

**Planning Board Resolution 2014-20**  
**and**  
**Planning Board Resolution 2014-19**

**PLANNING BOARD  
RESOLUTION NUMBER 2014-20**

**A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING WITH CONDITIONS A VARIANCE TO THE MINIMUM OFF-STREET PARKING REQUIREMENTS IN ORDER TO SUBSTITUTE 200 BICYCLE PARKING SPACES FOR THE DEVELOPMENT OF THE TRUMAN WATERFRONT PARK AMSTER PLAN FOR PROPERTY LOCATED AT THE TRUMAN WATERFRONT PARK (RE # 00001630 001000; AK #9038855; RE# 00001630-001100; AK# 9038866) WITHIN THE HISTORIC RESIDENTIAL COMMERCIAL CORE – TRUMAN WATERFRONT (HRCC-4), HISTORIC NEIGHBORHOOD COMMERCIAL-2 (HNC-2), HISTORIC MEDIUM DENSITY RESIDENTIAL, HISTORIC PUBLIC SERVICE AND SEMI PUBLIC SERVICE (HPS-1) ZONING DISTRICTS PURSUANT TO SECTION 108-574 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA; PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, the applicant proposes to develop a park for the city and its users; and

**WHEREAS**, Section 108-574 of the Land Development Regulations (the “LDRs”) of the Code of Ordinances (the “Code”) of the City of Key West (the “City”) provides for the minimum off-street parking requirements for land-use types; and

**WHEREAS**, Section 108-574 of the LDRs allows applicants to request that bicycle parking spaces be allowed to be substituted for vehicular parking spaces at a rate of 4:1 bicycle to vehicles in addition to the bicycle parking spaces required; and

**WHEREAS** Section 108-574 stipulates that the criteria to be applied is found in Code Section 90-395 with the exception of the hardship criteria that is not applicable; and

**WHEREAS**, Code Section 90-391 allows applicants to request variances to the Land

Chairman

Planning Director

Development Regulations through the Planning Board; and

**WHEREAS**, the applicant requests to substitute 200 additional bicycle parking spaces for the 50 vehicular parking spaces generated by the Proposed Development; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on March 20, 2014; and

**WHEREAS**, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

**WHEREAS**, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

**WHEREAS**, the Planning Board finds that granting the variances requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

**WHEREAS**, the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

**WHEREAS**, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

**WHEREAS**, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variances; and

  
\_\_\_\_\_  
Chairman

  
\_\_\_\_\_  
Planning Director

**WHEREAS**, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** An approval by Resolution of the Key West Planning Board for a variance to substitute 200 additional bicycle parking spaces for the required 50 vehicular parking spaces generated by the Proposed Development according to the attached plans dated March 4, 2014 by for the Truman Waterfront Park Master Plan:

1. That the Major Development Plan and Conditional Use for the Truman Waterfront Park Master Plan are approved.

**Section 3.** That the timeline for completing the development for which this variance is a part shall be extended as part of the Major Development Plan. It is a condition of these variances that full, complete and final application for all conditions of this approval for any use and occupancy for which these variances are wholly or partly necessary, shall be submitted in their entirety in conjunction with the development plan.

**Section 4.** The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate these variances,

  
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Chairman  
Planning Director

which variances shall be of no force or effect.

**Section 5.** These variances do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

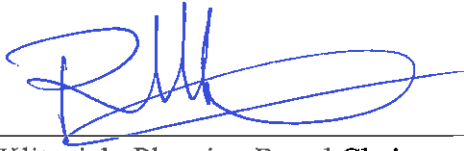
**Section 6.** This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

**Section 7.** This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 20th day of March, 2014.

  
Chairman  
  
Planning Director

Authenticated by the Chairman of the Planning Board and the Planning Director;



Richard Klitenick, Planning Board Chairman

3/26/2014

Date

**Attest:**

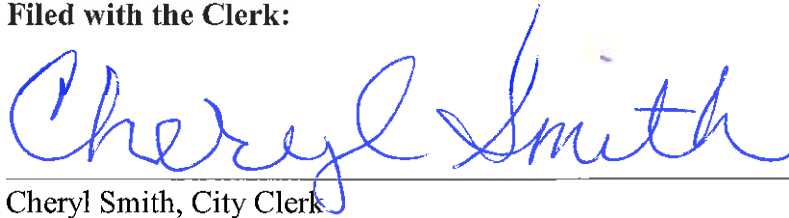


Donald Leland Craig, AICP, Planning Director

3-29-14

Date

**Filed with the Clerk:**



Cheryl Smith, City Clerk

3-31-14

Date

\_\_\_\_\_ Chairman



\_\_\_\_\_ Planning Director





**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION:**  
 TRUMAN WATERFRONT PARK  
 WEST OF FORD STREET AND THE  
 NORTH OF NEW WEST AVENUE  
 NORTH OF NEW WEST AVENUE

**PROFESSIONAL SEAL:**

**DATE:**  
 MARCH 3, 2014

**SCALE:**  
 1" = 30' 0" 60' 120' 180'

**DEVELOPMENT INFORMATION:**  
 BA PROJECT NO.: 1319  
 DATE: February 12, 2014  
 DRAWN BY: RJD  
 CHECKED BY: BPH  
 CADD FILE: 1319-02-12-14.dwg

**LEGEND:**  
 Navy Property  
 Future Development Site  
 State Property

**ILLUSTRATIVE PLAN**  
 SHEET NO. IP-00



This site is subject to the Code of Federal Regulations Chapter 334.010, reserving access to any person and/or any vessel other than Government-owned vessels to the Truman Harbor

*Handwritten notes:*  
 32914  
 [Signature]



**PLANNING BOARD  
RESOLUTION NUMBER 2014-19**

**APPROVAL FOR A MAJOR DEVELOPMENT PLAN AND  
CONDITIONAL USE FOR THE DEVELOPMENT OF THE  
TRUMAN WATERFRONT PARCEL (RE# 00001630-001000,  
AK 9038855; RE# 00001630-001100, AK# 9038866) LOCATED  
IN THE HISTORIC PUBLIC SERVICE AND SEMIPUBLIC  
SERVICE -1 (HPS-1), HISTORIC MEDIUM DENSITY  
RESIDENTIAL (HMDR), HISTORIC RESIDENTIAL  
COMMERCIAL CORE - 4 (HRCC-4) AND THE HISTORIC  
NEIGHBORHOOD COMMERCIAL - 2 (HNC-2) ZONING  
DISTRICTS PURSUANT TO SECTION 108-91(A.) (2.) B. AND  
C. AND 122-61 OF THE LAND DEVELOPMENT  
REGULATIONS OF THE CODE OF ORDINANCES OF THE  
CITY OF KEY WEST, FLORIDA**

WHEREAS, the subject property is located in the Historic Public Service and Semipublic service – Truman Waterfront (HPS-1), the HMDR, the HRCC-4 and the HNC-2 zoning district; and

WHEREAS, Section 108-91 of the Code of Ordinances provides that within the Historic District a Major Development Plan is required for addition or reconstruction of equal to or greater than 2,500 s.f of gross floor area and the addition of outdoor activity or similar activities equal or greater than 5,000 square feet; and

WHEREAS, the applicant proposed a Master Plan with associated Draft Landscape Plan and Conceptual Drainage Plan to develop the Truman Waterfront Park Master Plan; and

  
\_\_\_\_\_  
  
\_\_\_\_\_  
Chairman  
Planning Director



**WHEREAS**, Section 108-196(a) requires the Planning Board to review and approve, approve with conditions, or deny the proposed Major Development Plan; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on March 20, 2014; and

**WHEREAS**, the granting of a Major Development Plan application is consistent with the criteria of the Code of Ordinances; and


**WHEREAS**, the granting of a Major Development application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** That a Master Plan for the development of the Truman Waterfront Park (RE# 00001630-001000, AK 9038855; RE# 00001630-001100, AK# 9038866, located in the HPS-1, HMDR, HRCC-4 and HNC-2 zoning districts, is hereby approved pursuant to Section 108-91 of the


 Chairman

 Planning Director

Land Development Regulations of the Code of Ordinances of the City of Key West, Florida), as shown in the attached plans dated March 4, 2014 with the following conditions of approval:


1. That the associated bicycle substitution variance is approved by the Planning Board.
2. Navy:
  - a. The existing planned shared pedestrian/auto pathway making use of the existing East Quay shall be modified to eliminate automobile access and a drivable access way from the existing Eaton Street easement area southward to and through the parking lot north of Building 103 shall be implemented separately. This drivable access way will be placed to immediately border the Park boundary with the Truman Annex residential property. The easement dedicated to the Navy from Eaton Street to the Quay will be eliminated, and be replaced with an easement for the new access way. This redefined access way will provide the assured and agreed upon vehicular access way for the Navy from the area of the Eaton Street easement southward to the Southard Street extension into the park.
  - b. The City will continue to coordinate with the Navy during cruise ship operations, including, but not limited to, pedestrian, trolley, bus, Chandler support, and train staging, etc., to ensure that there is no impact to the military mission.
  - c. The City will continue discussions with the Navy regarding the option of a joint use Entrance Control Point (ECP) structure and any proposed structures in the vicinity of the ECP will be coordinated with the Navy to ensure clear line of site and compliance


 Chairman

 Planning Director

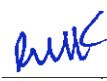

with Anti-Terrorism Force Protection (ATFP) standoffs and security requirements.

- d. A standard operating agreement to define coordination and planning solutions to move military vehicles and equipment through the park complex during urgent or special events shall be concluded before completion of phase 1 construction (road realignment plan) of the Park. This can be assured as a condition of the Major Development Plan approval through a Memorandum of Agreement.
- e. The easements will be reviewed, updated and/or eliminated through coordination with the Navy as part of the Phase 1 construction documents within 180 days of development plan adoption. This approach will ensure the accuracy of the associated surveys and thus the easement documentation.
- f. In the event that City and Navy have coordinated the use of City property for special events, the coordination efforts will be done to ensure that military operations are not impacted.
- g. Once the lighting plan has been finalized, the City will conduct an informal lighting study with NAS Key West to determine potential impacts to the military mission. Additionally, the City will coordinate the potential impacts of the proposed lighting on the Navigation Range Markers with the Navy Port operations and local Harbor Pilots. The proposed lighting plans will meet Dark Sky standards that require fixtures to focus light on the ground and not spill off the site.

  
Chairman

  
Planning Director

- h. After plan adoption the LRA will transmit the development plan for final Navy review subject to the 2002 Quit Claim Deed.
3. An easement is required to be executed with Keys Energy for access to electric poles along Navy boundary on the southern edge of the property.
  4. For all elevated structures, areas between the bottom floor of the structure and grade must be buffered by lattice or similar materials approved by the Historic Preservation Planner and fully landscaped.
  5. Building construction on the site including the development of the amphitheater, community center and building 103 shall at a minimum be LEED certified consistent with Comprehensive Plan Policy 1-1.1.6 that requires a green building certification of the highest standard.
  6. That rainwater be captured from all building roof surfaces into adequate sized containers and redistributed for onsite irrigation purposes using ARCSA standards.
  7. That if permanent irrigation system is required that the system be built to ARCSA standards.
  8. Lighting shall be designed to “Dark Sky” lighting standards and shall meet energy efficiency standards established by an accepted third party environmental standard consistent with F.S Chapter 255.2575(2).
  9. Tree Commission approval is required for the overall Landscape Plan in addition to each phase of the removal/relocation and replacement of vegetation based upon the approved Landscape Plan.

  
\_\_\_\_\_ Chairman  
  
\_\_\_\_\_ Planning Director

10. The complete set of plans dated March 4, 2014 are hereby adopted and incorporated herein.
11. That the proposed two way traffic direction on Angela Street be coordinated with the adopted Truman Waterfront Connectivity Plan based on the attached Memo from the Engineering Division dated March 21, 2014.
12. Emergency call boxes are distributed throughout the site in coordination with the KWPD.
13. Fire hydrant locations are coordinated with KWFD.
14. Two electric vehicle charging stations are installed at three points within the park.
15. The lease for the restaurant for Building 103 shall contain the following provisions:
  - a) That the business establish and maintain a marketing plan on order to reduce vehicular trips to the venue promoting multimodal accessibility to the site via website, reservations, etc.
  - b) That the lessee obtain a Green Business Certification.
  - c) That the business separate the collection of food waste to be donated for compost purposes at the adjacent Community Garden or for onsite reuse.
  - d) That the business recycle all materials collected by waste management.
  - e) Lessee must obtain a Conditional Approval Permit, subject to annual inspection.

**Section 3.** That the timeline for expiration of this Development Plan is approved for phasing for a maximum of 10 years. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 10 years after

the date hereof.

**Section 4.** This Major Development Plan application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

**Section 5.** This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

**Section 6.** This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Community Affairs. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DCA with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DCA can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

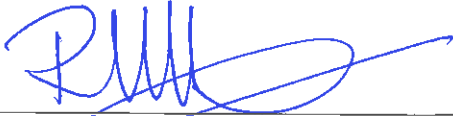
Read and passed on first reading at a regularly scheduled meeting held this 20th day of March, 2014.

 Chairman

 Planning Director



Authenticated by the Chairman of the Planning Board and the Planning Director.



Richard Klitenick, Chairman  
Key West Planning Board

3/26/2014

Date

**Attest:**



Donald Leland Craig, AICP  
Planning Director

3-29-14

Date


**Filed with the Clerk:**



Cheryl Smith, City Clerk

3-31-14

Date

\_\_\_\_\_  
Chairman  
 \_\_\_\_\_  
Planning Director





**BERMELLO-AJAMIL & PARTNERS INC**  
 Architects - Engineers - Planners  
 Interior Design - Landscape Architecture  
 2700 N. W. 10th Street  
 Suite 1000  
 Miami, FL 33136  
 (305) 855-3700  
 Fax: (305) 345-3700

**PREPARED FOR:**  
 CITY OF MIAMI  
 3100 BAYVIEW AVENUE  
 MIAMI, FL 33134

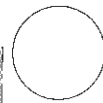


**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION:**  
 TRUMAN WATERFRONT PARK  
 TRUMAN AVENUE DEVELOPMENT,  
 NORTH OF THE WEST NAVAL BASE

**GENERAL INFORMATION:**

**DESIGNER'S SEAL:**



**NO. OF CERTIFICATED LANDSCAPE ARCHITECTS:**

**ESSENTIAL DESCRIPTION/USE:**

**DEVELOPMENT APPLICATION:**  
 March 3, 2014

**REVISIONS:**

**ISSUING SHEET INFORMATION:**  
 BA PROJECT NO. 12010  
 SCALE: AS SHOWN  
 DATE: February 12, 2014  
 DRAWN BY: RJD  
 CHECKED BY: RBN  
 CAD FILE: 12010-01.dwg  
 SHEET NUMBER: 01

**UNAWAITING ILLUSTRATIVE PLAN**

**SHEET NO.**

**IP-00**



The site is subject to the Code of Federal Regulations Chapter 334.010, restricting access to a person or person or any vessel other than Government-owned vessels to the Truman Harbor

*Handwritten initials: RUC*





**BERMELLO ALAMIL  
& PARTNERS INC.**  
 Architects • Engineers • Planners • Surveyors  
 2001 South Business Drive  
 Miami, Florida 33135  
 Tel: 305.358.3333  
 Fax: 305.358.0200

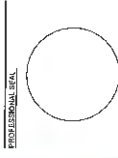
PROJECT LOCATION:  
 TRUMAN WATERFRONT PARK  
 P. O. BOX 1149  
 WEST PALM BEACH, FLORIDA  
 WEST PALM BEACH, FLORIDA  
 WEST PALM BEACH, FLORIDA  
 WEST PALM BEACH, FLORIDA



**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION/ADDRESS:**  
 TRUMAN WATERFRONT PARK  
 WEST OF FORT STREET AND THE  
 NORTH OF WEST NAVAL BASE

**PROJECT PLANNING INFORMATION:**



**PROFESSIONAL SEAL:**

**DEVELOPMENT APPROVALS:**  
 APPROVED BY: [Signature]  
 DATE: [Date]

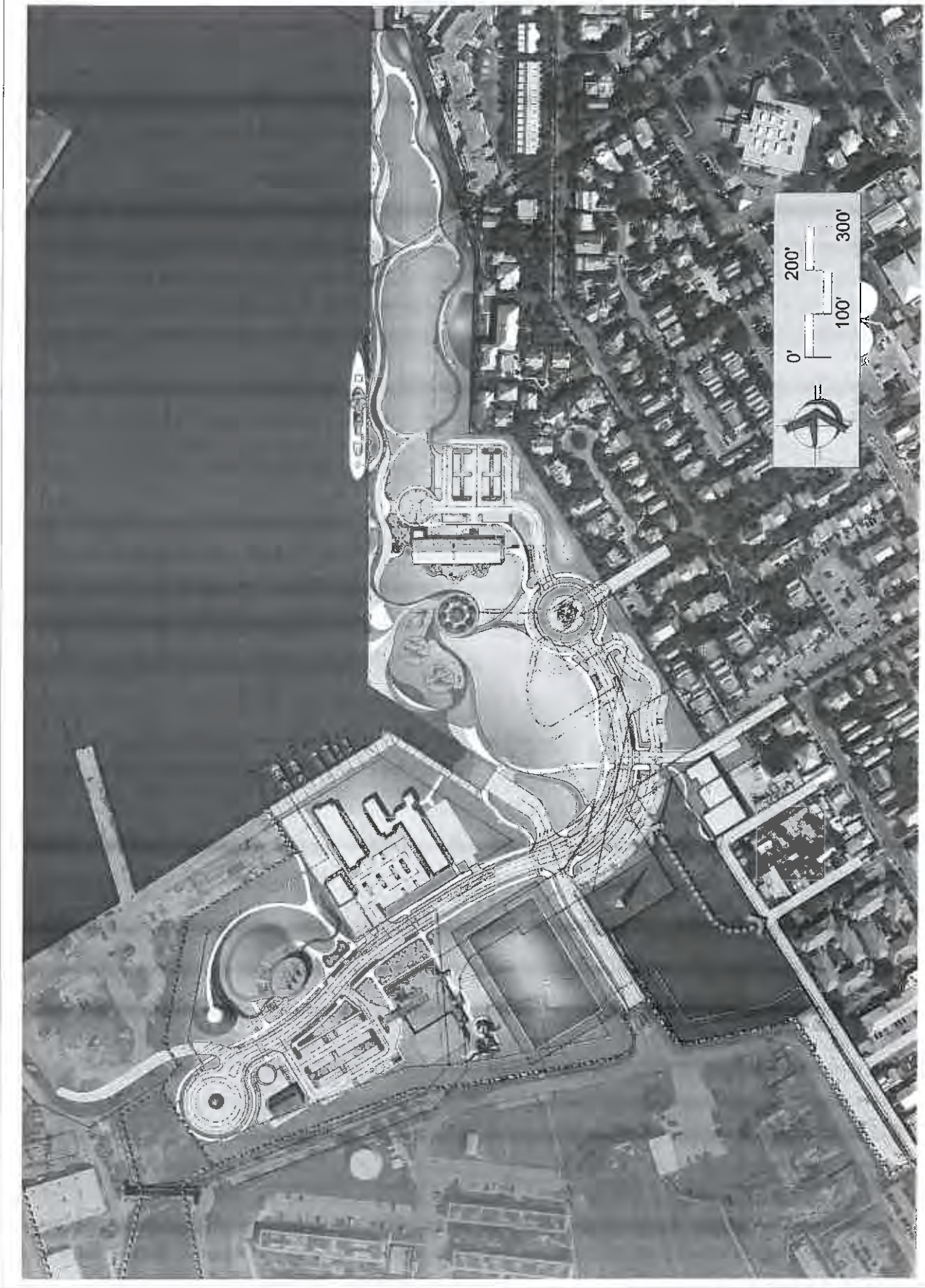
**REVISIONS:**

NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT

**DRAWING SHEET INFORMATION:**  
 BA PROJECT NO.: 19119  
 SCALE: AS SHOWN  
 DATE: February 2, 2014  
 DRAWN BY: KJO  
 CHECKED BY: [Signature]  
 DATE PLOTTED: [Date]

**DRAWING TITLE:**  
**SURVEY OVERALL PLAN**  
 SHEET NO.

**SO-00**



*mk*  
*ee*









**BERMELLO AJAMIL & PARTNERS INC**  
 Architecture • Engineering • Planning  
 Interior Design • Landscape Architecture  
 200 South Boulevard Drive  
 Miami, Florida 33133  
 Tel: (305) 440-0700  
 Fax: (305) 440-0709

**PROJECT LOCATION:**  
 CITY OF WEST PALM BEACH  
 600 WEST PALM AVENUE  
 WEST PALM BEACH, FL 33411



**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION/ADDRESS:**  
 TRUMAN WATERFRONT PARK  
 WEST OF FIRST STREET AND THE  
 NORTH OF WEST NAVAL BASE  
 SUBSIDIARY OF WEST PALM BEACH

**PREPARED FOR:**  
 CITY OF WEST PALM BEACH

**DATE:**  
 MARCH 2, 2014

**SCALE:**  
 AS SHOWN

**DRAWN BY:**  
 KAD

**CHECKED BY:**  
 RPH

**DATE:**  
 MARCH 2, 2014

**PROJECT NO.:**  
 14000000

**PROJECT NAME:**  
 TRUMAN WATERFRONT PARK

**PROJECT LOCATION:**  
 WEST OF FIRST STREET AND THE  
 NORTH OF WEST NAVAL BASE

**PROJECT NO.:**  
 14000000

**PROJECT NAME:**  
 TRUMAN WATERFRONT PARK

**PROJECT LOCATION:**  
 WEST OF FIRST STREET AND THE  
 NORTH OF WEST NAVAL BASE

**PROJECT NO.:**  
 14000000

**PROJECT NAME:**  
 TRUMAN WATERFRONT PARK

**PROJECT LOCATION:**  
 WEST OF FIRST STREET AND THE  
 NORTH OF WEST NAVAL BASE

**PROJECT NO.:**  
 14000000

**PROJECT NAME:**  
 TRUMAN WATERFRONT PARK

**PROJECT LOCATION:**  
 WEST OF FIRST STREET AND THE  
 NORTH OF WEST NAVAL BASE

**PROJECT NO.:**  
 14000000



*Handwritten notes:*  
 DC  
 MKK

**BP-00**







**BERMELLO AJAMIL & PARTNERS INC**  
 Architecture - Engineering - Planning  
 Interior Design - Landscape Architecture  
 2701 North US Highway 1  
 Suite 1000  
 Miramar, Florida 33133  
 Phone (305) 486-7700  
 Fax (305) 486-7709

**PREPARED FOR:**  
 CITY OF KEY WEST, FL  
 1000 N. MIAMI AVENUE  
 340 BLAISE AVENUE  
 KEY WEST, FL 33041



**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION/ADDRESS:**  
 TRUMAN WATERFRONT PARK,  
 TRUMAN ANNEX DEVELOPMENT,  
 NORTH OF KEY WEST MARINA BAY  
 SUBMITTAL OF ENVIRONMENTAL LICENSE

**DESIGNER:**  
 BERMELLO AJAMIL & PARTNERS INC

**DATE:**  
 MARCH 3, 2014

**SCALE:**  
 AS SHOWN

**PROJECT NO.:**  
 13014

**DATE:**  
 FEBRUARY 13, 2014

**DRAWN BY:**  
 KJD

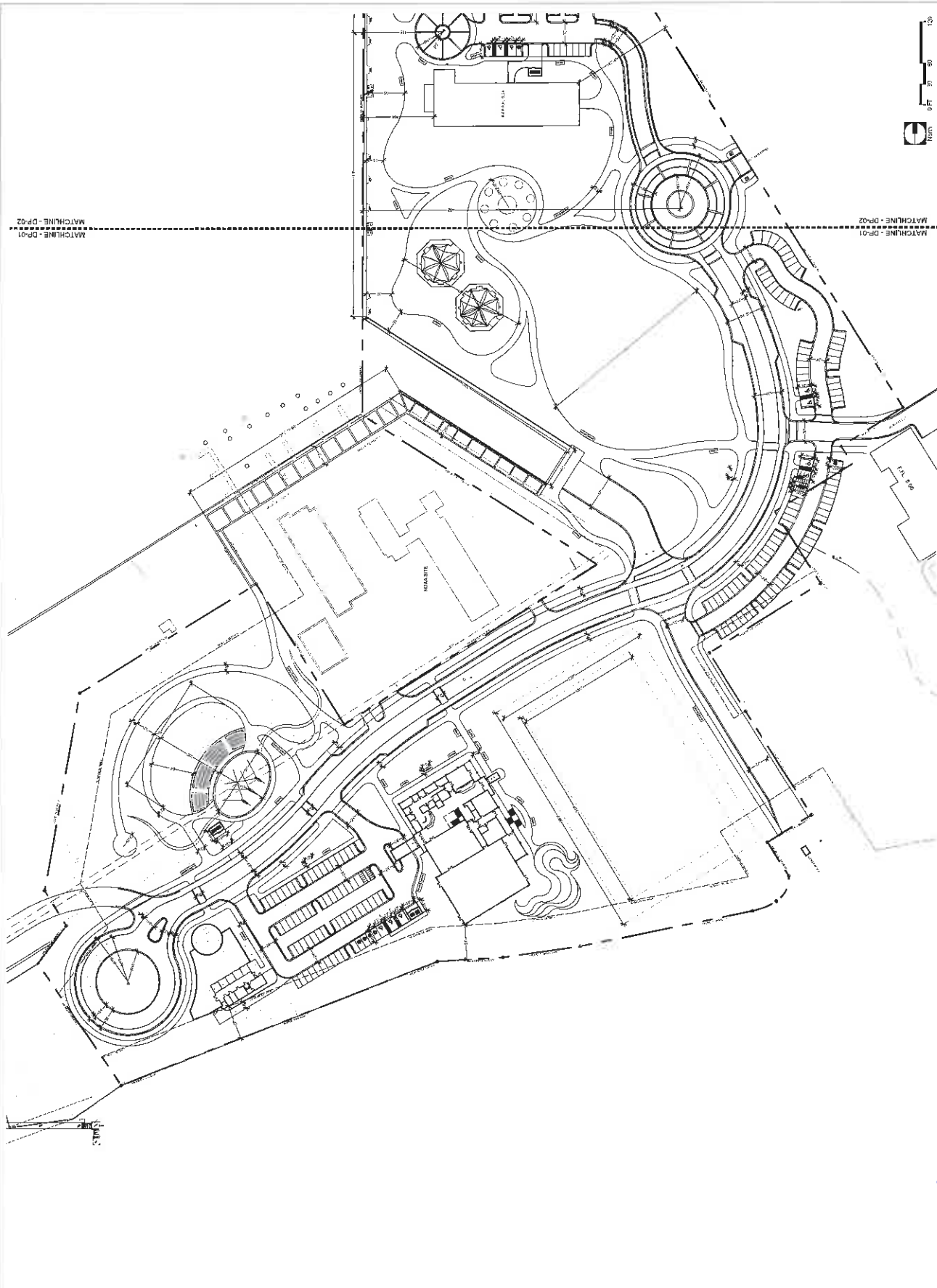
**CHECKED BY:**  
 BPN

**DATE PLOTTED:**  
 2/13/14

**DRAWN BY:**  
 KJD

**CHECKED BY:**  
 BPN

**DATE PLOTTED:**  
 2/13/14



*RMK*  
*PC*

**DP-01**



**BERMELLO AJAMIL & PARTNERS, INC.**  
 Architects - Engineers - Planners  
 Interior Design - Landscape Architecture  
 2091 South Brentwood Drive  
 Miami, Florida 33133  
 Tel: (305) 666-2200  
 Fax: (305) 666-2299

**TRUMAN WATERFRONT PARK**  
 PROJECT LOCATION ADDRESS  
 WEST OF FORT STREET AND THE  
 NORTH OF KEY WEST MARINA BASE



**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION ADDRESS:**  
 TRUMAN WATERFRONT PARK  
 WEST OF FORT STREET AND THE  
 NORTH OF KEY WEST MARINA BASE

**SUBCONSULTANT INFORMATION:**  
**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
 Certificate of Authorization No. 1579

1970 Kennedy Drive  
 Suite 201  
 Key West, Florida 33490  
 Tel: (305) 294-8800  
 Fax: (305) 294-8800

**DATE:**  
 MARCH 3, 2013

**DESIGNER:**  
 ALBERT PEREZ, P.E.  
 LICENSED REGISTERED ENGINEER  
 SUBMITTAL DESIGNATION: AULESTONE

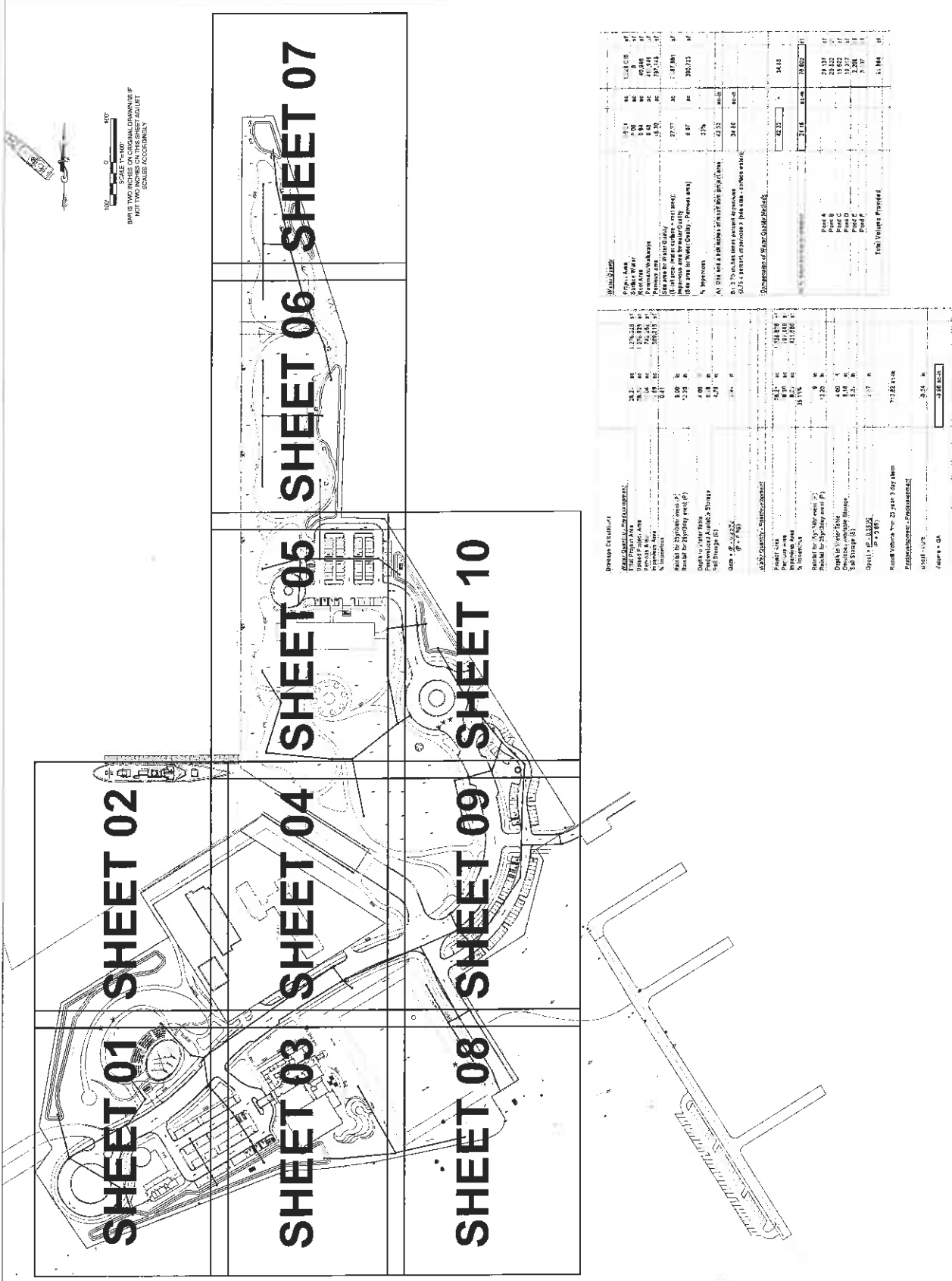
**DEVELOPMENT:**  
 TRUMAN WATERFRONT PARK  
 MARCH 3, 2013

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	3/20/2014	
2	3/20/2014	
3	3/20/2014	

**PROJECT SHEET INFORMATION:**  
 BA PROJECT NO. 10010  
 SCALE 1"=100'  
 DATE: JANUARY 14, 2013  
 DRAWN BY: RFB  
 CHECKED BY: [Signature]  
 CUSTODY: [Signature]

**REVISIONS TITLE:**  
**CONCEPTUAL DRAINAGE PLAN**  
 SHEET NO. **CC-00**



**MANHOLE DATA**

MANHOLE NO.	MANHOLE TYPE	MANHOLE SIZE	MANHOLE DEPTH	MANHOLE INVERT	MANHOLE COVER	MANHOLE COVER TYPE	MANHOLE COVER SIZE	MANHOLE COVER WEIGHT	MANHOLE COVER MATERIAL
1	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
2	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
3	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
4	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
5	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
6	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
7	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
8	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
9	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
10	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
11	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
12	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
13	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
14	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
15	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
16	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
17	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
18	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
19	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
20	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
21	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
22	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
23	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
24	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
25	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
26	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
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28	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
29	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
30	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
31	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
32	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
33	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
34	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
35	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
36	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
37	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
38	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
39	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
40	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
41	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
42	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
43	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
44	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
45	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
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51	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
52	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
53	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
54	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
55	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
56	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
57	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
58	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
59	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
60	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
61	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
62	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
63	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
64	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
65	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
66	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
67	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
68	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
69	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
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72	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
73	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
74	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
75	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
76	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
77	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
78	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
79	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
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90	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
91	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
92	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
93	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
94	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
95	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
96	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
97	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
98	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
99	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
100	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"

**MANHOLE DATA**

MANHOLE NO.	MANHOLE TYPE	MANHOLE SIZE	MANHOLE DEPTH	MANHOLE INVERT	MANHOLE COVER	MANHOLE COVER TYPE	MANHOLE COVER SIZE	MANHOLE COVER WEIGHT	MANHOLE COVER MATERIAL
1	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
2	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
3	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
4	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
5	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
6	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
7	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
8	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
9	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
10	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
11	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
12	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
13	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
14	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
15	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
16	18" DIA.	18"	4.00	1.00	18"	18"	18"	18"	18"
17	18" DIA.	18"							





**BREWSTER ADAMS & PARTNERS, P.C.**  
 Architects - Civil Engineers - Planners  
 2901 South Bryn Mawr Drive  
 Metairie, Louisiana 70002  
 Phone: (504) 885-1100  
 Fax: (504) 885-1105

**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
 1719 Country Drive  
 Suite 201  
 Kenner, Louisiana 70002  
 Fax: (504) 264-0243



**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION:**  
 TRUMAN WATERFRONT PARK  
 WEST OF FORT STREET AND THE  
 NORTH OF KEY WEST NAVAL BASE

**PREPARED BY:**  
 SUBCONSULTANT/INTERIM/DATE:

**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
 Certificate of Authorization No. 8278

**DATE:**  
 02/25/14

**DEVELOPMENT:**  
 March 3, 2013

**BY:**  
 02/25/14

**SCALE:**  
 1" = 20'

**DATE:**  
 January 11, 2013

**DESIGNED BY:**  
 P. PEREZ

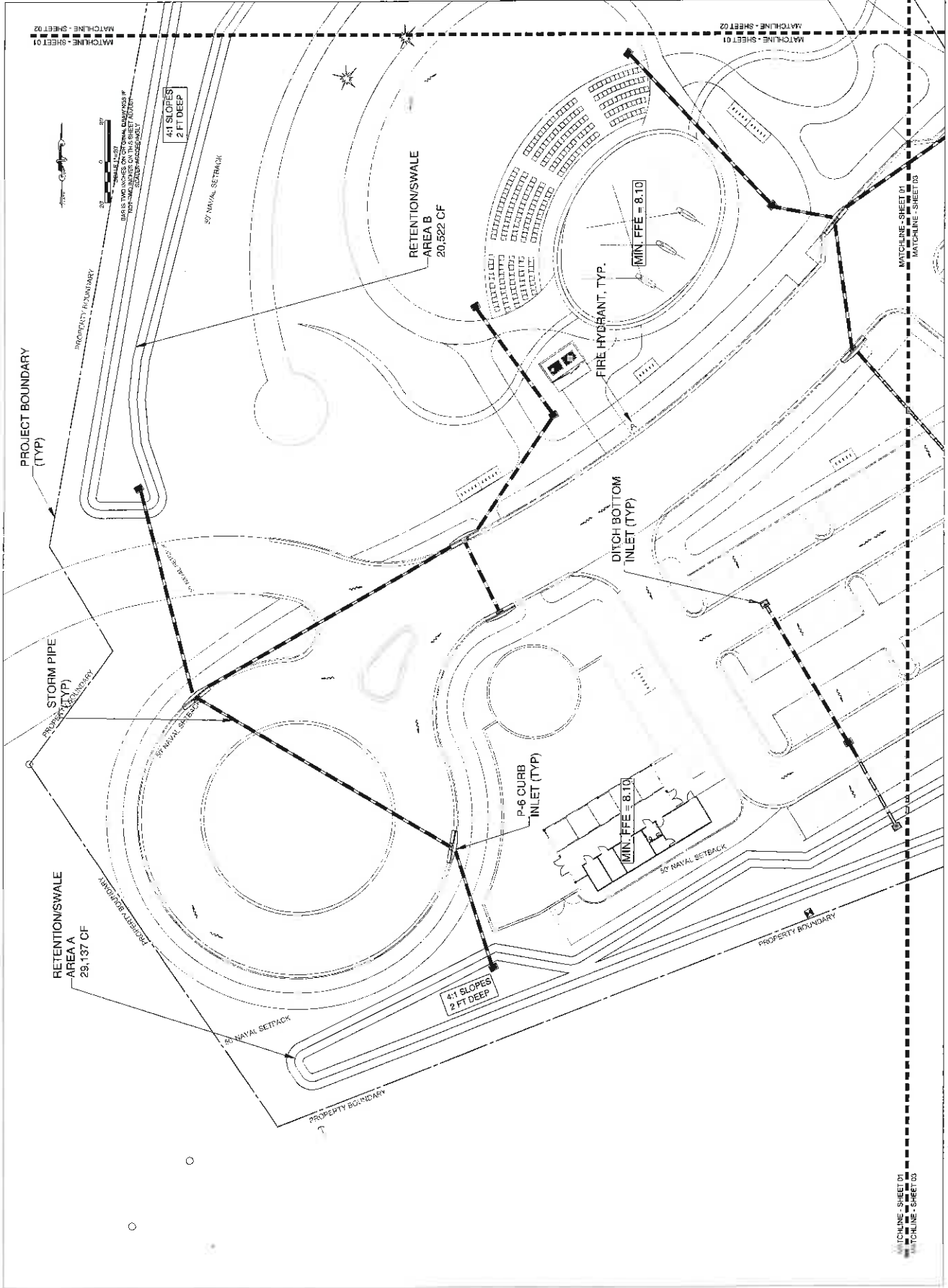
**CHECKED BY:**  
 A.P.P.

**DATE:**  
 02/25/14

**PROJECT NO.:**  
 13018

**CONCEPTUAL DRAINAGE PLAN**

**SHEET NO.:**  
 CC-01



*RAK*  
*EC*



**BERNELLO AJAMIL  
& PARTNERS, INC.**  
Professional Engineers  
2501 South Bayshore Drive  
Miami, Florida 33133  
Phone: (305) 672-1100  
Fax: (305) 672-1100



**BERNELLO AJAMIL & PARTNERS, INC.**  
Professional Engineers  
2501 South Bayshore Drive  
Miami, Florida 33133  
Phone: (305) 672-1100  
Fax: (305) 672-1100

**PROJECT NAME:  
TRUMAN  
WATERFRONT  
PARK**

**PROJECT LOCATION:  
TRUMAN WATERFRONT PARK,  
WEST OF FORT STREET AND THE  
NORTH SIDE OF THE  
NORTH OF WEST MAINTENANCE**

**DESIGNED BY:  
PEREZ ENGINEERING &  
DEVELOPMENT, INC.**  
Certificate of Authorization No. 9279

1100 Northside Drive  
Suite 201  
Key West, Florida 33520  
Tel: (305) 295-8243  
Fax: (305) 295-8243

**DESIGN APPROVAL:**



**ALBERT PEREZ, P.E.**  
Professional Engineer  
SUBMITTAL DESCRIPTION: ALL UTILITIES

**DEVELOPMENT**  
TRUMAN WATERFRONT PARK  
March 3, 2013

**REVISIONS:**  
1. 03/03/2013  
2. 03/03/2013

**ISSUING SHEET INFORMATION:**  
BA PROJECT NO. 12199  
SCALE: 1"=20'  
DATE: January 11, 2010  
DRAWN BY: RTH  
CHECKED BY: JCP  
DATE FILED: 01/20/2010

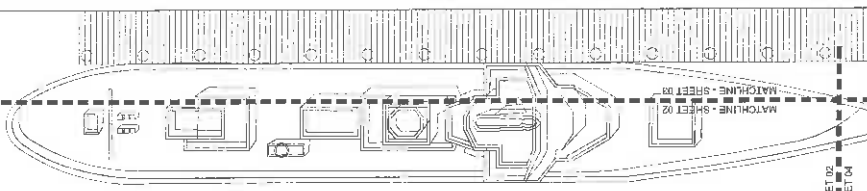
**DRAWING TITLE:  
CONCEPTUAL  
DRAINAGE  
PLAN**

**SHEET NO.  
CC-02**

MATCHLINE - SHEET 01  
MATCHLINE - SHEET 02  
MATCHLINE - SHEET 03

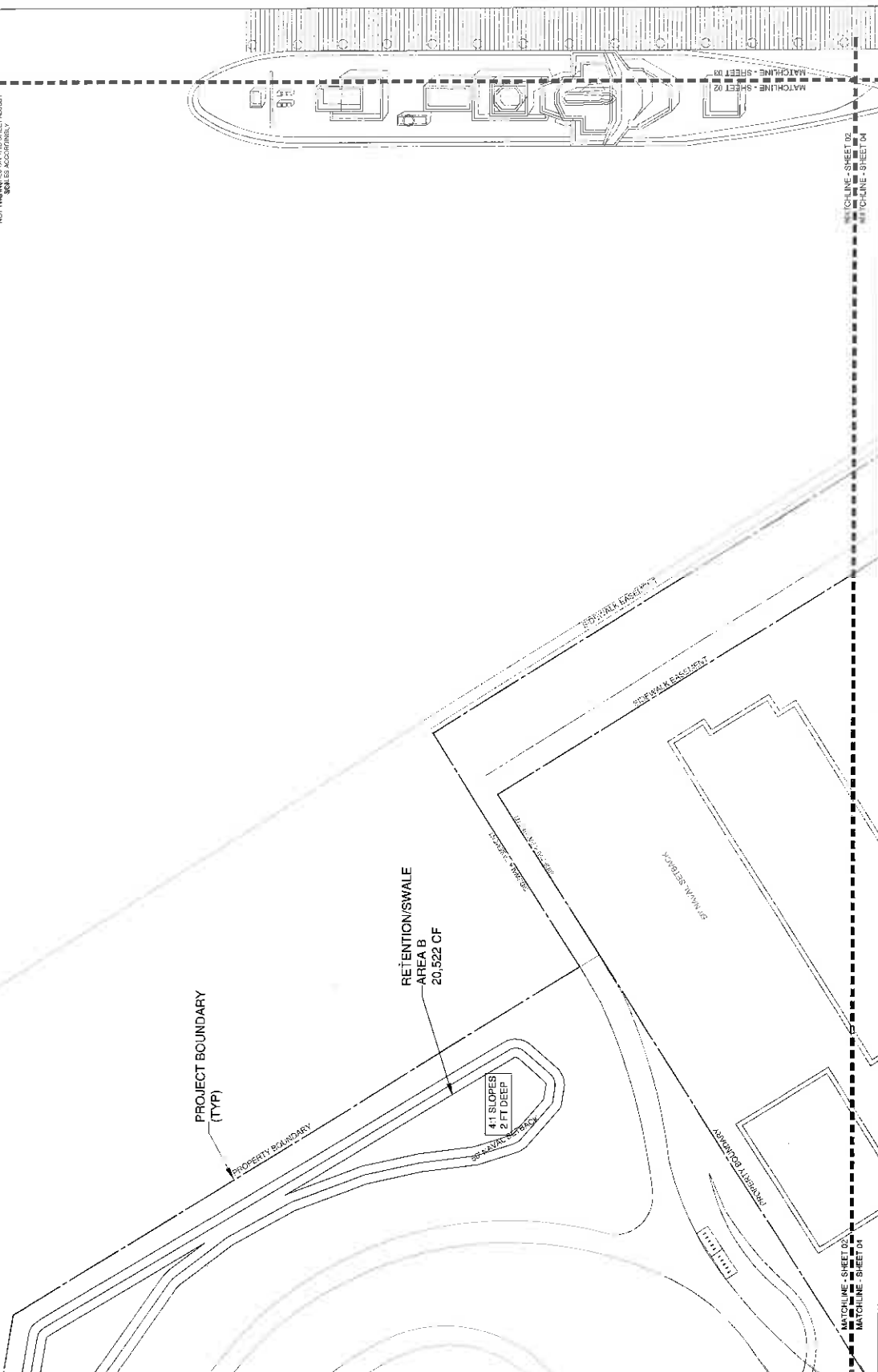


BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF  
NOT TWO INCHES ON THIS SHEET. ADJUST  
SCALE ACCORDINGLY.



MATCHLINE - SHEET 02  
MATCHLINE - SHEET 03

MATCHLINE - SHEET 01  
MATCHLINE - SHEET 02



MATCHLINE - SHEET 01  
MATCHLINE - SHEET 02

*RMK*  
*PC*







**BERMELLO AJAMIL & PARTNERS, INC.**  
 Architecture • Engineering • Planning  
 Interior Design • Landscape Architecture  
 2001 South Washington Avenue  
 Suite 1000  
 Miami, Florida 33133  
 Phone: 305.375.1700  
 Fax: 305.375.1700

**CITY OF KEY WEST, FL**  
 100 BOYD AVE  
 KEY WEST, FL 33944



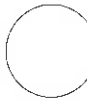
**PROJECT NAME:**  
 TRUMAN WATERFRONT PARK

**PROJECT LOCATION/ADDRESSES:**  
 TRUMAN WATERFRONT PARK  
 NORTH OF TRUMAN AVENUE  
 NORTH OF KEY WEST NAVAL BASE

**SUBSIDIARY INFORMATION:**  
**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
 Certification of Authorization No. 5275

1310 Krome Ave.  
 Suite 201  
 Key West, FL 33940  
 Phone: 305.279.8440  
 Fax: 305.266.5247

**PROFESSIONAL SEAL**



**ALLIED & PEREZ, P.C.**  
 FLORIDA REGISTERED ENGINEERS  
 SUBMITTAL DESCRIPTION: LAYOUT

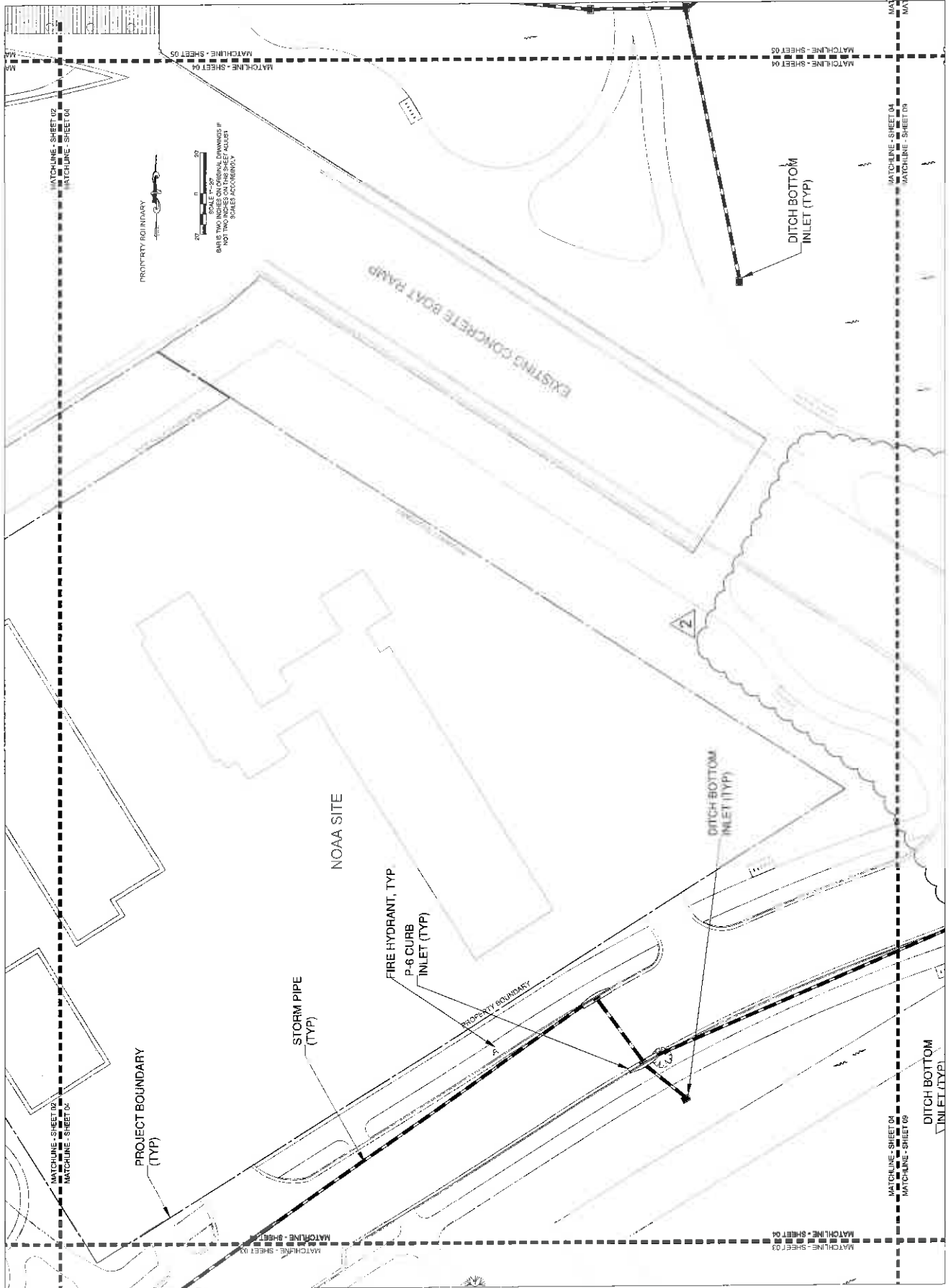
**DEVELOPMENT APPLICATION**  
 March 3, 2013

DESCRIPTION	DATE
1. 02/22/2013	
2. 03/02/2014	

**ISSUANCE SHEET INFORMATION**  
 DRAWING NO. 10-0  
 SCALE 1"=10'  
 DATE January 14, 2013  
 DRAWN BY RTM  
 CHECKED BY AEP  
 CADD FILE

**DRAWING TITLE**  
 CONCEPTUAL DRAINAGE PLAN  
 SHEET NO.

**CC-04**





**BERMELLO AJAMIL & PARTNERS, INC.**  
 Architects - Engineers - Planners  
 200 South Boulevard Drive  
 Suite 200  
 Miami, Florida 33133  
 (305) 896-2900  
 Fax: (305) 896-2900

**REGISTERED PROFESSIONAL ENGINEER**  
 STATE OF FLORIDA  
 P. O. BOX 1829  
 MIAMI, FLORIDA 33102  
 P. E. NO. 12437



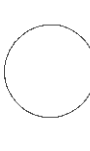
**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**DESIGN CONSULTANT ADDRESS:**  
 TRUMAN WATERFRONT PARK  
 WEST OF FORT STREET AND THE  
 NORTH OF WEST PALM BLVD.

**REGISTERED PROFESSIONAL ENGINEER:**  
**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
 Certificate of Registration No. 9239

1919 Kennedy Drive  
 Suite 201  
 Key West, Florida 33040  
 Tel: (305) 394-8241  
 Fax: (305) 394-8241

**PROFESSIONAL SEAL**



**ALAN E. PEREZ, P.E.**  
 FLORIDA REGISTERED ENGINEER  
 STATEMENT OF CERTIFICATION LICENSE NO.

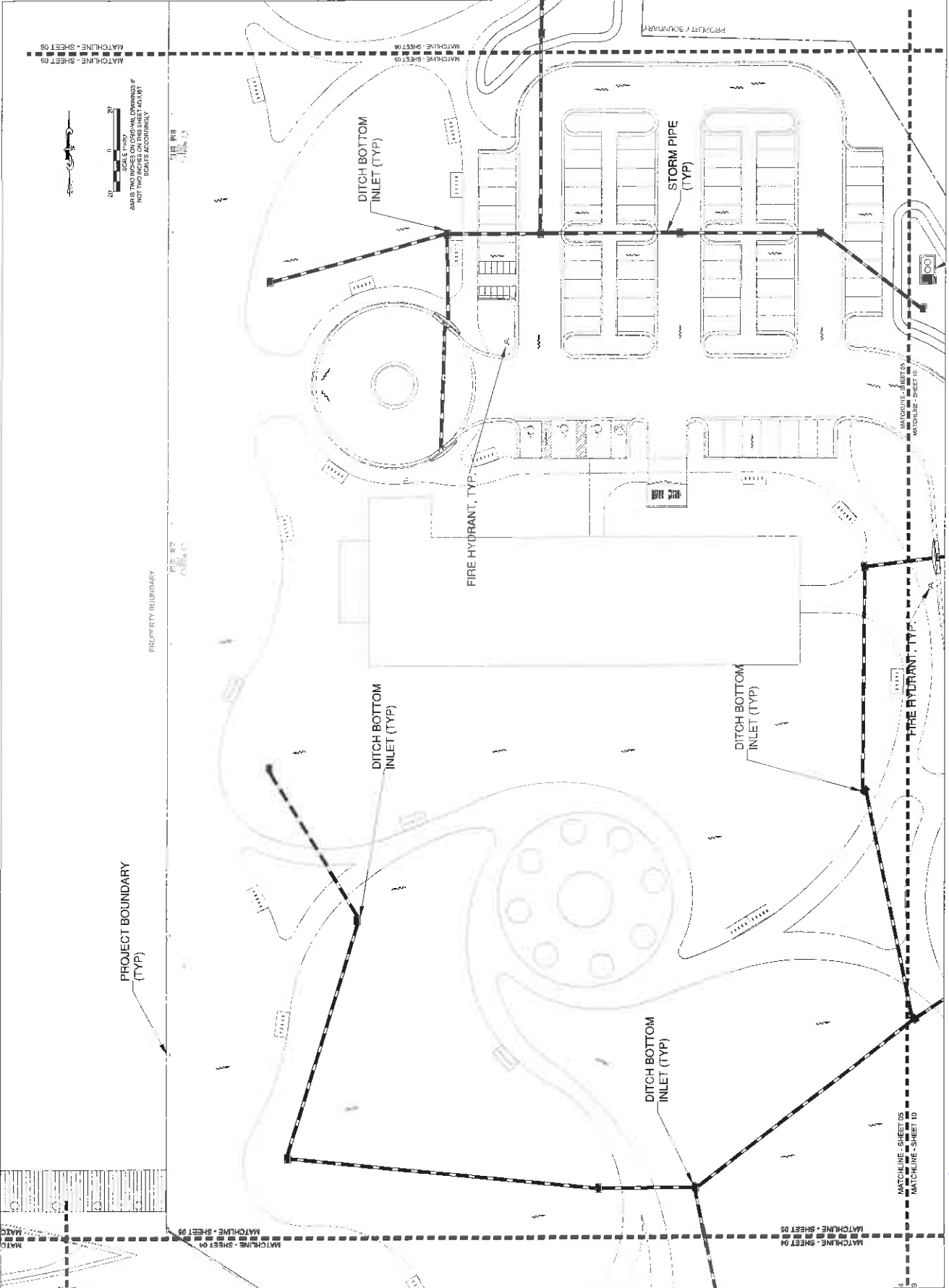
**DEVELOPMENT**  
 TRUMAN WATERFRONT PARK  
 March 3, 2013

REVISION	DATE
1. 02/25/2013	
2. 03/05/2014	

**DRAWING SHEET INFORMATION:**  
 DRAWING NO. 10010  
 SCALE 1"=20'  
 DATE: January 11, 2013  
 DRAWN BY: RTH  
 CHECKED BY: ADP  
 CADD FILE: C:\p\m\truman\truman.dwg

**DRAWING TITLE**  
**CONCEPTUAL DRAINAGE PLAN**  
 SHEET NO.

**CC-05**



*RTH*  
*oc*



**BERMELO AJAMIL & PARTNERS, INC.**  
 3750 La Jolla Village Drive, Suite 200  
 San Diego, CA 92161  
 Phone: (619) 594-9000  
 Fax: (619) 594-9001  
 Website: www.bermelloajamil.com

**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
 1010 Kowalski Drive  
 Suite 201  
 San Diego, CA 92161  
 Phone: (619) 594-9000  
 Fax: (619) 594-9001  
 Website: www.perezeng.com



**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION ADDRESS:**  
 TRUMAN WATERFRONT PARK  
 WEST OF FORT STREET AND THE  
 NORTH OF WEST NAVAL BASE

**SUBSIDIARY CONTRACT NUMBER:**  
**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
 Certificate of Authorization No. 4278

**DATE:** 10/10/2013  
**SCALE:** 1" = 20'  
**KEY:** 10/10/2013/03/00  
**FILE:** 10/10/2013/03/00/01

**DESIGNER:** [Redacted]



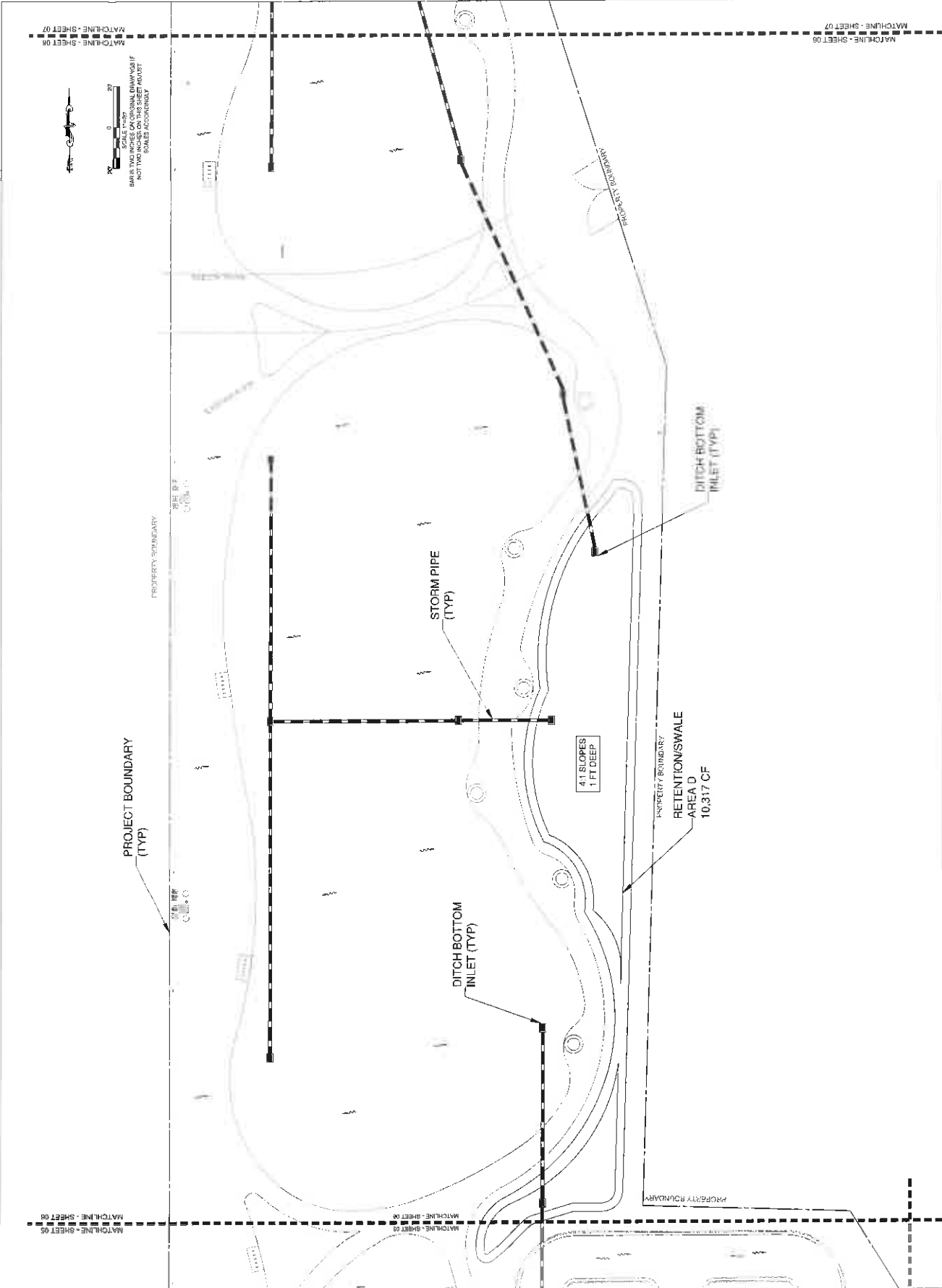
**ALICE E. PEREZ, C.E.**  
 10000  
 PROFESSIONAL ENGINEER  
 SUBMITTAL DESCRIPTION: MILESTONE

**DEVELOPMENT**  
 10/10/2013/03/00  
 March 3, 2013

REVISION	DATE	BY
1	10/10/2013	ALP
2	02/20/2014	ALP

**DEVELOPMENT INFORMATION:**  
 SA PROJECT NO.: 12019  
 SCALE: 1"=20'  
 DATE: January 11, 2013  
 DRAWN BY: [Redacted]  
 CHECKED BY: [Redacted]  
 CADD FILE: [Redacted]

**DRAWING TITLE:**  
**CONCEPTUAL DRAINAGE PLAN**  
 SHEET NO.: CC-06

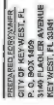


*AKK*  
*OC*



**BERMELLO AJAMIL  
& PARTNERS, INC.**

Professional Seal  
 2801 South Esplanade Drive  
 Miami, Florida 33133  
 P.O. Box 1649  
 Key West, Florida 33041  
 P.O. Box 1649  
 Key West, Florida 33041  
 P.O. Box 1649  
 Key West, Florida 33041



**PROJECT NAME:  
TRUMAN  
WATERFRONT  
PARK**

**PROJECT LOCATION:  
TRUMAN WATERFRONT PARK,  
WEST OF FRONT STREET AND THE  
NORTH OF KEY WEST NAVAL BASE**

**DESIGNER:  
PEREZ ENGINEERING &  
DEVELOPMENT, INC.**

1010 Kennedy Drive  
 Suite 201  
 Key West, Florida 33040  
 P.O. Box 1649  
 Key West, Florida 33041  
 Tel: (305) 294-4643  
 Fax: (305) 294-4643



**ALLEN E. PEREZ, P.E.**  
 PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 EXPIRES 12/31/2013

**DATE OF SUBMITTAL:  
March 3, 2013**

**DEVELOPMENT  
NO. 13-0000001A  
March 3, 2013**

**REVISIONS:**  
 1. 02/22/2013  
 2. 02/25/2013

**DATE OF ISSUE:  
March 3, 2013**

**SCALE:  
AS SHOWN**

**DATE OF ISSUE:  
March 11, 2013**

**DESIGNED BY:  
RPM**

**CHECKED BY:  
RPM**

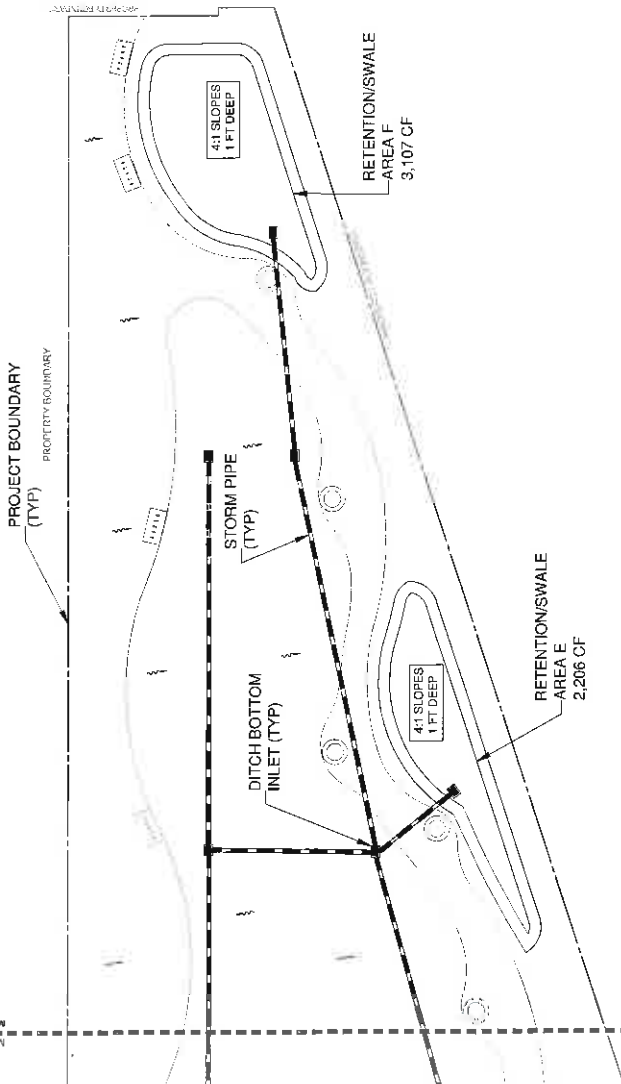
**DATE OF ISSUE:  
March 11, 2013**

**PROJECT TITLE:  
CONCEPTUAL  
DRAINAGE  
PLAN**

**SHEET NO.  
CC-07**



**SCALE: 1"=20'**  
 BASED ON TWO INCHES ON THIS SHEET  
 AND TWO INCHES ON THIS SHEET  
 SCALAR ACCURACY



*RPM*  
*OC*

MATCHLINE - SHEET 07

MATCHLINE - SHEET 08





**BERMELLO AJAMIL & PARTNERS, INC.**  
 Architecture - Engineering - Planning  
 Interior Design - Landscape Architecture  
 2660 South US Highway 1  
 Suite 1000  
 Miami, Florida 33133  
 Tel: (305) 343-1700  
 Fax: (305) 343-1700

**CITY OF MIAMI**  
 P. O. BOX 680  
 MIAMI, FLORIDA 33122  
 KEY WEST: P. O. BOX 100  
 KEY WEST, FL 34139



**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**  
**PROJECT LOCATION ADDRESS:**  
 TRUMAN WATERFRONT PARK  
 WEST OF FORT STREET AND THE  
 NORTH OF WEST NAVAL BASE

**DESIGNER/DATE INFORMATION:**  
**Perez Engineering & Development, Inc.**  
 Certificate of Authorization No. 425

1010 Kennedy Drive  
 Suite 201  
 Key West, FL 34130  
 (305) 292-2440  
 Fax: (305) 298-8230



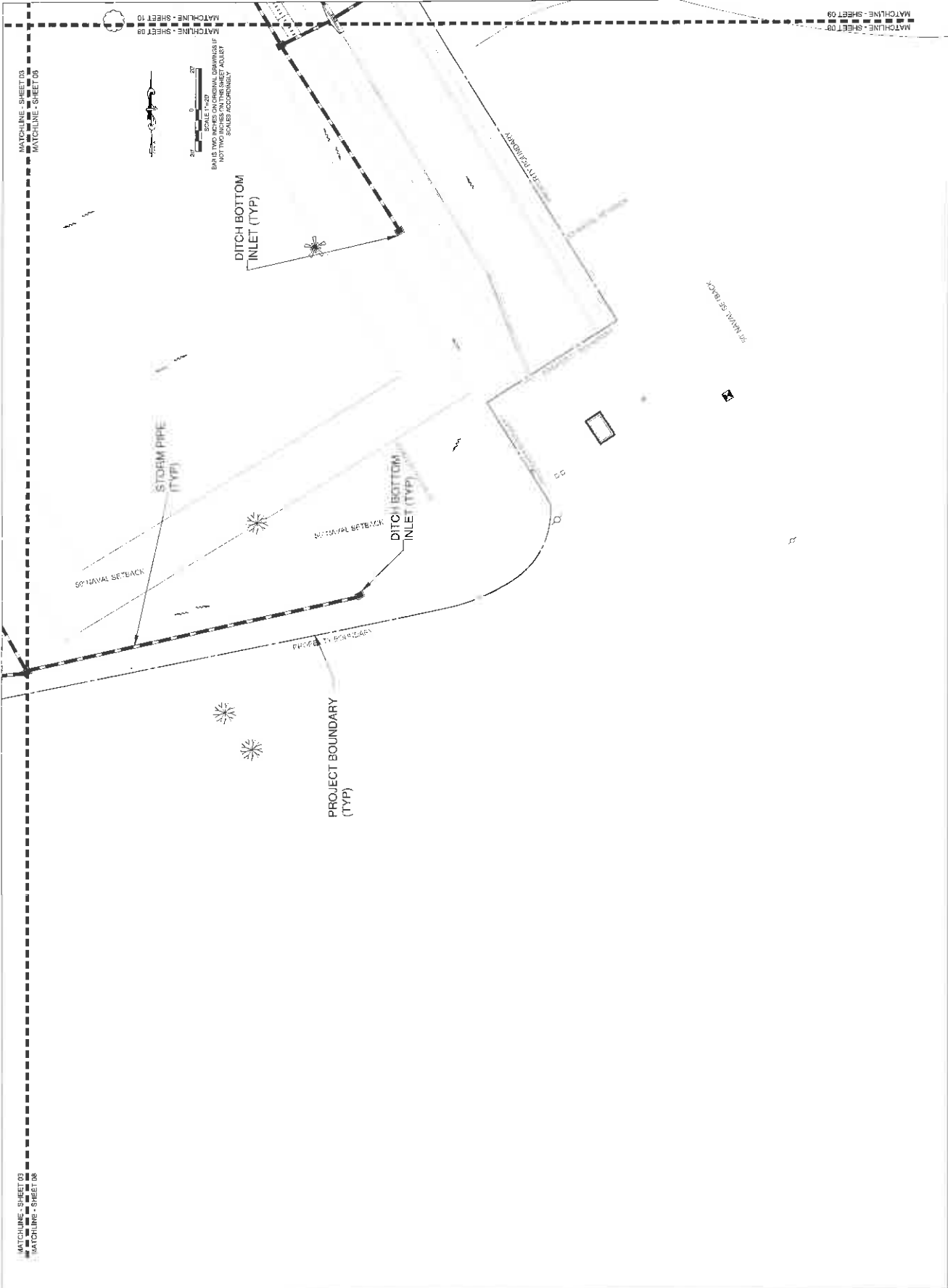
**Allen F. Perez, P.E.**  
 ALL FLORIDA REGISTERED PROFESSIONAL ENGINEERS ARE LICENSED TO SEAL ANY PROJECTS OF ANY NATURE.

**DEVELOPMENT APPLICATION**  
 March 2, 2013

NO.	DESCRIPTION
1	
2	
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**DRAWING SHEET INFORMATION:**  
 SA PROJECT NO.: 1010  
 DATE: June 2012  
 DATE: January 14, 2013  
 DRAWN BY: RTM  
 CHECKED BY: AEP  
 CAD FILE: 1010.dwg

**DRAWING TITLE:**  
**CONCEPTUAL DRAINAGE PLAN**  
 SHEET NO. **CC-08**



*RUK*  
*OC*



**BERMELLO AJAMIL & PARTNERS, INC.**  
 Architects • Engineers • Planners  
 2501 South US Highway 1  
 Suite 1000  
 Miami, Florida 33133  
 Tel: (305) 358-2700  
 Fax: (305) 358-2706

**PROPOSED CONTRACTOR:**  
**CITY OF KEY WEST, FL**  
 1000 N. MIAMI AVENUE  
 340 BLAUGER AVENUE  
 KEY WEST, FL 33944

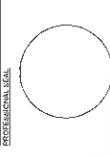


**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION ADDRESS:**  
 TRUMAN WATERFRONT PARK  
 TRUMAN AVENUE DEVELOPMENT  
 NORTH OF KEY WEST NAVAL BASE

**THE CONSULTANT'S PREPARATION:**  
**PREZET ENGINEERING & DEVELOPMENT, INC.**  
 Certificate of Accreditation No. 1002

1910 Kennedy Drive  
 Suite 201  
 Key West, Florida 33903  
 Tel: (305) 253-8840  
 Fax: (305) 253-8285



**DESIGNER:**  
 ALVIN R. BRIDGES, P.E.  
 License No. 12449  
 State of Florida  
 Mechanical  
 12/15/2009

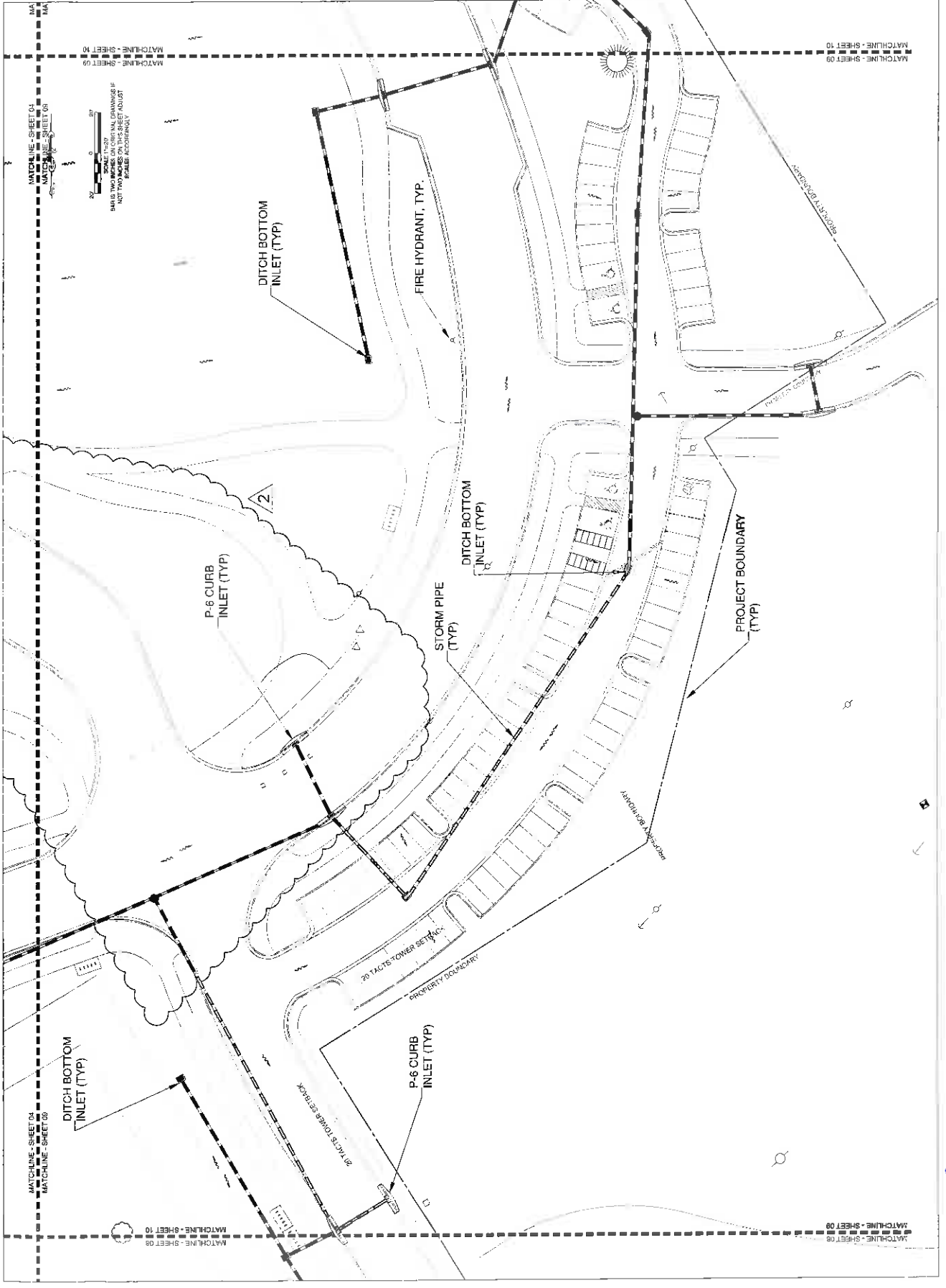
**DEVELOPMENT APPLICATION:**  
 March 3, 2013

**REVISIONS:**  
 1. SUBMITTAL  
 2. SUBMITTAL

**DRAWING SHEET INFORMATION:**  
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 SCALE: 1" = 20'  
 DATE: January 14, 2013  
 DRAWN BY: BTM  
 CHECKED BY: ABP  
 CAD FILE: 12-13-13.dwg

**DESIGN TITLE:**  
**CONCEPTUAL DRAINAGE PLAN**

**SHEET NO.:**  
**CC-09**





**BERMELLO AJAMIL & PARTNERS, INC.**  
 Architects, Planners, Engineers  
 2601 South Bayshore Drive  
 Miami, Florida 33133  
 Tel: (305) 666-1000  
 Fax: (305) 666-3700

**CITY OF MIAMI**  
 DEPARTMENT OF PUBLIC WORKS  
 P.O. BOX 6409  
 MIAMI, FLORIDA 33166  
 TEL: (305) 375-2500  
 FAX: (305) 375-2500



**TRUMAN WATERFRONT PARK**

PROJECT LOCATION ADDRESS:  
 TRUMAN WATERFRONT PARK,  
 WEST OF FORT STREET AND THE  
 NORTH OF WEST NAVAL BASE

**Perez Engineering & Development, Inc.**  
 Engineers and Architects  
 1075 Kennedy Drive  
 Suite 201  
 Key West, Florida 33040  
 Tel: (305) 857-1100  
 Fax: (305) 239-2629

**PROFESSIONAL SEAL**



**PAUL E. PEREZ, P.E.**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 10000

**REVISIONS**

**REVISIONS**

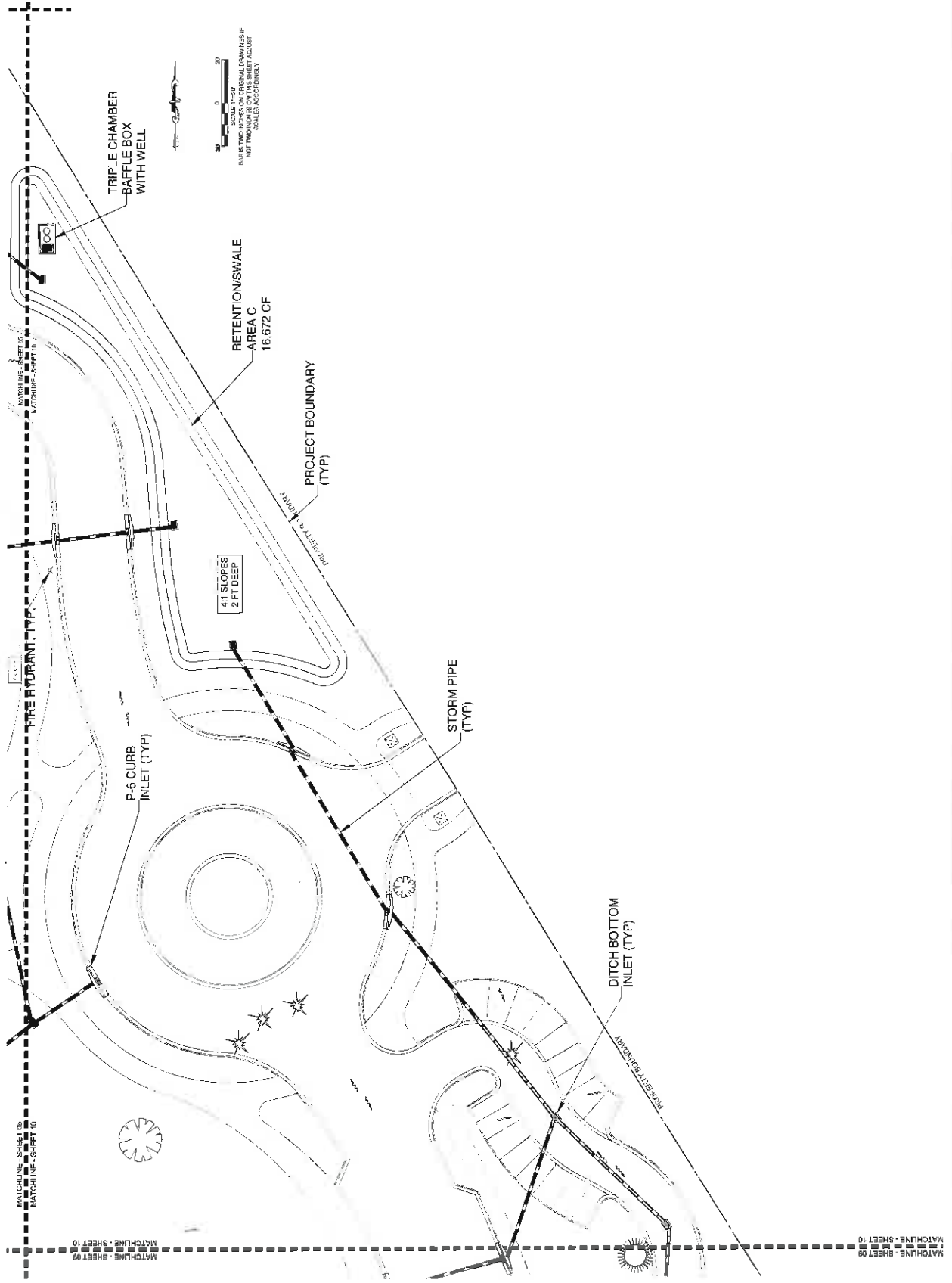
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2	03/02/14	ISSUED FOR PERMITS

**DESIGN SHEET INFORMATION**

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 DATE 2/9/14  
 DRAWN BY RMA  
 CHECKED BY AEP  
 CAD FILE 1070.dwg

**DRAWING TITLE**  
**CONCEPTUAL DRAINAGE PLAN**  
 SHEET NO.

**CC-10**



*RMK*  
*OC*



**BERMELLO AJAMIL & PARTNERS, INC.**  
 Architecture • Engineering • Planning  
 Interior • Exterior • Landscape Architecture  
 220 West 10th Street  
 Suite 1000  
 Fort Lauderdale, FL 33301  
 Phone: (954) 583-2000  
 Fax: (954) 583-1700

**TRUMAN WATERFRONT PARK**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304



**TRUMAN WATERFRONT PARK**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

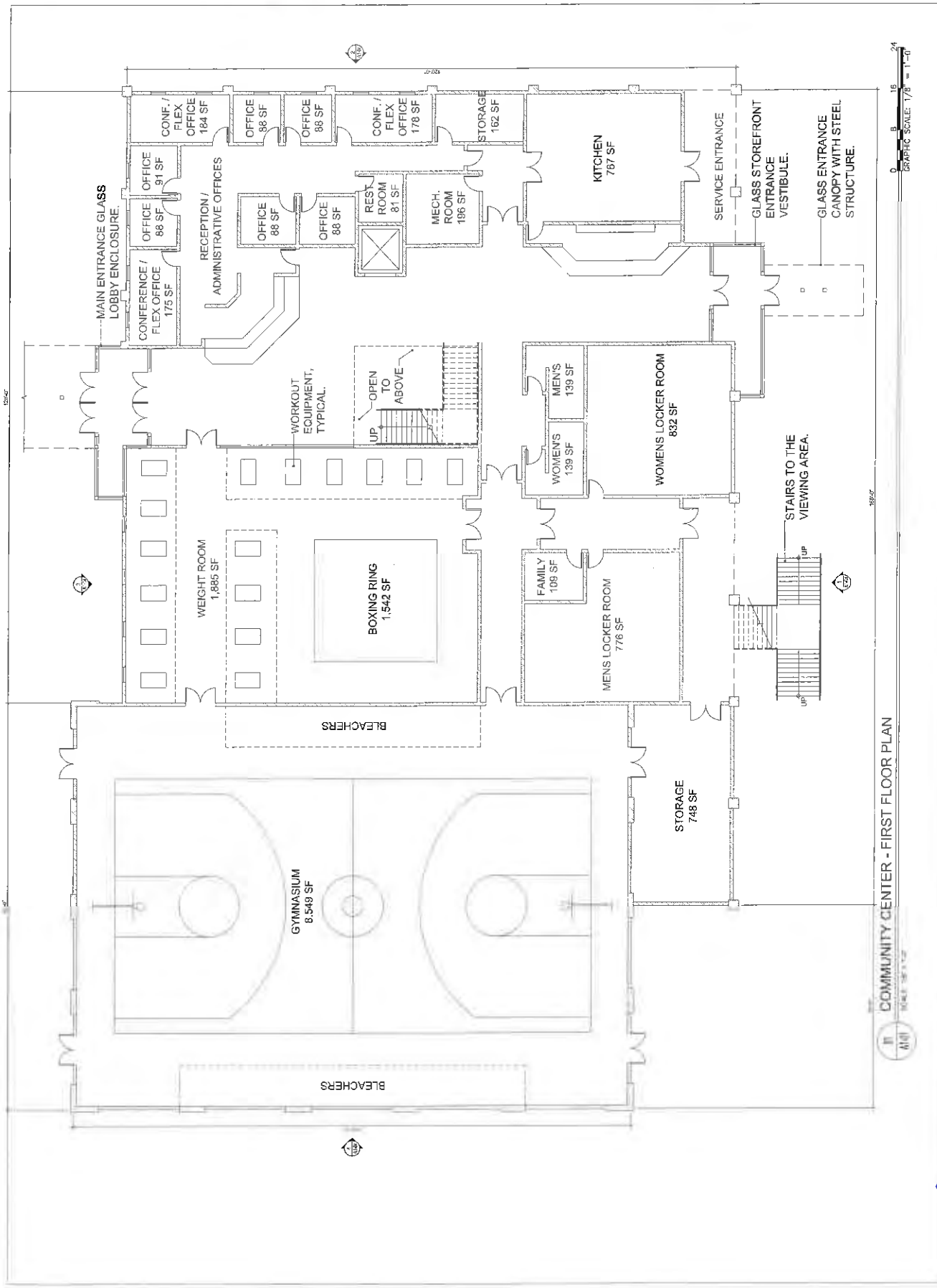
**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304

**TRUMAN WATERFRONT PARK, WEST**  
 PROJECT NAME  
 CITY OF FORT LAUDERDALE, FL  
 500 S. UNIVERSITY AVENUE  
 FORT LAUDERDALE, FL 33304



0 5 10 15 20  
 GRAPHIC SCALE: 1/8" = 1'-0"

COMMUNITY CENTER - FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



**A1-01**

*RWK*  
*QC*





**BERMELLO AJARIL & PARTNERS, INC.**  
 Architecture - Engineering - Planning  
 1001 South Harrison Drive  
 Suite 1000  
 Miami Beach, FL 33135  
 Tel: (305) 662-5200  
 Fax: (305) 662-3700

**PREPARED FOR:**  
 CITY OF MIAMI  
 3301 PALMER AVENUE  
 MIAMI, FL 33141



**PROJECT NAME:**  
 TRUMAN WATERFRONT PARK

**DESIGNER:**  
 BERMELLO AJARIL & PARTNERS, INC.

**ARCHITECT:**  
 mbi | k2m ARCHITECTURE, INC.  
 1211 WINDWARD ST., SUITE 101  
 Key West, FL 33401  
 Tel: 305-242-2424  
 Fax: 305-242-2424  
 URL: www.mbi-k2m.com  
 PRCF REG. # 20090008

**PROFESSIONAL SEAL:**



**APPROVED BY:**  
 ARCHITECT  
 STATE OF FLORIDA

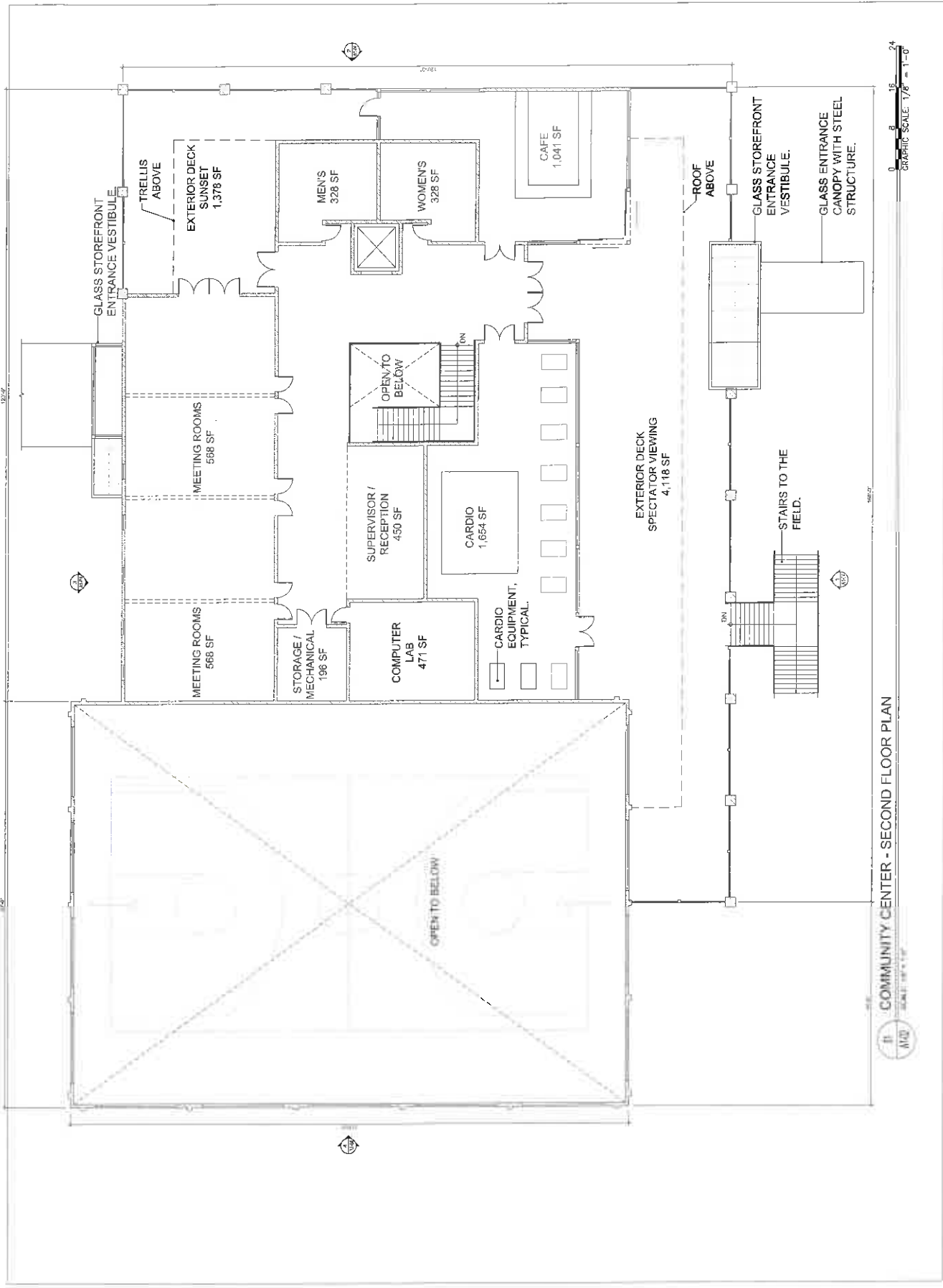
**DEVELOPMENT APPLICATION**  
 January 14, 2013

**REVISIONS:**

**DATE:** 01/14/13  
**SCALE:** AS SHOWN  
**DATE:** 01/14/13  
**DRAWN BY:** PPS  
**CHECKED BY:** ADR  
**CAD FILE:** 13\_0114.dwg

**DRAWING TITLE:**  
 COMMUNITY CENTER - 2ND FLOOR PLAN

**SHEET NO.:**  
 A1-02



*Handwritten signature:* RUK  
 SC













**BERNELLO AJAMIL & PARTNERS - I/M/C**  
 Architecture • Engineering • Planning  
 Interior Design • Landscape Architecture  
 2015 N. W. 10th St., Suite 1000  
 Fort Lauderdale, FL 33304  
 P: (954) 562-2200  
 F: (954) 562-3700

**PREPARED FOR:**  
 CITY OF FORT WORTH, TX  
 P.O. BOX 409  
 100 WEST 10TH STREET  
 FORT WORTH, TX 76102



**TRUEMAN ARCHITECTURE**  
**WATERFRONT PARK**

**PROJECT LOCATION/ADDRESS:**  
 TRUEMAN WATERFRONT PARK, WEST  
 AMERICAN RIVER, NORTH OF  
 WEST WAVE, INDIAN

**PROFESSIONAL SEAL:**

**mbi | k2m**  
 ARCHITECTURE, INC.  
 1001 ADVANCE ST., SUITE 100  
 FORT WORTH, TEXAS 76104  
 TEL: 817.336.2000  
 FAX: 817.336.2002  
 WWW.MBIK2M.COM



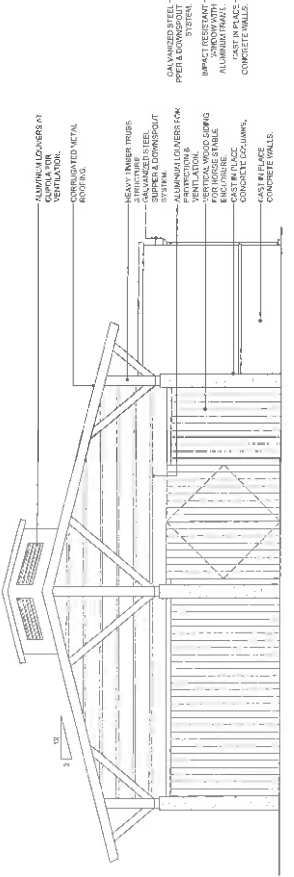
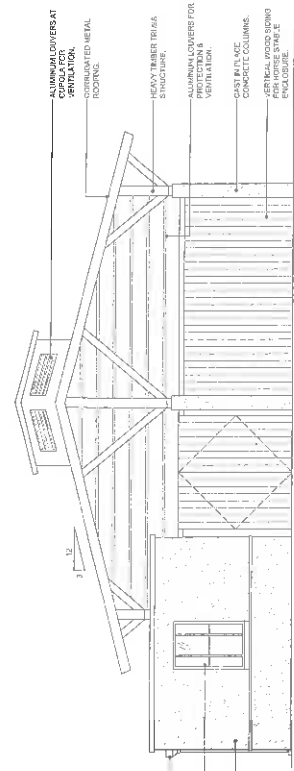
**APPROVED FOR:**  
 FORT WORTH, TEXAS  
 LICENSE NUMBER: 40888

**DEVELOPMENT APPLICATION**  
 January 14, 2013

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 DATE: 01/14/2013  
 DRAWN BY: AMG  
 CHECKED BY: ADG  
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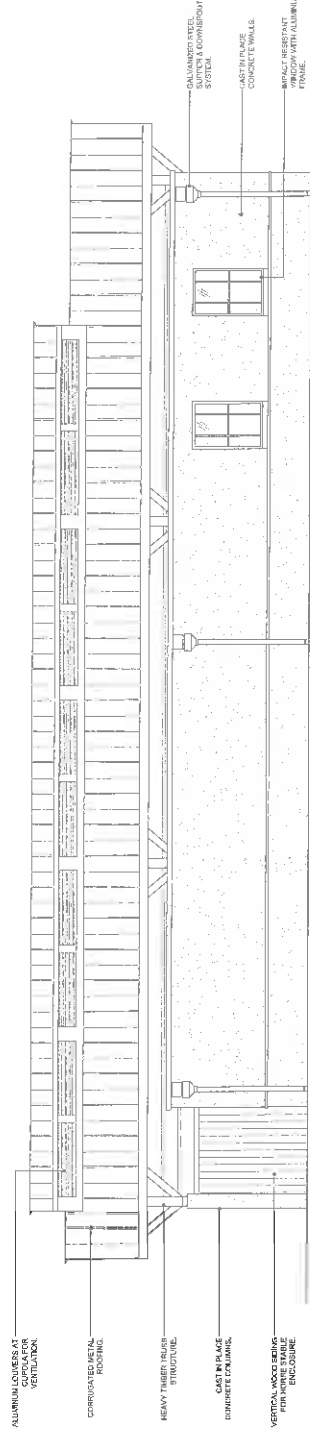
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 HORSE STABLES  
 EXTERIOR  
 ELEVATIONS

**SHEET NO.:**  
 A2-03

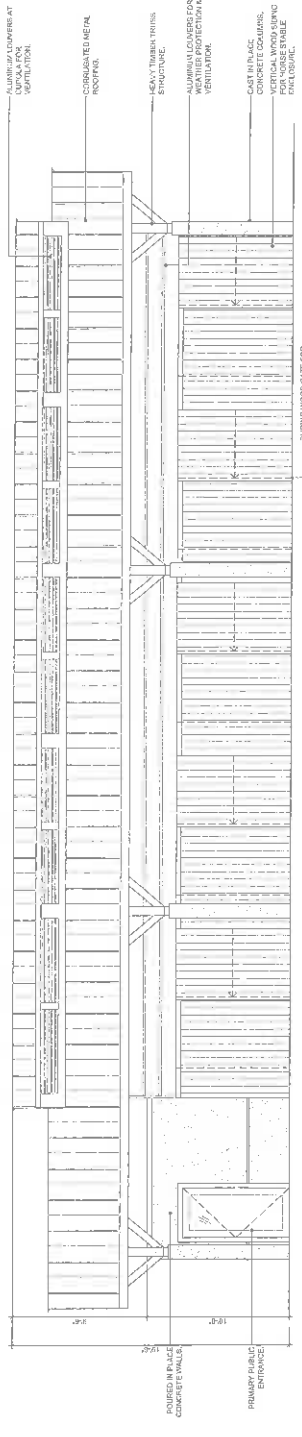


**04 HORSE STABLE ELEVATION - WEST**  
 SCALE: 1/4" = 1'-0"  
 A2/03

**03 HORSE STABLE ELEVATION - EAST**  
 SCALE: 1/4" = 1'-0"  
 A2/03



**02 HORSE STABLE ELEVATION - SOUTH**  
 SCALE: 1/4" = 1'-0"  
 A2/03



**01 HORSE STABLE ELEVATION - NORTH**  
 SCALE: 1/4" = 1'-0"  
 A2/03

*Handwritten initials/signature*



**BERMELO AJAMIL & PARTNERS INC**  
 Mechanical, Electrical, Plumbing  
 2801 South Bayshore Drive  
 Miami, Florida 33133  
 (305) 856-6300  
 Fax: (305) 856-7000

**ARCHITECT/ENGINEER**  
 CITY OF MIAMI, FL  
 340 MASLER AVENUE  
 MIAMI, FL 33136



**PROJECT NAME**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION**  
 TRUMAN WATERFRONT PARK  
 101 SOUTH STREET AND THE TRUMAN  
 PARK AVENUE, NORTH OF  
 THE EAST PALM BEACH

**ARCHITECTURAL FIRM**  
**mbi | k2m**  
**ARCHITECTURE, INC**  
 1011 Johnson St., Suite 1101  
 Fort Lauderdale, FL 33304  
 Tel: 561-526-2722  
 Fax: 561-526-2722  
 Email: info@mbi-k2m.com  
 WWW.MBI-K2M.COM  
 PROF. REG. ARCHITECT

**PROFESSIONAL SEAL**



**ANTHONY D. GARBER, R.A.**  
 ARCHITECT  
 LICENSE NUMBER: 45538

**SUBMITTAL DESCRIPTION**  
 DEVELOPMENT  
 BUILDING PERMIT  
 January 14, 2013

**DATE**  
 01/14/2013

**SCALE**  
 AS NOTED

**DATE**  
 01/14/2013

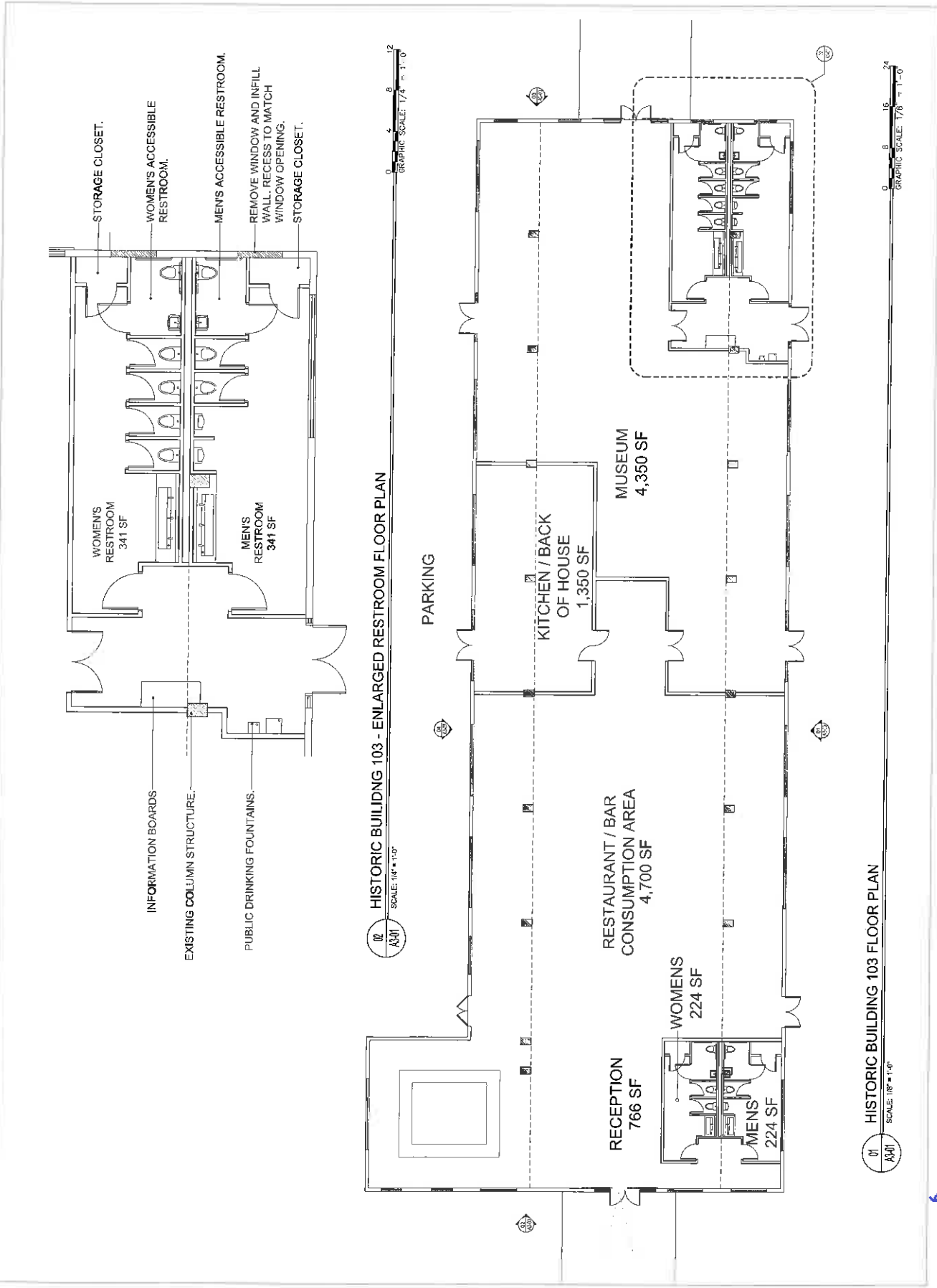
**DRAWN BY**  
 PJS

**CHECKED BY**  
 ASD, MJP

**DATE PLOTTED**  
 01/14/13

**GRAPHIC TITLE**  
 BUILDING 103  
 FIRST FLOOR PLAN

**SHEET NO.**  
 A3-01



**02** HISTORIC BUILDING 103 - ENLARGED RESTROOM FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**01** HISTORIC BUILDING 103 FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

*Handwritten notes:*  
 PJK  
 ec









**BERNELLO AJAMIL & PARTNERS INC**  
 Architecture - Engineering - Planning  
 2501 South Bayshore Drive  
 Miami, FL 33133  
 Phone: (305) 675-2200  
 Fax: (305) 660-1100

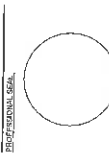
**SEBASTIAN LOPEZ/BAE**  
 PROJECT ARCHITECT  
 P.O. BOX 600  
 MIAMI BEACH, FL 33133



**PROJECT NAME**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION/ADDRESS**  
 WEST OF PORT STREET AND THE  
 NORTH AND SOUTH BAYSHORE  
 DRIVE

**PROFESSIONAL SEAL**



**PROFESSIONAL SEAL**

**PROFESSIONAL SEAL**

**DEVELOPMENT APPLICATION**  
 March 17, 2014

**REVISIONS**

NO.	DATE	DESCRIPTION
1	02/24/2014	Revisions to Main Review
2	02/24/2014	Revisions to Main Review

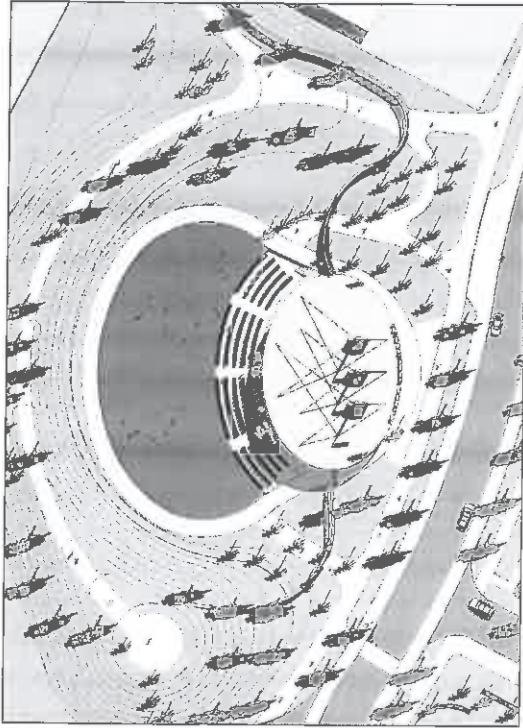
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 DATE February 12, 2014  
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 CHECKED BY: SB  
 CAD FILE: 10089.dwg

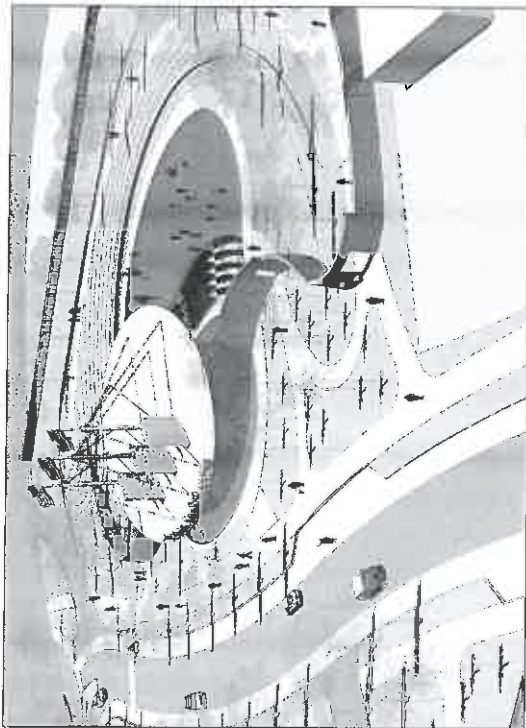
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**AMPHITHEATER RENDERINGS**

**SHEET NO.**

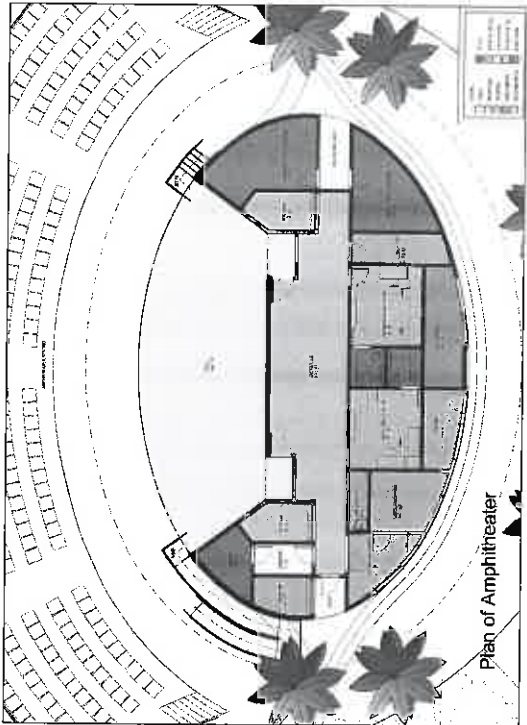
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3 PLAN VIEW OF AMPHITHEATER

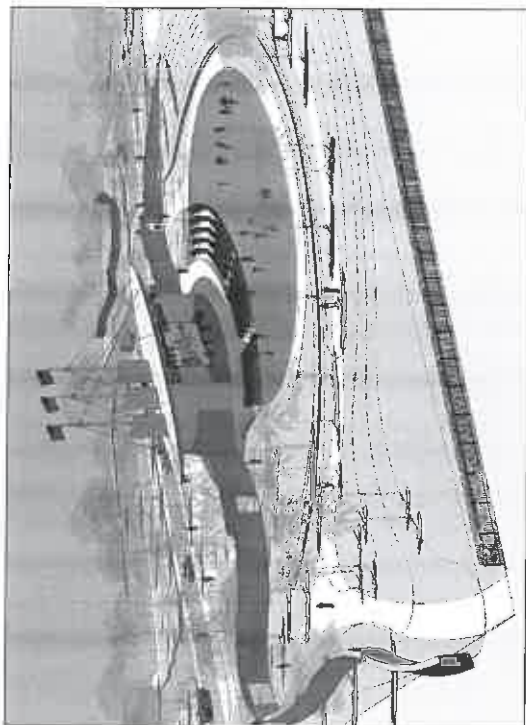


4 BIRD'S EYE VIEW FROM THE EAST



1 PLAN VIEW OF AMPHITHEATER BUILDING

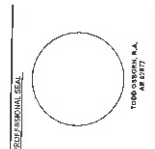
SCALE: N/A



2 BIRD'S EYE VIEW FROM THE NORTH

SCALE: N/A

*8*  
*RAC*



**DEVELOPMENT APPLICATION**  
 March 2, 2014

<b>REVISIONS:</b>	
1	02/27/2017
2	02/28/2017
3	02/28/2017
4	02/28/2017
5	02/28/2017
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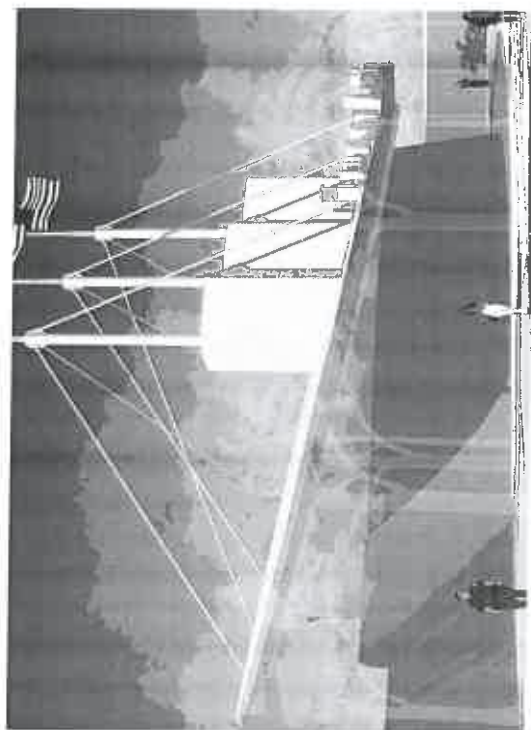
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 BY PROJECT NO. 1676  
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 DATE February 22, 2014  
 DRAWN BY YJ  
 CHECKED BY SB  
 CAD FILE  
 DRAWING TITLE

**AMPHITHEATER RENDERINGS**

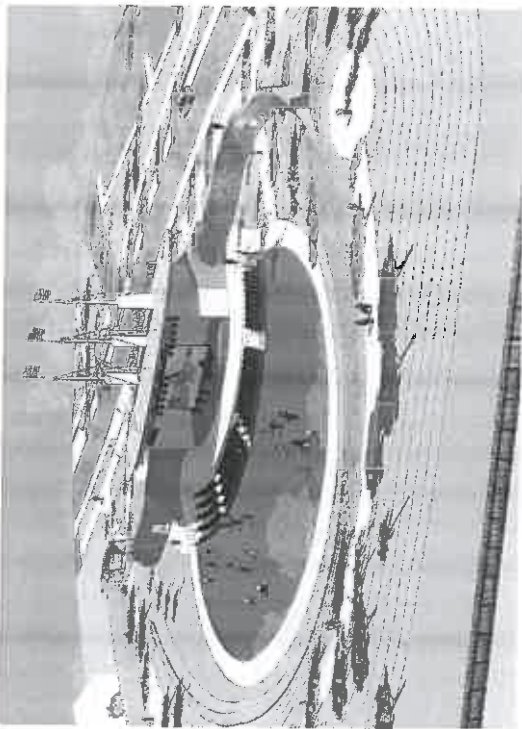
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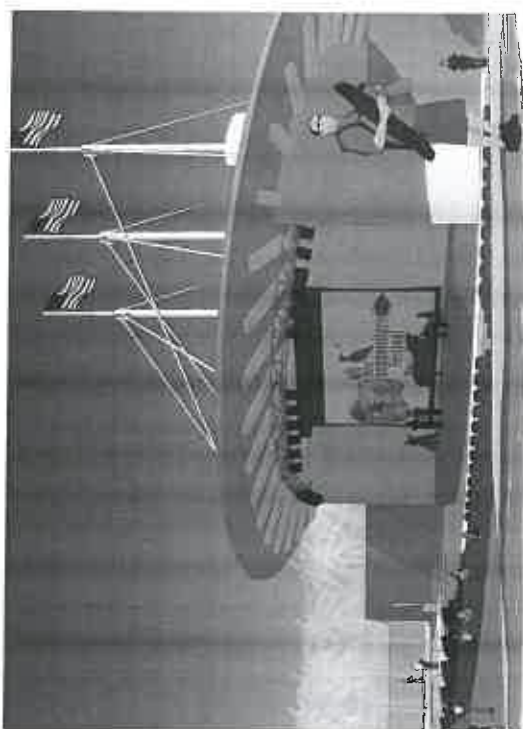
3 BIRD'S EYE VIEW FROM THE SOUTH  
 SCALE: N/A



4 GROUND LEVEL VIEW FROM THE SOUTHWEST  
 SCALE: N/A



1 BIRD'S EYE VIEW FROM THE WEST  
 SCALE: N/A



2 GROUND LEVEL VIEW FROM THE WEST  
 SCALE: N/A

*RAK*





**BERNELLO AJAMIL & PARTNERS INC**  
 Architects • Engineers • Planners  
 2075 South Harbour Drive  
 Suite 1000  
 Miami, FL 33133  
 (305) 863-1213  
 Fax (305) 863-3700

**PREPARED FOR:**  
 CITY OF FORT WORTH, FL  
 5801 PLACER AVENUE  
 FORT WORTH, FL 33601



**PROJECT NAME:**  
**TRUMAN WATERFRONT PARK**

**PROJECT LOCATION:**  
 WEST OF WESTPORT CANAL  
 WEST OF WEST STREET CANAL  
 TRUMAN AREA DEVELOPMENT,  
 NORTH OF WEST NAVAL BASE  
 BUILDING 31 AND 3200 WATER

**PROFESSIONAL SEAL**

TO BE FILLED IN BY ARCHITECT/ENGINEER

FOR STATE OF FLORIDA

**DEVELOPMENT APPLICATION**  
**MARCH 2, 2014**

**REVISIONS:**

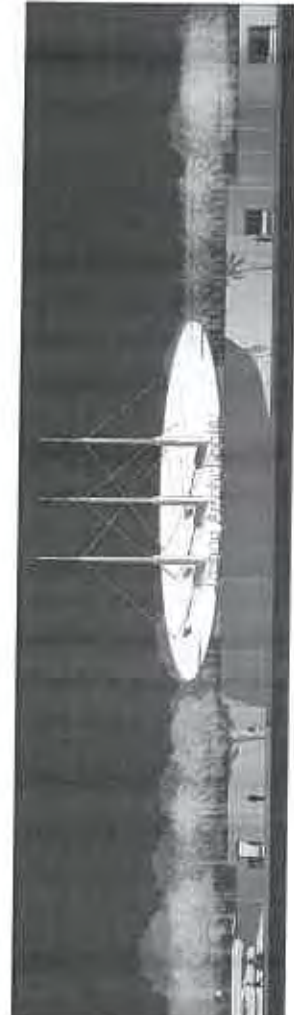
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3	02/27/14	ISSUE FOR PERMIT
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17	02/27/14	ISSUE FOR PERMIT
18	02/27/14	ISSUE FOR PERMIT
19	02/27/14	ISSUE FOR PERMIT
20	02/27/14	ISSUE FOR PERMIT

**DRAWING SHEET CHARACTERISTICS**

BA PROJECT NO.: 1010  
 SCALE: AS SHOWN  
 DATE: February 12, 2014  
 DRAWN BY: YI  
 CHECKED BY: SB  
 CADD FILE: ...  
 DESIGNED BY: ...

**AMPHITHEATER RENDERINGS**

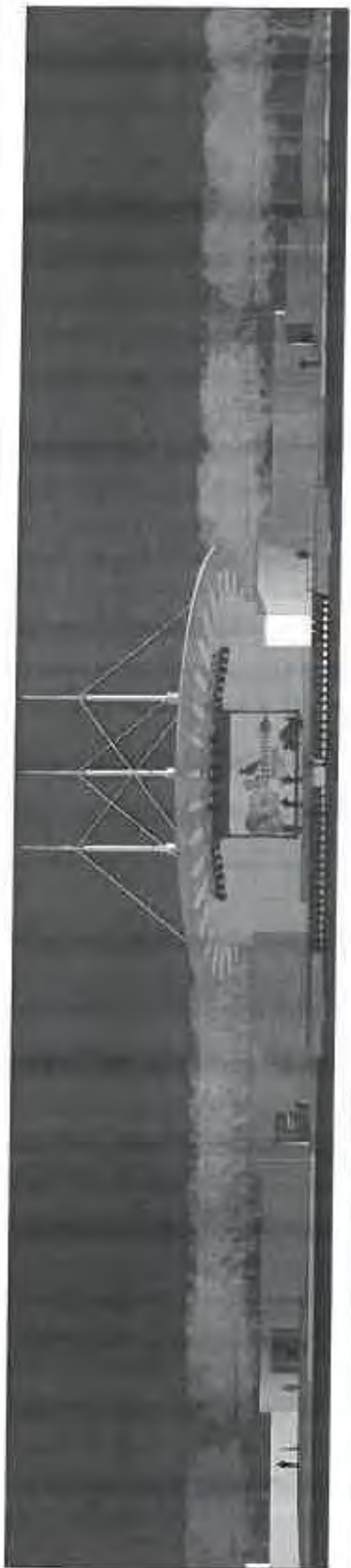
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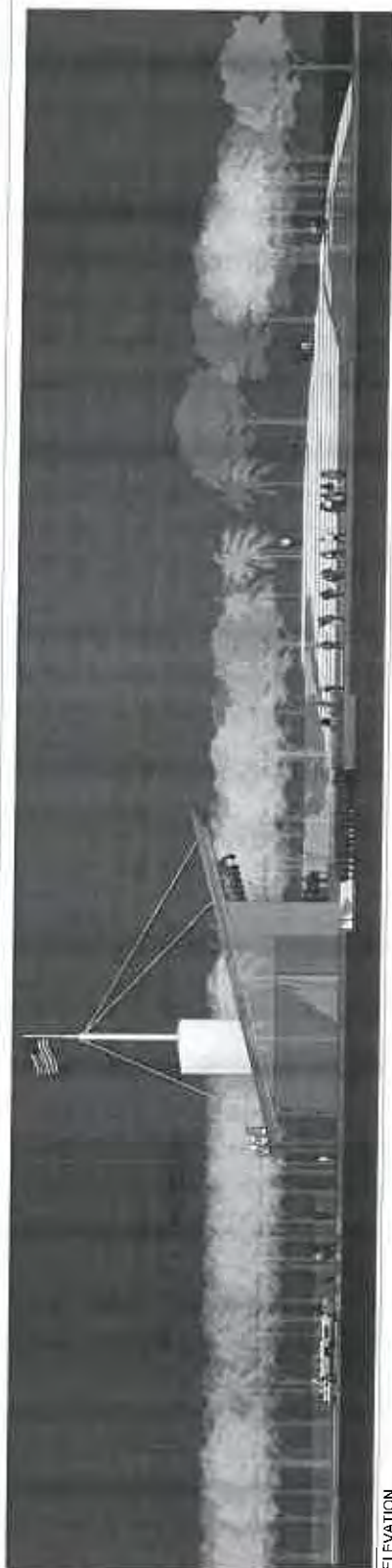
**1** GROUND LEVEL VIEW FROM THE EAST  
 SCALE: N/A



**4** SOUTH ELEVATION  
 SCALE: N/A



**2** NORTH ELEVATION  
 SCALE: 1/8"



**3** EAST ELEVATION  
 SCALE: N/A

*Handwritten signature and initials in blue ink.*



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

---

**TO:** Nicole Malo, Planner II  
Donald Craig, Planning Director

**CC:** James Bouquet, Director of Engineering  
Doug Bradshaw, Senior Project Manager

**FROM:** Elizabeth Ignoffo, E.I., Permit Engineer

**DATE:** March 21, 2014

**SUBJECT: Truman Waterfront  
Conditional Use Application**

Truman Waterfront Park Development Plan, dated March 3, 2014, has been reviewed for the Conditional Use Application. Inconsistencies regarding the proposed Angela Street park entrance and existing conditions within the right-of-way shall be noted for the record, and should be addressed prior to site development.

Please coordinate the Angela Street park entrance, shown as two-way traffic, with the Bahama Village/Truman Waterfront Connectivity Project, GN-0901. (Plan sheets for that section of Angela Street are enclosed.)

A summary of existing conditions within the Angela Street right-of-way are as follows:

- 1) Angela Street right-of-way width is 30 feet.
- 2) The length of Angela Street from the Utility Board property to Emma Street is approximately 150 feet. This section of Angela Street provides access to one residential property, and is a designated two-way driveway aisle. The right-of-way is not utilized for street parking.
- 3) Keys Energy Services utility poles are located along the north side and the south side of Angela Street. Distances between the poles, measuring across the street, are 19 feet ranging up to 22 feet.

Based on existing conditions and a six-foot roadside clear zone width, a maximum travel lane width of 18 feet could possibly be attained. Traffic lanes should be 12 feet in width, but not less than 10 feet in width.<sup>1</sup> 18-foot travel lane width is insufficient for two-way traffic.

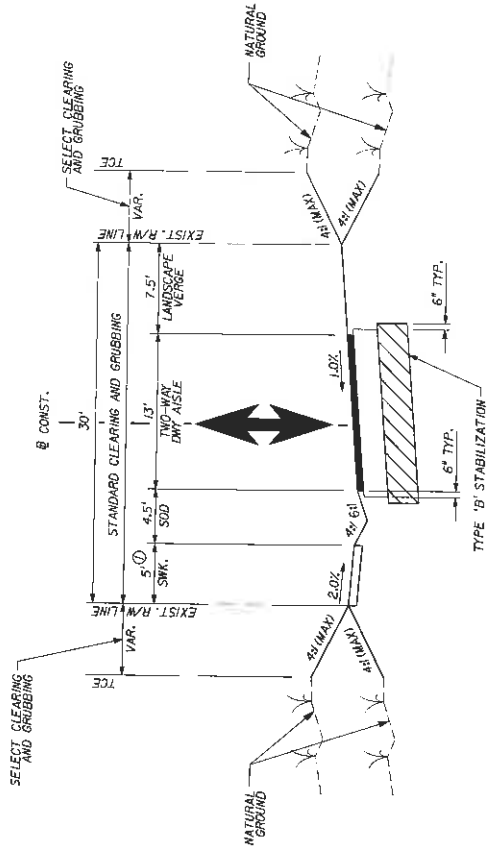
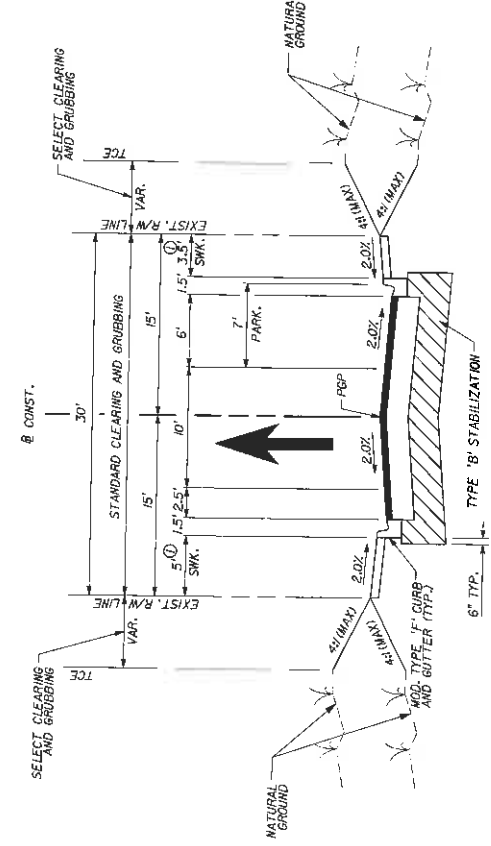
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<sup>1</sup> Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Street and Highways (Florida Greenbook), State of Florida, Department of Transportation, 3-17, 3-24, 3-70.

*RWC*  
*oe*







STA. 201+78.72 TO STA. 203+32.00

STA. 203+32.00 TO STA. 207+84.27

- NOTES:
1. SIDEWALK WIDTH WILL VARY ALONG CORRIDOR DUE TO PHYSICAL ENCROACHMENTS INTENDED TO REMAIN OR THE PROPOSED SIDEWALK EXTENDING BEYOND THE COORDINATE WITH CITY REPRESENTATIVE REGARDING SIDEWALK WIDTH VARIATIONS LOCATED ALONG THE CORRIDOR.
  2. CONTRACTOR SHALL REVIEW THE PLAN & PROFILE SHEETS FOR ISOLATED VARIATIONS TO THE PROPOSED TYPICAL SECTIONS.

POSTED SPEED = 30 MPH  
DESIGN SPEED = 35 MPH

NEW CONSTRUCTION  
FRICTION COURSE FC-9.5 (TRAFFIC CULS<sup>2</sup>/RUBBER)  
CLEAN SPEC-3.5 STRUCTURAL COURSE (TRAFFIC C12)  
TYPE 'B' STABILIZATION (2" / 1/4" INK, LBR 40)

NEW CONSTRUCTION  
FRICTION COURSE FC-9.5 (TRAFFIC CULS<sup>2</sup>/RUBBER)  
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TYPE 'B' STABILIZATION (2" / 1/4" INK, LBR 40)



DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

CITY OF KEY WEST  
FLORIDA  
BARAMA VILLAGE/TRUMAN WATERFRONT  
CONNECTIVITY PROJECTS

ANGELA STREET  
TYPICAL SECTION

SHEET NO. 15

2/28/2020 3:49:23 PM C:\P\B\7000\WP\1446100-00\WP\CAD\DWG\17752020.dwg

ANGELA

*Handwritten signature and initials*

