

Staff Report

- 10 After the fact new accessory structure and rebuilt concrete block fence-
Code Compliance Case-**#407 Whitehead Street- Chris Dunn, Dunn GC
Inc. (H11-01-970)**

The house located on #407 Whitehead Street was built circa. The frame vernacular structure is listed as a contributing resource. The after the fact application includes an ancillary structure located on the side yard and the reconstruction of 9'-4" lineal feet of a concrete block fence 7'-6" high. According to the applicant a similar cbs fence was almost collapsing due to an existing tree. The fence gives privacy from La Concha parking lot.

According to the provided plans the one story ancillary structure is rectangular in footprint and has a shed roof. The structure measures approximately 11'-9 1/2" depth by 7'-3" wide by 8'-3 1/2" height from ground to its highest point. The structure has wood siding, a wood door with six glass panes and two one over one wood windows.

Guidelines to be reviewed for this request;

Outbuildings (pages 40-41);

- (1) *Accessory structures shall be compatible with the principal structure on the lot in materials, detailing, color, style, design, height, scale and massing.*
- (2) *No accessory structure may be built in the front yard of a structure in the historic district.*
- (3) *Accessory structures should not exceed the height of the principal building on the site*
- (9) *Construction of new outbuildings must comply with all criteria for new construction in the Historic District.*

Staff also understands that the guidelines for Additions and Alterations and New Construction (pages 36-38a) are applicable for the review of the plans. Under page 38 of the Historic Architectural Guidelines, new construction criteria can be found:

1. **Siting** - *New construction must conform to all current city easement, setback and building requirements. No existing building shall be relocated and no new structure shall be placed closer to the sidewalk, street or visible alley, than the distance of pre-existing historic structures. Areas reserved for parks or open space must be retained.*

According to the submitted plans the outbuilding does not conform to actual setbacks for this particular historic zone district HRO;

Front yard- 5 ft
Street side- 5 ft

Side- 5 ft
Rear- 10 ft
Maximum height- 35 ft

The structure is located less than 5' from the side property line. **If this design is approved it will require an after the fact variance for side yard setback.**

The structure is located on an X zone for FEMA purposes; therefore it does not need to conform to any particular required elevation.

2. **Elevation of finished floor above grade** - Applications for buildings with the first finished floor above the minimum height necessary to comply with federal flood regulations will not be approved unless the applicant demonstrates that such elevation does not interfere with the essential form and integrity of properties in the neighborhood. In situations wherein parking is proposed below the first finished floor, HARC shall consider how visible the parking is from the public right-of-way; whether the parking area is enclosed or otherwise concealed by walls, lowers, lattice, landscaping or other features; and whether fill and/or berms are used to minimize the gap between the first finished floor and the crown of the nearest road.
3. **Height** - must not exceed two and a half stories. There must be a sympathetic relationship of height between new buildings and existing adjacent structures of the neighborhood. New buildings must be compatible with historic floor elevations. The height of all new construction shall be based upon the height of existing structures within the vicinity.
4. **Proportion, scale and mass** - massing, scale and proportion shall be similar to that of existing historical buildings in the historical zone. No new construction shall be enlarged so that its proportions are out of scale with its surroundings. No new construction shall be more than two and a half stories. No structure shall outsize the majority of structures in the streetscape or historic zone.
5. **Compatibility** - Design must be compatible with Key West architectural characteristics in the historical zones. All new construction must be in keeping with the historic character in terms of size, scale, design, materials, color and texture.
6. **Building Detail** - All new buildings shall incorporate a level of detail that assures compatibility with the surrounding historic context. New construction shall not precisely mimic the details of historic buildings but should have features that are compatible with the lines of historic architecture.

7. **Relationship of materials** – *Materials used on new construction shall be of similar color, dimension, texture, and appearance as historic fabrics. The predominant exterior finish in historic zones is wood weatherboard, clapboard, drop siding, or board and batten. Exceptions for the use of composite materials may be permissible. Roofing is primarily sheet metal or metal shingles. New construction shall establish a relationship with existing historic structures by utilizing similar finishes and metals.*

For the reconstructed wall guidelines for fences and walls (pages 41-42);

(6) Six foot fences may begin from the rear of where the façade of the house joins the front porch, or at least ten (10) feet from the front property line.

According to the Property Appraisers records in 1963, 1974 and 1979 fences were included under miscellaneous improvements. There is no description of the type of fence or where they are located.

This is an after the fact application.

Application



CITY OF KEY WEST Fax 809-3978
BUILDING DEPARTMENT

CERTIFICATE of APPROPRIATENESS

APPLICATION # H11-01-970

OWNER NAME: ESTATE OF PRIMA NEWHOUSK DATE: 7/22/11

OWNERS ADDRESS: 1312 REYNOLDS ST. PHONE #: 304-9149

APPLICANT'S NAME: DUNN G.C. INC. PHONE #: 923-7714

APPLICANT'S ADDRESS: 19728 CANAL DR. SUGARLOAF KEY 33042

ADDRESS OF CONSTRUCTION: 407 WHITEHEAD ST. # OF UNITS: 5

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:

"AFTER THE FACT" - LAUNDRY RM., C.M.V. FENCE @ 10'

[Signature]
 JUL 22 2011

Chapter 837.06 F.S.- False Official Statements- Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or s. 775.083

This application for Certificate of Appropriateness must precede applications for building permits, variances and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required submittals will be considered incomplete and will not be reviewed for approval.

REQUIRED SUBMITTALS

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings or additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

Date: 7/22/11
 Applicant Signature: *[Signature]*

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

*Main house is listed as contributing frame vernacular structure
built circa 1874*

Guidelines for outbuildings (pages 40-41)

Guidelines for fences/walls (pages 41-42)

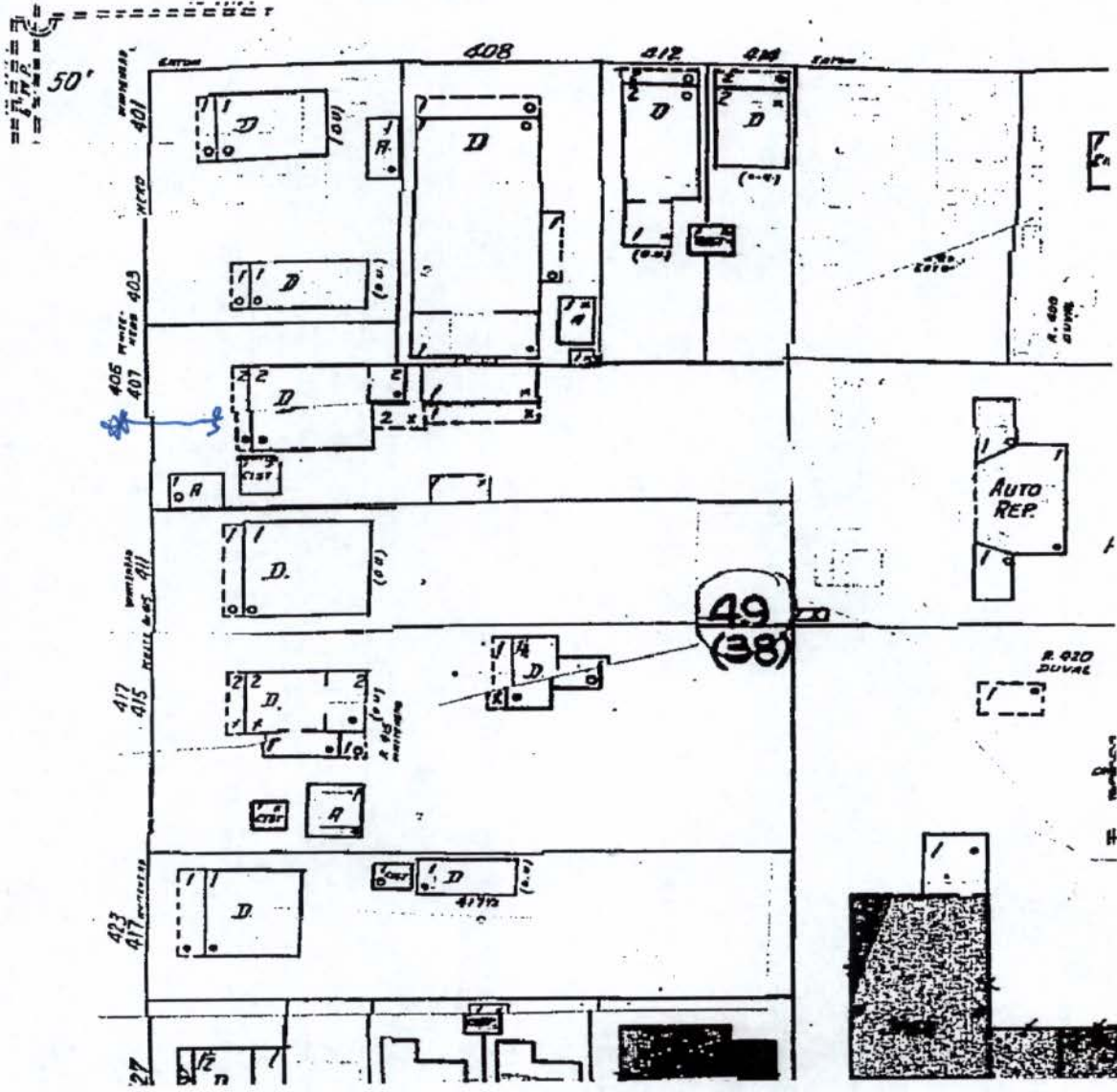
Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

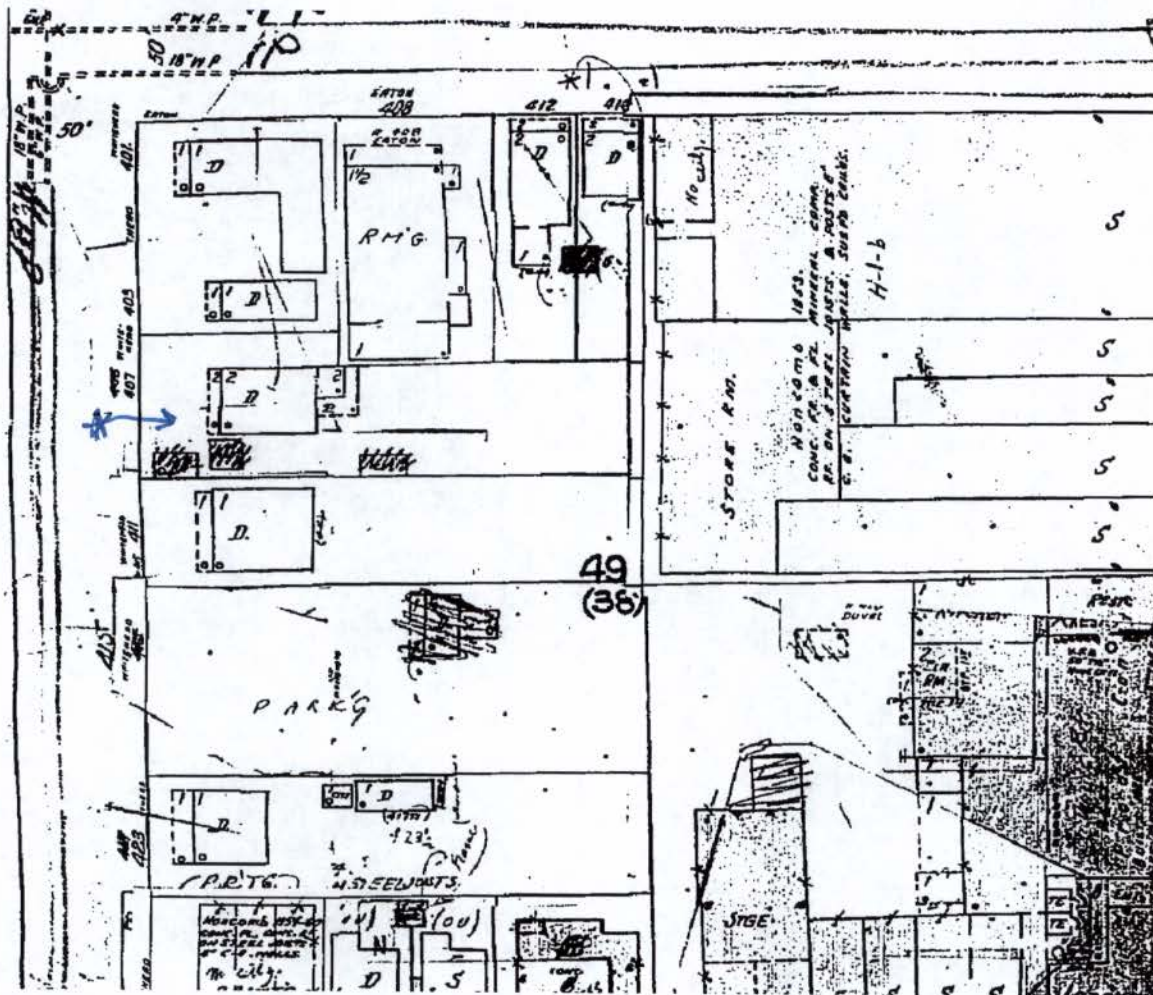
Signature: _____

Historic Architectural
Review Commission

Sanborn Maps



#407 Whitehead Street Sanborn map 1948 copy



#407 Whitehead Street Sanborn map 1962 copy

Project Photos



Photo taken by Property Appraiser's office c1965; 407 Whitehead Street; Monroe County Library

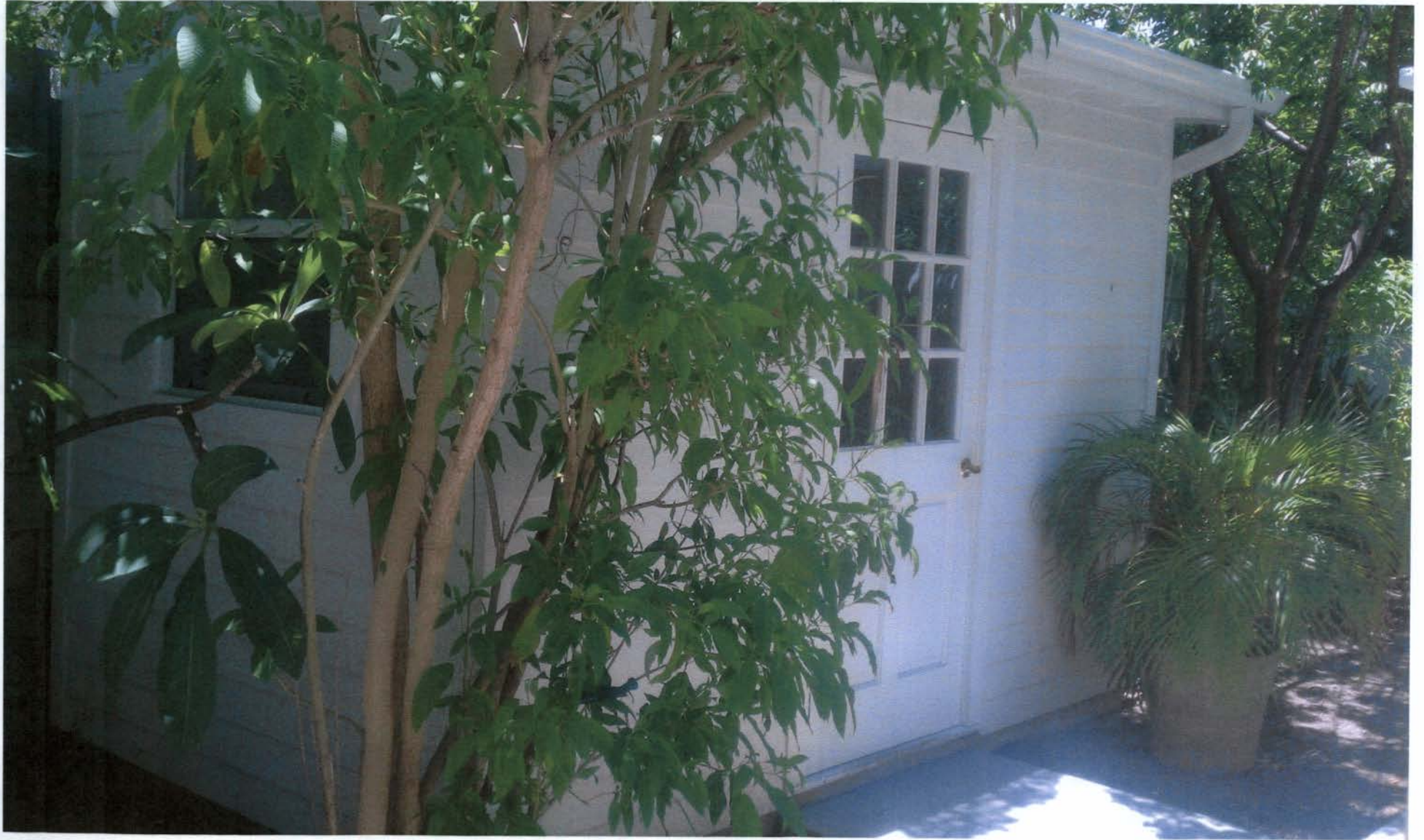


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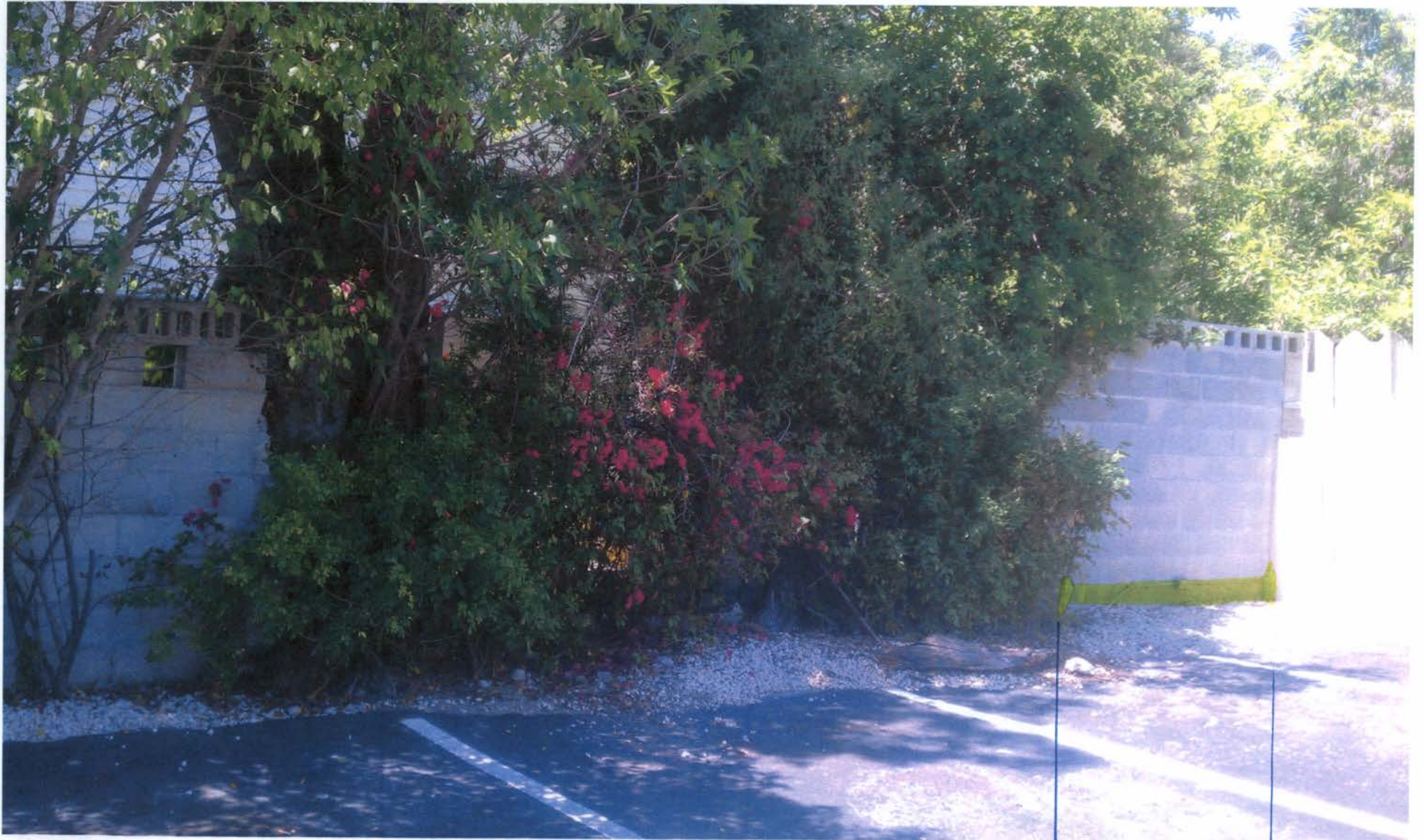
407 WHITEHEAD - LAUNDRY

VIEW
2 2011



407 WHITHEAD

OVER
2 2011



NEW FENCE

408 WHITEHORN



05-22-2011

JUL 23 2011

405H 2L11W FCh



VIEW
2011

407 WATERHEAD

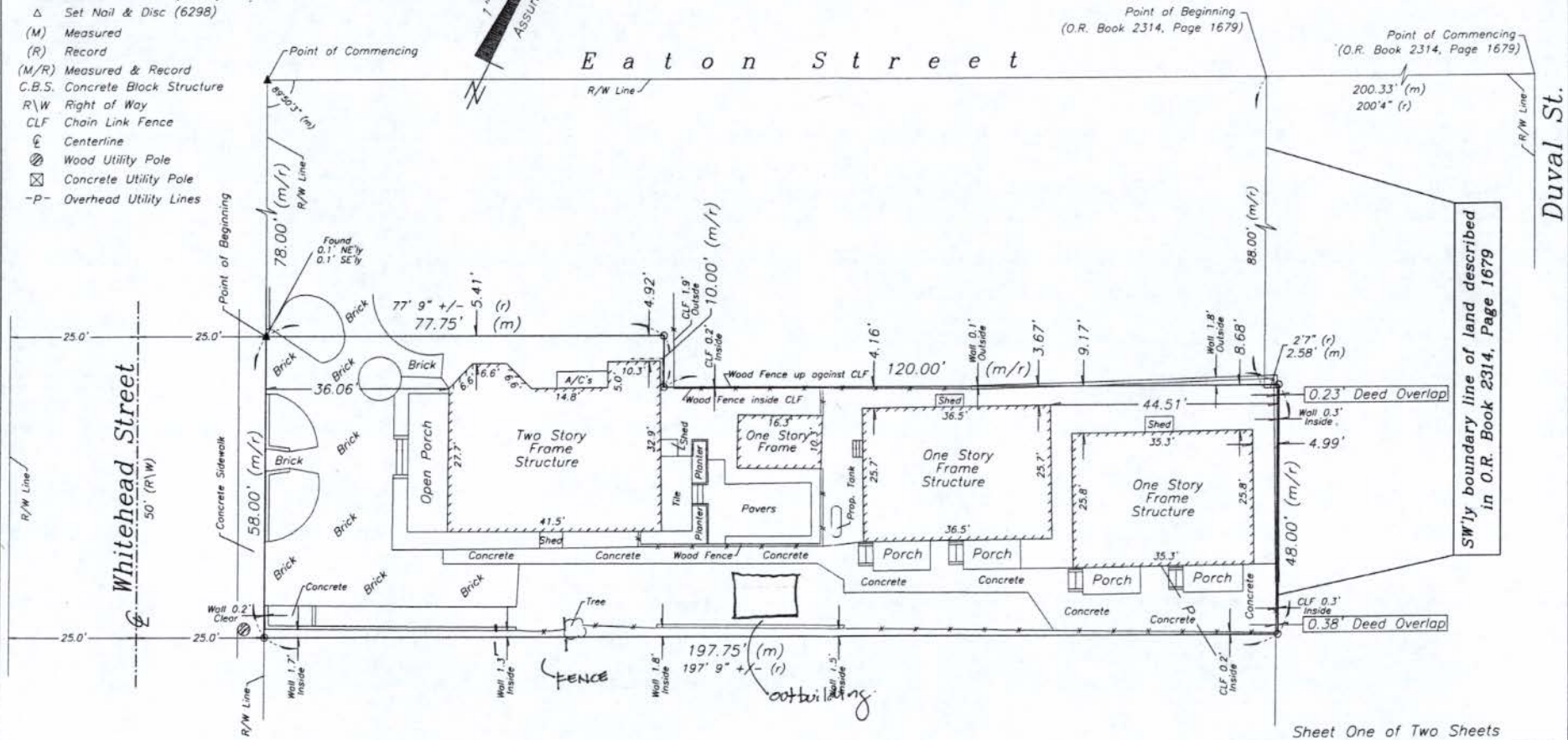


Survey

LEGEND

- ⊙ Found 3/4" Iron Pipe (C&A)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (2863)
- ▲ Found "PK" Nail (No ID)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines

Boundary Survey Map of part of Lot 3, Square 38, according to W.m. A. Whitehead's map of the Island of Key West



NOTE:
This Survey Map is not full and complete without the attached Survey Report.

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of part of Lot 3, Square 38, according to
W.m. A. Whitehead's map of the Island of Key West

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 407 Whitehead St, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. This survey is not assignable.
9. Date of field work: March 21, 2008.
10. Ownership of fences is undeterminable, unless otherwise noted.
11. Adjoiners are not furnished.
12. The Survey Report is not full and complete without the attached Survey Map.

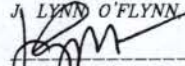
BOUNDARY SURVEY OF:

On the Island of Key West, and known on the map of William A. Whitehead, of the Island and City of Key West, delineated in February A. D. 1829, as a Part of Lot Three (3) in Square Thirty-eight (38).

Beginning at a point on Whitehead Street Seventy-eight (78) feet from the corner of Whitehead and Eaton Streets and running thence along Whitehead Street in a Southeasterly direction Fifty-eight (58) feet; thence at right angles in a Northeasterly direction One Hundred and Ninety-seven (197) feet and nine (9) inches; thence at right angles in a Northwesterly direction Forty-eight (48) feet; thence at right angles in a Southwesterly direction One Hundred and twenty (120) feet; thence at right angles in a Northwesterly direction Ten (10) feet; thence at right angles in a Southwesterly direction Seventy-seven (77) feet and nine (9) inches out to Whitehead Street to the point of beginning.

BOUNDARY SURVEY FOR: Paula Newhouse Estate;

J. LYNN O'FLYNN, INC.


J. Lynn O'Flynn, PSM
Florida Reg. #6298

April 18, 2008

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

0-4949

Site Plans

SITE DATA

RE: 0006620-00000
 ZONING: HRD (HISTORIC RESIDENTIAL/OFFICE)
 FLOOD ZONE: X
 F.L.R.M. - COMMUNITY#12067, MAP & PANEL #1528 SUFFIX K, DATE:02-18-05
 SECTION/TOWNSHIP/RANGE: 25/68/6
 LEGAL DESCRIPTION: KW PT LT 3 SQR 38 G32-161/177
 LOT AREA: 10,269 SF

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2007 FLORIDA BUILDING CODE WITH 2008 SUPPLEMENTS AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.
 THE FOLLOWING LOADINGS WERE USED:
 WIND LOAD: 150 MPH (3 SEC GUST), EXPOSURE C
 LIVE LOADS: FLOOR 40 PSF, ROOF 20 PSF
 DEAD LOADS: WALL 15 PSF, ROOF 15 PSF, FLOOR 15 PSF

INDEX OF DRAWINGS

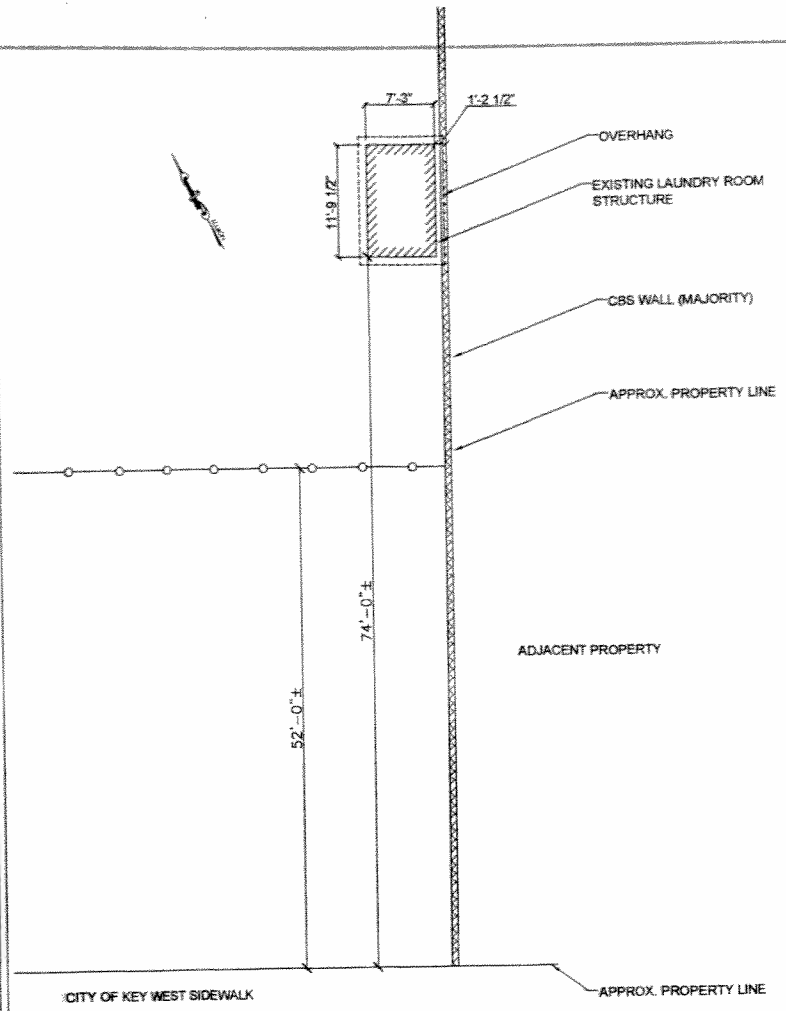
SHEET S-1.0 - SITE PLAN AND ELEVATIONS
 SHEET S-2.0 - FRAMING, ELECTRICAL AND PLUMBING

GENERAL NOTES

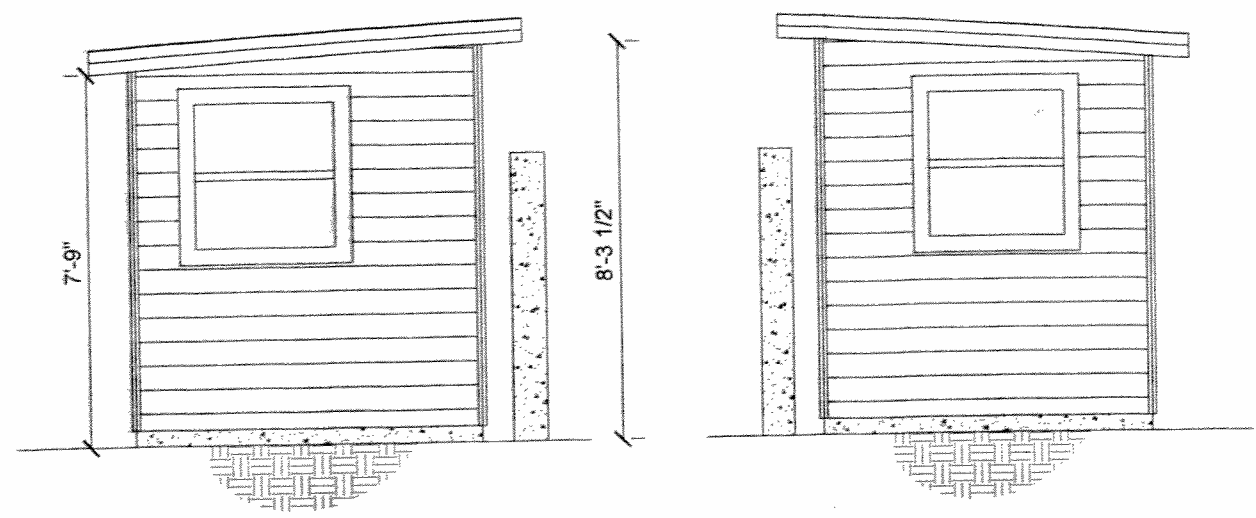
1. THESE PLANS ARE FOR THE CONSTRUCTION/MODIFICATION AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
5. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
6. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.).
7. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2007 FLORIDA BUILDING CODE WITH 2008 SUPPLEMENTS, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
8. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.

LEGEND

SYMBOLS	MATERIAL INDICATIONS	LIST OF ABBREVIATIONS
	CONCRETE	& AT APPROX. APPROXIMATELY)
	COMPACTED EARTH FILL	FT. FOOT/FEET
	STUCCO OR GYPSUM WALL BOARD	F.F.L. FINISH FLOOR LEVEL
	CONCRETE MASONRY UNIT	IN. INCH
	BRICK	MAX. MAXIMUM
	BATT INSULATION	MIN. MINIMUM
	RIDGE INSULATION	# NUMBER
	SAND	O.C. ON CENTER
	GRAVEL	LB. POUND
	CONTINUOUS WOOD FRAMING	PSI POUND PER SQUARE INCH
	WOOD BLOCKING	PT. PRESSURE TREATED
	PLYWOOD	SF. SQUARE FOOT/FEET
	FINISH WOOD	T & G TONGUE AND GROOVE
		W.W.M. WELDED WIRE MESH



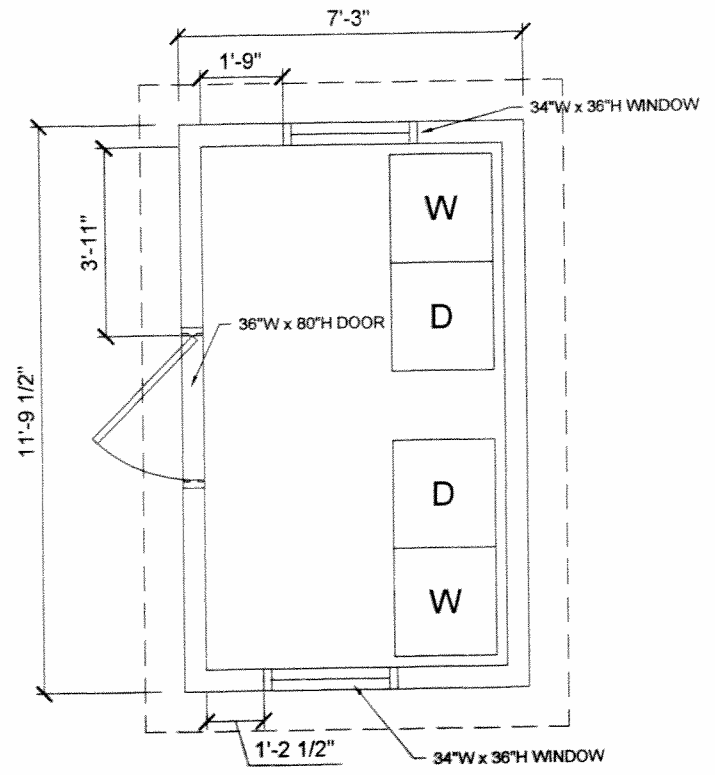
WHITEHEAD STREET
SITE LOCATION PLAN
 SCALE: 1"=10'-0"



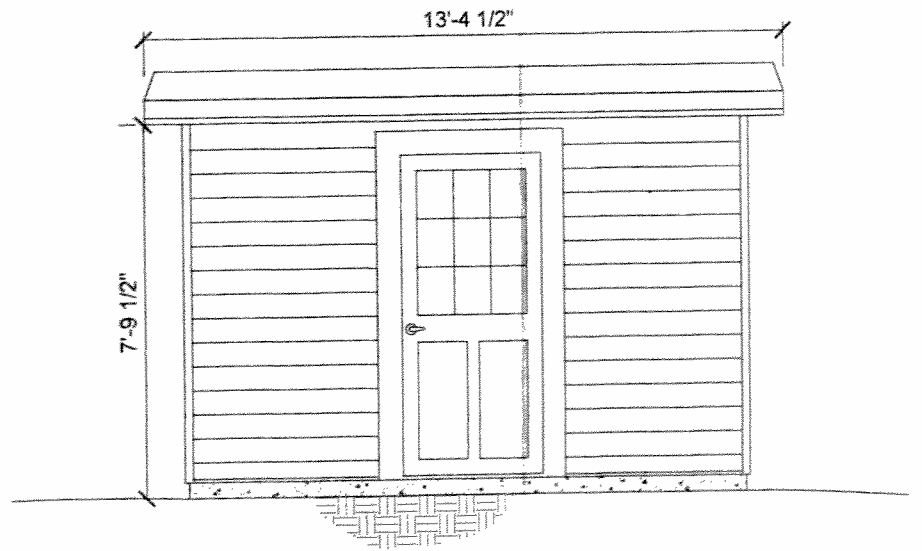
SOUTH ELEVATION VIEW SCALE: 1"=2'-0"
NORTH ELEVATION VIEW SCALE: 1"=2'-0"

NON RATED HISTORIC WOOD WINDOWS & DOORS AS PRESCRIBED BY THE CITY OF KEY WEST & HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC) FOR HISTORIC CONTRIBUTING STRUCTURES

NOTE: STRUCTURE IS EXISTING. OWNER SHALL MODIFY STRUCTURE TO COMPLY WITH FRAMING DETAIL AND WIND LOADING



FLOOR PLAN
 SCALE: 1"=2'-0"



FRONT ELEVATION VIEW
 SCALE: 1"=2'-0"

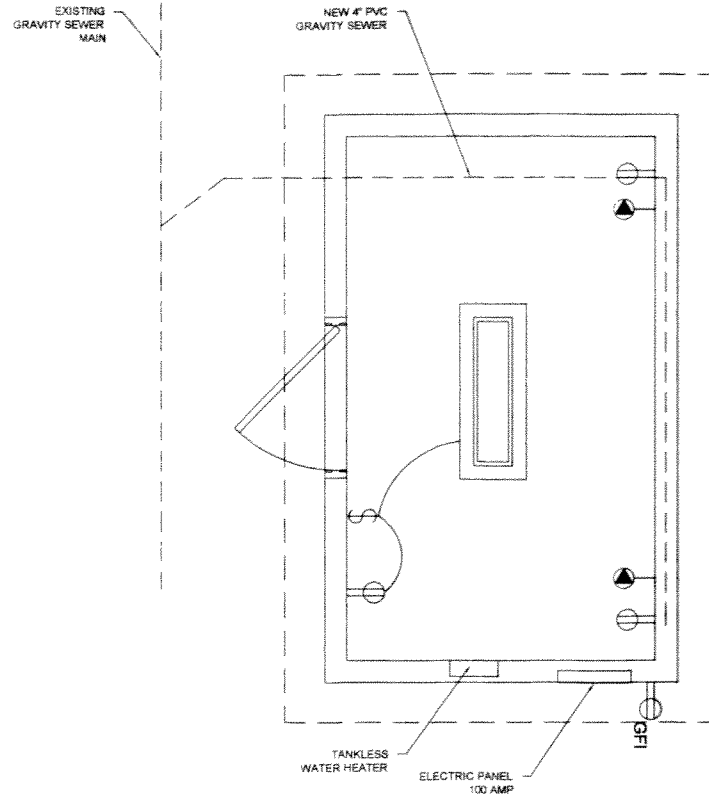
Meridia 201 Fr Key W AUTH 01302 Seal: [Signature] General Notes: [Blank] Drawn: SLM Project: AutoCAD Revisions: [Blank] Title: AN Shee: [Blank] Date: [Blank]

NAILING OF ROOF & SIDING SHEATHING

1. SHEATHING SHALL BE THE THICKNESS INDICATED ON THE DRAWINGS BUT NOT LESS THAN 1/2" FOR SIDING SHEATHING AND 3/4" FOR ROOF SHEATHING.
2. THE LONG DIMENSION OF THE PLYWOOD SHEATHING SHALL BE INSTALLED PERPENDICULAR TO THE FRAMING AND END JOINTS SHALL BE STAGGERED.
3. SHEATHING SHALL BE FASTENED TO ROOF FRAMING WITH 8d RING-SHANK NAILS AT 6" OC AT EDGES AND 12" OC AT INTERMEDIATE FRAMING EXCEPT AT GABLE END WALLS OR GABLE TRUSSES WHERE SPACING SHALL BE 4" OC.
4. SHEATHING SHALL BE FASTENED TO WALL FRAMING WITH 10d NAILS AT 6" OC EDGES, 12" OC INTERIOR, AND DOUBLE ROW 4" OC ALONG TOP AND BOTTOM PLATE.

ELECTRICAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY TO USE.
2. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
3. NO PIPE, CONDUIT OR JUNCTION BOX SHALL BE INSTALLED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
4. THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING EXISTING CONDITIONS AT THE SITE AND WITHIN THE BUILDING PRIOR TO BID.
5. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR NEW SERVICE AND ANY SPECIAL REQUIREMENTS.
6. ELECTRICAL DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED OR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN BUT CONSIDERED NECESSARY FOR PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGES TO THE OWNER.
7. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
8. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT AREAS.
9. ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN.
10. EXISTING ELECTRICAL WORK, FEATURES AND EQUIPMENT INDICATED AND/OR REQUIRED TO BE REMOVED SHALL BE PROPERLY DISPOSED BY THE CONTRACTOR INCLUDING ABANDONED RACEWAYS, WIRING, BOXES, SWITCHES AND OTHER ELECTRICAL ITEMS NOT PLANNED TO REMAIN IN USE.
11. ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN FINISHED AREAS EXCEPT AS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
12. ALL WIRE SIZE SHALL BE #12 THRU #14 UNLESS OTHERWISE NOTED ON DRAWINGS. CONDUCTORS #6 AND LARGER SHALL BE THW.
13. ALL CONDUCTORS SHALL BE COPPER.
14. ALL MATERIAL SHALL BE UL APPROVED.
15. A TYPEWRITTEN PANEL TALLY SHALL BE AFFIXED TO THE PANEL DOOR AFTER COMPLETION OF WORK THAT REFLECTS ALL CHANGES AND ADDITIONS.
16. ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED.
17. ALL FLOOR PENETRATIONS SHALL BE SEALED WITH A FIRE SEAL SIMILAR TO 'OZ' FLAMESEAL.
18. ALL NON-POWER RELATED WIRING IN CEILING A/C PLENUM RUNNING WITHOUT CONDUIT SHALL BE TEFLON COATED CLASSIFIED FOR USE IN PLENUMS.
19. ALL OUTLETS, SWITCHES AND COVER PLATES SHALL HAVE WHITE FINISH OR OTHER COLOR SELECTED BY OWNER AND LEVITON 5350/522 SERIES OR EQUAL.
20. ALL BRANCH CIRCUITS SHALL BE EQUIPPED WITH A GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH NEC 250.6.
21. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH NYLON PULL STRINGS.
22. FUSES SHALL BE DUAL ELEMENT, TIME DELAY UNLESS OTHERWISE NOTED.
23. ALL LUMINARIES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH CEILING MANUFACTURER RECOMMENDATIONS IF APPLICABLE AND LOCAL REQUIREMENTS. MOUNTING DEVICES MUST BE CAPABLE OF SUPPORTING CEILING FAN WEIGHTS.
24. ALL CABLES SHALL BE RUN WITHOUT SPLICES UNLESS OTHERWISE NOTED.
25. CIRCUIT BREAKERS SHALL BE BOLT-ON TYPE. PLUG-IN TYPE CIRCUIT BREAKERS WILL NOT BE ACCEPTED.
26. ALL BATHROOM, GARAGE AND EXTERIOR RECEPTACLE OUTLETS AND KITCHEN RECEPTACLE OUTLETS WITHIN 6' OF WATER SOURCE SHALL BE GFI PROTECTED. ALL EXTERIOR RECEPTACLE OUTLETS SHALL BE WATER-PROOF PROTECTED. ALL BEDROOM RECEPTACLE OUTLETS SHALL BE ARC FAULT PROTECTED IN ACCORDANCE WITH NEC 210.12.
27. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE ELECTRICAL DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF THE WORK.



ELECTRICAL LEGEND	
	WALL DUPLEX OUTLET
	G.F.I. WALL DUPLEX OUTLET
	G.F.I. WALL DUPLEX OUTLET MOUNTED ABOVE COUNTER
	240V SINGLE OUTLET
	WALL SWITCH
	3-WAY WALL SWITCH
	WALL MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING FAN/LIGHT
	TELEPHONE OUTLET
	SMOKE DETECTOR
	WATER PROOF ITEM
	RECESSED CAN CEILING FIXTURE
	TRACK LIGHTING
	FLORESCENT LIGHT FIXTURE
	CABLE T.V.
	EXHAUST LIGHT FIXTURE
	220 CIRCUIT
	DISCONNECT

ELECTRIC AND PLUMBING PLAN

SCALE: 1"=2'-0"

WOOD AND FRAMING NOTES

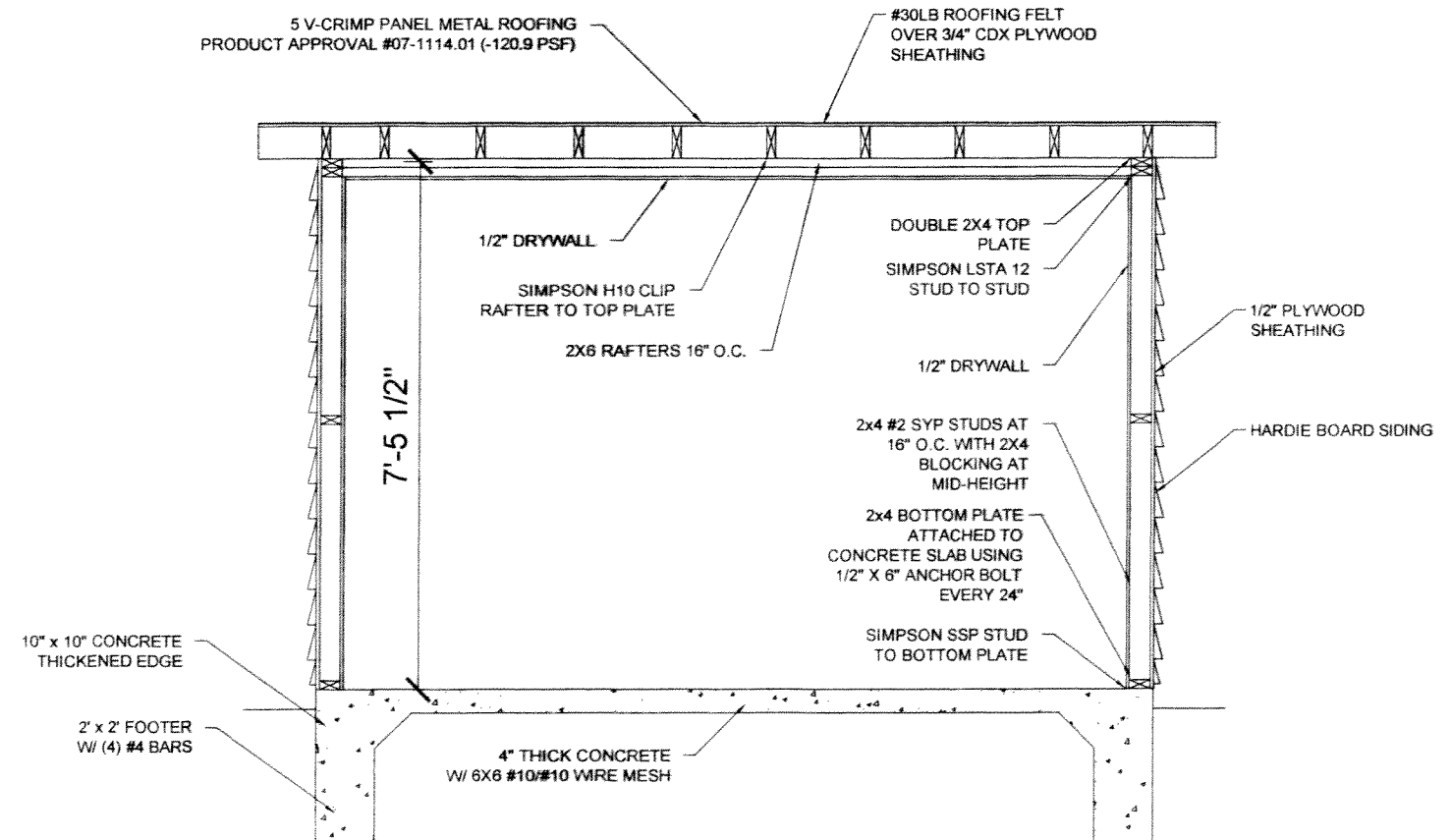
1. EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC 19%, NO. 2 DENSE, AS GRADED BY THE SOUTHERN PINE INSPECTION BUREAU.
2. ALL TIMBER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION AITC.
3. ALL WOOD SHALL BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM INSECTS AND DECAY. ALLOW TO DRY AFTER TREATMENT. PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARRIER SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM WINDOW FRAMES.
4. ALL WOOD CONNECTIONS SHALL HAVE SIMPSON STRONG-TIE CO. OR EQUAL CONNECTORS. ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER RECOMMENDED FASTENERS BEFORE LOADING.
5. PROVIDE BLOCKING BETWEEN ALL JOISTS 2 X 6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT ALL SUPPORTS.

PLUMBING NOTES

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE. THE NEW WORK SHALL INCLUDE COMPLETE HOT AND COLD WATER SYSTEMS AND VENT, WASTE AND DRAIN SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE, THE ENERGY CONSERVATION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING.
4. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR.
5. PLUMBING DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED OR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN ON THE DRAWINGS BUT CONSIDERED NECESSARY FOR THE PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGE TO THE OWNER.
6. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER WORK UNDER THIS CONTRACT.
7. THE OWNER WILL NOT BE HELD LIABLE FOR ANY CHANGES THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER OR FIELD CHANGES THAT ARISE FROM CONTRACTOR ERROR OR OMISSION OF MATERIAL OR POOR WORKMANSHIP.
8. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING MAIN, WATER AND SEWER CONNECTIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL NOTIFY AND RECEIVE CLEARANCE FROM THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATING.
9. VERIFY ALL DIMENSIONS AND CLEARANCES AT THE SITE AND IN THE BUILDING PRIOR TO FABRICATION AND INSTALLATION.
10. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT SURFACES AND FINISHES.
11. THE CONTRACTOR SHALL INSPECT EXISTING CONDITIONS PRIOR TO BID AND BECOME FAMILIAR WITH THE SCOPE OF WORK. NO EXTRAS WILL BE ALLOWED FOR THE CONTRACTORS FAILURE TO COMPLY WITH THIS REQUIREMENT.
12. PLUMBING FIXTURES SHALL BE SELECTED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. (PLUMBING FIXTURES INDICATED ON DRAWING ARE FOR REFERENCE ONLY. FIXTURES OF EQUAL QUALITY, AND CRAFTSMANSHIP MAY BE USED AS DIRECTED).
13. ALL FIXTURES SHALL BE PROTECTED FROM WATER HAMMER WITH AIR CHAMBER SIZED IN ACCORDANCE WITH P.D.I. STANDARDS. (JOSAN OR EQUAL).
14. PROVIDE CONTROL VALVES TO ALL RISERS, BRANCHES, GROUPS OF FIXTURES AND EACH PIECE OF EQUIPMENT. CONTROL VALVES SHALL BE CAST BRASS OR BRONZE GATE VALVES.
15. PROVIDE FULLY ACCESSIBLE CLEANOUTS ON SANITARY PIPING AT THE BASE OF EACH SOIL AND WASTE PIPE AND AT EVERY CHANGE OF DIRECTION.
16. PROVIDE MINIMUM PITCH OF 1/8" PER FOOT FOR ALL HORIZONTAL BRANCHES AND SEWER TRADES.
17. ALL WATER PIPING SHALL BE TYPE M COPPER WITH WROUGHT COPPER SOLDERED JOINT FITTINGS.
18. PROVIDE DIELECTRIC FITTINGS FOR JOINING DISSIMILAR METALS.
19. SANITARY DRAIN PIPING WITHIN THE BUILDING AND BELOW THE GROUND SHALL BE SCHEDULE 40 PVC.
20. WATER HEATER SHALL BEAR LABEL INDICATING COMPLIANCE WITH ASHRAE STD. 90. WATER HEATER SHALL BE EQUIPPED WITH A DRAIN PAN WITH 2" MIN. SIDES AND 2" CLEARANCE ON ALL SIDES. PROVIDE 3/4" DRAIN OUTLET LOCATED 1/2" ABOVE BOTTOM OF PAN. PWT RELIEF VALVE AND DRAIN PAN PIPING SHALL BE TYPE M COPPER.
21. UNDERGROUND PIPING SHALL BE PROTECTED WITH A COAT OF BITUMINOUS COMPOUND.
22. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS TO PROTECT TRAP SEAL.
23. ALL VENTS THROUGH ROOF SHALL MAINTAIN MINIMUM 10' HORIZONTAL CLEARANCE FROM ANY MECHANICAL AIR INTAKE.
24. ALL PIPING SHALL BE SUPPORTED PROPERLY.
25. ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF PLUMBING WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER OF RECORD PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN.
26. WATER USAGE FOR PLUMBING FIXTURES SHALL NOT EXCEED THE FOLLOWING:
WATER CLOSETS: 1.6 GALLONS PER FLUSH
SHOWERS: 2.5 GALLONS PER MINUTE
FALCETS: 2.0 GALLONS PER MINUTE
27. HOSE BIBS SHALL BE PROTECTED BY APPROVED BACK-SIPHONAGE BACKFLOW PREVENTERS.
28. TEST ALL WATER PIPING AT 100 PSI HYDROSTATIC PRESSURE A MINIMUM OF 2 HOURS.
29. TEST ALL SOIL, WASTE AND VENT PIPING WITH A 10' HEAD OF WATER. WATER LEVEL TO REMAIN UNCHANGED FOR 2 HOURS MINIMUM.
30. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO

HEADER SCHEDULE	
OPENING SIZE	BEAM
< OR = 6'-0"	(3) 2"x8" W/ (2) 1/2" PLYWOOD FLITCH
6'-0" - 8'-0"	(3) 2"x10" W/ (2) 1/2" PLYWOOD FLITCH
8'-0" - 10'-0"	(3) 2"x12" W/ (2) 1/2" PLYWOOD FLITCH

STUD SCHEDULE AT HEADERS	
< OR = 3'-0" OPENING	1 JACK STUD/1 KING STUD
3'-0" - 6'-0" OPENING	2 JACK STUDS/1 KING STUD
6'-0" - 8'-0" OPENING	2 JACK STUDS/2 KING STUDS
8'-0" - 10'-0" OPENING	2 JACK STUDS/3 KING STUDS
10'-0" - 12'-0" OPENING	3 JACK STUDS/3 KING STUDS



FRAMING PLAN

SCALE: 3/4"=1'-0"

Meridian E
201 Front S
Key West,
AUTHOR:
RICHAR
PE

General Notes

LAUNDRY FACILITY

Drawn By:
SLM
Project No.
AutoCad File

Revisions

Title:
FRAMING,
AND PL

Sheet Number
S

**Property Appraiser
Information**

Karl D. Borglum
Property Appraiser
Monroe County, Florida

office (305) 292-3420
fax (305) 292-3501
Website tested on
Internet Explorer

GIS Mapping requires Adobe Flash 10.3 or higher.
(An Export Map widget is in the lower left corner.)

Property Record View

Alternate Key: 1006858 Parcel ID: 00006620-000000

Ownership Details

Mailing Address:
BLANCHETTE KIMBERLY L
1312 REYNOLDS ST
KEY WEST, FL 33040-4709

All Owners:
CROSS MELISSA L, CROSS REX E JR TESTAMENTARY
TRUST, BLANCHETTE KIMBERLY L

Property Details

PC Code: 08 - MULTI FAMILY LESS THAN 10UNITS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 407 WHITEHEAD ST KEY WEST
Legal Description: KW PT LT 3 SQR 38 G32-161/177 OR1114-191/95WILL OR1147-994/96P/R OR1193-2414 OR2332-614ORD OR2474-1328/29ORD

Parcel Map (Click to open dynamic parcel map)



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	0	0	10,269.00 SF

Building Summary

Number of Buildings: 3
 Number of Commercial Buildings: 0

Total Living Area: 4142
Year Built: 1930

Building 1 Details

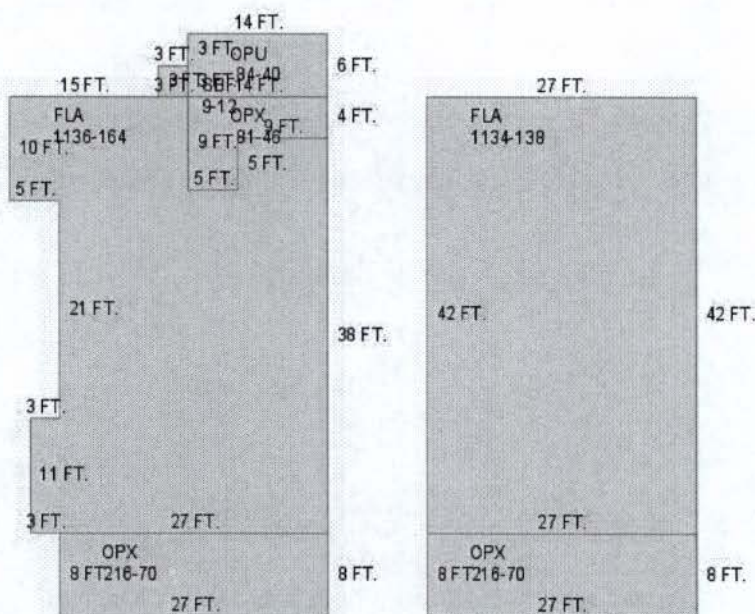
Building Type <u>R1</u>	Condition <u>P</u>	Quality Grade <u>550</u>
Effective Age <u>28</u>	Perimeter <u>302</u>	Depreciation % <u>34</u>
Year Built <u>1941</u>	Special Arch <u>0</u>	Grnd Floor Area <u>2,270</u>
Functional Obs <u>0</u>	Economic Obs <u>0</u>	

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type <u>GABLE/HIP</u>	Roof Cover <u>ASPHALT SHINGL</u>	Foundation <u>WD CONC PADS</u>
Heat 1 <u>FCD/AIR DUCTED</u>	Heat 2 <u>NONE</u>	Bedrooms <u>3</u>
Heat Src 1 <u>ELECTRIC</u>	Heat Src 2 <u>NONE</u>	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	1	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	1
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	<u>FLA</u>	12:ABOVE AVERAGE WOOD	1	1992	N Y	0.00	0.00	1,136
2	<u>OPX</u>	12:ABOVE AVERAGE WOOD	1	1992	N Y	0.00	0.00	216
3	<u>OPX</u>	12:ABOVE AVERAGE WOOD	1	1992	N Y	0.00	0.00	81

4	OPU	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	84
5	SBF	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	9
6	FLA	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	1,134
7	OPX		1	1992	N	Y	0.00	0.00	216

Building 2 Details

Building Type R2
 Effective Age 24
 Year Built 1930
 Functional Obs 0

Condition P
 Perimeter 124
 Special Arch 0
 Economic Obs 0

Quality Grade 450
 Depreciation % 31
 Grnd Floor Area 936

Inclusions: R2 includes 2 3-fixture baths and 2 kitchens.

Roof Type GABLE/HIP
 Heat 1 NONE
 Heat Src 1 NONE

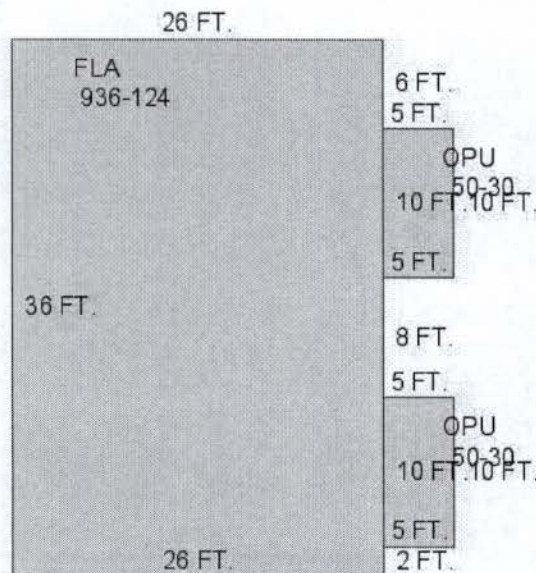
Roof Cover METAL
 Heat 2 NONE
 Heat Src 2 NONE

Foundation NONE
 Bedrooms 2

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
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1	FLA	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	936
2	OPU	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	50
3	OPU	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	50

Building 3 Details

Building Type R2
 Effective Age 24
 Year Built 1930
 Functional Obs 0

Condition P
 Perimeter 124
 Special Arch 0
 Economic Obs 0

Quality Grade 450
 Depreciation % 31
 Grnd Floor Area 936

Inclusions: R2 includes 2 3-fixture baths and 2 kitchens.

Roof Type GABLE/HIP
 Heat 1 NONE
 Heat Src 1 NONE

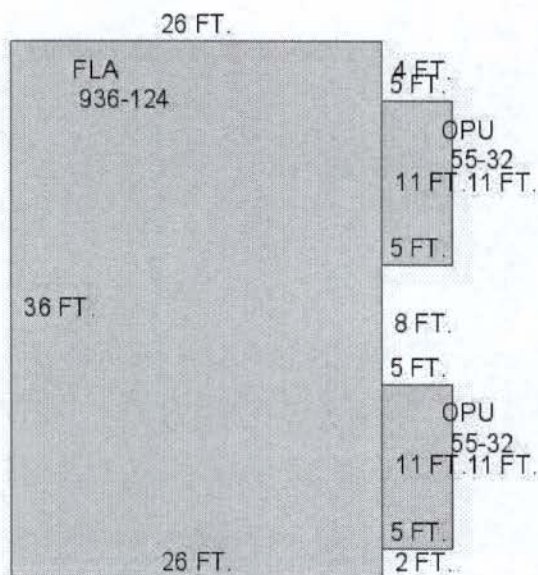
Roof Cover METAL
 Heat 2 NONE
 Heat Src 2 NONE

Foundation WD CONC PADS
 Bedrooms 2

Extra Features:

2 Fix Bath 0
 3 Fix Bath 0
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
-----	------	----------	-----------	------------	-----------	------------	---------------------	------

1	FLA	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	936
2	OPU	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	55
3	OPU	12:ABOVE AVERAGE WOOD	1	1992	N	Y	0.00	0.00	55

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	132 SF	0	0	1974	1975	4	30
2	FN2:FENCES	112 SF	0	0	1963	1964	1	30
3	FN2:FENCES	546 SF	0	0	1979	1980	3	30
4	PT2:BRICK PATIO	1,130 SF	0	0	1975	1976	4	50
5	PT3:PATIO	780 SF	0	0	1949	1950	1	50
6	PT2:BRICK PATIO	372 SF	0	0	1949	1950	1	50
7	CL2:CH LINK FENCE	48 SF	0	0	1969	1970	1	30
8	UB2:UTILITY BLDG	160 SF	16	10	1969	1970	3	50
9	UB3:LC UTIL BLDG	30 SF	0	0	1969	1970	1	30

Appraiser Notes

DEPT REVENUE POINTED OUT AN ERROR IN LAND UNITS.AFTER CHECK-ING DEED ,LAND UNITS WERE INCREASED FOR 95 ROLL YEAR. 5/13/02 - OWNER LIVES IN ALL OF BUILDING 1 AND RENTS THE 2 DUPLEXES IN THE REAR. TPP8544847

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	07-3552	07/18/2007	07/27/2007	2,300	Residential	REPLACE BUILDING SEWER
	07-3553	07/18/2007	07/27/2007	2,300	Residential	INSTALL BUILDING SEWER
	9700922	03/01/1997	12/01/1997	6,600	Residential	1560 SF FIBERTITE ROOF
	9701321	04/01/1997	12/01/1997	10,000	Residential	UPGRADE SERVICE TO 200 AM
	9702314	07/01/1997	12/01/1997	9,200	Residential	2-5 TON AC

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	400,283	11,183	278,788	690,254	690,254	0	690,254
2010	406,227	11,183	209,707	627,117	627,117	0	627,117
2009	449,980	11,183	650,067	1,111,230	1,111,230	0	1,111,230
2008	411,757	11,183	1,129,500	1,552,440	1,552,440	0	1,552,440

2007	470,063	10,923	1,863,675	2,344,661	1,591,074	25,000	1,566,074
2006	692,030	10,923	912,072	1,615,025	1,249,665	25,000	1,224,665
2005	656,542	11,160	816,064	1,483,766	1,175,369	25,000	1,150,369
2004	439,243	11,398	960,075	1,410,716	1,122,503	25,000	1,097,503
2003	577,773	11,635	417,924	1,007,332	931,887	25,000	906,887
2002	507,933	11,872	417,924	937,729	889,349	25,000	864,349
2001	451,060	7,025	417,924	876,009	854,215	25,000	829,215
2000	451,060	10,217	359,415	820,692	820,692	25,000	795,692
1999	386,844	9,120	359,415	755,379	667,976	25,000	642,976
1998	392,852	9,360	359,415	761,627	665,621	25,000	640,621
1997	346,096	8,932	328,608	683,636	625,128	25,000	600,128
1996	225,705	6,132	328,608	560,445	560,445	25,000	535,445
1995	225,705	6,314	328,608	560,627	554,329	25,000	529,329
1994	202,197	3,936	252,672	458,804	458,804	25,000	433,804
1993	202,197	4,060	252,672	458,929	458,929	25,000	433,929
1992	228,870	666	252,672	482,208	482,208	25,000	457,208
1991	228,870	666	252,672	482,208	482,208	25,000	457,208
1990	222,832	666	191,478	414,976	414,976	0	414,976
1989	202,575	605	189,504	392,684	392,684	25,500	367,184
1988	132,955	605	126,336	259,896	259,896	25,500	234,396
1987	131,225	605	72,545	204,375	204,375	25,500	178,875
1986	131,939	605	71,064	203,608	203,608	25,500	178,108
1985	119,140	605	71,064	190,809	190,809	25,500	165,309
1984	110,965	605	71,064	182,634	182,634	25,500	157,134
1983	110,965	605	49,157	160,727	160,727	25,500	135,227
1982	113,261	605	44,735	158,601	158,601	25,500	133,101

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
7/6/2010	2474 / 1328	0	ORDER	11
10/1/1990	1147 / 994	260,000	WD	K

This page has been visited 3,912 times.

Monroe County Property Appraiser
Karl D. Borglum
P.O. Box 1176
Key West, FL 33041-1176