



Historic Architectural Review Commission
Staff Report for Item 17

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Enid Torregrosa, MSHP
Historic Preservation Planner

Meeting Date: September 27, 2016

Applicant: Thomas Kelly, Designer

Application Number: H16-03-0050

Address: #231 Margaret Street

Description of Work

Extension of second floor covered deck. New ADA lift and new staircases.

Site Facts

The main building in the site is not listed in the surveys and the structure that will be altered is a non-historic addition build circa 1994. Planning Board recently approved a parking waiver request and the urban forester has been contacted for this specific project.

Guidelines Cited on Review

- Additions, alterations and new construction (pages 36-38a), specifically guidelines 1, and 3 through 8 of page 37. Guidelines for new construction.
- Roof decks (page 28a), specifically first paragraph.

Staff Analysis

The Certificate of Appropriateness in review is for the expansion of an existing roof deck of a commercial building located on the bight area. The proposed design includes the expansion of an existing roof as well as relocation of staircases. All construction will be made of wood and the added roof will have metal v-crimp as its finish material. The

addition will be done on the southwest portion of the existing deck. Both stairs will be located on the south portion of the deck as well as a new ADA lift.

Consistency with Guidelines

It is staff's opinion that the proposed design is consistent with the cited guidelines. The guidelines for roof decks are more specific to historic structures and to primary buildings. On this specific case, the context is the Key West bight, which is commercial in use and character. Staff opines that the proposed addition will not have an adverse effect to the site or its surrounding context.

Although the existing guidelines for staircases (guidelines 13-14 on page 33), are written for historic stairs, for this design there is a need to upgrade them as they do not comply with current building code. The ADA lift is also a code requirement and it will not be visible from the main street.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

www.cityofkeywest-fl.gov

HARC PERMIT NUMBER H16-0030050		BUILDING PERMIT NUMBER	INITIAL & DATE MJK 6/16/16
FLOODPLAIN PERMIT			REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT YES NO %

ADDRESS OF PROPOSED PROJECT:

231 MARGARET STREET

OF UNITS **1**

RE # OR ALTERNATE KEY:

NAME ON DEED:

CITY OF KEY WEST

PHONE NUMBER

OWNER'S MAILING ADDRESS:

EMAIL

CONTRACTOR COMPANY NAME:

PHONE NUMBER

CONTRACTOR'S CONTACT PERSON:

EMAIL

APPLICANT'S NAME:

THOMAS KELLY

PHONE NUMBER **305-304-1984**

APPLICANT'S ADDRESS:

19141 ROCKY ROAD

EMAIL **THOMASCKELLY1@BELLSOUTH.NET**

SUGARLOAF KEY, FL 33042

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: ONE OR TWO FAMILY MULTI-FAMILY COMMERCIAL NEW REMODEL
 CHANGE OF USE / OCCUPANCY ADDITION SIGNAGE WITHIN FLOOD ZONE _____
 DEMOLITION SITE WORK INTERIOR EXTERIOR AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., **1. ENLARGE**

EXISTING COVERED DECK AREA AT SECOND FLOOR. 2. INSTALL HANDICAPPED LIFT

3. REBUILD (2) STAIRCASES.

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOVT AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:

OWNER PRINT NAME: **MARK FINIGAN 6129114**

QUALIFIER PRINT NAME:

OWNER SIGNATURE: *[Signature]*

QUALIFIER SIGNATURE:

Notary Signature as to owner: *[Signature]*

Notary Signature as to qualifier:

STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS **29** DAY OF **June**, 20 **16**

STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20 _____



Personally known or produced _____ as identification. Personally known or produced _____ as identification.

23123 No Cur @ Loc.

Project approved by Port + Marine Services - *Doug Bradshaw*
Director 6-29-16

SIGN SPECIFICATIONS

SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY: HARC STAFF OR COMMISSION REVIEW

APPROVED NOT APPROVED DEFERRED FOR FUTURE CONSIDERATION TABLED FOR ADD'L. INFO.

HARC MEETING DATE: HARC MEETING DATE: HARC MEETING DATE:

REASONS OR CONDITIONS:

STAFF REVIEW COMMENTS:

Not listed. Guidelines for abatement, decks ordinance for demolition of non-historic structures.

HARC PLANNER SIGNATURE AND DATE: HARC CHAIRPERSON SIGNATURE AND DATE:

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

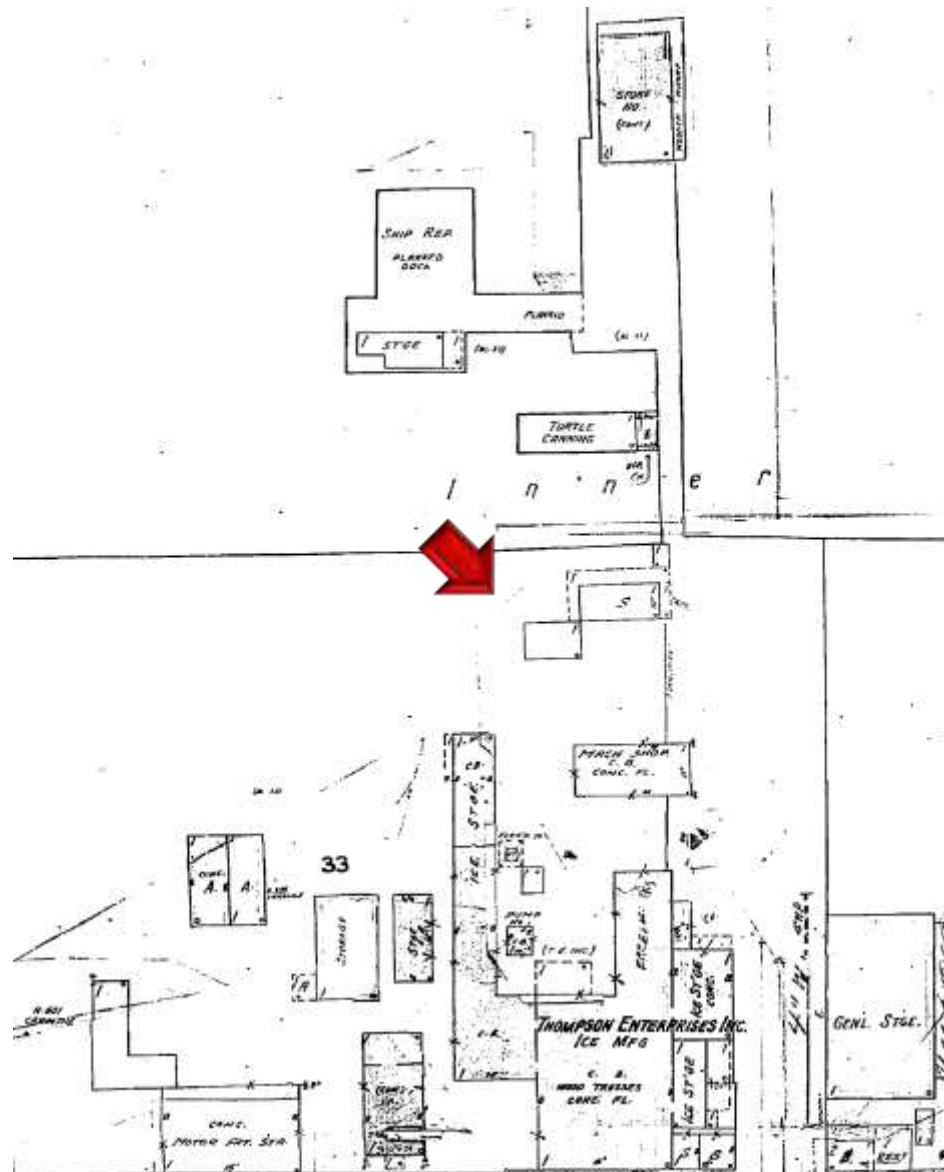
FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

SANBORN MAPS



1962 Sanborn Map

PROJECT PHOTOS



231 Margaret Street circa 1965







EXIT

DINGHY DOCK
RATES
1.00 Car
1.00 Boat
1.00 North

PRIVATE PROPERTY

PRIVATE PROPERTY

PRIVATE PROPERTY

305 304 0483







15 MINUTE
PARKING
LOADING
ZONE ONLY

PLEASE PARK ONLY HERE

PLEASE PARK ONLY HERE

ODYSSEY







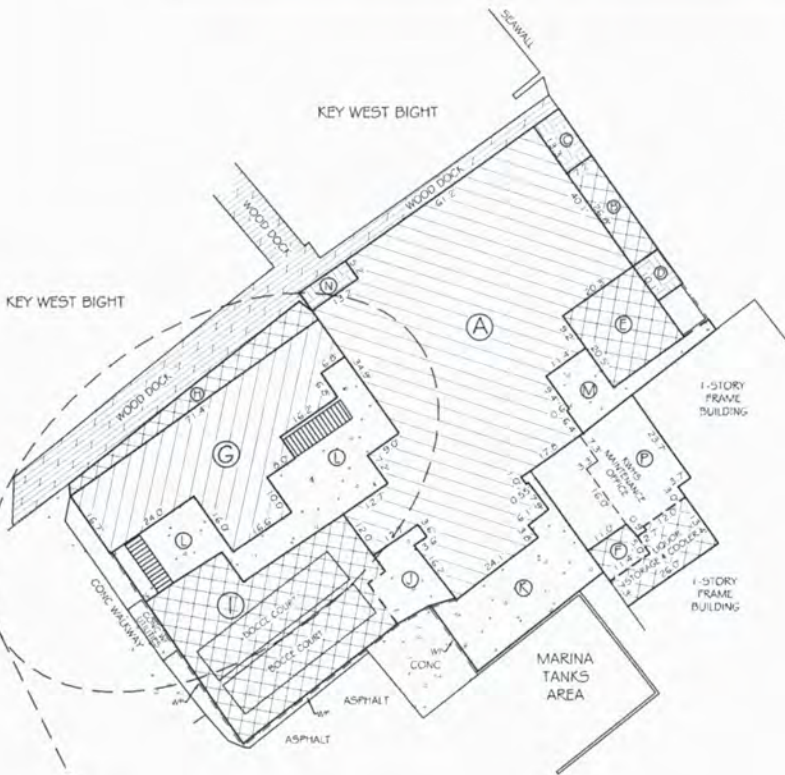
SURVEY

SPECIFIC PURPOSE SURVEY SKETCH TO SHOW LEASE AREA

NET USABLE SQ FT OF THE DIMENSIONED PREMISES ON TURTLE KRAALS RESTAURANT & BAR
231 MARGARET STREET, KEY WEST, MONROE COUNTY, STATE OF FLORIDA



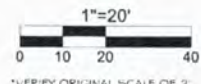
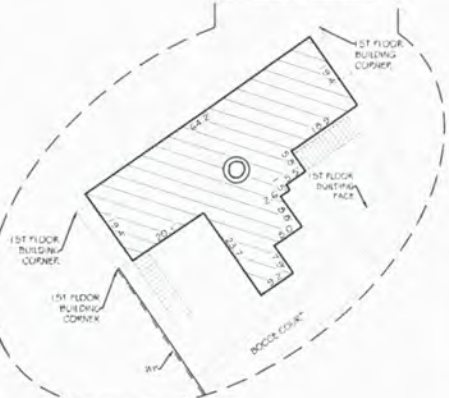
LOCATION MAP - NTS
SEC. 31-T675-R25E



AREA DELINEATION / DESCRIPTION	AREA
(A) = MAIN BUILDING INCLUDING DINING AREA, BAR, KITCHEN & STORAGE	4,410.750 FT ² +/-
(B) = COVERED AREA	193.050 FT ² +/-
(C) = FERRY OFFICE / BOOTH	96.050 FT ² +/-
(D) = ATM AREA	72.750 FT ² +/-
(E) = BATHROOMS	416.250 FT ² +/-
(F) = STORAGE & COOLER	333.050 FT ² +/-
(G) = DINING AREA	1,487.350 FT ² +/-
(H) = OUTDOOR COVERED DINING AREA	149.550 FT ² +/-
(I) = OUTDOOR ROCKET COURT AREA	162.1250 FT ² +/-
(J) = OUTDOOR CONCRETE STORAGE AREA	237.750 FT ² +/-
(K) = OUTDOOR CONCRETE STORAGE AREA (NON-LEASER = 332.150 FT ² +/-)	664.250 FT ² +/-
(L) = OUTDOOR CONCRETE COURTYARD AREA (INCLUDING STAIRS)	1,046.050 FT ² +/-
(M) = OUTDOOR WALKWAY AREA	378.450 FT ² +/-
(N) = OUTDOOR COVERED AREA	68.650 FT ² +/-
(O) = 2ND FLOOR DINING & BAR AREA	1,644.950 FT ² +/-
**TOTAL LEASE AREA OCCUPIED = 12,387.350 FT ² +/-	

AREA DELINEATION / DESCRIPTION	AREA
(P) = KEY WEST HISTORIC SEAPORT (PARKS) MAINTENANCE OFFICE AREA	842.450 FT ² +/-
**TOTAL AREA OCCUPIED = 842.450 FT ² +/- (NOT A PART OF LEASE AREA)	

2ND FLOOR DETAIL



*VERIFY ORIGINAL SCALE OF 2"

SURVEYOR NOTES

THIS IS NOT A BOUNDARY SURVEY. ANY BOUNDARY OR RIGHT OF WAY LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY, AND ARE A GRAPHICAL REPRESENTATION OF THE BOUNDARY BASED ON THE RECOVERY OF SUFFICIENT BOUNDARY MONUMENTATION TO SPATIALLY DEFINE THE BOUNDARY LINES. NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECOVERED BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES.

NORTH ARROW IS REFERENCED TO GRID NORTH, BASED ON THE 2011 ADJUSTMENT OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83/2011), OF THE FLORIDA STATE PLANE COORDINATE SYSTEM (TRANSVERSE MERCATOR PROJECTION), EAST ZONE (9901).

ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHERS THAN THE SIGNING PARTY IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

STREET ADDRESS: 231 MARGARET STREET, KEY WEST, FL 33040

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.

ALL FIELD DATA WAS ACQUIRED BETWEEN 04/02/2014 & 04/15/2014.

REVISION (1) - 04/08/2014 G - REVISED AREA DIMENSIONS
REVISION (1) - 04/19/2014 G - REVISED AREA DELINEATIONS

NOTE: OCCUPATIONS RECOVERED SURFACE ARE NOT SHOWN. UNRESOLVED DIMENSIONAL DISCREPANCIES IDENTIFIED OR RECOVERED DIMENSIONS (UNLESS INDICATED OTHERWISE) THE FOLLOWING IS A LIST OF AMMUNITIONS THAT MAY BE FOUND ON THIS SURVEY:

- AP = BACK SIGHT MEASUREMENT
- BS = BACK SIGHT
- CI = CENTER LINE
- CO = CONCRETE
- CP = CONCRETE PAVEMENT
- CS = CONCRETE SURFACE
- CU = CONCRETE UTILITY
- DC = DRAINAGE CHANNEL
- DE = DRAINAGE EMBANKMENT
- DI = DRAINAGE INLET
- DL = DRAINAGE LINE
- DM = DRAINAGE MANHOLE
- DN = DRAINAGE NETWORK
- DP = DRAINAGE POINT
- DS = DRAINAGE STRUCTURE
- DT = DRAINAGE TRENCH
- DU = DRAINAGE UTILITY
- EV = ELEVATION
- EX = EXISTING
- FA = FACE
- FB = FACE OF BUILDING
- FC = FACE OF CURB
- FD = FACE OF DRAINAGE
- FE = FACE OF EMBANKMENT
- FF = FACE OF FENCE
- FG = FACE OF GROUND
- FH = FACE OF HIGHWAY
- FI = FACE OF INTERSECTION
- FJ = FACE OF JUNCTION
- FK = FACE OF KURVE
- FL = FACE OF LANE
- FM = FACE OF MOUND
- FN = FACE OF NEST
- FO = FACE OF OUTFALL
- FP = FACE OF PAVEMENT
- FQ = FACE OF QUARRY
- FR = FACE OF ROAD
- FS = FACE OF SIDEWALK
- FT = FACE OF TRENCH
- FU = FACE OF UTILITY
- FV = FACE OF VALVE
- FW = FACE OF WALL
- FX = FACE OF XING
- FY = FACE OF YARD
- FZ = FACE OF ZONE
- GA = GATE
- GB = GATE BOX
- GC = GATE CURB
- GD = GATE DRAIN
- GE = GATE EMBANKMENT
- GF = GATE FACE
- GG = GATE GROUND
- GH = GATE HIGHWAY
- GI = GATE INTERSECTION
- GJ = GATE JUNCTION
- GK = GATE KURVE
- GL = GATE LANE
- GM = GATE MOUND
- GN = GATE NEST
- GO = GATE OUTFALL
- GP = GATE PAVEMENT
- GQ = GATE QUARRY
- GR = GATE ROAD
- GS = GATE SIDEWALK
- GT = GATE TRENCH
- GU = GATE UTILITY
- GV = GATE VALVE
- GW = GATE WALL
- GX = GATE XING
- GY = GATE YARD
- GZ = GATE ZONE
- HA = HATCH
- HB = HATCH BOX
- HC = HATCH CURB
- HD = HATCH DRAIN
- HE = HATCH EMBANKMENT
- HF = HATCH FACE
- HG = HATCH GROUND
- HH = HATCH HIGHWAY
- HI = HATCH INTERSECTION
- HJ = HATCH JUNCTION
- HK = HATCH KURVE
- HL = HATCH LANE
- HM = HATCH MOUND
- HN = HATCH NEST
- HO = HATCH OUTFALL
- HP = HATCH PAVEMENT
- HQ = HATCH QUARRY
- HR = HATCH ROAD
- HS = HATCH SIDEWALK
- HT = HATCH TRENCH
- HU = HATCH UTILITY
- HV = HATCH VALVE
- HW = HATCH WALL
- HX = HATCH XING
- HY = HATCH YARD
- HZ = HATCH ZONE
- IA = IRON
- IB = IRON BOX
- IC = IRON CURB
- ID = IRON DRAIN
- IE = IRON EMBANKMENT
- IF = IRON FACE
- IG = IRON GROUND
- IH = IRON HIGHWAY
- II = IRON INTERSECTION
- IJ = IRON JUNCTION
- IK = IRON KURVE
- IL = IRON LANE
- IM = IRON MOUND
- IN = IRON NEST
- IO = IRON OUTFALL
- IP = IRON PAVEMENT
- IQ = IRON QUARRY
- IR = IRON ROAD
- IS = IRON SIDEWALK
- IT = IRON TRENCH
- IU = IRON UTILITY
- IV = IRON VALVE
- IW = IRON WALL
- IX = IRON XING
- IY = IRON YARD
- IZ = IRON ZONE
- JA = JUNCTION
- JB = JUNCTION BOX
- JC = JUNCTION CURB
- JD = JUNCTION DRAIN
- JE = JUNCTION EMBANKMENT
- JF = JUNCTION FACE
- JG = JUNCTION GROUND
- JH = JUNCTION HIGHWAY
- JI = JUNCTION INTERSECTION
- JJ = JUNCTION JUNCTION
- JK = JUNCTION KURVE
- JL = JUNCTION LANE
- JM = JUNCTION MOUND
- JN = JUNCTION NEST
- JO = JUNCTION OUTFALL
- JP = JUNCTION PAVEMENT
- JQ = JUNCTION QUARRY
- JR = JUNCTION ROAD
- JS = JUNCTION SIDEWALK
- JT = JUNCTION TRENCH
- JU = JUNCTION UTILITY
- JV = JUNCTION VALVE
- JW = JUNCTION WALL
- JX = JUNCTION XING
- JY = JUNCTION YARD
- JZ = JUNCTION ZONE
- KA = KEY
- KB = KEY BOX
- KC = KEY CURB
- KD = KEY DRAIN
- KE = KEY EMBANKMENT
- KF = KEY FACE
- KG = KEY GROUND
- KH = KEY HIGHWAY
- KI = KEY INTERSECTION
- KJ = KEY JUNCTION
- KK = KEY KURVE
- KL = KEY LANE
- KM = KEY MOUND
- KN = KEY NEST
- KO = KEY OUTFALL
- KP = KEY PAVEMENT
- KQ = KEY QUARRY
- KR = KEY ROAD
- KS = KEY SIDEWALK
- KT = KEY TRENCH
- KU = KEY UTILITY
- KV = KEY VALVE
- KW = KEY WALL
- KX = KEY XING
- KY = KEY YARD
- KZ = KEY ZONE
- LA = LANE
- LB = LANE BOX
- LC = LANE CURB
- LD = LANE DRAIN
- LE = LANE EMBANKMENT
- LF = LANE FACE
- LG = LANE GROUND
- LH = LANE HIGHWAY
- LI = LANE INTERSECTION
- LJ = LANE JUNCTION
- LK = LANE KURVE
- LL = LANE LANE
- LM = LANE MOUND
- LN = LANE NEST
- LO = LANE OUTFALL
- LP = LANE PAVEMENT
- LQ = LANE QUARRY
- LR = LANE ROAD
- LS = LANE SIDEWALK
- LT = LANE TRENCH
- LU = LANE UTILITY
- LV = LANE VALVE
- LW = LANE WALL
- LX = LANE XING
- LY = LANE YARD
- LZ = LANE ZONE
- MA = MAIN
- MB = MAIN BOX
- MC = MAIN CURB
- MD = MAIN DRAIN
- ME = MAIN EMBANKMENT
- MF = MAIN FACE
- MG = MAIN GROUND
- MH = MAIN HIGHWAY
- MI = MAIN INTERSECTION
- MJ = MAIN JUNCTION
- MK = MAIN KURVE
- ML = MAIN LANE
- MM = MAIN MOUND
- MN = MAIN NEST
- MO = MAIN OUTFALL
- MP = MAIN PAVEMENT
- MQ = MAIN QUARRY
- MR = MAIN ROAD
- MS = MAIN SIDEWALK
- MT = MAIN TRENCH
- MU = MAIN UTILITY
- MV = MAIN VALVE
- MW = MAIN WALL
- MX = MAIN XING
- MY = MAIN YARD
- MZ = MAIN ZONE
- NA = NORTH
- NB = NORTH BOX
- NC = NORTH CURB
- ND = NORTH DRAIN
- NE = NORTH EMBANKMENT
- NF = NORTH FACE
- NG = NORTH GROUND
- NH = NORTH HIGHWAY
- NI = NORTH INTERSECTION
- NJ = NORTH JUNCTION
- NK = NORTH KURVE
- NL = NORTH LANE
- NM = NORTH MOUND
- NN = NORTH NEST
- NO = NORTH OUTFALL
- NP = NORTH PAVEMENT
- NQ = NORTH QUARRY
- NR = NORTH ROAD
- NS = NORTH SIDEWALK
- NT = NORTH TRENCH
- NU = NORTH UTILITY
- NV = NORTH VALVE
- NW = NORTH WALL
- NX = NORTH XING
- NY = NORTH YARD
- NZ = NORTH ZONE
- OA = OFF
- OB = OFF BOX
- OC = OFF CURB
- OD = OFF DRAIN
- OE = OFF EMBANKMENT
- OF = OFF FACE
- OG = OFF GROUND
- OH = OFF HIGHWAY
- OI = OFF INTERSECTION
- OJ = OFF JUNCTION
- OK = OFF KURVE
- OL = OFF LANE
- OM = OFF MOUND
- ON = OFF NEST
- OO = OFF OUTFALL
- OP = OFF PAVEMENT
- OQ = OFF QUARRY
- OR = OFF ROAD
- OS = OFF SIDEWALK
- OT = OFF TRENCH
- OU = OFF UTILITY
- OV = OFF VALVE
- OW = OFF WALL
- OX = OFF XING
- OY = OFF YARD
- OZ = OFF ZONE
- PA = PAVEMENT
- PB = PAVEMENT BOX
- PC = PAVEMENT CURB
- PD = PAVEMENT DRAIN
- PE = PAVEMENT EMBANKMENT
- PF = PAVEMENT FACE
- PG = PAVEMENT GROUND
- PH = PAVEMENT HIGHWAY
- PI = PAVEMENT INTERSECTION
- PJ = PAVEMENT JUNCTION
- PK = PAVEMENT KURVE
- PL = PAVEMENT LANE
- PM = PAVEMENT MOUND
- PN = PAVEMENT NEST
- PO = PAVEMENT OUTFALL
- PP = PAVEMENT PAVEMENT
- PQ = PAVEMENT QUARRY
- PR = PAVEMENT ROAD
- PS = PAVEMENT SIDEWALK
- PT = PAVEMENT TRENCH
- PU = PAVEMENT UTILITY
- PV = PAVEMENT VALVE
- PW = PAVEMENT WALL
- PX = PAVEMENT XING
- PY = PAVEMENT YARD
- PZ = PAVEMENT ZONE
- QA = QUARRY
- QB = QUARRY BOX
- QC = QUARRY CURB
- QD = QUARRY DRAIN
- QE = QUARRY EMBANKMENT
- QF = QUARRY FACE
- QG = QUARRY GROUND
- QH = QUARRY HIGHWAY
- QI = QUARRY INTERSECTION
- QJ = QUARRY JUNCTION
- QK = QUARRY KURVE
- QL = QUARRY LANE
- QM = QUARRY MOUND
- QN = QUARRY NEST
- QO = QUARRY OUTFALL
- QP = QUARRY PAVEMENT
- QQ = QUARRY QUARRY
- QR = QUARRY ROAD
- QS = QUARRY SIDEWALK
- QT = QUARRY TRENCH
- QU = QUARRY UTILITY
- QV = QUARRY VALVE
- QW = QUARRY WALL
- QX = QUARRY XING
- QY = QUARRY YARD
- QZ = QUARRY ZONE
- RA = ROAD
- RB = ROAD BOX
- RC = ROAD CURB
- RD = ROAD DRAIN
- RE = ROAD EMBANKMENT
- RF = ROAD FACE
- RG = ROAD GROUND
- RH = ROAD HIGHWAY
- RI = ROAD INTERSECTION
- RJ = ROAD JUNCTION
- RK = ROAD KURVE
- RL = ROAD LANE
- RM = ROAD MOUND
- RN = ROAD NEST
- RO = ROAD OUTFALL
- RP = ROAD PAVEMENT
- RQ = ROAD QUARRY
- RR = ROAD ROAD
- RS = ROAD SIDEWALK
- RT = ROAD TRENCH
- RU = ROAD UTILITY
- RV = ROAD VALVE
- RW = ROAD WALL
- RX = ROAD XING
- RY = ROAD YARD
- RZ = ROAD ZONE
- SA = SIDEWALK
- SB = SIDEWALK BOX
- SC = SIDEWALK CURB
- SD = SIDEWALK DRAIN
- SE = SIDEWALK EMBANKMENT
- SF = SIDEWALK FACE
- SG = SIDEWALK GROUND
- SH = SIDEWALK HIGHWAY
- SI = SIDEWALK INTERSECTION
- SJ = SIDEWALK JUNCTION
- SK = SIDEWALK KURVE
- SL = SIDEWALK LANE
- SM = SIDEWALK MOUND
- SN = SIDEWALK NEST
- SO = SIDEWALK OUTFALL
- SP = SIDEWALK PAVEMENT
- SQ = SIDEWALK QUARRY
- SR = SIDEWALK ROAD
- SS = SIDEWALK SIDEWALK
- ST = SIDEWALK TRENCH
- SU = SIDEWALK UTILITY
- SV = SIDEWALK VALVE
- SW = SIDEWALK WALL
- SX = SIDEWALK XING
- SY = SIDEWALK YARD
- SZ = SIDEWALK ZONE
- TA = TRENCH
- TB = TRENCH BOX
- TC = TRENCH CURB
- TD = TRENCH DRAIN
- TE = TRENCH EMBANKMENT
- TF = TRENCH FACE
- TG = TRENCH GROUND
- TH = TRENCH HIGHWAY
- TI = TRENCH INTERSECTION
- TJ = TRENCH JUNCTION
- TK = TRENCH KURVE
- TL = TRENCH LANE
- TM = TRENCH MOUND
- TN = TRENCH NEST
- TO = TRENCH OUTFALL
- TP = TRENCH PAVEMENT
- TQ = TRENCH QUARRY
- TR = TRENCH ROAD
- TS = TRENCH SIDEWALK
- TT = TRENCH TRENCH
- TU = TRENCH UTILITY
- TV = TRENCH VALVE
- TW = TRENCH WALL
- TX = TRENCH XING
- TY = TRENCH YARD
- TZ = TRENCH ZONE
- UA = UTILITY
- UB = UTILITY BOX
- UC = UTILITY CURB
- UD = UTILITY DRAIN
- UE = UTILITY EMBANKMENT
- UF = UTILITY FACE
- UG = UTILITY GROUND
- UH = UTILITY HIGHWAY
- UI = UTILITY INTERSECTION
- UJ = UTILITY JUNCTION
- UK = UTILITY KURVE
- UL = UTILITY LANE
- UM = UTILITY MOUND
- UN = UTILITY NEST
- UO = UTILITY OUTFALL
- UP = UTILITY PAVEMENT
- UQ = UTILITY QUARRY
- UR = UTILITY ROAD
- US = UTILITY SIDEWALK
- UT = UTILITY TRENCH
- UU = UTILITY UTILITY
- UV = UTILITY VALVE
- UW = UTILITY WALL
- UX = UTILITY XING
- UY = UTILITY YARD
- UZ = UTILITY ZONE
- VA = VALVE
- VB = VALVE BOX
- VC = VALVE CURB
- VD = VALVE DRAIN
- VE = VALVE EMBANKMENT
- VF = VALVE FACE
- VG = VALVE GROUND
- VH = VALVE HIGHWAY
- VI = VALVE INTERSECTION
- VJ = VALVE JUNCTION
- VK = VALVE KURVE
- VL = VALVE LANE
- VM = VALVE MOUND
- VN = VALVE NEST
- VO = VALVE OUTFALL
- VP = VALVE PAVEMENT
- VQ = VALVE QUARRY
- VR = VALVE ROAD
- VS = VALVE SIDEWALK
- VT = VALVE TRENCH
- VU = VALVE UTILITY
- VV = VALVE VALVE
- VW = VALVE WALL
- VX = VALVE XING
- VY = VALVE YARD
- VZ = VALVE ZONE
- WA = WALL
- WB = WALL BOX
- WC = WALL CURB
- WD = WALL DRAIN
- WE = WALL EMBANKMENT
- WF = WALL FACE
- WG = WALL GROUND
- WH = WALL HIGHWAY
- WI = WALL INTERSECTION
- WJ = WALL JUNCTION
- WK = WALL KURVE
- WL = WALL LANE
- WM = WALL MOUND
- WN = WALL NEST
- WO = WALL OUTFALL
- WP = WALL PAVEMENT
- WQ = WALL QUARRY
- WR = WALL ROAD
- WS = WALL SIDEWALK
- WT = WALL TRENCH
- WU = WALL UTILITY
- WV = WALL VALVE
- WW = WALL WALL
- WX = WALL XING
- WY = WALL YARD
- WZ = WALL ZONE
- XA = XING
- XB = XING BOX
- XC = XING CURB
- XD = XING DRAIN
- XE = XING EMBANKMENT
- XF = XING FACE
- XG = XING GROUND
- XH = XING HIGHWAY
- XI = XING INTERSECTION
- XJ = XING JUNCTION
- XK = XING KURVE
- XL = XING LANE
- XM = XING MOUND
- XN = XING NEST
- XO = XING OUTFALL
- XP = XING PAVEMENT
- XQ = XING QUARRY
- XR = XING ROAD
- XS = XING SIDEWALK
- XT = XING TRENCH
- XU = XING UTILITY
- XV = XING VALVE
- XW = XING WALL
- XX = XING XING
- XY = XING YARD
- XZ = XING ZONE
- YA = YARD
- YB = YARD BOX
- YC = YARD CURB
- YD = YARD DRAIN
- YE = YARD EMBANKMENT
- YF = YARD FACE
- YG = YARD GROUND
- YH = YARD HIGHWAY
- YI = YARD INTERSECTION
- YJ = YARD JUNCTION
- YK = YARD KURVE
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- YP = YARD PAVEMENT
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- YS = YARD SIDEWALK
- YT = YARD TRENCH
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- YV = YARD VALVE
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- ZA = ZONE
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- ZD = ZONE DRAIN
- ZE = ZONE EMBANKMENT
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- ZU = ZONE UTILITY
- ZV = ZONE VALVE
- ZW = ZONE WALL
- ZX = ZONE XING
- ZY = ZONE YARD
- ZZ = ZONE ZONE

SYMBOL LEGEND:

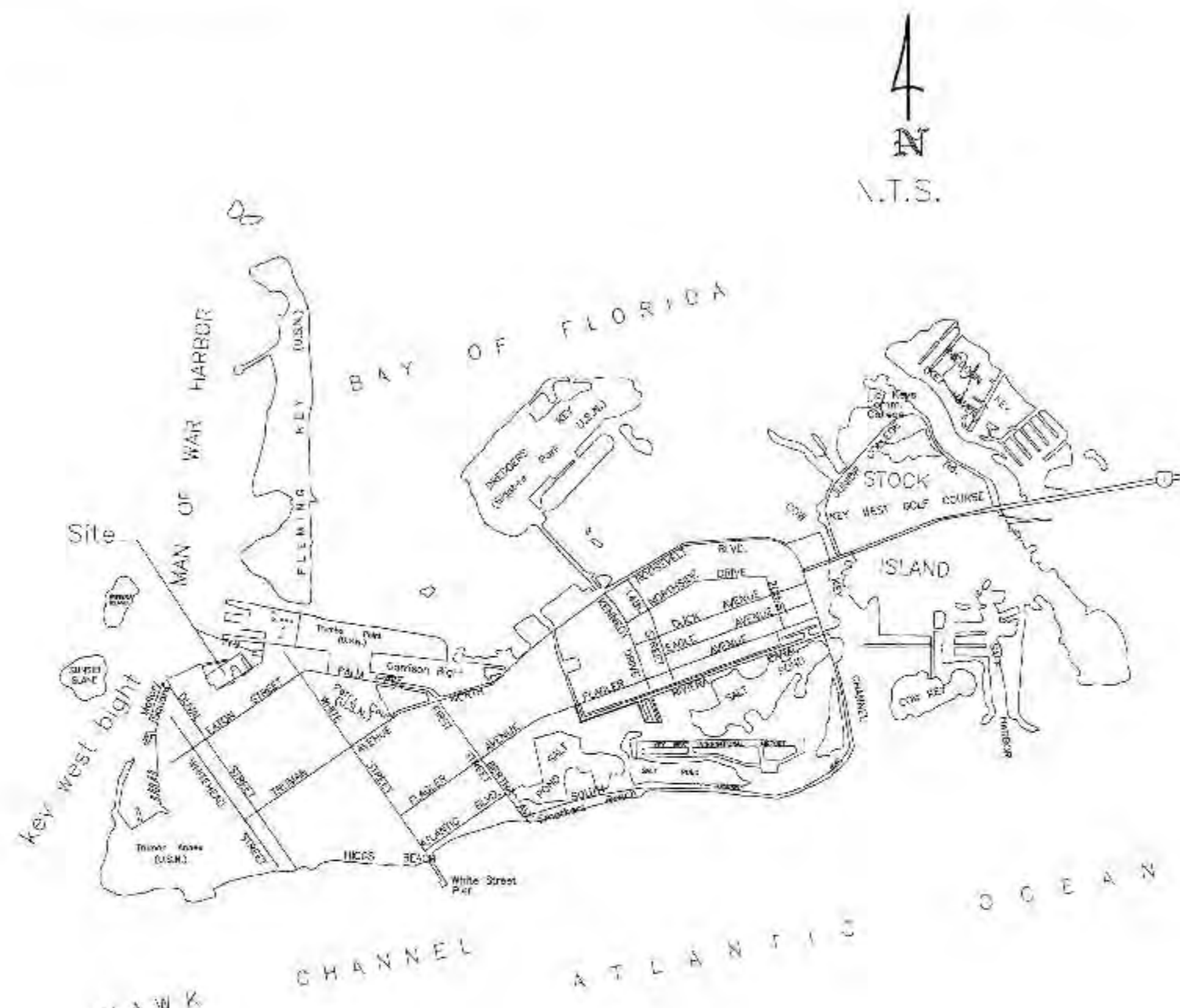
- Water Meter
- Sprinkler Head
- Catch Basin
- Drainage Manhole
- Concrete Utility Pole
- Electric Box
- Light Pole
- Guy Wire
- Mailbox
- Sanitary Cleanout
- Sanitary Manhole
- Shoe
- Wood Utility Pole

NOTE: EQUAL ACCURACIES HAVE BEEN FURNISHED BY THE CLIENT OR HIGHER REPRESENTATIVE PLANS RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE RECORDS. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE RECORDS AND HAS FOUND NO DISCREPANCIES. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE RECORDS AND HAS FOUND NO DISCREPANCIES. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE RECORDS AND HAS FOUND NO DISCREPANCIES.

DATE: 11-20
SCALE: 1/8"=1'-0"
PROJECT: 04/13/2014
SHEET: 1 OF 1
DRAWN BY: MFB
CHECKED BY: EAI
DATE: 07/14/13

FLORIDA KEYS LAND SURVEYING
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 354-3630
EMAIL: FLSerial@gmail.com

PROPOSED DESIGN



LOCATION MAP

City of Key West & Stock Island

SURVEYOR'S NOTES:

North arrow based on plot assumed median
 Reference Bearing: NAD 27
 3.4 denotes existing elevation
 Elevations based on N.G.V.D., 1929 Datum
 Bench Mark No.: Basic Elevation: 14.324
 Monumentation:

- = set 1/2" Iron Pipe, P.L.S. No. 2749
- = Found Iron Pipe
- = Found Iron Bar
- ▲ = Set P.K. Nail, P.L.S. No. 2749
- ▲ = Found P.K. Nail

Abbreviations:

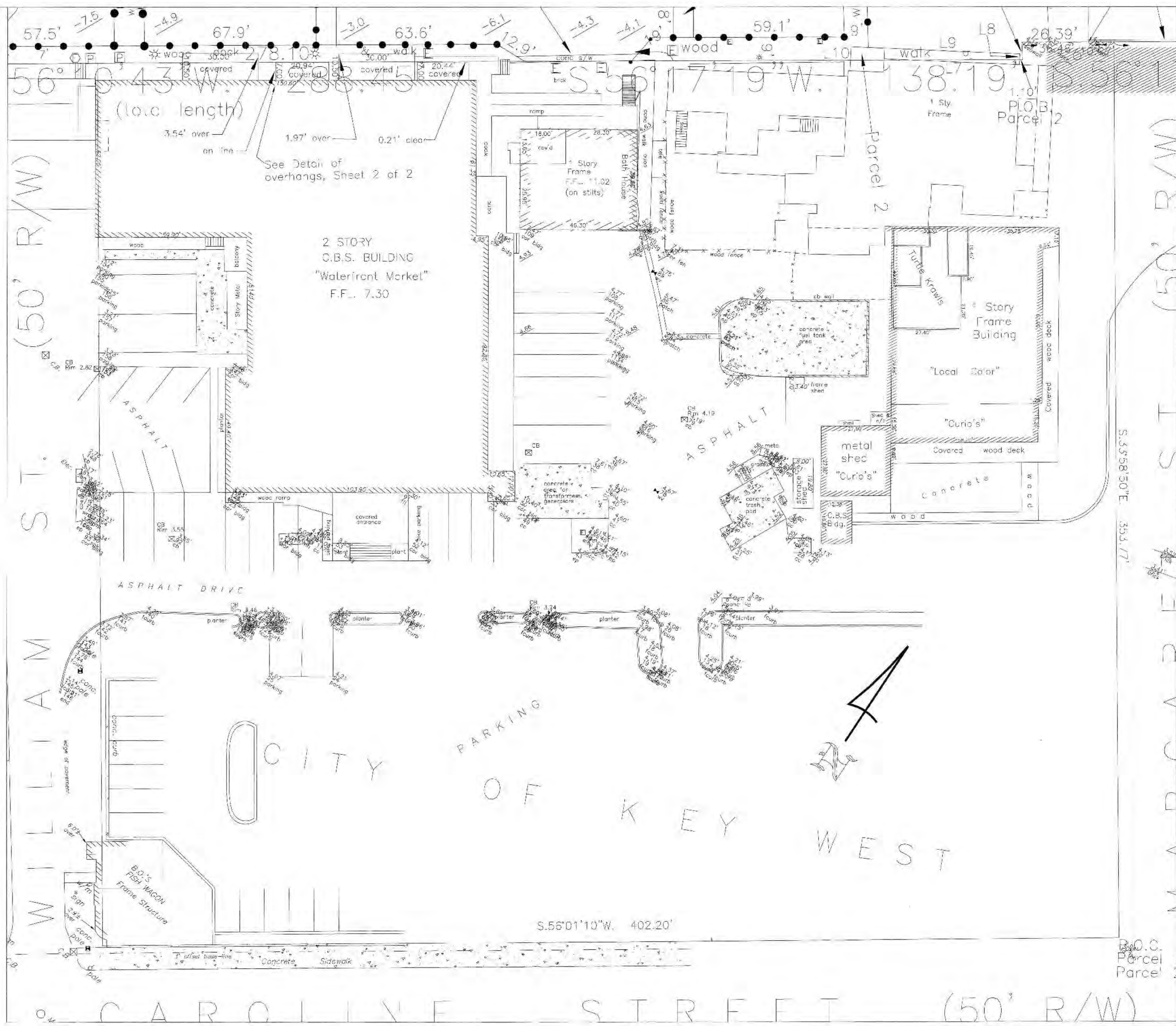
- | | | |
|-----------------------------|--------------------------------|-------------------------------------|
| Sty. = Story | o/h = Overhead | ☒ = Concrete Utility Pole |
| R/W = Right-of-Way | u/g = Underground | ☐ = Wood Utility Pole |
| fd. = Found | F.F.L. = First Floor Elevation | ☐ = Wood Utility Pole with Guy wire |
| p. = Plat | L.B. = Low Beam | ☒ F.W. = Fire Well |
| m. = Measured | Rac. = Racial | ☐ V.W. = Venting Well |
| d. = Deced | Ir. = Irregular | ☐ = Water Meter |
| M.H.W. = Mean High Water | conco. = concrete | ☐ = Water Valve |
| O.R. = Official Records | I.P. = Iron Pipe | ☐ = Electric Manhole |
| Sec. = Section | I.B. = Iron Bar | ☐ = Electric Utility Vault |
| Twp. = Township | ☒ = Baseline | ☐ M.H. = Man Hole |
| Rge. = Range | C.B. = Concrete Block | ☐ San. = Sanitary |
| N.T.S. = Not to Scale | C.B.S. = Concrete Block Stucco | ☐ C.B. = Storm Water Catch Basin |
| ☐ = Centerline | cov'd. = Covered | Inv. = Invert |
| Elev. = Elevation | P.I. = Point of Intersection | B.P.Z. = Backflow Prevention Valve |
| B.M. = Bench Mark | wd. = Wood | P.V.C. = Polyvinyl Pipe |
| P.C. = Point of Curvature | R = Radius | R.C.P. = Reinforced Concrete pipe |
| P.T. = Point of Tangency | A = Arc (Length) | ☒ = Fire Hydrant |
| P.O.C. = Point of Commence | D = Delta, (Central angle) | ☒ = Light |
| P.O.B. = Point of Beginning | w.m. = Water Meter | ☐ = sign |
| P.B. = Plat Book | Bal. = Balcony | |
| pg. = page | Pl. = Planter | |
| Elec. = Electric | Hyd. = Fire Hydrant | |
| Tel. = Telephone | F.W. = Fire Well | |
| Ench. = Encroachment | A/C = Air Conditioner | |
| O.L. = On Line | | |
| C.L.F. = Chain Link Fence | | |

Field Work performed on: 1/23/06, 1/26/06

CERTIFICATION:
 I HEREBY CERTIFY that the attached TOPOGRAPHICAL SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61017-6, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

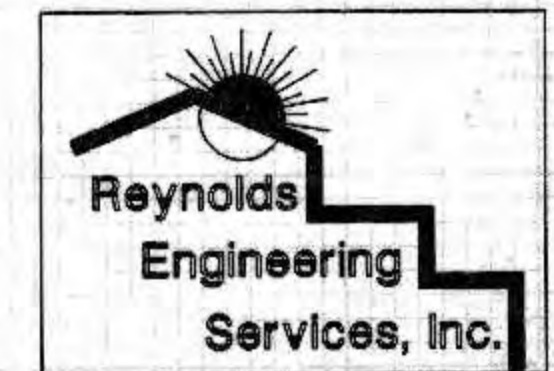
FREDERICK H. HILDEBRANDT
 Professional Land Surveyor & Mapper No. 2749
 Professional Engineer No. 36810
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RASFD SEAL & SIGNATURE



City of Key West Key West High, Key West, Florida 33040			
TOPOGRAPHICAL SURVEY (Trash Area)		Dep. No.:	06-120
Scale: 1" = 20'	Ref. Flood panel No. 1516 K	Dep. By: F.H.H.	
Date: 2/17/06	File: 165-51	Flood Zone: AE-VE	Flood Elev.: 7'-10"
REVISIONS AND/OR ADDITIONS			

FREDERICK H. HILDEBRANDT
 ENGINEER PLANNER SURVEYOR
 3152 Northside Drive
 Suite 201
 Key West, FL 33040
 (305) 293-0765
 Fax: (305) 293-0237



THOMAS KELLY ENTERPRISES INC.
 1941 ROCKY ROAD - SUGARLOAF KEY
 * DESIGN CONCEPTS
 * CONSTRUCTION MANAGEMENT
 (305) 304-1984

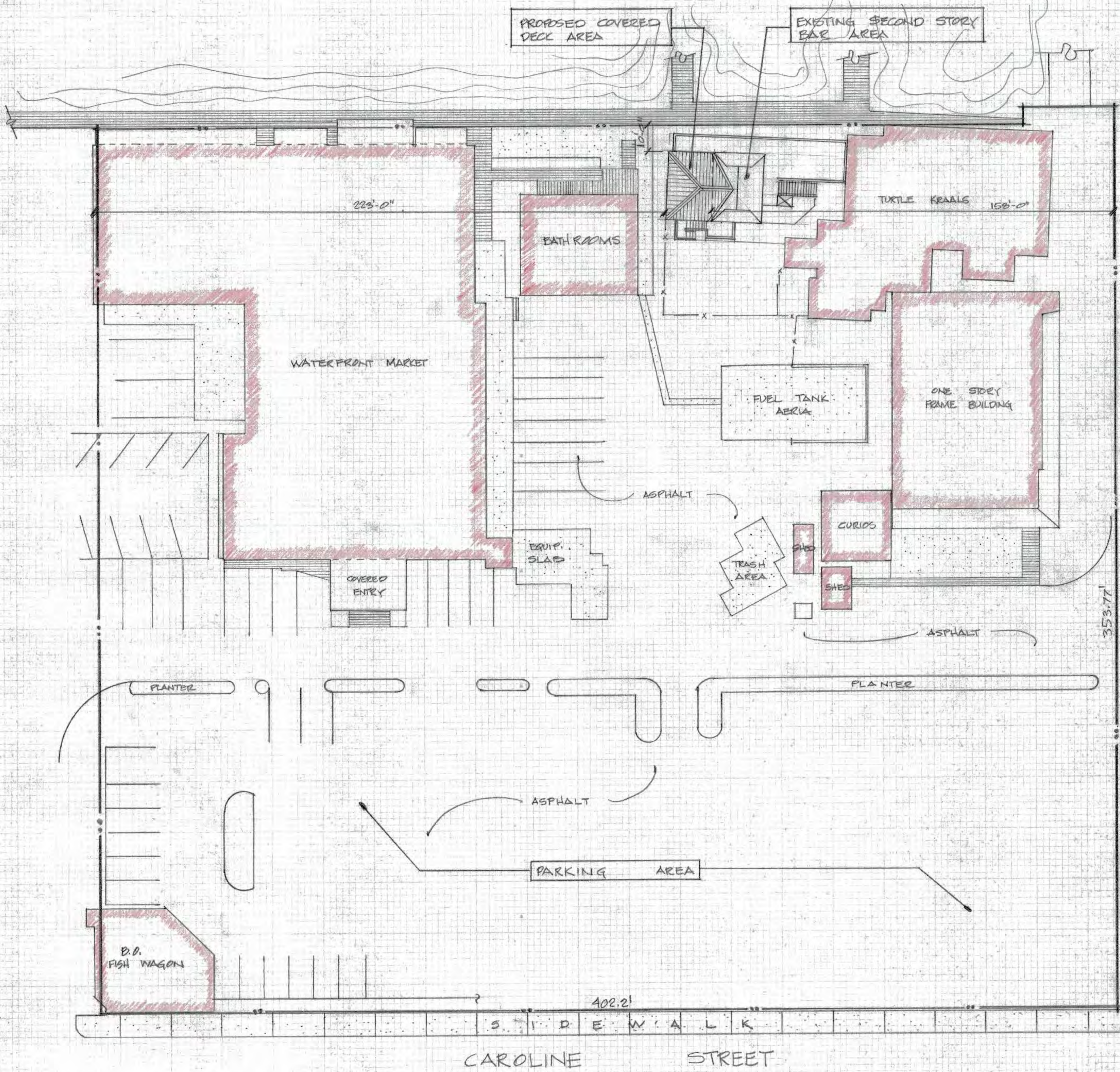
STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
 FLORIDA P.E.#48685
 22230 LAFFITE DRIVE CUDJOC KEY, FL 33042
 (305) 394-5987

SEAL
 JAMES C. REYNOLDS PE

TURTLE KRAALS RESTAURANT and BAR
 SITE PLAN
 KEY WEST

DRAWN: TCK
 DATE: 06/10/16

SHEET NUMBER
S-1
 OF 1
 PROJECT NO.



TURTLE KRAALS RESTAURANT and BAR

BUILDINGS

- BO FISH WAGON = 1560 SQ. FT.
- WATERFRONT MARKET = 24556 SQ. FT.
- BATH HOUSE = 1833 SQ. FT.
- CURIOS "METAL SHED" = 762 SQ. FT.
- STORAGE SHEDS = 328 SQ. FT.
- TURTLE KRAALS = 6692 SQ. FT.
- ONE STORY FRAME BUILDING = 6045 SQ. FT.

TOTAL EXISTING BUILDING AREA = 41776 SQ. FT.

EXISTING BUILDING TO LOT RATIO = 29.8%

PROPOSED COVERED DECK = 484 SQ. FT.

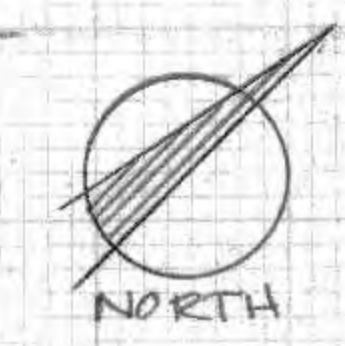
TOTAL PROPOSED BUILDING TO LOT RATIO = 30.2%

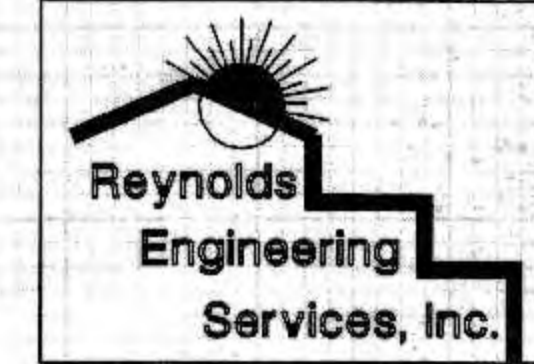
PROJECT DATA

ADDRESS	231 MARGARET STREET, KEY WEST		
LEGAL	KW LOT 1&2, SQUARE 10		
BUILD'G ZONE	HRCC-2		
FLOOD ZONE	AE - VE		
LOT AREA	140118 SQ.FT.		
BUILD'G AREA	42260 SQ. FT.	30.2%	
IMPERVIOUS SURFACE	124775 SQ. FT.	89.1%	(EXISTING TO REMAIN)
OPEN SPACE	15343 SQ. FT.	10.9%	(EXISTING TO REMAIN)

SITE PLAN

1" = 20'-0"





THOMAS KELLY ENTERPRISES INC.
 19141 ROCKY ROAD - SUGARLOAF KEY
 * DESIGN CONCEPTS
 * CONSTRUCTION MANAGEMENT
 (305) 745-1100

**TURTLE KRAALS
 RESTAURANT and BAR**

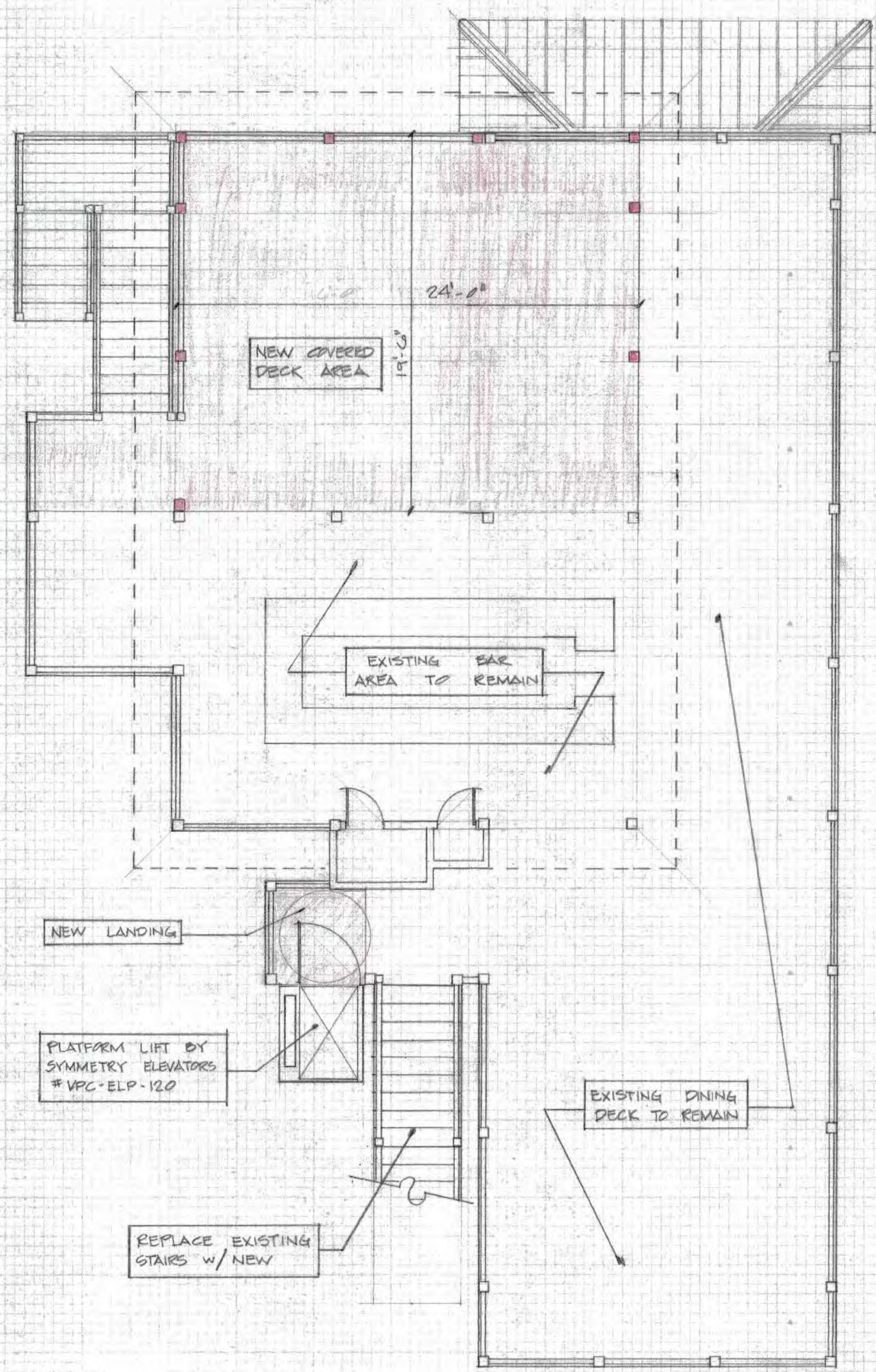
STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
 FLORIDA P.E.#44885
 22350 LAFFITE DRIVE OUDJOE KEY, FL 38642
 (305) 394-5987

SEAL
 JAMES C. REYNOLDS PE

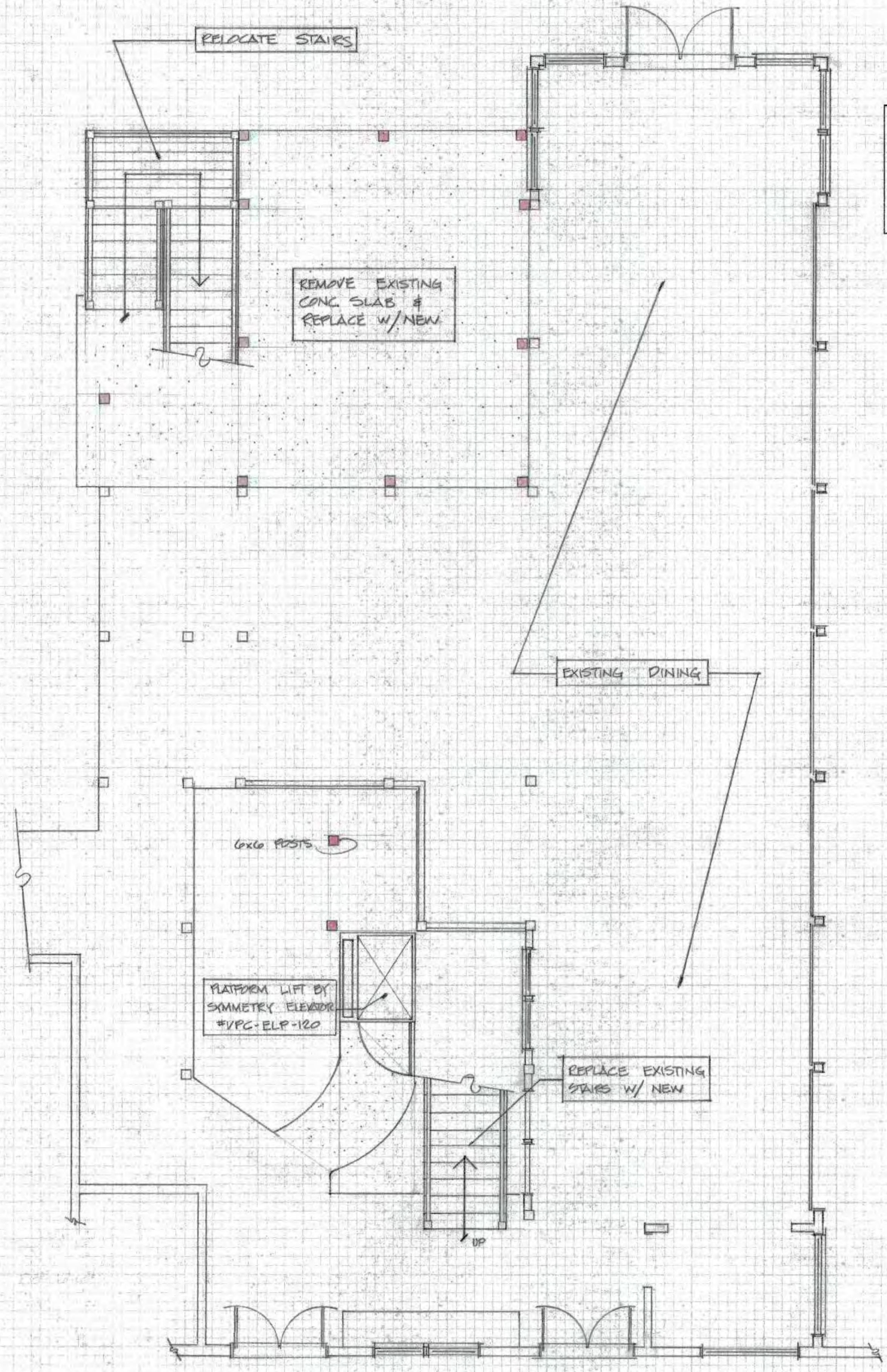
TURTLE KRAALS RESTAURANT and BAR
 SITE PLAN and FLOOR PLANS
 KEY WEST

DRAWN TCK
 DATE 08/10/16

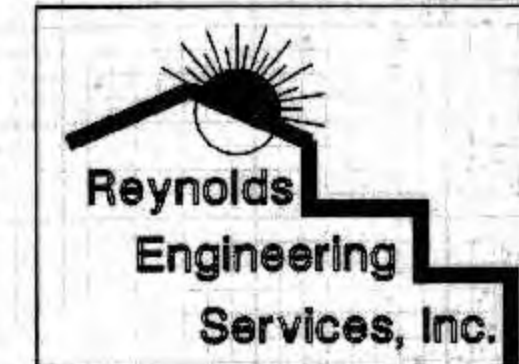
SHEET NUMBER
D-1
 OF
 PROJECT NO.



SECOND FLOOR PLAN 1/4"=1'-0"



FIRST FLOOR PLAN 1/4"=1'-0"



THOMAS KELLY ENTERPRISES INC.
19141 ROCKY ROAD - SUGARLOAF KEY
* DESIGN CONCEPTS
* CONSTRUCTION MANAGEMENT
(305) 745-1100

STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
FLORIDA P.E.#46865
22330 LAFITTE DRIVE GUDJOE KEY, FL 33042
(305) 394-5897

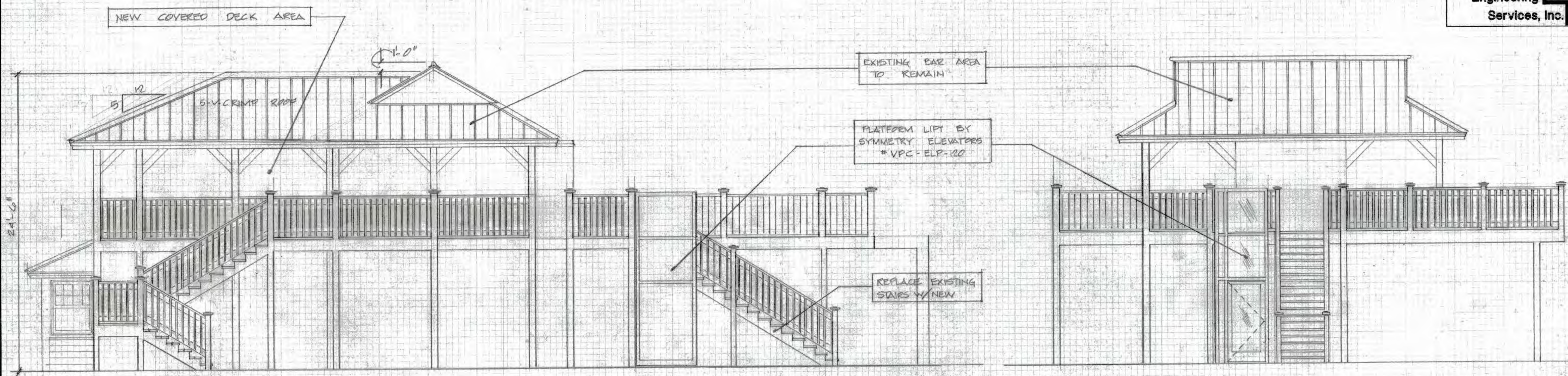
SEAL
JAMES C. REYNOLDS PE

KEY WEST

TURTLE KRAALS RESTAURANT and BAR
EXTERIOR ELEVATIONS

DRAWN: TCK
DATE: 06/10/16

SHEET NUMBER
D-2
OF
PROJECT NO.

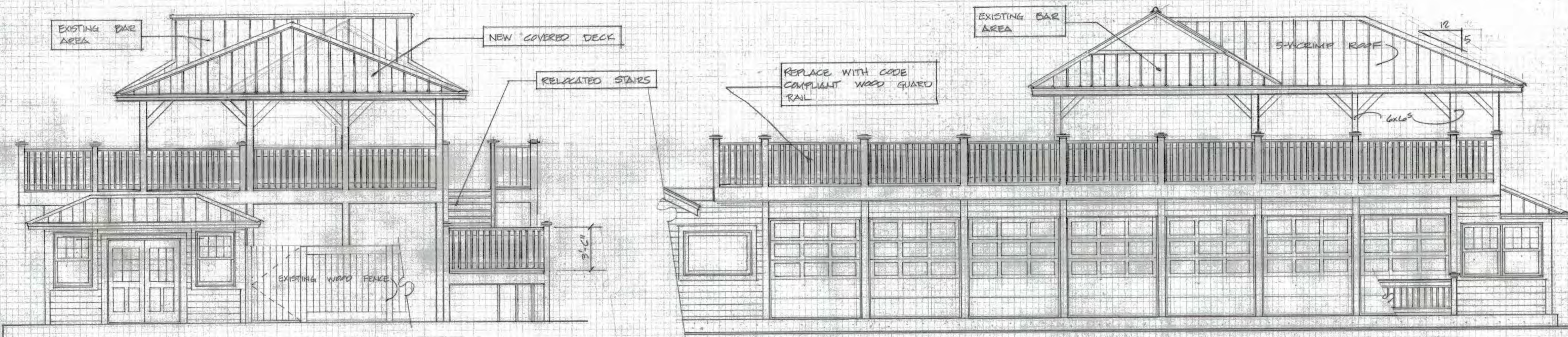


SOUTHEAST ELEVATION

1/4"=1'-0"

NORTHEAST ELEVATION

1/4"=1'-0"

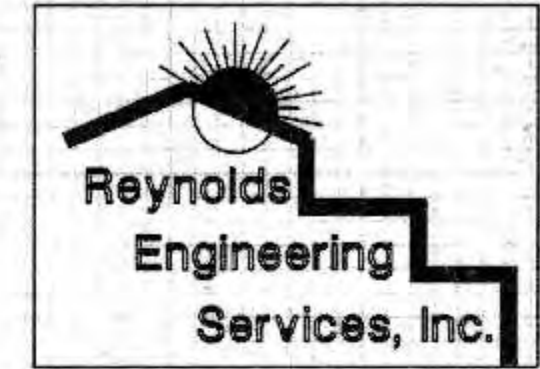


SOUTHWEST ELEVATION

1/4"=1'-0"

NORTHWEST ELEVATION

1/4"=1'-0"



THOMAS KELLY ENTERPRISES INC.
19441 ROCKY ROAD - SUGARLOAF KEY
* DESIGN CONCEPTS
* CONSTRUCTION MANAGEMENT
(305) 304-1984

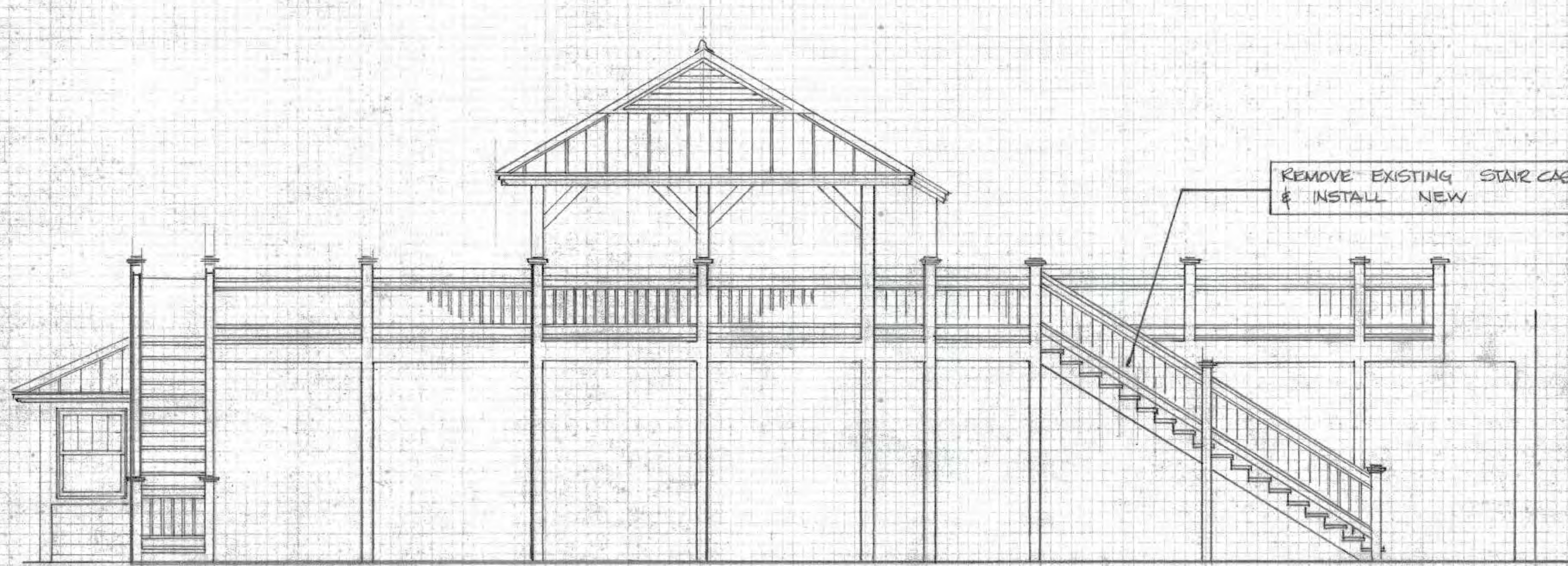
STRUCTURAL DETAILS BY
JAMES C. REYNOLDS, PE
FLORIDA P.E.#48685
22330 LAFITTE DRIVE CUDJOE KEY, FL 33042
(305) 394-5987

SEAL
JAMES C. REYNOLDS PE

TURTLE KRAALS RESTAURANT and BAR
EXISTING EXTERIOR ELEVATIONS
KEY WEST

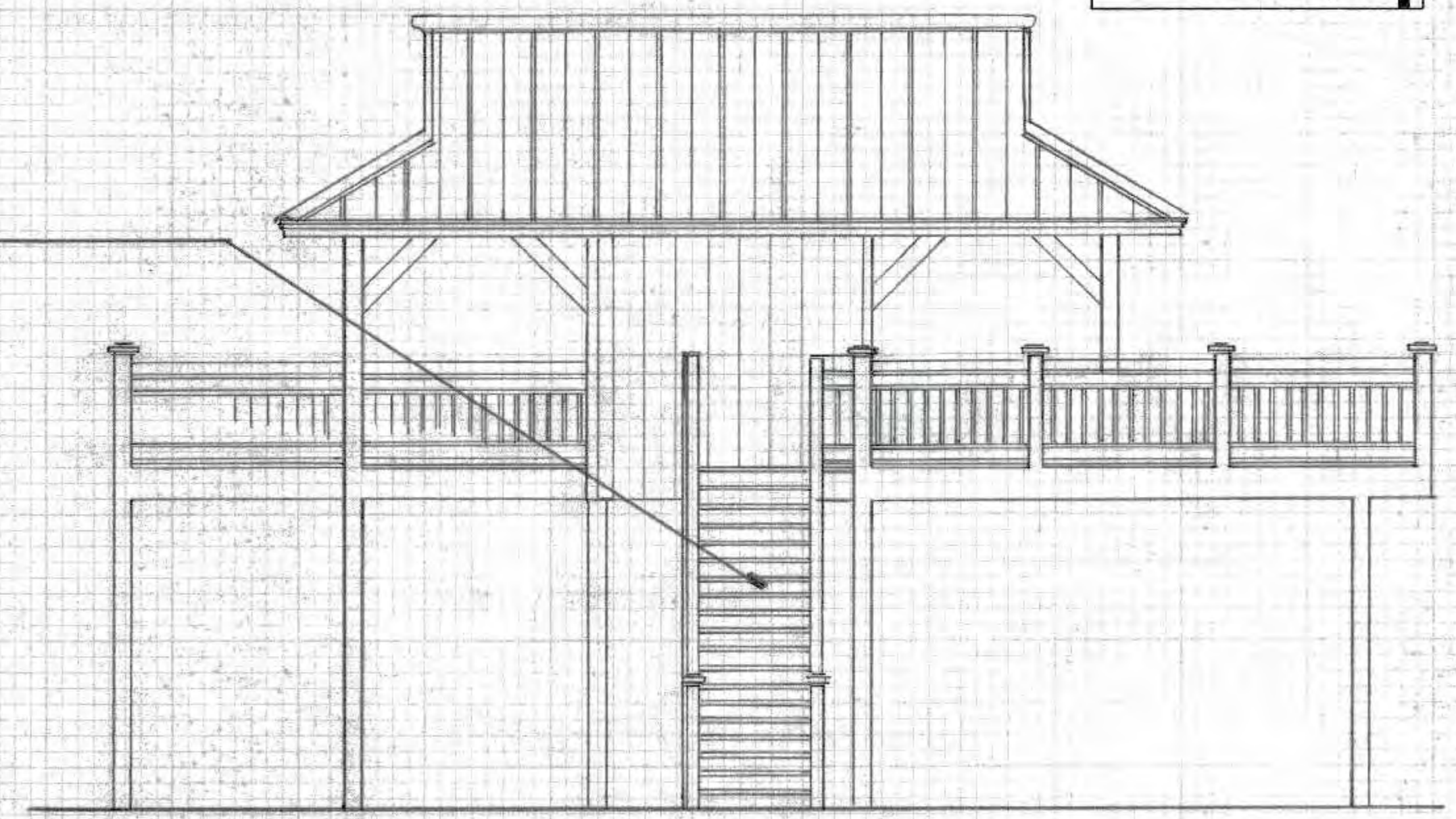
DRAWN: TCK
DATE: 06/10/16

SHEET NUMBER
E-2
OF 2
PROJECT NO.



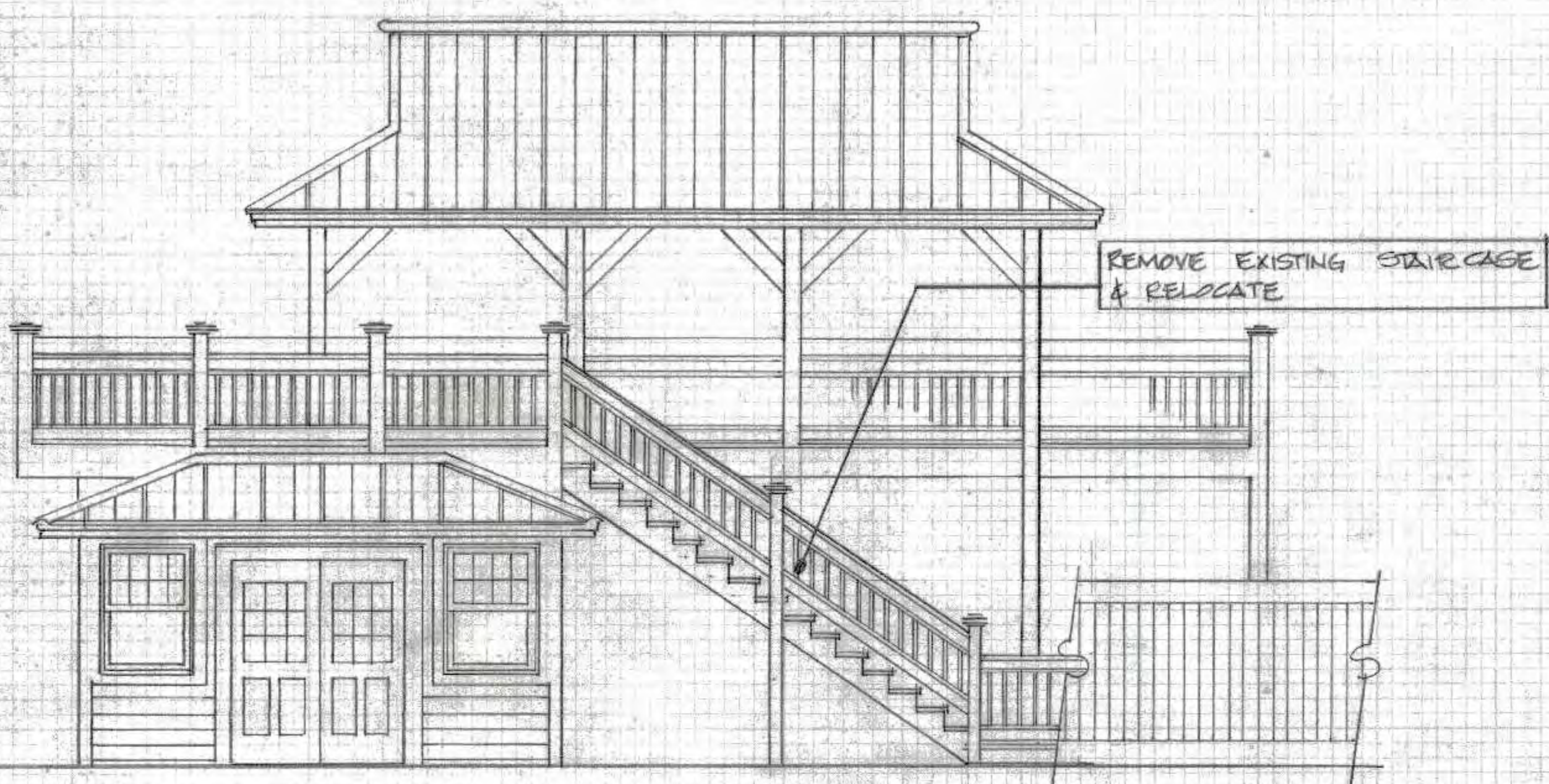
SOUTHEAST ELEVATION

1/4"=1'-0"



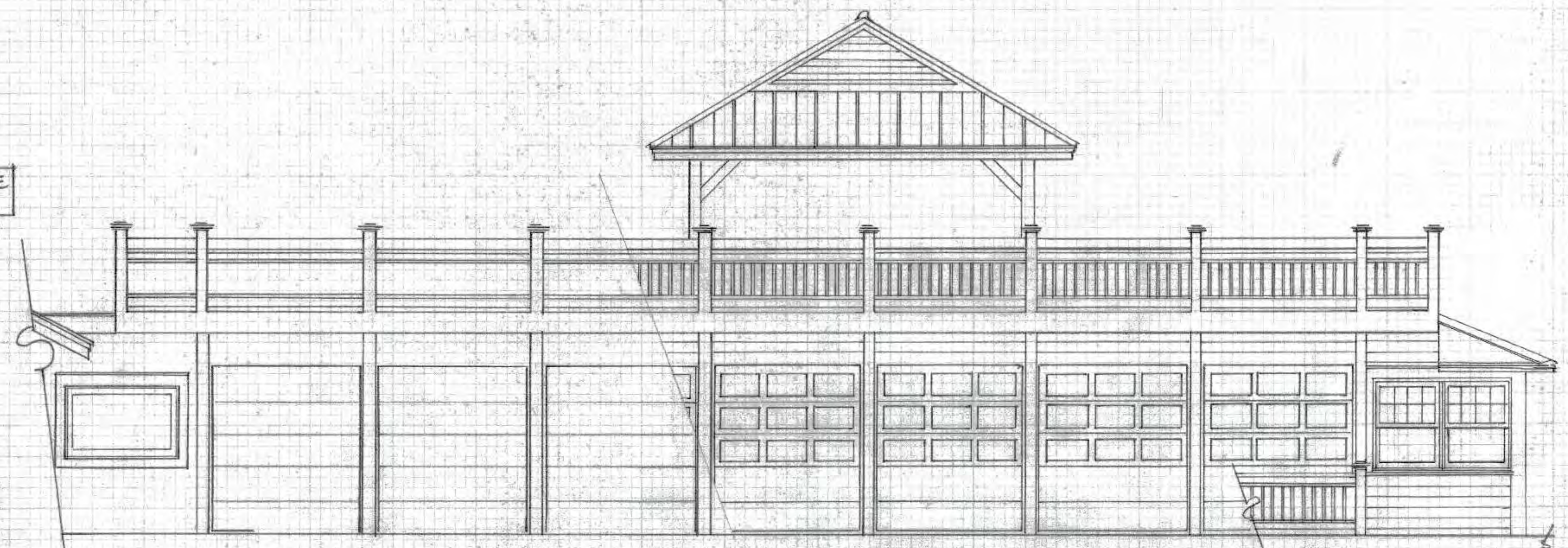
NORTHEAST ELEVATION

1/4"=1'-0"



SOUTHWEST ELEVATION

1/4"=1'-0"



NORTHWEST ELEVATION

1/4"=1'-0"

TREE COMMISSION

MEMORANDUM

DATE: September 6, 2016

RE: Turtle Kraal Top Deck Bar Roof Expansion

FROM: Karen DeMaria, Urban Forestry Manager, City of Key West

An application has been submitted to expand the roof of the top deck bar area of the Turtle Kraal Resturant. A question was asked regarding the potential impacts to trees in the area. An inspection was done on August 11 and August 19, 2016 and documented the following; a large Gumbo Limbo and a Coconut Palm exist close to the proposed work area.

Proposed Work Area





Gumbo Limbo

Coconut Palm



Minor impacts will occur to the Gumbo Limbo tree. The tree will need to be trimmed prior to construction (minor trimming).

It appears that the proposed roof extension will impact the Coconut Palm. Fronds from the palm will have to be cut for construction and the heart of the palm appears to be very close to the proposed roof area. This could mean direct negative impacts to the palm and the roof in the future from growth and movement of the palm against the roof structure. Additional measurements should be taken regarding the height and distance of the roof and post structure from the palm. The roof might need to be redesigned to avoid impacts to the palm or the palm may need to be removed.



Construction plans must show tree protection for the trees and palms near the proposed work and staging areas.



Potential staging area-construction plans must provide tree protection to include no storage or cleaning of materials under or against any trees or palms.



View looking up the rear stairs. Palm fronds and tree branches may need to be trimmed prior to commencement of construction work.



Construction materials are NOT to be stored against any trees

A trunk section of a gumbo limbo tree was removed by Turtle Kraal personnel. The trunk broke in a storm and was a hazard.

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., September 27, 2016 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

EXTENSION TO SECOND FLOOR COVERED DECK. NEW ADA LIFT AND NEW STAIRCASES. DEMOLITION OF STAIRCASES.

FOR- #231 MARGARET STREET

Applicant – Thomas Kelly

Application #H16-03-0050

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Thomas Kelly, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
231 MARGARET STREET on the
21 day of SEPTEMBER, 2016.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on SEPT. 27, 2016.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H116-03-0050

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Thomas Kelly

Date: 9/21/16

Address: 19141 ROCKY RD.

City: SUGARLOAF KEY

State, Zip: FL. 33042

The forgoing instrument was acknowledged before me on this 21st day of September, 2016.

By (Print name of Affiant) Thomas Kelly who is personally known to me or has produced FDL K400-823-56-323-C as identification and who did take an oath.

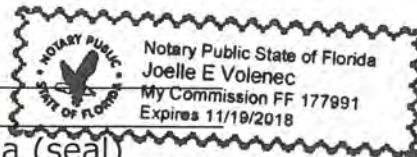
NOTARY PUBLIC

Sign Name: Joelle E Volenc

Print Name: JOELLE E. VOLENC

Notary Public - State of Florida (seal)

My Commission Expires: _____





PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA Property Appraiser Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

[Home](#) [Departments](#) [Exemptions](#) [Save Our Homes](#) [Portability](#) [Homestead Fraud](#) [Contact Us](#)

[Property Search](#) [Tax Estimator](#) [GIS/Maps](#) [Millages/Taxroll Info](#) [Appeals/VAB](#) [Forms](#) [Office Requirements](#)

Website tested on IE8, IE9, & Firefox.
Requires Adobe Flash 10.3 or higher

Property Record Card -

Maps are now launching the new map application version.

[Return to Search Results](#) | [Modify Search](#) | [New Search](#) | [Send Email to MCPA Regarding this Parcel](#) | [Estimate Taxes on this Parcel](#)

[Previous Record](#) **Alternate Key: 8818645 Parcel ID: 00072082-004400** [Next Record](#)

Ownership Details

Mailing Address:

CITY OF KEY WEST
PO BOX 1409
KEY WEST, FL 33041-1409

Property Details

PC Code: 21 - RESTAURANTS & CAFETERIAS

Millage Group: 12KW

Affordable Housing: No

Section-Township-Range: 31-67-25

Property Location: MARGARET ST KEY WEST

Legal KW PT SQR 10 (TURTLE KRAALS LEASE) G42-467/68 OR427-17/18 OR572-126E

Description: OR656-645/46 OR1424-992/99 OR1464-926/930(RES NO 97-132)

Click Map Image to open interactive viewer

Monroe County Links

- » [Monroe County Home Page](#)
- » [BOCC](#)
- » [Growth Management](#)
- » [Building Dept.](#)
- » [Code Compliance](#)
- » [FEMA Flood Insurance Info](#)

Monroe County Constitutional Officers

- » [Clerk of the Courts](#)
- » [Sheriff's Office](#)
- » [Elections Supervisor](#)
- » [Tax Collector](#)

Monroe County Cities

- » [City of Key West](#)
- » [City of Marathon](#)
- » [City of Key Colony Beach](#)
- » [City of Layton](#)
- » [Islamorada, Village of Islands](#)

First Time Home Buyer (IRS)

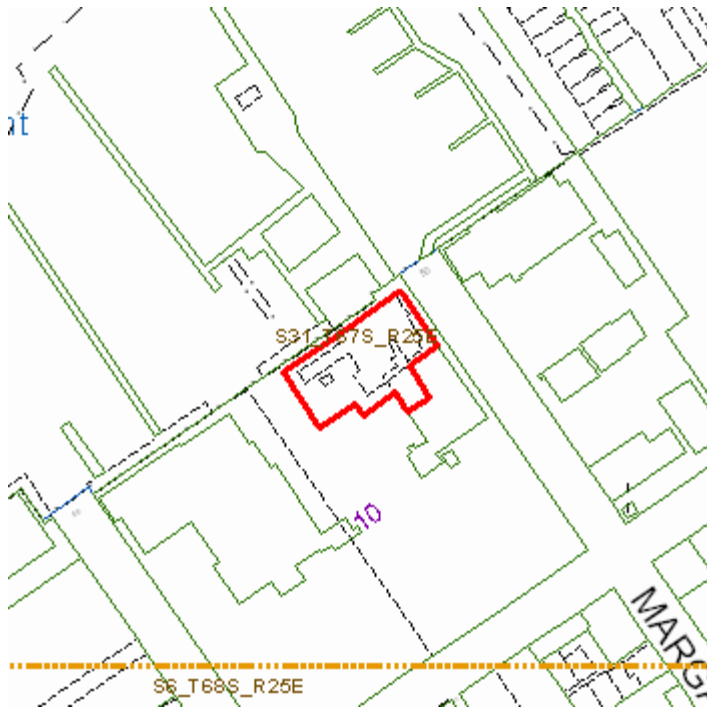
- » [Cancellation of Debt Flyer \(English\)](#)
- » [Cancellation of Debt Flyer \(Spanish\)](#)
- » [1st Time Homebuyers Fact Sheet](#)
- » [1st Time Homebuyers Basic Information](#)
- » [1st Time Homebuyers Scenarios](#)
- » [1st Time Homebuyers Q&A's](#)

IRS Links

- » [Make Work Pay Credit](#)
- » [Energy Conservation Credit](#)

Other Links

- » [FL Dept Rev - Property Tax Oversight](#)
- » [Census Info](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
10WA - COMM WATERFRONT ACRE	0	0	12,225.00 SF

Building Summary

Number of Buildings: 2
Number of Commercial Buildings: 2
Total Living Area: 5566
Year Built: 1974

Building 1 Details

Building Type
Effective Age 14
Year Built 1974
Functional Obs 0

Condition G
Perimeter 140
Special Arch 0
Economic Obs 0

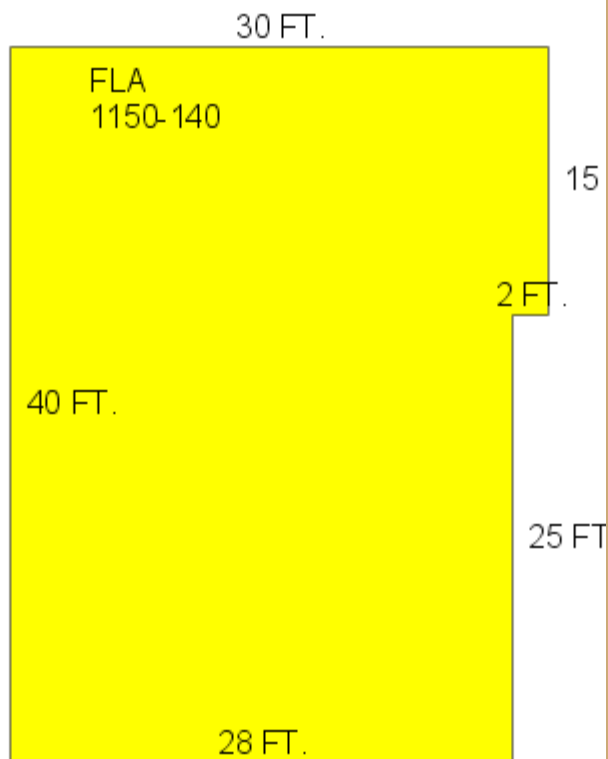
Inclusions:

Roof Type
Heat 1
Heat Src 1

Roof Cover
Heat 2
Heat Src 2

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 4



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %
1	FLA		1	1992			

Interior Finish:

Section Nbr	Interior Finish Nbr	Type
	16464	1 STY STORE-A

Exterior Wall:

Interior Finish Nbr	Type
5676	C.B.S.

Building 2 Details

Building Type	Condition G
Effective Age 14	Perimeter 380
Year Built 1974	Special Arch 0
Functional Obs 0	Economic Obs 0

Inclusions:

Roof Type	Roof Cover
Heat 1	Heat 2
Heat Src 1	Heat Src 2

Extra Features:

2 Fix Bath	0
3 Fix Bath	0
4 Fix Bath	0
5 Fix Bath	0
6 Fix Bath	0
7 Fix Bath	0
Extra Fix	21

16468	SBF
16469	OPF
16470	OPU
16471	OPX
16472	PDO
16473	RESTAURANT & CAFETR
16474	PDO

Exterior Wall:

Interior Finish Nbr	Type
5677	AB AVE WOOD SIDING

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT3:PATIO	1 UT	0	0	1975	1976	3	50

Appraiser Notes

BLDG 1 USED FOR STORAGE/BEHIND LOCAL COLOR ,BLDG 2 TURTLE KRAAL RESTAURANT

TWR IN MISC IS A TOWER UPON WHICH LG PUT AN OVERRIDE VALUE..BCS

6/12/04 IN PRIOR YEARS THIS PARCEL INCLUDED NUMEROUS BLDGS SUCH AS THE SHOPS NEXT DOOR (LOCAL COLOR/CURIO SHOP/STARS & STRIPES OFFICE). FOR THE 2004 TAX ROLL THIS PARCEL WILL ONLY INCLUDE THE TURTLE KRAALS LEASED AREA. LG TWR IN MISC IS THE TOWER.

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
62	08-0205	02/11/2008	12,500	Commercial	REMOVE & REPLACE PORCH ROOF 6 SQS
10-0622	03/16/2010		6,500	Commercial	MOVE STAGE FROM INSIDE TO OUTSIDE AND ENCLOSE APPROX. 237SF. REMOVE TWO WINDOWS AND REPLACE WITH DOUBLE FRENCH DOORS.
08-2749	08/28/2008		54,000	Commercial	RENOVATE INTERIOR OF RESTAURANT. REMOVE AND REPLACE WINDOWS AND DOORS, MOVE THE KITCHEN TO NEW LOCATION, INSULATE CEILING AND APPLY NEW WOOD. INSTALL BAR AND NEW COUNTER SALE AREA.
08-2790	08/28/2008		1,000	Commercial	PROVIDE AND INSTALL NINE FIXTURES FOR RENOVATIONS.
					INSTALL NEW SMOKERS NEW

	08-2793	10/06/2008		25,000	Commercial	OUTLETS IN BAR NEW ELECT FOR NEW A/C NEW 200A THREE PASE PANEL FOR SMOKER UNITS AND BAR EQUIPMENT. UP-GRADE ELECTRIC SERVICE TO 800A
	08-3227	09/23/2008		6,600	Commercial	INSTALL NEW HOOD AND FAN, RUN DUCT FOR FLUE
	08-2792	09/23/2008		30,000	Commercial	INSTALL 6 MINI SPLIT AIR SYSTEM AND ONE 7.5 TON SPLIT SYSTEM.
	14-2601	06/05/2014		1,400		AFTER THE FACT :REMOVAL OF TICKET BOOTH AND CONCRETE MEDIAN. AFTER REMOVAL, PATCHING ASPHALT AREA IS GOING TO BE DONE BY CONTRACTOR.
1	B933708	12/01/1993	12/01/1994	3,500	Commercial	CONCRETE PAD FOR TANK
2	B940308	01/01/1994	12/01/1994	1,000	Commercial	DIESEL TANK
3	B943065	09/01/1994	12/01/1994	30,000	Commercial	REPAIRS
4	B951388	04/01/1995	08/01/1995	1,800	Commercial	TICKET BOOTH FOR PARK LOT
5	P951433	05/01/1995	08/01/1995	3,500	Commercial	PLUMBING
6	B951967	06/01/1995	12/01/1995	2,500	Commercial	RENOVATION
7	P951979	06/01/1995	12/01/1995	10,000	Commercial	16 NEW PLUMBING FIXTURES
8	E952133	06/01/1995	12/01/1995	3,000	Commercial	200A SVC W/200A SUB,ELECT
10	M952153	07/01/1995	12/01/1995	2,000	Commercial	1 1/2TON A/C W 5/DROPS
11	E952301	07/01/1995	12/01/1995	1,800	Commercial	ELECTRICAL
12	M952355	07/01/1995	12/01/1995	4,500	Commercial	2-HOODS
13	A952595	08/01/1995	12/01/1995	4,500	Commercial	15 SQRS RFG
14	E954135	11/01/1995	12/01/1995	1,000	Commercial	REPLACE GAS PUMPS- MARINA
15	E953770	11/01/1995	12/01/1995	800	Commercial	100AMP SVC OLD TOWN TRLLY
16	E953771	11/01/1995	12/01/1995	800	Commercial	100AMP SVC DISCOVERY STOR
17	9600878	02/01/1996	06/01/1996	3,000	Commercial	RENOVATIONS
18	9600889	02/01/1996	06/01/1996	2,100	Commercial	MECHANICAL
20	9601248	03/01/1996	06/01/1996	2,400	Commercial	MECHANICAL
21	9601338	03/01/1996	06/01/1996	785	Commercial	FIRE ALARM
22	9601635	04/01/1996	06/01/1996	1,800	Commercial	MECHANICAL
9	B951935	06/01/1995	06/01/1996	3,800	Commercial	RENOVATION
24	9601983	05/01/1996	06/01/1996	1,500	Commercial	REMODELING
25	9602081	05/01/1996	06/01/1996	6,000	Commercial	"
26	9602404	06/01/1996	06/01/1996	50,000	Commercial	NEW ROOF
27	9602455	06/01/1996	06/01/1996	1,800	Commercial	SIGN
28	9602456	06/01/1996	06/01/1996	4,000	Commercial	ELECTRICAL
23	9601822	04/01/1996	06/01/1996	1,000	Commercial	PLUMBING
29	9602866	07/01/1996	12/01/1996	2,150	Commercial	MECHANICAL
30	9603272	08/01/1996	12/01/1996	800	Commercial	PLUMBING
31	9603416	08/01/1996	12/01/1996	9,500	Commercial	DEMOLITION

32	9604486	11/01/1996	12/01/1996	1,960	Commercial	REMODELING
33	9604529	11/01/1996	12/01/1996	550	Commercial	ELECTRICAL
34	9700460	02/01/1997	12/01/1997	500	Commercial	REPAIR
35	9700899	03/01/1997	12/01/1997	100	Commercial	REPAIR
36	9700023	04/01/1997	12/01/1997	11,500	Commercial	RAISE ROOF
37	9700023	04/01/1997	12/01/1997	1	Commercial	ELECTRICAL
38	9701132	04/01/1997	12/01/1997	1,800	Commercial	ELECTRICAL
40	9701505	05/01/1997	12/01/1997	2,800	Commercial	ELECTRICAL
39	9700023	04/01/1997	12/01/1997	1	Commercial	ROOF
41	9702148	07/01/1997	12/01/1997	1	Commercial	NEW BAR LOUNGE
42	9700023	07/01/1997	12/01/1997	1	Commercial	ELECTRICAL
44	9702872	08/01/1997	12/01/1997	1,500	Commercial	ELECTRICAL
43	9702528	07/01/1997	12/01/1997	2,000	Commercial	ELECTRICAL
45	9703028	09/01/1997	12/01/1997	2,100	Commercial	PLUMBING
46	9703545	10/01/1997	12/01/1997	6,500	Commercial	ELECTRICAL
47	9703568	10/01/1997	12/01/1997	7,500	Commercial	ELECTRICAL
48	9703753	11/01/1997	12/01/1997	12,000	Commercial	ELECTRICAL
49	9703240	12/01/1997	12/01/1997	12,000	Commercial	ROOF
50	9800482	11/24/1998	12/31/1998	65,204	Commercial	OLD CANNERY BUILDING
55	9901652	05/20/1999	12/31/1999	600	Commercial	FENCE
53	9900909	03/15/1999	12/31/1999	3,000	Commercial	DEMO EX. ELECTRICAL
54	9900935	03/17/1999	12/31/1999	100	Commercial	DEMO PART OF BUILDING 1
51	9900063	02/02/1999	12/31/1999	45,000	Commercial	REMODEL BLDG 1
52	9803300	03/10/1999	12/31/1999	8,000	Commercial	REMODEL INTERIOR SPACE
56	0102731	08/07/2001	10/18/2001	10,000	Commercial	RENOVATIONS
57	0103191	09/20/2001	10/18/2001	1,200	Commercial	4 SQS BUILTUP
58	03-1212	04/04/2003	10/12/2004	65,000	Commercial	ROOFING
59	03-1547	05/05/2003	12/04/2000	3,500	Commercial	ROOFING
60	03-2419	07/11/2003	10/12/2004	2,200	Commercial	CHANGE OUT A/C
61	04-0816	03/17/2004	10/12/2004	1,200	Commercial	ELE FOR WALK-IN COOLER

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	631,169	1,489	970,365	1,603,023	1,603,023	0	1,603,023
2015	648,474	1,489	970,365	1,620,328	1,620,328	0	1,620,328
2014	648,474	1,489	970,365	1,620,328	1,620,328	0	1,620,328
2013	631,169	1,489	970,365	1,603,023	1,603,023	0	1,603,023
2012	648,474	1,489	970,365	1,620,328	1,620,328	0	1,620,328

2011	648,474	1,489	970,365	1,620,328	1,620,328	0	1,620,328
2010	663,731	1,489	981,545	1,646,765	1,646,765	0	1,646,765
2009	663,731	1,489	1,980,450	2,645,670	2,645,670	0	2,645,670
2008	682,897	1,489	2,200,500	2,884,886	2,884,886	0	2,884,886
2007	481,895	1,489	2,200,500	2,683,884	2,683,884	0	2,683,884
2006	492,604	1,489	1,956,000	2,450,093	2,450,093	0	2,450,093
2005	492,604	1,489	1,833,750	2,327,843	2,327,843	0	2,327,843
2004	434,985	1,489	1,369,200	1,805,674	1,805,674	0	1,805,674
2003	1,032,156	417,098	3,297,300	4,746,554	4,746,554	1,661,294	3,085,260
2002	1,032,156	432,528	2,330,092	3,794,776	3,794,776	1,328,172	2,466,604
2001	1,032,156	422,574	2,330,092	3,784,822	3,784,822	1,324,688	2,460,134
2000	1,032,156	251,490	1,406,848	2,690,494	2,690,494	941,673	1,748,821
1999	895,297	259,315	1,406,848	2,561,460	2,561,460	896,511	1,664,949
1998	556,850	267,295	1,125,478	1,949,623	1,949,623	682,368	1,267,255
1997	556,850	275,599	1,055,136	1,887,585	1,887,585	660,654	1,226,931
1996	447,059	148,268	1,055,136	1,650,463	1,650,463	577,662	1,072,801
1995	375,958	137,935	1,055,136	1,569,029	1,569,029	549,160	1,019,869
1994	385,563	141,771	1,055,136	1,582,470	1,582,470	553,864	1,028,606
1993	385,563	145,605	1,055,136	1,586,304	1,586,304	0	1,586,304

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

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Monroe County Property Appraiser
 Scott P. Russell, CFA
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