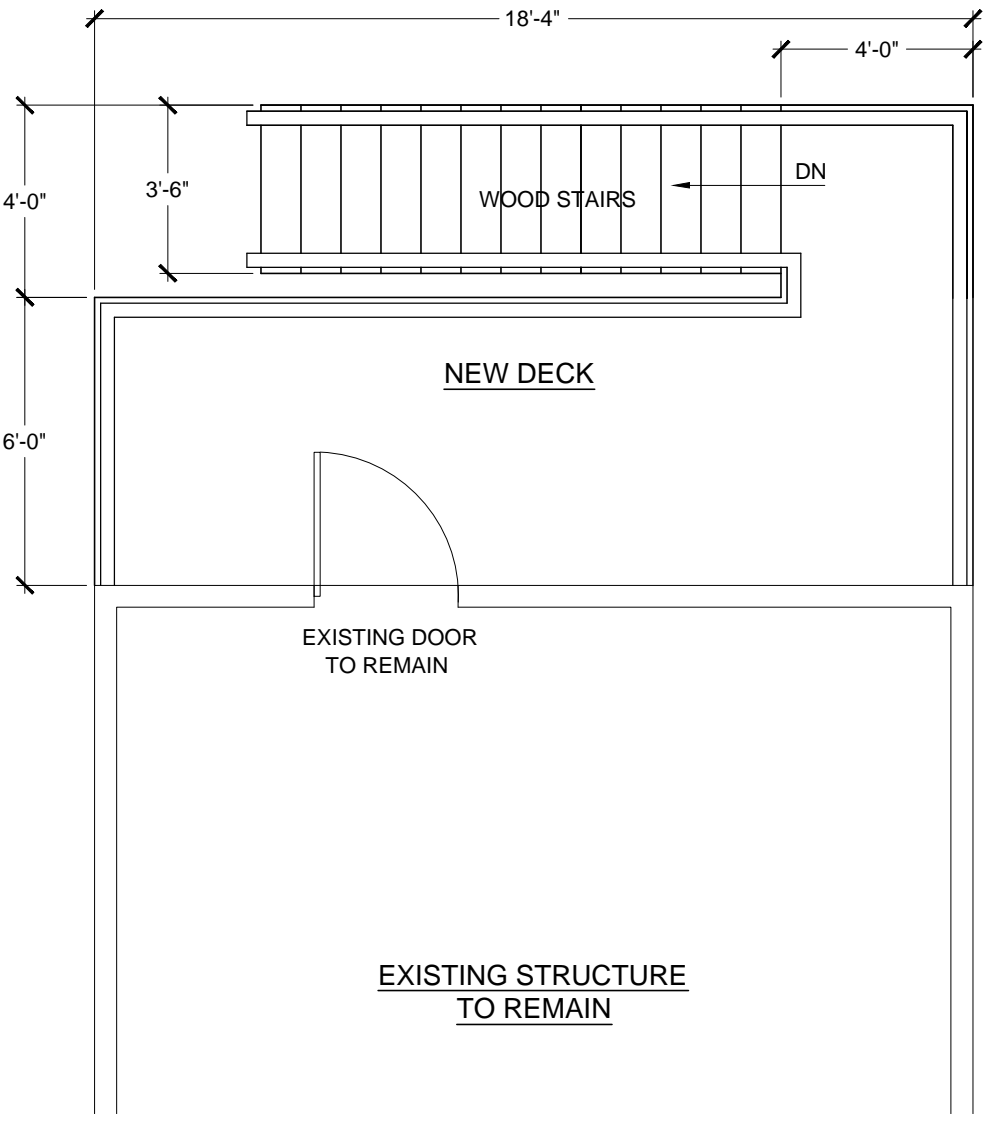
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 DATE: 12-30-10
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313 AMELIA STREET, KEY WEST, FLORIDA



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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NEW DECK

313 AMELIA STREET, KEY WEST, FLORIDA



EXISTING NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"

PAUL R. SEMMES, P.E.
 #44137 DATE: _____

SeaTech inc.
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 TEL: (305) 294-9993 FAX: (850)939-3953
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SHEET: 9 OF 11
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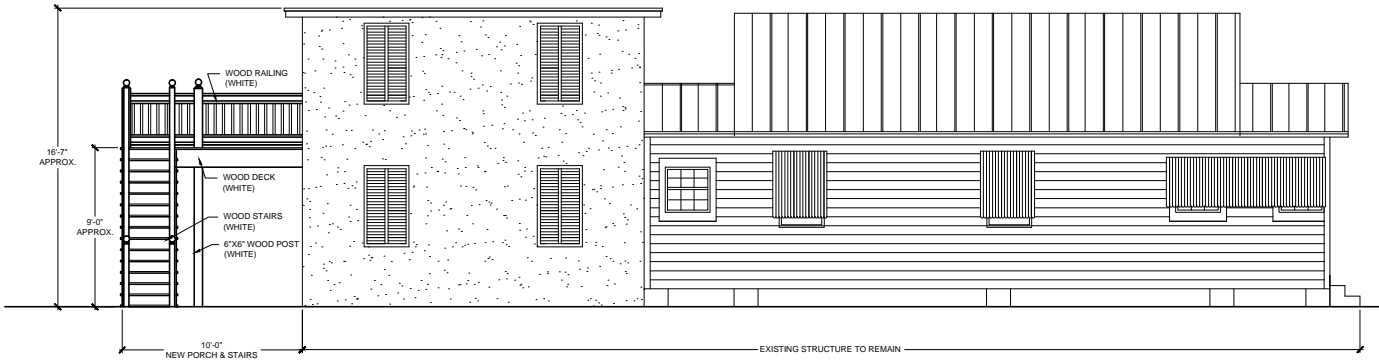
NEW DECK

313 AMELIA STREET, KEY WEST, FLORIDA



EXISTING SOUTHWEST ELEVATION

SCALE:3/32"=1'-0"



PROPOSED SOUTHWEST ELEVATION

SCALE:3/32"=1'-0"

PAUL R. SEMMES, P.E.
 #44137 DATE: _____

SeaTech inc.
 830 CRANE BOULEVARD SUGARLOAF KEY, FLORIDA 33042
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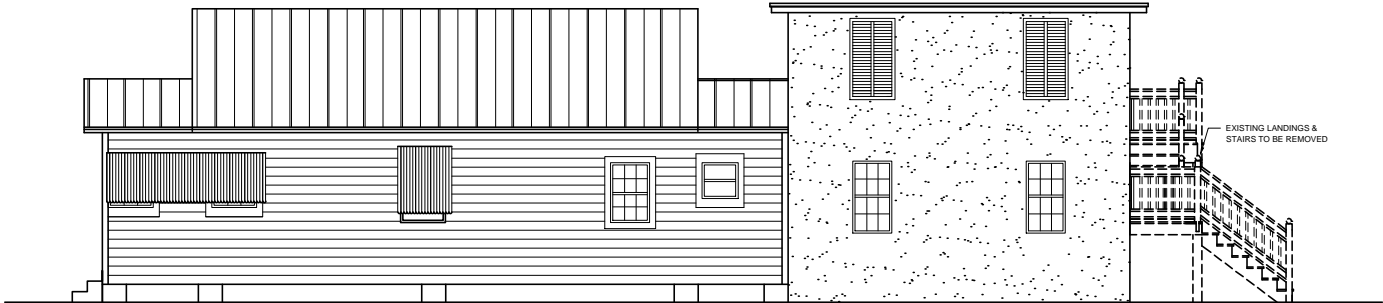
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 DATE: 12-30-10
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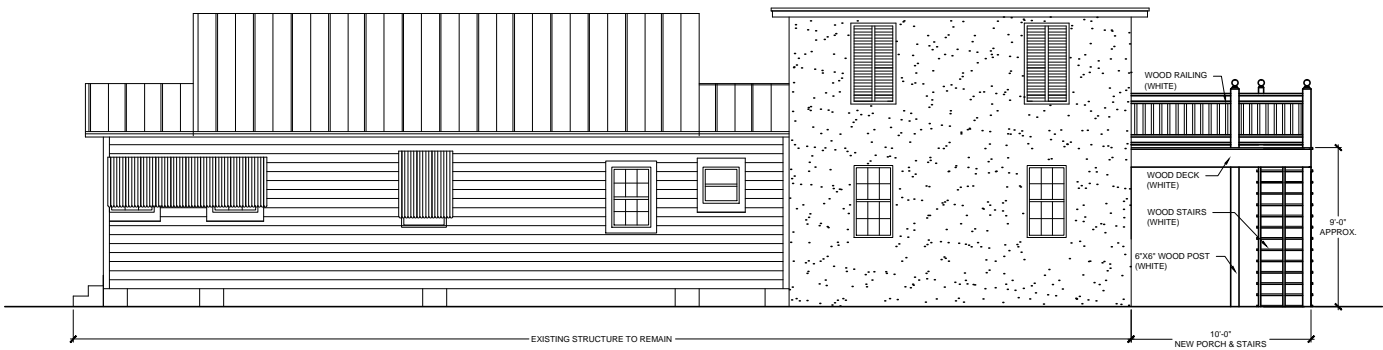
NEW DECK

313 AMELIA STREET, KEY WEST, FLORIDA



EXISTING NORTHEAST ELEVATION

SCALE:3/32"=1'-0"



PROPOSED NORTHEAST ELEVATION

SCALE:3/32"=1'-0"

PAUL R. SEMMES, P.E.
 #44137 DATE: _____

SeaTech inc.
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 TEL: (305) 294-9993 FAX: (850)939-3953
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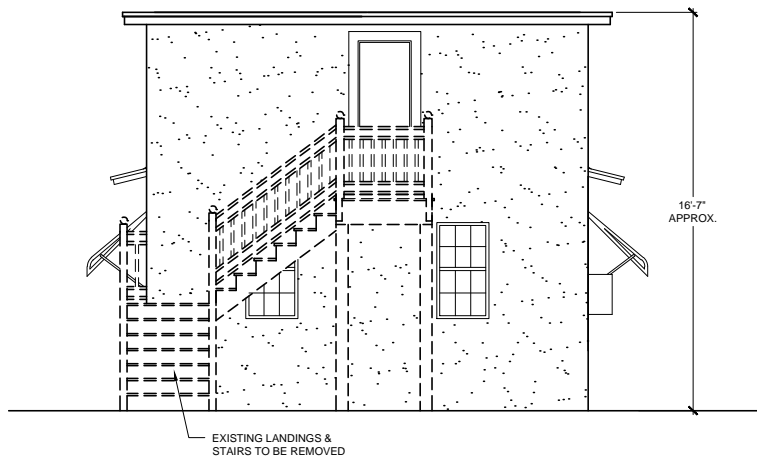
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 DATE: 12-30-10
 BY: EKM
 JOB # _____



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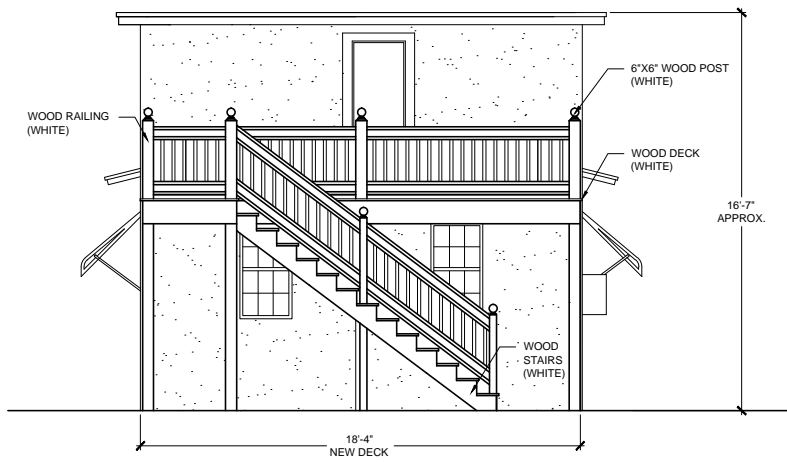
NEW DECK

313 AMELIA STREET, KEY WEST, FLORIDA



EXISTING SOUTHEAST ELEVATION

SCALE:1/8"=1'-0"



PROPOSED SOUTHEAST ELEVATION

SCALE:1/8"=1'-0"

PAUL R. SEMMES, P.E.
 #44137 DATE: _____

Licensing

Type information, press Enter.

Last activity:

Business control 20533

Updated: 05/02/11 by KEYWKGP

Business name & address

Mailing address

RUSSELL, EDWARD
313 AMELIA ST
KEY WEST FL 33040

313 AMELIA ST #1
KEY WEST FL 33040

License number : 11 00025308

Appl, issue, expir 112310 112310 93011

License status (F4) AC ACTIVE

Classification (F4) 10B RENTAL-NON-TRANSIENT RESIDENTIAL

Exemption (F4)

License comments ONE NON-TRANSIENT AND ONE OWNER'S UNIT

License restrictions

Gross receipts

Reprint this license . N Y=Yes, N=No

Additional charges . . N * Y=Yes, N=No

Miscellaneous . . . N Y=Yes, N=No

Extra requirements . . N * Y=Yes, N=No

Sub codes N Y=Yes, N=No

More...

F3=Exit F5=Code description F9=Applicant/Qualifier

F10=Business maintenance F12=Cancel

F24=More keys

DRC
Minutes & Comments

Mr. Torrence made a motion to postpone due to the applicant not being present; the motion was seconded by Mrs. Nicklaus. Motion carried.

4. **Variance - 313 Amelia Street (RE Number 00026100-000000) - A request for Variances for required building coverage, impervious surface ratio, front yard setback, rear yard setback, side yard setbacks and open space requirements in the HMDR zoning district per Section 122-600(4)a. and b. and 122-600(6)a., b., and c. and Section 108-346(b). of the Land Development Regulations of the Code of Ordinances of the City of Key.**

Nicole Malo reviewed the project. She requested the following information from the applicant: existing easements or encroachments, number of units, addition of open space calculation to the site plan, addition of variance criteria to application, possible site improvements if any. She added that this project has been approved by HARC.

Ms. Ignaffo asked what the deck materials would consist of, and if there was a proposed lighting plan. She added that she needed to review storm water plans.

Mr. Averette asked if the deck was going to farther into the setbacks.

Mrs. Nicklaus, Mr. Torrence and Mr. Cruz had no comment.

Mrs. Domenech-Coogle suggested a shaded tree in the front or a donation to the local park.

Mehdi Benkhatar stated he would look into these issues.

5. **Exception for Outdoor Display - 408 Greene street (RE Number 00001500-000000) - An Exception for Outdoor Display in the HRO zoning district per Section 106-51 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.**

Nicole Malo Reviewed the project.

Mr. Cunningham stated that outdoor displays are not allowed in the Historic District.

Mr. Averette stated that the two entrances to the porch area would need a 3ft minimum clearance for ADA.

Mrs. Ignaffo and Mr. Cruz had no comments.

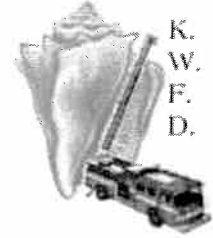
Mrs. Nicklaus stated that the cracked and broken concrete pavers were a concern for fire access and ADA, but not a requirement.

Cynthia Domenech-Coogle stated that the expired tree permit needs to be extended and the landscaping department will need to see a list of proposed tree material. She added that there could be no attachments placed on the Poinciana Tree.

Richard and Melissa Burress stated that they would comply with the requests made.

Steve Torrence stated that there was illegal dumping on the site as well as vagrancy issues, and the Police Department can supply a "No Trespassing" sign if needed.

6. **Variance - 607-609 Ashe Street (RE# 00010270-000000)-For side-yard setback requirements in the HHDR zoning district per Section 122-630 (6) b. as required when the renovation or reconstruction exceeds 66% of the assessed or appraised value of the structure per Section 122-28 (b) of the Land Development regulations of the City of Key West**



K.
W.
F.
D.

THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3933



RECEIVED
May 6, 2011
KW Planning Dpt

To: Nicole Malo, Planner

From: Division Chief/Fire Marshal Marcus del Valle

Date: 05/06/2011

Reference: 313 Amelia Street

This office reviewed the site plans provided and inspected the site. There is no Life Safety Concerns at this time regarding the proposed deck and stairs located in the rear of the property.

Marcus del Valle, Fire Marshal

Key West Fire Department

1600 N. Roosevelt Blvd.

Key West, Florida 33040

305-292-8179 Office

305-293-8399 Fax

mdelvalle@keywestcity.com

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Key to the Caribbean – average yearly temperature 77 ° Fahrenheit.



City Of Key West
Planning Department
3140 Flagler Avenue
Key West, Florida 33040

December 29, 2010

Mr. Ryan La Chapelle
Sea Tech of the Florida Keys Inc.
P O Box 420529
Summerland Key, Florida 33042

**RE: REQUEST TO ADD NEW DECK AND STAIRS OFF THE BACK OF THE
EXISTING HOUSE APPROXIMATELY 18'-4" WIDE AND 6' DEEP
FOR: #313 AMELIA STREET - HARC APPLICATION # H10-01-796
KEY WEST HISTORIC DISTRICT**


Dear Mr. Chapelle:

This letter is to notify you that the Key West Historic Architecture Review Commission **approved** the application for the above mentioned project on the public hearing held on Tuesday, December 28, 2010. The Commission decision was based on the documents submitted and your presentation.

You may now apply for the necessary permits. Should you have any questions, please do not hesitate to contact me at your convenience.

On behalf of the Historic Architectural Review Commission of our City, thank you for your interest in the preservation of Key West historic heritage.

Sincerely:


Enid Torregrosa, MSHP
Historic Preservation Planner
City Of Key West
3140 Flagler Avenue
Key West, Florida 33040

305.809.3973

etorregr@keywestcity.com

Property Appraiser Information

Ervin A. Higgs, CFA
Property Appraiser
Monroe County, Florida

office (305) 292-3420
fax (305) 292-3501

Property Record View

Alternate Key: 1026875 Parcel ID: 00026100-000000

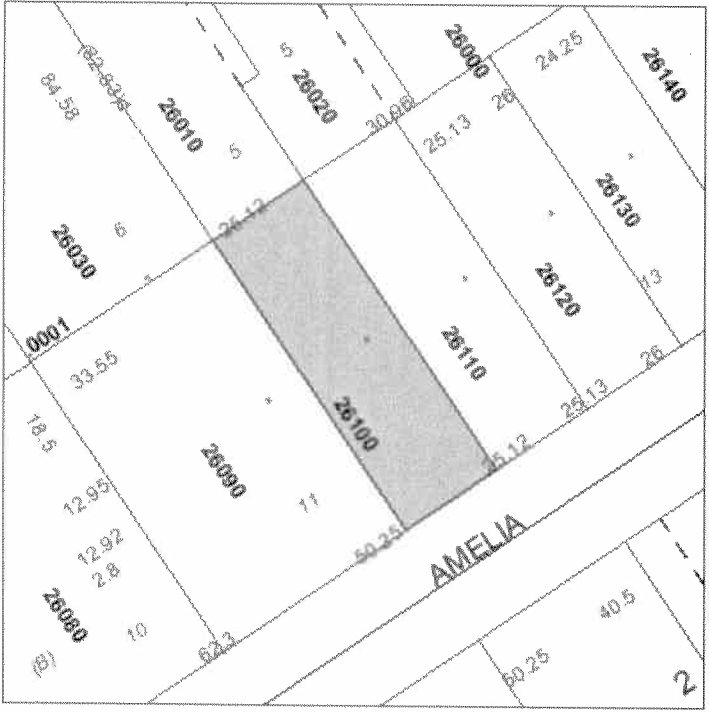
Ownership Details

Mailing Address:
RUSSELL EDWARD JAMES
16540 OLD STATE RD
SUGARLOAF KEY, FL 33042

Property Details

PC Code: 08 - MULTIFAMILY LESS THAN 10UNITS
Millage Group: 11KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 313 AMELIA ST KEY WEST
Subdivision: Tracts 10 and 15
Legal Description: KW PB 1-25-40 PT LOT 12 SQR 2 TR 10 G12-149 OR1437-1610D/C OR1437-2275/77WILL OR1460-1101/03PET PROB97-167-CP-10 OR1511-544/46PET OR1550-944DC OR1557-1031/33PET CASE99-09-CP-10 OR1685-849/850P/R OR2434-1181C/T OR2453-196/97

Parcel Map



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	25	80	1,996.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 1540
 Year Built: 1933

Building 1 Details

Building Type R2 Condition A Quality Grade 450

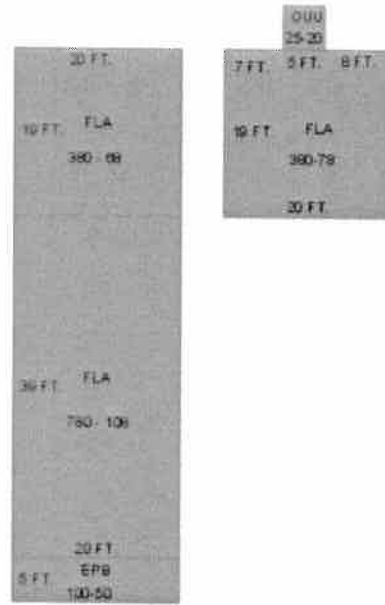
Effective Age 23	Perimeter 254	Depreciation % 30
Year Built 1933	Special Arch 0	Grnd Floor Area 1,540
Functional Obs 0	Economic Obs 0	

Inclusions: R2 includes 2 3-fixture baths and 2 kitchens.

Roof Type GABLE/HIP	Roof Cover ASPHALT SHINGL	Foundation WD CONC PADS
Heat 1 NONE	Heat 2 NONE	Bedrooms 3
Heat Src 1 NONE	Heat Src 2 NONE	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	<u>FLA</u>	12:ABOVE AVERAGE WOOD	1	1932	N Y	0.00	0.00	780
2	<u>FLA</u>	5:C.B.S.	1	2003	N Y	0.00	0.00	380
3	<u>FLA</u>	12:ABOVE AVERAGE WOOD	1	2003	N Y	0.00	0.00	380
4	<u>EPB</u>	12:ABOVE AVERAGE WOOD	1	1932	N N	0.00	0.00	100
5	<u>OUU</u>		1	2003	N N	0.00	0.00	25

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	100 SF	25	4	2002	2003	4	30
2	PT3:PATIO	18 SF	3	6	1932	1933	2	50
3	FN2:FENCES	204 SF	6	34	2003	2004	2	30

Appraiser Notes

2004-06-02 OWNER OCCUPIES DOWNSTAIRS 75% (BCS/SL)

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
1	0101473	04/03/2001	08/23/2001	1,800	Residential	NEW RUBBER ROOF
2	0101070	03/05/2001	08/23/2001	1,000	Residential	INSTALL 150 SERVICE
3	02-1644	06/21/2002	11/17/2002	2,000	Residential	REPLACE SIDING
4	03-2144	08/19/2003	11/06/2003	45,000	Residential	REPLACE DOORS & WINDOWS
5	03-3992	11/20/2003	11/06/2003	1,000	Residential	INSTALL 2 GANG METER CAN
6	02-329	02/15/2002	01/13/2004	60,000	Residential	2 STORY ADDITION
7	04-1564	05/13/2004	06/21/2004	4,200	Residential	ROOFING
8	07-5364	12/18/2007	07/09/2008	2,000	Residential	REPAIR / REPLACE OLD SIDING 800 SF & PAINT

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
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2010	153,034	1,361	87,043	241,438	241,438	0	241,438
2009	170,571	1,411	162,633	334,615	277,349	25,000	252,350
2008	157,249	1,468	181,636	340,353	278,652	25,000	253,652
2007	230,208	1,528	199,600	431,336	352,257	25,000	327,257
2006	331,197	1,577	169,660	502,434	267,541	25,000	242,541
2005	298,119	1,635	139,720	439,474	287,104	25,000	262,104
2004	259,402	1,694	99,800	360,897	275,050	25,000	250,050
2003	126,437	750	47,904	175,091	170,764	25,000	145,764
2002	131,100	0	34,930	166,030	166,030	25,000	141,030
2001	110,778	0	31,936	142,714	142,714	0	142,714
2000	110,778	0	25,948	136,726	136,726	0	136,726
1999	93,735	0	25,948	119,683	119,683	0	119,683
1998	76,693	0	25,948	102,641	102,641	0	102,641
1997	76,693	0	21,956	98,649	98,649	0	98,649
1996	46,868	0	21,956	68,824	68,824	0	68,824
1995	52,407	0	21,956	74,363	70,682	25,000	45,682
1994	46,868	0	21,956	68,824	68,824	25,000	43,824
1993	46,868	0	21,956	68,824	68,824	25,000	43,824
1992	46,868	0	21,956	68,824	68,824	25,000	43,824
1991	46,868	0	21,956	68,824	68,824	25,000	43,824
1990	45,812	0	17,465	63,277	63,277	25,000	38,277
1989	41,647	0	16,966	58,613	58,613	25,000	33,613
1988	33,981	0	13,972	47,953	47,953	25,000	22,953
1987	33,558	0	7,784	41,342	41,342	25,000	16,342
1986	33,745	0	7,186	40,931	40,931	25,000	15,931
1985	32,712	0	4,760	37,472	37,472	25,000	12,472
1984	30,417	0	4,760	35,177	35,177	25,000	10,177
1983	30,417	0	4,760	35,177	35,177	25,000	10,177
1982	31,075	0	4,760	35,835	35,835	25,000	10,835

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
2/16/2010	2453 / 196	295,000	<u>WD</u>	<u>02</u>
10/5/2009	2434 / 1181	100	<u>CT</u>	<u>12</u>
3/27/2001	1685 / 0849	139,000	<u>WD</u>	<u>Q</u>

This page has been visited 1,668 times.

Monroe County Property Appraiser
Ervin A. Higgs, CFA
P.O. Box 1176
Key West, FL 33041-1176

Public Notices
(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 p.m., June 16, 2011 at Old City Hall, 510 Greene Street, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Variances – 313 Amelia Street (RE# 00026100-000000) - A request for building coverage, front yard, rear yard and side yard setback requirements for a contributing structure in the Historic Medium Density Residential zoning district for property located at 313 Amelia Street per Section 90-391 of the Land Development Regulations of the Code of Ordinances of the City of Key West.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at www.keywestcity.com .

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will be holding a Public Hearing on the following requests:

Request: Variances – 313 Amelia Street (RE# 00026100-000000) - A request for building coverage, front yard, rear yard and side yard setback requirements for a contributing structure in the Historic Medium Density Residential zoning district for property located at 313 Amelia Street per Section 90-391 of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Applicant/Owner: Edward James Russell

Project Location: 313 Amelia

Date of Hearing: Thursday, June 16, 2011

Time of Hearing: 6:00 PM

Location of Hearing: Old City Hall, City Commission Chambers
510 Greene St

Interested parties may appear at the public hearing(s) and be heard with respect to the applications. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm. **Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas.** Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409, by FAX (305) 809-3978 or by email ccowart@keywestcity.com.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA ASSISTANCE: If you are a person with a disability who needs special accommodations in order to participate in this proceeding, please contact the ADA Coordinator at 305-809-3951 between the hours of 8:00 a.m. and 5:00 p.m., or information on access available to individuals with disabilities. To request materials in accessible format, a sign language interpreter or other assistance (5 days advance notice required), please call 305-809-1000 for assistance.

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

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313 Amelia

- Legend
- theBuffer
 - theBufferTarget
 - Real Estate Number
 - Parcel Lot Text
 - Block Text
 - Hooks/Leads
 - Lot Lines
 - Easements
 - Road Centerlines
 - Water Names
 - Parcels
 - Shoreline
 - Section Lines



PALMIS

Monroe County Property Appraiser
500 Whitehead Street
Key West, FL

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for *ad valorem tax purposes* only and should not be relied on for any other purpose.

Date Created: June 6, 2011 2:32 PM

313 Amelia

1103/1105 WHITEHEAD STREET L L C
419 AMELIA ST
KEY WEST, FL 33040

ADAMS PAMELA ELIZABETH
313 CATHERINE ST
KEY WEST, FL 33040

ADAMS WILLIAM P AND KAREN T
1124 WHITEHEAD ST
KEY WEST, FL 33040

ALBURY SAMUEL EST % ALBURY
729 NW 43RD STREET
MIAMI, FL 33127

ASHE RUTH M
308 JULIA ST
KEY WEST, FL 33040

AVERYT WILLIAM F JR
312 VIRGINIA ST
KEY WEST, FL 33040

AYRES JAMES D IV AND ANDREA
1121 WHITEHEAD ST
KEY WEST, FL 33040

BEAVER JAMES M
PO BOX 2560
KEY WEST, FL 33045

BEAVER DENNIS
1207 WHITEHEAD ST
KEY WEST, FL 33040

BOOTLE DAVE W AND MARIA
319 AMELIA ST
KEY WEST, FL 33040

BREARLEY CHRISTINA
PO BOX 13
HARBOR SPRINGS, MI 49740

BROWNE SAMUEL J
P O BOX 14276
N PALM BEACH, FL 33408

BURCHETT ROBERT G AND JANE E
8 AMARYLLIS DRIVE
KEY WEST, FL 33040

BUTLER EUGENIA
207 JULIA ST
KEY WEST, FL 33040

CAJUN REALTY LLC
444 N MAIN ST
HUBBARD, OH 44425

CALABRO DANIEL J
P O BOX 1857
BRIDGEHAMPTON, NY 11932

CAREY GEORGE A JR ESTATE
419 VIRGINIA ST
KEY WEST, FL 33040

CASTILLO ANTHONY A ESTATE
305 VIRGINIA ST
KEY WEST, FL 33040

CASTILLO DIANE T
318 AMELIA ST
KEY WEST, FL 33040

CLARK JOSEPH GRECO LIV TR
4/28/2005
310 AMELIA ST
KEY WEST, FL 33040

CLARKE CAROLYN
323 VIRGINIA ST
KEY WEST, FL 33040

CORAL CITY ELKS LODGE 610 &
CORAL CITY TEMPLE 400
1107 OR 1109 WHITEHEAD ST
KEY WEST, FL 33040

CRESPO DANILO A AND BARBARA B
PO BOX 4031
KEY WEST, FL 33041

CRONIN JAMES D AND DIANE S
52 PARK HILL DR
HOPEWELL JUNCTION, NY 12533

DAVIS ROBERT ESTATE
1019 FORT ST
KEY WEST, FL 33040

DEGRAEF JOHAN P
1119 WHITEHEAD ST
KEY WEST, FL 33040

DEVOL THOMAS A
3839 GLEN OAKS MANOR DR
SARASOTA, FL 34232

DIAZ RUBEN
313 CATHERINE ST
KEY WEST, FL 33040

EABLES PATRICIA A
PO BOX 299
KEY WEST, FL 33041

EHRING WILLIAM EDWARD
1102 WHITEHEAD ST
KEY WEST, FL 33040

ELLER THOMAS F
30 HIGH POINT RD
PERRYVILLE, MD 21903

F AND A HOLDINGS LLC
117 KEY HAVEN RD
KEY WEST, FL 33040

FRENCH ROBERT C ESTATE
3232 NEWMARK DR
MIAMISBURG, OH 45342

GALLAGHER PATRICIA A TRUSTEE
700 KESSLER BLVD WEST DR
INDIANAPOLIS, IN 46228

GLASER WILLIAM D
118 CARIBBEAN DR
SUMMERLAND KEY, FL 33042

GRABIABREWSKI LLC
30554 18TH LN
BIG PINE KEY, FL 33043

GREENE-MINGO BEVERLY
311 AMELIA ST
KEY WEST, FL 33040

GREINER BYRON
2 BEECH TREE LN
ASHEVILLE, NC 28804

HABBERSTAD STEPHEN D
IRREVOCABLE TR DTD 8/1/2010
PO BOX 869
KEY WEST, FL 33041

HAMILTON JAMES
319 CATHERINE ST
KEY WEST, FL 33040

HAMILTON JAMES D AND EVA M
218 OLIVIA ST
KEY WEST, FL 33040

HARRIS DAVID
865 10TH AVE S
NAPLES, FL 34102

HOLLOWELL VIOLET ROSALIE
12503 NEWFIELD DR
ORLANDO, FL 32837

HOUSING AUTHORITY THE OF THE
P O BOX 2476
KEY WEST, FL 33040

JAMES DOLORES N
314 CATHERINE ST
KEY WEST, FL 33040

KACZMAREK JAMES G AND LYNN M
1103 THOMAS ST
KEY WEST, FL 33040

KAVANAUGH EMMETT P
1117 WHITEHEAD ST
KEY WEST, FL 33040

KEE SANDRA E ESTATE
308 VIRGINIA ST
KEY WEST, FL 33040

KNOWLES EDWIN JR AND MARIE E
ROBERT GABRIEL APTS
KEY WEST, FL 33040

KNOWLES VERLENE ESTATE
324 VIRGINIA ST
KEY WEST, FL 33040

KRUER WAYNE R
1105 THOMAS ST
KEY WEST, FL 33040

LOPEZ CLAYTON L AND PALMA
LOUISE H/W
326 AMELIA ST
KEY WEST, FL 33040

MARRERO WILHELMINA
318 TRUMAN AVE
KEY WEST, FL 33040

MCGEOUGH SEAN AND JODI
BEVERLY
314 VIRGINIA ST
KEY WEST, FL 33040

MONROE COUNTY COMPREHENSIVE
PLAN LAND AUTHORITY
1200 TRUMAN AVE STE 207
KEY WEST, FL 33040

MOORE DEBORAH
1114 WHITEHEAD ST
KEY WEST, FL 33040

MORSE GARTH H
4388 MIDDLE RD
HARBOR SPRINGS, MI 49740

NOLLEY ARLEAN A/K/A WALTON
ARLEAN L/E
304 AMELIA ST
KEY WEST, FL 33040

OLD KEYSTONE CHURCH INC
330 JULIA ST
KEY WEST, FL 33040

PEARSON CHARLES N L/E
322 JULIA ST
KEY WEST, FL 33040

PETTIGREW REBECCA
1295 5TH AVE
NEW YORK, NY 10029

POPOVICE MICHAEL J
327 VIRGINIA ST
KEY WEST, FL 33040

RAHMING OTIS T ESTATE
910 THOMAS ST
KEY WEST, FL 33040

REGER MELODYE
100 BAY DR
KEY WEST, FL 33040

RHOADES SHIRREL AND DIANE
914 GRINNELL ST
KEY WEST, FL 33040

ROBB GEORGE E
3730 SUNRISE LN
KEY WEST, FL 33040

ROBERTS AVIS J
319 VIRGINIA ST
KEY WEST, FL 33040

ROBERTS CYNTHIA V DEC TRUST
07/15/2008
727 OLIVIA ST
KEY WEST, FL 33040

ROBERTS ELIZABETH A
504 THE MEWS
ROCKY HILL, CT 06067

ROEDER TIMOTHY J L/E
322 JULIA ST
KEY WEST, FL 33040

RUSSELL EDWARD JAMES
16540 OLD STATE RD
SUGARLOAF KEY, FL 33042

SANDRIE R M
P O BOX 420216
SUMMERLAND KEY, FL 33042

SCHLENOGT BECKY
269 CHELTONWOOD CRES
WATERLOO ON N2V 1X8
CANADA

SCHMIDT THERON G AND
LORRAINE HECKMAN (WIFE)
315 AMELIA ST
KEY WEST, FL 33040

SIMMONS GLENDA D
310 HILLCREST AVE
SOMERSET, NJ 08873

SKALENAIDO ZBIGNIEW
317 AMELIA ST
KEY WEST, FL 33040

SNYDER DOUGLAS S AND
BRITTANY P
1118 WHITEHEAD ST
KEY WEST, FL 33040

TEATE CONSTANCE S
325 AMELIA ST
KEY WEST, FL 33040

THURSTON GRIFFITH JR
1526 LAIRD ST
KEY WEST, FL 33040

TREPANIER OWEN JOHN
1024-1026 THOMAS ST
KEY WEST, FL 33040

WINN HUGHLENE AND DONNA
313 VIRGINIA ST
KEY WEST, FL 33040

WITHERS BARBARA ANN
310 CATHERINE ST UNIT 1
KEY WEST, FL 33040

ZAPATA LUZ M
326 VIRGINIA ST
KEY WEST, FL 33040