

**PLANNING BOARD  
RESOLUTION NO. 2015-48**

**A RESOLUTION OF THE KEY WEST PLANNING BOARD GRANTING MAJOR DEVELOPMENT PLAN AND LANDSCAPE MODIFICATION / WAIVER APPROVALS PURSUANT TO SECTIONS 108-91.A.2.(A) AND 108-517 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA FOR THE CONSTRUCTION OF 48 NEW AFFORDABLE RESIDENTIAL UNITS ON PROPERTY LOCATED AT 541 WHITE STREET (RE # 00000470-000000; AK # 1000469) WITHIN THE HISTORIC SPECIAL MEDIUM DENSITY RESIDENTIAL (HSMDR) ZONING DISTRICT; PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, Section 108-91 of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that within the Historic District, a Major Development Plan is required for the addition of permanent residential development addition or reconstruction of five or more units; and

**WHEREAS**, modifications and waivers to reduce the City’s landscaping requirements are requested pursuant to City Code Section 108-517; and

**WHEREAS**, Code Sections 108-196(a) the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan in an advisory capacity to the City Commission; and

**WHEREAS**, Code Section 108-517(a) requires the Planning Board to consider the landscape modification / waiver request and render the final action; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on

  
\_\_\_\_\_  
Chairman  
  
\_\_\_\_\_  
Planning Director

October 15, 2015; and

**WHEREAS**, the granting of a Major Development Plan and Landscape Modification / Waiver application is consistent with the criteria of the Code of Ordinances; and

**WHEREAS**, the Planning Board finds that the granting of a Major Development Plan and Landscape Modification / Waiver application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.



**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** The Major Development Plan and Landscape Modification / Waiver for the construction of 48 new affordable residential units on property located at 541 white street (RE # 00000470-000000; AK # 1000469) within the Historic Special Medium Density Residential (HSMDR) zoning district pursuant to Sections 108-91.A.2.(a) and 108-517 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached plans, is hereby approved with the following conditions:

**General conditions:**

1. The proposed development shall be consistent with the plans dated September 14, 2015 by Allen E. Perez, P.E., and the landscape plans dated October 9, 2015 by Ladd Roberts, Landscape Architect; notwithstanding any revisions requested and recommended by

 Chairman  
 Planning Director

staff.

2. During all phases of demolition and construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.

**Conditions prior to the City Commission hearing:**

3. The applicant shall obtain final landscape plan approval from the Tree Commission.

4. The applicant shall obtain an outdoor lighting plan pursuant to City Code Section 108-284.

**Conditions prior to issuance of a building permit:**

5. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee

6. Per the recommendation of the City's Traffic Consultant and the City's Engineering Department, the property owner shall pay the sum of \$3,000 to extend the striping for the turning lane at the White and Eaton intersection due to it being recognized as an underperforming intersection.

7. The applicant shall obtain a SFWMD permit as requested by the Utilities Department.

**Section 3.** Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.


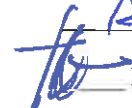
 Chairman  
 Planning Director

**Section 4.** This Major Development Plan and Landscape Modification / Waiver application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

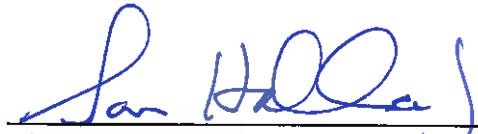
**Section 5.** This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

**Section 6.** This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 15th day of October, 2015.

 Chairman  
 Planning Director

Authenticated by the Chairman of the Planning Board and the Planning Director.



12/3/15

~~Richard Klitenick, Planning Board Chairman~~

Date

Sam Holland

Attest:

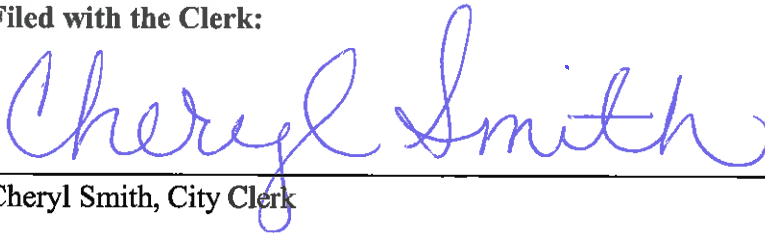


11/3/15

Thaddeus Cohen, Planning Director

Date

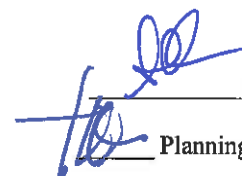

Filed with the Clerk:

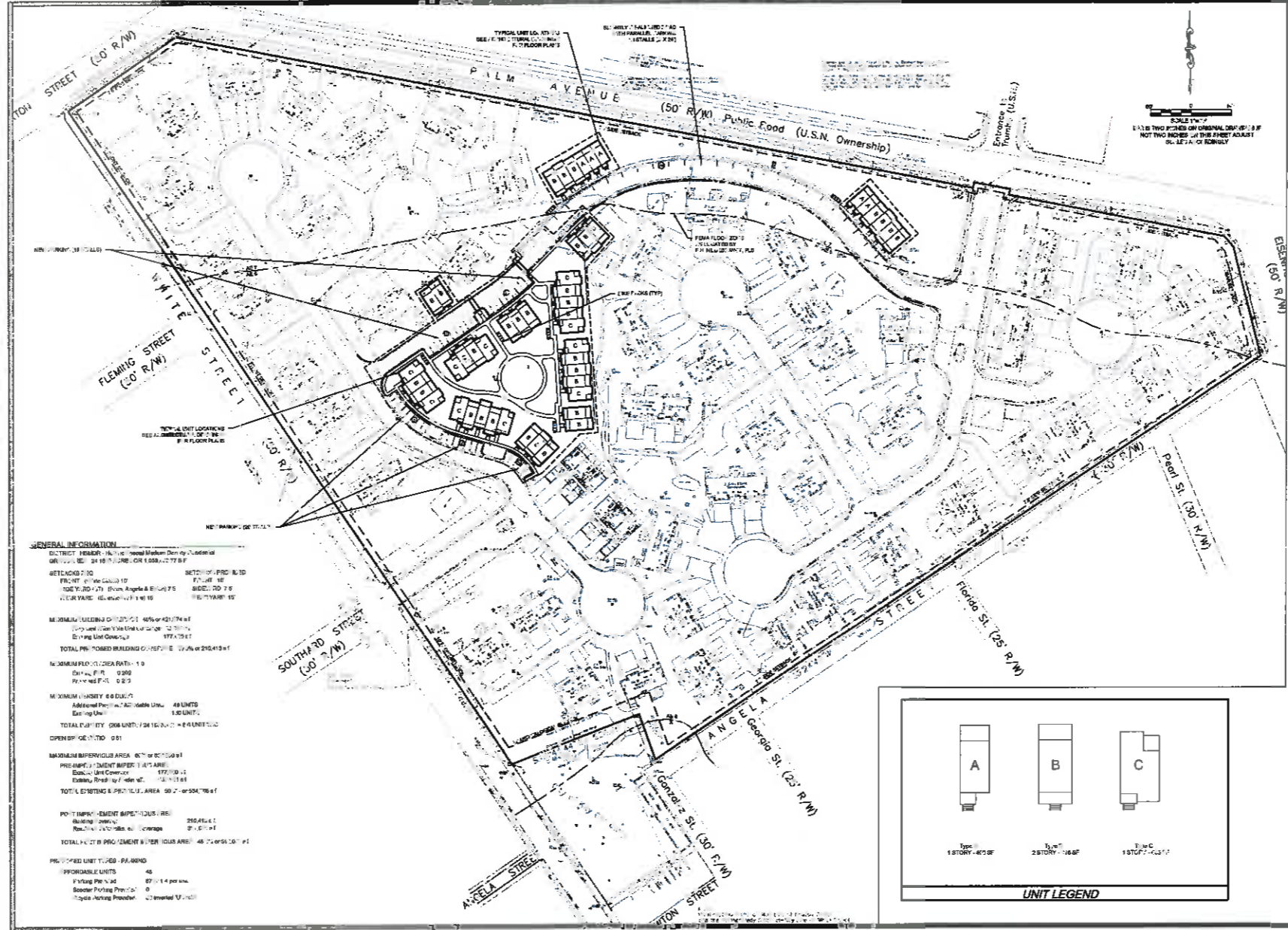


12/2/15

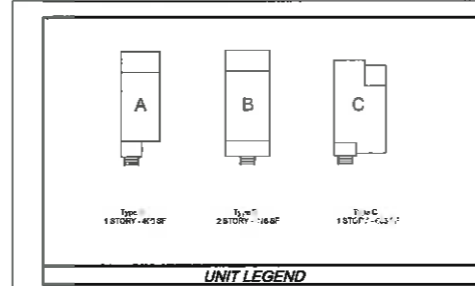
Cheryl Smith, City Clerk

Date

  
\_\_\_\_\_  
Chairman  
  
\_\_\_\_\_  
Planning Director



**GENERAL INFORMATION**  
 DISTRICT: 16-1111-0101 - Mixed Medium Density Residential  
 ZONING: 16-1111-0101 - RM-10  
 SETBACK: 7-30  
 FRONT: 10'-0" (MIN.)  
 SIDE: 10'-0" (MIN.)  
 REAR: 10'-0" (MIN.)  
 MAXIMUM BUILDING HEIGHT: 40'-0" (MIN.)  
 MAXIMUM FLOOR AREA: 1.0  
 MAXIMUM UNIT AREA: 48'-0" x 30'-0"  
 MAXIMUM SUPPLEMENTARY AREA: 24'-0" x 30'-0"  
 PROPOSED UNIT TYPES - PARKING



**ENGINEERING**

ALBERT PREZ DE  
 PROJECT MANAGER  
 DATE: 11/20/15

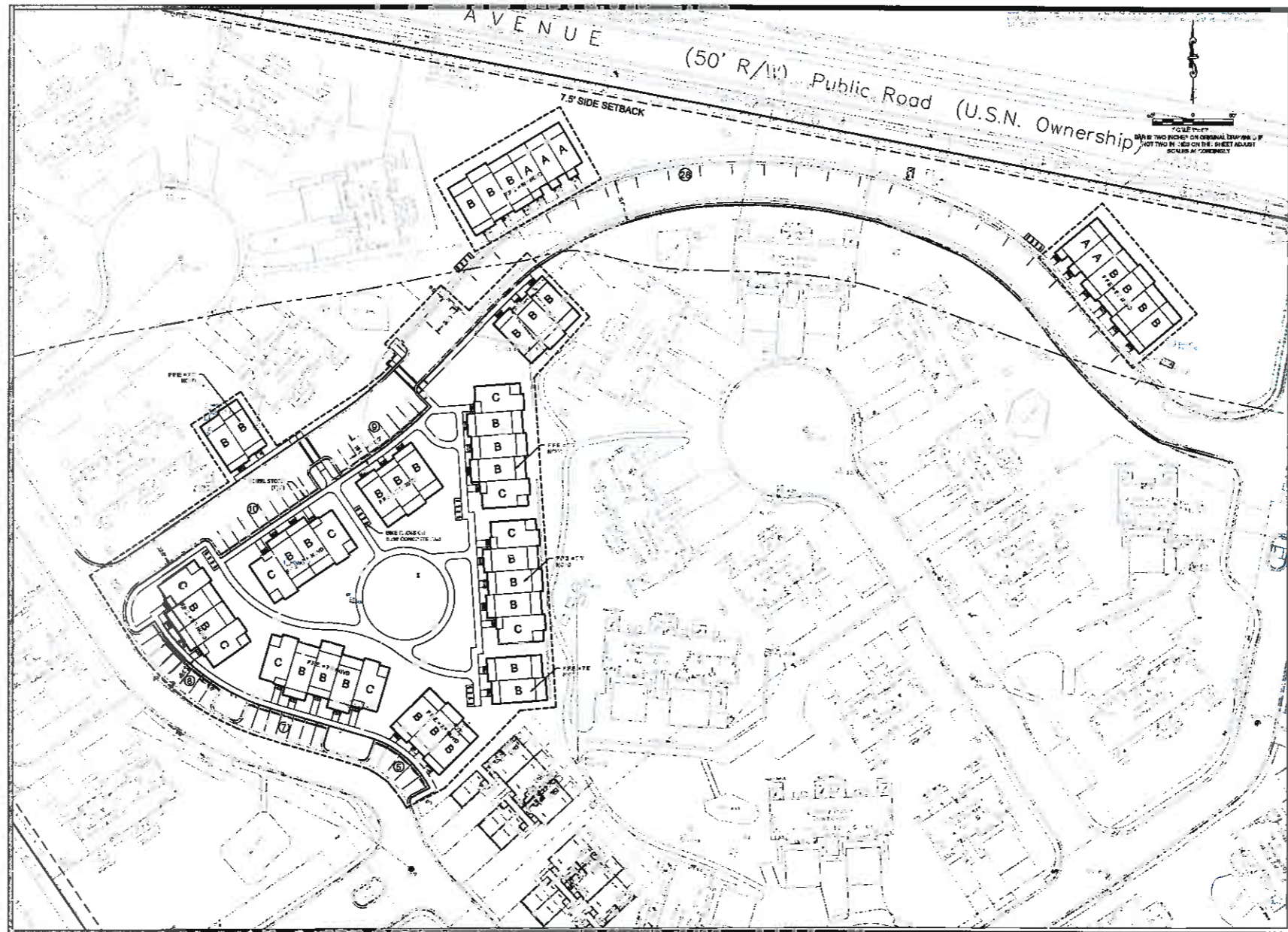
**REVISIONS**

NO.	DESCRIPTION	DATE

**PEARY COURT HOLDING LP**  
 1501 S. 2ND AVENUE, SUITE 800  
 MIAMI, FL 33137

SHEET  
 C-1

*Handwritten notes:*  
 11/20/15  
 12/12/15



SCALE: 1/8" = 1'-0"  
 DIMENSIONS SHOWN ON ORIGINAL DRAWING TO BE USED FOR CONSTRUCTION  
 DIMENSIONS SHOWN ON THIS SHEET ARE FOR INFORMATION ONLY

**ENGINEERING**  
 10101 BAYVIEW BLVD., SUITE 100  
 MIAMI, FL 33151  
 TEL: 305-555-1234  
 FAX: 305-555-5678  
 WWW: WWW.EEENGINEERING.COM

ALBERT PEREZ, P.E.  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 12345  
 EXPIRES: 12/31/2015

NO.	DESCRIPTION	DATE
1	ORIGINAL	11/10/15
2		
3		
4		
5		

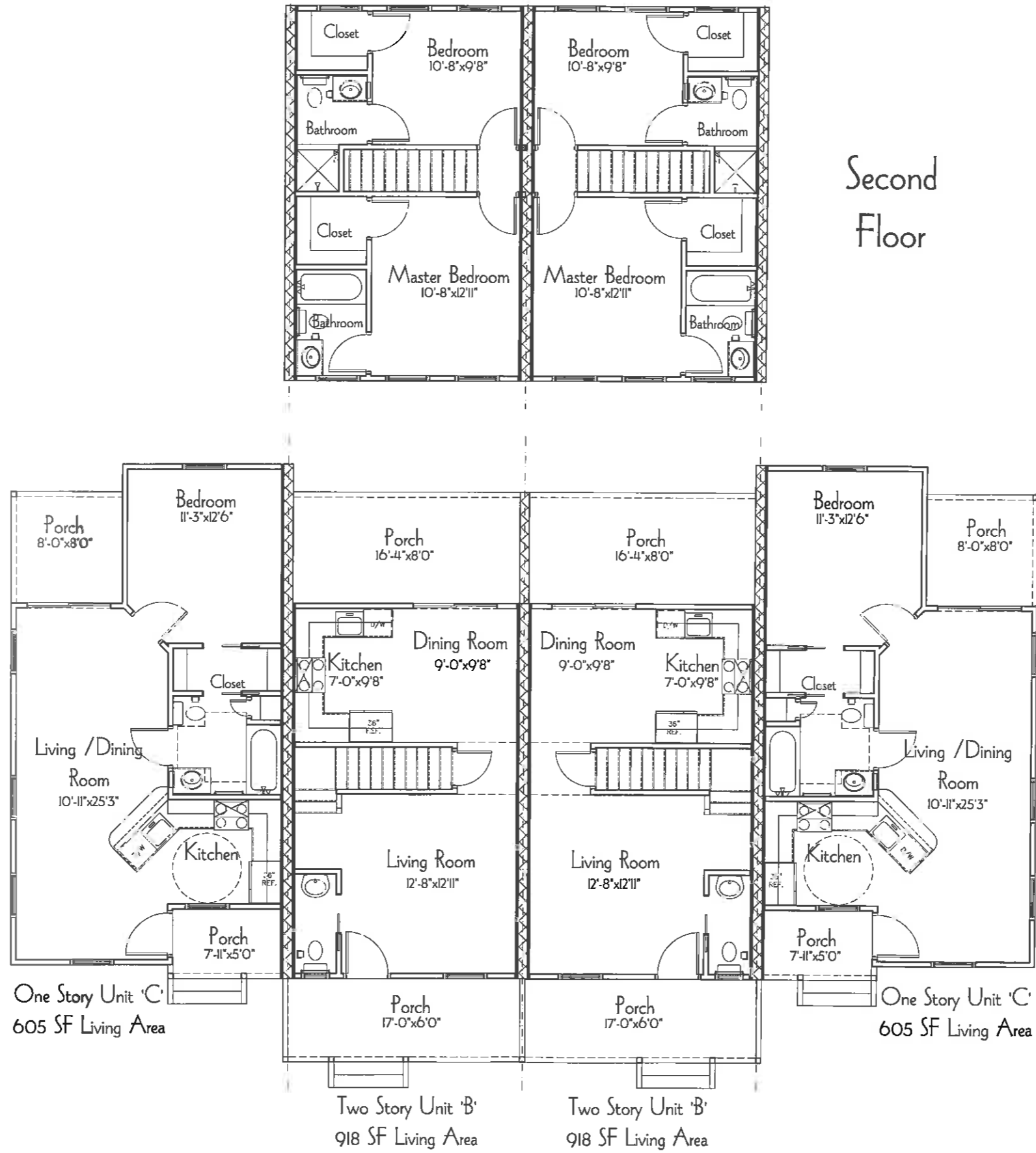
PEARY COURT HOLDINGS, LP  
 150 2ND AVENUE, SUITE 800  
 MIAMI, FL 33131

PROJECT: SOUTHWARD PARK  
 DRAWING: ENLARGED SITE PLAN

DATE	11/10/15
DRAWN	BSC
DESIGNED	ASP
CHECKED	ASP
DATE	

C-2

*11/10/15*  
*12/3/15*



Second  
Floor

First  
Floor

One Story Unit 'C'  
605 SF Living Area

Two Story Unit 'B'  
918 SF Living Area

Two Story Unit 'B'  
918 SF Living Area

One Story Unit 'C'  
605 SF Living Area

Project No. APC-1512 - Scale: 1/4"=1'-0"  
**Southern Park**  
 Affordable Units  
 Key Weest, Florida

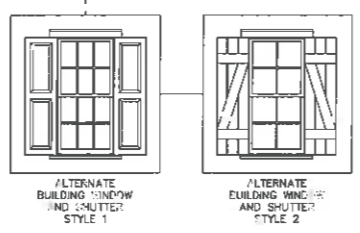
Date Issued: 04-27-15	Revision:
No.:	
Date:	

**Building A Floor Plan**  
**ALDERMAN Planning**  
 Phone: 813.833.5161  
 PO Box 55765 St. Petersburg FL, 33732

Sheet  
**A.1.1**

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 12/5/15  
 11/9/15





Rear Elevation



Front Elevation

Project No. APC-1512 - Scale: 1/4"=1'-0"

**Southard Park**  
Affordable Units  
Key West, Florida

Date Issued: 04-27-15

No. \_\_\_\_\_ Date: \_\_\_\_\_

Revision: \_\_\_\_\_

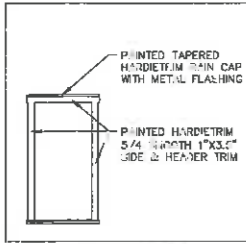
**Building A Elevations**

**ALDERMAN Planning**  
CORPORATION

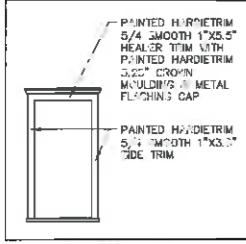
Phone: 813-833-5161  
PO Box 55755 St. Petersburg FL, 33732

Sheet  
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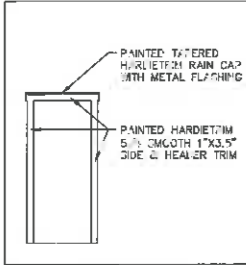
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11/9/16



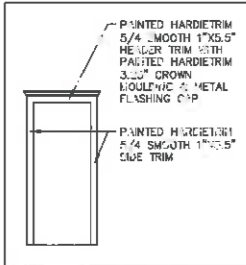
STANDARD WINDOW TRIM DETAIL



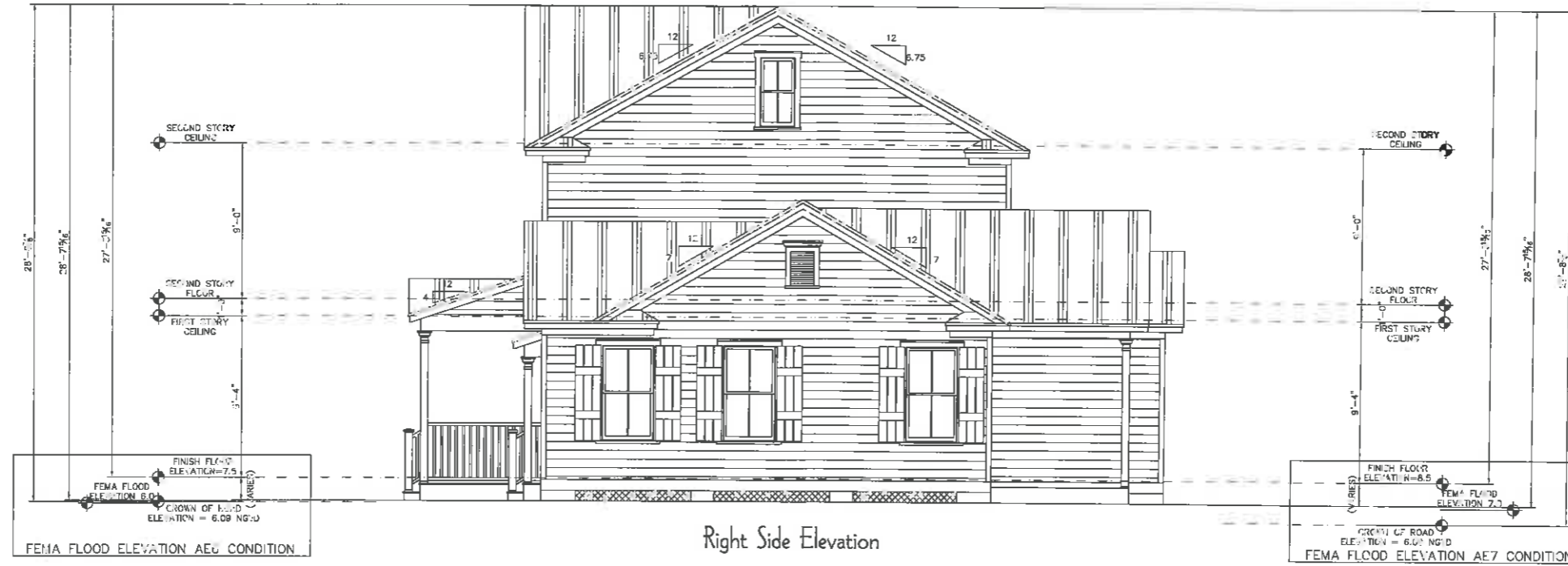
ALTERNATE WINDOW TRIM DETAIL 1



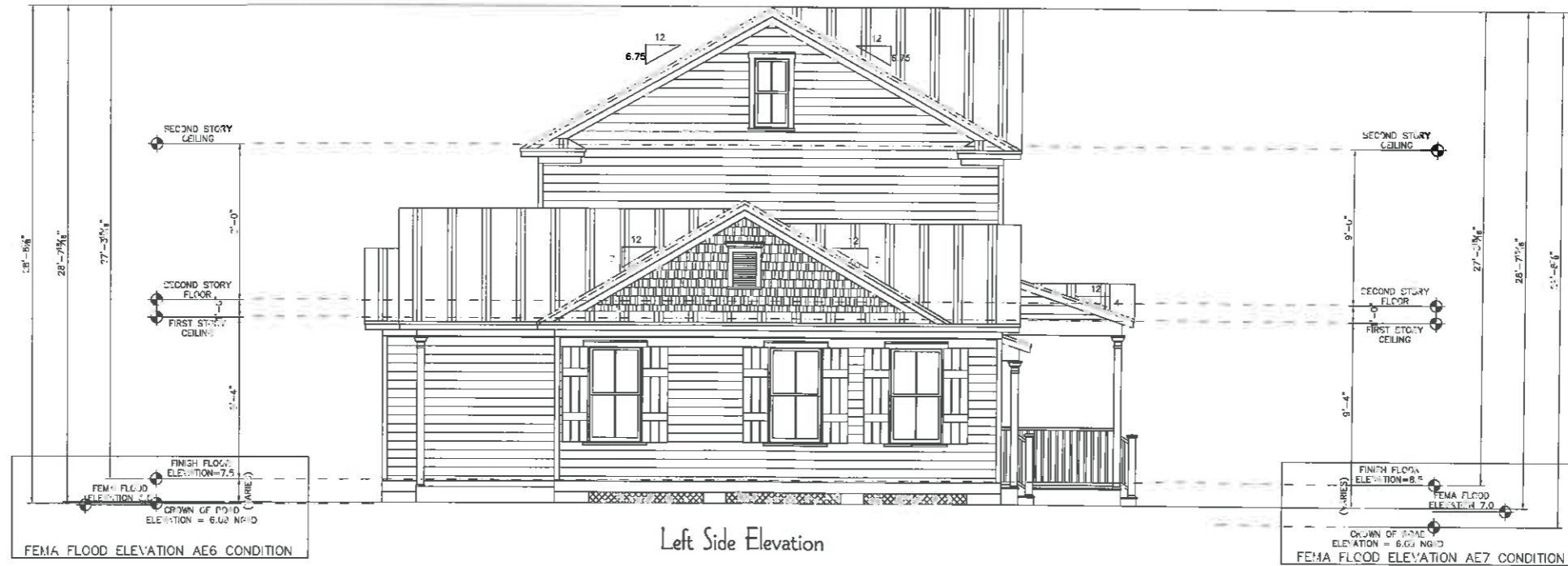
STANDARD DOOR TRIM DETAIL



ALTERNATE DOOR TRIM DETAIL 1



Right Side Elevation



Left Side Elevation

Project No. APC-1512 - Scale: 1/4"=1'-0"

**Southard Park**  
Affordable Units  
Key West, Florida

Date Issued: 04-27-15

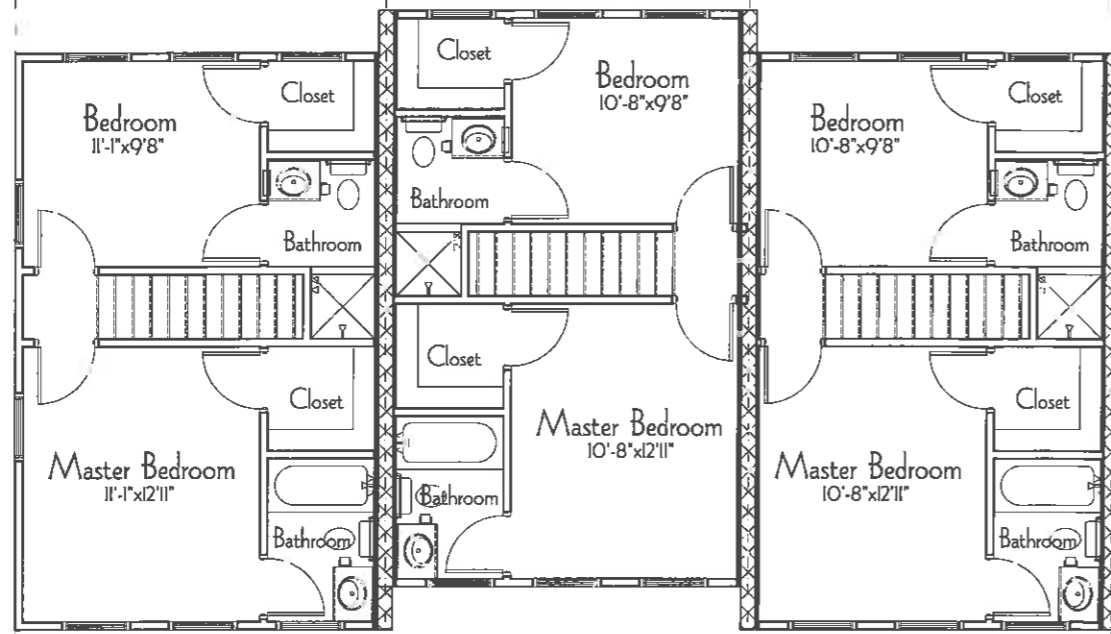
No.	Date	Revision

**Building A Elevations**

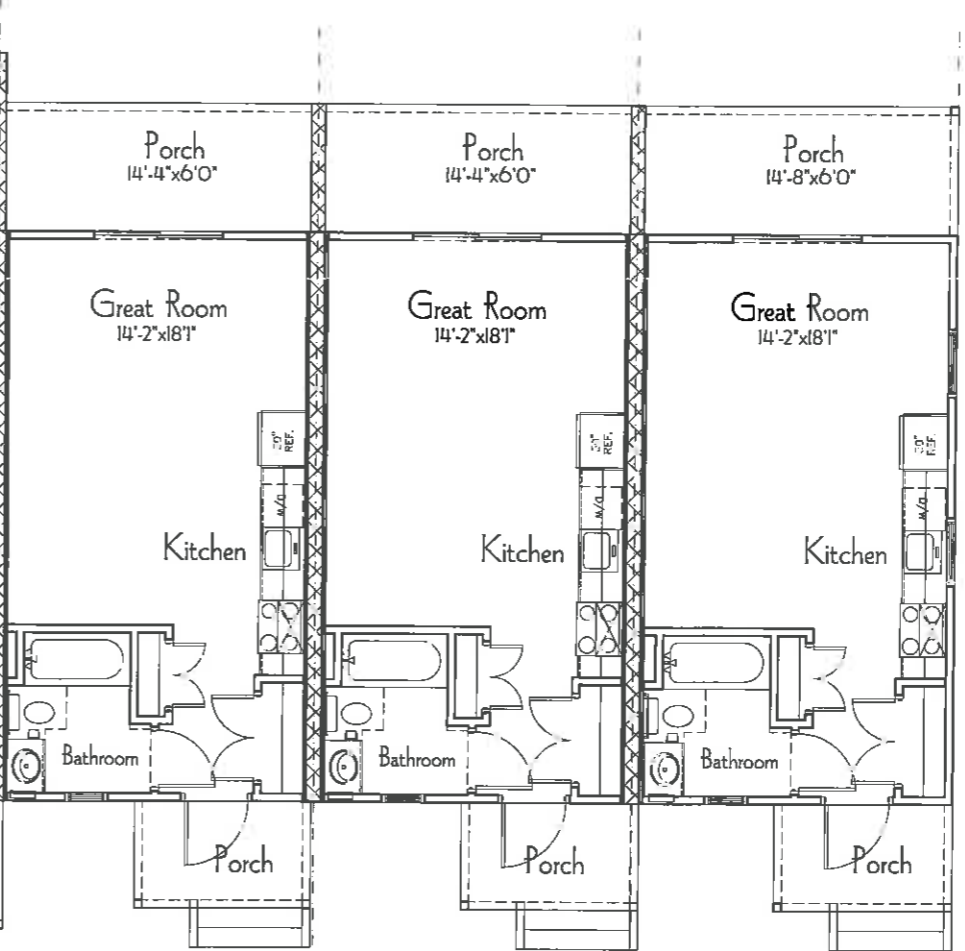
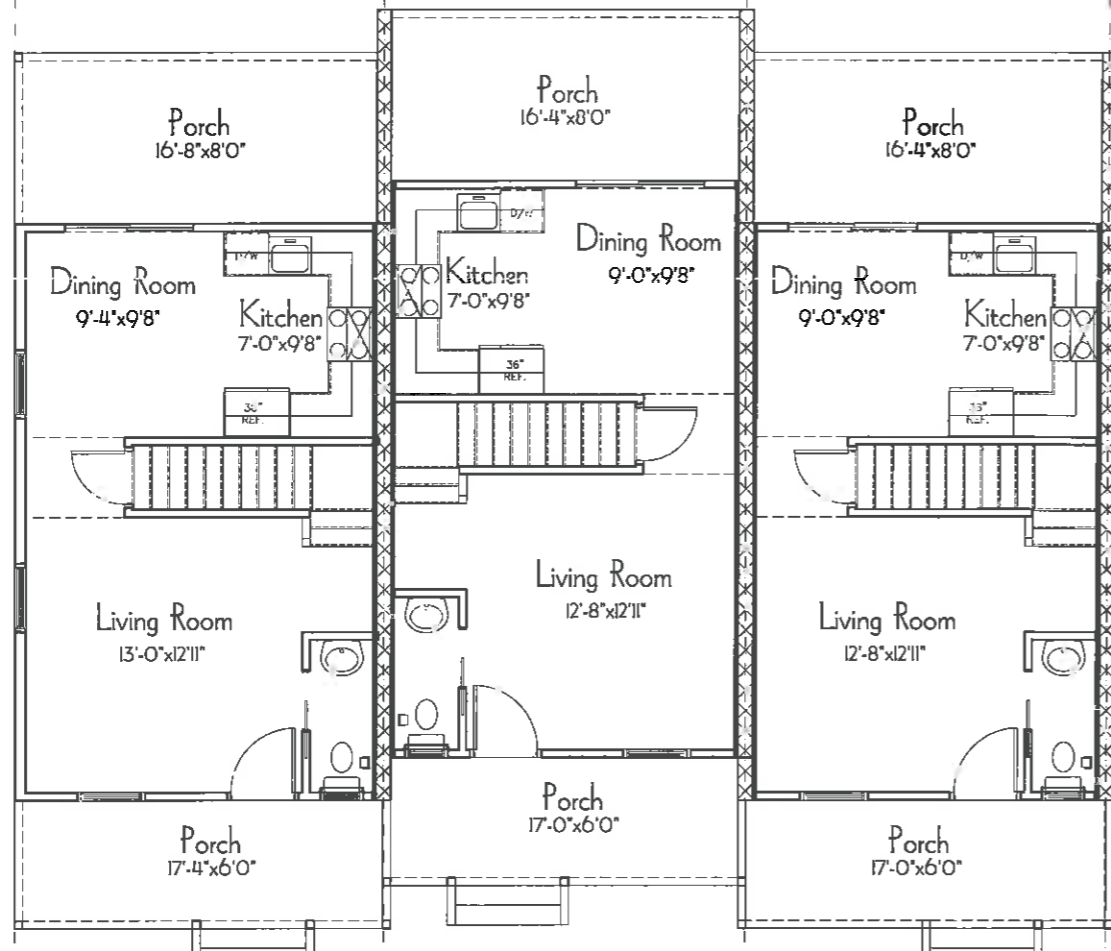
**ALDERMAN PLANNING**  
CONSULTANTS  
Phone: 813.833.5161  
PO Box 55755 St. Petersburg FL, 33732

Sheet  
**A.2.2**

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*Handwritten:* 12/31/15



Second Floor



First Floor

Two Story Unit 'B'  
918 SF Living Area

Two Story Unit 'B'  
918 SF Living Area

Two Story Unit 'B'  
918 SF Living Area

One Story Unit 'A'  
400 SF Living Area

One Story Unit 'A'  
400 SF Living Area

One Story Unit 'A'  
400 SF Living Area

Project No. APC-1512 - Scale: 1/4"=1'-0"  
**Southard Park**  
 Affordable Units  
 Key West, Florida

Date Issued: 04-27-15	Revision:
No.:	Date:

**Building B Floor Plan**  
**ALDERMAN Planning**  
 Phone: 813.833.5161  
 PO Box 55755 St. Petersburg FL, 33732

Sheet  
**B.1.1**

*Handwritten notes:*  
 11/25/15  
 11/25/15



Front Elevation



Rear Elevation

Project No. APC-1512 - Scale: 1/4"=1'-0"

**Southard Park**  
Affordable Units  
Key West, Florida

Date Issued: 04-27-15

No.:

Date:

Revision:

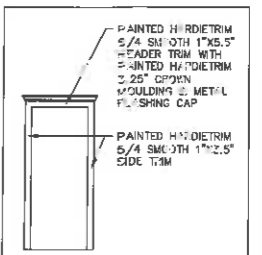
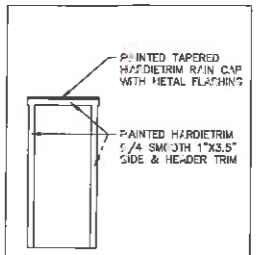
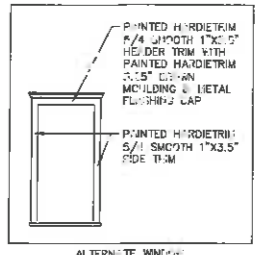
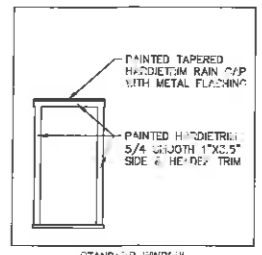
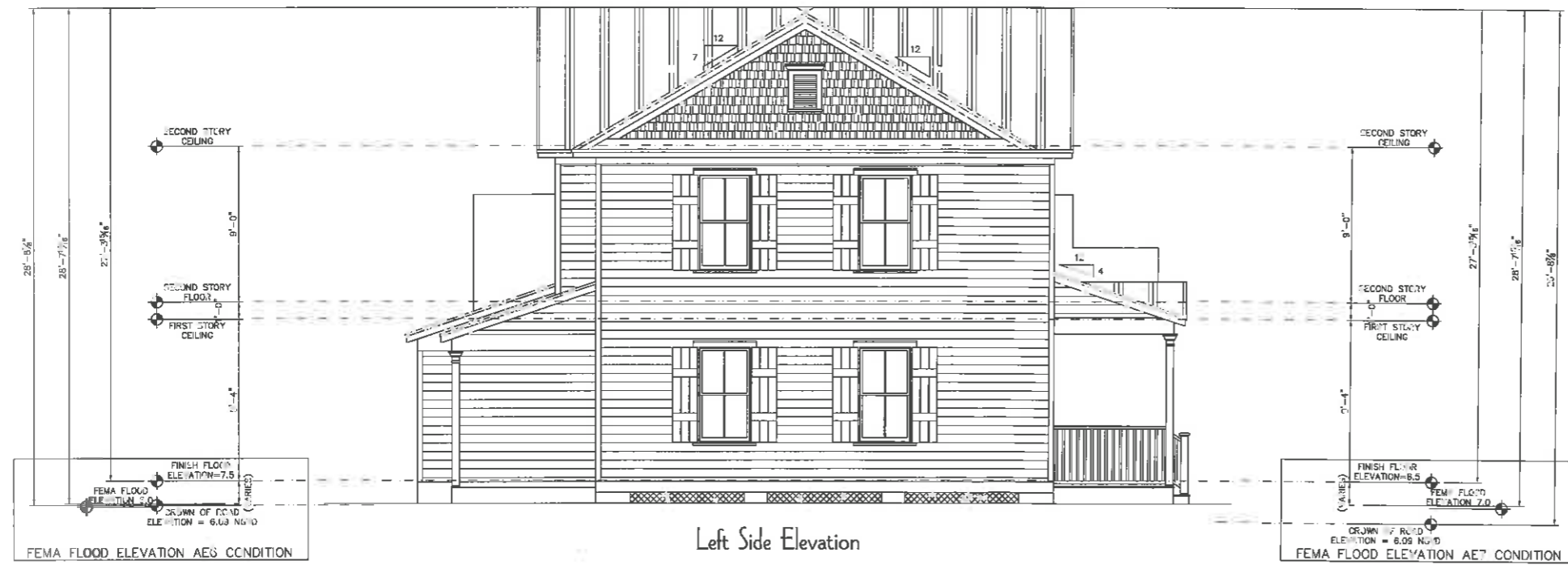
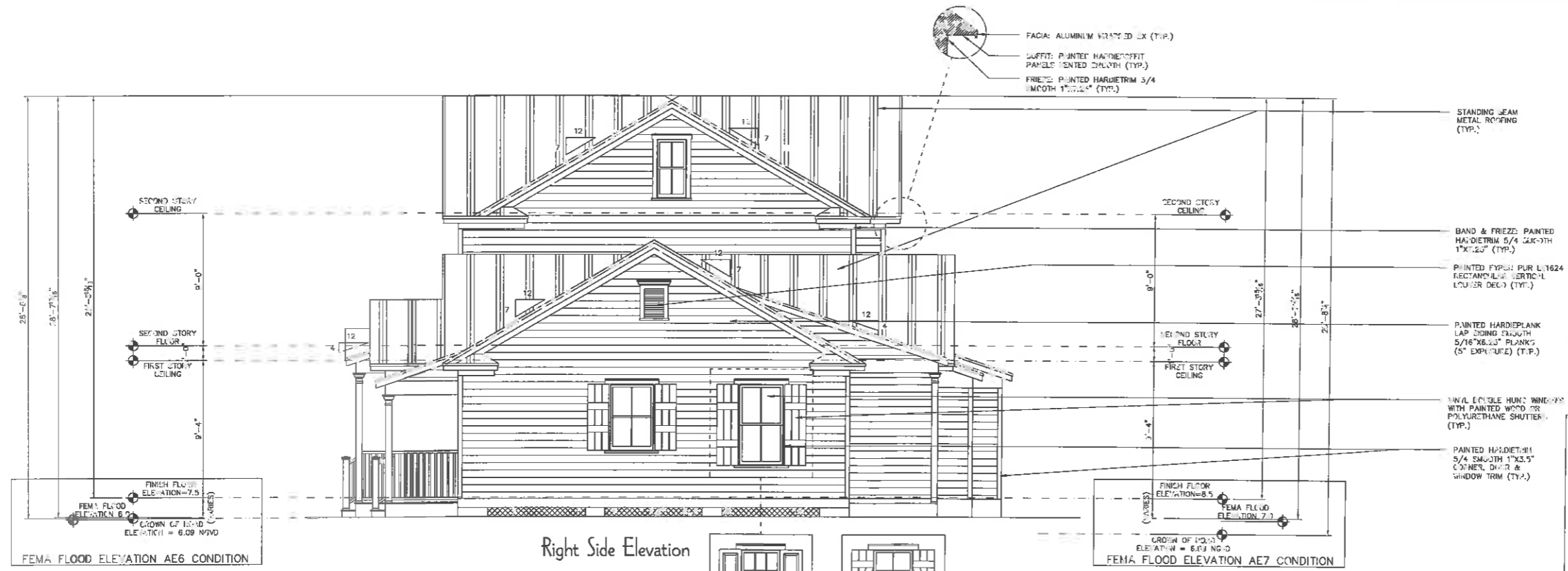
**Building B Elevations**

**ALDERMAN Planning**  
CONSULTANTS

Phone: 813.833.5161  
PO Box 55755 St. Petersburg FL, 33732

Sheet  
**B.2.1**

*MAN*  
*12/31/15*  
*1/9/15*



Project No. APC-1512 - Scale: 1/4"=1'-0"

**Southard Park**  
Affordable Units  
Key West, Florida

Date Issued: 04-27-15

**Building B Elevations**

**ALDERMAN PLANNING COMPANY**  
Phone: 813.833.5161  
PO Box 55755 St. Petersburg FL, 33732

Sheet  
**B.2.2**


*WAL*  
*12/3/15*


**Foundation Notes**


1.) FOOTER SPECIFICATION: ALL FOOTER BOTTOMS TO BE A MINIMUM 12" BELOW NATURAL GRADE IN CLEAN TERMITE PROTECTED AND COMPACTED SOIL (COMPACTED TO 98% MODIFIED PROCTOR, ASTM D1557).


2.) MAXIMUM DESIGN SOIL BEARING CAPACITY OF 2500 PSF.

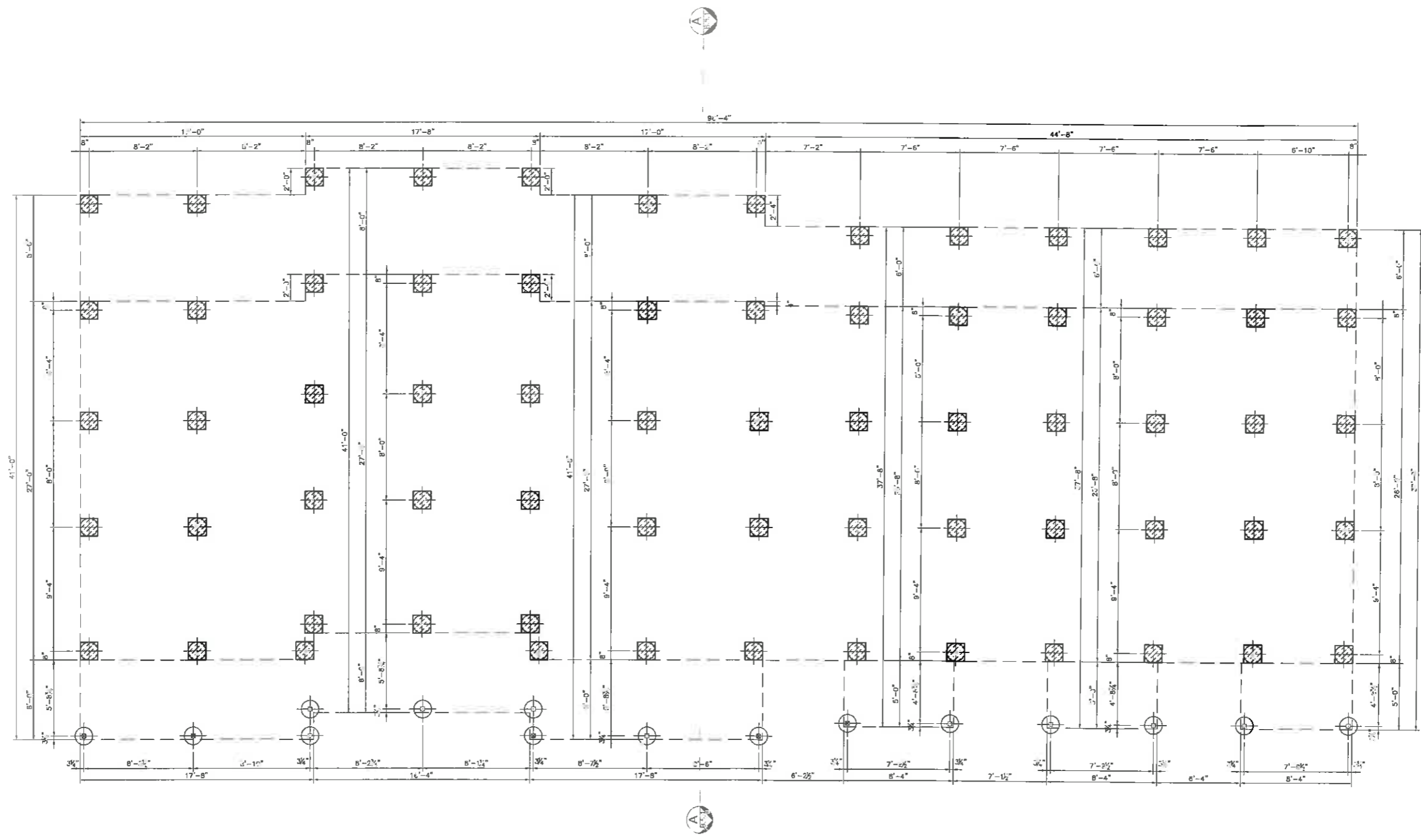
**Foundation Legend**

LOCATION OF VERTICAL PIERCED CELL WITH REBAR SHOWN THUS: 

16"x16" MASONRY COLUMN CLOCK FILLED SOLID WITH CONCRETE OVER PILE SHOWN THUS: 

TOP OF MASONRY COLUMN 5'-0" F.F. SHOWN THUS: 

16" DIAMETER PILE 3" INTO GAP ROCK (APPROXIMATELY 1' DEEP) SHOWN THUS: 



Project No. APC-1512 - Scale: 1/4"=1'-0"

**Southard Park**  
Affordable Units  
Key West, Florida

Date Issued: 04-27-15

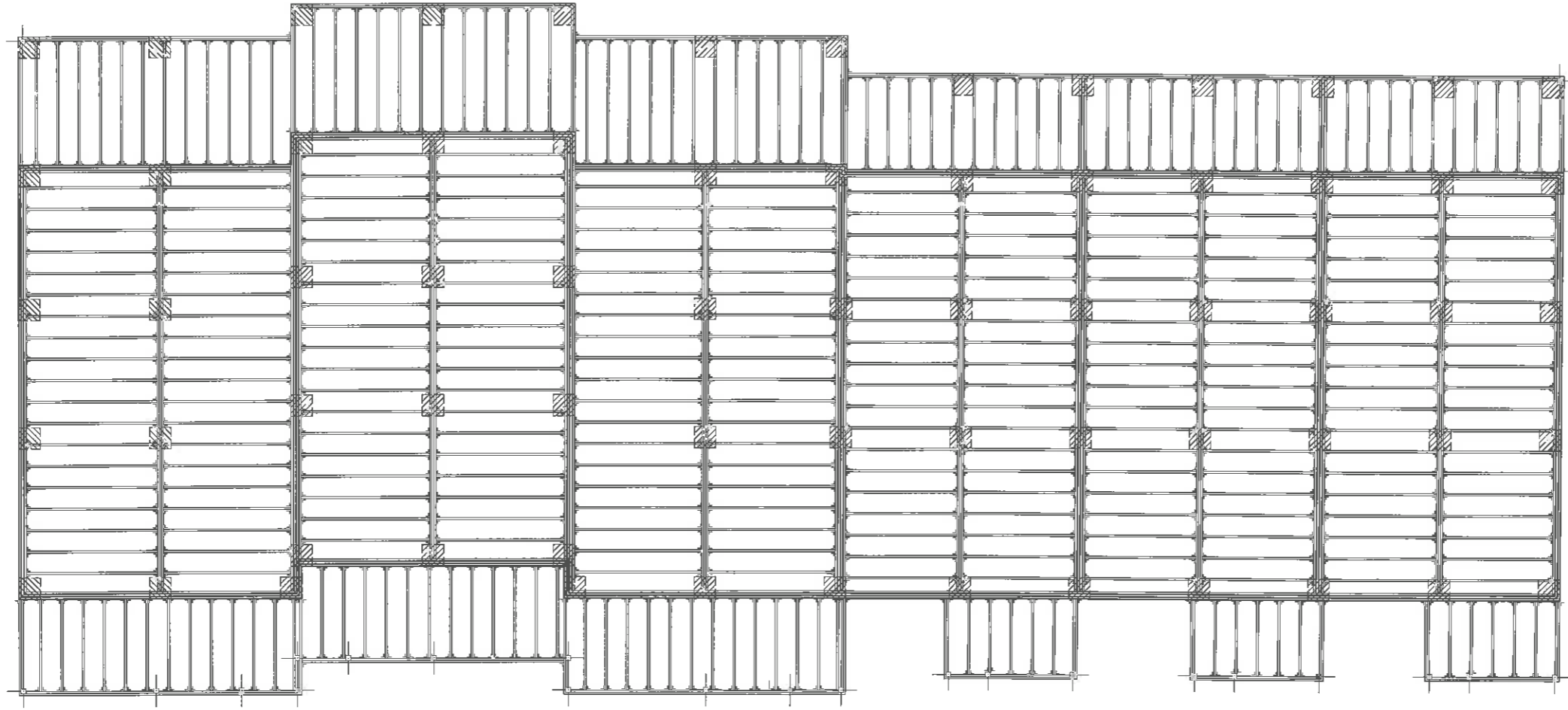
No.	Date	Revision

**Building B Foundation Plan**

**ALDERMAN Planning**  
CONSULTANTS  
Phone: 813-833-6161  
PO Box 55755 St. Petersburg FL, 33732

Sheet  
**B.3.1**

*WAL*  
*12/21/15*



Legend/Key	
MASSIVE COLUMN OVER FOUNDATION PER SHOW THUS:	
SOLID SAW LUMBER JOIST THUS:	
4"x4" P.T. L&D BRACING POST A.F.F. CHAIN THUS:	
JOIST/TRUSS HANGER LOCATION CHANG THUS:	

Project No. APC-1512 - Scale: 1/4"=1'-0"

**Southard Park**  
Affordable Units  
Key Weest, Florida

Date Issued: 04-27-15

No.:

Date:

Revised:

**Building B Floor Framing Plan**

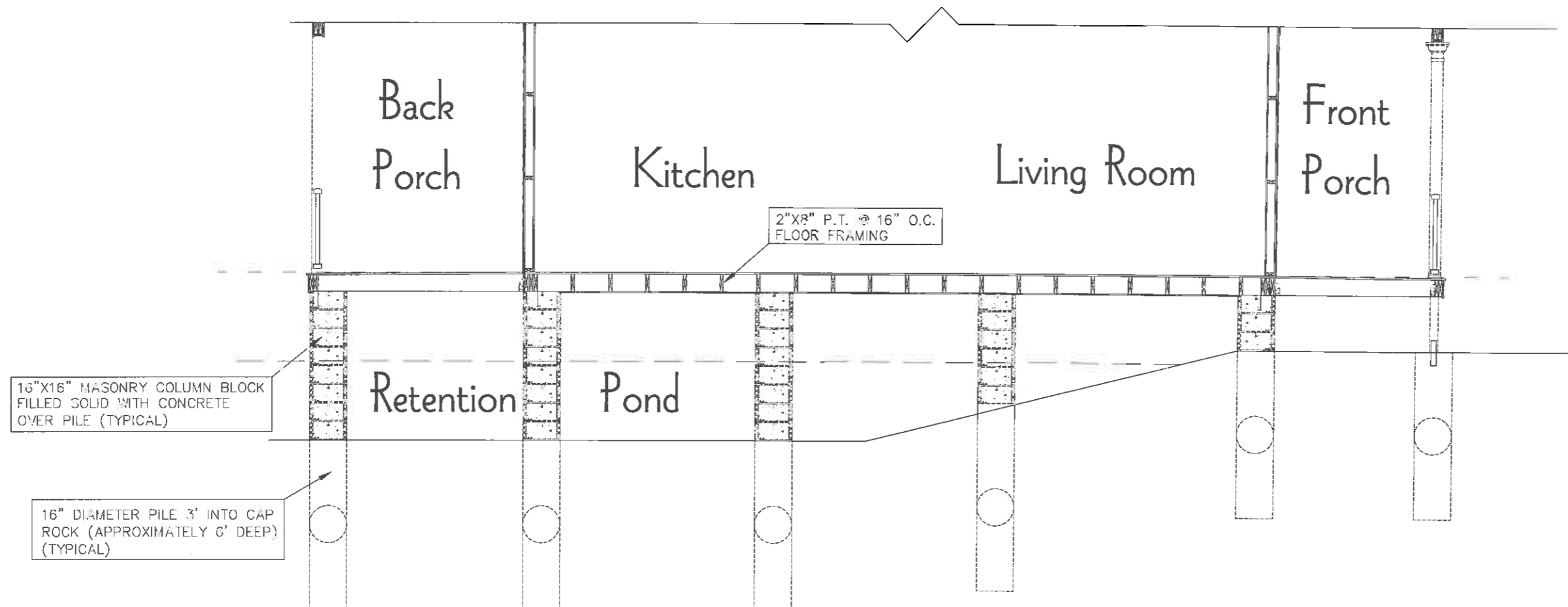
**ALDERMAN Planning**

Phone: 813.833.5161  
PO Box 55755 St. Petersburg FL, 33732

Sheet

**B.4.1**

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*Handwritten:* 12/3/15



16"x16" MASONRY COLUMN BLOCK FILLED SOLID WITH CONCRETE OVER PILE (TYPICAL)

16" DIAMETER PILE 3' INTO CAP ROCK (APPROXIMATELY 6' DEEP) (TYPICAL)

2"x8" P.T. @ 16" O.C. FLOOR FRAMING

Section 'A-A'

Project No. APC-1512 - Scale: 1/2"=1'-0"

**Southard Park**  
Affordable Units  
Key Weest, Florida

Date Issued: 09-12-15

No.:

Date:

Revised:

**Building B Foundation Section**

**ALDERMAN PLANNING**

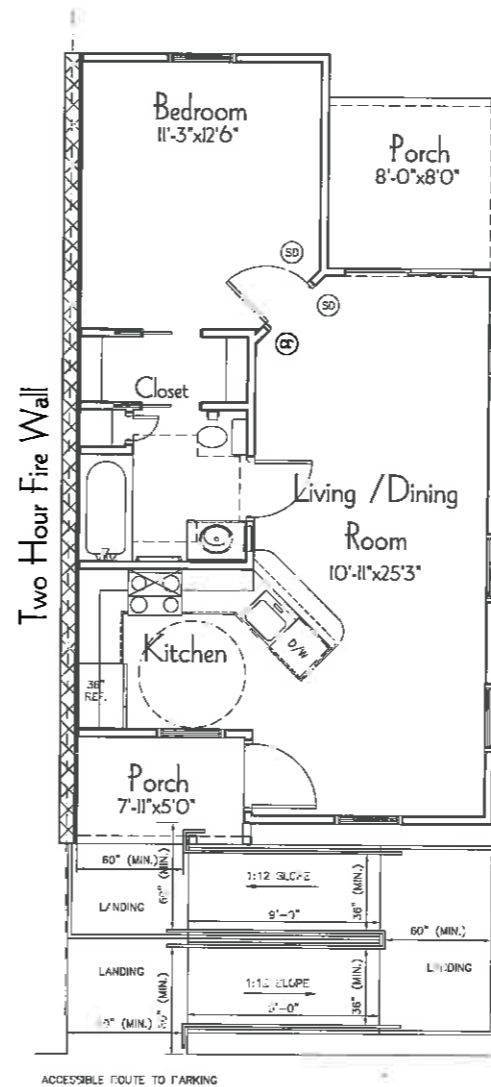
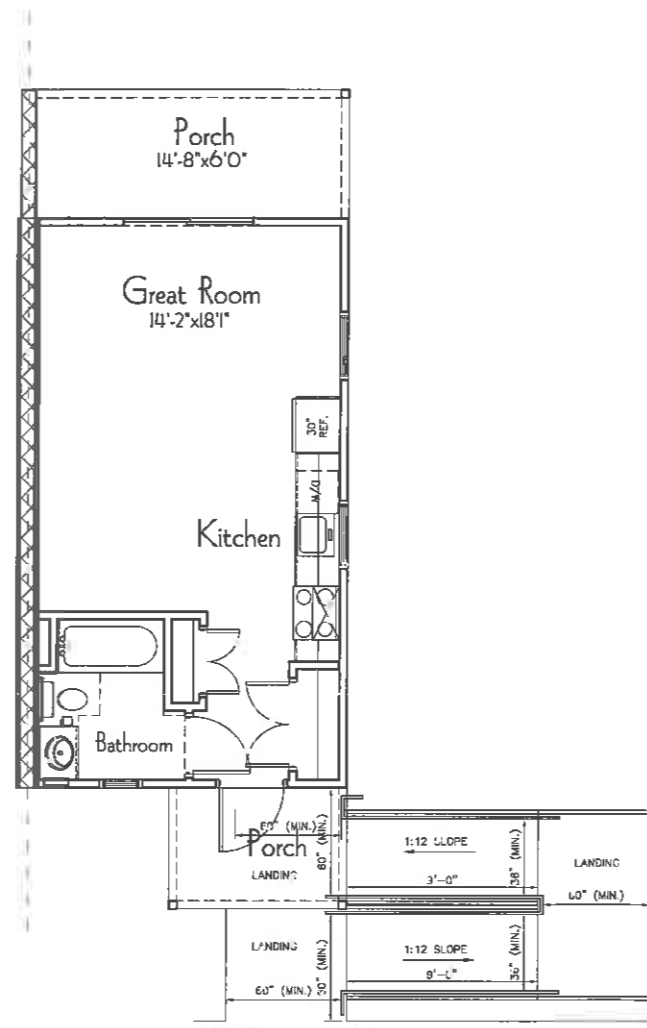
Phone: 813.833.5161  
PO Box 55755 St. Petersburg FL, 33732

Sheet

**B.5.1**

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12/5/15  
[Signature]





Project No. APC-1512 - Scale: 1/4"=1'-0"  
 Date Issued: 04-27-15  
 No. \_\_\_\_\_ Date: \_\_\_\_\_  
 Revision: \_\_\_\_\_

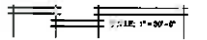
**Accessible Units**  
**ALDERMAN Planning**  
 Phone: 813.833.5161  
 PO Box 55755 St. Petersburg FL, 33732

**Southard Park**  
 Affordable Units  
 Key West, Florida

Sheet  
**A.6.1**

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 1/7/15

**PEARY COURT**  
KEY WEST, FLORIDA



**LANDSCAPE PLANS**

DATE: 10.9.15

REVISIONS:

No.	Date	Notes
1.		

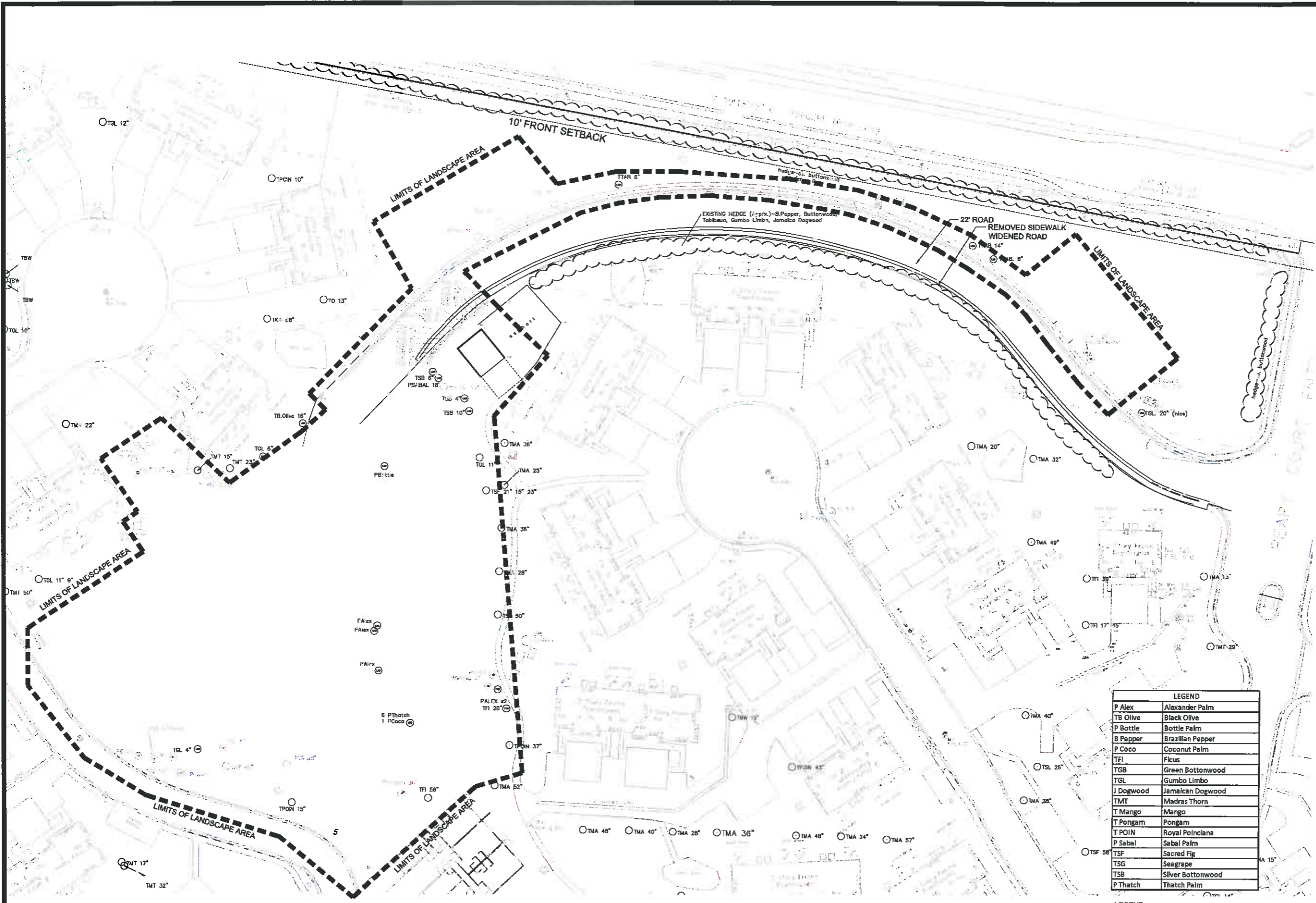
**TREE INVENTORY PLAN**

SHEET NUMBER:

L-1

JOB #: 12003 DRAWN BY: LBR

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LEGEND

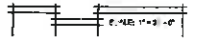
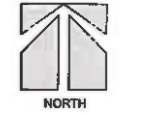
P Alex	Alexander Palm
TB Olive	Black Olive
P Bottle	Bottle Palm
B Pepper	Brazilian Pepper
P Coco	Coconut Palm
TFI	Ficus
TGB	Green Bottonwood
TGL	Gumbo Limbo
J Dogwood	Jamaican Dogwood
TMT	Madras Thorn
T Mango	Mango
T Pongam	Pongam
T POIN	Royal Poinciana
P Sabal	Sabal Palm
TSF	Sacred Fig
TSG	Seagrape
TSB	Silver Bottonwood
P Thatch	Thatch Palm

LEGEND

01 X	TREES TO BE REMOVED
02 Δ	TREES TO BE RELOCATED

ALL TREES TO REMAIN WITHIN THE LIMITS OF LANDSCAPE AREA AND 15' ADJACENT SHALL BE PROTECTED WITH TREE PROTECTION FENCING PER DETAIL ON SHEET L-5 FOR THE DURATION OF CONSTRUCTION.

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**LANDSCAPE PLANS**

DATE: 10.9.15

REVISIONS:

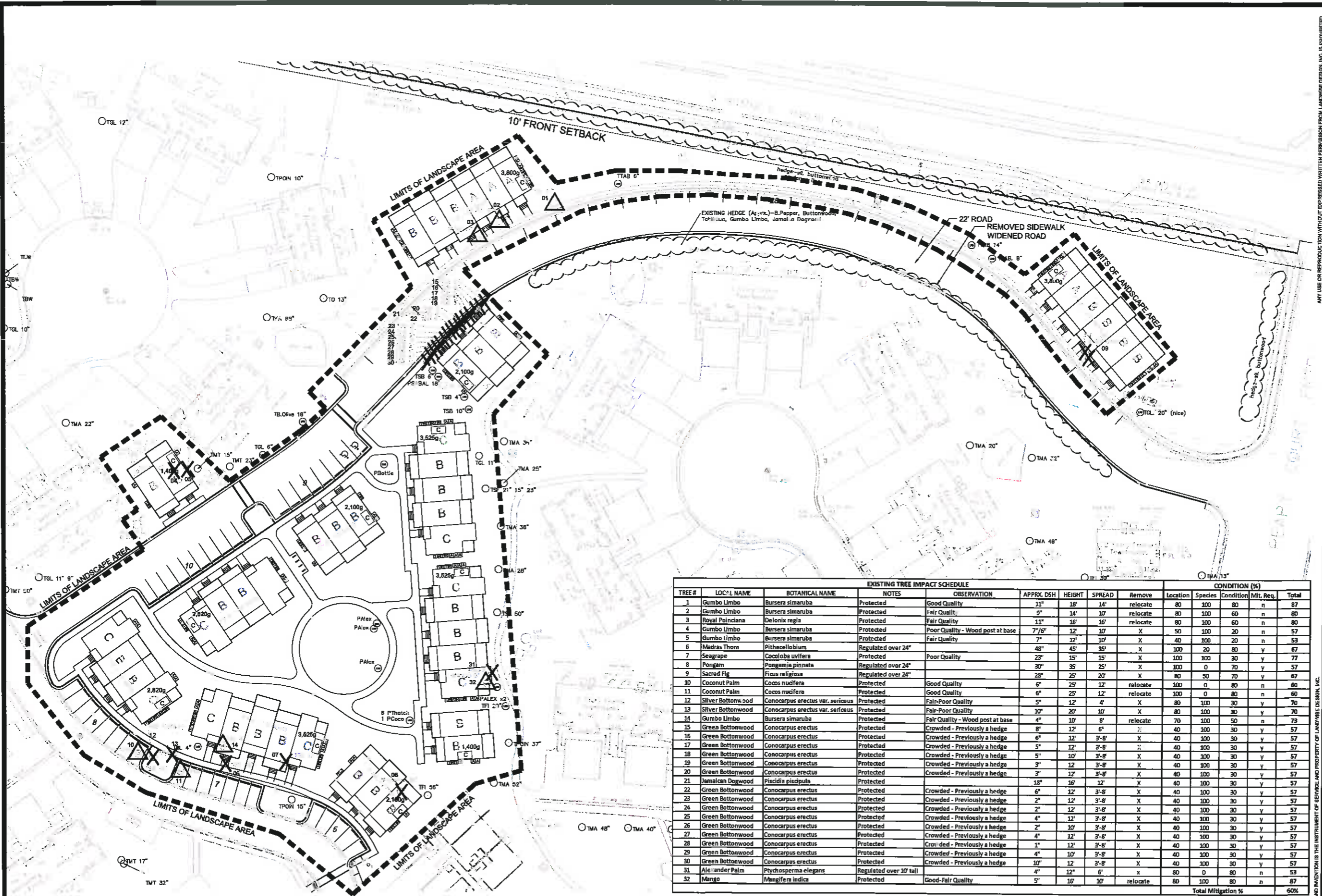
No.	Date	Notes
1.		

**TREE IMPACT PLAN**

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L-2  
12/15/15  
LBR

SHEET NUMBER:  
L-2

JOB #: 12003 DRAWN BY: LBR  
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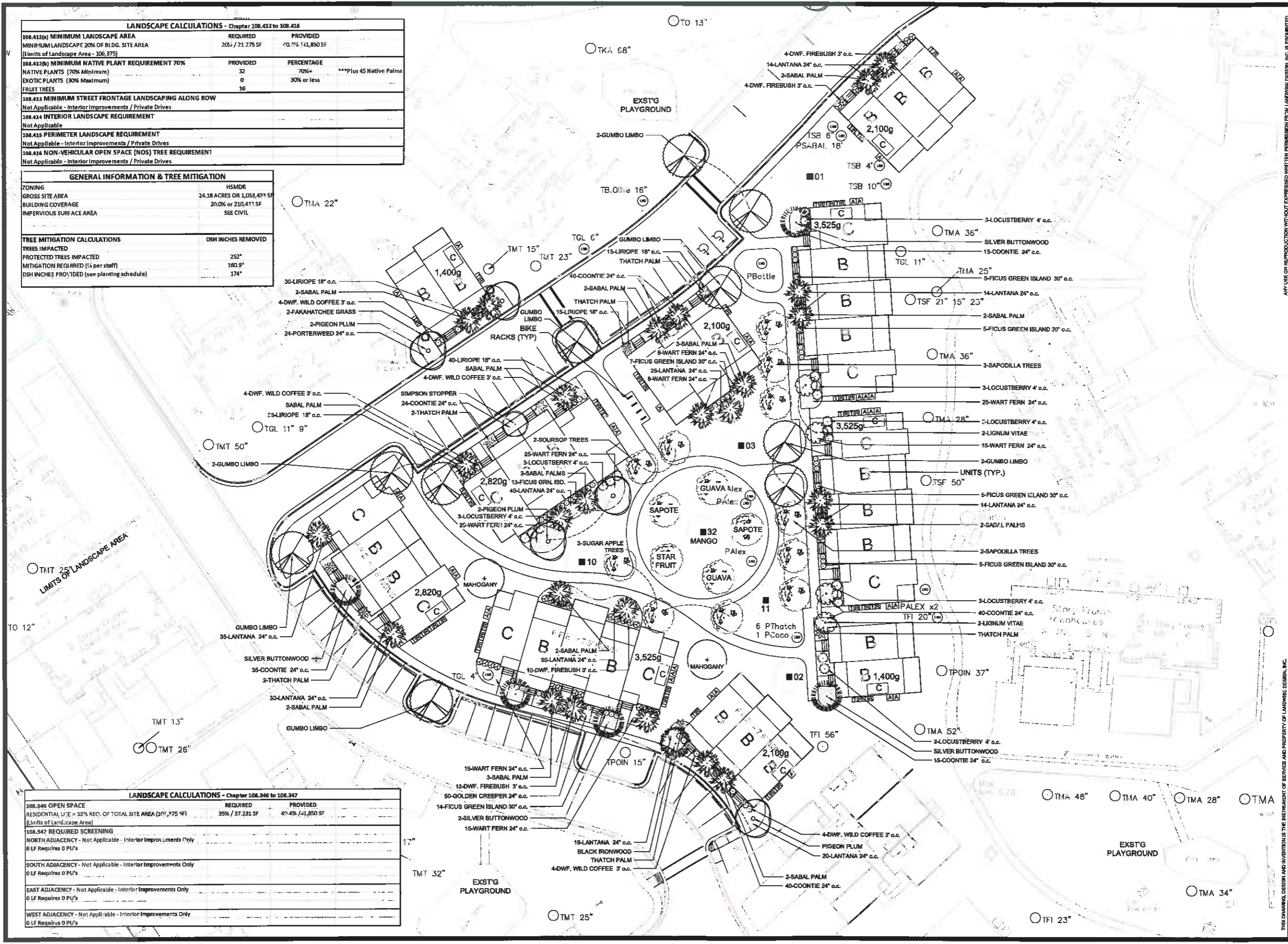
TREE #	LOC'L NAME	BOTANICAL NAME	NOTES	OBSERVATION	APPR. DSH	HEIGHT	SPREAD	Remove	CONDITION (%)					
									Location	Species	Condition	Mit. Req.	Total	
1	Gumbo Limbo	Bursera simaruba	Protected	Good Quality	11"	18'	14'	relocate	80	100	80	n	87	
2	Gumbo Limbo	Bursera simaruba	Protected	Fair Quality	9"	14'	10'	relocate	80	100	60	n	80	
3	Royal Poinciana	Delonix regia	Protected	Fair Quality	11"	16'	16'	relocate	80	100	60	n	80	
4	Gumbo Limbo	Bursera simaruba	Protected	Poor Quality - Wood post at base	7"/8"	12'	10'	X	50	100	20	n	57	
5	Gumbo Limbo	Bursera simaruba	Protected	Fair Quality	7"	12'	10'	X	40	100	20	n	53	
6	Madras Thora	Pithecellobium	Regulated over 24"		48"	45'	35'	X	100	20	80	y	67	
7	Seagrape	Coccoloba uvifera	Protected	Poor Quality	23"	15'	15'	X	100	100	30	y	77	
8	Pongam	Pongamia pinnata	Regulated over 24"		30"	35'	25'	X	100	0	70	y	57	
9	Sacred Fig	Ficus religiosa	Regulated over 24"		28"	25'	20'	X	80	50	70	y	67	
10	Coconut Palm	Cocos nucifera	Protected	Good Quality	6"	25'	12'	relocate	100	0	80	n	60	
11	Coconut Palm	Cocos nucifera	Protected	Good Quality	6"	25'	12'	relocate	100	0	80	n	60	
12	Silver Bottomwood	Conocarpus erectus var. sericeus	Protected	Fair-Poor Quality	5"	12'	4'	X	80	100	30	y	70	
13	Silver Bottomwood	Conocarpus erectus var. sericeus	Protected	Fair-Poor Quality	10"	20'	10'	X	80	100	30	y	70	
14	Gumbo Limbo	Bursera simaruba	Protected	Fair Quality - Wood post at base	4"	10'	8'	relocate	70	100	50	n	78	
15	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	8"	12'	6"	X	40	100	30	y	57	
16	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	6"	12'	3'-8"	X	40	100	30	y	57	
17	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	5"	12'	3'-8"	X	40	100	30	y	57	
18	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	5"	10'	3'-8"	X	40	100	30	y	57	
19	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	3"	12'	3'-8"	X	40	100	30	y	57	
20	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	3"	12'	3'-8"	X	40	100	30	y	57	
21	Jamaican Dogwood	Piscidia piscipula	Protected		18"	16'	12'	X	40	100	30	y	57	
22	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	6"	12'	3'-8"	X	40	100	30	y	57	
23	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	2"	12'	3'-8"	X	40	100	30	y	57	
24	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	2"	12'	3'-8"	X	40	100	30	y	57	
25	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	4"	12'	3'-8"	X	40	100	30	y	57	
26	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	2"	10'	3'-8"	X	40	100	30	y	57	
27	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	4"	12'	3'-8"	X	40	100	30	y	57	
28	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	1"	12'	3'-8"	X	40	100	30	y	57	
29	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	4"	10'	3'-8"	X	40	100	30	y	57	
30	Green Bottomwood	Conocarpus erectus	Protected	Crowded - Previously a hedge	10"	12'	3'-8"	X	40	100	30	y	57	
31	Alexander Palm	Psychosperma elegans	Regulated over 10' tall		4"	12"	6"	X	80	0	80	n	53	
32	Mango	Mangifera indica	Protected	Good-Fair Quality	5"	16'	10'	relocate	80	100	80	n	87	
									Total Mitigation %					60%

**LEGEND**  
 01 X TREES TO BE REMOVED  
 02 Δ TREES TO BE RELOCATED

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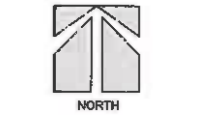
LANDSCAPE CALCULATIONS - Chapter 108.412 to 108.416			
108.412(a) MINIMUM LANDSCAPE AREA	REQUIRED	PROVIDED	
MINIMUM LANDSCAPE 20% OF BLDG. SITE AREA (Limits of Landscape Area - 106,375)	20% / 21,275 SF	40.1% / 41,850 SF	
108.412(b) MINIMUM NATIVE PLANT REQUIREMENT 70%	PROVIDED	PERCENTAGE	
NATIVE PLANTS (70% Minimum)	32	70%+	
EXOTIC PLANTS (30% Maximum)	0	30% or less	
FRUIT TREES	16	***Plus 45 Native Palms	
108.413 MINIMUM STREET FRONTAGE LANDSCAPING ALONG ROW	Not Applicable - Interior Improvements / Private Drives		
108.414 INTERIOR LANDSCAPE REQUIREMENT	Not Applicable		
108.415 PERIMETER LANDSCAPE REQUIREMENT	Not Applicable - Interior Improvements / Private Drives		
108.416 NON-VEHICULAR OPEN SPACE (NOS) TREE REQUIREMENT	Not Applicable - Interior Improvements / Private Drives		

GENERAL INFORMATION & TREE MITIGATION	
ZONING	HSMR
GROSS SITE AREA	24.18 ACRES OR 1,053,433 SF
BUILDING COVERAGE	20.0% or 210,417 SF
IMPERVIOUS SURFACE AREA	SEE CIVIL
TREE MITIGATION CALCULATIONS	
TREES IMPACTED	DSH INCHES REMOVED
PROTECTED TREES IMPACTED	252"
MITIGATION REQUIRED (1/4" per staff)	160.9"
DSH INCHES PROVIDED (see planting schedule)	174"



LANDSCAPE CALCULATIONS - Chapter 108.346 to 108.347		
108.346 OPEN SPACE	REQUIRED	PROVIDED
RESIDENTIAL U/E = 35% REQ. OF TOTAL SITE AREA (106,375 SF) (Limits of Landscape Area)	35% / 37,231 SF	40.1% / 41,850 SF
108.347 REQUIRED SCREENING		
NORTH ADJACENCY - Not Applicable - Interior Improvements Only 0 LF Requires 0 PU's		
SOUTH ADJACENCY - Not Applicable - Interior Improvements Only 0 LF Requires 0 PU's		
EAST ADJACENCY - Not Applicable - Interior Improvements Only 0 LF Requires 0 PU's		
WEST ADJACENCY - Not Applicable - Interior Improvements Only 0 LF Requires 0 PU's		

**PEARY COURT**  
KEY WEST, FLORIDA



SCALE: 1" = 30'-0"



**LANDSCAPE PLANS**

DATE: 10.9.15

REVISIONS:		
No.	Date	Notes
1.		

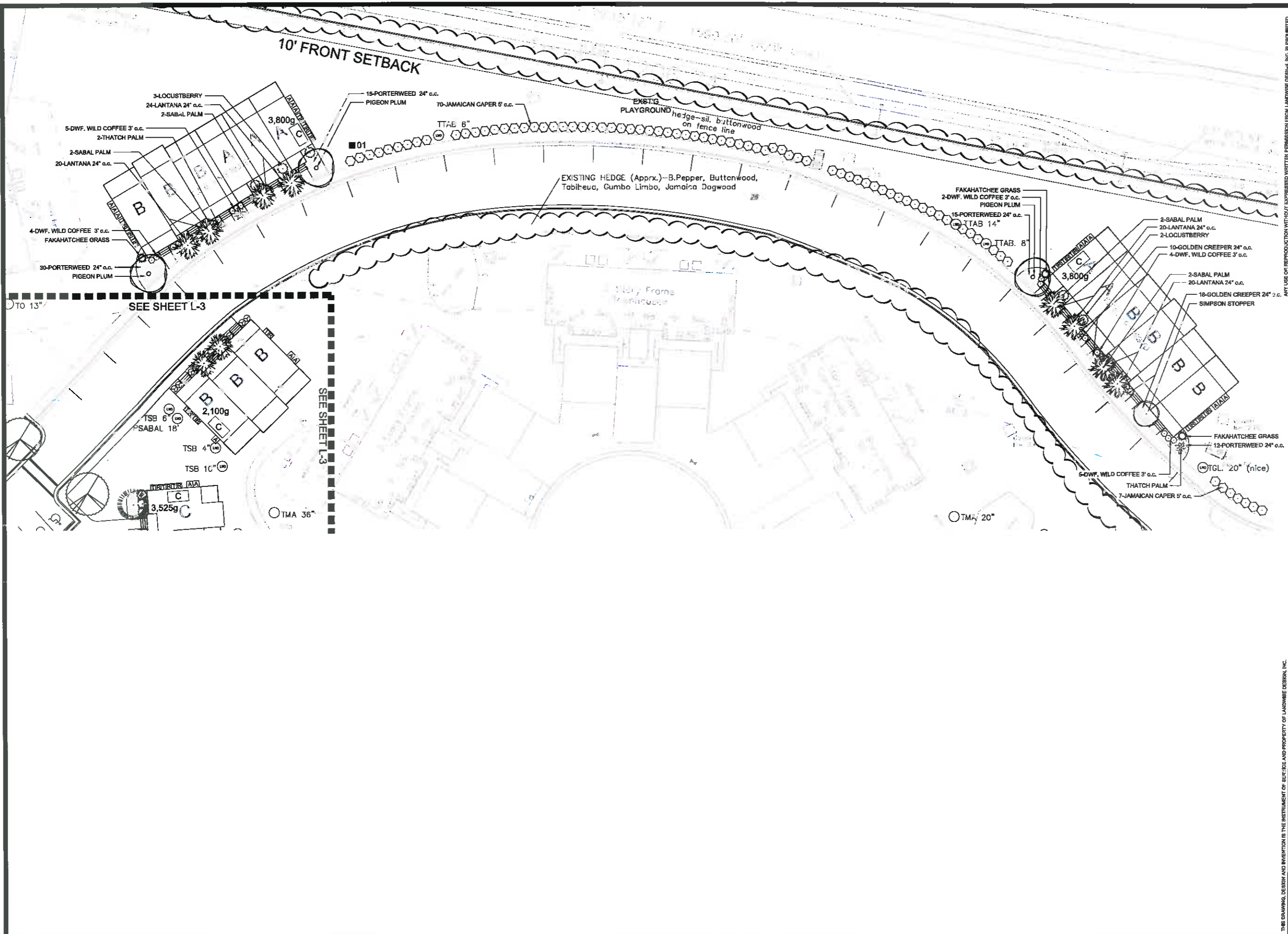
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L-3**

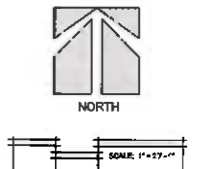
JOB #: 12003 DRAWN BY: EBR  
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**LANDSCAPE PLANS**

DATE: 10.9.15

REVISIONS:

No.	Date	Notes
1.		

**LANDSCAPE PLAN**

SHEET NUMBER:  
**L-4**

JOB #: 12003 DRAWN BY: LBR

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*Handwritten notes:*  
12/5/15  
11/9/15

**GENERAL NOTES:**

AT LEAST 70% OF THE SPECIFIED SPECIES FOR REQUIRED MATERIAL WILL BE NATIVE AS STIPULATED IN THE MINIMUM NATIVE PLANT REQUIREMENT.

100% OF THE REQUIRED REPLACEMENT TREES SHALL BE NATIVE.

ALL SHADE TREES TO BE 4' MIN. FROM ALL SIDEWALKS, CURBS OR HARD SURFACES.

CONTRACTOR RESPONSIBLE TO PROVIDE ON SITE TOTAL CALIPER INCHES SHOWN ON PLANTING SCHEDULE.

CONTRACTOR TO VERIFY ALL PLANT QUANTITIES AND SQUARE FOOTAGES.

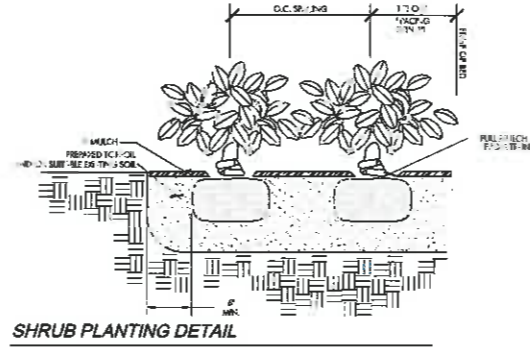
CONTRACTOR RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE APPROVAL LETTER RELEASES LANDSCAPE TO OWNERS.

100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE DESIGN TO MAXIMIZE WATER CONSERVATION AND SHALL CONFORM TO SECTION 3-13.12 'C' OF THE CITY OF KEY WEST CODE. AS BUILT DRAWING REQUIRED.

ALL LARGE CANOPY AND RELOCATED TREES SHALL UTILIZE IRRIGATION BUBBLERS AT BASE OF TREE.

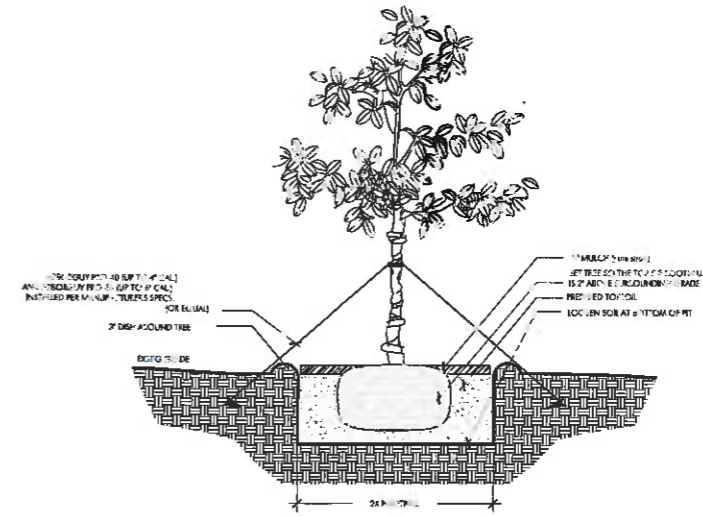
ALL TREES TO REMAIN WITHIN THE LIMITS OF LANDSCAPE AREA DURING CONSTRUCTION SHALL BE PROVIDED WITH A PROTECTION BARRIER COMPLIANT WITH SECTION 110-386, CITY OF KEY WEST CODE.

ALL BRAZILIAN PEPPER TREES / PLANTS SHALL BE REMOVED AND DESTROYED WITHIN THE PEARY COURT PROPERTY.



**SHRUB PLANTING DETAIL**

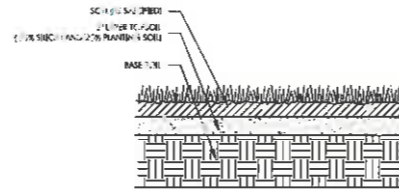
ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.



**TREE PLANTING DETAIL**

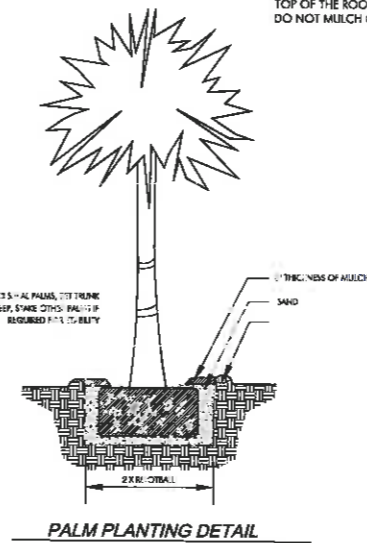
ALL TREES ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

THE ROOTBALL OF THE TREE SHOULD BE POSITIONED IN THE HOLE SO THAT THE FINISH GRADE OF THE BACKFILL SOIL AND LANDSCAPE SOIL IS 2\"/>

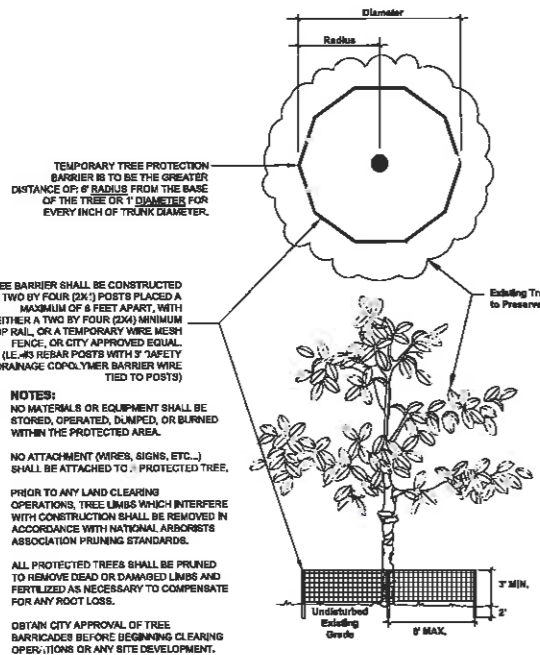


**SODDING DETAIL**

ALL AREAS TO BE SODDED TO RECEIVE 2\"/>



**PALM PLANTING DETAIL**



**TREE PROTECTION BARRIER DETAIL**  
NO SCALE

**Conceptual Planting Palette**

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	MITIGATION INCHES	NOTE	NATIVE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE
<b>PALMS</b>												
34	SABAL PALM	Sabal palmetto	12'-18' cir. trnk.			FL #1 NATIVE	40	DWF. WILD COFFEE	Psychotria ligustifolia	3 gal., 24"-36" hgt./sprd.	FL #1	NATIVE
11	KEY THATCH PALM	Thrinax morrisii	4-8' o.h.			FL #1 NATIVE	48	FICUS 'GREEN ISLAND'	Ficus 'Green Island'	3 gal., 14"-18" sprd/hgt.	FL #1	NATIVE
<b>TREES</b>												
<b>CANOPY</b>												
2	MAHOGANY	Swietenia mahoganii	4" cal., 12'-14" o.h.	8"		FL #1 NATIVE	52	LOCUSTBERRY	Brysonima lucida	7 gal., 36"-40" hgt./sprd.	FL #1	NATIVE
8	PIGEON PLUM	Coccoloba diversifolia	4" cal., 12'-14" o.h.	32"		FL #1 NATIVE	77	JAMAICAN CAPER	Capparis cynthophallophora	7 gal., 36"-40" hgt./sprd.	FL #1	NATIVE
10	GUMBO LIMBO	Bursera simaruba	4" cal., 14'-16" o.h.	40"		FL #1 NATIVE	30	DWF. FIREBUSH	Hamelia patens 'compacta'	3 gal., full	FL #1	NATIVE
<b>UNDERSTORY</b>												
4	LIGNUM VITAE	Guaiacum sanctum	2" cal. 8'-10" o.h.	16"		FL #1 NATIVE	5	FAKAHATCHEE GRASS	Tripsacum dactyloides	7 gal., full	FL #1	NATIVE
2	SIMPSON STOPPER	Myrsine frangens	3" cal. 10'-12" o.h.	12"		FL #1 NATIVE	<b>GROUNDCOVER (3,900 SF)</b>					
1	BLACK IRONWOOD	Knagiodendron ferreum	3" cal. 10'-12" o.h.	3"		FL #1 NATIVE	135	LIRIOPE	Liriope muscari 'super blue'	1 gal., full	FL #1	NATIVE
5	SILVER BUTTONWOOD	Conocarpus erectus 'sericeus'	3" cal. 10'-12" o.h.	15"		FL #1 NATIVE	138	WART FERN	Microsorium scolopendrium	3 gal., full	FL #1	NATIVE
<b>FRUIT TREES</b>												
6	SAPODILLA	Martiana zapota	3" cal. 10'-12" o.h.	18"		FL #1 HERITAGE	78	GOLDEN CREEPER	Emodea littoralis	1 gal., full	FL #1	NATIVE
2	SOURSOP	Annona muricata	3" cal. 10'-12" o.h.	6"		FL #1 NATIVE	108	PORTERWEED	Emodea littoralis	1 gal., full	FL #1	NATIVE
3	SUGAR APPLE	Annona squamosa	3" cal. 10'-12" o.h.	9"		FL #1 NATIVE	208	COONTE	Zamia pumila	7 gal., full	FL #1	NATIVE
2	SAPOTE	Pouteria sapota 'mamey'	3" cal. 10'-12" o.h.	8"		FL #1 NATIVE	232	LANTANA	Lantana depressa	3 gal., full	FL #1	NATIVE
1	GUAVA	Psidium guajava	3" cal. 10'-12" o.h.	8"		FL #1 NATIVE	BAHIA SOD (to replace damage existing bahia sod during construction)					
1	STAR FRUIT	Averrhoa carambola	3" cal. 10'-12" o.h.	3"		FL #1 NATIVE						
				TOTAL MITIGATION INCHES	174"							

**PEARY COURT**  
KEY WEST, FLORIDA



**LANDSCAPE PLANS**

DATE: 10.9.15

REVISIONS:

No.	Date	Notes
1.		

**SCHEDULE & DETAILS**

SHEET NUMBER:  
**L-5**

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**PEARY COURT**  
KEY WEST, FLORIDA



SCALE 1"=20'-0"



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**IRRIGATION PLANS**

DATE: 10.9.15

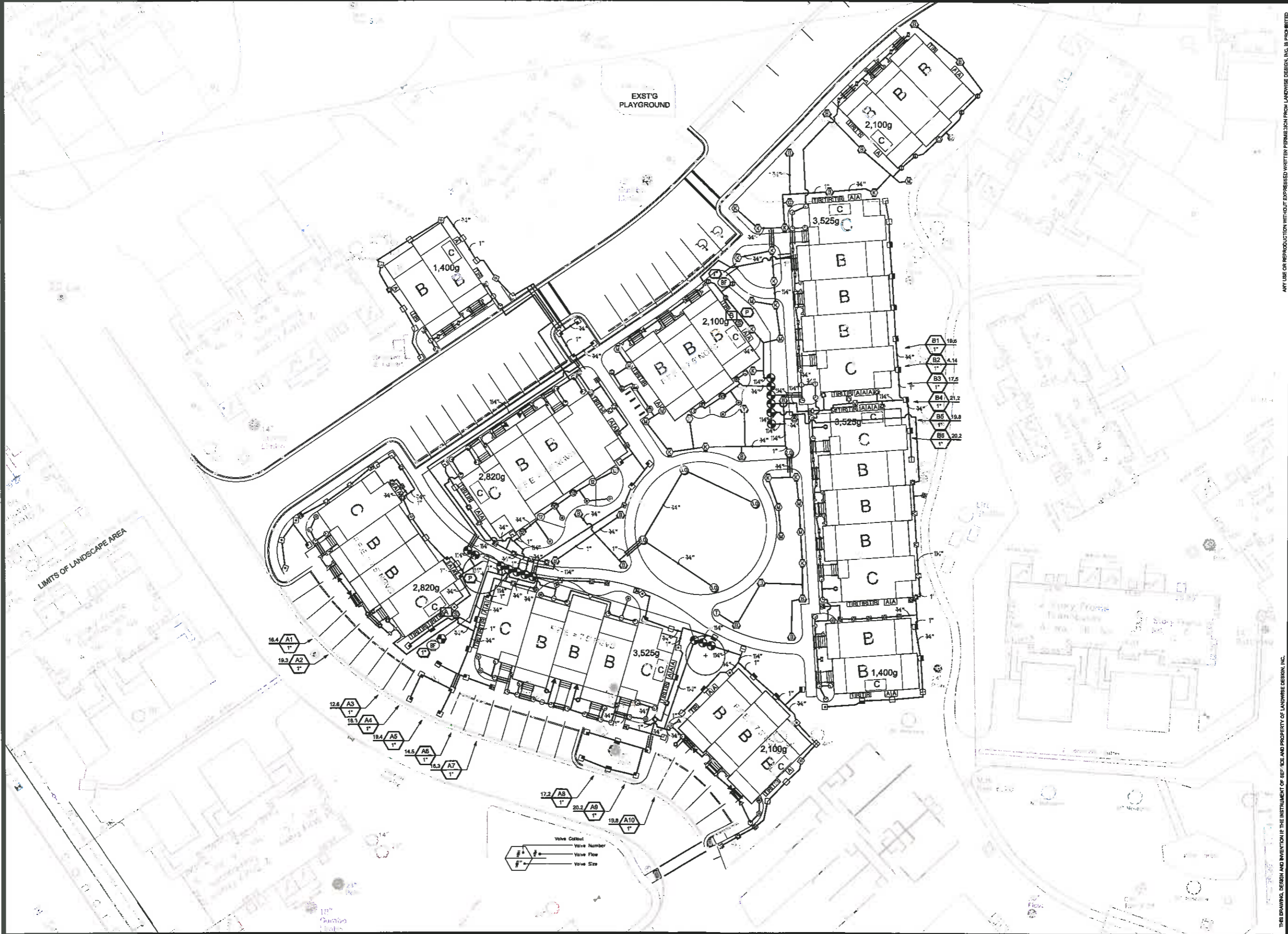
REVISIONS:

No.	Date	Notes
1.		

**IRRIGATION PLAN**

SHEET NUMBER:  
**IR-1**

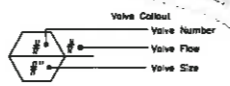
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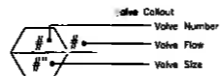
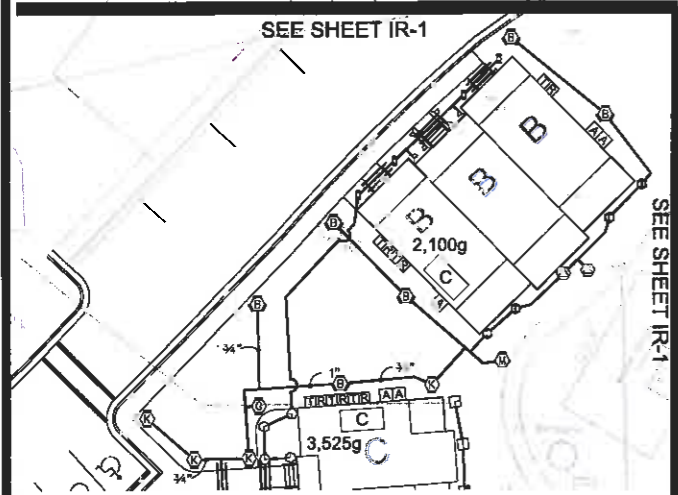
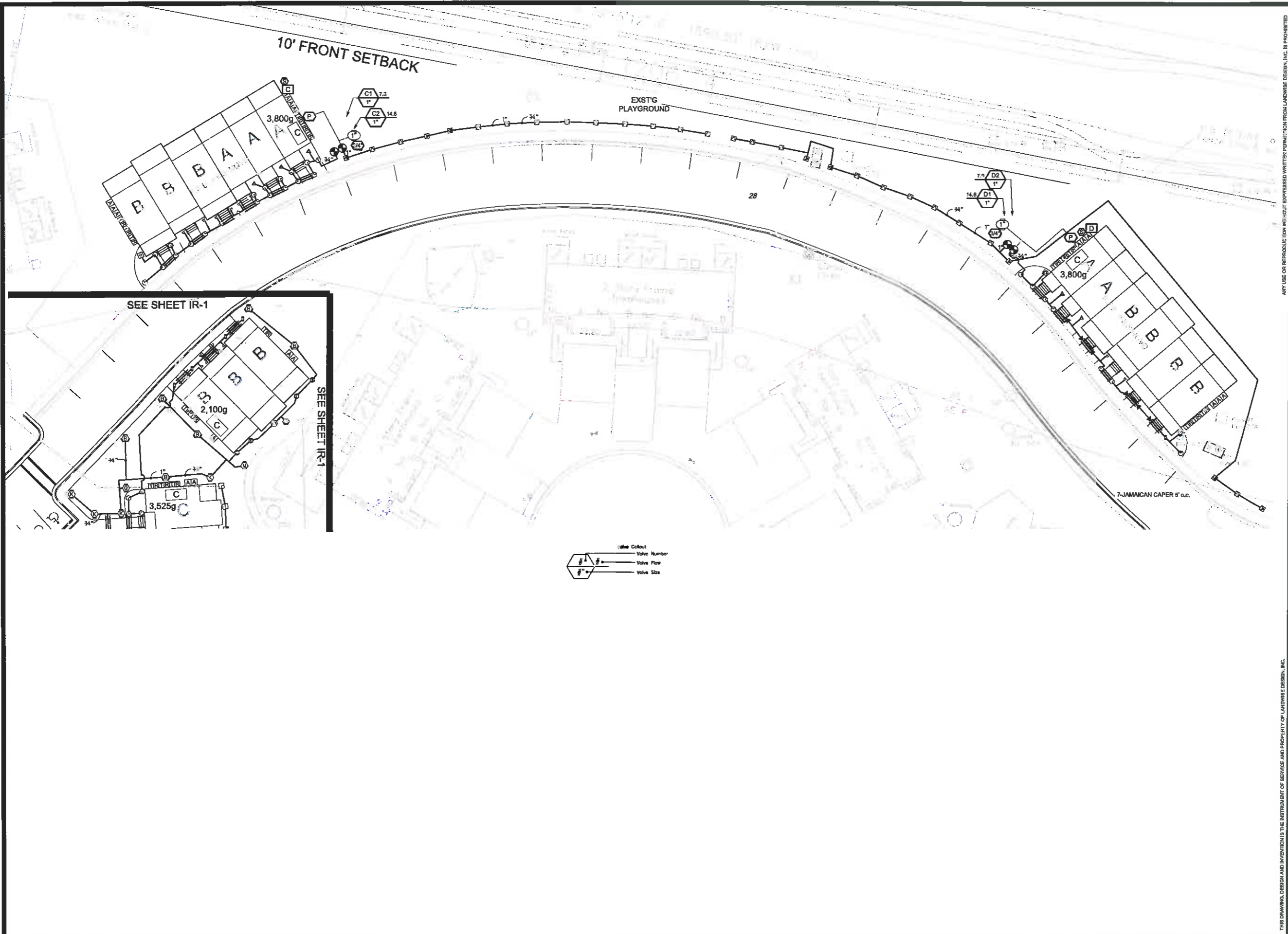
*Handwritten notes:*  
Cove  
12/2/15  
11/13/15

LIMITS OF LANDSCAPE AREA

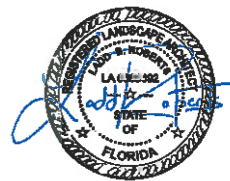
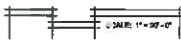
EXST'G PLAYGROUND



18" Gumbo  
18"



**PEARY COURT**  
KEY WEST, FLORIDA



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**IRRIGATION PLANS**

DATE: 10.9.15

REVISIONS:

No.	Date	Notes
1.		

**IRRIGATION PLAN**

SHEET NUMBER:  
**IR-2**

JOB #: 12003 DRAWN BY: CBR

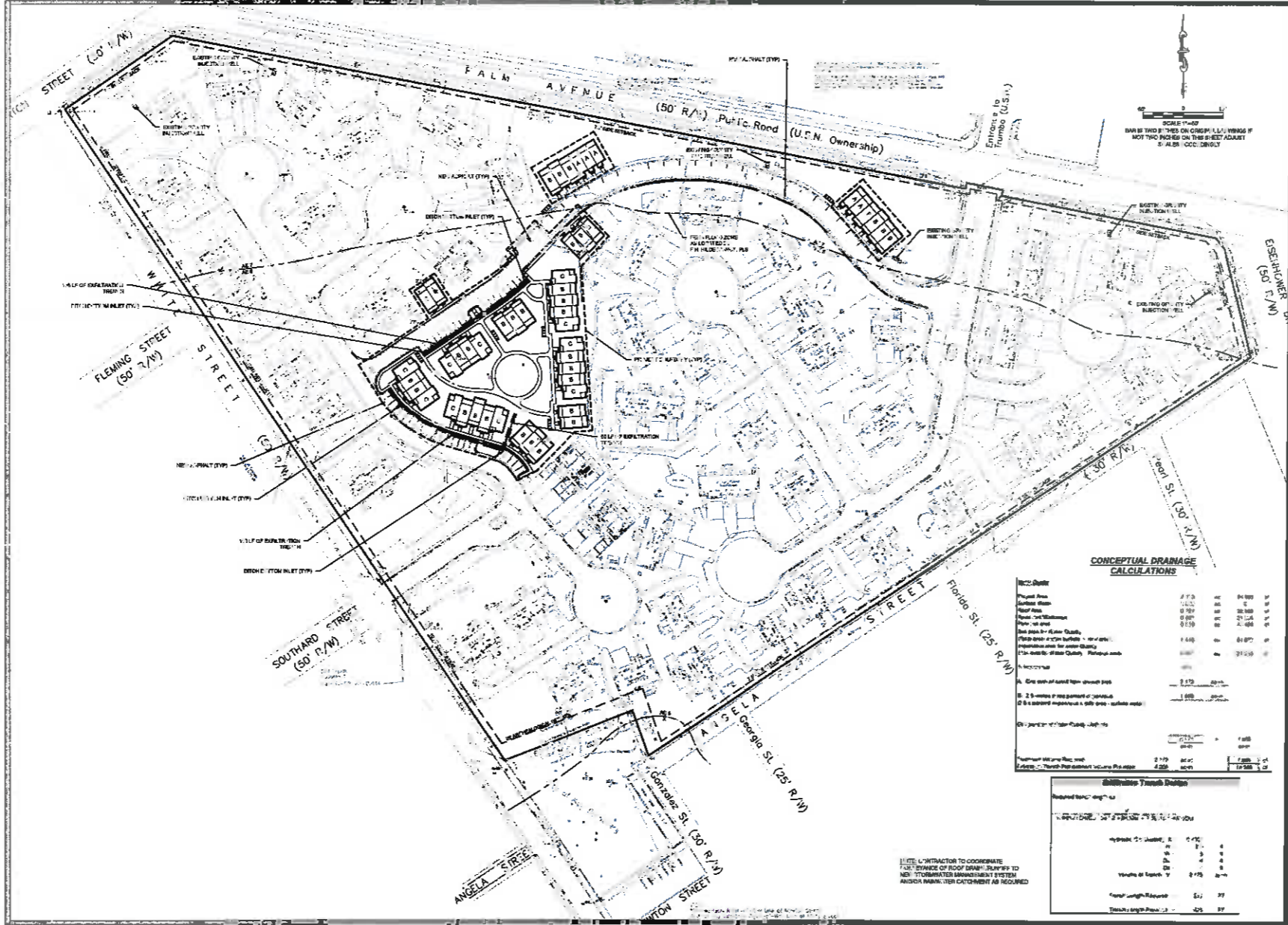
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*Handwritten notes:*  
CWB  
12/18/15







**CONCEPTUAL DRAINAGE CALCULATIONS**

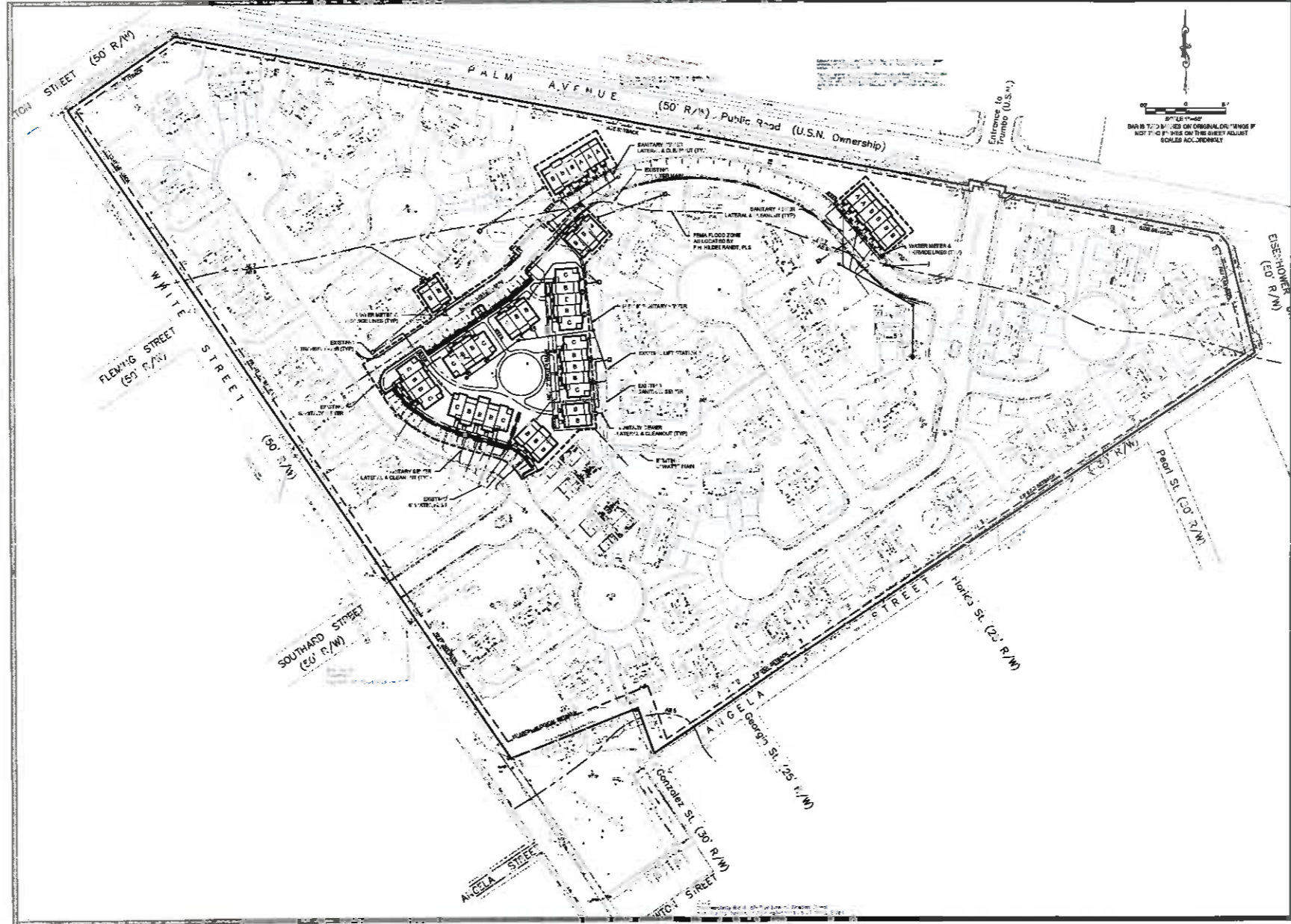
ITEM	DESCRIPTION	AREA (SQ FT)	PERCENT IMPERVIOUS	ROOF AREA (SQ FT)	PERCENT IMPERVIOUS	IMPERVIOUS AREA (SQ FT)
A	Roof Area	27,750	100	27,750	100	27,750
B	Impervious Area	27,750	100	27,750	100	27,750
C	Area of Land Area	1,440	100	1,440	100	1,440
D	Impervious Area	29,190	100	29,190	100	29,190
E	Area of Land Area	1,440	100	1,440	100	1,440
F	Impervious Area	29,190	100	29,190	100	29,190
G	Area of Land Area	1,440	100	1,440	100	1,440
H	Impervious Area	29,190	100	29,190	100	29,190
I	Area of Land Area	1,440	100	1,440	100	1,440
J	Impervious Area	29,190	100	29,190	100	29,190
K	Area of Land Area	1,440	100	1,440	100	1,440
L	Impervious Area	29,190	100	29,190	100	29,190
M	Area of Land Area	1,440	100	1,440	100	1,440
N	Impervious Area	29,190	100	29,190	100	29,190
O	Area of Land Area	1,440	100	1,440	100	1,440
P	Impervious Area	29,190	100	29,190	100	29,190
Q	Area of Land Area	1,440	100	1,440	100	1,440
R	Impervious Area	29,190	100	29,190	100	29,190
S	Area of Land Area	1,440	100	1,440	100	1,440
T	Impervious Area	29,190	100	29,190	100	29,190
U	Area of Land Area	1,440	100	1,440	100	1,440
V	Impervious Area	29,190	100	29,190	100	29,190
W	Area of Land Area	1,440	100	1,440	100	1,440
X	Impervious Area	29,190	100	29,190	100	29,190
Y	Area of Land Area	1,440	100	1,440	100	1,440
Z	Impervious Area	29,190	100	29,190	100	29,190

**ENGINEERING**  
**PLANNING & ARCHITECTURE, INC.**  
 11000 W. BIRCHWOOD BLVD., SUITE 100  
 MIAMI, FL 33157  
 TEL: (305) 556-1234  
 FAX: (305) 556-1234  
 WWW: WWW.EPEA.COM

PROJECT: PEARY COURT  
 SHEET: C-3  
 DATE: 03/15/11

DESIGNED BY: [NAME]  
 CHECKED BY: [NAME]  
 DATE: 03/15/11

*Handwritten note:* Check 12/1/11



ENGINEERING

ALBINO ENGINEERING  
150 2ND AVENUE, SUITE 600  
MIAMI, FL 33131  
PHONE: 305.555.5555  
FAX: 305.555.5555  
WWW.ALBINOENGINEERING.COM

CONCEPTUAL UTILITY PLAN

SOUTHARD PARK

*Handwritten notes:*  
11/15/15  
WSD  
12/2/15