



Application For Easement

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 • www.keywestcity.com

Application Fee: \$2,150.00

(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

(\$400 for each additional easement for same parcel)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 420-422 Appelrouth Lane

Zoning District: HRCC-1 Real Estate (RE) #: 00009780

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: BENDER & ASSOCIATES, P.A.

Mailing Address: 410 Angela Street

City: Key West State: FL Zip: 33040

Home/Mobile Phone: _____ Office: 305-296-1347 Fax: _____

Email: blbender@bellsouth.net CC: donna.bosold@att.net

PROPERTY OWNER: (if different than above)

Name: 420ARL

Mailing Address: 723 Fleming Street

City: Key West State: FL Zip: 33040

Home/Mobile Phone: _____ Office: 305-296-1347 Fax: _____

Email: blbender@bellsouth.net

Description of requested easement and use: The applicant is requesting an approximate 39 square foot easement (2.5 x 15.5 x 2.5) over city sidewalk to allow the continued existence of a concrete awning. The concrete awning is an architectural feature of the historic building located at 420 Appelrouth Lane. No pedestrian impediment will be created by the granting of the easement.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed Specific Purpose Surveys with a legal description of the easement area requested
- Photographs showing the proposed easement area

Verification

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an individual)

I, Donna Bosold, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

420-422 Appel Routh Lane

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 17th day of Aug by

date

Donna Bosold

Name of Authorized Representative

She is personally known to me or has presented _____ as identification.

Mary Henkel

Notary Signature and Seal



Mary Henkel

Name of Acknowledger typed, printed or stamped

FF 223904

Commission Number, if any

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an entity)

I, HAYEN BURKEE, in my capacity as ASSOCIATE ARCHITECT
(print name) OR BERT BENDER, PRINCIPAL (print position; president, managing member)
of BENDER & ASSOCIATES ARCHITECTS, P.A.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

420-422 APPLE BOUTH LANE, KEY WEST
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature] and/or [Signature]
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 17th day of August 2015 by
date
HAYEN BURKEE and BERT BENDER
Name of Authorized Representative

~~They are~~
He/she is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal



Name of Acknowledger typed, printed or stamped

Commission Number, if any

Authorization

**City of Key West
Planning Department**



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, ROBERT F. SHARPE, JR. as
Please Print Name of person with authority to execute documents on behalf of entity

MANAGER of 420ARL, LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize BENDER & ASSOCIATES ARCHITECTS, P.A. & DONDA BOSOLD
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this AUGUST 17, 2015
Date

by Robert F. Sharpe
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented _____ as identification.

Cathleen Gold
Notary's Signature and Seal

CATHLEEN GOLD
Name of Acknowledger typed, printed or stamped

Commission Number, if any

CATHLEEN GOLD
NOTARY PUBLIC-STATE OF NEW YORK
No. 500541
Certificate filed in New York County
Qualified in Westchester County
My Commission Expires December 14, 2017

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, MARIA SHARPE as
Please Print Name of person with authority to execute documents on behalf of entity

MEMBER of 420 ARL, LLC
Name of office (President, Managing Member) Name of owner from deed

authorize BENDER & ASSOCIATES ARCHITECTS P.A. & DONNA ROSOLD
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Maria R. Sharpe
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this _____
Date

by _____
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented _____ as identification.

Cathleen Gold
Notary's Signature and Seal

CATHLEEN GOLD
Name of Acknowledger typed, printed or stamped

Commission Number, if any

CATHLEEN GOLD
NOTARY PUBLIC-STATE OF NEW YORK
No. 5005541
Certificate filed in New York County
Qualified in Westchester County
My Commission Expires December 14, 2017

Deed

NOTE TO CLERK/TAX EXAMINER: Actual consideration paid is \$ 905,000.00

Doc# 2027720 05/06/2015 3:58PM
Filed & Recorded in Official Records of
MONROE COUNTY AMY HEAVILIN

This Instrument Prepared by and Return to:
Jennifer G. Sanchez, Esq.
Sanchez & Ashby, P.A.
1223 White Street, Unit 104
Key West, FL 33040
(305) 293-0084

05/06/2015 3:58PM
DEED DOC STAMP CL: Krys \$6,335.00

Doc# 2027720
Bk# 2739 Pg# 553

Parcel ID Number: 00009780-000000

Warranty Deed

This Indenture, Made this 4th day of May, 2015 A.D., Between
Dive Bar and Lounge, LLC, a Florida limited liability company
of the County of MONROE, State of Florida, grantor, and
420ARL, LLC, a Florida limited liability company
whose address is: 723 Fleming Street, KEY WEST, FL 33040
of the County of MONROE, State of Florida, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of
-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of MONROE State of Florida to wit:
On the Island of Key West, and known on Wm. A. Whitehead's map as a part of Lot One (1) in Square Fifty-one
(51).

Commencing at a point of the Southeasterly side of Smiths Alley one hundred (100) feet Southwesterly from
the corner of Smiths Alley and Duval Street and running thence along the line of Smiths Alley in a
Southwesterly direction fifty (50) feet; thence at right angles in a southeasterly direction fifty (50) feet; thence
at right angles in a Northeasterly direction fifty (50) feet; thence at right angles in a North westerly direction
fifty (50) feet to the point of beginning.

Subject to current taxes, easements and restrictions of record.

Warranty Deed - Page 2

Parcel ID Number: 00009780-000000

Doc# 2027720
Bk# 2739 Pg# 554

In Witness Whereof, the grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

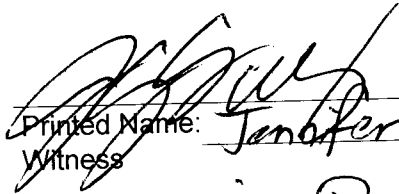
Dive Bar and Lounge, LLC, a Florida limited liability company




By:

(Seal)

Tap Johnson, Managing Member
P.O. Address: 425 Caroline Street, KEY WEST, FL 33040


Printed Name: Jennifer G. Sanchez
Witness

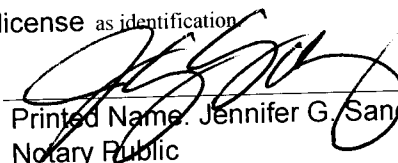

Printed Name: Diane Paglia
Witness

STATE OF Florida
COUNTY OF MONROE



day of **May**, 2015 by

The foregoing instrument was acknowledged before me this
Tap Johnson, Managing Member of Dive Bar and Lounge, LLC, a Florida limited liability
company
who is personally known to me or who has produced his Florida driver's license as identification

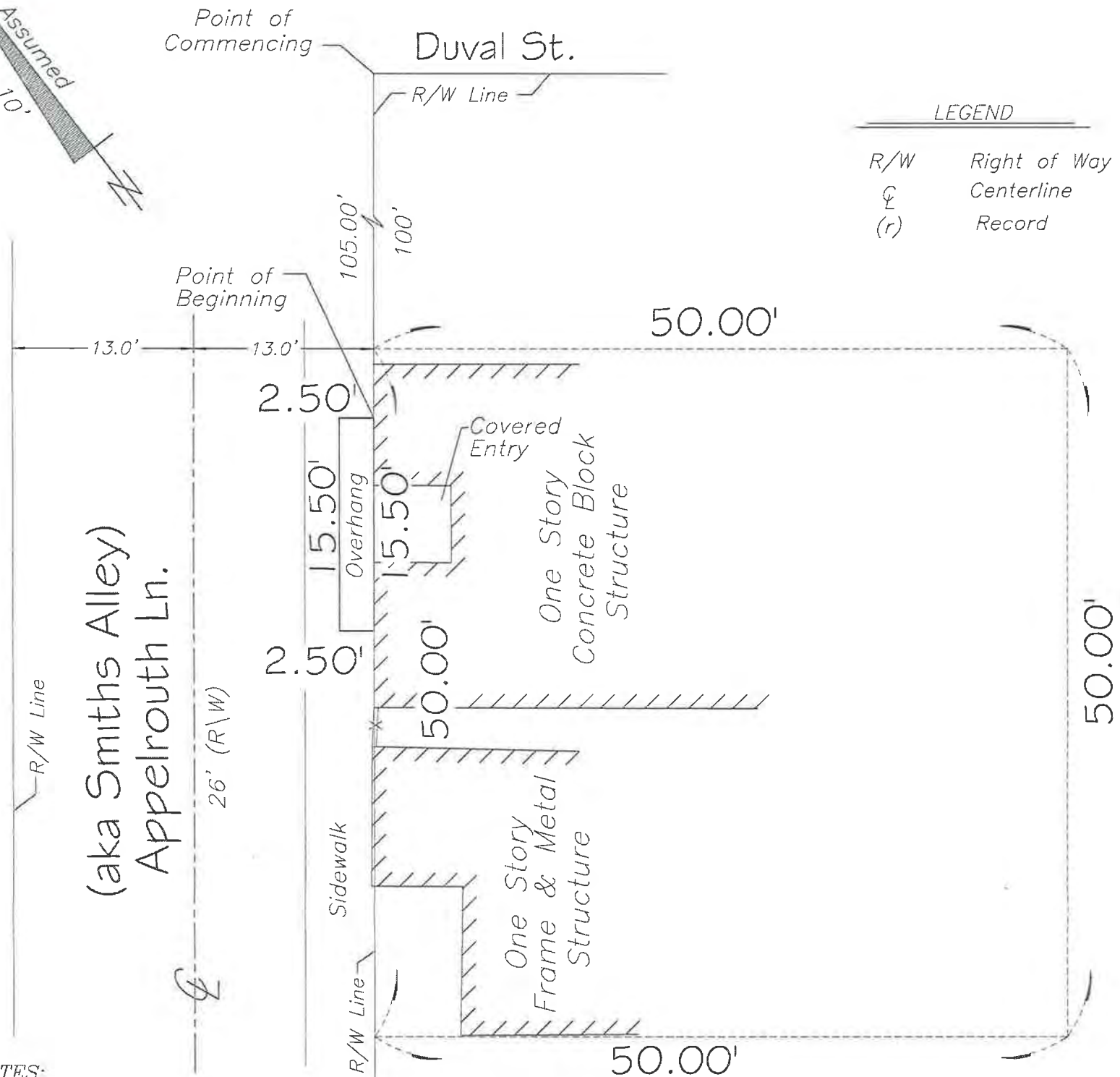
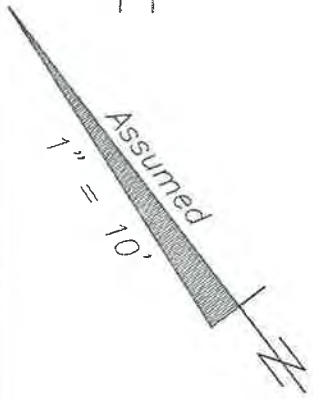

Printed Name: Jennifer G. Sanchez
Notary Public
My Commission Expires: 04/15/17



**MONROE COUNTY
OFFICIAL RECORDS**

Survey

Specific Purpose Survey to illustrate a legal description of a portion Appelrouth Lane adjacent to Lot 1, Square 51, Island of Key West, prepared by the undersigned



LEGEND

R/W	Right of Way
⊕	Centerline
(r)	Record

- NOTES:
1. The legal description shown hereon was authored by the undersigned.
 2. Underground foundations and utilities were not located.
 3. All angles are 90° (Measured & Record) unless otherwise noted.
 4. Street address: 422 Appelrouth Lane, Key West, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. North Arrow is assumed and based on the legal description.
 8. This survey is not assignable.
 9. Adjoiners are not furnished.
 10. The description contained herein and sketch do not represent a field boundary survey.

SPECIFIC PURPOSE SURVEY TO ILLUSTRATE A LEGAL DESCRIPTION AUTHORED BY THE UNDERSIGNED

A parcel of land on the Island of Key West, and known on Wm. A. Whitehead's map as a portion of Appelrouth Lane (Smiths Alley) adjacent to Lot One (1) in Square Fifty-One (51), said parcel being more particularly described by metes and bounds as follows: Commencing at intersection of the Southeasterly right of way line of Appelrouth Lane (Smiths Alley) with the Southwesterly right of way line of Duval Street and running thence Southwesterly along the Southeasterly right of way line of the said Appelrouth Lane (Smiths Alley) for a distance of 105.00 feet to the Point of Beginning, said point being on the Northeasterly face of a concrete overhang; thence continue Southwesterly along the Southeasterly right of way line of the said Appelrouth Lane (Smith Alley) for a distance of 15.50 feet to the Southwesterly face of said overhang; thence Northwesterly and at right angle along said overhang for a distance of 2.50 feet; thence Northeasterly and at right angles along said overhang for a distance of 15.50 feet; thence Southeasterly and right angles along said overhang for a distance of 2.50 feet back to the Point of Beginning, containing 39 square feet, more or less.

SPECIFIC PURPOSE SURVEY FOR: 420 ARL LLC;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn
 J. Lynn O'Flynn, PSM
 Florida Reg. #6298

August 28, 2015

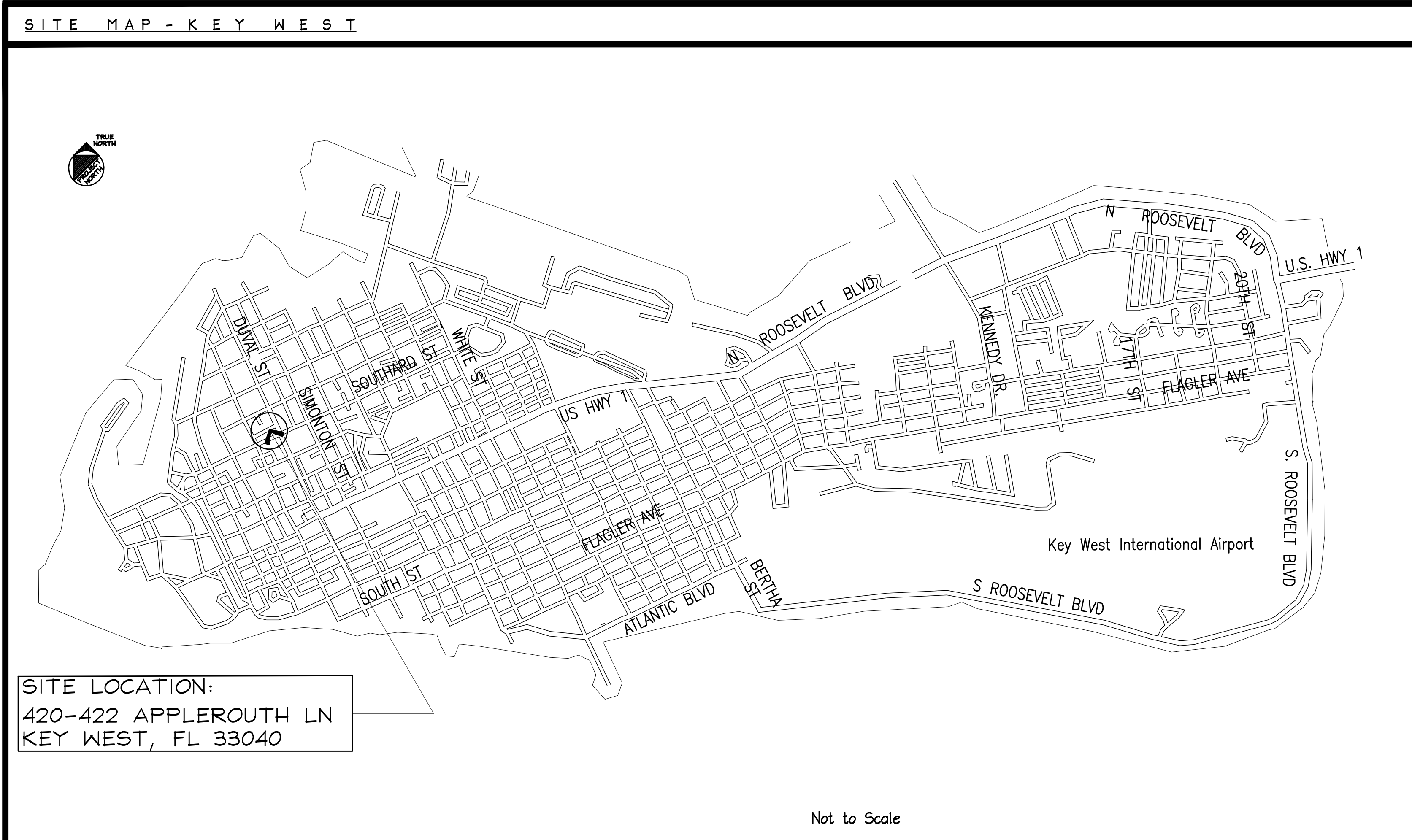
J. LYNN O'FLYNN, Inc.
 Professional Surveyor & Mapper
 PSM #6298
 3430 Duck Ave., Key West, FL 33040
 (305) 296-7422 FAX (305) 296-2244

Site Plans

DRC SUBMITTAL

420-422 APPLEROUTH LANE

Key West Florida 33040



PROJECT DIRECTORY

PROJECT: H420-422 Applerouth Lane
 ARCHITECT'S PROJECT No.: 1513

CONTACT: 420 ARL, LLC (Rob Sharpe & Maria Sharpe)
 Address: 723 Fleming Street
 Key West Florida, 33040

Tel:
 ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.
 Address: 410 Angela Street, Key West, FL 33040
 Tel: (305) 296-1347 Fax: (305) 296-2727
 E-mail: bbender@bellsouth.net
 Project Architect: Bert L. Bender (Principal-in-Charge)
 Project Manager: Haven Burke

GENERAL NOTES

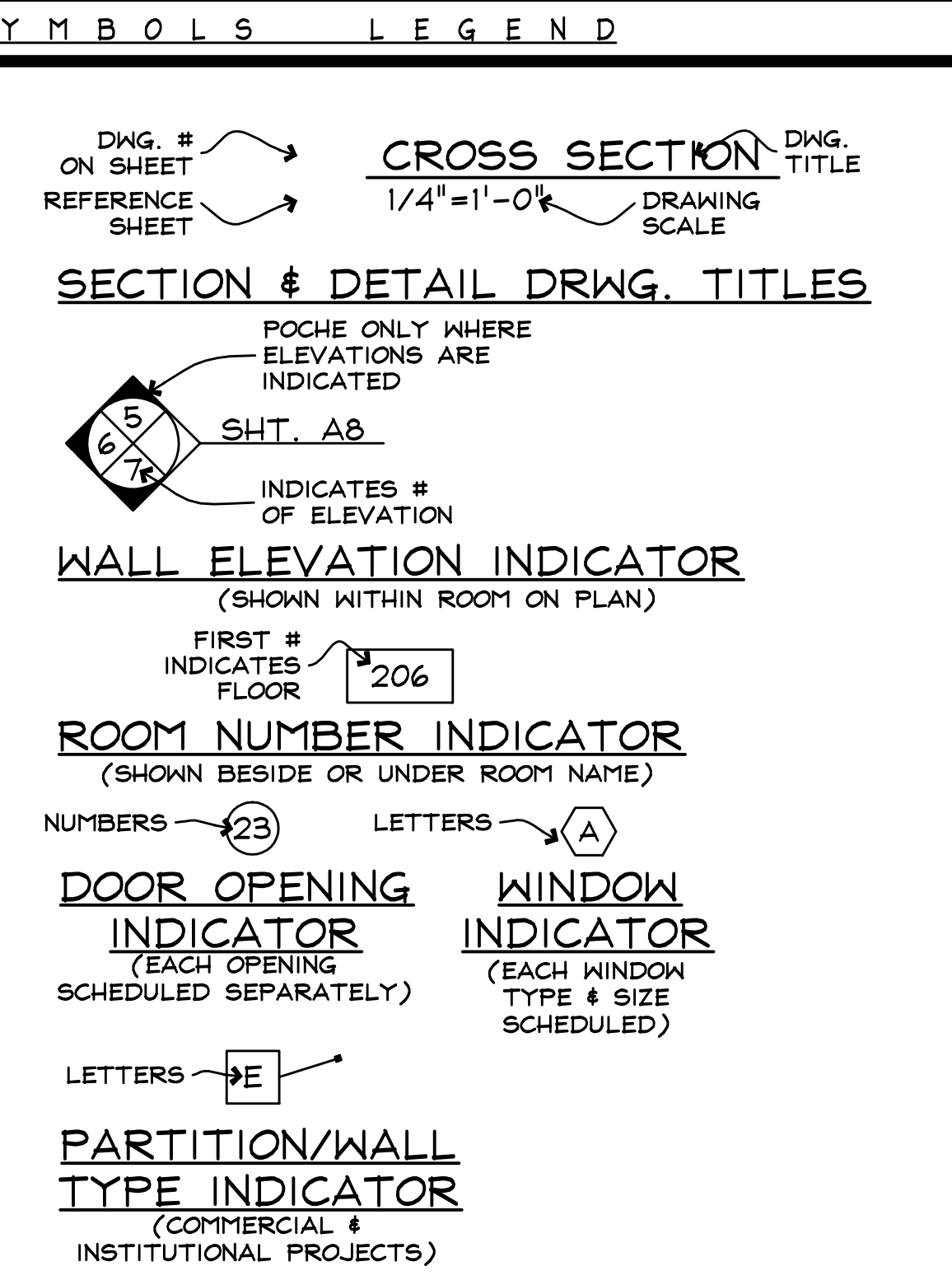
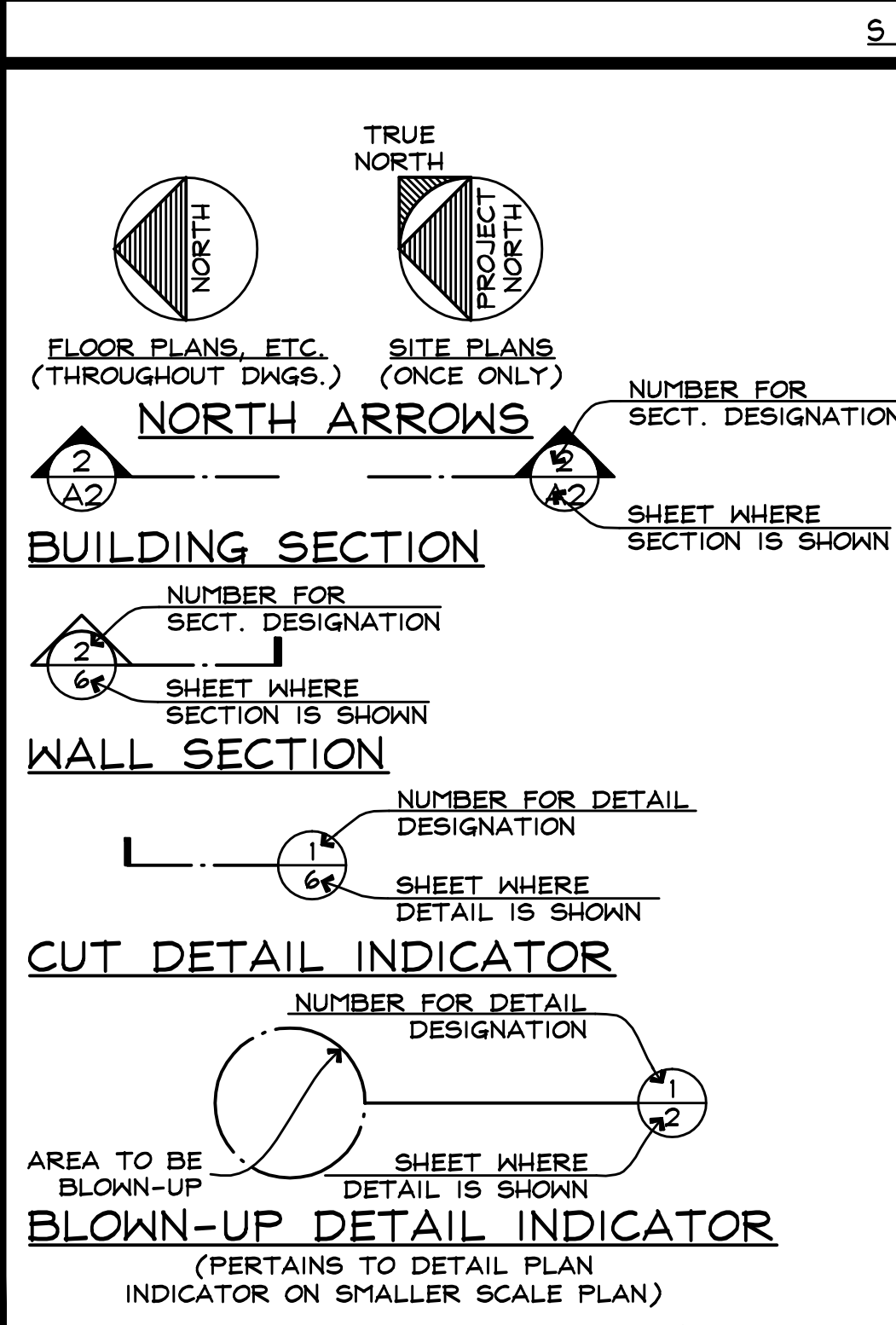
- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:
 FLORIDA BUILDING CODE - Building 2014 EDITION
 FLORIDA BUILDING CODE - Existing 2014 EDITION
 FLORIDA BUILDING CODE - Residential 2014 EDITION
 FLORIDA BUILDING CODE - Plumbing 2014 EDITION
 FLORIDA BUILDING CODE - Fuel Gas 2014 EDITION
 FLORIDA BUILDING CODE - Mechanical 2014 EDITION
 NATIONAL ELECTRICAL CODE 2008 EDITION
 NFPA 70 LIFE SAFETY CODE w/ Florida Modifications
 2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION
 NFPA 1 2006 EDITION
 This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (3 second gusts).
- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

FLORIDA ADMINISTRATIVE CODE

61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.
 Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (i), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-84, Formerly 21B-16.03, Amended 11-21-94, 4-18-00.

ABBREVIATIONS

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPERTY LINE
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	PT	CCA PRESSURE TREATED POINT
CONC	CONCRETE	PT	POLYVINYLCHLORIDE RADIUS (OR) RISER
DBL	DOUBLE	PVC	RETURN AIR
DIAG	DIAGONAL	R	REBAR
DS	DOWNSPOUT	R/A	REFR.
DTL	DETAIL	REFR.	REFRIGERATOR
DWR	DRAWER	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
EL	ELEVATION	SPEC	SPECIFICATION
ELEC	ELECTRIC	T	TYPICAL
EQ	EQUAL	UNT	UNLESS NOTED OTHERWISE
EXH	EXHAUST	VCT	VINYL COMPOSITION TILE
FV	FIELD VERIFY	VERT	VERTICAL
GALV	GALVANIZED	WD	WOOD
GI	GALVANIZED IRON	WFW	WELDED WIRE FABRIC
HORZ	HORIZONTAL	WH	WATER HEATER
HDW	HARDWARE	W/O	WITHOUT
HVAC	HEATING VENTILATING & AIR CONDITIONING		
FOC	FACE OF CONCRETE		
FOS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		



MATERIAL DESIGNATIONS

- CONCRETE MASONRY UNITS IN PLAN
- CONC., STUCCO, PLASTER IN ELEV.; POURED CONC. IN PLAN
- METAL IN ELEVATION
- METAL IN SECTION
- FINISH WOOD IN ELEV. & IN SECTION
- DIMENSION LUMBER IN SECTION (CONTINUOUS)
- WOOD BLOCKING IN SECTION (DISCONTINUOUS)
- GYPSUM WALL BOARD IN SECTION (LARGE SCALE)
- EARTH, NATURAL SUBSTRATE
- GRAVEL, AGGREGATE BASE COURSE, FILL
- FIBERGLASS BATT INSULATION
- RIGID INSULATION

PARTITIONS & WALLS

- CONCRETE MASONRY UNITS
- POURED CONCRETE
- WOOD FRAME
- METAL STUDS
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

SHEET INDEX

C	COVER
EX1	SURVEY, EXISTING STREET FRONTAGE PHOTOGRAPHS
DI	EXISTING SITE PLAN / DEMOLITION PLAN, EXISTING FLOOR PLAN / DEMOLITION PLAN
C-1	CIVIL PLAN, DRAINAGE CALCULATIONS, EXFILTRATION DETAILS
A1	PROPOSED SITE PLAN / ROOF PLAN
A2	FIRST FLOOR PLAN, SECOND FLOOR PLAN
A3	EXISTING STREET ELEVATION (WEST), PROPOSED STREET ELEVATION (WEST)
A4	PROPOSED EAST ELEVATION, PROPOSED NORTH ELEVATION, PROPOSED SOUTH ELEVATION
L5	LIFE SAFETY PLANS (FIRST & SECOND FLOOR)
E1	FIRST FLOOR LIGHTING PLAN, SECOND FLOOR LIGHTING PLAN

DESCRIPTION OF WORK:
 DEMOLITION OF EXISTING WOOD FRAMED STRUCTURES, CONSTRUCTION OF NEW ADDITION TO EXISTING MASONRY BUILDING, AND RENOVATION OF EXISTING MASONRY BUILDING.

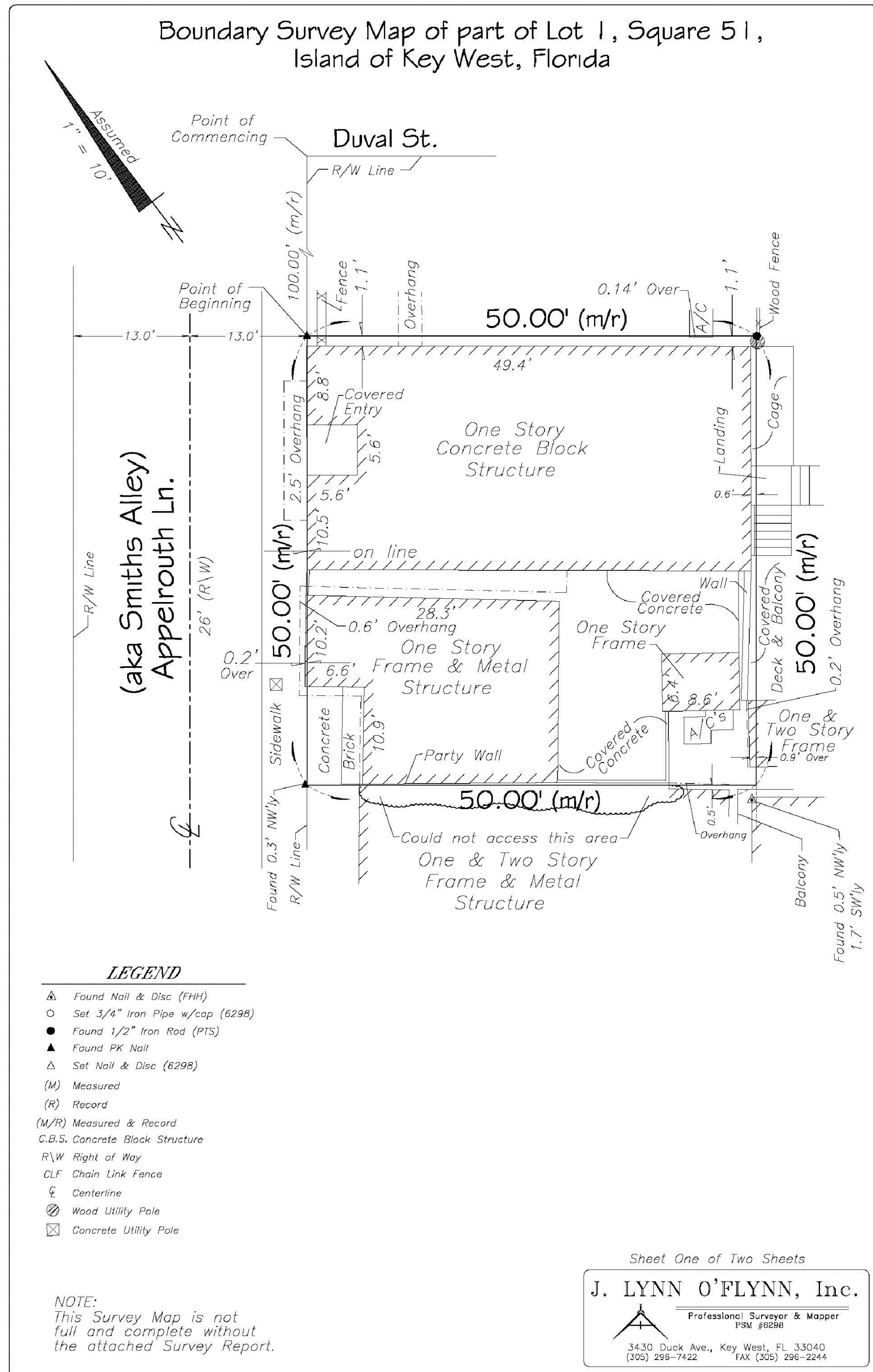
420-422 APPLEROUTH LANE
KEY WEST, FLORIDA

Bender & Associates ARCHITECTS p.a.

Project No.: 1513

Date: 10/09/15

C

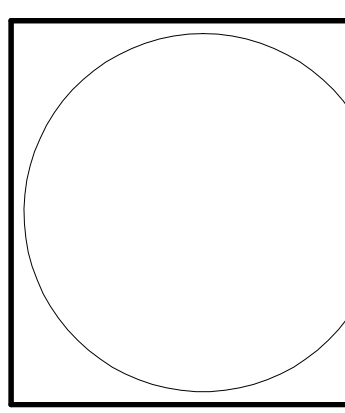


1 HISTORIC STRUCTURE TO REMAIN 2 WOOD STRUCTURES TO BE REMOVED



3 PHOTOGRAPH OF STREET ELEVATION (EXISTING WEST ELEV.) SCALE: N.T.S.

420-422 APPLEROUTH LANE
KEY WEST, FLORIDA



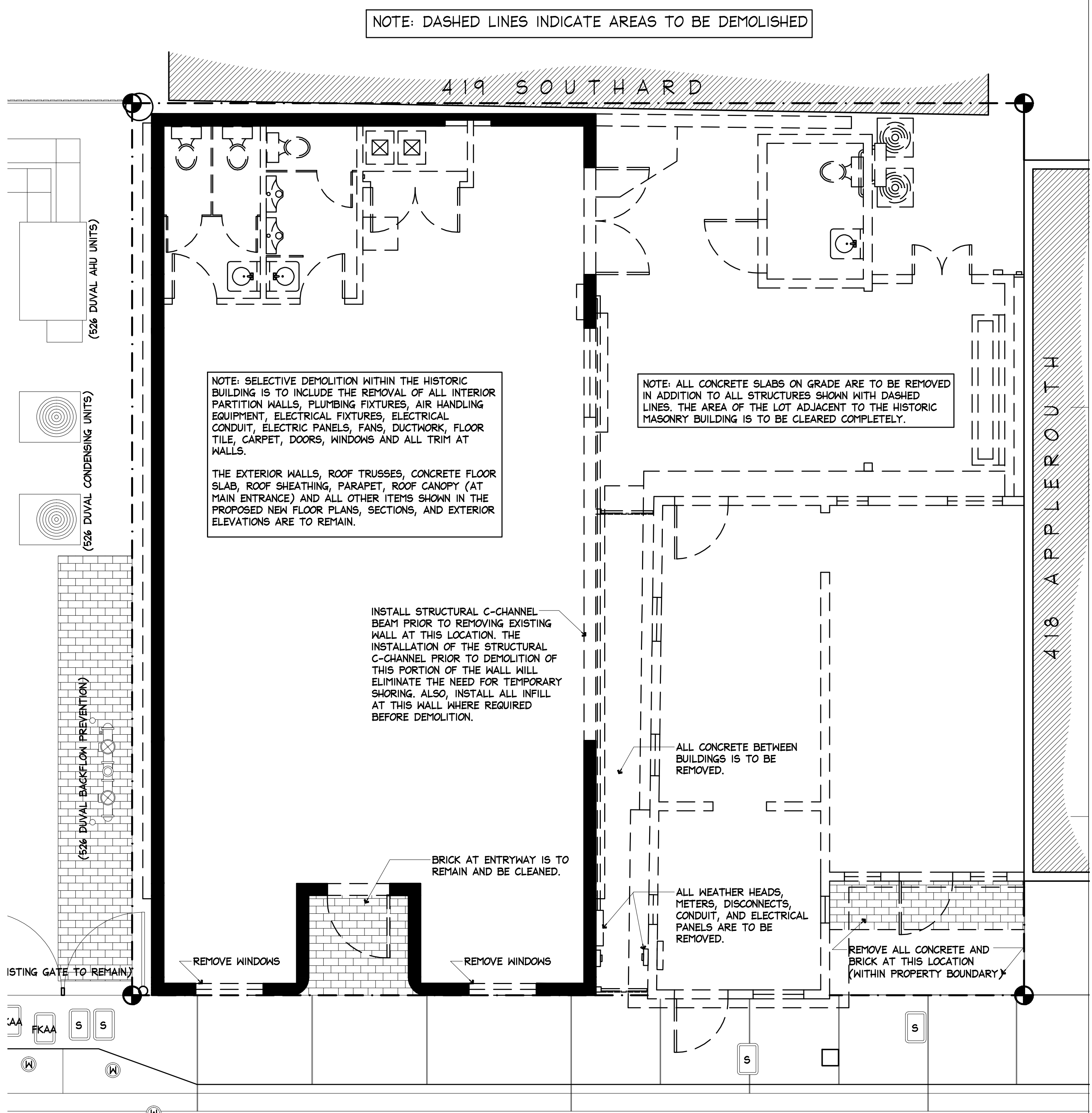
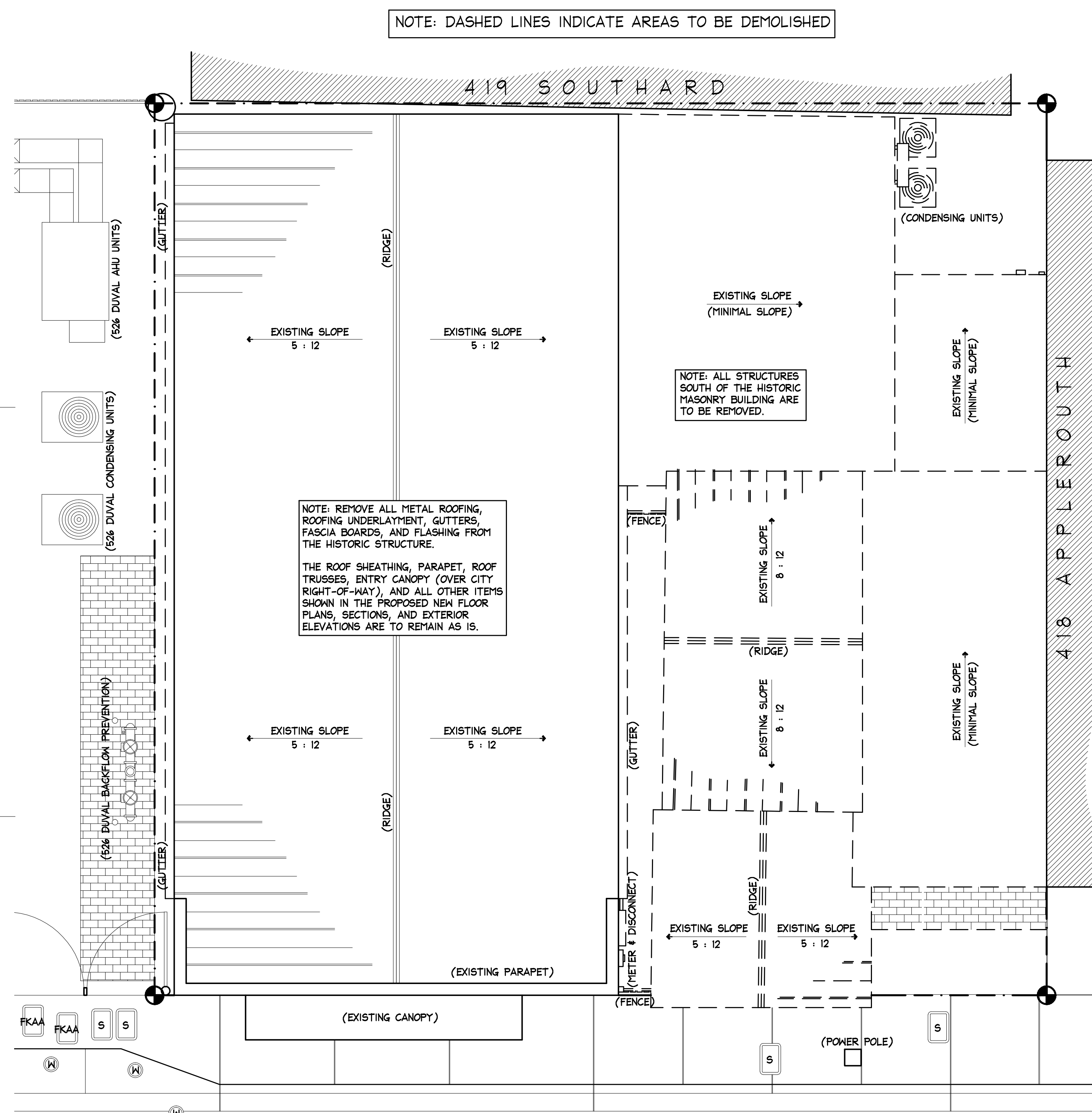
410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No. 155

Date: 10/09/15

EX1



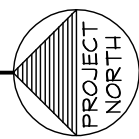
2 DI EXISTING SITE PLAN / DEMOLITION PLAN

SCALE: 1/4"=1'-0"



2 DI EXISTING FLOOR PLAN / DEMOLITION PLAN

SCALE: 1/4"=1'-0"



420-422 APPLEROUTH LANE
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No. 1515

Date: 10/09/15

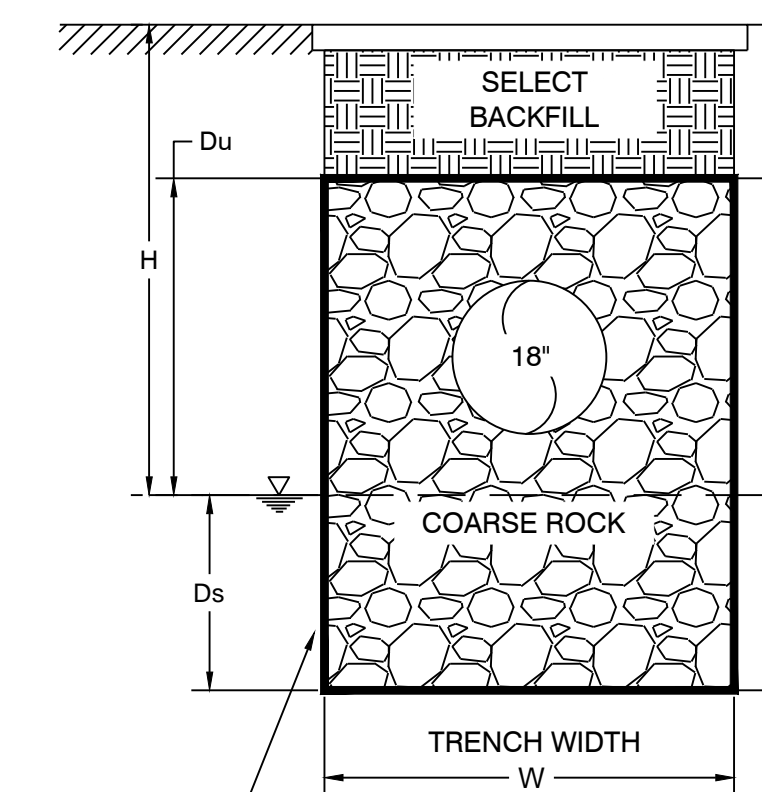
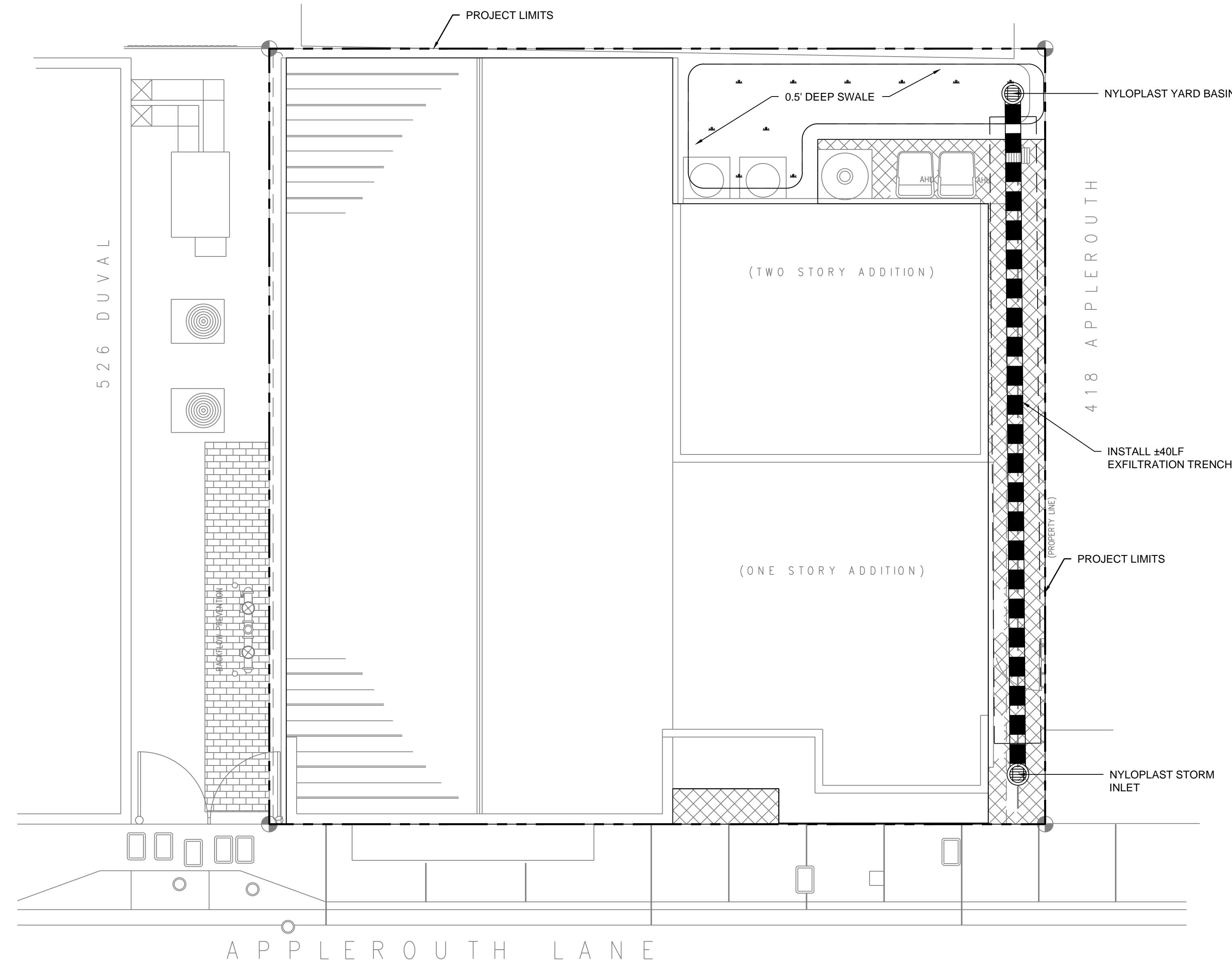
D1

Water Quantity Calculations - 25yr/72hr Design Storm			
Water Quantity - Predevelopment			
Project Area	A =	0.057	ac 2,500 sf
Pervious Area		0.001	ac 55 sf
Impervious Area		0.056	ac 2,445 sf
% Impervious		97.80%	
Rainfall for 25yr/24hr event	P ₂₄ =	9	in
Rainfall for 25yr/3day event	P ₇₂ =	12.23	in
Depth to Water Table		4	ft
Predeveloped Available Storage		8.18	in
Soil Storage	S =	0.18	in
$Q_{pre} = \frac{(P_{72} - 0.2S)^2}{(P_{72} + 0.8S)}$	Q _{pre} =	12.02	in
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72hr} =	0.69	ac-in
Water Quantity - Postdevelopment			
Project Area	A =	0.057	ac 2,500 sf
Pervious Area		0.006	ac 250 sf
Impervious Area		0.052	ac 2,250 sf
% Impervious		90.0%	
Rainfall for 25yr/24hr event	P ₂₄ =	9	in
Rainfall for 25yr/3day event	P ₇₂ =	12.23	in
Depth to Water Table		4	ft
Developed Available Storage		8.18	in
Soil Storage	S =	0.82	in
$Q_{post} = \frac{(P_{24} - 0.2S)^2}{(P_{24} + 0.8S)}$	Q _{post} =	11.30	in
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72hr} =	0.65	ac-in
Postdevelopment - Predevelopment			
$Q_{pre-post} = Q_{post} - Q_{pre}$	Q _{pre-post} =	-0.72	in
Pre/Post Volume = Q _{pre-post} x A	V _{pre-post} =	-0.04	ac-in

Water Quality Calculations - 25yr/72hr Design Storm			
Water Quality			
Project Area	0.057	ac	2,500 sf
Surface Water	0.000	ac	0 sf
Roof Area	0.048	ac	2,025 sf
Pavement/Walkways	0.005	ac	225 sf
Pervious area	0.006	ac	250 sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)	0.005	ac	225 sf
% Impervious	9%		
A) One inch of runoff from project area	0.057	ac-in	
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))	0.013	ac-in	
Comparison of Water Quality Methods			
	0.057	>	0.013
	ac-in		ac-in
Total Volume Required	0.057	ac-in	208 cf
Pond Volume Provided	0.010	ac-in	37 cf
Exfiltration Volume Provided	0.068	ac-in	248 cf
Total Volume Provided	0.079	ac-in	285 cf

Exfiltration Trench Design	
Required trench length (L) =	
$\frac{V}{K(H^2W + 2H^2Du - Du^2 + 2H^2Ds) + 1.39 \times 10^{-4}(W)(Du)}$	
Assumed Hydraulic Conductivity, K = 0.0000145	
H =	4.5 ft
W =	3 ft
Du =	3 ft
Ds =	0 ft
Volume of Trench, V =	0.068 ac-in
Trench Length Provided =	40 FT

NOTE: CONTRACTOR TO COORDINATE CONVEYANCE OF ROOF DRAINS/RUNOFF TO NEW STORMWATER MANAGEMENT SYSTEM



Exfiltration Trench Detail
NOT TO SCALE

REVISIONS:	ORIGINAL:
1	
2	
3	
4	
5	
6	

JOB NO.	151080
DRAWN	BGO
DESIGNED	AEP
CHECKED	AEP
QC	
SHEET	

PROJECT STATISTICS

FEMA FLOOD ZONE	ZONE 'X'		
ZONING DESIGNATION	HRCC-1		
LOT SIZE	2,500 S.F.		
OCCUPANCY	ASSEMBLY (A-2)		
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE	1,250 S.F. MAX.	2,225 S.F. MAX.	2,025 S.F. (200SF LESS)
2,500 S.F. X 50%			
BUILDING HEIGHT	35'-0" MAX.	16'-5"	21'-8"
IMPERVIOUS SURFACE	1,750 S.F. MAX.	2,445 S.F.	2,270 S.F. (175SF LESS)
2,500 S.F. X 70%			
FRONT SETBACK (STREET)	0'-0" MIN.	0'-0"	0'-0" (NO CHANGE)
SIDE SETBACK (NORTH)	2'-6" MIN.	1'-1"	1'-1" (NO CHANGE)
SIDE SETBACK (WEST)	2'-6" MIN.	0'-0"	3'-8" (IMPROVED/COMPLIANT)
REAR SETBACK	10'-0" MIN.	0'-7"	0'-7" (10'-0" AT NEW ADDITION)
FLOOR AREA RATIO	F.A.R. = 1 MAX	.89	.95 (2,360SF TOTAL FLOOR AREA)
CONSUMPTION AREA	N/A	1,750 S.F.	1,100 S.F. (650SF LESS)

OCCUPANCY & FIXTURE STATISTICS

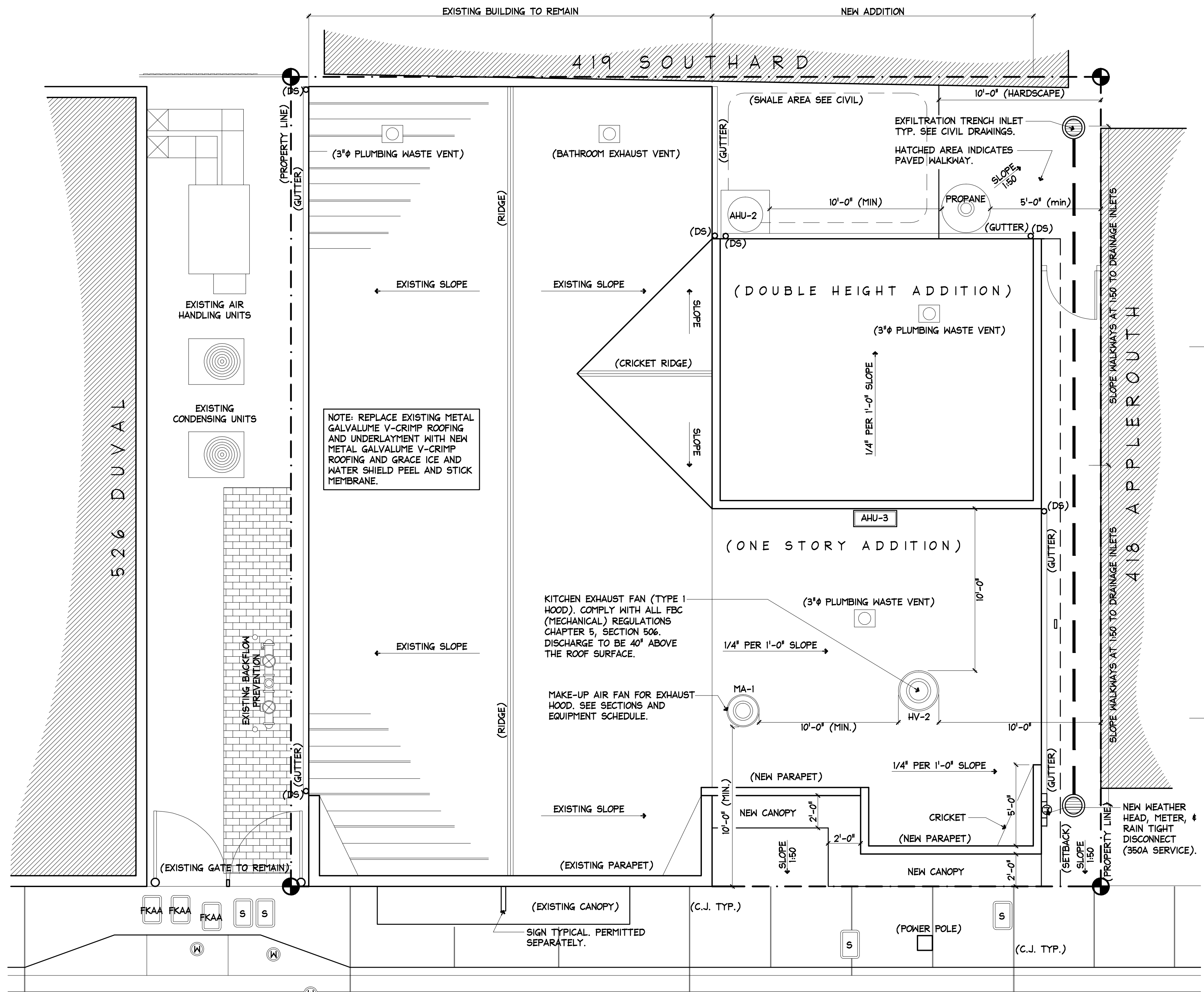
OCCUPANCY LOAD AND FIXTURE REQUIREMENTS BASED ON FBC (BUILDING) TABLE 1004.1.2 AND FBC (PLUMBING) TABLE 403.1

OCCUPANCY LOAD

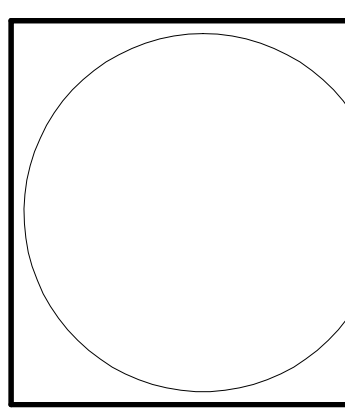
ASSEMBLY AREA WITHOUT FIXED SEATS (UNCONCENTRATED : 15 SF NET)	STORAGE AREA (300 SF GROSS)	KITCHEN AREA (200 SF GROSS)	TOTAL OCCUPANCY	NOTES:
1,100 SF / 15 SF = 74	295 SF / 300 SF = 1	330 SF / 200 SF = 2	77 PERSONS	

FIXTURE REQUIREMENT BASED ON A-2 OCCUPANCY 39 MALE / 39 FEMALE

WATER CLOSET MALE & FEMALE = 1 PER 40	LAVATORIES MALE & FEMALE = 1 PER 40	DRINKING FOUNTAINS	NOTES:
1 FEMALE / 1 MALE	1 FEMALE / 1 MALE	NOT APPLICABLE PER FBC (PLUMBING) SECTION 410.3	



420-422 APPLEROUTH LANE
KEY WEST, FLORIDA



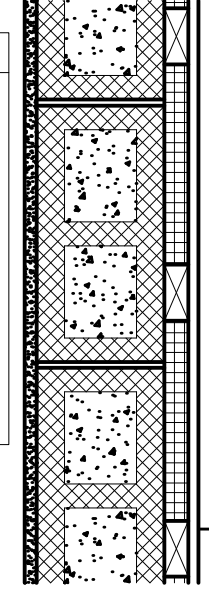
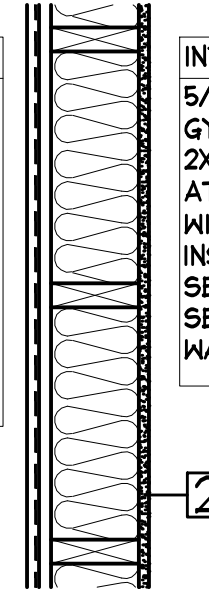
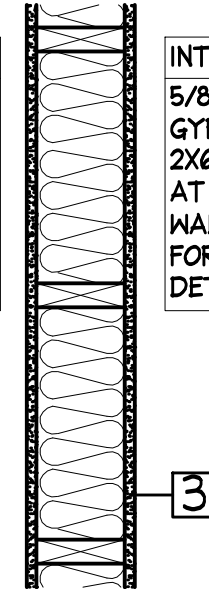
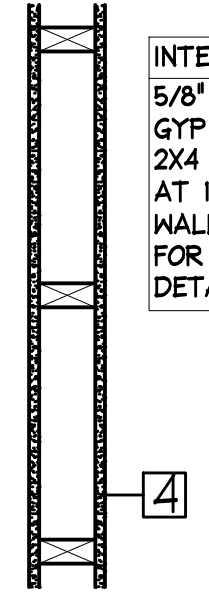
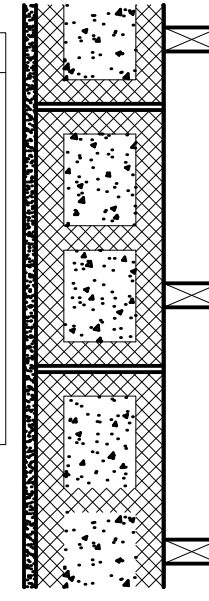
410 Angela Street
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Florida License AAC002022

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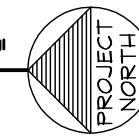
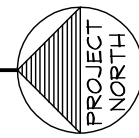
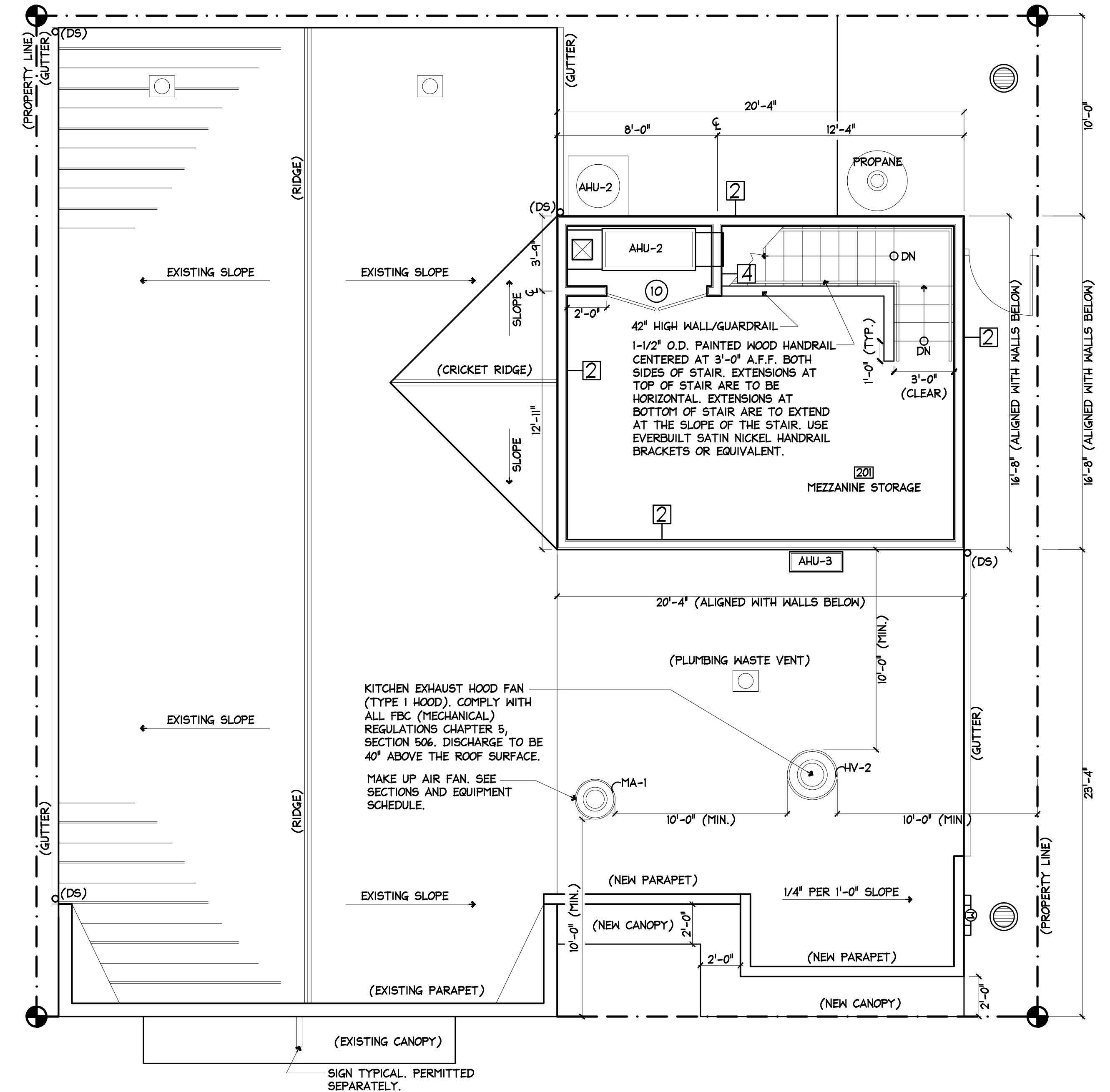
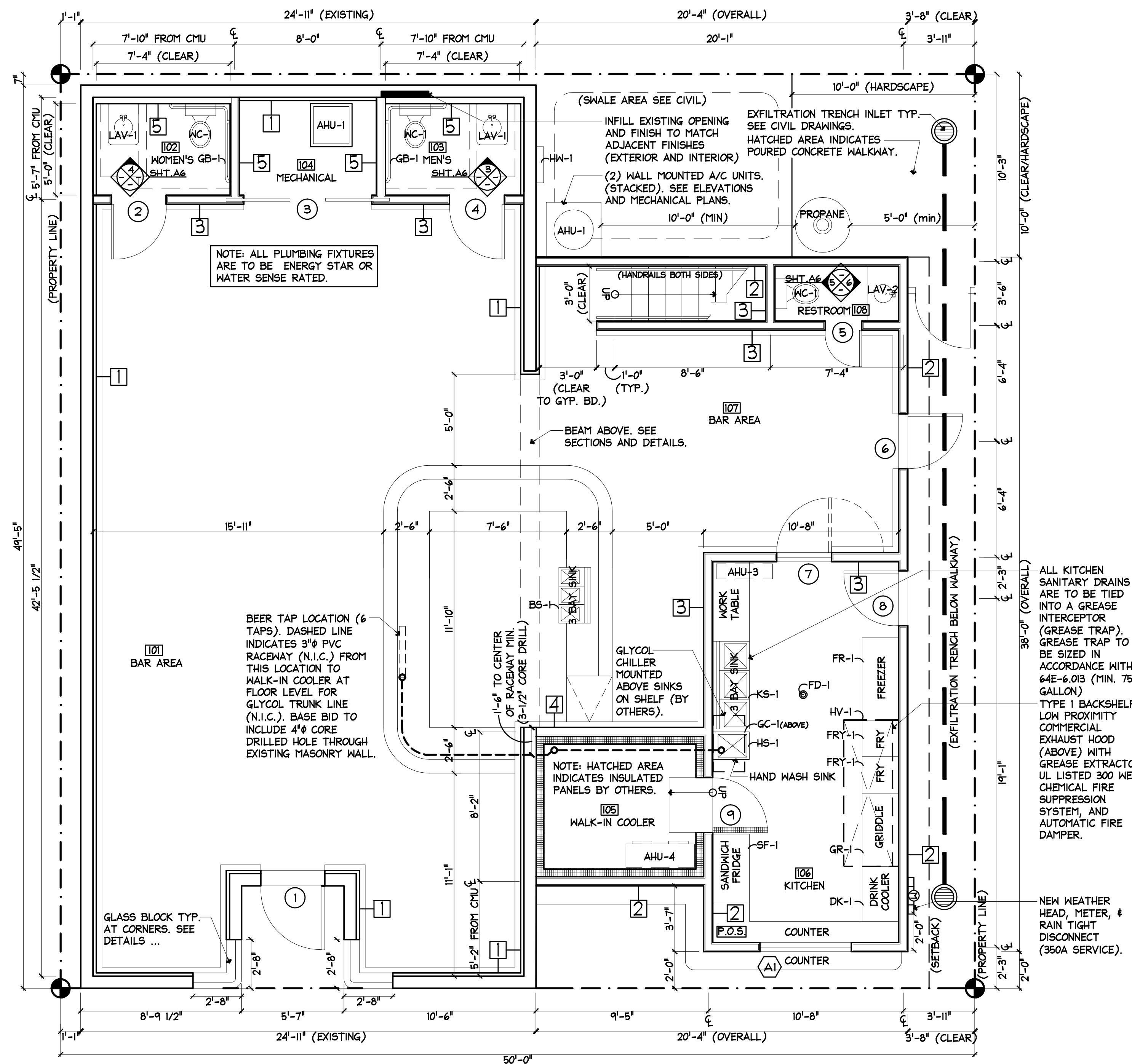
Project No: 1515

Date: 10/09/15

A1

1	EXISTING EXTERIOR WALL	2	NEW EXTERIOR WALL	3	INTERIOR WALL (PLUMBING/LOAD BEARING)	4	INTERIOR PARTITION WALL	5	PLUMBING WALL
	<p>EXTERIOR PATCH AND REPAIR EXISTING STUCCO. APPLY NEW STUCCO WHERE REQUIRED FOR PATCHING. PAINT ALL WALLS. SEE SPECIFICATIONS FOR PAINT TYPES.</p>  <p>INTERIOR 5/8" PAINTED GYP BOARD OVER 2X4 P.T. FURRING AT 1'-4" O.C. TYPICAL. INSTALL 1-1/2" POLYISO RIGID INSULATION WITH THERMOFOIL BACKER BETWEEN FURRING. SEE WALL SECTIONS FOR MAINSCOT DETAIL.</p> 	<p>EXTERIOR (3) COAT EXTERIOR STUCCO OVER PAPER BACKED METAL LATH OVER 3/4" P.T. PLYWOOD OVER 2X6 P.T. STUDS. ALL EXTERIOR WALLS TO BE PAINTED. SEE SPECIFICATIONS.</p> 	<p>INTERIOR 5/8" PAINTED GYP BOARD OVER 2X6 P.T. STUDS AT 1'-4" O.C. SEE WALL SECTIONS FOR MAINSCOT DETAIL.</p> 	<p>EXTERIOR PATCH AND REPAIR EXISTING STUCCO. APPLY NEW STUCCO WHERE REQUIRED FOR PATCHING. PAINT ALL WALLS. SEE SPECIFICATIONS FOR PAINT TYPES.</p>  <p>INTERIOR TILE OVER 1/2" CEMENTITIOUS BD. OVER 2X4 P.T. STUDS AT 1'-4" O.C.</p>					

NOTES: 1. INTERIOR WALL FINISH AT BATHROOMS IS TO BE TILE OVER 5/8" MOISTURE RESISTANT GYP. BD. (FLOOR TO CEILING). SEE INTERIOR ELEVATIONS AND ROOM FINISH SCHEDULE.
 2. INTERIOR OF WALK-IN COOLER IS TO BE 1/2" P.T. PLYWOOD. INSULATED PANELS BY OTHERS.



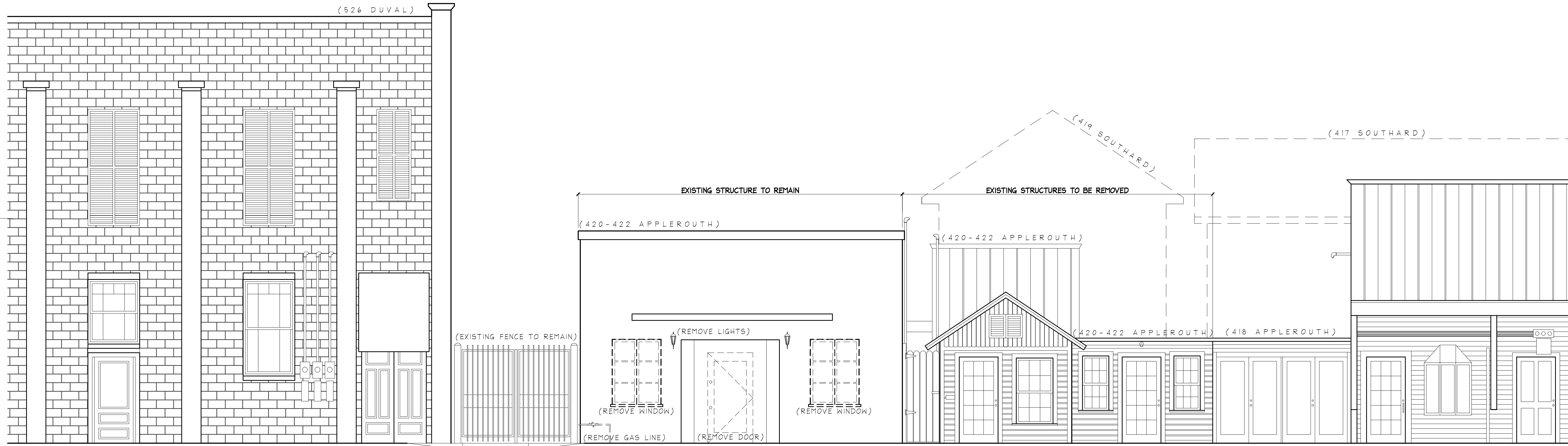
420-422 APPLEROUTH LANE
KEY WEST, FLORIDA

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Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

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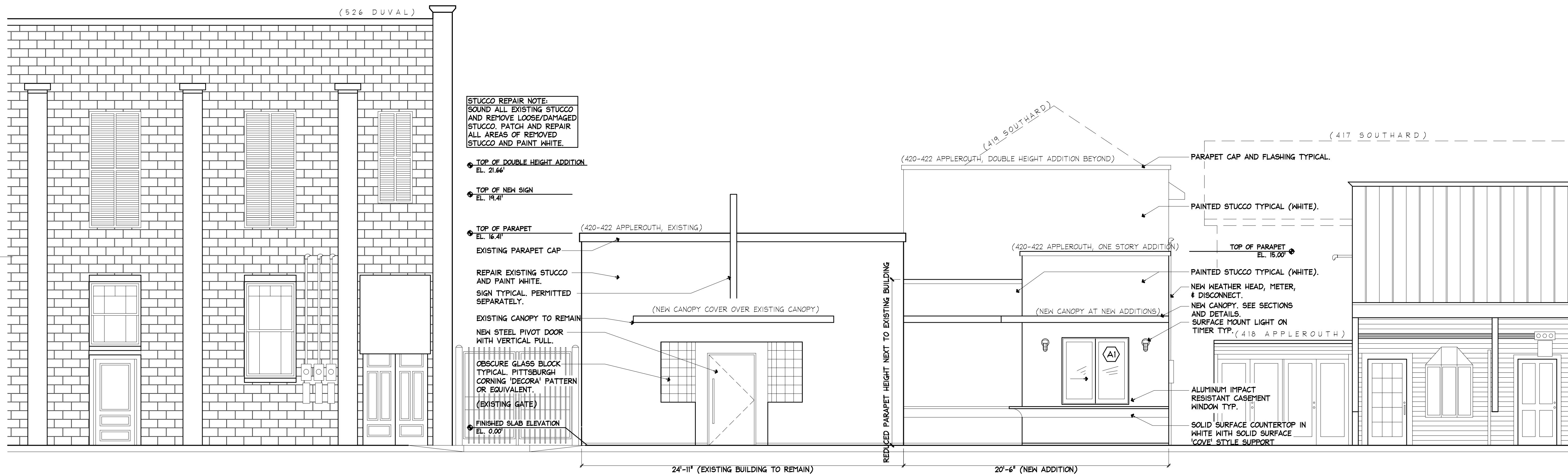
Project No: 155
Date: 10/09/15

A2



1
A3 EXISTING STREET ELEVATION (WEST ELEVATION)

SCALE: 1/4"=1'-0"



2
A3 PROPOSED STREET ELEVATION (WEST ELEVATION)

SCALE: 1/4"=1'-0"

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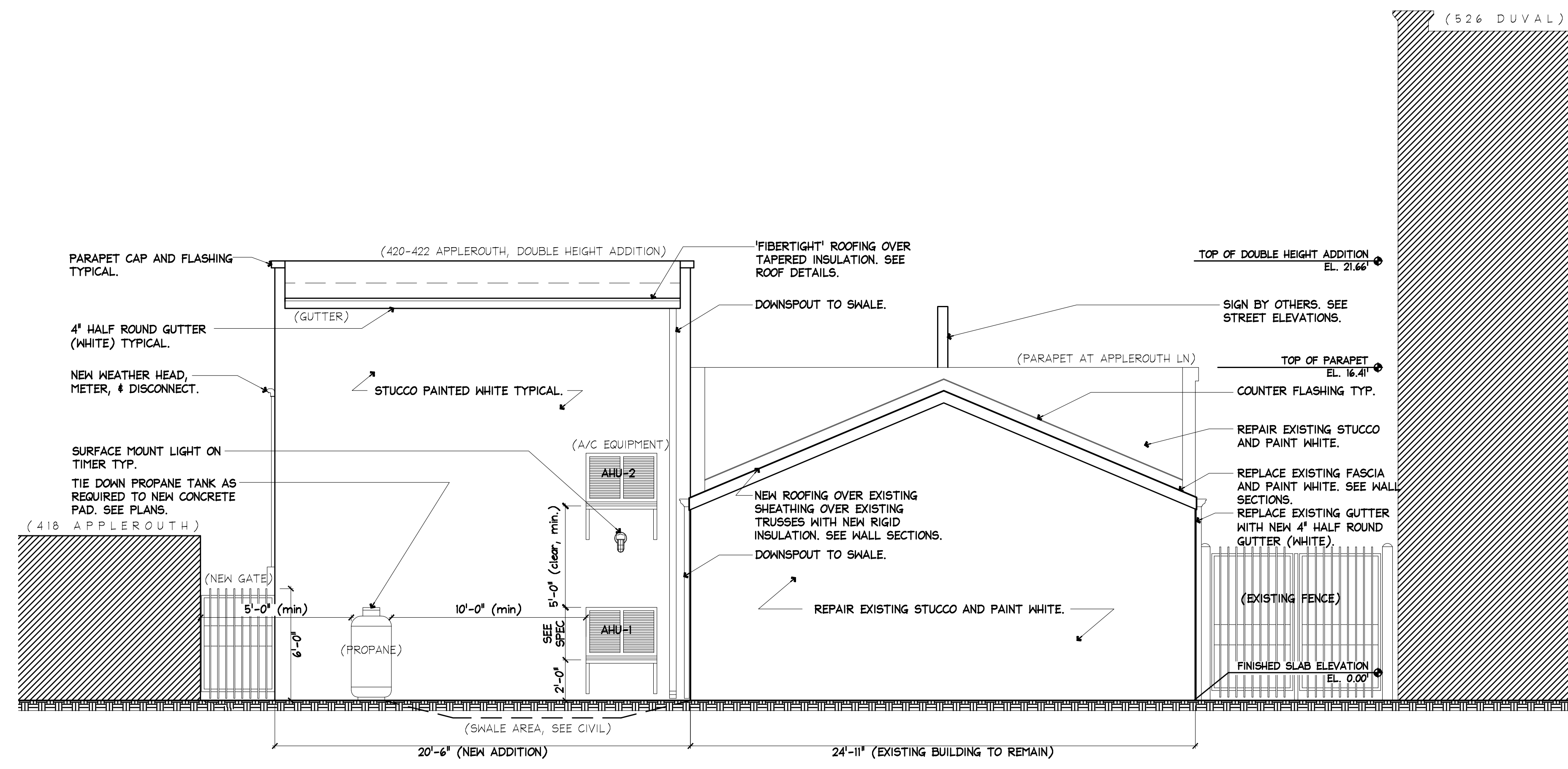
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Project No: 155

Date: 10/09/15

A3

420-422 APPLEROUTH LANE
KEY WEST, FLORIDA



3 PROPOSED EAST ELEVATION

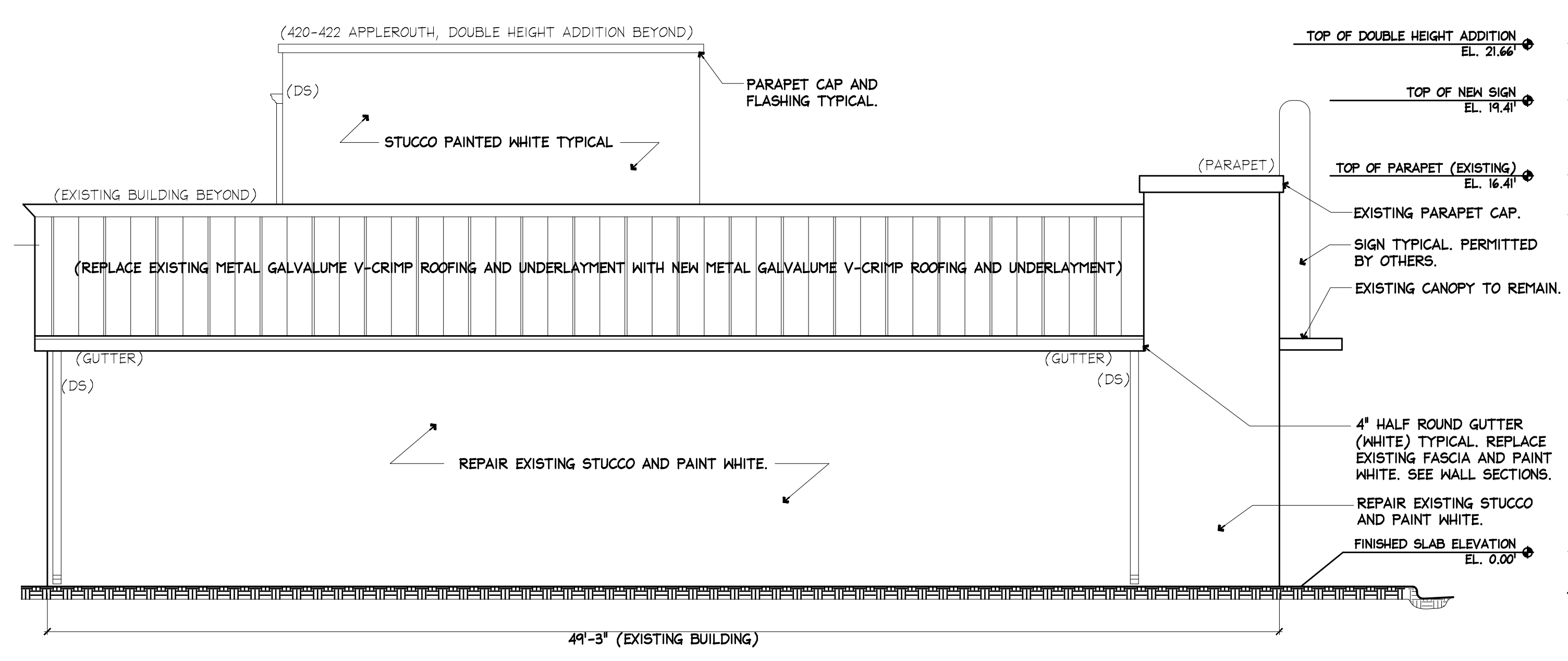
SCALE: 1/4"=1'-0"

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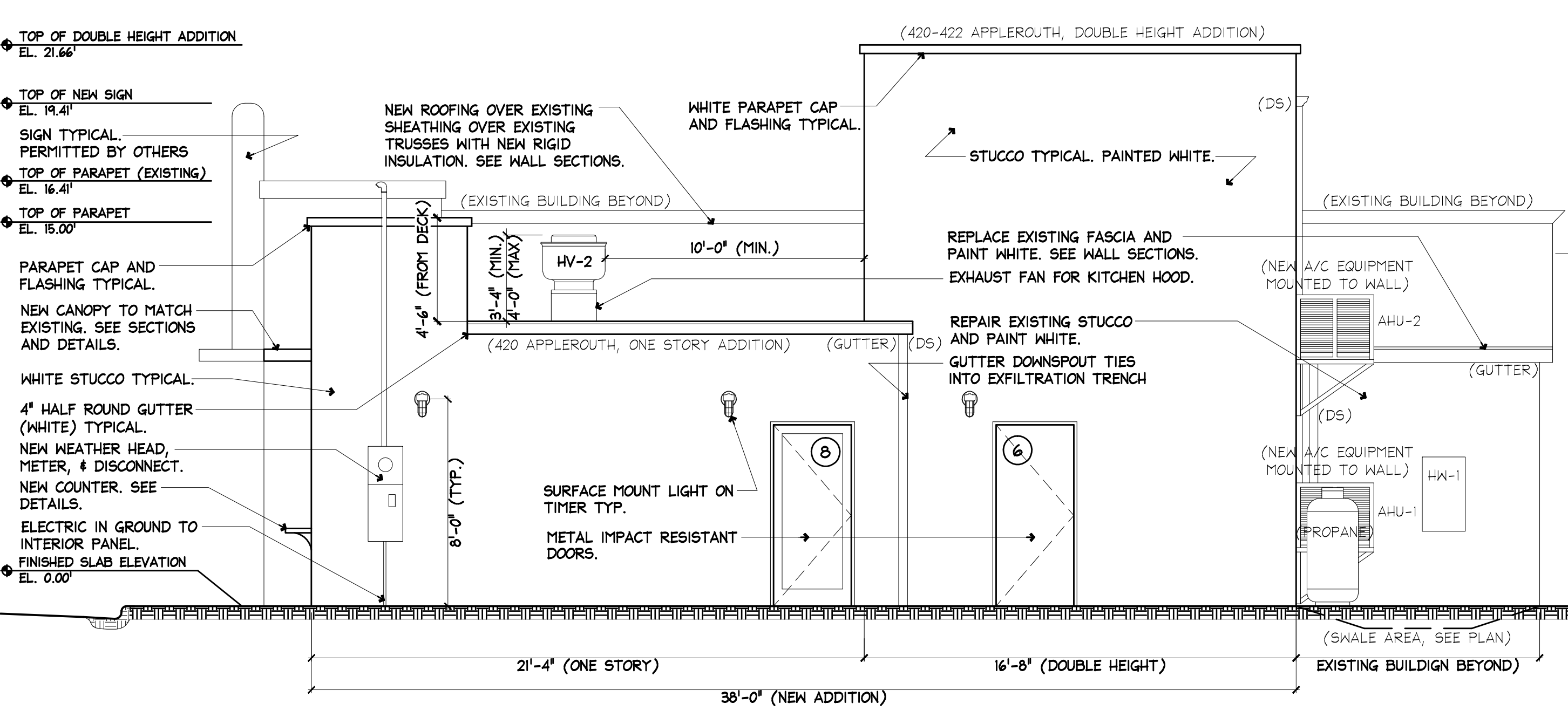
Project No: 155
Date: 10/09/15

A4



1 PROPOSED NORTH ELEVATION

SCALE: 1/4"=1'-0"



2 PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"

420-422 APPLEROUTH LANE LIFE SAFETY CODE CALCULATIONS: FLORIDA BUILDING CODE 2014, BUILDING

Section 304 Occupancy Classification:
 Bar: Group 'A-2' Assembly
Building Area:
 1st Floor: 2,025 s.f.
 Mezzanine: 335 s.f.
 Total: 2,360 s.f.

Table 601 Construction Type: Type V-B construction, non-sprinklered.
 Primary structural frame: 0 hours.
 Exterior / Interior Bearing walls: 0 hours.
 Exterior Non-bearing walls: 0 hours.
 Interior Non-bearing walls: 0 hours.
 Floor construction / Secondary members: 0 hours.
 Roof construction / secondary members: 0 hours.

Table 503 Allowable Building Heights & Areas (Type V-B):

Group	# Stories Allowed	Area Allowed	Bldg. Height Allowed:
A-2	1	6,000sf/floor	40'
Proposed:	1 Story + mezz.	2,360SF	22'

 (Storage Area = Mezzanine, FBC section 505)

Section 505 A mezzanine in compliance with Section 505.2 shall be considered a portion of the story below. Such mezzanines shall not contribute to either the building area or number of stories as regulated by Section 503.1.

Table 1004.1.2 Occupancy Loads:
 1st Floor: A-2
 1,100s.f. / 15 net (unconcentrated) = 74 persons
 * Kitchen : 330s.f. / 200 = 2 persons
 2nd floor: A-2 (Mezzanine Storage)
 335 s.f. / 200 gross (storage) = 1 persons

Table 707.3.9 Fire Resistant Separations:
Group: A-2 Separation: N/A

Table 1021.2 Number of Exits Required:
 1st floor: 2
 Mezzanine: 1 (Section 505)

Table 1016.2 Exit Access Travel Distance:
Occupancy Group: A-2 : ASSEMBLY Travel Distance: 87' (200' allowable) OK.

Section 1005.1 Egress Width:
 1st Floor: 77 persons x .2" = 16" (36" provided)
 Mezzanine: 1 persons x .2" = .2" (36" provided)

Section 1009.1 Minimum Stair Width: 36" clear min. (mezzanine storage)

LIFE SAFETY LEGEND

- 1 HR RATED WALL / PARTITION
- XX CLR EGRESS WIDTH (INCHES)
- XX EGRESS CAPACITY (# OF PERSONS)
- COMMON PATH
- ☑ FIRE EXTINGUISHER CABINET (RECESSED)
- 🔊 FIRE ALARM HORN / VISUAL ALARM
- 🔊 FIRE PULL STATION
- 🔊 SPEAKER (PUBLIC ANNOUNCEMENT)
- 🔊 STROBE LIGHT
- 🔍 SMOKE DETECTOR
- 🔍 HEAT DETECTOR
- 🚪 EMERGENCY EXIT
- 🔦 EMERGENCY LIGHTING FIXTURE
- FIRE SPRINKLER HEAD

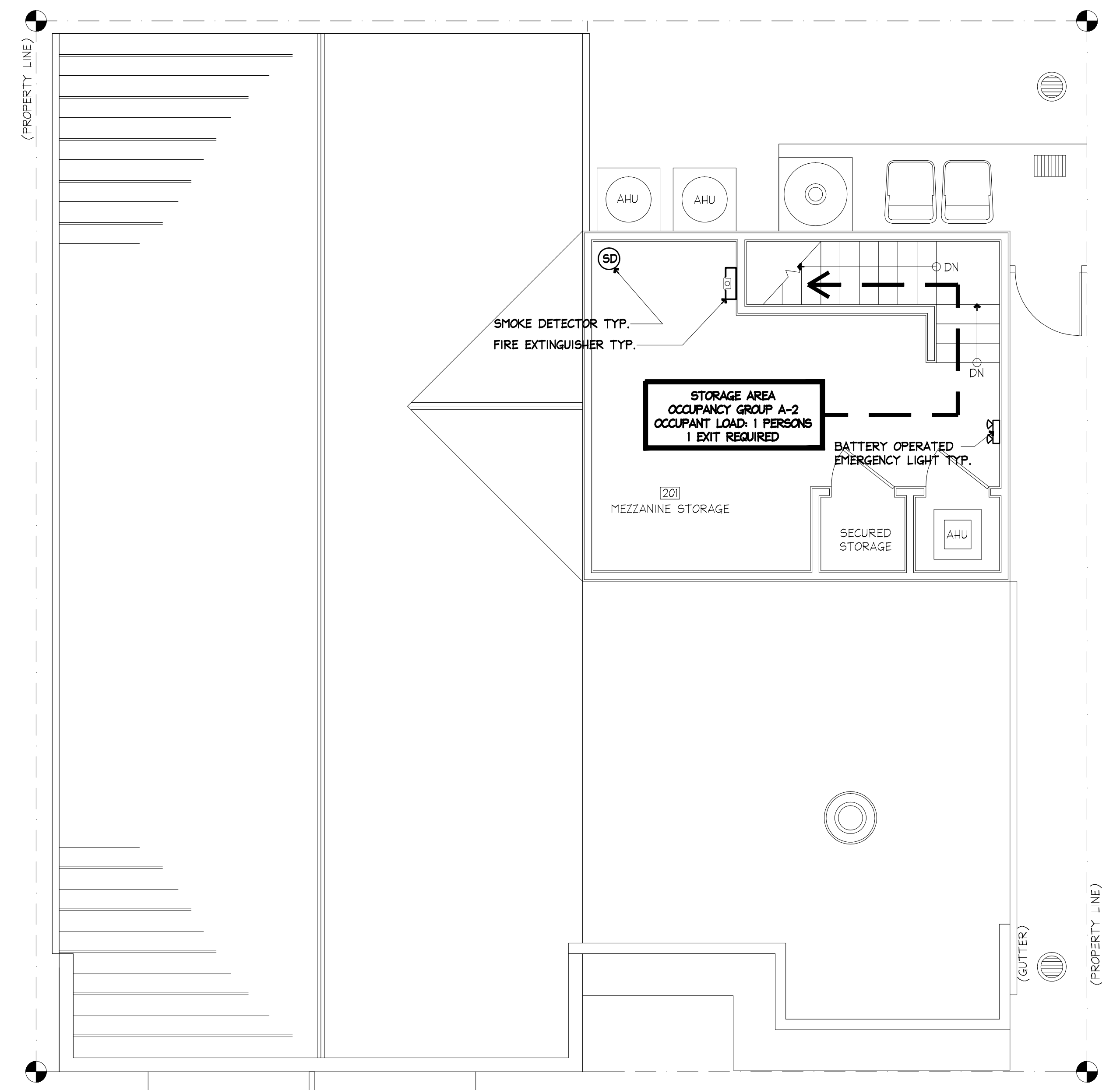
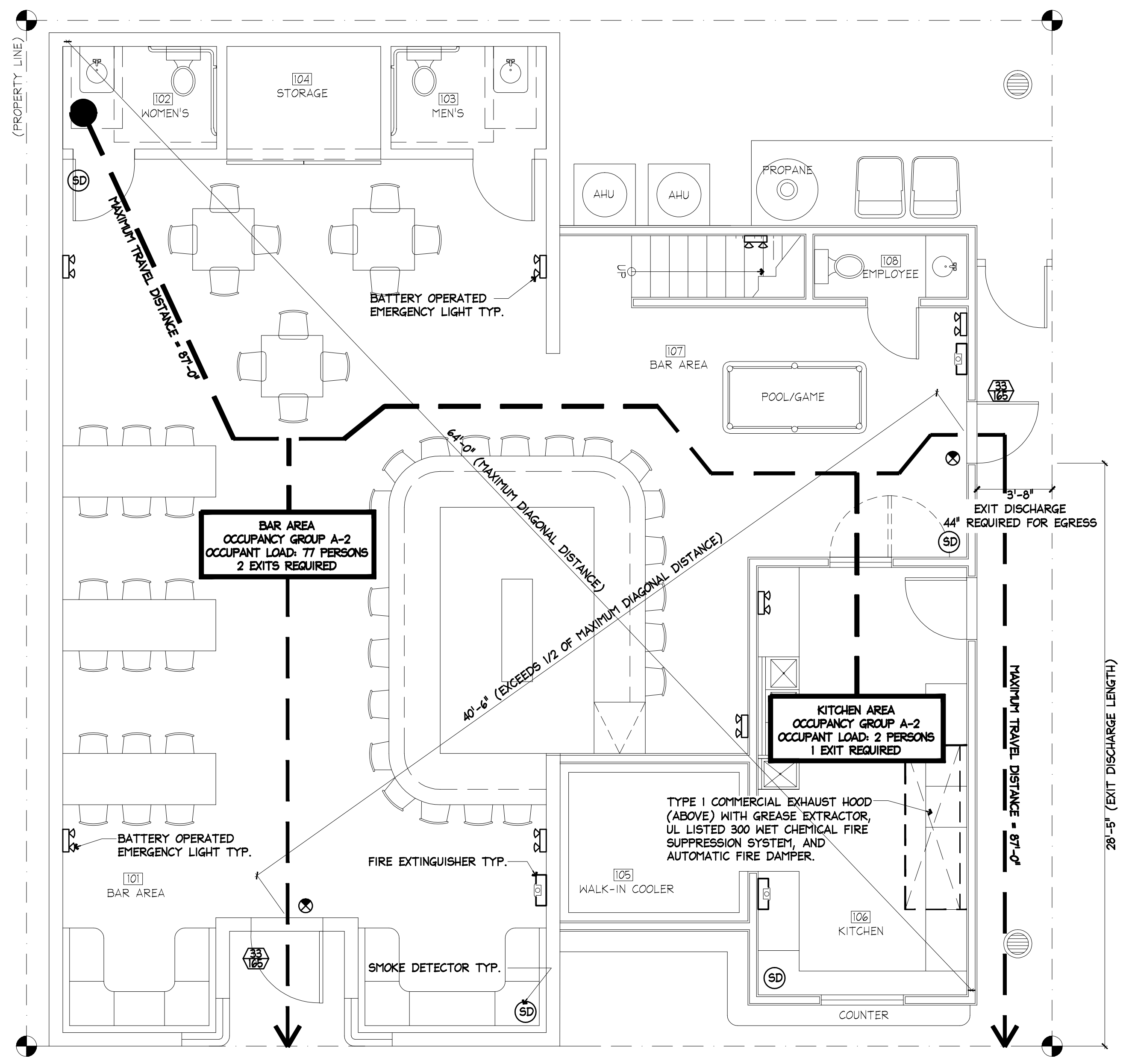
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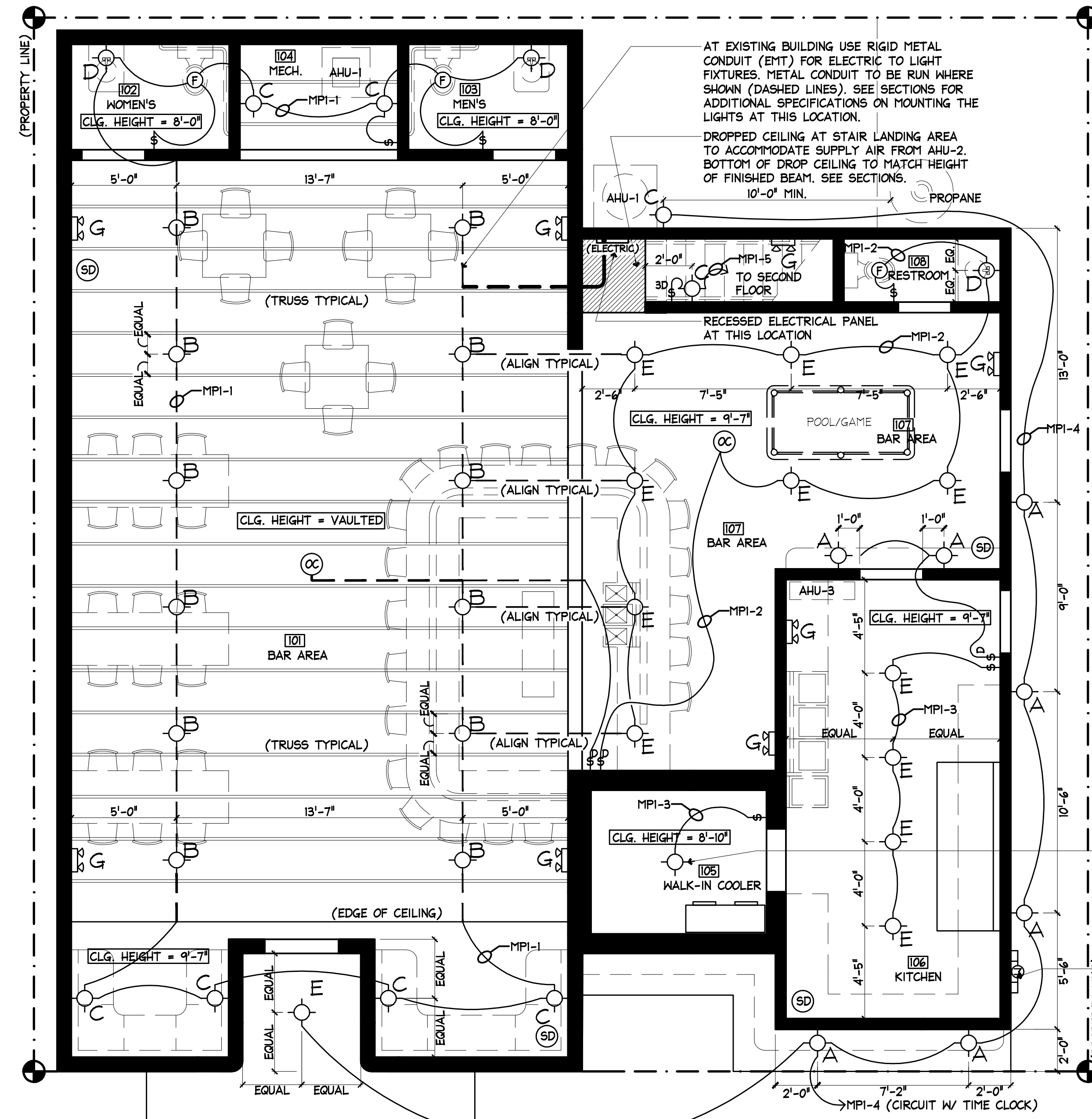
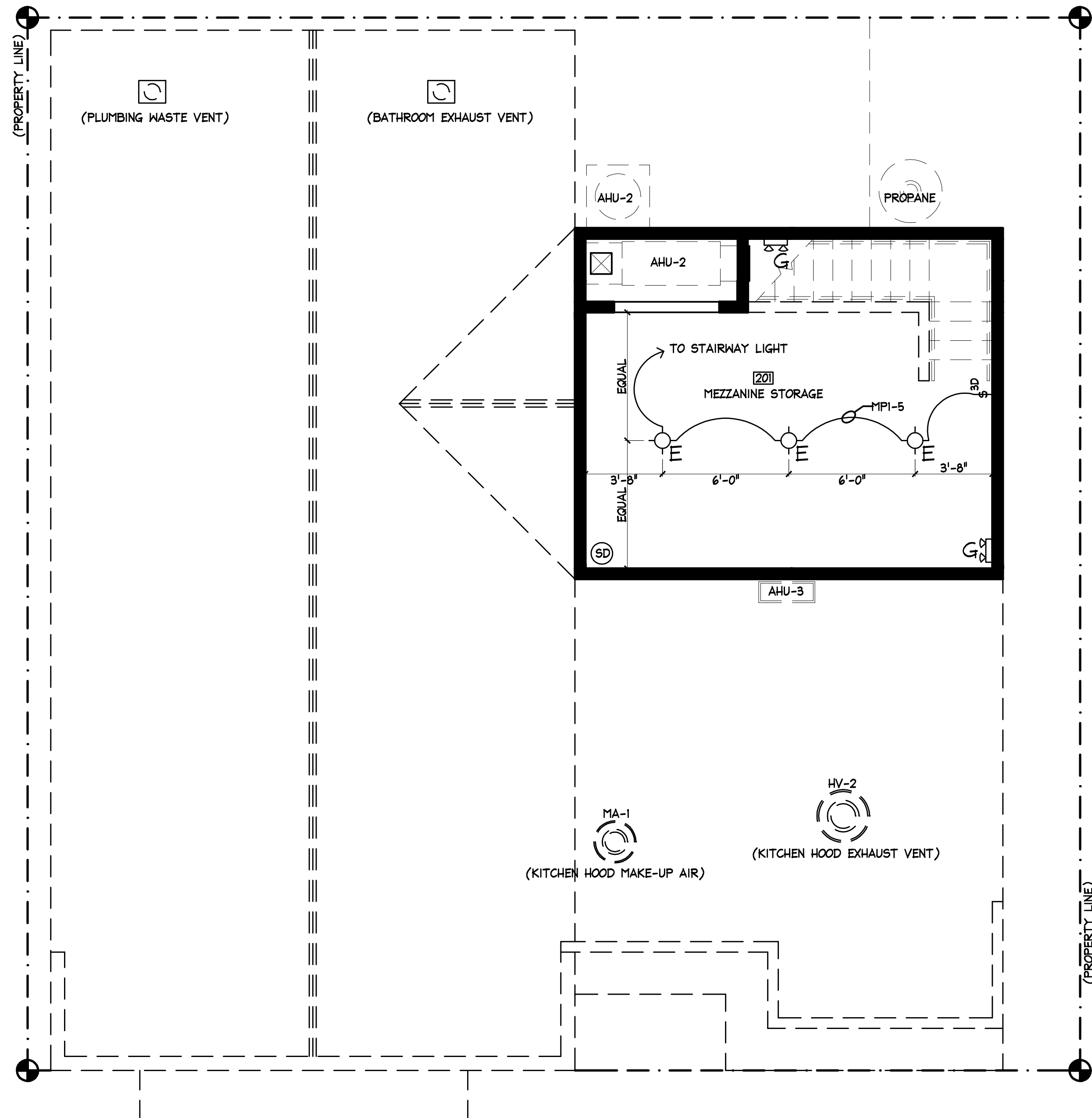


LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	LAMPS	REMARKS
A	WALL SURFACE MOUNT	BARN LIGHT ELECTRIC 'ATOMIC TOPLESS STREAMLINE' (GALVANIZED) #BLE-W-CGG-PC-975-CGG-FST	LED 16.8W/1600 LUMEN, 2700K	
B	CORD HUNG	BARN LIGHT ELECTRIC 'ATOMIC TOPLESS' (GALVANIZED) #BLE-CGG-975-CRZ-FST	LED 16.8W/1600 LUMEN, 2700K	--
C	WALL SURFACE MOUNT	BARN LIGHT ELECTRIC 'ATOMIC TOPLESS STREAMLINE' (GALVANIZED) #BLE-W-CGG-PC-975-CGG-FST	LED 16.8W/1600 LUMEN, 2700K	
D	WALL SURFACE MOUNT	BARN LIGHT ELECTRIC 'ATOMIC TOPLESS STREAMLINE' (GALVANIZED) #BLE-W-CGG-PC-975-CGG-FST	LED 16.8W/1600 LUMEN, 2700K	
E	CEILING SURFACE MOUNT	BARN LIGHT ELECTRIC 'THE BULLET' (GALVANIZED) #BLE-F-CGG-PC-975-FM-CGG-FST	LED 16.8W/1600 LUMEN, 2700K	--
F	EXHAUST FAN	NUTONE ZN10 FAN WHITE		
G	EMERGENCY LIGHT (BATTERY OPERATED)	LITHONIA ELM2 LED HO M12 LED EMERGENCY LIGHT W/ HIGH OUTPUT NI-CAD BATTERY		

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊖	DUPLEX CONVENIENCE RECEPTACLE OUTLET	⊙	CEILING MOUNTED LIGHT FIXTURE
WP ⊖	WEATHERPROOF DUPLEX OUTLET	⊖	RECESSED LIGHT FIXTURE
GFI ⊖	GROUND FAULT INTERRUPTED DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	QUADRUPLEX RECEPTACLE OUTLET	⊖	SURFACE MOUNT EXHAUST FAN
⊖	SPECIAL PURPOSE OUTLET - 120V	⊙	SINGLE HEAD SWIVEL FIXTURE (EXTERIOR) W/ MOTION SENSOR DEVICE
⊖	SPLIT WIRED DUPLEX RECEPTACLE OUTLET W/ TOP RECEPTACLE SWITCHED	⊖	BATTERY POWERED EMERGENCY LIGHT
⊖	FLUSH FLOOR DUPLEX OUTLET W/ COVER	⊖	UNDER CABINET LIGHTS
⊖	SPECIAL PURPOSE HARD WIRED CONNECTION	⊖	CEILING FAN
⊖	240V CONNECTION W/ DISCONNECT	⊖	PANEL
⊖	SINGLE POLE SWITCH	⊖	MODULAR TELEPHONE JACK
⊖	3 WAY SWITCH (SWITCHED IN TWO LOCATIONS)	⊖	CABLE TELEVISION OUTLET
⊖	DIMMING DEVICE	⊖	THERMOSTAT
⊖	3 SPEED FAN SWITCH	⊖	SMOKE DETECTOR



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E1

Site Photos

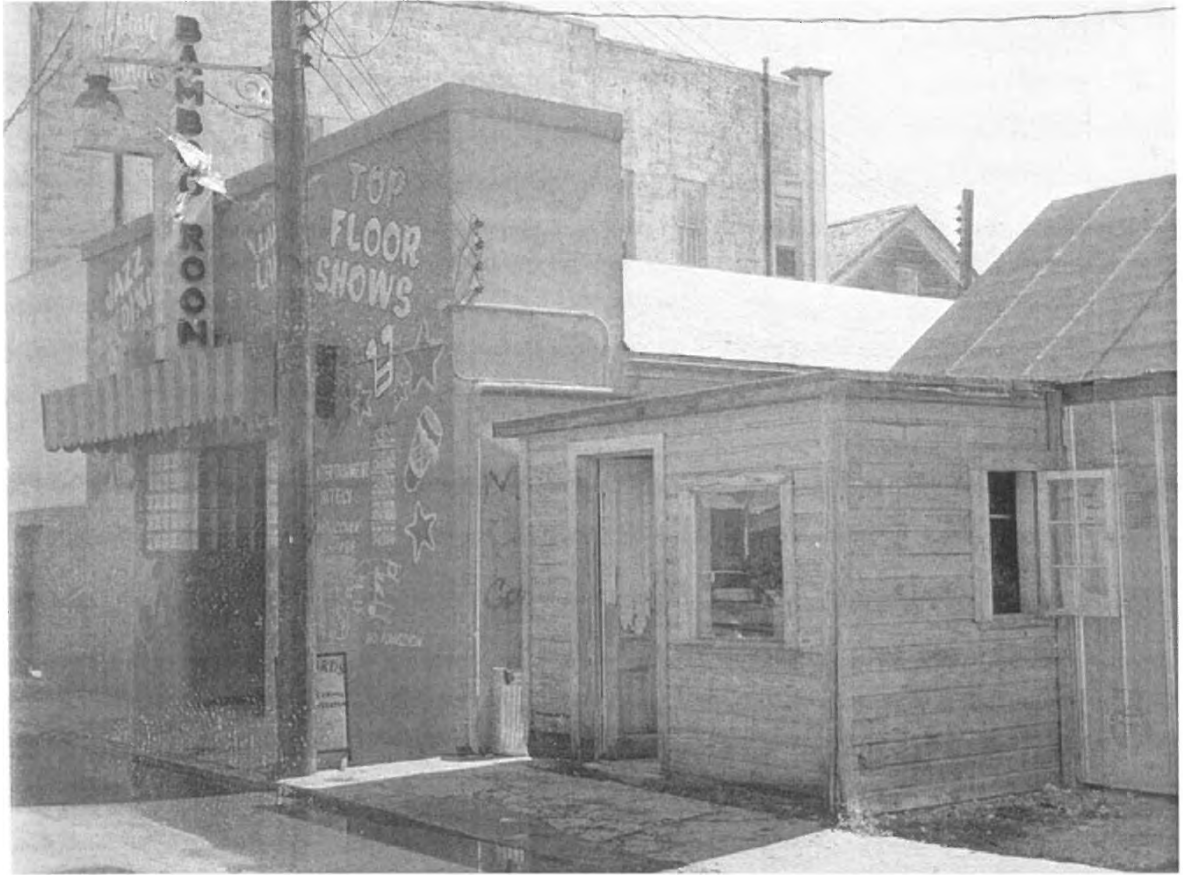


Photo taken by the Property Appraiser's office c1965; 422 Smith Lane (Appelrouth Lane); The Bamboo Room; Monroe County Library

Additional Information

**PLANNING BOARD RESOLUTION
No. 2002-037**

A RESOLUTION OF THE KEY WEST PLANNING BOARD GRANTING APPROVAL OF A CONDITIONAL USE APPLICATION FOR PROPERTY LOCATED AT 420-422 APPELROUTH LANE (RE#000009780-000000) FOR THE OPERATION OF AN AREA AT 420 APPELROUTH LANE RELATED TO AN EXISTING BAR/LOUNGE AT 422 APPELROUTH LANE KNOWN AS "WAX," AND TO PROVIDE A SERVICE/CONSUMPTION AREA FOR THAT MINI-BAR; PROVIDING FOR CONDITIONS; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Bonnie Berman, the owner of 420-422 Appelrouth Lane, by and through her agent, Rudi Armbruster, Vice President, Armbruster Development Corp., filed an application on September 3, 2002, for a Conditional Use for the operation of an area at 420 Appelrouth Lane related to an existing bar/lounge at 422 Appelrouth Lane known as "Wax," and to provide a service/consumption area for that mini-bar; and

WHEREAS, Michael L. Browning, Esq., of Browning & Sireci, P.A., Attorneys at Law, submitted related correspondence on September 3, 2002, on behalf of the application that referenced prior correspondence and discussions with the City including Building, Licensing and Planning Departments and prior and present business owners; and

WHEREAS, this property is located in the HRCC-1 zoning district (Historic Residential Commercial Core: Duval Street Gulfside District) where Bars and Lounges are a conditional use; and

WHEREAS, the Development Review Committee met September 26, 2002 and had the following comments:

1. Written comment from Florida Keys Aqueduct Authority: This site is presently served by FCAA Account #03496 which is 5/8" domestic meter. The addition of additional fixtures may require a meter upgrade. The meter could be installed in the same box. The addition of any water using fixtures will result in System Development Fees being due.
2. Written comment from Keys Energy Services: Please be advised, KEYS has concerns regarding existing "exterior passage" between 420 and 422 Appelrouth Lane, that there is less than 2 feet clearance between faces of meters in passageway.
3. If any future food service is anticipated, a new grease trap installation will be necessary (applicants have stated no such service is planned at this time)
4. Some effort should be made to retain stormwater on site although even outdoor area is now surfaced.
5. Some effort, possibly related to stormwater retention, should be made to show landscaping

6. Concern was expressed about a tree adjacent to or at the right property line area and that it should be protected including root structure and canopy (location was not certain).
7. Renovation will be needed for handicapped restroom facilities.
8. Also handicapped regulations related to a bar could mean a table at which patrons can be serviced.
9. Egress doors with panic hardware will be required at the street side of the proposed mini-bar area.
10. A referenced "exterior passage" should be eliminated, with the sole bar entry/ingress continuing to be the existing main entrance to the bar/lounge masonry structure. An exit-only gate could remain.
11. The gate and adjacent open area beside the masonry building could be used for garbage/solid waste receptacles; and

WHEREAS, The Planning Department, in the staff report dated October 10, 2002 by Wendy Tucker, Development Review Administrator, recommended approval of the project with the following conditions:

1. ADA compliant bathroom and bar or seating to accommodate the handicapped.
2. Swinging doors from the nightclub area to the outside patio to contain sound within the masonry building.
3. No amplified music in the mini-bar or patio area;
4. Payment of impact fees for the proposed new mini-bar area, and also for the following areas as required retroactively by the Building and Licensing Departments:
 - The former 'office' area inside the masonry building;
 - The "patio" area that has not previously been accounted for by payment of such fees; and

WHEREAS, the Planning Board, after due public notice, considered this application at its meeting of October 17, 2002; and

WHEREAS, there were 78 notices sent out to property owners within 300 feet, six returned with no objection and one returned with objection; and

WHEREAS, the attorney representing the application requested that it be tabled for a month so that he could meet with the person objecting and address her concerns, and

WHEREAS, Member Richard Klitenick notified the Board that he has represented the applicant and wants to recuse himself from the vote and the discussion; and

WHEREAS, there was a motion made by Member Patricia Eables and seconded by Member Bill Verge to table this matter until the next meeting, with the voice vote unanimous to table (Member Klitenick abstaining because of his recusal); and

WHEREAS, the Planning Board again considered this application at its meeting of November 21, 2002; and

WHEREAS, there were two more notices having been returned, one stating an objection based on noise problems at present that might become worse with approval, and another stating no objection; and

WHEREAS, several members of the public desired to speak on the matter and voice objections, Mrs. Stella Rylander, owner of adjacent property, and Mr. Jay Rylander; and

WHEREAS, Attorney Michael Browning was again present on behalf of the applicant/owner and said despite several contacts he did not feel Mrs. Rylander was satisfied but that he would like to proceed with consideration of the request; and

WHEREAS, the attorney stated he had had several helpful meetings with the Planning Department and while he didn't agree with all staff findings, in his view the applicant would be satisfying every condition posed by Planning, with efforts including agreement to new handicapped bathrooms, improved on-site drainage retention, no outdoor music, also conversion of an alley beside the main bar into emergency egress only (per Fire Department) and keeping doors closed that lead to the patio area; and

WHEREAS, neighboring owner Mrs. Rylander and Jay Rylander, neighbor, both stated promises to close off an open back window area that was allowing bar noise to come out strongly have not been kept; and

WHEREAS, Mr. Browning stated that the applicant has no problem with sealing off the opening, apparently used for an airflow vent; and

WHEREAS, because the property is in the parking waiver zone, the conversion of retail use to bar use does not require any increase in parking; and

WHEREAS, the Planning Board members considered the following drawings:

PLANS PRESENTED

Drawings	Date	Page	By
Survey	8/13/02		Frederick H. Hildebrandt
Existing Site and Floor Plan	Received 10/11/02	Sheet 1 of 1	Robert L. Delaune, Architect, P.A.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board for the City of Key West, Florida:

- **Section 1. To approve the Application for the Conditional Use to operate an area at 420 Appelrouth Lane related to an existing bar/lounge at 422 Appelrouth Lane known as "Wax," and to provide**

a service/consumption area for that mini-bar subject to the following conditions:

1. ADA compliant bathrooms and bar or seating to accommodate the handicapped;
2. Swinging doors provided from the nightclub area to the outside patio to contain sound within the masonry building;
3. No amplified music in the mini-bar or outdoor patio area;
4. Payment of impact fees for the proposed new mini-bar area, and also for the following areas as required retroactively by the Building and Licensing Departments:
 - The former 'office' area inside the masonry building;
 - The "patio" area that has not previously been accounted for by payment of such fees; and
5. The closing off or sealing the vent/window in the back area to alleviate the noise to Mrs. Rylander's property.

Section 2. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signature of the Chairman of the Planning Board and the City Planner.

Passed at a meeting held this 21st day of November, 2002.

Authenticated by the Chairman of the Planning Board and the City Planner.




John Mértz, Chairman
Key West Planning Board



Date

Attest:

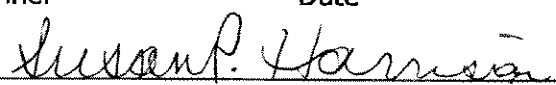


Ty Symroski, City Planner



Date

Filed with the Clerk



Deputy City Clerk



Date

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -
Maps are now launching the new map application version.

Alternate Key: 1010049 Parcel ID: 00009780-000000

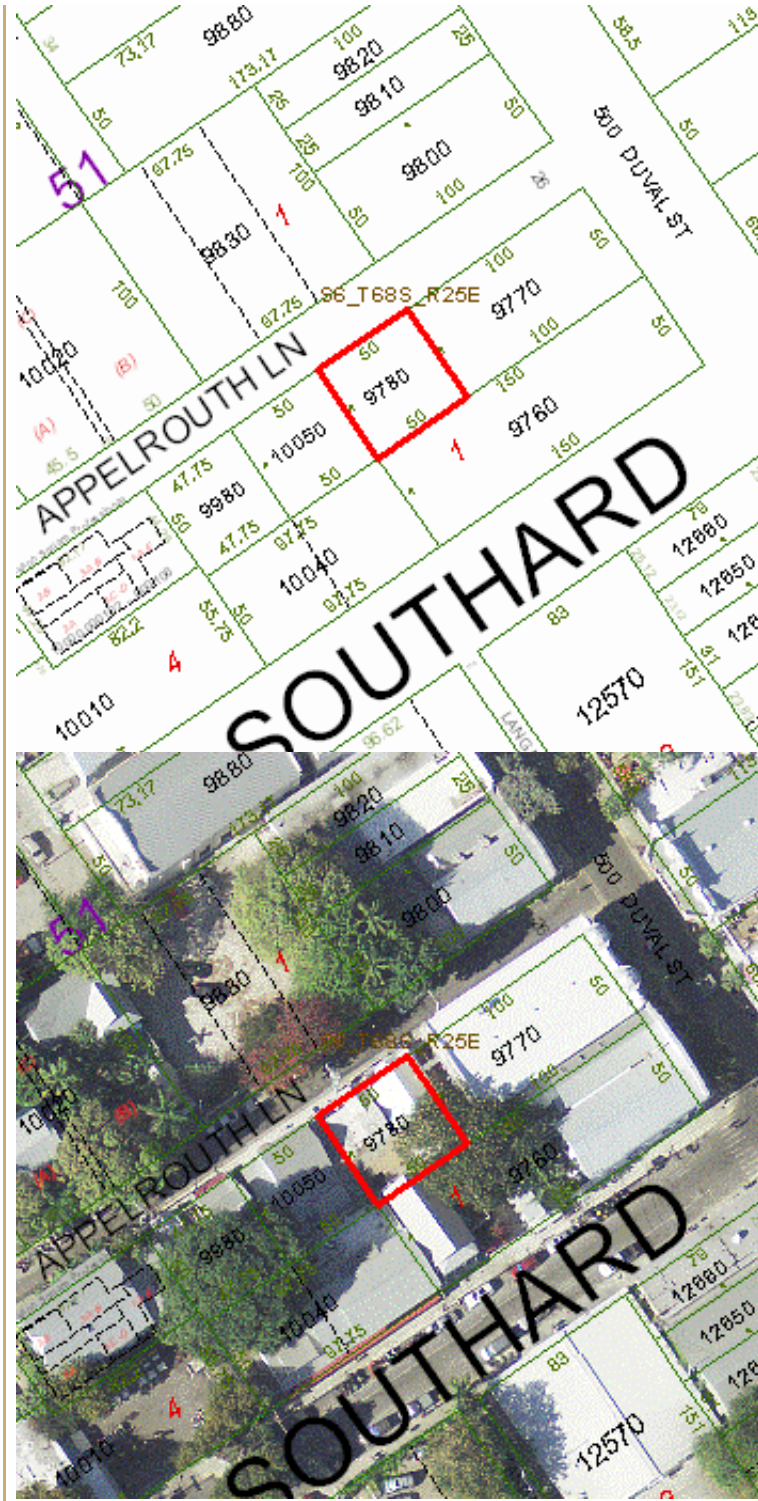
Ownership Details

Mailing Address:
420ARL LLC
723 FLEMING ST
KEY WEST, FL 33040-6827

Property Details

PC Code: 33 - NIGHTCLUBS, LOUNGES, BARS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 420 APPELROUTH LN KEY WEST
422 APPELROUTH LN KEY WEST
Legal Description: KW PT LT 1 SQR 51 A4-398 OR185-328-329 BOOK OF WILLS C - 407 OR1168-503L/E OR1171-1211/15WILL
CASE91-127-CP-10 OR2356-1434/43E OR2560-246/48 OR2739-553/54

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	50	50	2,500.00 SF

Building Summary

Number of Buildings: 2
 Number of Commercial Buildings: 2
 Total Living Area: 1774
 Year Built: 1909

Building 1 Details

Building Type
 Effective Age 15
 Year Built 1939
 Functional Obs 0

Condition A
 Perimeter 162
 Special Arch 0
 Economic Obs 0

Quality Grade 400
 Depreciation % 19
 Grnd Floor Area 1,220

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

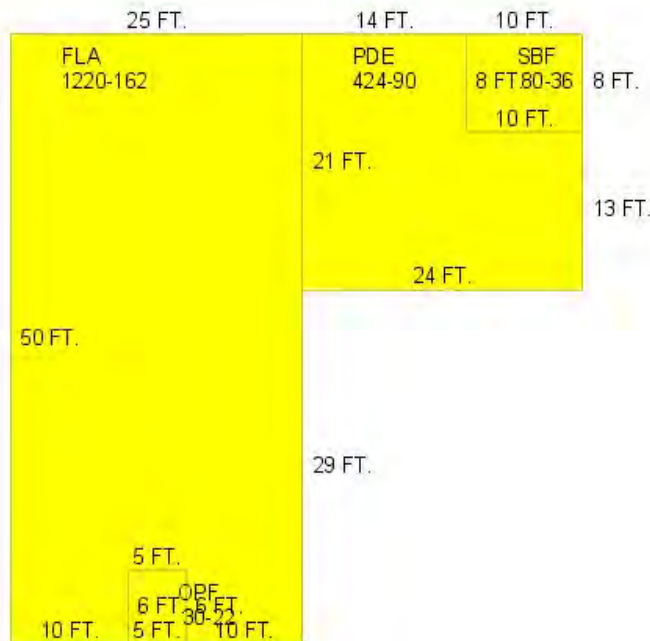
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 2
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 5

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA		1	1991				1,220

2	OPF	1	1991	30
3	PDE	1	2003	424
4	SBF	1	2003	80

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2083	NIGHT CLUBS, BARS D	100	N	Y
	2084	OPF	100	N	N
	2085	PATIO DINING	100	N	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
536	C.B.S.	100

Building 2 Details

Building Type
 Effective Age 15
 Year Built 1909
 Functional Obs 0

Condition A
 Perimeter 146
 Special Arch 0
 Economic Obs 0

Quality Grade 400
 Depreciation % 20
 Grnd Floor Area 554

Inclusions:

Roof Type
 Heat 1
 Heat Src 1

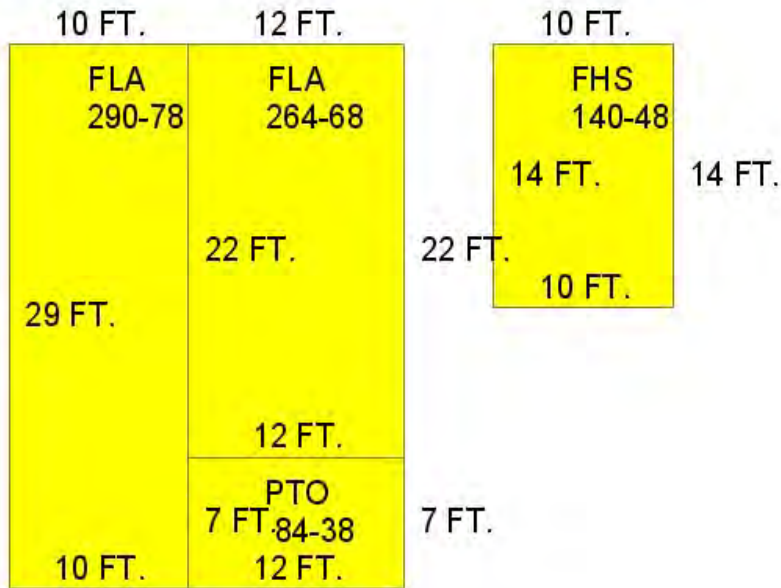
Roof Cover
 Heat 2
 Heat Src 2

Foundation
 Bedrooms 0

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 3

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1991					290
2	FLA		1	1991					264
3	FHS		1	1991					140
4	PTO		1	2003					84

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2086	1 STY STORE-A	100	N	Y
	2087	NIGHT CLUB, BARS B	100	N	Y
	2088	FHS	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
537	AB AVE WOOD SIDING	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	AC2:WALL AIR COND	1 UT	0	0	1990	1991	1	20

Appraiser Notes

PROPERTY IS CURRENTLY LISTED AT \$1,250,000 WHICH INCLUDE PLANS AND APPROVAL FOR A NEW BAR

2006-06-14 THE BLUE ROOM NIGHTCLUB

2003-07-20-SKI ASKING \$725,000 FROM THE CITIZEN HAS A 5 COP LIQUOR LICENSE, 2004-03-09 REDUCED ASKING TO \$699,000-SKI

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
08-1375	05/05/2008		650	Commercial	SIGNS
14-0967	03/20/2014		2,000	Commercial	SCRAPE 500SF OF LAYERED, PAINT ETCH CONCRETE STRUCTURES FACADE. PRED CONCRETE W'BONDING AGENT. APPLY ONE BASE COAT OF BASE COAT STUCCO, FOLLOWED BY 2 SKIM COATS OF WHITE MARBLE CRETE. PRESSURE WASH BUILDING AS WELL.
1 96-4756	12/01/1996	06/01/1997	150	Commercial	REPAIR/REMODELING
2 98-3773	12/01/1998	01/01/1999	500	Commercial	RENOVATION
3 99-3136	09/08/1999	10/20/1999	500	Commercial	REPLACE FENCE
4 02-2271	08/20/2002	10/18/2002	1,555	Commercial	3 SQS SBS ROOFING
5 02-0180	01/23/2002	10/18/2002	500	Commercial	REPAINT FRONT OF BLDG
6 02-1875	07/17/2002	11/18/2002	2,000	Commercial	NEW BREAKER PANEL/ELECTRI
7 03-2417	07/30/2003	07/10/2003	8,000	Commercial	BRK PATIO & PLUMBING
8 03-2930	09/11/2003	07/30/2003	14,000	Commercial	RENOVATIONS OF BARS
9 03-3379	09/22/2003	12/31/2003	1,000	Commercial	DUCTLESS A/C
10 06-5101	09/08/2006		1,600	Commercial	DEMOLITION,CUT WIRES & REMOVE EXISTING FIXTURES
11 06-6804	12/27/2006		22,000	Commercial	R5EPLACE & INSTALL NEW TILE,DEMO BRICK 500SF IN REAR PATIO
12 06-5929	10/26/2006		11,150	Commercial	INSTALL 1425 SF OF V-CRIMP ROOFING
13 07-0341	02/05/2007		15,000	Commercial	REFINISH EXISTING BAR TOP
14 07-0342	02/05/2007		8,000	Commercial	ADD ADA RESTROOM AS PER PLANS
15 07-0409	02/05/2007		1,000	Commercial	RENOVATION OF HANDICAP BATHROOM

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	250,281	176	459,200	550,000	550,000	0	550,000
2014	260,614	160	444,850	550,000	550,000	0	550,000
2013	263,732	160	426,195	550,000	550,000	0	550,000
2012	263,732	160	426,195	550,000	550,000	0	550,000
2011	269,936	160	473,550	550,000	550,000	0	550,000
2010	269,936	160	360,630	550,000	550,000	0	550,000
2009	275,118	160	374,696	550,000	550,000	0	550,000
2008	279,245	160	343,125	622,530	622,530	0	622,530
2007	200,500	160	325,000	525,660	525,660	0	525,660
2006	200,500	160	225,000	425,660	425,660	0	425,660
2005	188,132	160	187,500	375,792	375,792	0	375,792
2004	194,646	160	175,000	369,806	369,806	0	369,806
2003	116,555	160	75,000	191,715	191,715	0	191,715
2002	97,039	180	75,000	172,219	172,219	0	172,219
2001	97,039	200	75,000	172,239	172,239	0	172,239
2000	97,039	220	67,500	164,759	164,759	0	164,759
1999	20,126	240	67,500	87,866	87,866	0	87,866
1998	20,106	260	67,500	87,866	87,866	0	87,866
1997	25,086	280	62,500	87,866	87,866	0	87,866
1996	25,066	300	62,500	87,866	87,866	0	87,866
1995	25,046	320	62,500	87,866	87,866	0	87,866
1994	25,026	340	62,500	87,866	87,866	0	87,866
1993	25,006	360	62,500	87,866	87,866	0	87,866
1992	24,986	380	62,500	87,866	87,866	0	87,866
1991	30,349	495	45,000	75,844	75,844	0	75,844
1990	34,719	500	40,625	75,844	75,844	0	75,844
1989	35,338	506	40,000	75,844	75,844	0	75,844
1988	16,924	512	40,000	57,436	57,436	0	57,436
1987	16,473	517	21,438	38,428	38,428	0	38,428
1986	16,539	523	21,000	38,062	38,062	0	38,062
1985	16,118	528	21,000	37,646	37,646	0	37,646
1984	16,121	534	21,000	37,655	37,655	0	37,655
1983	23,580	539	10,225	34,344	34,344	0	34,344
1982	16,724	545	10,225	27,494	27,494	0	27,494

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/4/2015	2739 / 553	905,000	WD	37
3/15/2012	2560 / 246	800,000	WD	37

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Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176