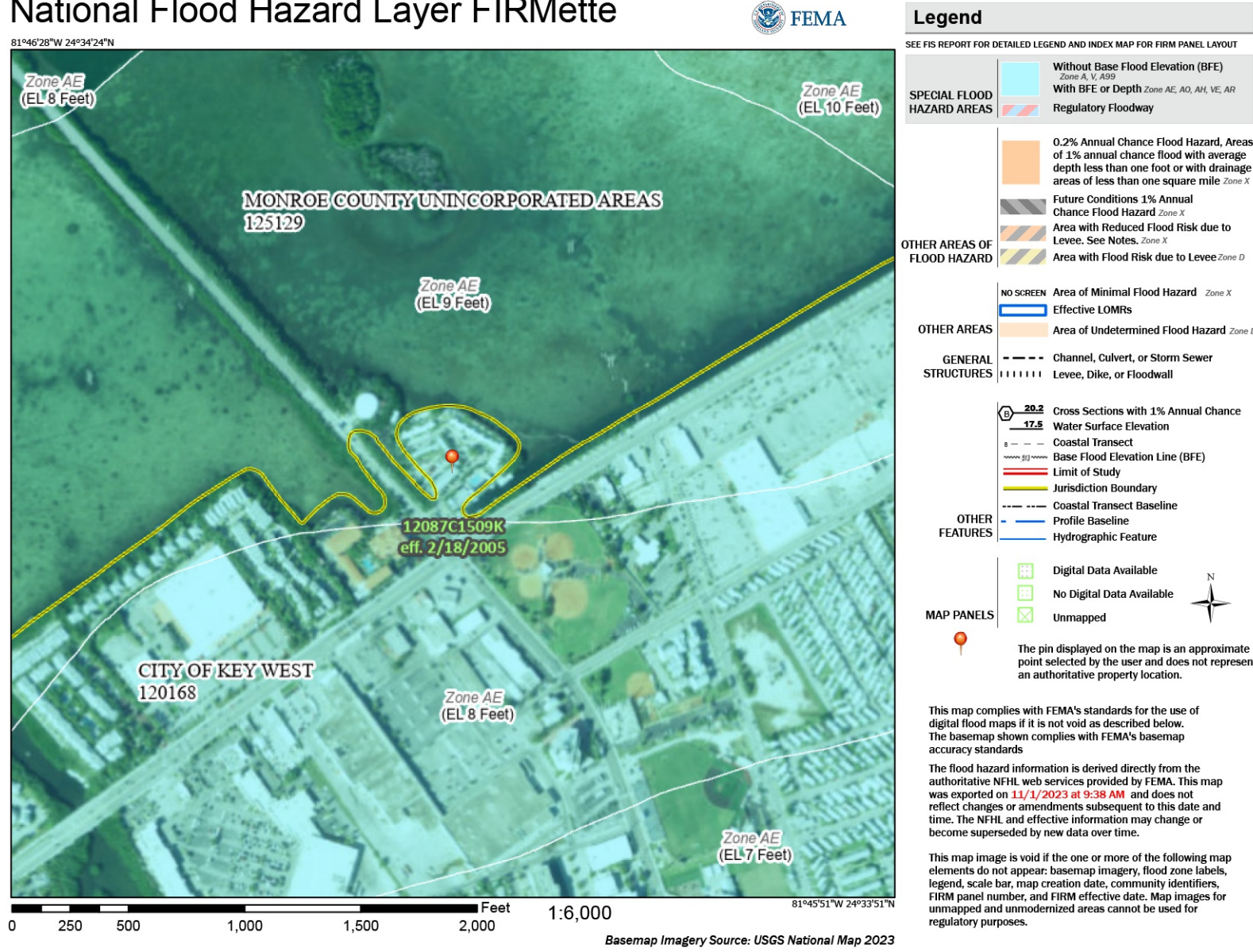


ZONING MAP OF THE CITY OF KEY WEST
PLATE 5 OF 8.
Not official version. Please contact the Planning Department or City Clerk for the official version.

3 ZONING MAP
SCALE: NOT TO SCALE

National Flood Hazard Layer FIRMette



2 FEMA FLOOD MAP
SCALE: NOT TO SCALE

MAJOR DEVELOPMENT PLAN

IBIS BAY WATERFRONT RESORT
KEY WEST, FL 33040
PARCEL: 00002360-000000



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AILEEN A. OSBORN, R.A.
LICENSE NO. AR97603
EXPIRATION DATE: 02/28/27

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PARCEL ID: 00002360-000000

MAJOR DEVELOPMENT PLAN

SUBMISSION

3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

COVER PAGE

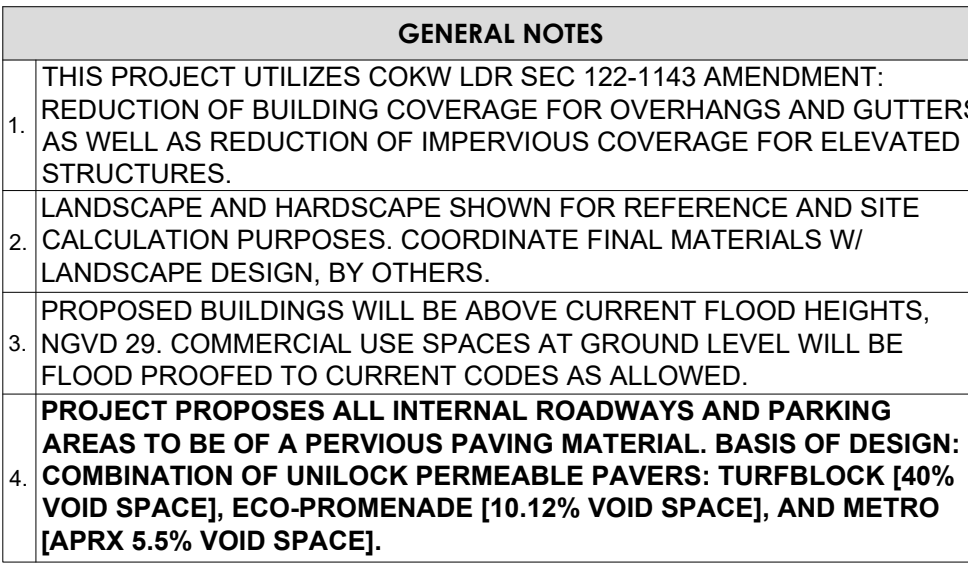
PROJECT #: 23.01

SHEET:

G7.0

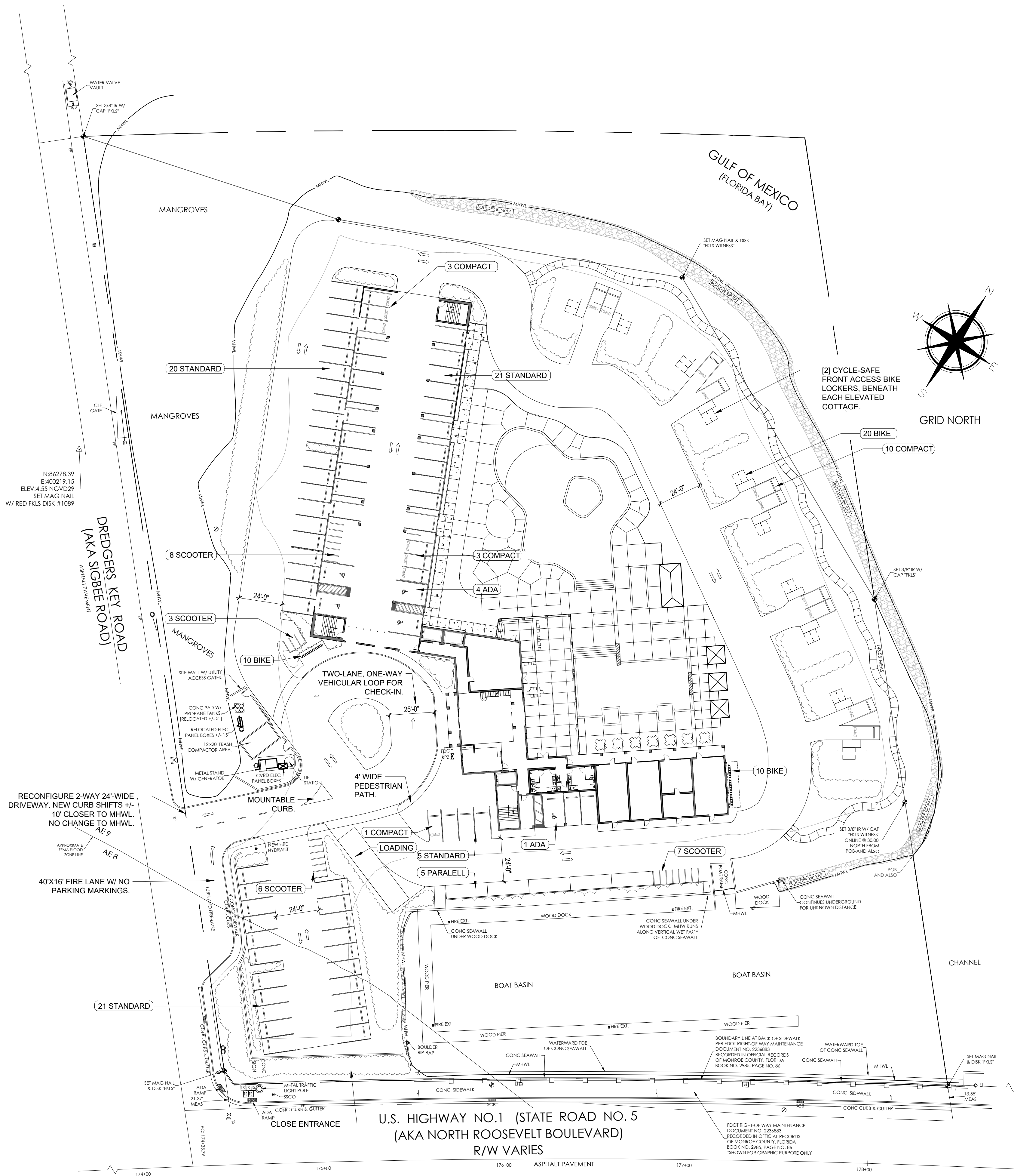
FEBRUARY 27, 2025

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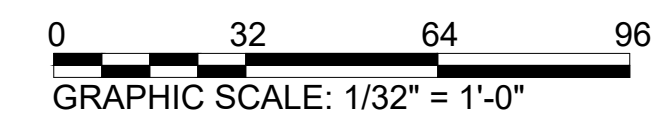


2 EXISTING REFERENCE SITE PLAN

SCALE: 1/64"=1'-0"

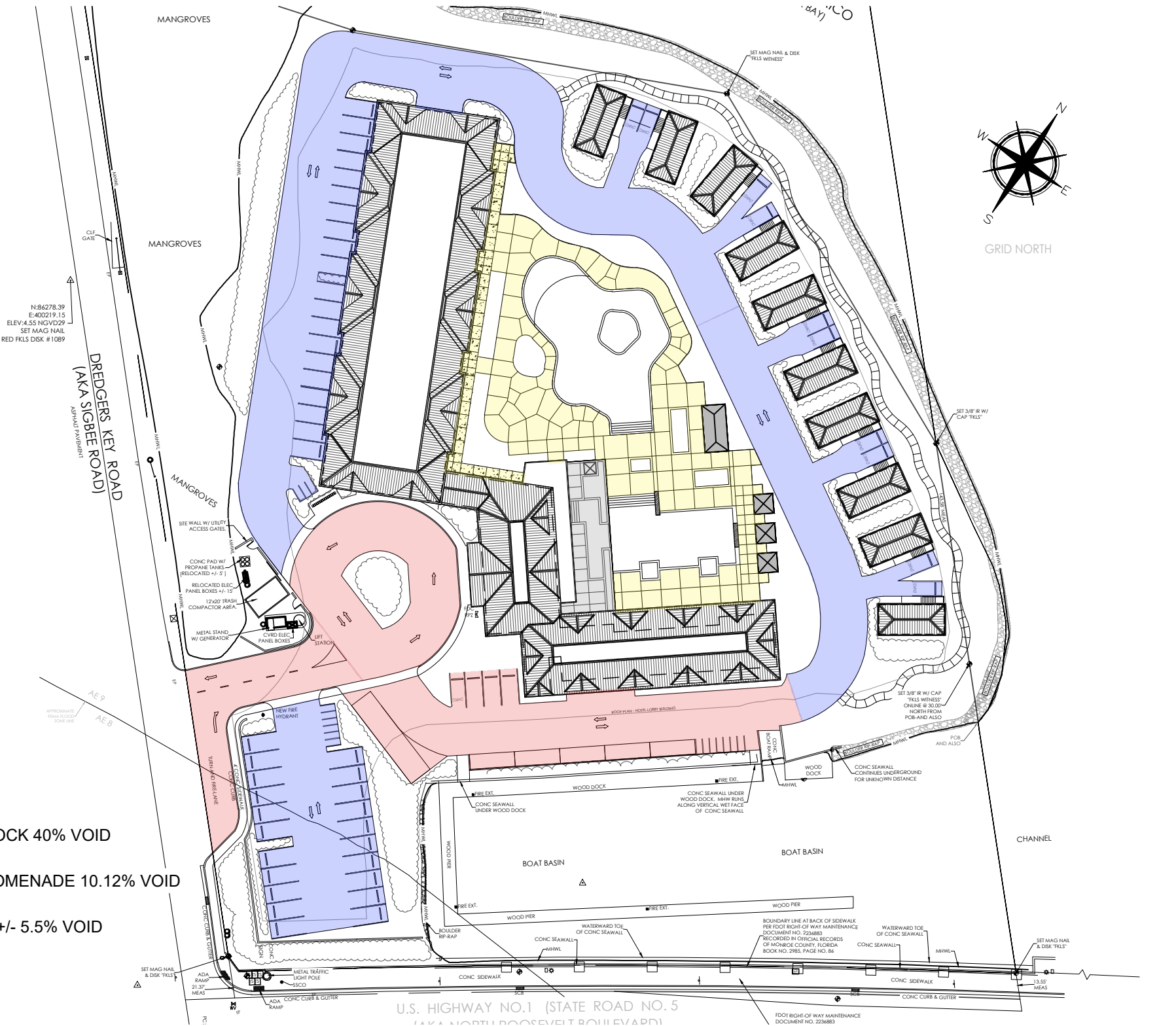


1 PROPOSED SITE PLAN GROUND LEVEL W/ TRAFFIC PATTERNS
SCALE: 1/32"=1'-0"



2 PERMEABLE PAVEMENT KEY PLAN
SCALE: 1/64"=1'-0" SCALE

PROJECT SITE DATA				
IBIS BAY BEACH RESORT, 3101 NORTH ROOSEVELT BOULEVARD , KEY WEST, FLORIDA 33040				
REAL ESTATE NO.: 00002360-000000				
ZONING DISTRICT	CG COMMERCIAL GENERAL			
FLOOD ZONE	AE 7/ AE 8 [NGVD 29]			
CODE REQUIREMENTS:	REQUIRED/ ALLOWED	EXISTING	PROPOSED	COMPLIANCE
PARKING FOR BUILD-BACK OF 80 OUT OF EXISTING 81 TRANSIENT UNITS				
RESORT VEHICLE SEC 108-572 (7)	1/ RES. UNIT +1 = 81	N/A	SEE BELOW	SEE BELOW
FOOD SERVICE VEHICLE SEC 108-572 (9)	1/ 45 SF SERVING [1,669.8SF] = 37			
STANDARD VEHICLE		88	72	
ACCESSIBLE VEHICLE SEC 108-650	101-150 STANDARD=5 ADA	5	5	
COMPACT VEHICLE SEC 108-646	15% OF STALLS = 18 MAX	10	17	
SCOOTER VEHICLE	1 SC. = 1 VEH.	5	24	
SUB BICYCLE SEC 108-574	SUBSTITUTE 4 BIKE=1 VEH.	0	0	
RESORT BICYCLE SEC 108-572 (7)	35% OF TOTAL REQ. VEH.[81] = 29	7	30	
FOOD SERVICE BICYCLE SEC 108-572 (9)	25% OF TOTAL REQ. VEH.[37] = 10	7	10	
LOADING SEC 108-649	1 / 10,000 SF = 2	0	1	
RESORT [TOTAL]	118 VEH / 39 BIKE	108 VEH./ 14 BIKE	118 VEH./ 40 BIKE	COMPLIES
BIKE RACK [OR SIMILAR]			WAVE STYLE 15-CAPACITY IN GROUND	U-LOCK COMPATIBLE
BIKE LOCKER [OR SIMILAR]			INDIVIDUAL BIKE STORAGE BOX	KEYED, KEY PAD, PHONE APP.



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ARCHITECT:

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PARCEL ID: 00002360-000000

MAJOR DEVELOPMENT PLAN

SUBMISSION

3101 NORTH ROOSEVELT BLVD.,

KEY WEST, FLORIDA 33040

SITE PLAN -

GROUND

LEVEL

PARKING &

TRAFFIC

PROJECT #: 23.01

SHEET:

A7.2

FEBRUARY 27, 2025

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IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

FLOOR PLANS:
HOTEL LOBBY
BUILDING

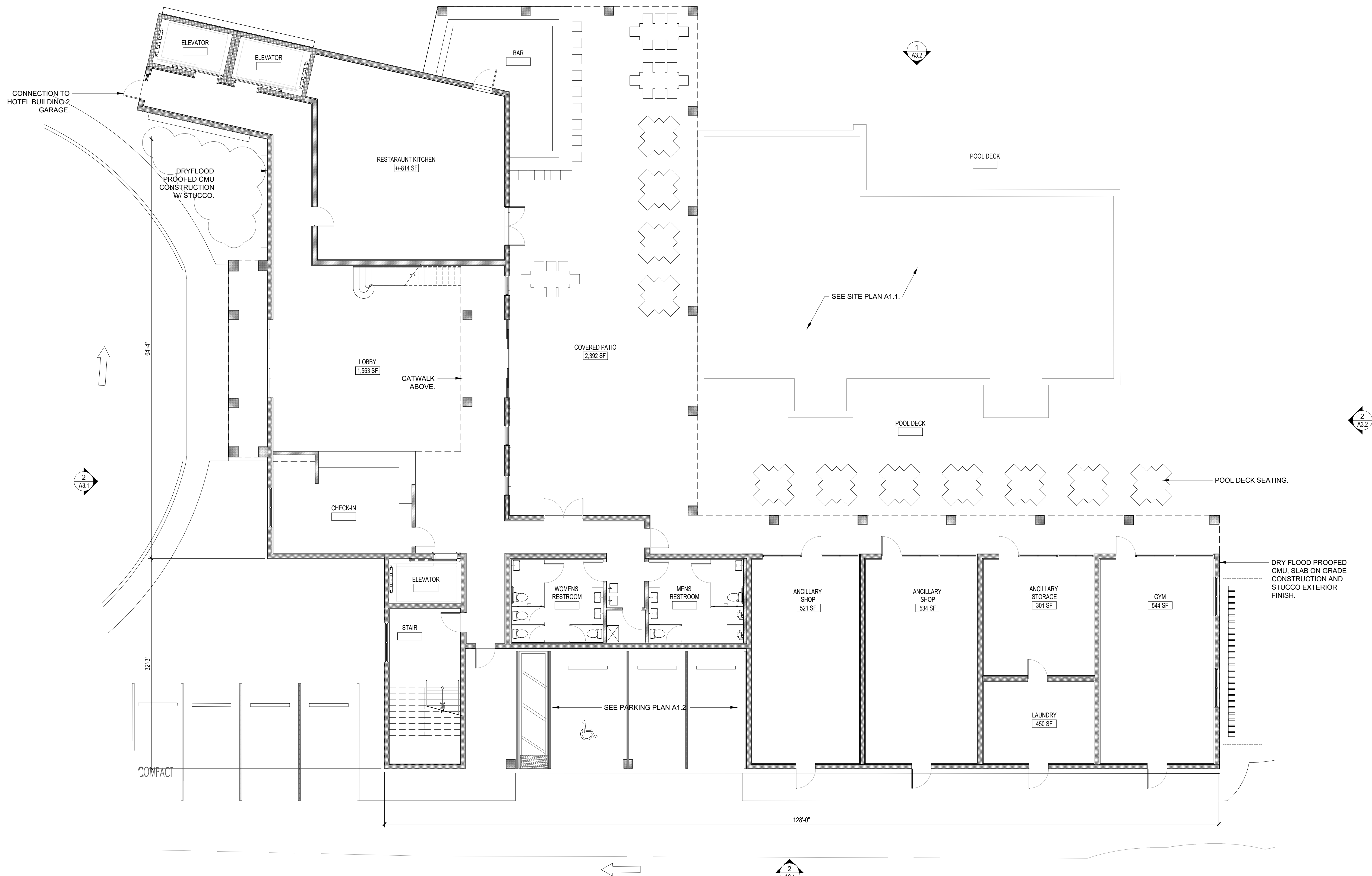
PROJECT #: 23.01

SHEET:

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3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

FLOOR PLANS:
HOTEL LOBBY
BUILDING

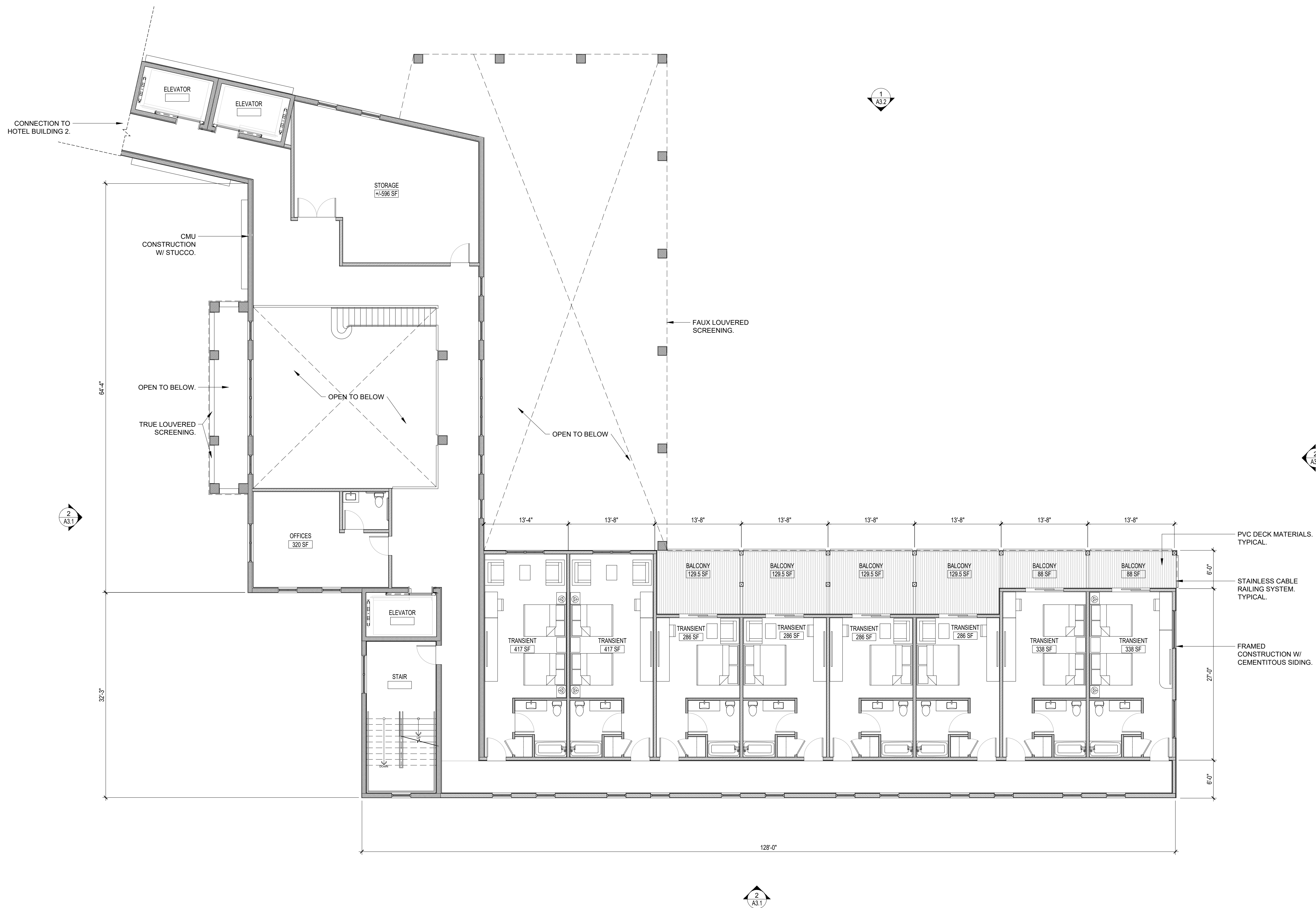
PROJECT #: 23.01

SHEET:

A2.2

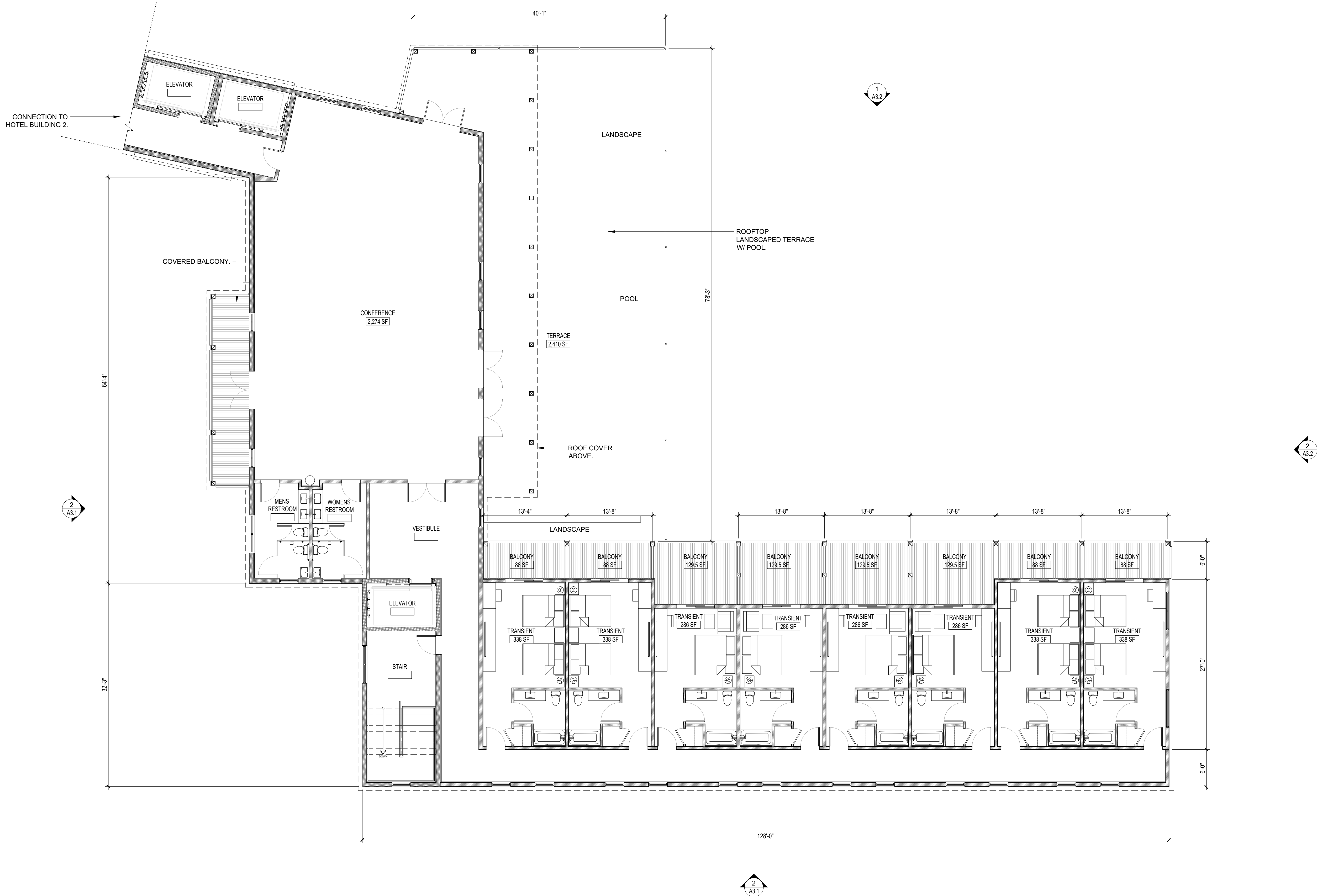
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1
A3.1

FIRST FLOOR PLAN - HOTEL LOBBY BUILDING
SCALE: 1/8"=1'-0"



1 SECOND FLOOR PLAN - HOTEL LOBBY BUILDING
SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

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MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

FLOOR PLANS:
HOTEL LOBBY
BUILDING

PROJECT #: 23.01

SHEET:

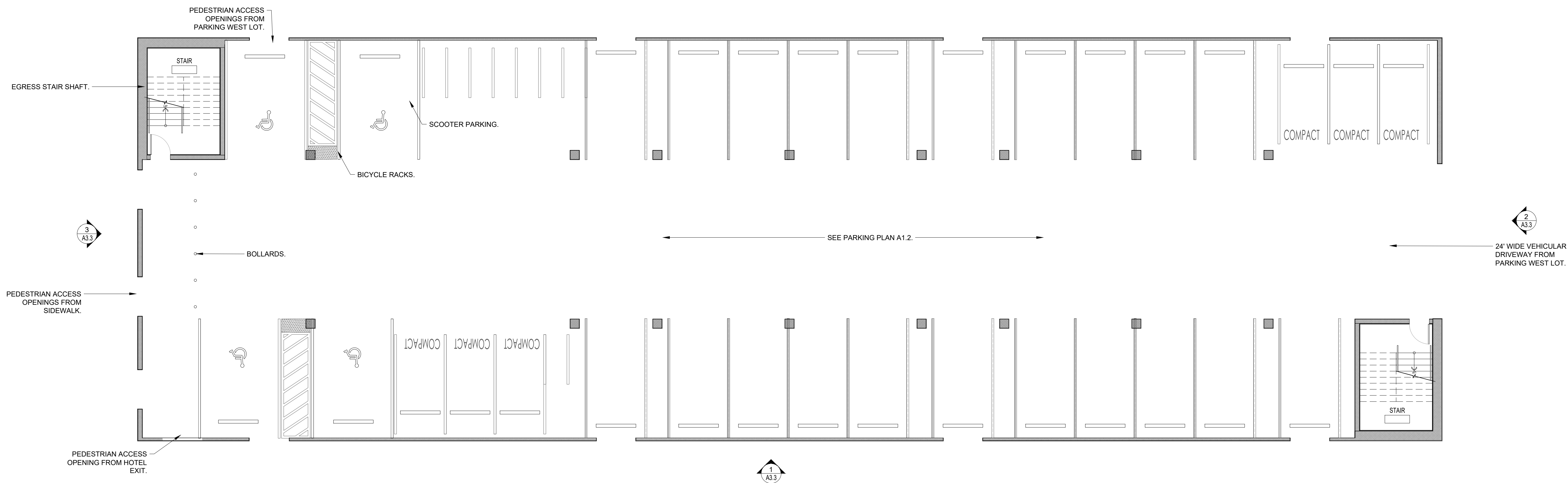
A2.3

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**2 FIRST FLOOR PLAN - HOTEL BUILDING 2**

SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"**1 GROUND FLOOR PLAN - HOTEL BUILDING 2**

SCALE: 1/8"=1'-0"

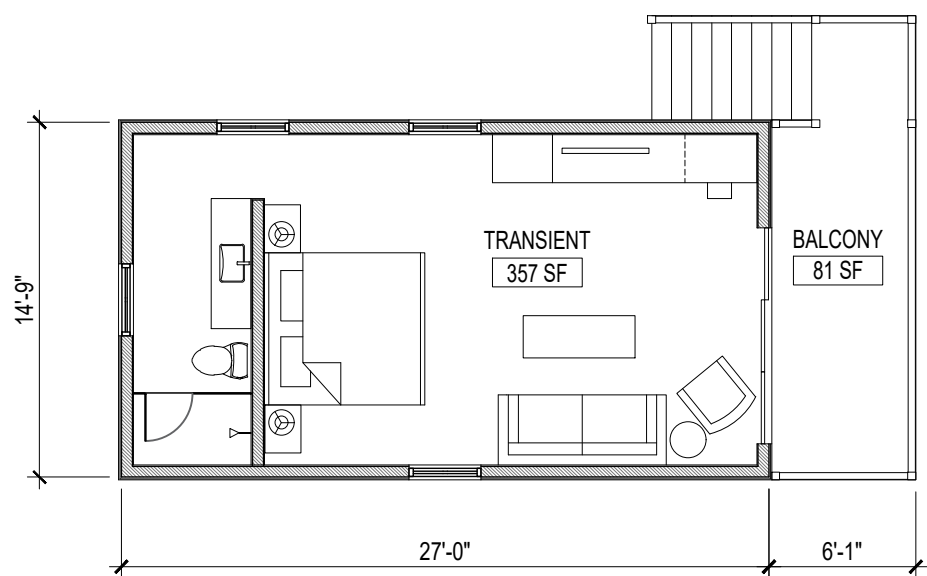
0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040TITLE:
**FLOOR PLANS:
HOTEL
BUILDING 2 AND
TYPICAL
COTTAGES**PROJECT #: 23.01
SHEET:

A2.5

FEBRUARY 27, 2025

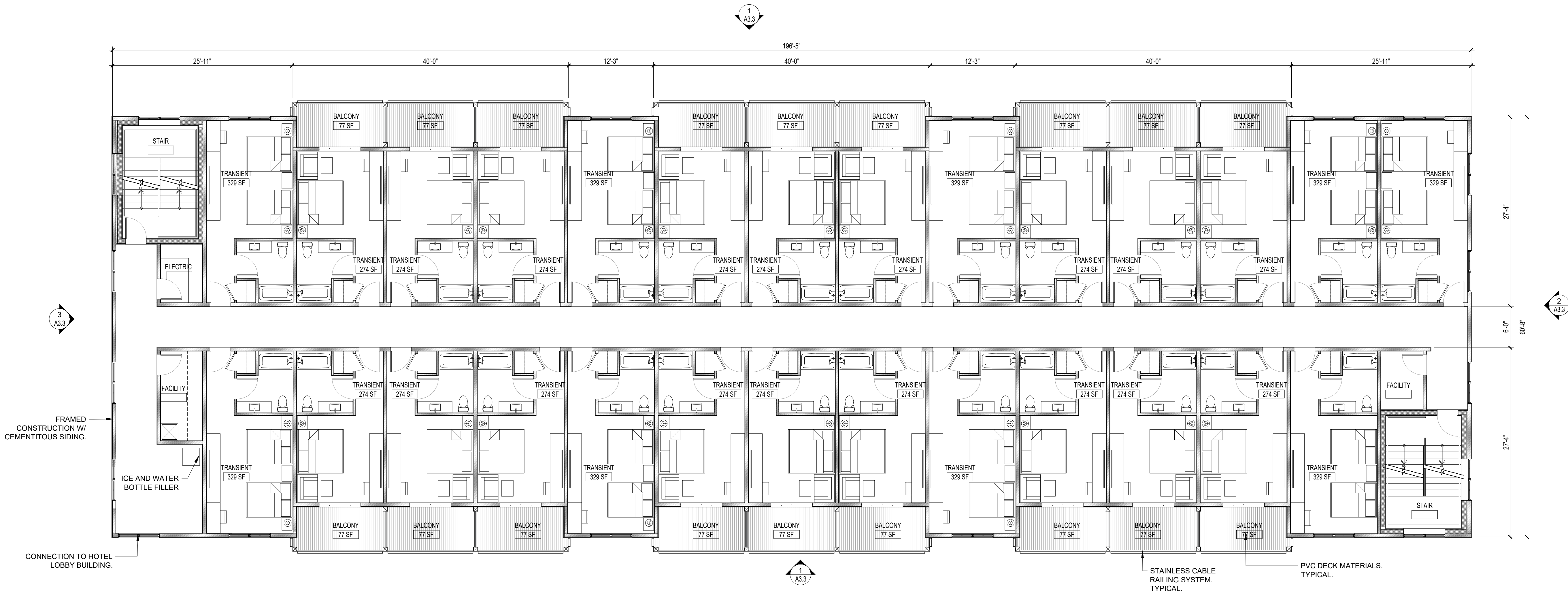
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2

TYPICAL COTTAGE FLOOR PLAN

SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

1

SECOND FLOOR PLAN - HOTEL BUILDING 2

SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

**MAJOR DEVELOPMENT PLAN
SUBMISSION**
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

FLOOR PLANS: WORKFORCE

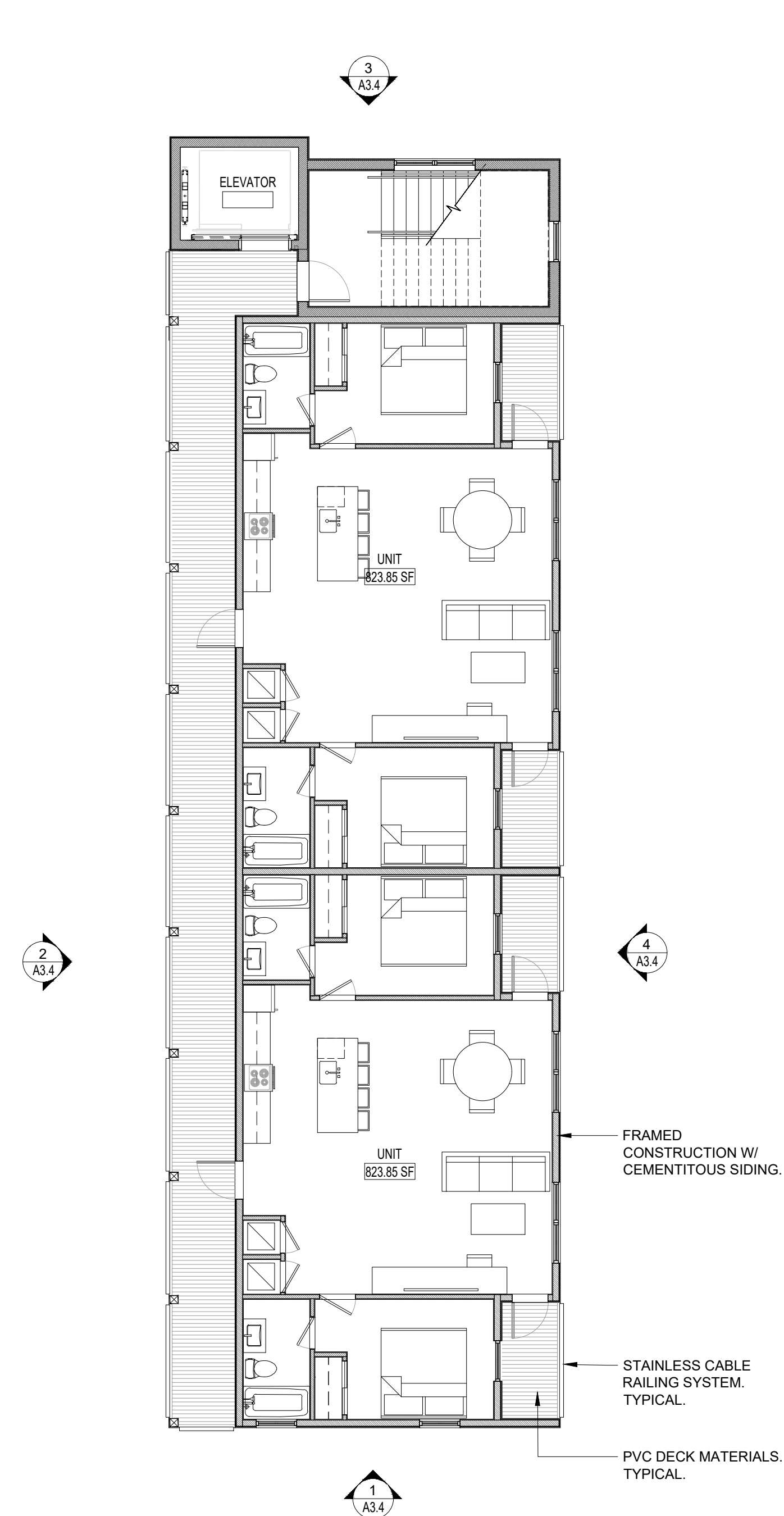
PROJECT #: 23.01

SHEET:

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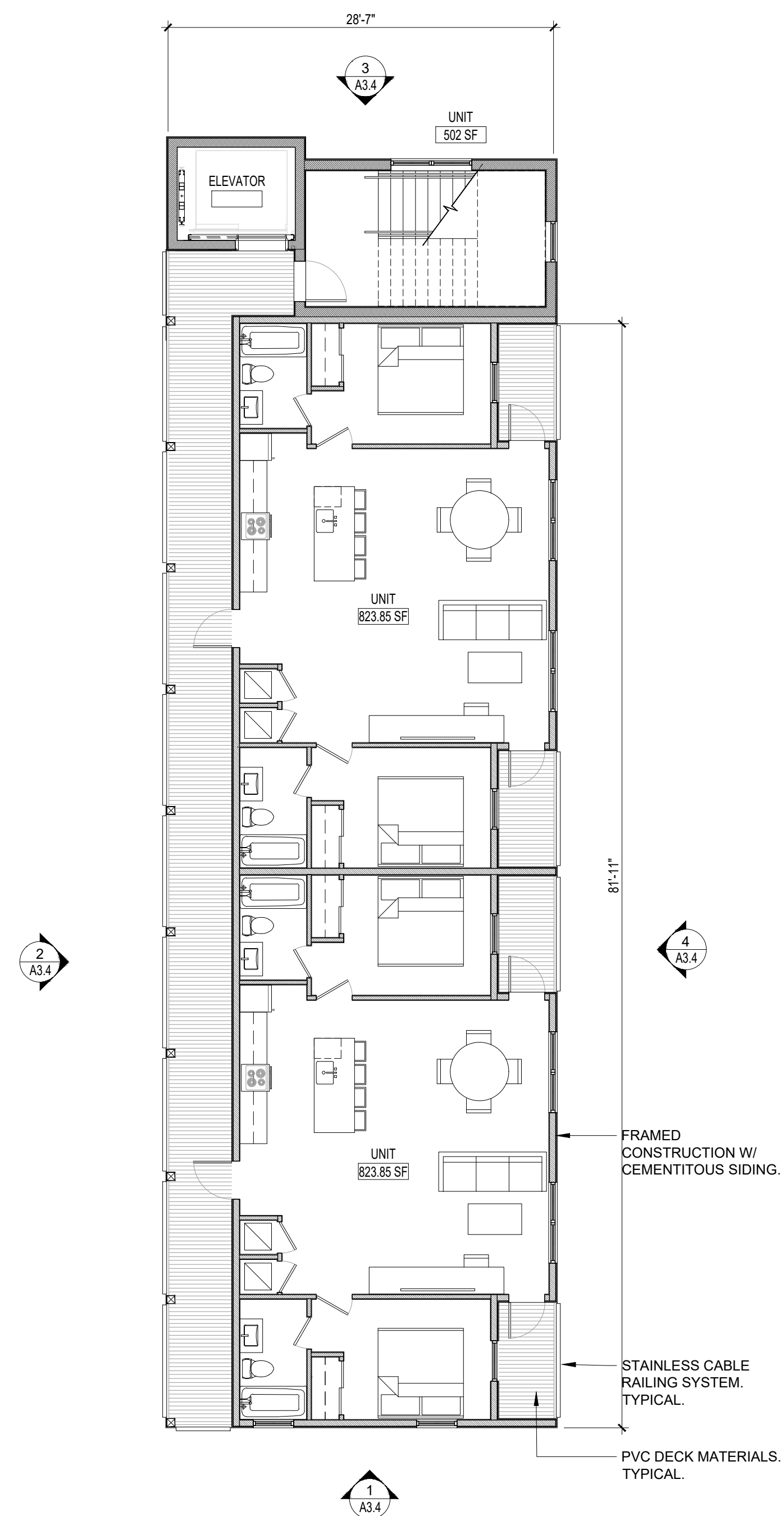
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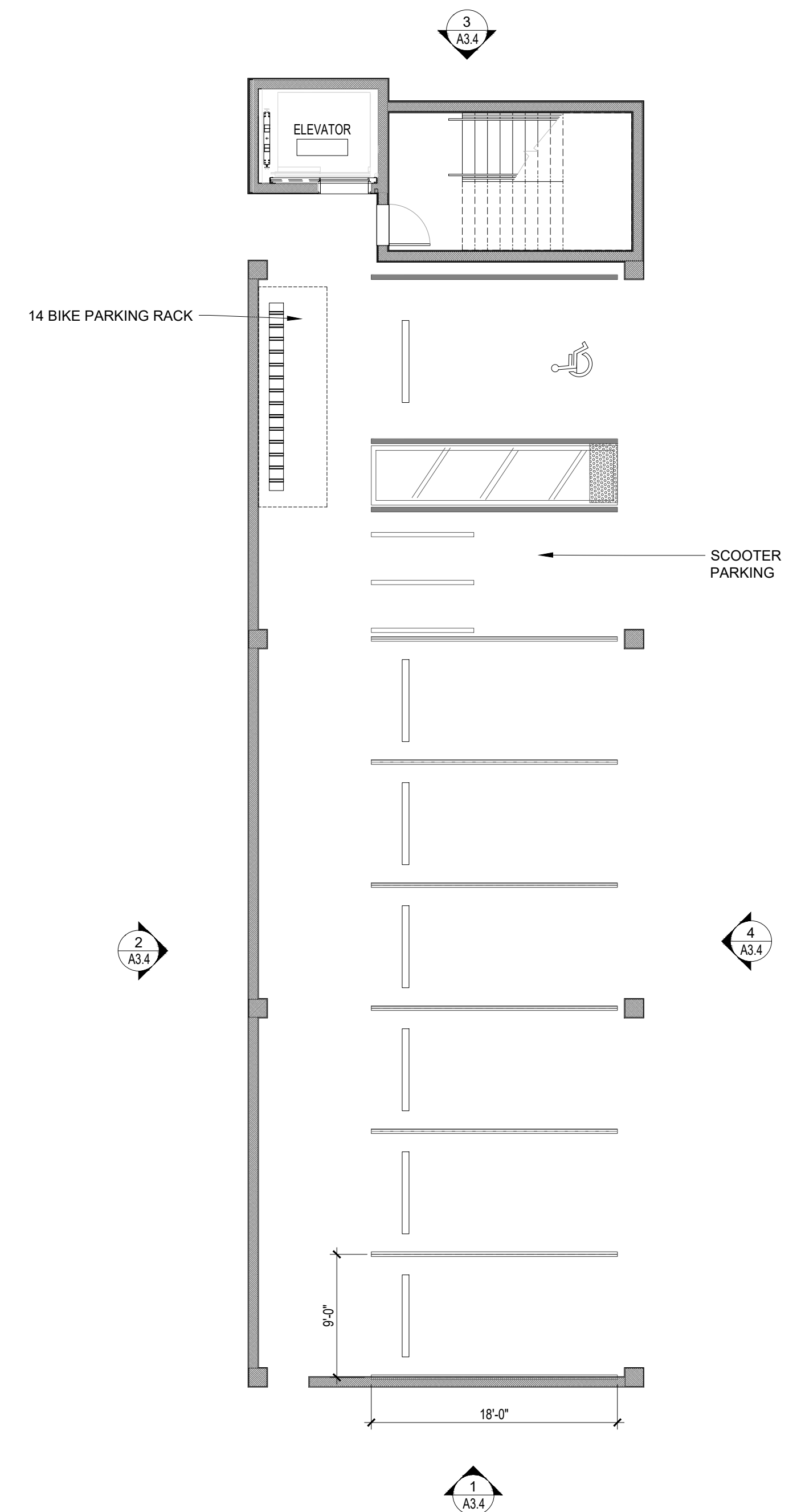
3 PROPOSED THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



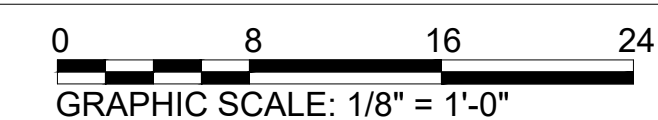
2 PROPOSED FLOOR PLAN - FLOORS 1-2

SCALE: 1/8"=1'-0"



1 PROPOSED GROUND FLOOR PARKING PLAN

SCALE: 1/8"=1'-0"



GRAPHIC SCALE: 1/8" = 1'-0"



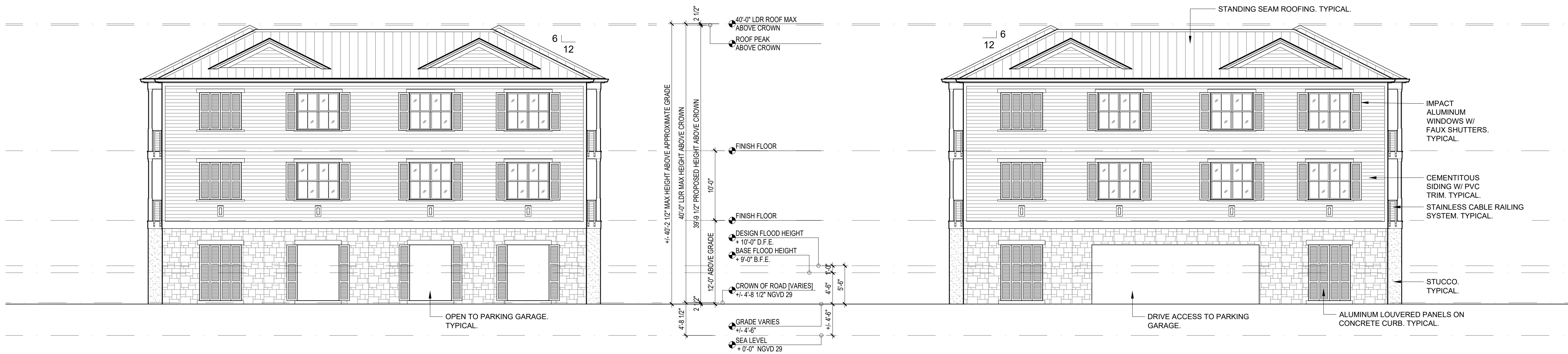
2 HOTEL LOBBY BUILDING: EAST ELEVATION [GULF]
SCALE: 1/8"=1'-0"



1 HOTEL LOBBY BUILDING: NORTH ELEVATION [GULF]
SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

A3.2



3 HOTEL BUILDING 2: SOUTH ELEVATION [N. ROOSEVELT]
SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

2 HOTEL BUILDING 2: NORTH ELEVATION [GULF]
SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"



1 HOTEL BUILDING 2: WEST ELEVATION [SIGSBEE] AND EAST [GULF]
SCALE: 1/8"=1'-0"

0 8 16 24
GRAPHIC SCALE: 1/8" = 1'-0"

IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000
MAJOR DEVELOPMENT PLAN
SUBMISSION
3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE:

EXTERIOR
ELEVATIONS:
COTTAGE

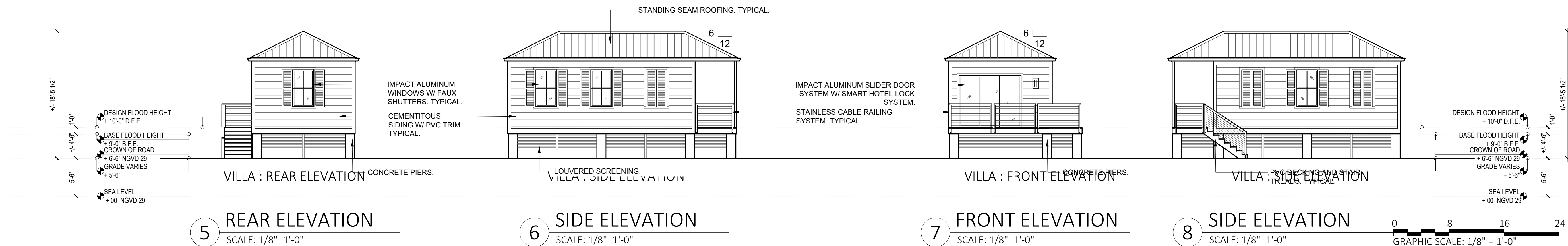
PROJECT #: 23.01

SHEET:

A3.4

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Turning Performance Analysis

01/31/2024

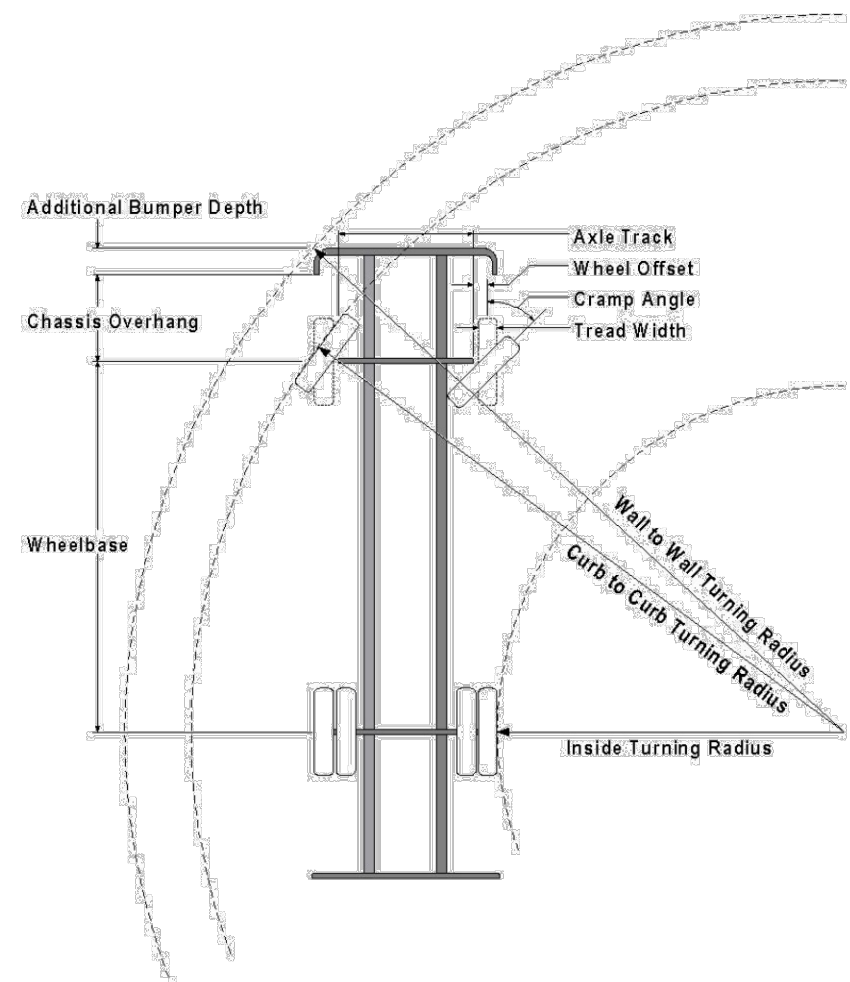
Bid Number: 833
Department: City of Key West Fire DepartmentChassis: Impel Chassis, Aerials, Single Axle, Ascendant PUC
Body: Aerial, HD Ladder 107' ASL Single, PUC, Quint, Alum Body

Parameters:

*Inside Cramp Angle:	45°
Axle Track:	82.92 in.
Wheel Offset:	4.68 in.
Tread Width:	16.3 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	19 in.
Front Overhang:	97 in.
Wheelbase:	233 in.

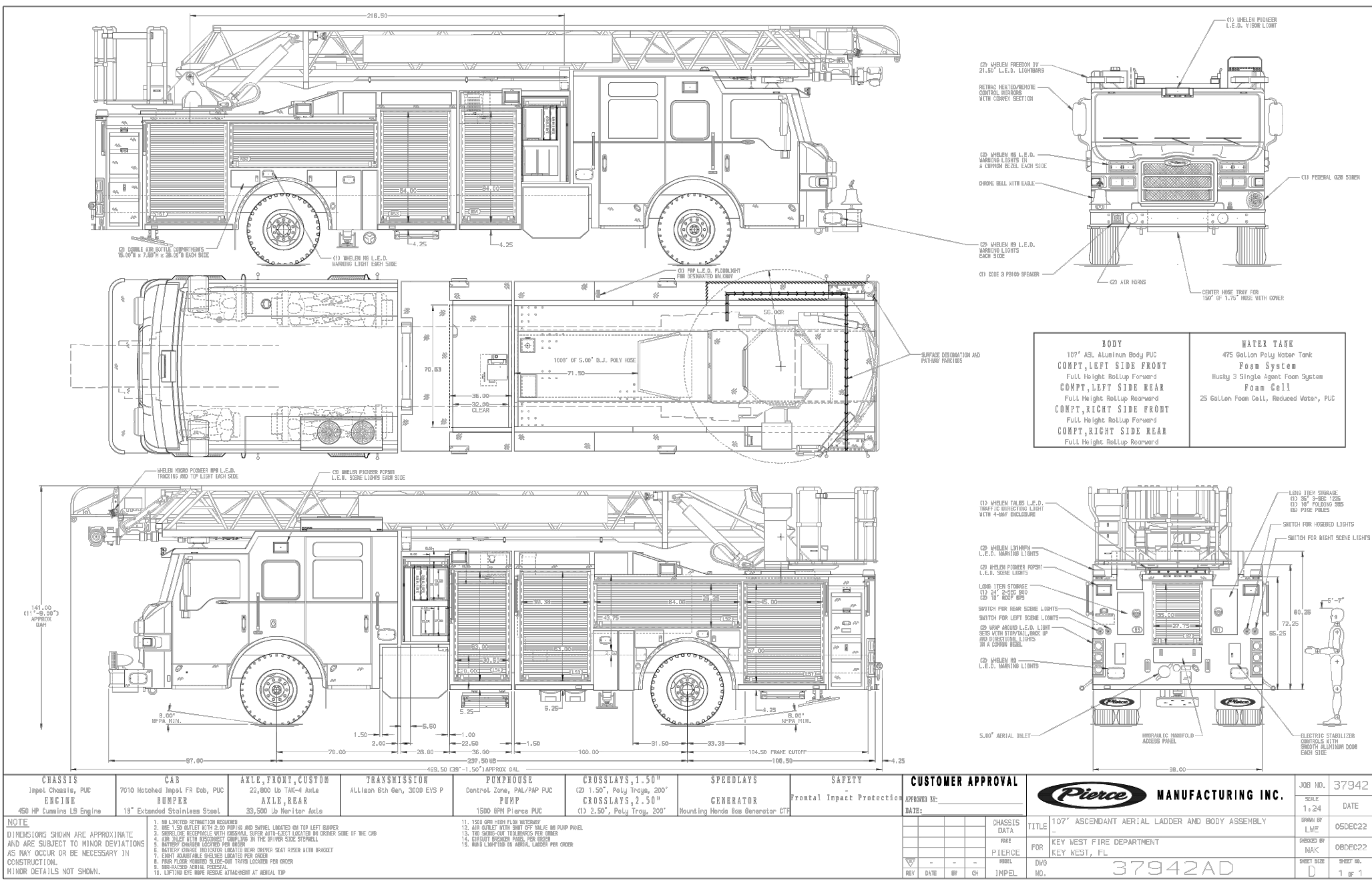
Calculated Turning Radii:

Inside Turn:	18 ft. 4 in.
Curb to curb:	33 ft. 9 in.
Wall to wall:	38 ft. 10 in.



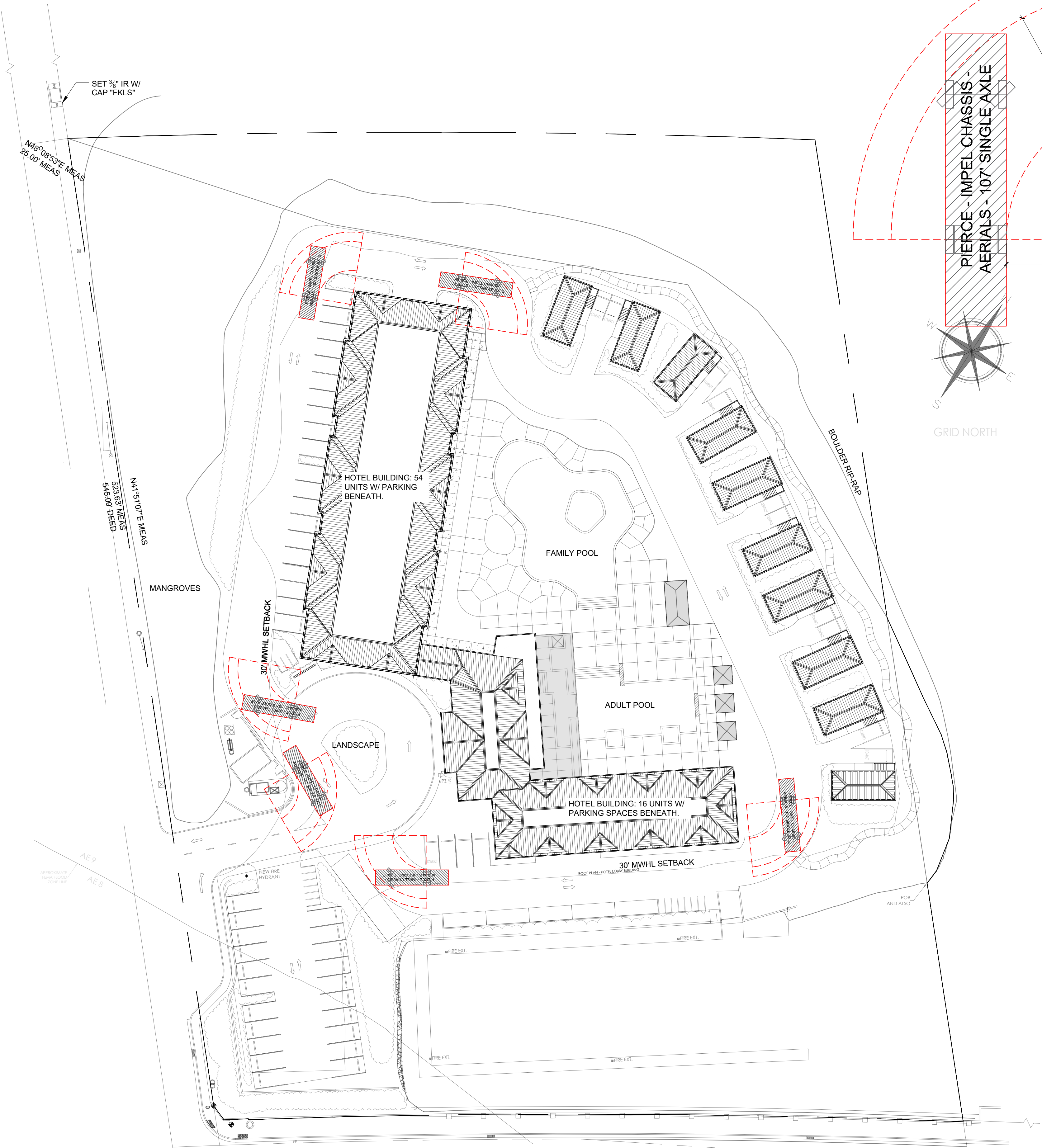
1 TURNING PERFORMANCE ANALYSIS

NTS



1 FIRE TRUCK SPECIFICATIONS

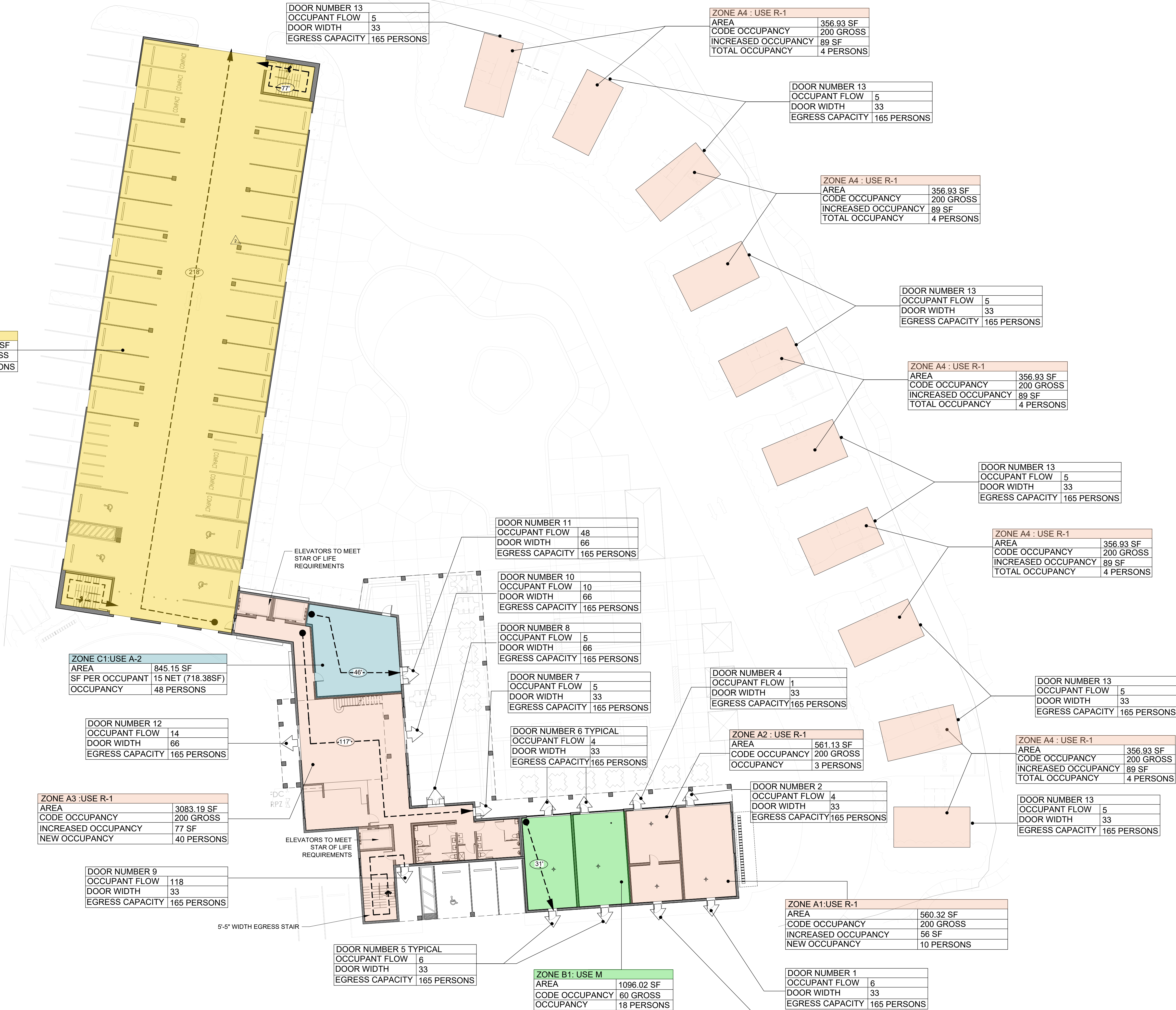
NTS



1 PRELIMINARY LIFE SAFETY PLAN-FIRE TRUCK ACCESS

SCALE: 1/32"=1'-0"

0 32 64 96
GRAPHIC SCALE: 1/32" = 1'-0"



1 PRELIMINARY LIFE SAFETY PLAN AT GROUND LEVEL
SCALE: 1/16"=1'-0"

0 16 32 48
GRAPHIC SCALE: 1/16" = 1'-0"

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PARCEL ID: 00002360-000000

MAJOR DEVELOPMENT PLAN

SUBMISSION

3101 NORTH ROOSEVELT BLVD.,

KEY WEST, FLORIDA 33040

TITLE: LIFE

SAFETY

PLAN AT

GROUND

LEVEL

PROJECT #: 23.01

SHEET:

LFS1.7

FEBRUARY 27, 2025

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DRAWING SIZE: A(24")

DO NOT SCALE DRAWINGS

IBIS BAY WATERFRONT RESORT
PARCEL ID: 00002360-000000

**MAJOR DEVELOPMENT PLAN
SUBMISSION**

3101 NORTH ROOSEVELT BLVD.,
KEY WEST, FLORIDA 33040

TITLE: LIFE
SAFETY
PLAN AT
FIRST
LEVEL

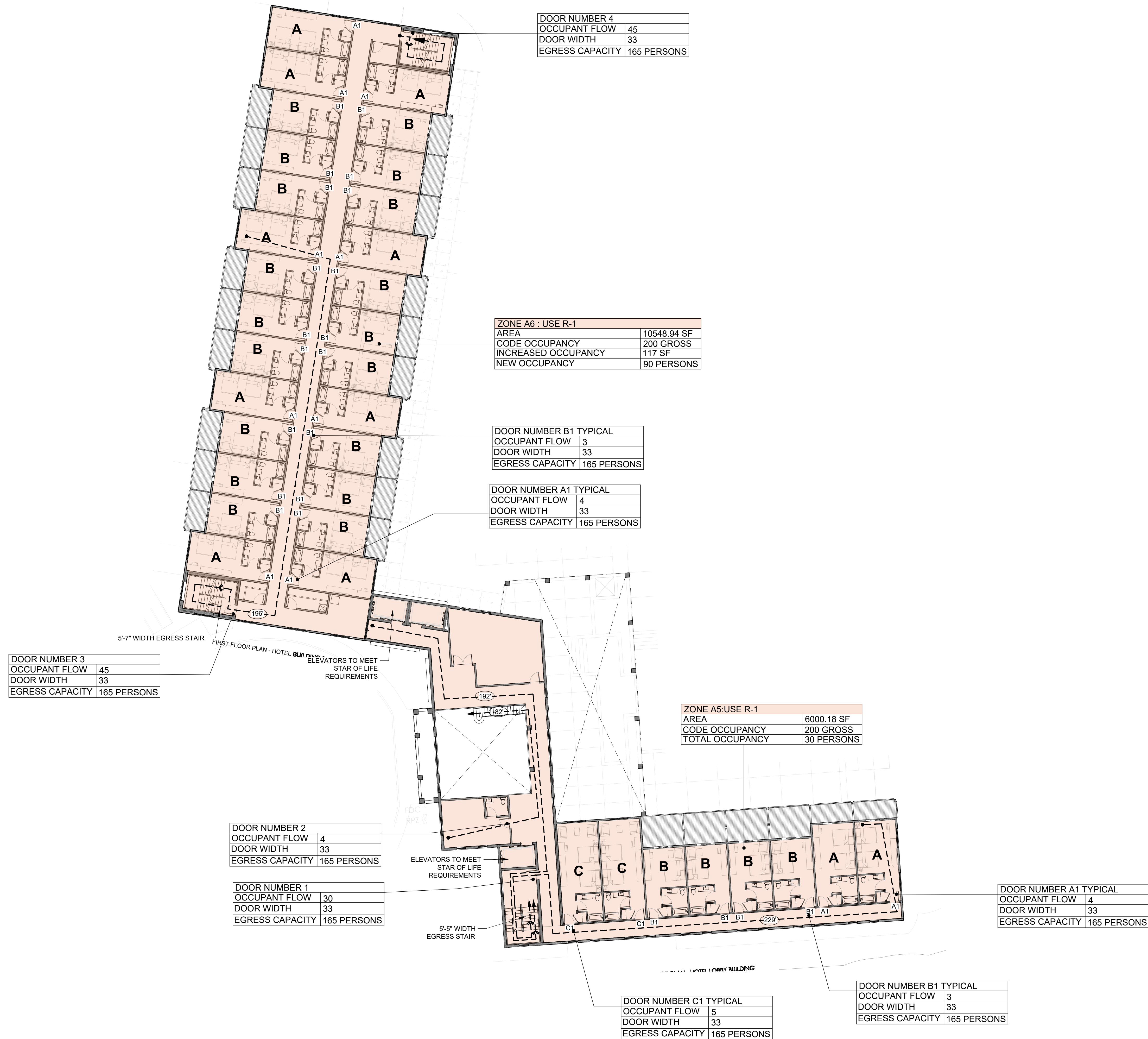
PROJECT #: 23.01

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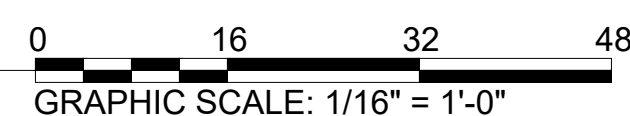
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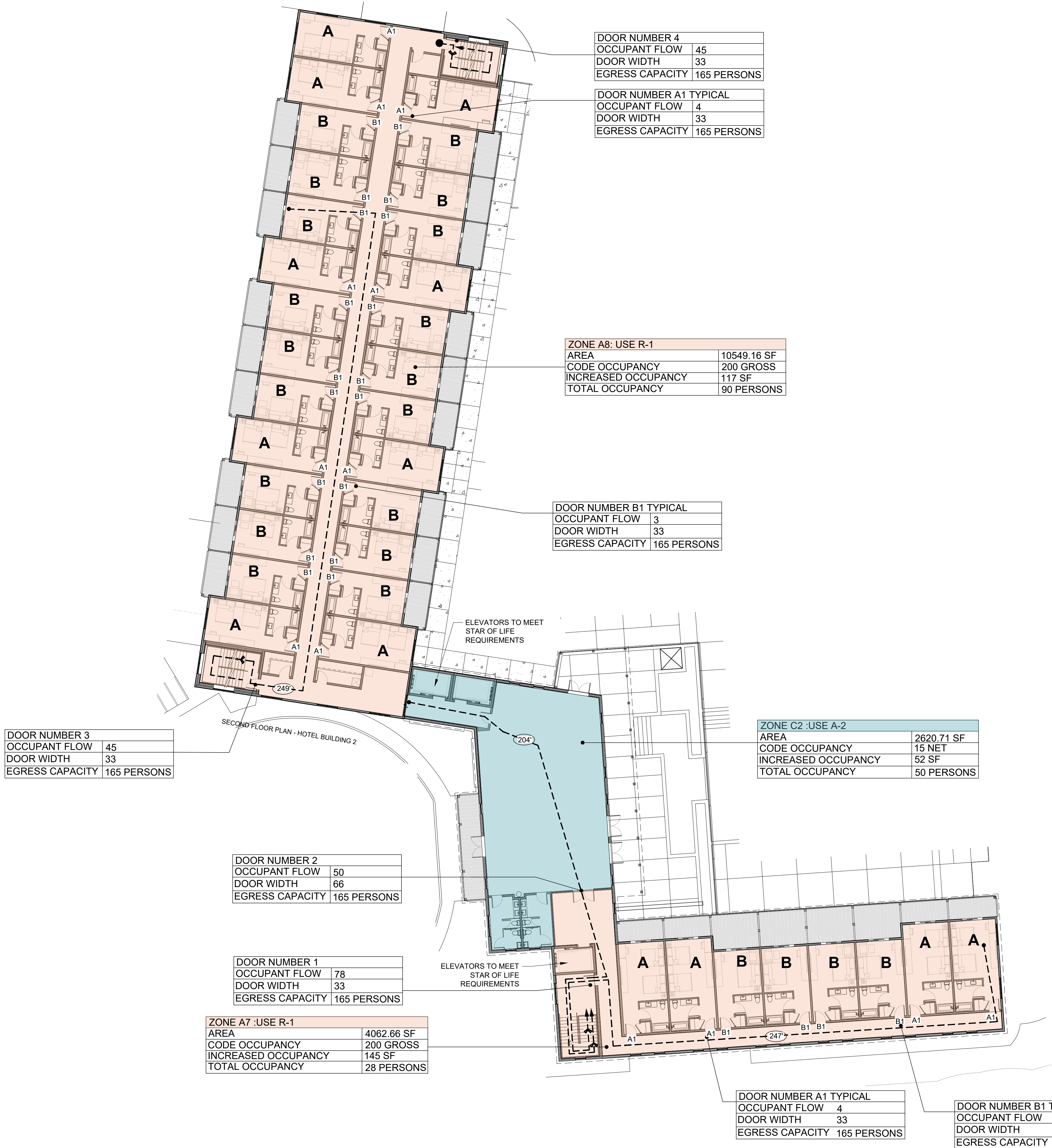
FEBRUARY 27, 2025

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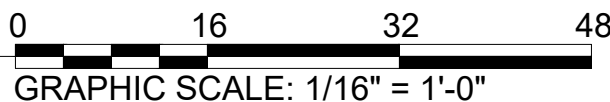


1 PRELIMINARY LIFE SAFETY PLAN AT FIRST LEVEL
SCALE: 1/16"=1'-0"





1 PRELIMINARY LIFE SAFETY PLAN AT SECOND LEVEL
SCALE: 1/16"=1'-0"



LIFE SAFETY - GENERAL NOTES:

1. FINAL LOCATION OF FIRE EXTINGUISHERS TO BE COORDINATED WITH FIRE MARSHAL.
2. CONTRACTOR TO PROVIDE FIRE ALARM SHOP DRAWINGS FOR COMPLIANT SYSTEM.
3. CONTRACTOR TO PROVIDE FIRE PROTECTION SHOP DRAWINGS FOR COMPLIANT SYSTEM.

LIFE SAFETY - CODE REFERENCES:

2020 Florida Building Code, Building, 8th Edition:
Chapter 3: Use and Occupancy Classification

- Section 304 Assembly Group A-2
- Section 309 Mercantile Group M
- Section 310 Residential Group R-1
- Section 311 Low Hazard Storage Group S-2

Chapter 6: Types of Construction
• Type VB

Chapter 10: Means of Egress:

Section 1004: Occupant Load

- Section 1004 : Occupant Load
- 1004.5 Max floor area per occupant
- Assembly unconsented : 15 sq ft
- Accessory Storage , Mechanical equipment -300 gross
- Kitchen , commercial - 200 gross
- Mercantile - 60 gross
- Storage/Stock -300 gross
- Parking garage - 200 gross
- Residential 200 gross
- 1004.5.1 Increase occupant load not to exceed 1 person per 7sf of occupiable floor space.

Section 1005: Egress Sizing

- .3 inches per occupant stairs
 - .3 [XX occupants / X stairs] = XX" per stair
- .2 inches per occupant for other components
 - [DOOR WIDTH- 3"] / .2 = egress capacity of a single door

Section 1006: Exit and Exit Access Doorways

- Two exits for any space shall be provided where:
 - Occupant load exceeds 49 for A+M occupancies .
 - Occupant load exceeds 29 for S occupancies .
 - Occupant load exceeds 10 for R-1 occupancies .

- Common path of egress travel distance 75' per table 1006.2.1

Section 1011: Stairways

- Stairway width shall be per 1005.1 but not less than 44 inches.

Section 1013: Exit Signs

- Exits shall be marked with readily visible sign from any direction of egress travel. Sign placement shall be such that no point in an exit corridor or passageway is more than 100 feet from the nearest visible sign.
 - Signs are not required in rooms or areas that only require one exit.
 - Main exterior exit doors that are obviously and clearly identifiable as exits need not have exit signs where approved by the building official.

Section 1017: Exit Access Travel Distance

Travel distances shall not exceed values in Table 1017.2: 250' with sprinkler system.

Section 1028: Exit Discharge

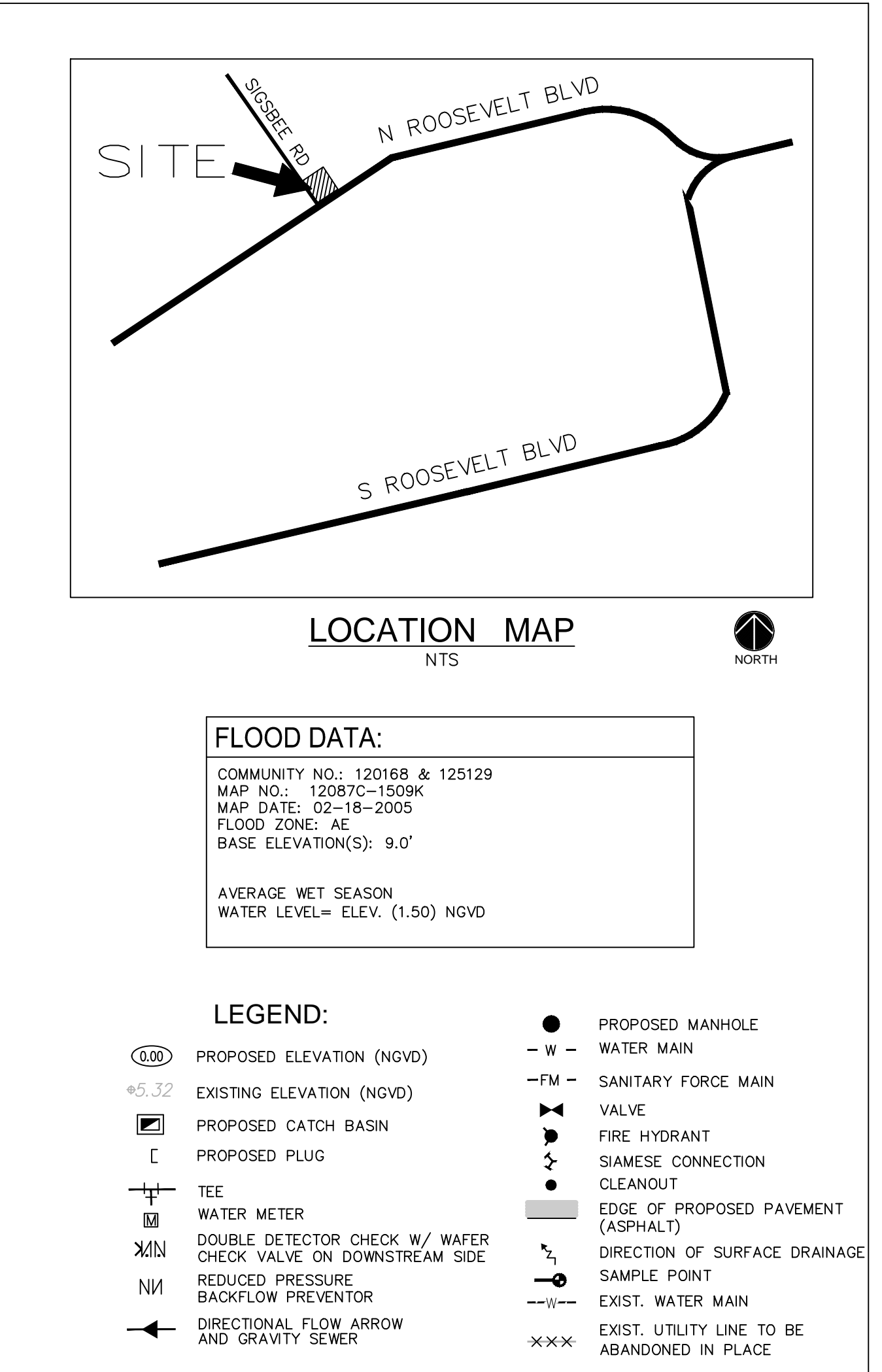
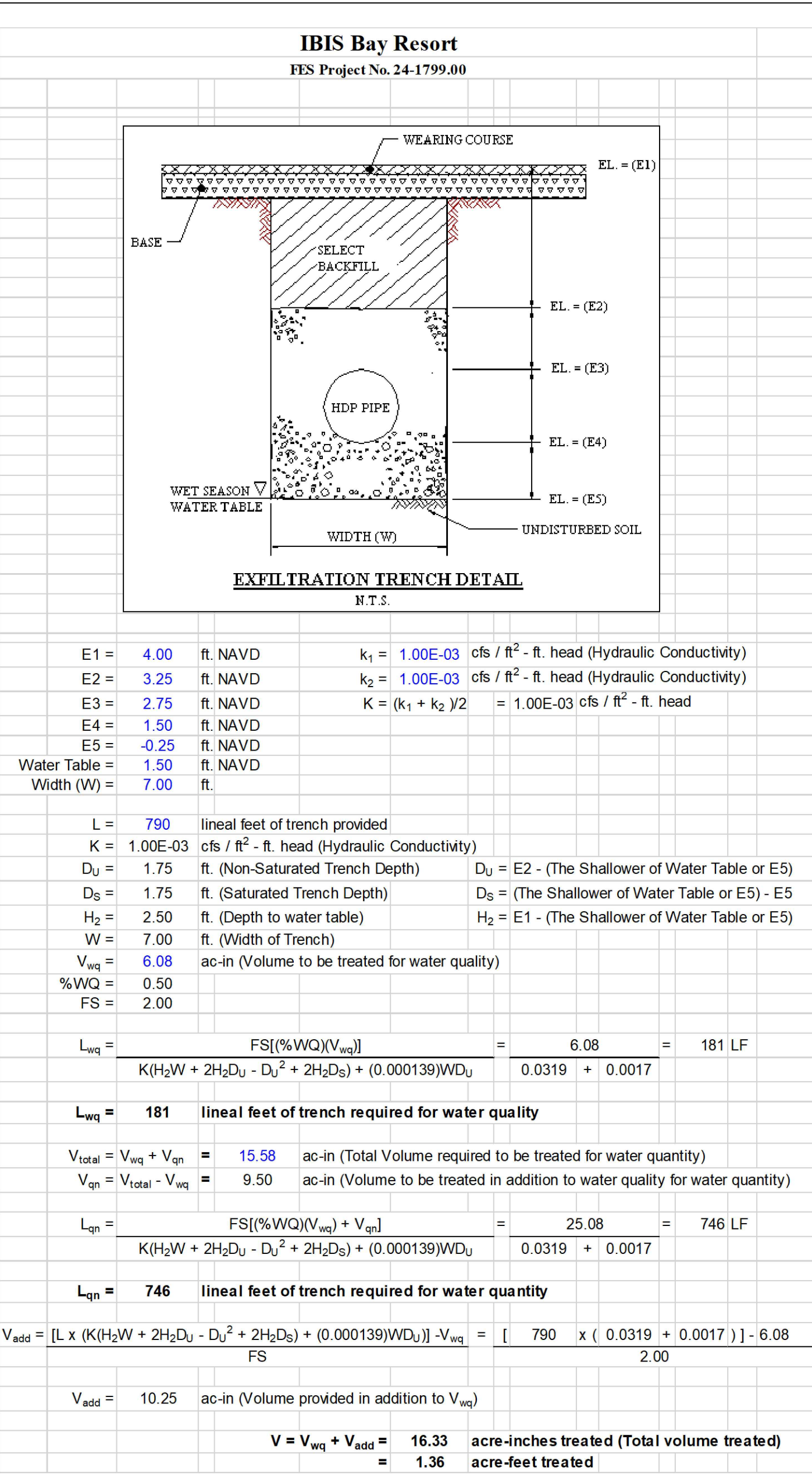
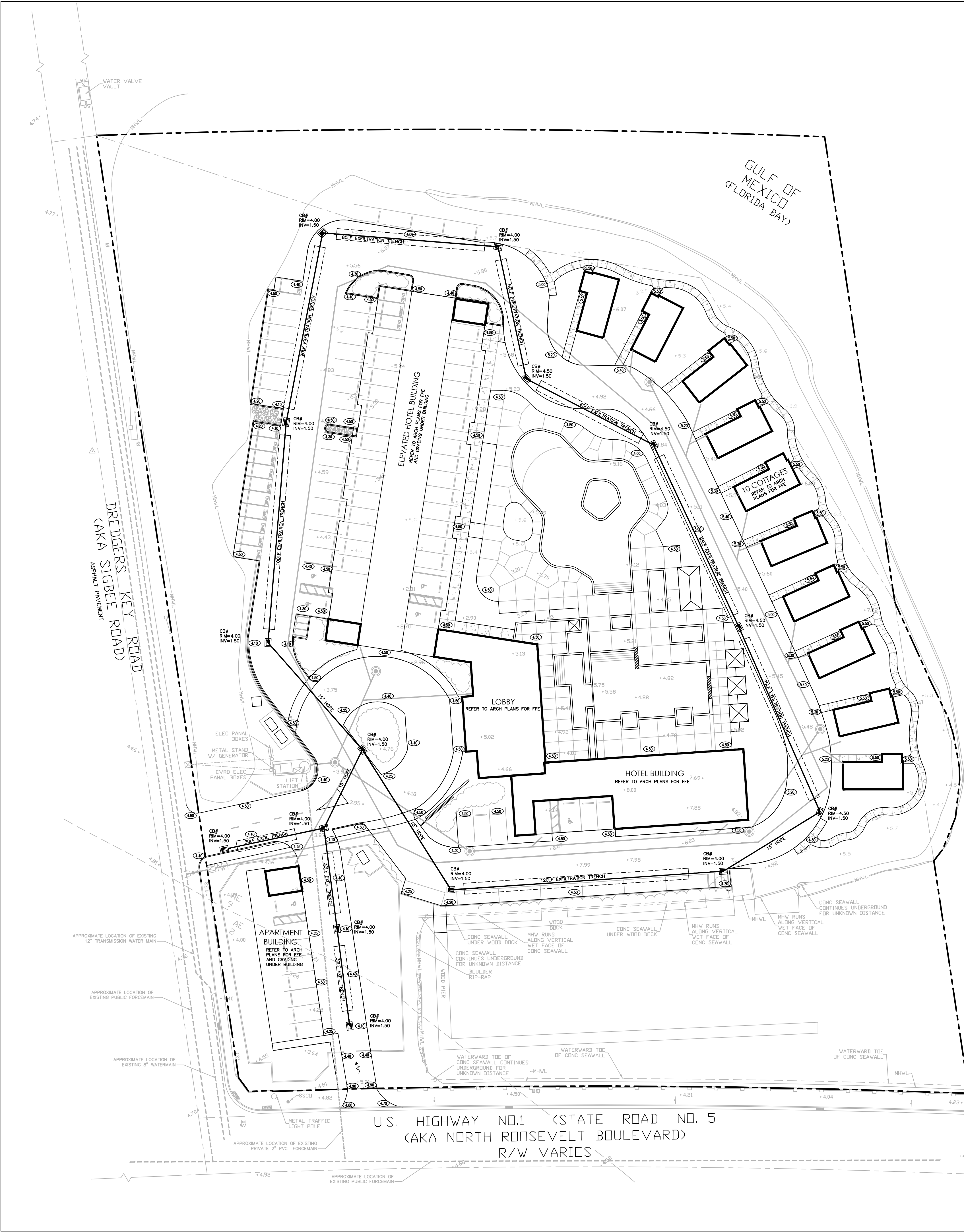
- Exits shall discharge directly to the exterior of the building.

OCCUPANCY ZONE LEGEND:

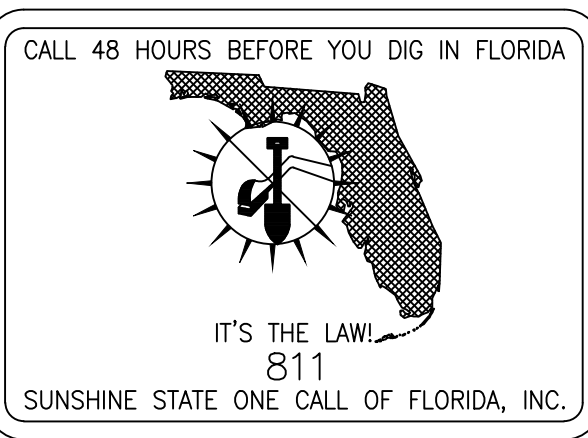
USE R-1	A1,A2,A3, A4,A5A6, A7,A8	RESIDENTIAL -200 GROSS
USE M	B1	MERCANTILE - 60 GROSS
USE A-2	C1,C2	ASSEMBLY UNCONSECRATED- 15 NET GROSS
USE S-2	D1	STORAGE S-2, STOCK, PARKING - 200 GROSS

LIFE SAFETY - OCCUPANCY CALCULATIONS

	ZONE	SF	OCCUPANCY
GROUND FLOOR	ZONE A1= 560.32 SF		= 10 PERSONS
	ZONE A2= 561.13 SF		= 3 PERSONS
	ZONE A3 = 3083.19 SF		= 40 PERSONS
	ZONE A4 = 356.93 X 10 SF = 3569.3 SF		= 40 PERSONS
	USE R-1 (A1+A2+A3+A4)	=7,773.54 SF	= 93 PERSONS
	ZONE B1	= 1096.02 SF	= 18 PERSONS
FIRST FLOOR	USE M	1096.02 SF	= 18 PERSONS
	ZONE C1	= 845.15 SF	= 48 PERSONS
	USE A-2	845.15 SF	= 48 PERSONS
	ZONE D1	= 11636.30 SF	= 58 PERSONS
	USE S-2	= 11636.30 SF	= 58 PERSONS
	GROUND FLOOR TOTAL OCCUPANCY USE R-1+ M + A-2 + S-2=	21251.41 SF	= 217 PERSONS
SECOND FLOOR	ZONE A5 = 6000.18 SF		= 30 PERSONS
	ZONE A6 = 10548.94 SF		= 90 PERSONS
	USE R-1	= 16549.12 SF	= 120 PERSONS
	ZONE A7 = 4062.66 SF		= 28 PERSONS
	ZONE A8 = 10549.16 SF		= 90 PERSONS
	USE R-1	= 14611.82 SF	= 118 PERSONS
TOTAL	ZONE C2 = 2620.71 SF		= 50 PERSONS
	USE A-2	2620.71 SF	= 50 PERSONS
	SECOND FLOOR TOTAL OCCUPANCY USE R-1 + A-2	17232.53 SF	= 168 PERSONS
	GROUND FLOOR	21251.41 SF	= 217 PERSONS
	FIRST FLOOR	16549.12 SF	= 120 PERSONS
	SECOND FLOOR	17232.53 SF	= 168 PERSONS
BUILDING TOTAL OCCUPANCY:	GROUND FLOOR	21251.41 SF	= 217 PERSONS
	FIRST FLOOR	16549.12 SF	= 120 PERSONS
TOTAL BUILDING OCCUPANCY	SECOND FLOOR	17232.53 SF	= 168 PERSONS
	BUILDING TOTAL OCCUPANCY:	55033.06 SF	= 505 PERSONS



- GRADING AND DRAINAGE NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF KEY WEST.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
 - ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
 - CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/FINISHED GRADE.
 - CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
 - LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
 - SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
 - RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG., DRIVE WAY, PROPERTY LINE, OR ROADWAY.
 - COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
 - CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.
 - SLOPE ON SIDEWALKS SHALL NOT EXCEED 5% SLOPE IN DIRECTION OF TRAVEL OR 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 - SLOPE IN HANDICAP PARKING AND ACCESS AISLES SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 - SURVEY INFORMATION BASED ON SURVEY PROVIDED BY FLORIDA KEYS LAND SURVEYING DATED 08/28/2023.
 - ELEVATIONS SHOWN ARE NGVD88.
 - FINAL RIM ELEVATIONS SHALL BE FIELD ADJUSTED TO MATCH SLOPE OF PROPOSED PAVEMENT.
 - ASPHALT PAVEMENT RESTORATION ON CITY RIGHT-OF-WAY MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR PAVING CONTRACTOR IN BROWARD COUNTY.



FLYNN ENGINEERING
241 COMMERICAL BLDG., LAUDERDALE-BY-THE-SEA, FL 33308
PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
E8F 6578

Sheet Title

CONCEPTUAL
PAVING, GRADING, &
DRAINAGE PLAN

Job Title

IBIS BAY WATERFRONT RESORT

3101 N ROOSEVELT BLVD
KEY WEST, FLORIDA 33040

Revisions

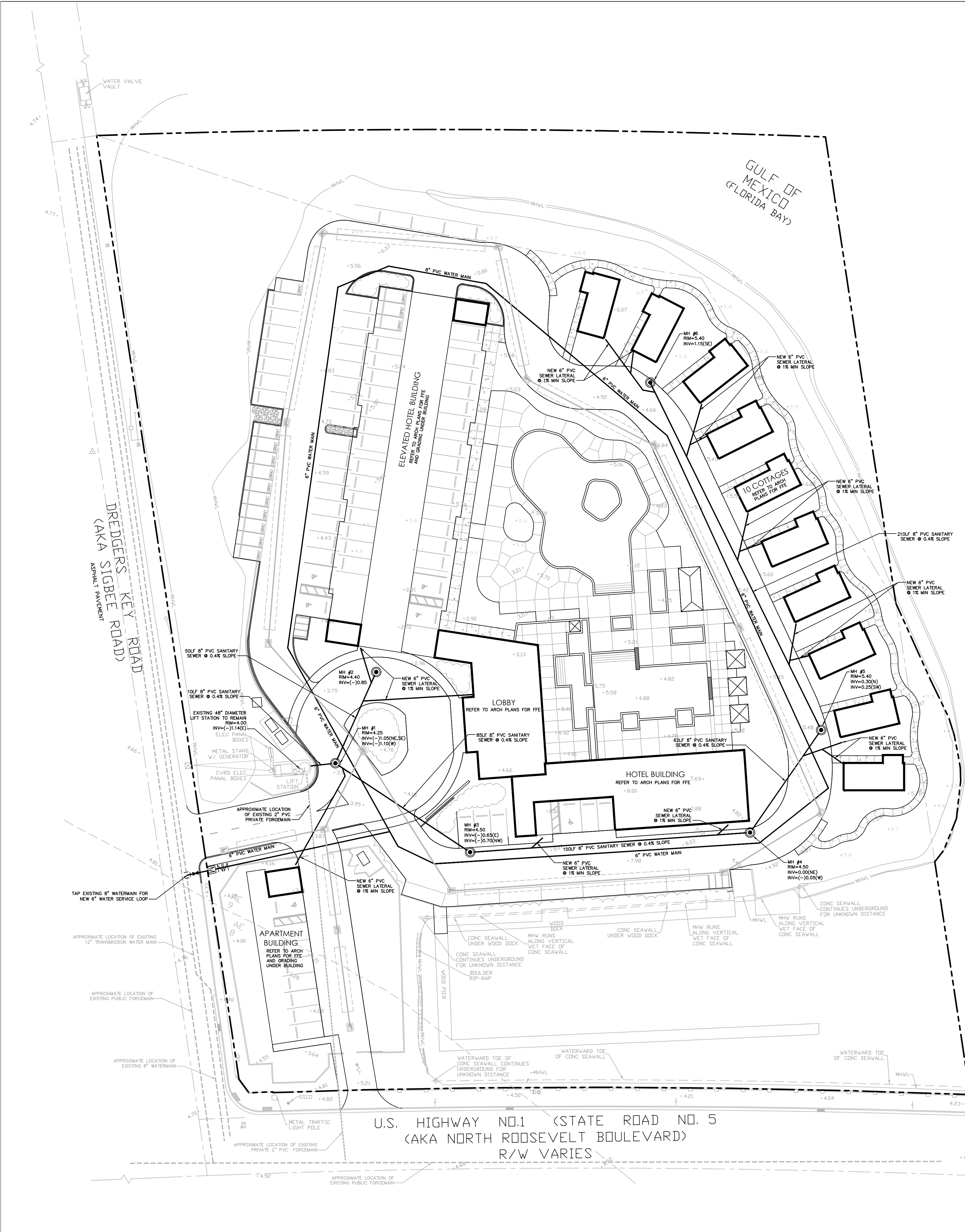
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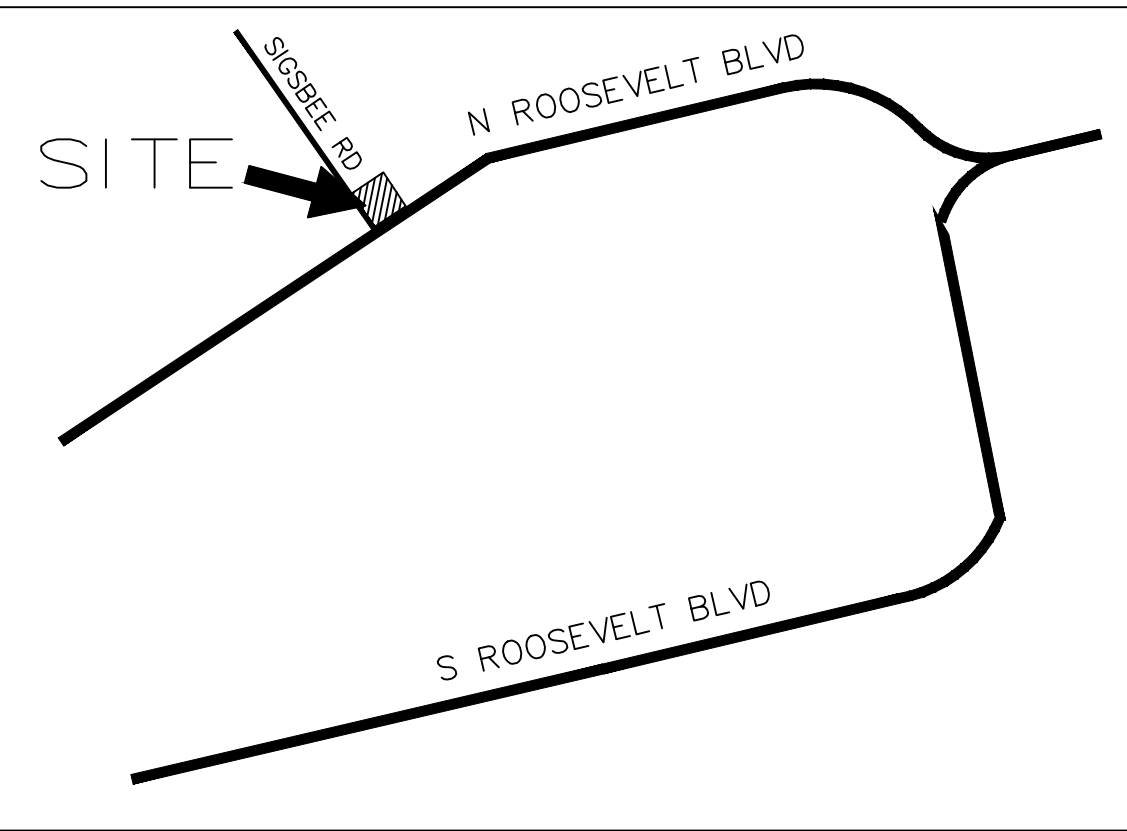
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Drawn by	Sheet No.
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Proj. Mgr.	
SHG	
Appr. by	1 of 2
SHG	



WATER AND SEWER NOTES:

1. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
2. CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
3. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
4. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
5. W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL OBSTRUCTIONS.
6. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE FDP, CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND FLYNN ENGINEERING SERVICES STANDARDS.
7. 18" VERTICAL CLEARANCE PREFERRED FOR ALL UTILITY CROSSINGS. MINIMUM OF 12" REQUIRED FOR WM-WM CROSSING AND WM-FM CROSSING. CONTRACTOR SHALL CALL 811 AND LOCATE UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WHERE ABLE. IF THE WATER MAIN MUST CROSS BELOW THE SEWER, A MINIMUM OF 12' SEPARATION SHALL BE PROVIDED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN SEWER AND WATER MAIN.
8. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE 'CAPPED OFF' AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
9. CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
10. CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
11. PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SIAMESE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
12. FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
13. STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
14. CORING INTO EXISTING MANHOLE MAY RESULT IN COMPLETE RECONSTRUCTION OF EXISTING MANHOLE AT CONTRACTOR'S EXPENSE IF MANHOLE IS IN A DETERIORATED CONDITION.
- *15. ON-SITE MANHOLES TO HAVE STANDARD SANITARY SEWER USF 420 COVER.
16. THE MINIMUM COVER DEPTHS FOR PVC AND DIP SEWER MAINS ARE RESPECTIVELY 36 INCHES AND 30 INCHES.
17. EXFILTRATION TESTING AND LAMPING OF THE GRAVITY SEWER SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE PROJECT.
18. ALL WATER AND SEWER WORK IN THE PUBLIC RIGHT-OF-WAY, PRIVATE THOROUGHFARES OR UTILITY EASEMENT MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR CERTIFIED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR.
19. FINAL SEWER MANHOLE RIM ELEVATIONS SHALL BE ADJUSTED TO MATCH FINAL PAVEMENT ELEVATIONS AND MATCH PAVEMENT SLOPE AS APPLICABLE.



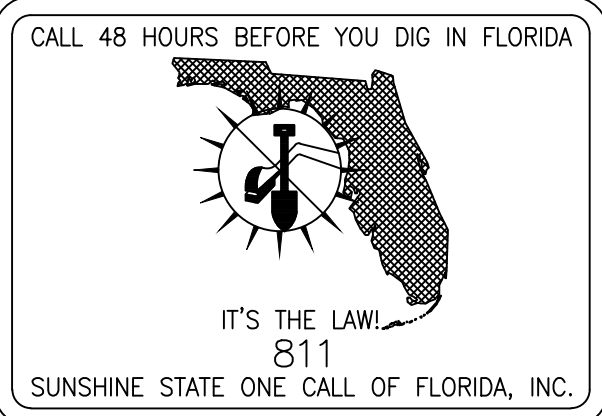
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COMMUNITY NO.: 120168 & 125129
MAP NO.: 12087C-1509K
MAP DATE: 02-18-2005
FLOOD ZONE: AE
BASE ELEVATION(S): 9.0'

AVERAGE WET SEASON
WATER LEVEL= ELEV. (1.50) NGVD

LEGEND:

- | | | | |
|-------|--|--------|--|
| 0.00 | PROPOSED ELEVATION (NGVD) | ● | PROPOSED MANHOLE |
| +5.32 | EXISTING ELEVATION (NGVD) | - W - | WATER MAIN |
| [] | PROPOSED CATCH BASIN | - FM - | SANITARY FORCE MAIN |
| [] | PROPOSED PLUG | ⋈ | VALVE |
| + | TEE | ⋈ | FIRE HYDRANT |
| + | WATER METER | ⋈ | SIAMESE CONNECTION |
| + | DOUBLE DETECTOR CHECK W/ WAFER | ⋈ | CLEANOUT |
| + | CHECK VALVE ON DOWNSIDE | ⋈ | EDGE OF PROPOSED PAVEMENT (ASPHALT) |
| + | REDUCED PRESSURE BACKFLOW PREVENTOR | ⋈ | DIRECTION OF SURFACE DRAINAGE |
| + | DIRECTIONAL FLOW ARROW AND GRAVITY SEWER | ⋈ | SAMPLE POINT |
| | | ⋈ | EXIST. WATER MAIN |
| | | ⋈ | EXIST. UTILITY LINE TO BE ABANDONED IN PLACE |



Revisions	
1	
2	
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Phase:
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DOCUMENTS

SEAL

Scale:	Date
1"=30'	08/09/24
Job No.	Plat Date
24-1799.00	08/09/24
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SHG	C2
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Appr. by	2 of 2
SHG	

PROJECT
BIS BAY
WATERFRONT RESORT
KEY WEST, FL 33040

OWNER

CONSULTANTS

REGISTRATION

SUED FOR: _____

[illegible]

PROJECT NUMBER 23.01

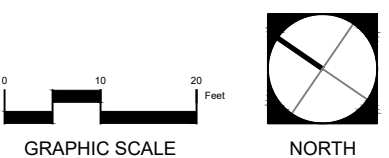
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SCALE: SCALE: 1"=20'-0"

RAWN BY: _____ IM _____

CHECKED BY: _____ KO

DRAWING SCALE AND NORTH ARROW



SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER

3.00

U.S. HIGHWAY NO.1 (STATE ROAD NO. 5
(AKA NORTH ROOSEVELT BOULEVARD)
R/W VARIES
ASPHALT PAVEMENT

ASPHALT PAVEMENT

SIGSBEE RD.

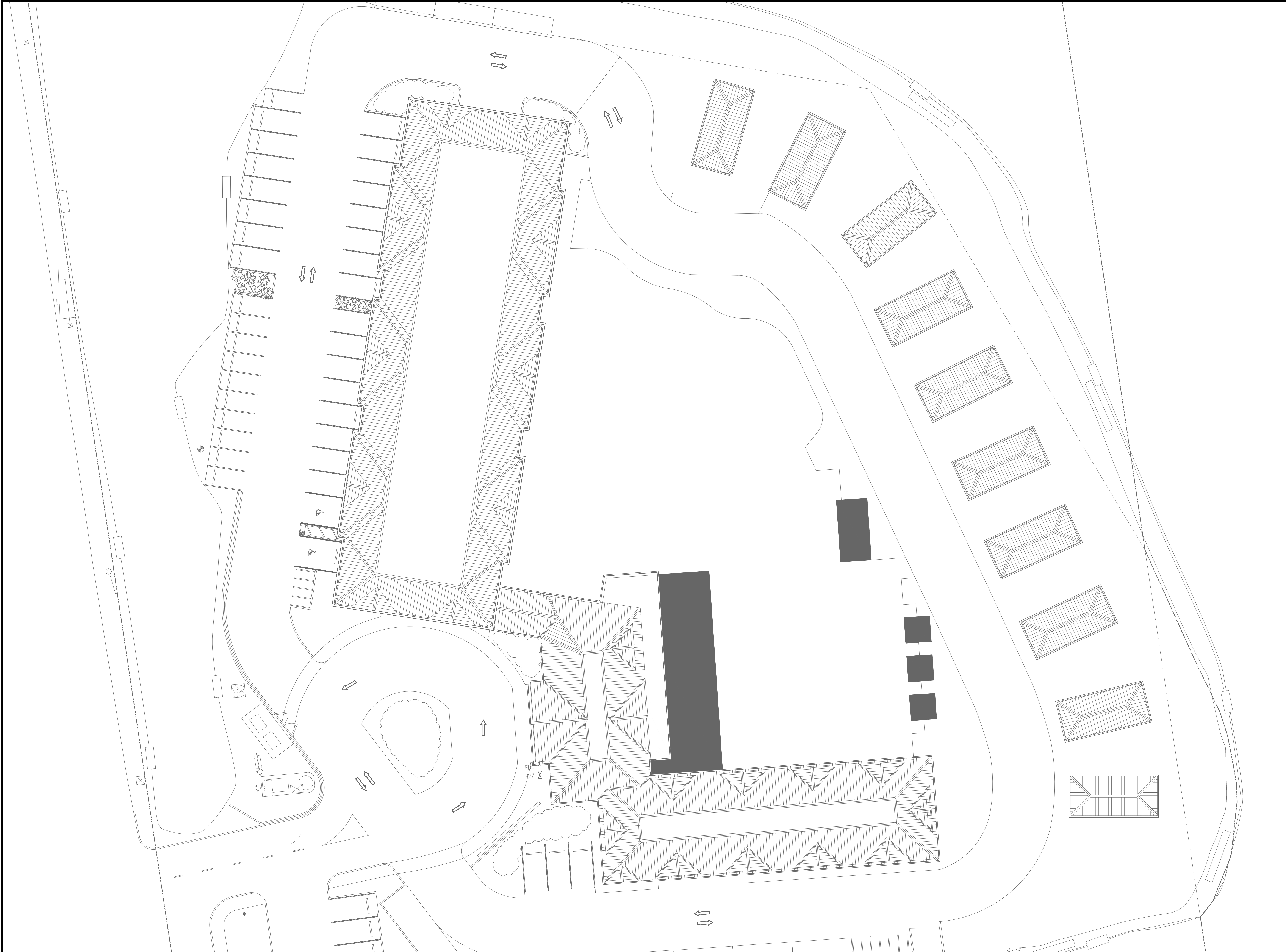
**NOT FOR
CONSTRUCTION**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SIZE	NATIVE/NON-NATIVE	
TREES							
	AM3	1	ADONIDIA MERRILLII / CHRISTMAS PALM	F.G.	12'-14' HT., TRIPLE	NATIVE	
	BS-65	21	BURSERA SIMARUBA / GUMBO LIMBO	65 GAL.	14'-16' HT., 4" CAL	NATIVE	
	CD-45	6	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	45 GAL.	SINGLE, STD. 12' HT.	NATIVE	
	X-CN	39	COCOS NUCIFERA / COCONUT PALM	EXISTING TO REMAIN	EXISTING TO REMAIN	NATIVE	
	CN	105	COCOS NUCIFERA / COCONUT PALM	F.G.	SEE PLAN FOR C.T. HT.	NATIVE	
	CS2	1	CONOCARPUS ERECTUS SERICEUS / SILVER BUTTONWOOD	65 GAL.	SINGLE LEADER, STD, 14' HT, 6" CT., 2.5" CAL	NATIVE	
	CS	8	CORDIA SEBESTENA / ORANGE GEIGER TREE	F.G.	12' MIN HT. X 6' SPRD, 6' CT., 3" CAL.	NON-NATIVE	
	DR	4	DELONIX REGIA / ROYAL POINCIANA	F.G.	14'-16' HT X 7' SPRD	NON-NATIVE	
	DC-45	3	DYPSIS CABADAE / CABADA PALM	45 GAL.	10'-12' HT. X 5'-6' SPRD., 6' CT., 3" MIN CAL., SINGLE LEADER	NON-NATIVE	
	PM	3	PHOENIX DACTYLIFERA 'MEDJOOL' / MEDJOOL DATE PALM	FG	STD. SPECIMEN	NON-NATIVE	
	RE	24	ROYSTONEA ELATA / FLORIDA ROYAL PALM	F.G.	14' GW; SPECIMEN	NATIVE	
	SM-65	12	SWIETENIA MAHAGONI / MAHOGANY	65 GAL.	14'-16' HT., 3" CAL.	NATIVE	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	NATIVE/NON-NATIVE	SPACING
SHRUB AREAS							
		5,715 SF	SCREENING SHRUBS				
	CS2	1,454	CONOCARPUS ERECTUS SERICEUS / SILVER BUTTONWOOD	65 GAL.	SINGLE LEADER, STD, 14' HT, 6" CT., 2.5" CAL	NATIVE	33% @ 14' o.c.
	GL	11,402	GYMNANTHES LUCIDA / CRABWOOD	25 GAL.	6' HT	NATIVE	33% @ 5' o.c.
	CA-15	18,172	CLUSIA ROSEA / AUTOGRAPH TREE	15 GAL.	4'-5' HT	NATIVE	34% @ 4" o.c.
		10,760 SF	SHRUBS AND GROUNDCOVERS				
	MF-45	4,472	MYRCIANTHES FRAGRANS / SIMPSON'S STOPPER	45 GAL.	MULTI, 6' HT MIN. FULL	NATIVE	10% @ 6' o.c.
	EF-15	10,062	EUGENIA FOETIDA / SPANISH STOPPER	15 GAL.	6' HT. MIN., FULL	NATIVE	10% @ 4" o.c.
	HR-7	40,254	HIBISCUS ROSA-SINENSIS / CHINESE HIBISCUS	7 GAL.	3' HT. FTG	NON-NATIVE	10% @ 2" o.c.
	IN-3	25,762	IXORA X 'NORA GRANT' / IXORA 'NORA GRANT	3 GAL.	18"-24" OA	NON-NATIVE	10% @ 2.5" o.c.
	PH-3	25,762	PHILODENDRON BIPINNATIFIDUM / CUT LEAF PHILODENDRON	3 GAL.	18"-24" OA	NON-NATIVE	10% @ 2.5" o.c.
	CI-3	278	CHRYSOBALANUS ICACO / COCO PLUM	3 GAL.	24" OA, MIN.	NATIVE	10% @ 24" o.c.
	FG-3	278	FICUS MICROCARPA 'GREEN ISLAND' / GREEN ISLAND FICUS	3 GAL.	18"-24" OA	NATIVE	10% @ 24" o.c.
	MS-3	278	MICROSORUM SCOLOPENDRIA / WART FERN	3 GAL.	FULL IN POT	NON-NATIVE	10% @ 24" o.c.
	PN-3	124	PSYCHOTRIA NERVOSEA / WILD COFFEE	3 GAL.	FULL IN POT	NATIVE	10% @ 36" o.c.
	SB-3	124	SPARTINA BAKERI / SAND CORD GRASS	3 GAL.	24"-30" OA, FULL	NATIVE	10% @ 36" o.c.
		6,172 SF	ACCENT SHRUBS AND GROUNDCOVERS				
	AS-1	314	ARACHNIODES SIMPLICIOR / INDIAN HOLLY FERN	1 GAL.	FULL IN POT	NON-NATIVE	11% @ 18" o.c.
	AD-1	314	ASPARAGUS DENSIFLORUS 'MYERS' / FOXTAIL FERN	1 GAL.	FULL IN POT	NON-NATIVE	11% @ 18" o.c.
	AT-1	314	ASPLENIUM TRICHOMANES / MAIDENHAIR SPLEENWORT	1 GAL.	FULL	NATIVE	11% @ 18" o.c.
	EL-1	314	ERNODEA LITTORALIS / GOLDEN CREEPER	1 GAL.	10"-14" HT. X 5-7 PPP	NON-NATIVE	11% @ 18" o.c.
	FP-1	707	FICUS PUMILA / CREEPING FIG	1 GAL.	FULL IN POT	NATIVE	11% @ 12" o.c.
	IV-3	107	IRIS VERSICOLOR / BLUE FLAG	3 GAL.	24", FULL	NATIVE	11% @ 30" o.c.
	LP-1	314	LANTANA MONTEVIDENSIS / PURPLE TRAILING LANTANA	1 GAL.	6"HT X 12"-14" SPRD	NATIVE	11% @ 18" o.c.
	LM-1	314	LIRIOPE MUSCARI 'BIG BLUE' / LIRIOPE	1 GAL.	10"-14" HT. X 5-7 PPP	NON-NATIVE	11% @ 18" o.c.
	OJ-1	1,728	OPHIOPOGON JAPONICUS / MONDO GRASS	1 GAL.	FULL IN POT	NON-NATIVE	12% @ 8" o.c.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE			SPACING
GROUND CO							

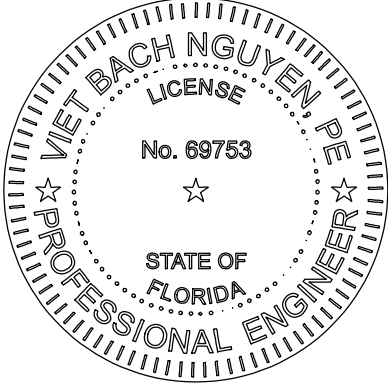
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**NOT FOR
CONSTRUCTION**



bach design engineers
MEP-FP ENGINEERING CONSULTANTS
5130 N. Federal Hwy, Suite 1
Ft. Lauderdale, FL 33308
P: 954-533-5774
bach@bachengineers.com
CA#28826



VIET BACH NGUYEN
FLORIDA P.E. #69753

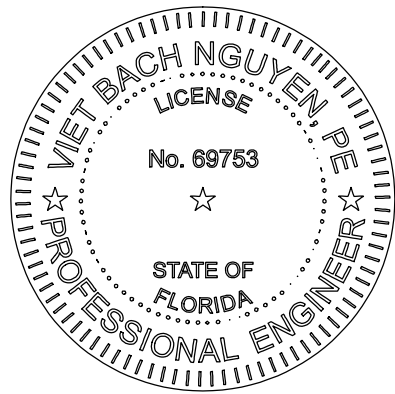
**IBIS BAY WATERFRONT
RESORT**
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS		
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
**MECHANICAL SITE
PLAN**

SHEET No:
M-1.0



VIET BACH NGUYEN
FLORIDA P.E. #69753

IBIS BAY WATERFRONT
RESORT
3101 NORTH ROOSEVELT BLVD.,
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REVISIONS

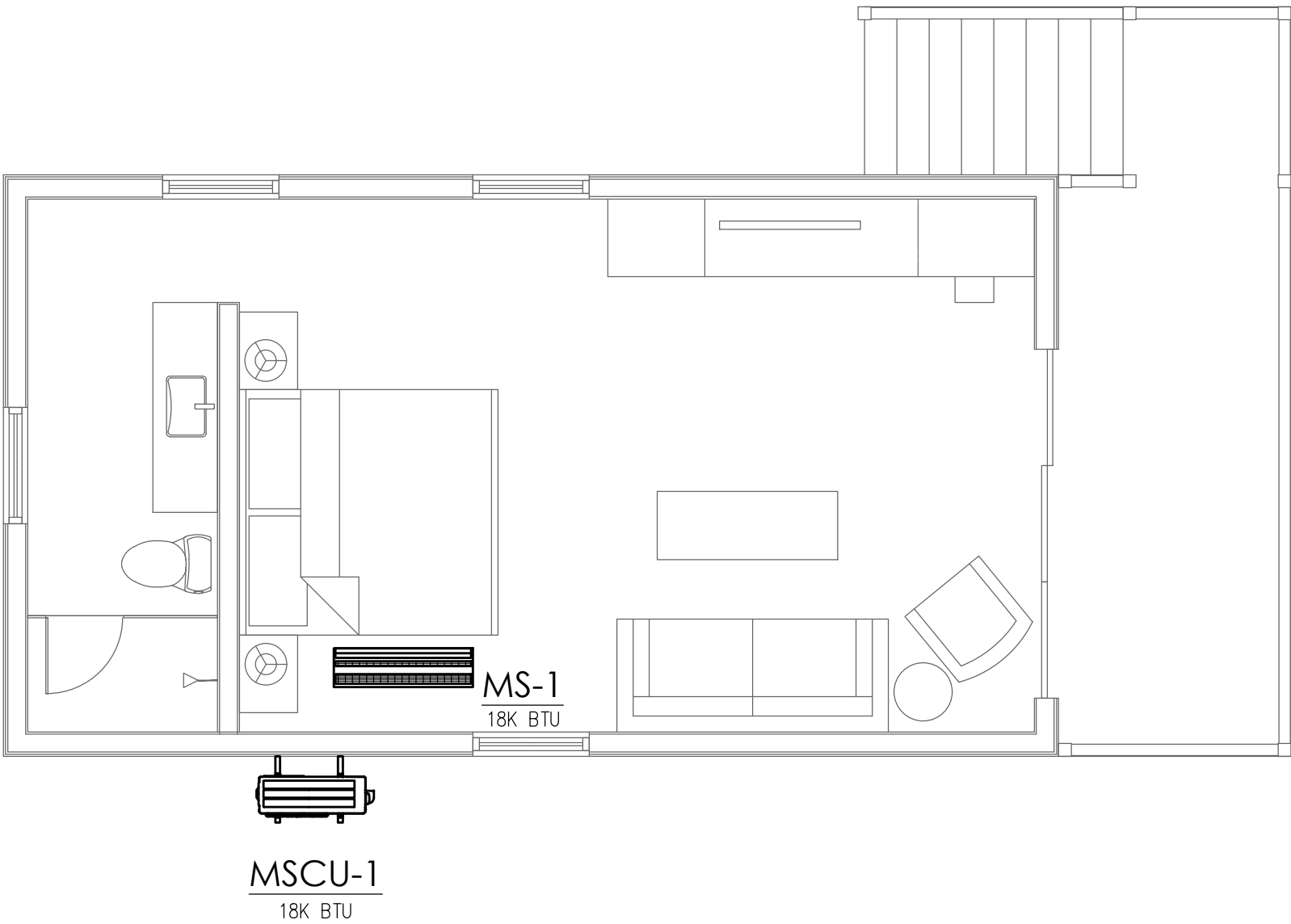
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PROJECT No: 121324
DATE:

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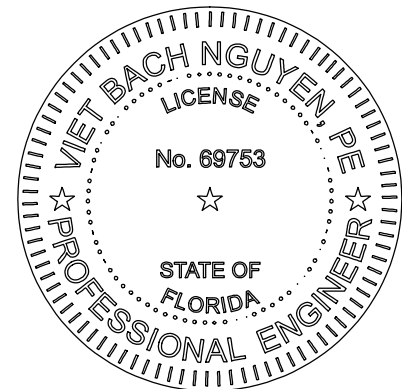
SHEET No:

M-2.0



MECHANICAL FLOOR PLAN

scale: 1/4" = 1'-0"



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FLORIDA P.E. #69753

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RESORT
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

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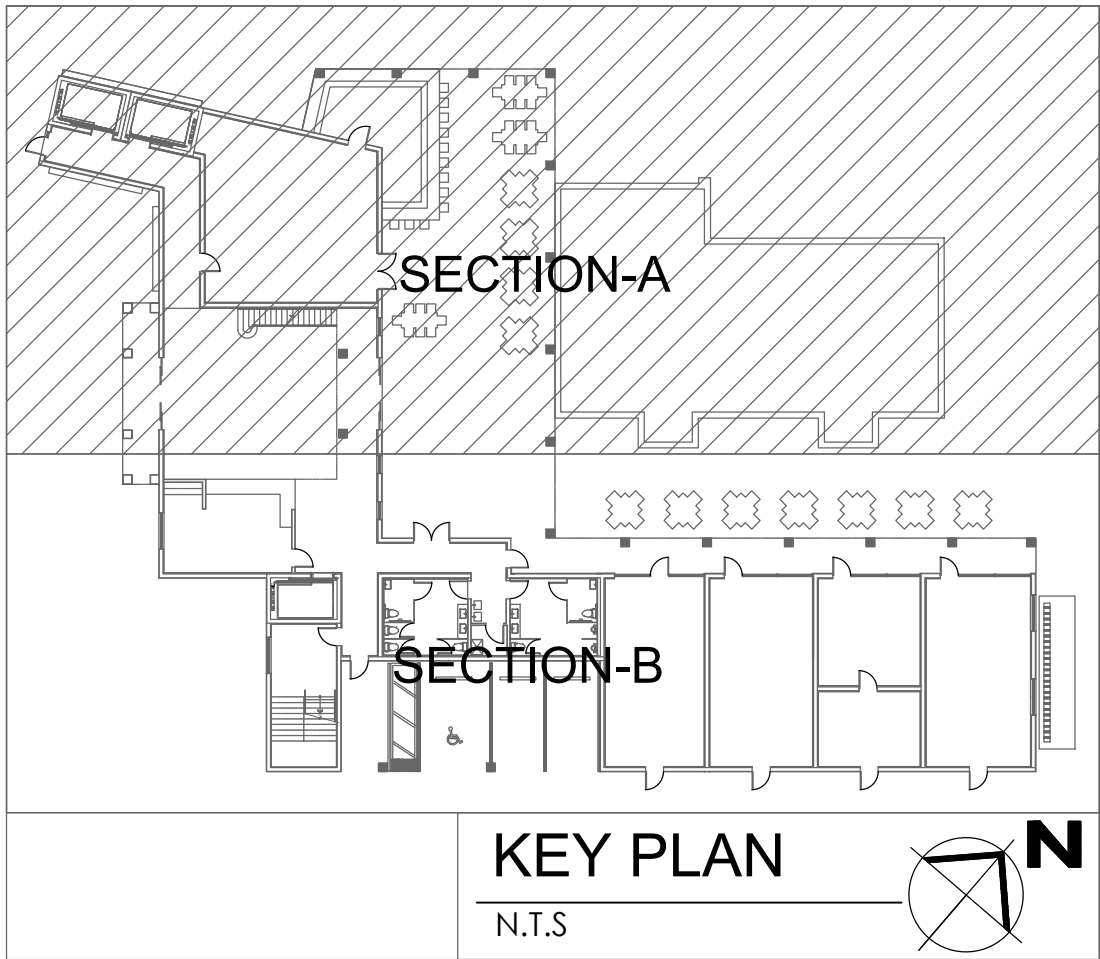
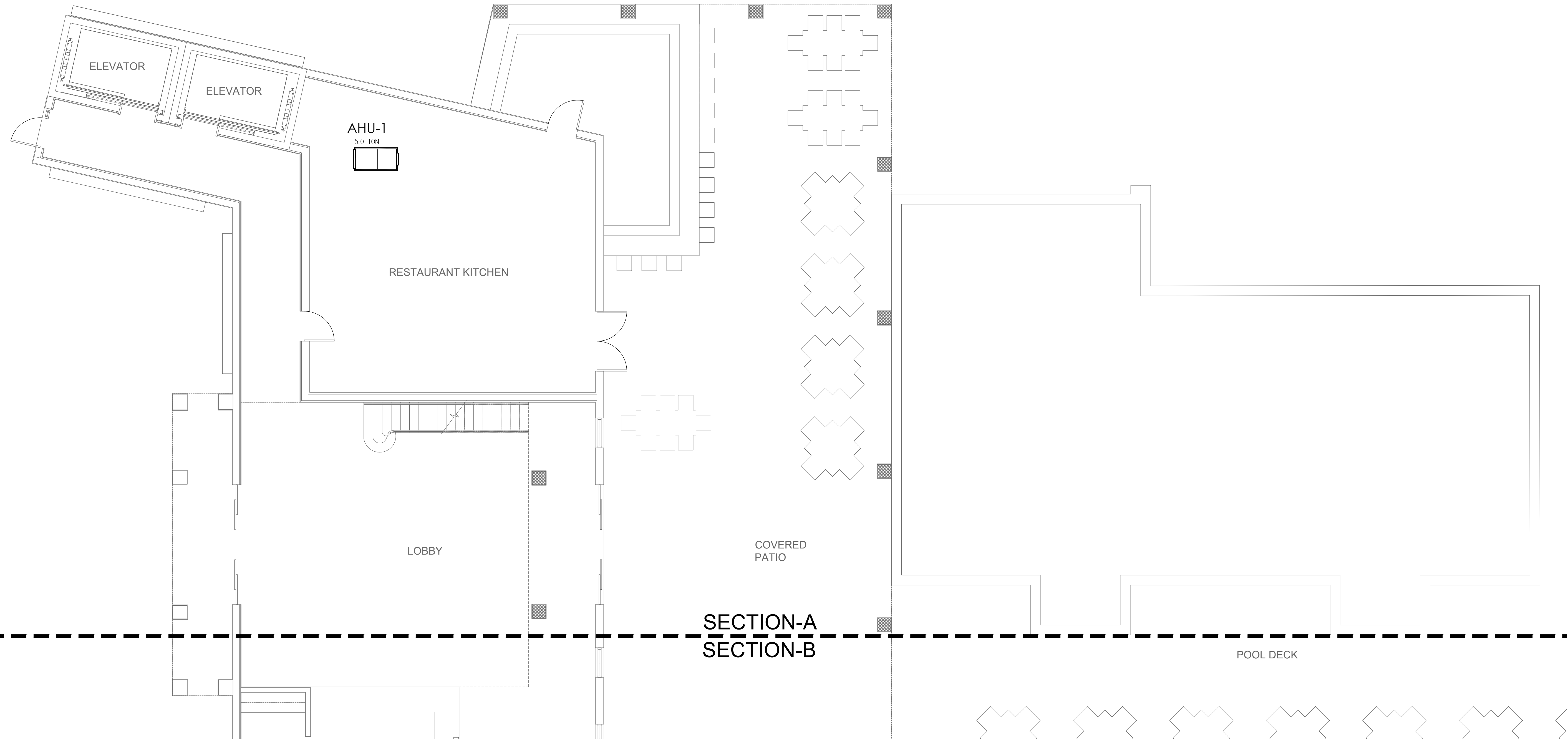
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
MECHANICAL GROUND
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LOBBY BUILDING
(SECTION-A)

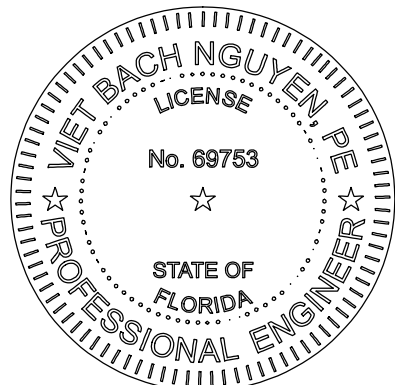
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M-3.0



MECHANICAL GROUND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)
scale: 3/16" = 1'-0"





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FLORIDA P.E. #69753

IBIS BAY WATERFRONT
RESORT
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS

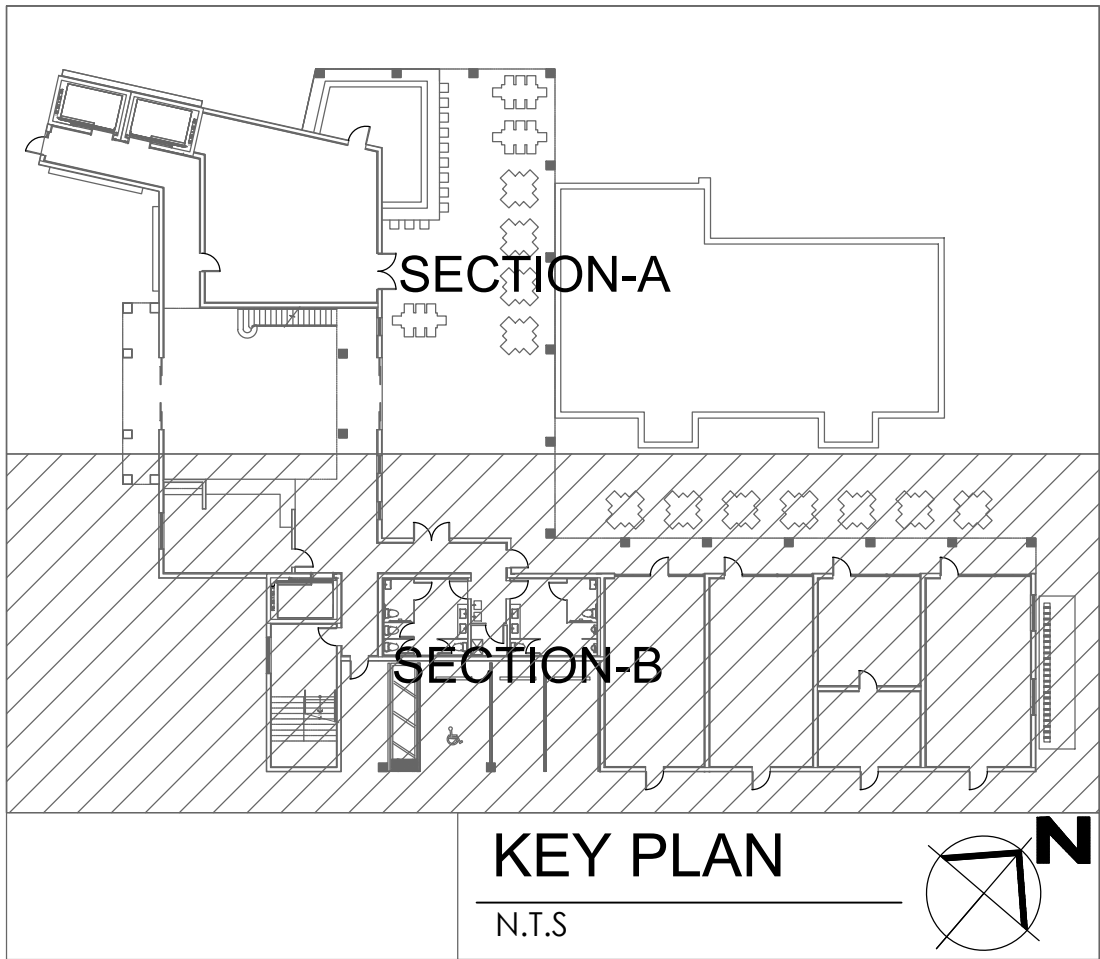
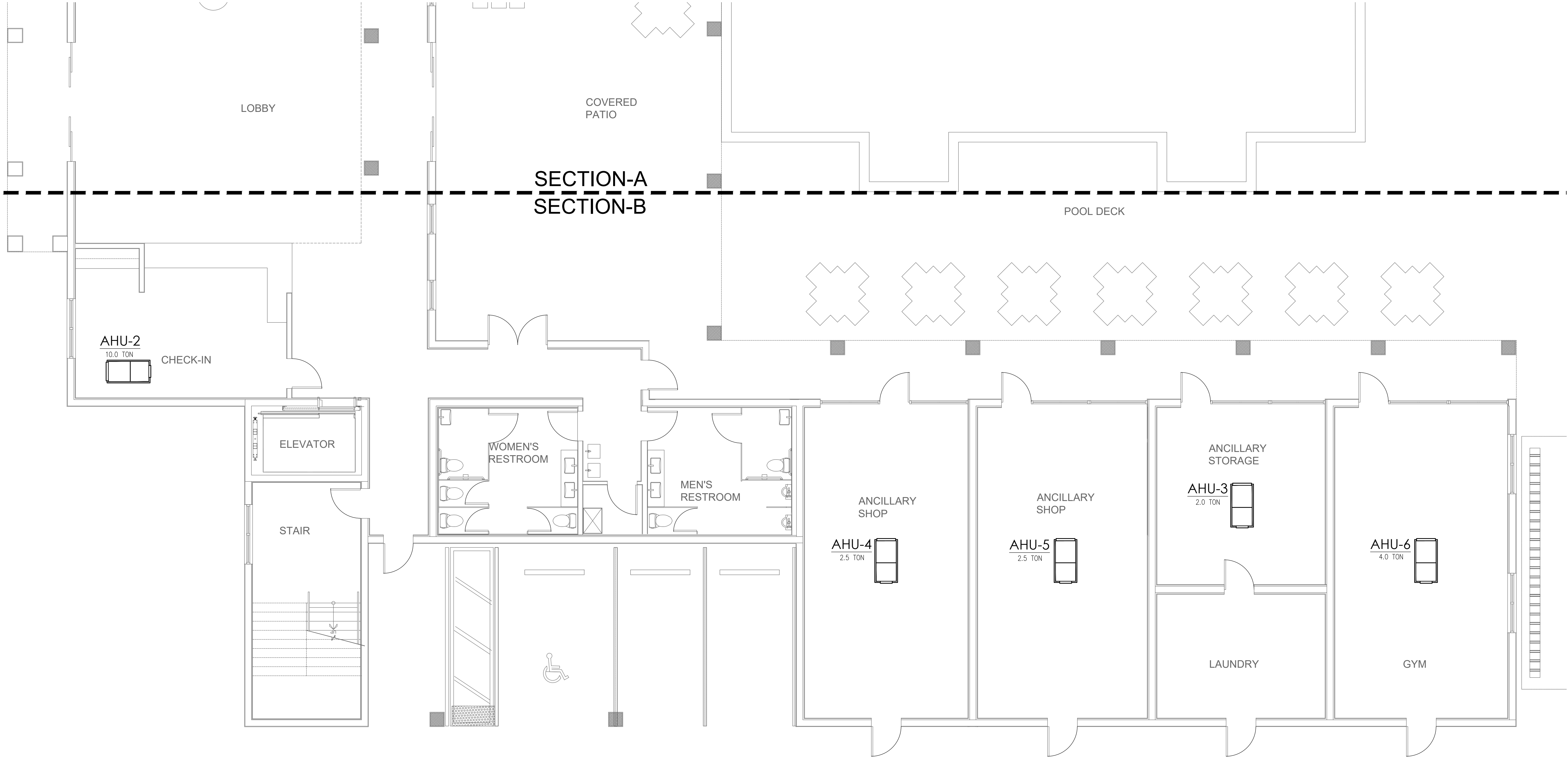
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PROJECT No: 121324
DATE:

SHEET TITLE:
MECHANICAL
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HOTEL LOBBY BUILDING
(SECTION-B)

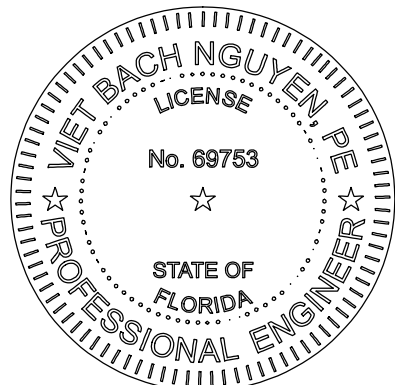
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M-3.1



MECHANICAL GROUND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)
scale: 3/16" = 1'-0"





VIET BACH NGUYEN
FLORIDA P.E. #69753

IBIS BAY WATERFRONT
RESORT
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

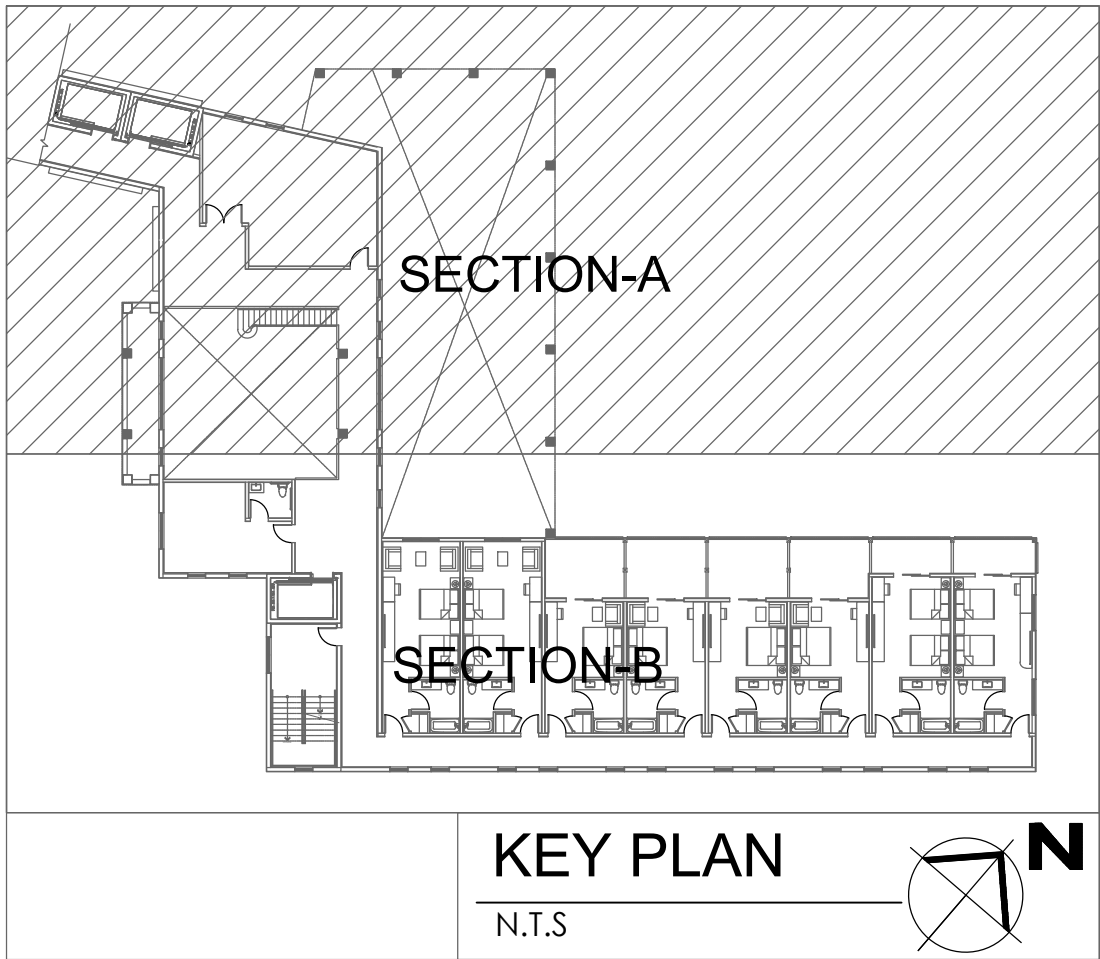
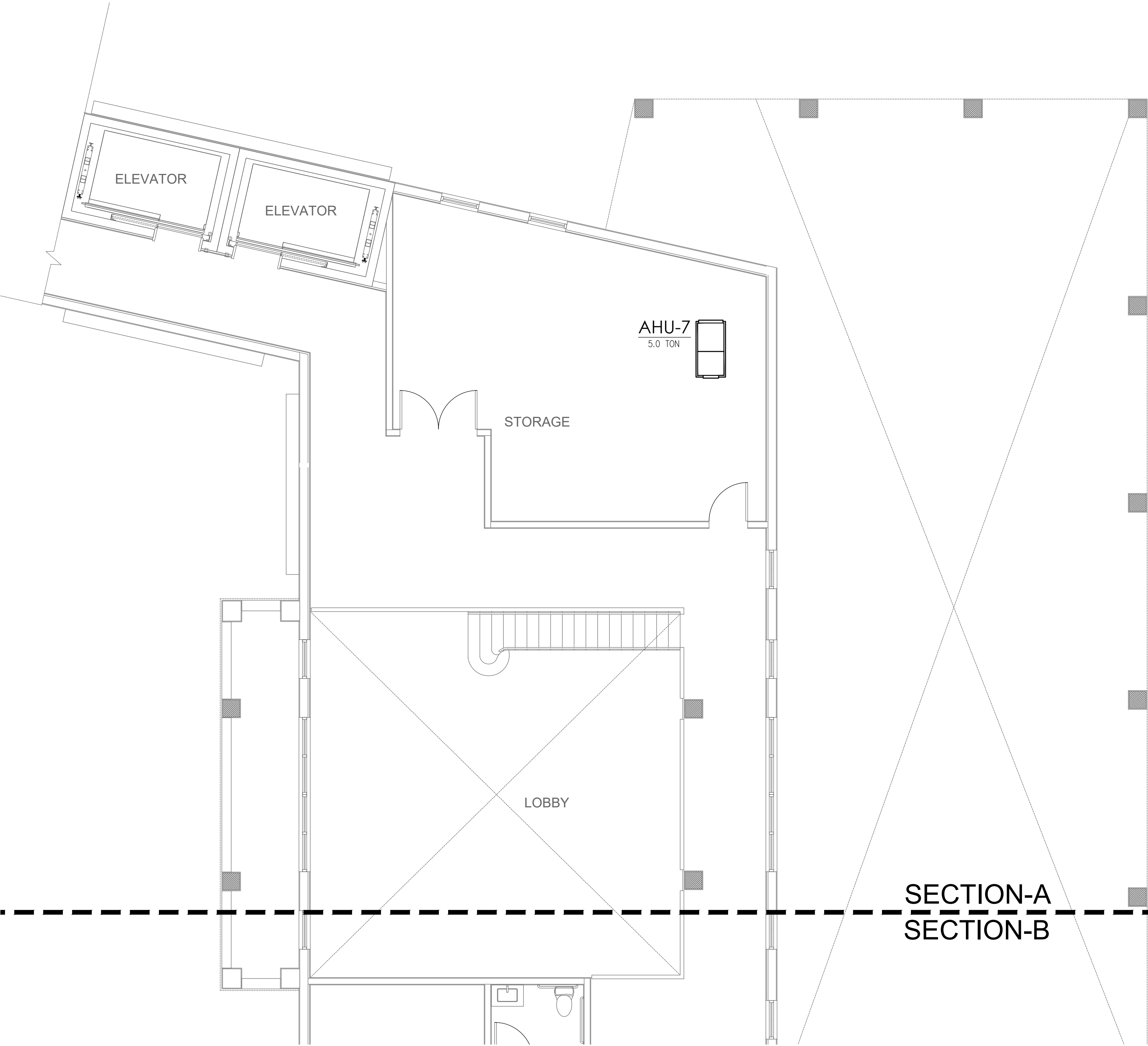
REVISIONS

No.	Description	Date

PROJECT No: 121324
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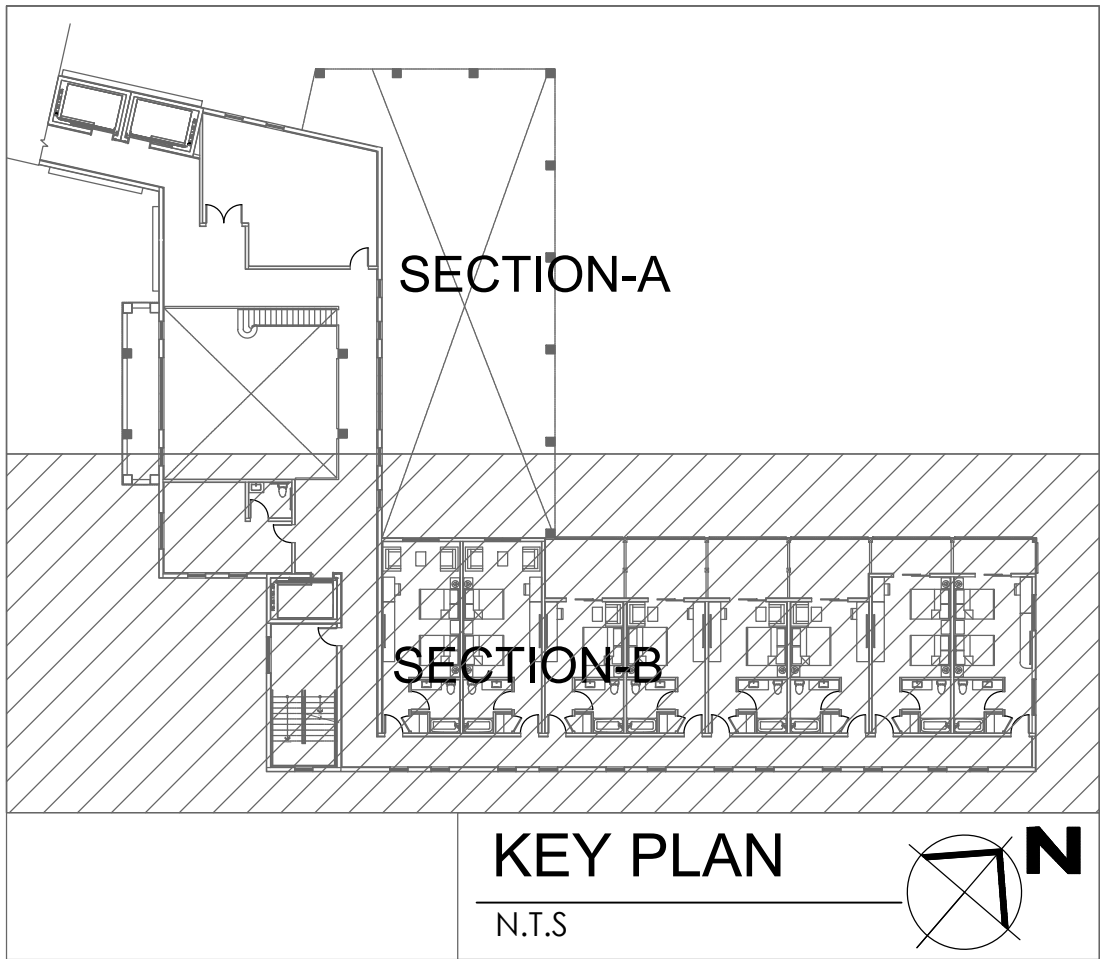
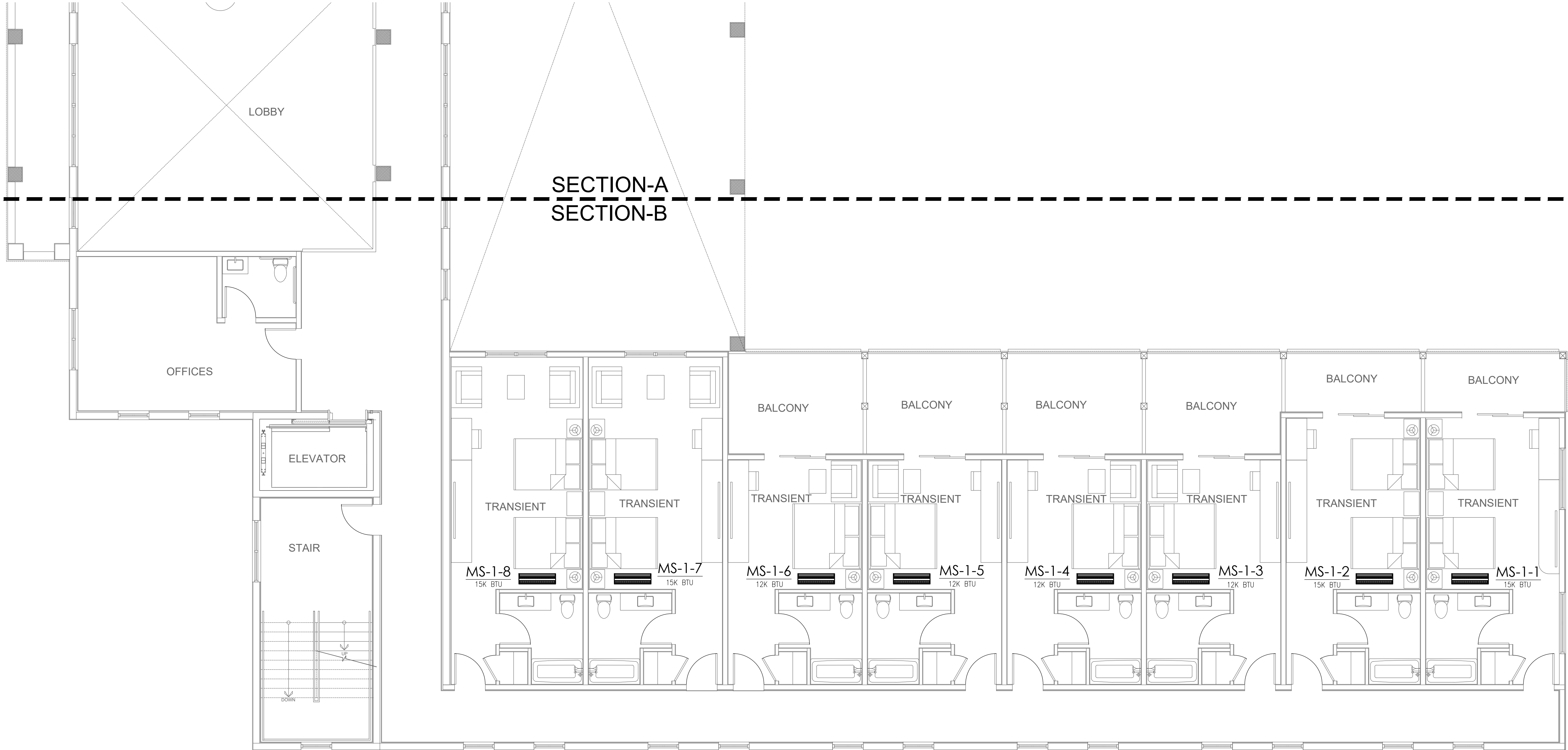
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MECHANICAL FIRST
FLOOR PLAN - HOTEL
LOBBY BUILDING
(SECTION-A)

SHEET No:
M-3.2

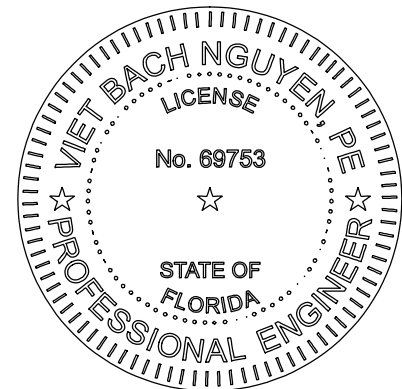
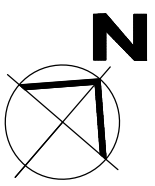


MECHANICAL FIRST FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)
scale: 3/16" = 1'-0"





MECHANICAL FIRST FLOOR PLAN - HOTEL LOBBY BUILDING (**SECTION-B**)
scale: 3/16" = 1'-0"



VIET BACH NGUYEN
FLORIDA P.E. #69753

**IBIS BAY WATERFRONT
RESORT**
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS

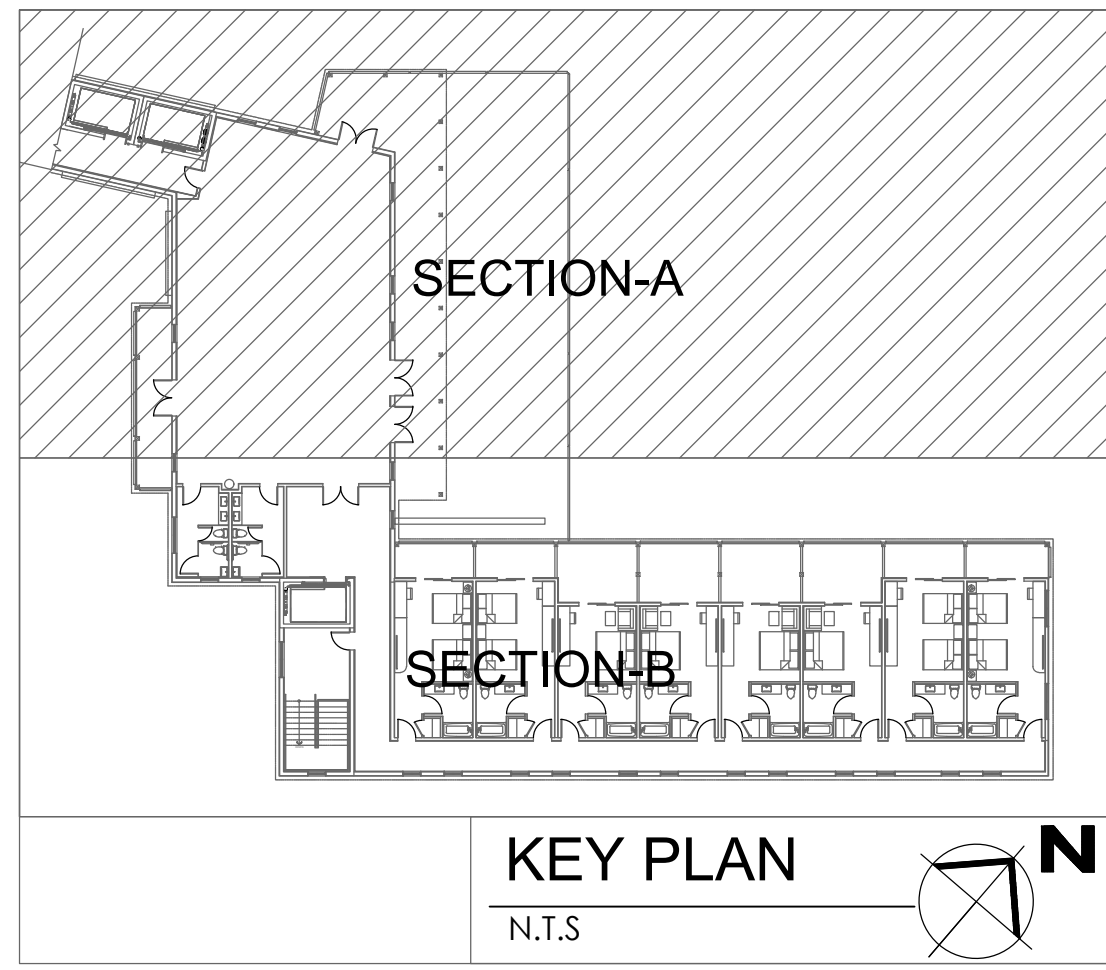
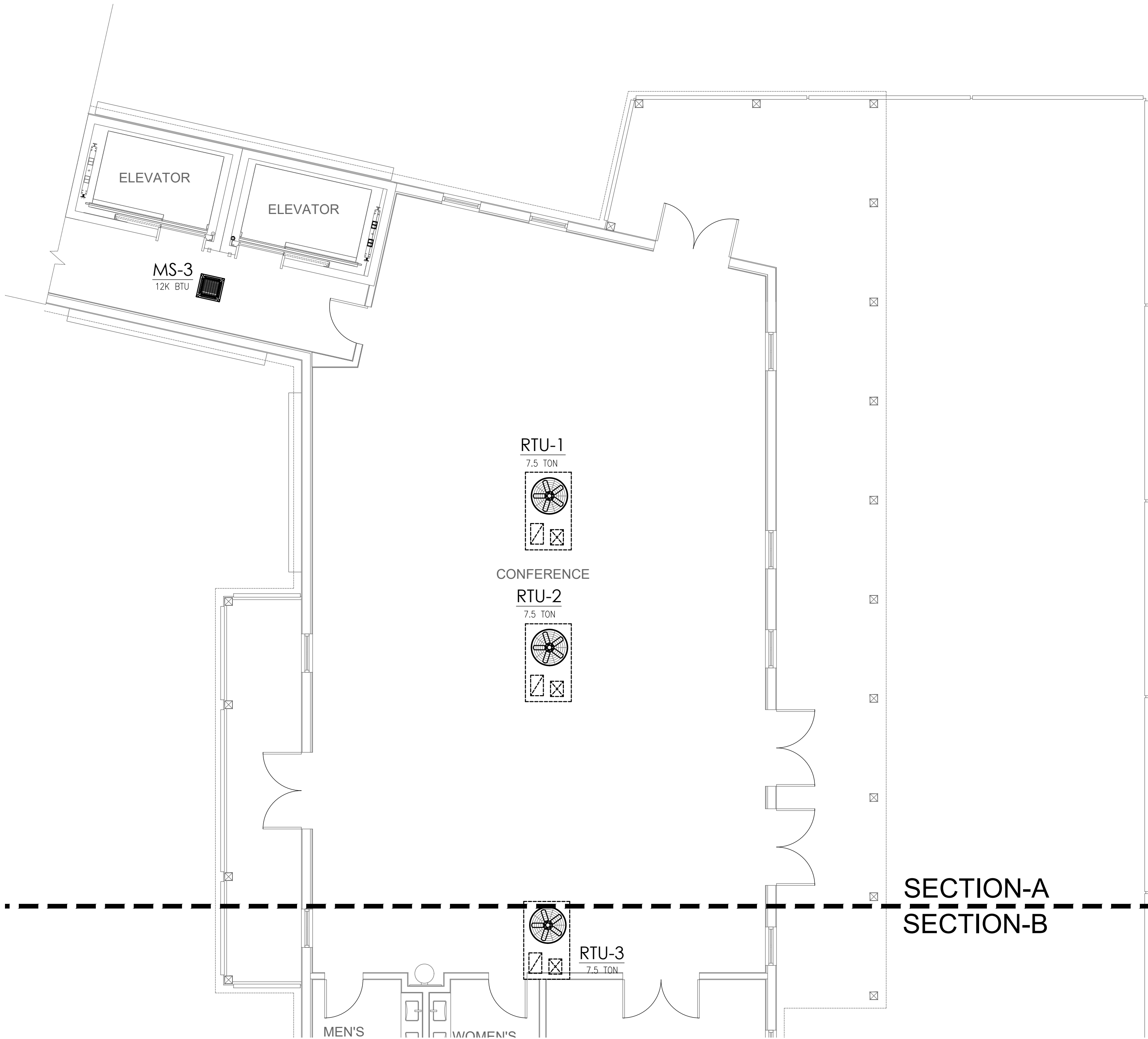
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PROJECT No: 121324
DATE:

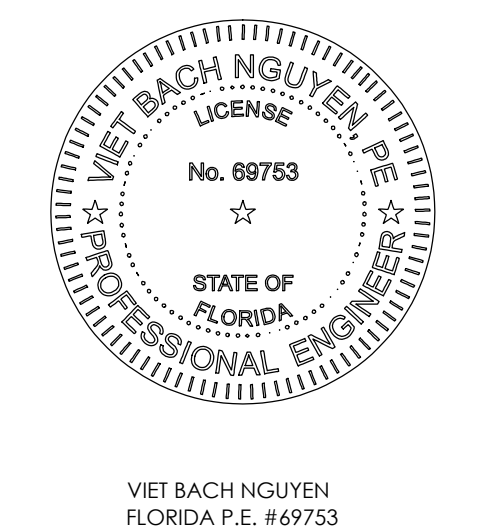
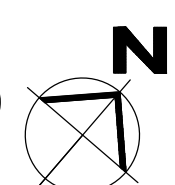
SHEET TITLE:
**MECHANICAL FIRST
FLOOR PLAN - HOTEL
LOBBY BUILDING
(SECTION-B)**

SHEET No:

M-3.3



MECHANICAL SECOND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)
scale: 3/16" = 1'-0"



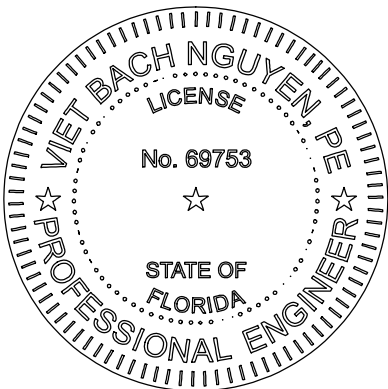
**IBIS BAY WATERFRONT
RESORT**
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS		
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
**MECHANICAL
SECOND FLOOR PLAN -
HOTEL LOBBY BUILDING
(SECTION-A)**

SHEET No:
M-3.4



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FLORIDA P.E. #69753

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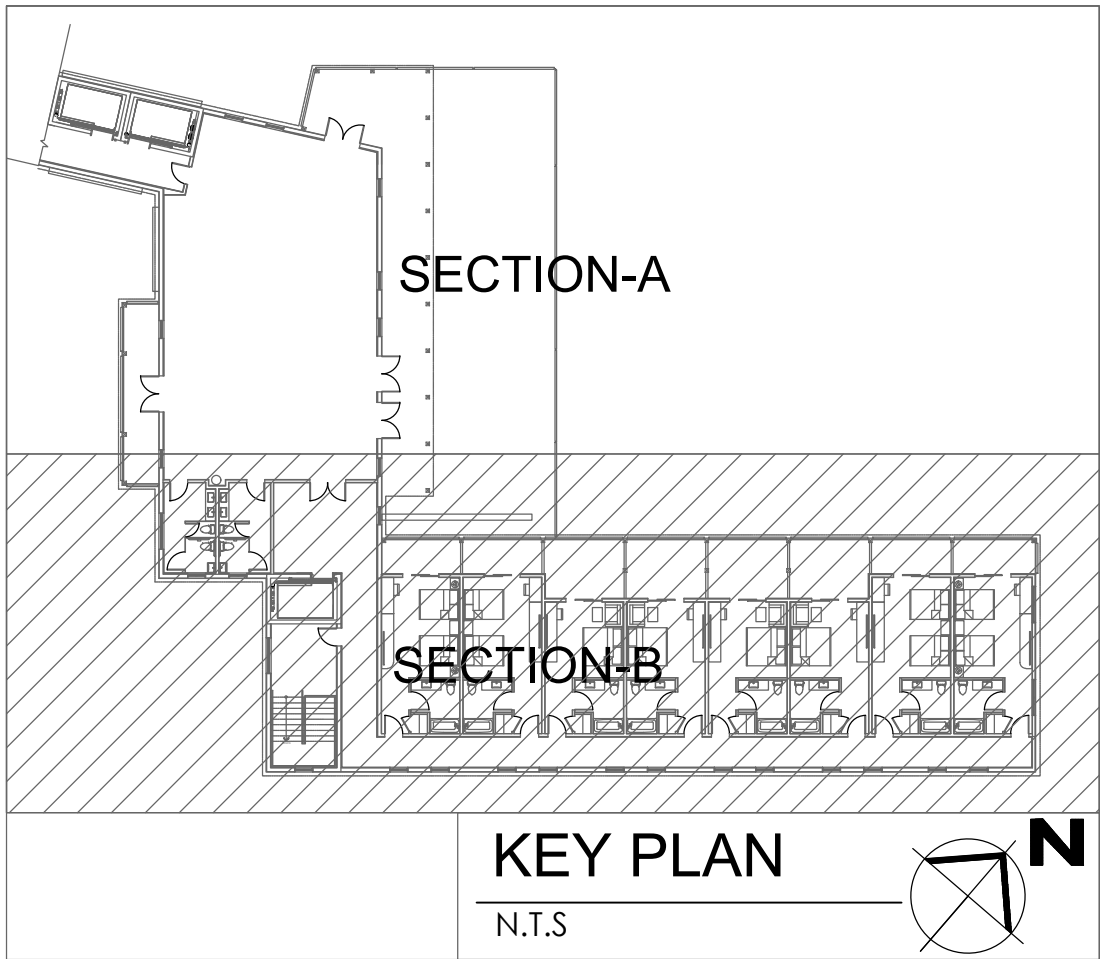
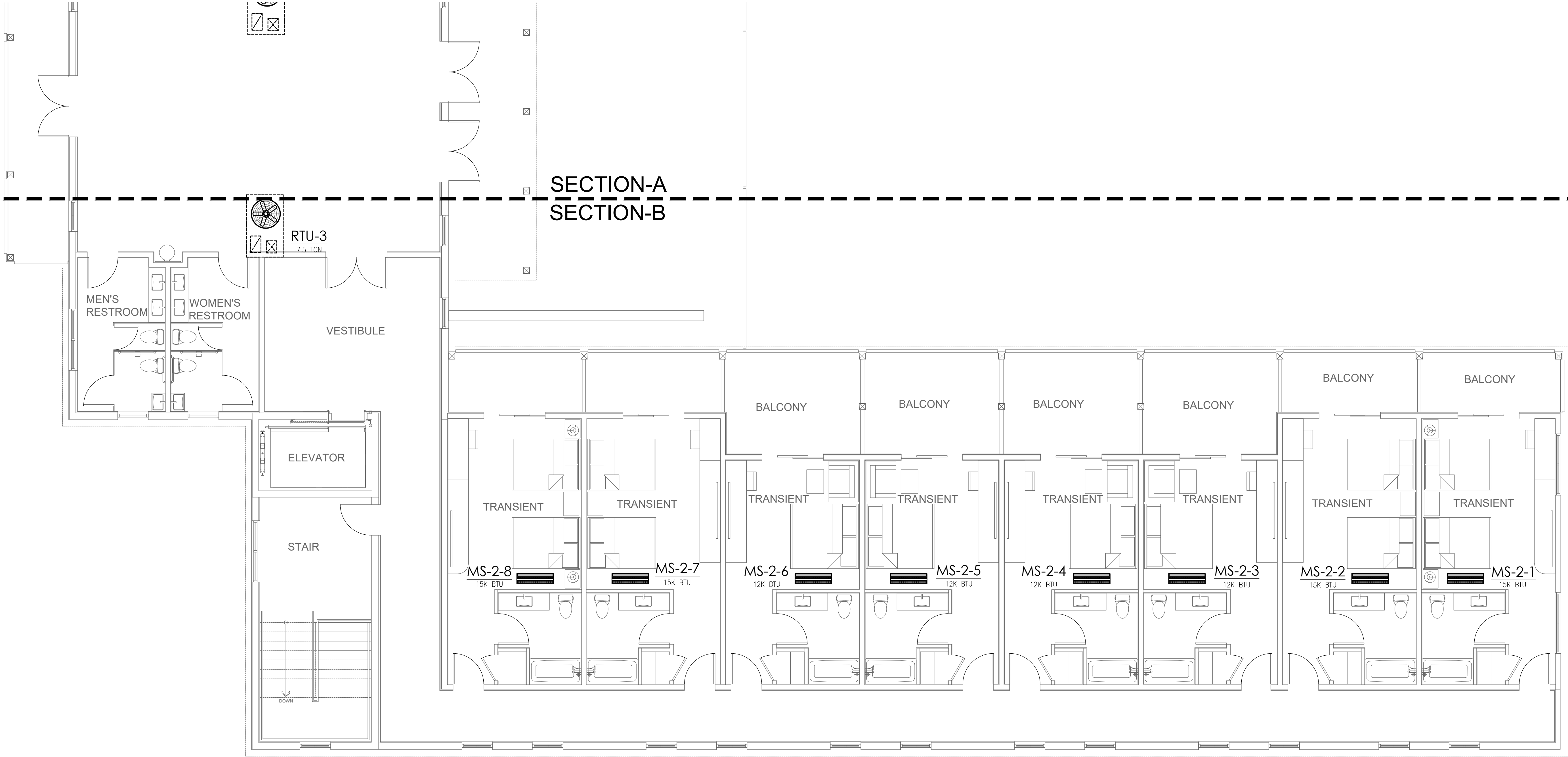
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
MECHANICAL SECOND
FLOOR PLAN - HOTEL
LOBBY BUILDING
(SECTION-B)

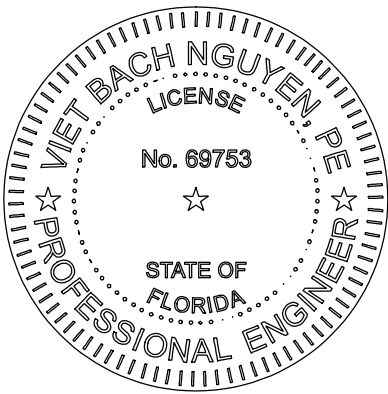
SHEET No:

M-3.5



MECHANICAL SECOND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)
scale: 3/16" = 1'-0"





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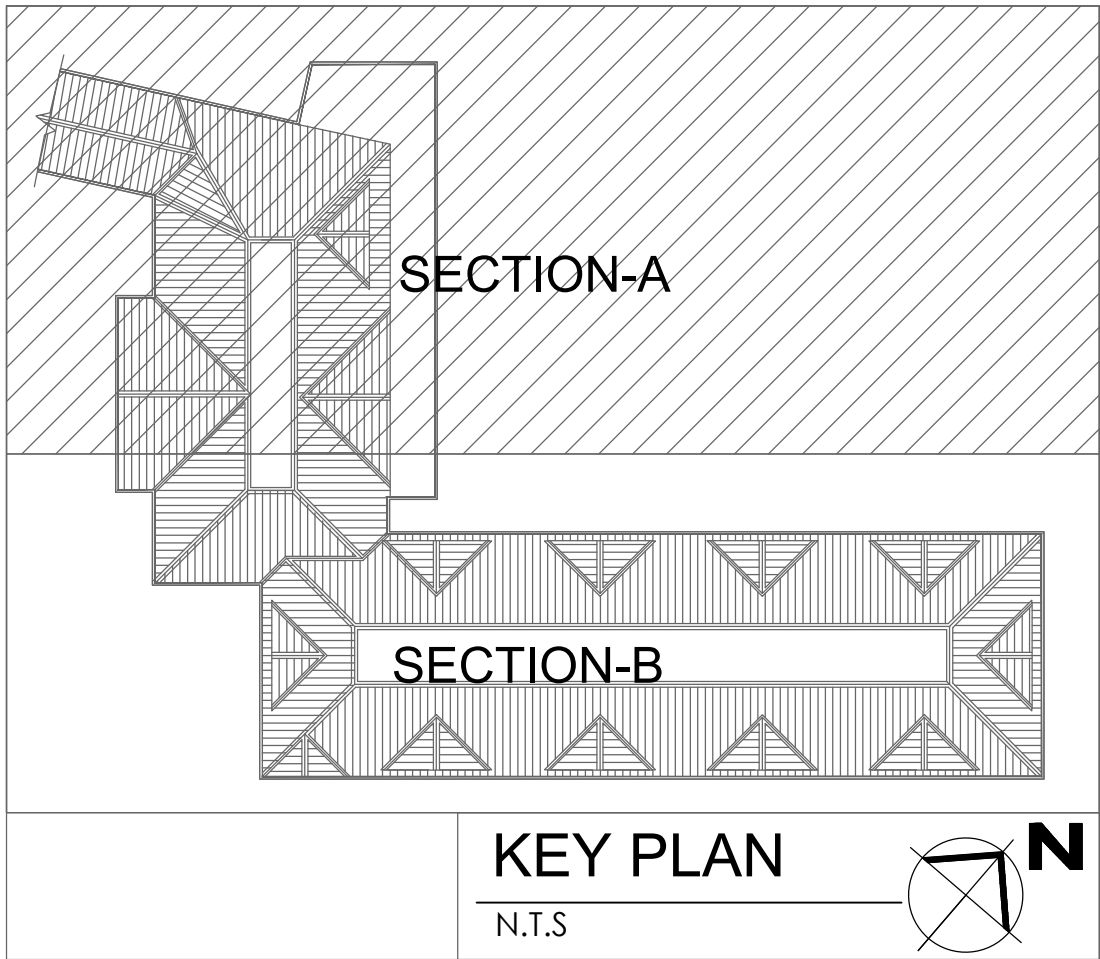
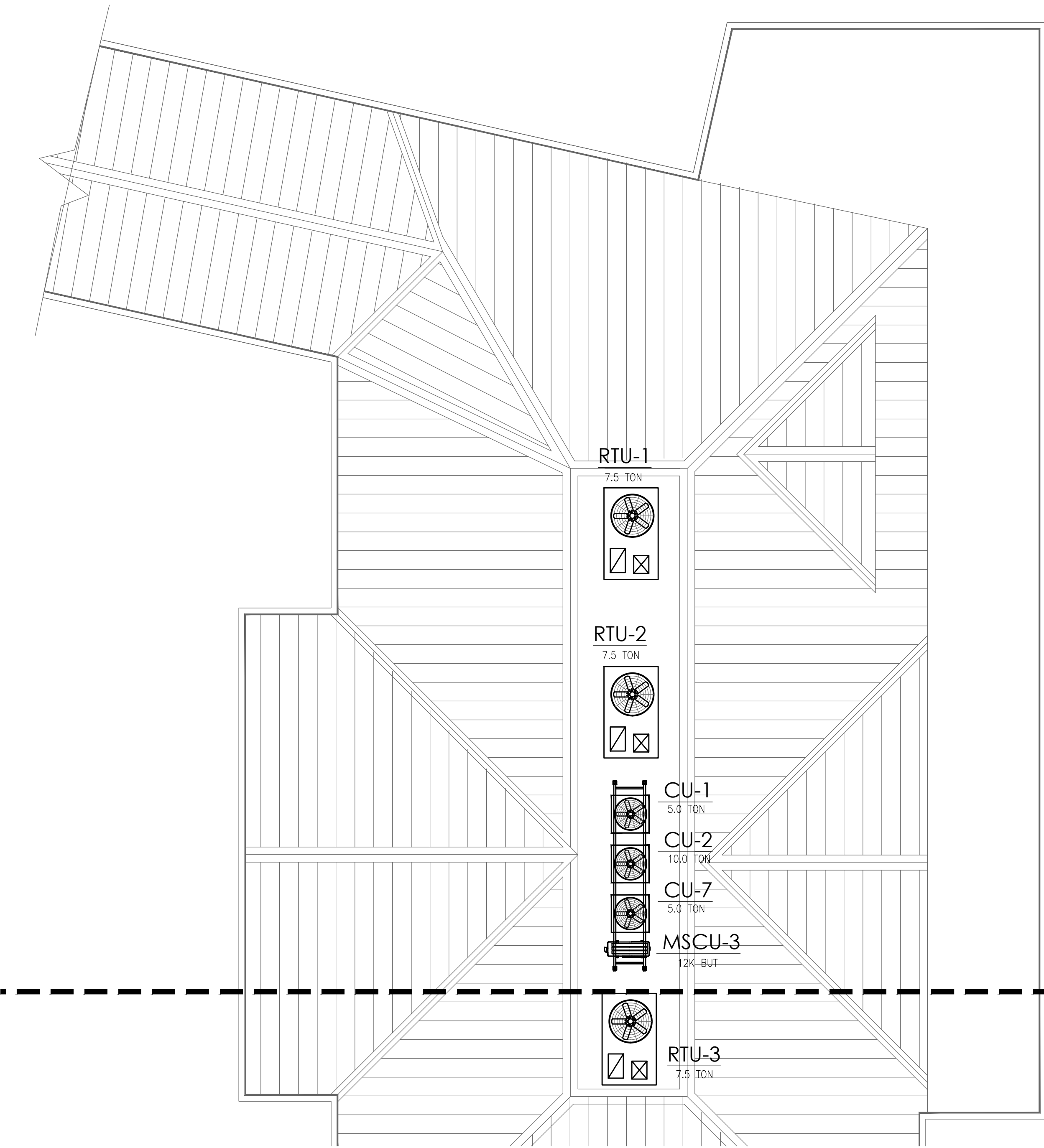
REVISIONS

No.	Description	Date

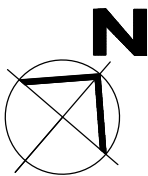
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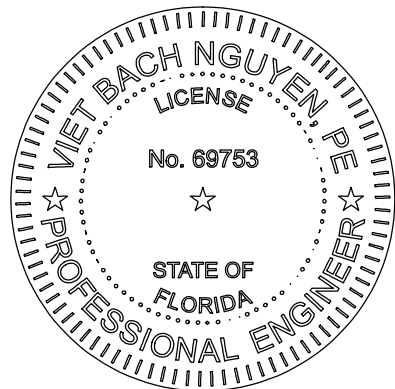
SHEET TITLE:
MECHANICAL ROOF
PLAN - HOTEL LOBBY
BUILDING (SECTION-A)

SHEET No:
M-3.6



MECHANICAL ROOF PLAN - HOTEL LOBBY BUILDING (SECTION-A)
scale: 3/16" = 1'-0"





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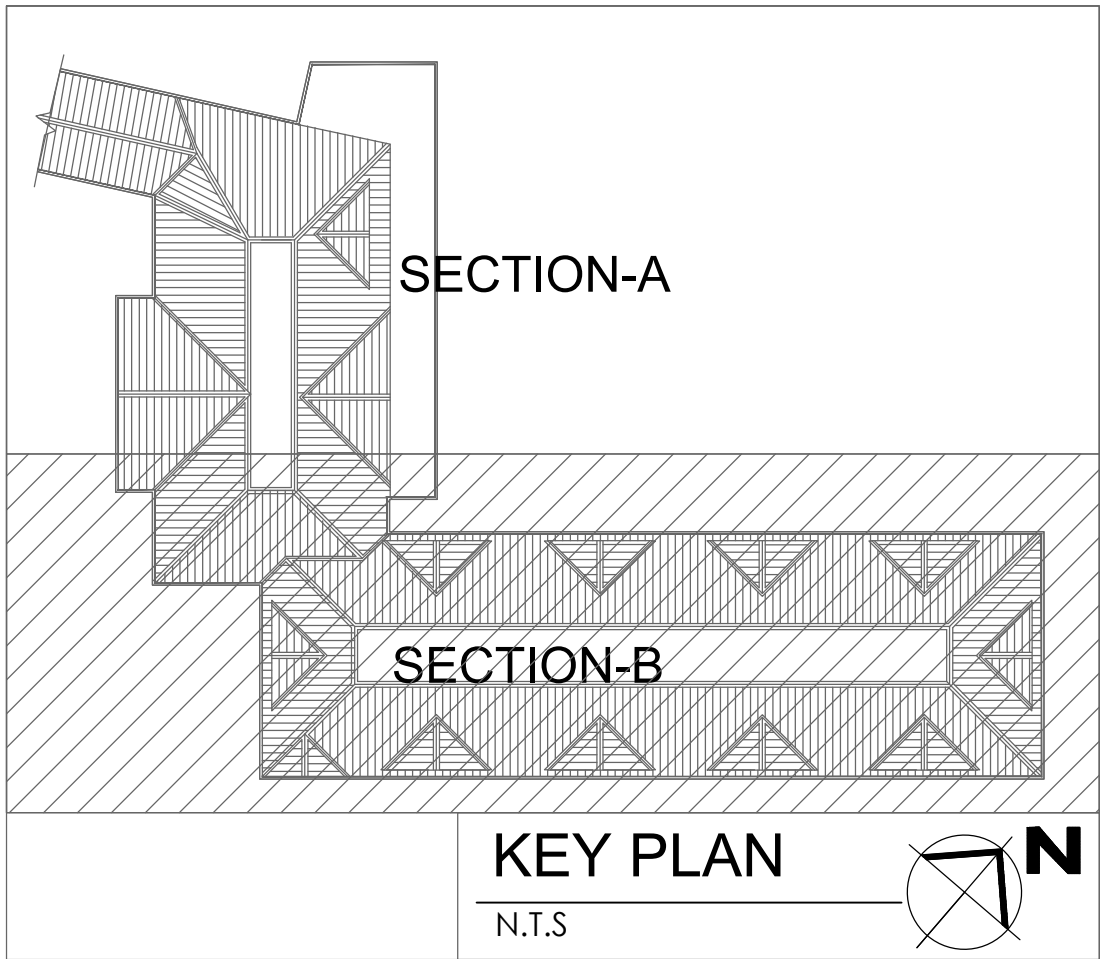
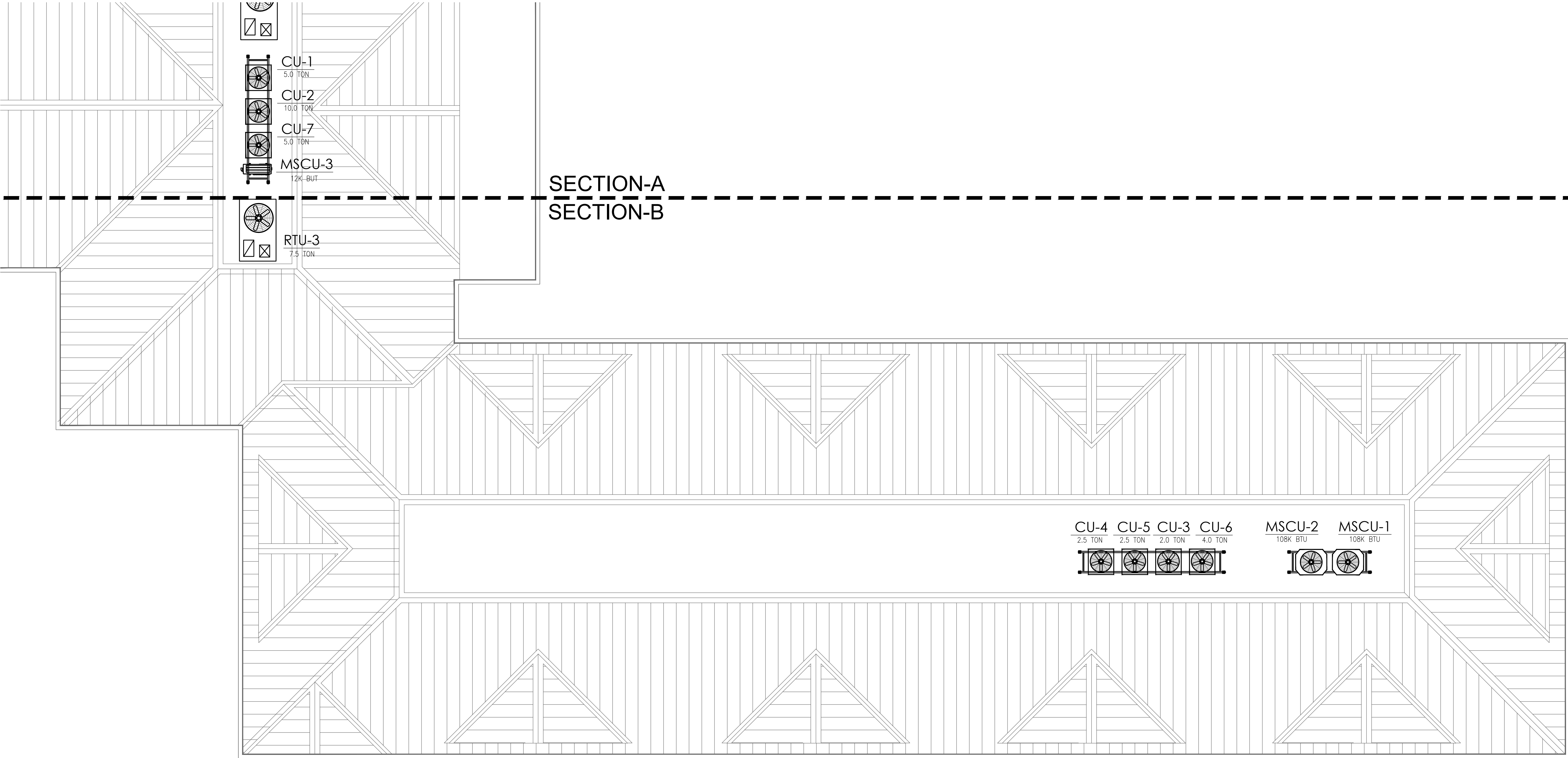
REVISIONS

No.	Description	Date

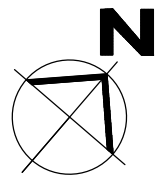
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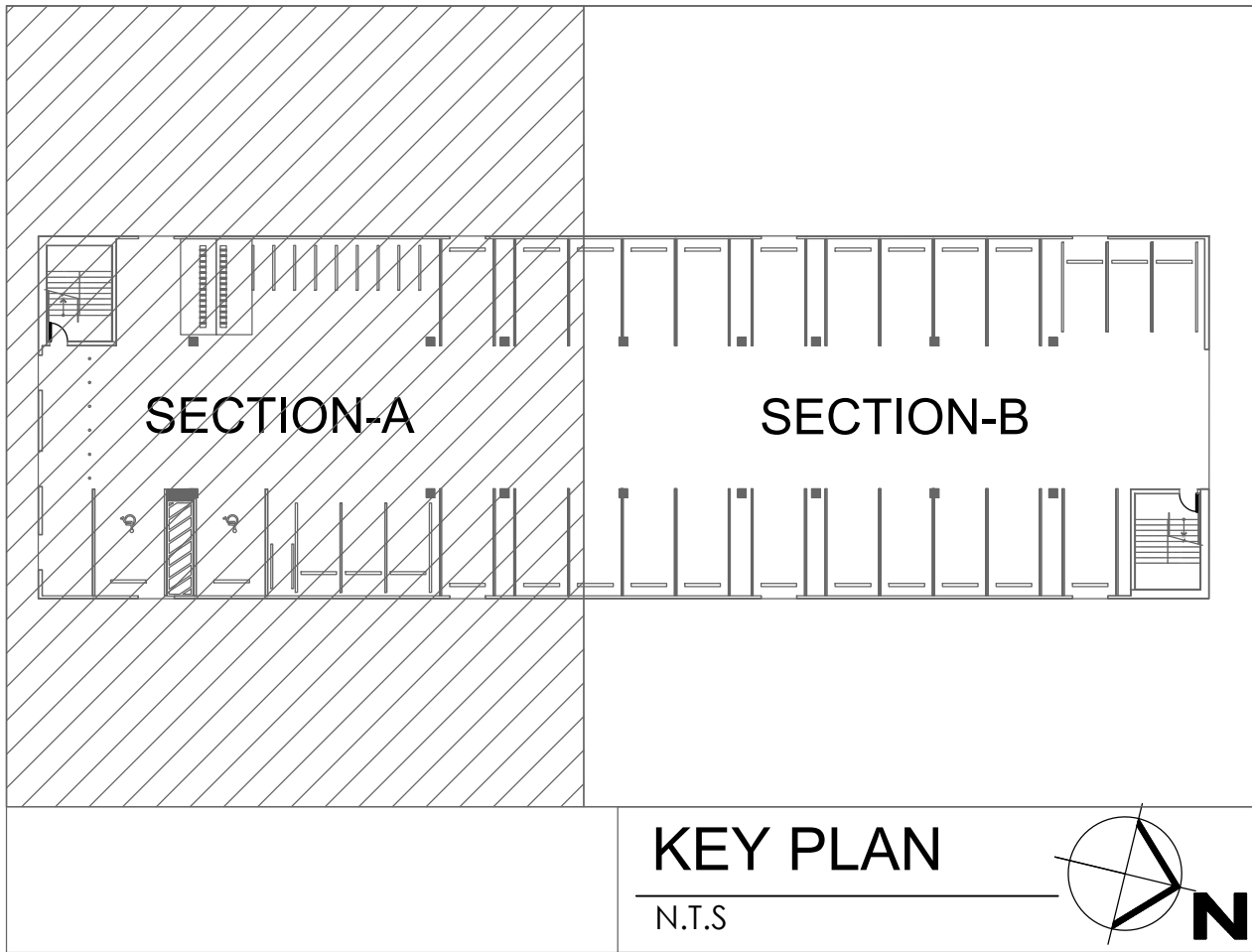
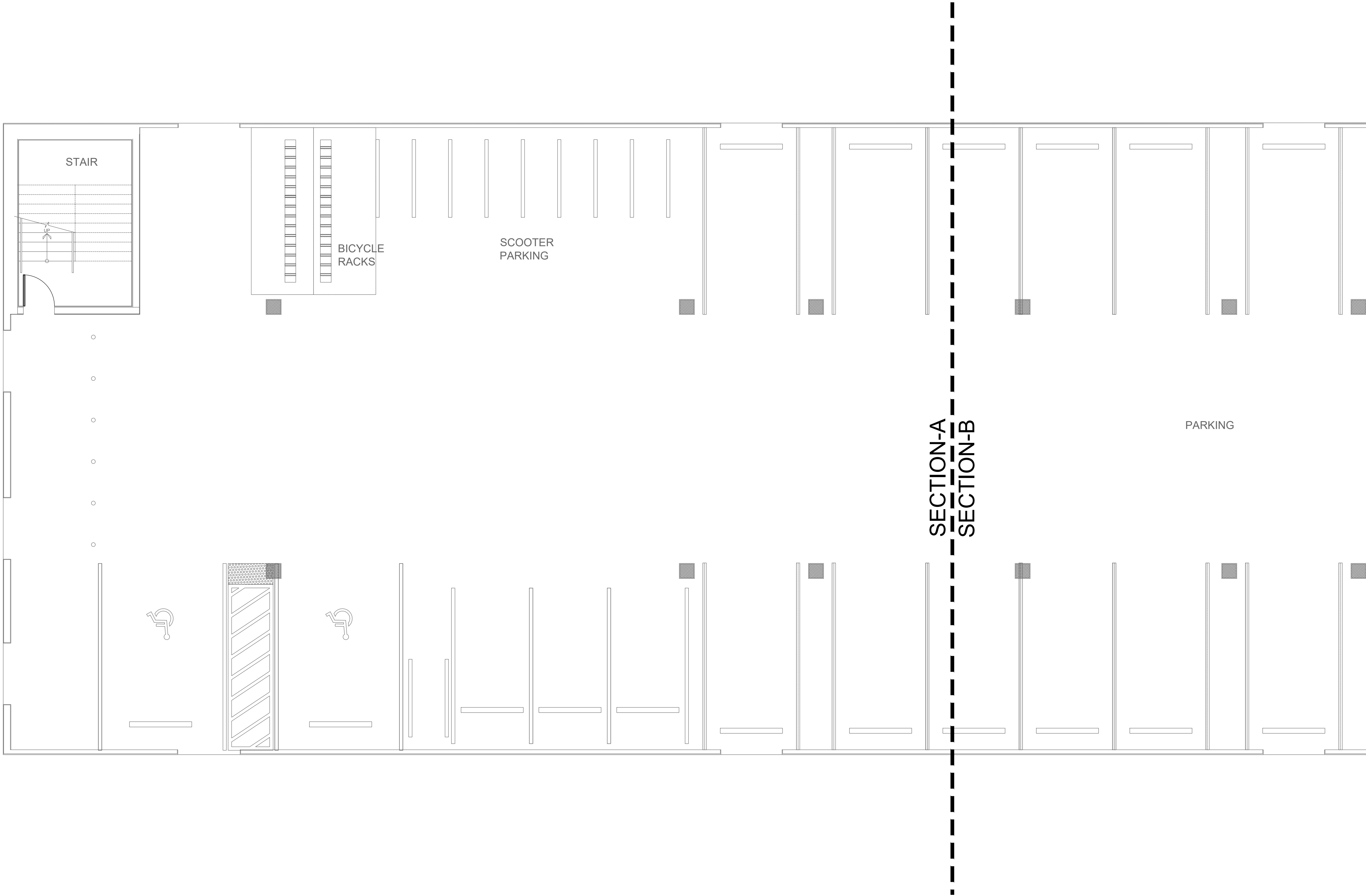
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MECHANICAL ROOF
PLAN - HOTEL LOBBY
BUILDING (SECTION -B)

SHEET No:
M-3.7

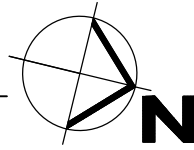


MECHANICAL ROOF PLAN - HOTEL LOBBY BUILDING (SECTION-B)
scale: 3/16" = 1'-0"

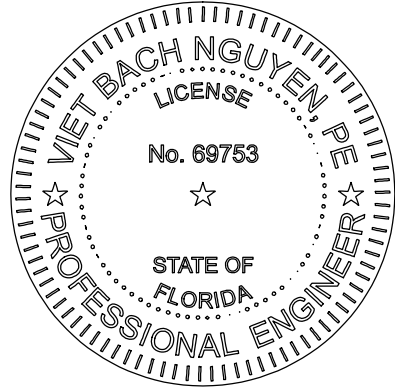




MECHANICAL GROUND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)
scale: 3/16" = 1'-0"



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P: 954-533-5774
bach@bachengineers.com
CA#28826



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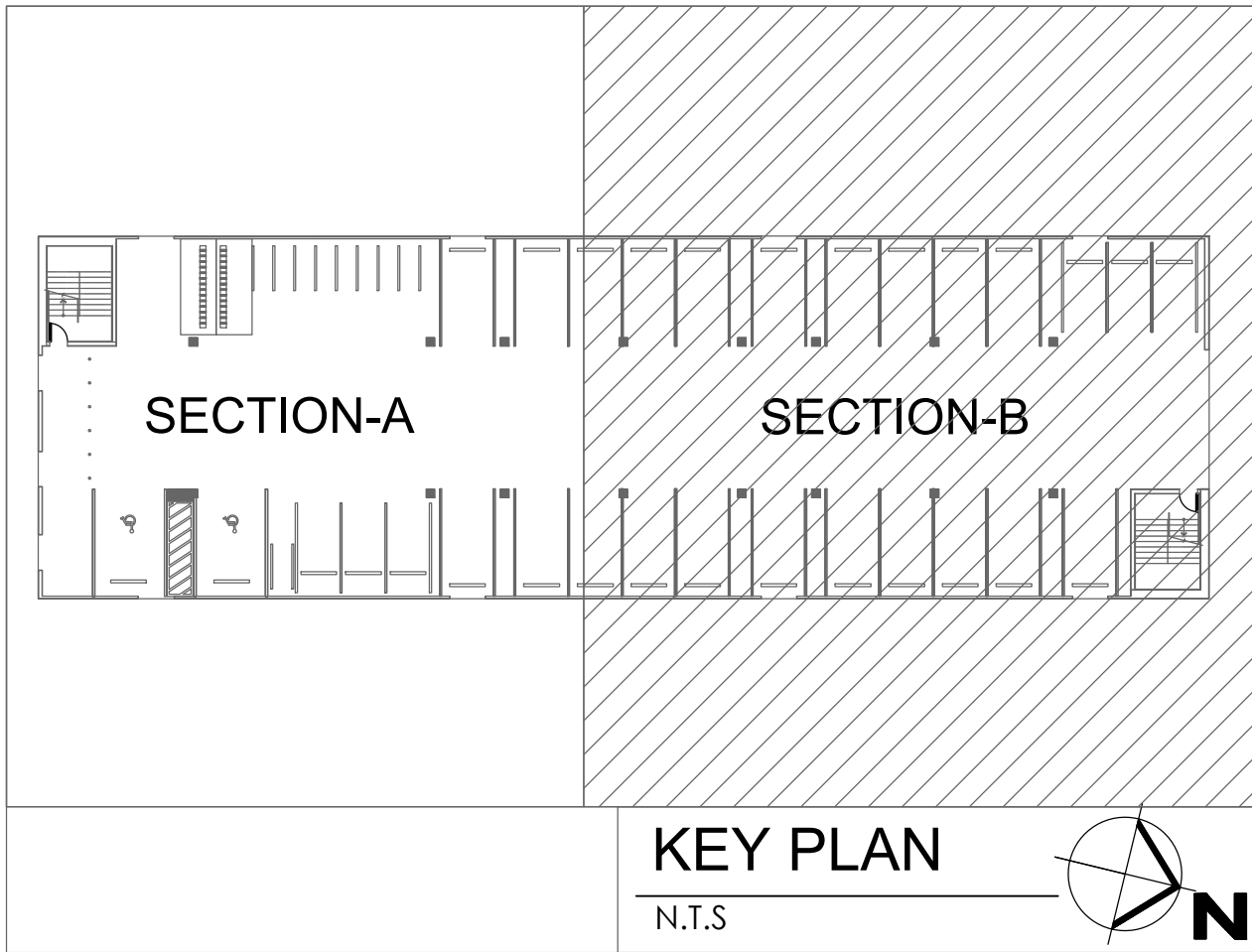
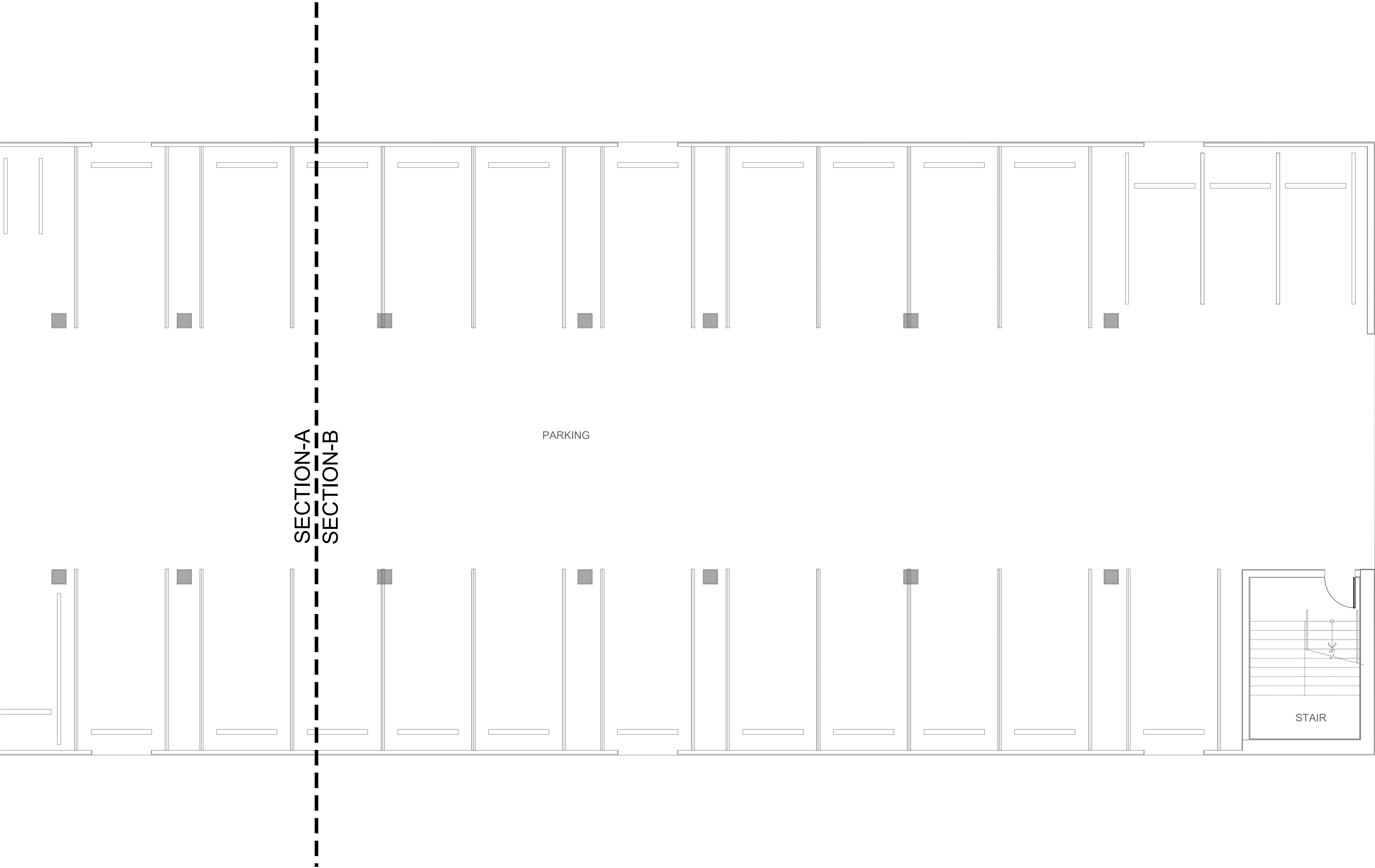
**IBIS BAY WATERFRONT
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3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS		
No.	Description	Date

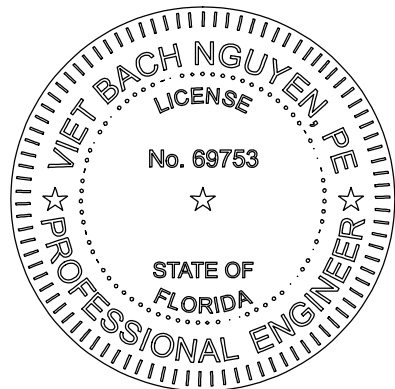
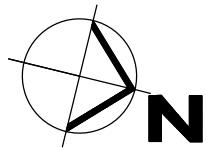
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DATE:

SHEET TITLE: **MECHANICAL
GROUND FLOOR
PLAN - HOTEL
BUILDING 2
(SECTION-A)**

SHEET No:
M-4.0



MECHANICAL SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)
scale: 3/16" = 1'-0"



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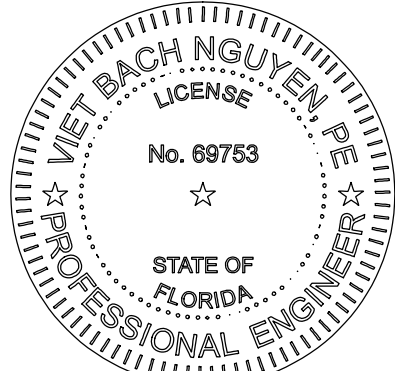
**IBIS BAY WATERFRONT
RESORT**
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS		
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE: **MECHANICAL
SECOND FLOOR
PLAN - HOTEL
BUILDING 2
(SECTION-B)**

SHEET No:
M-4.1



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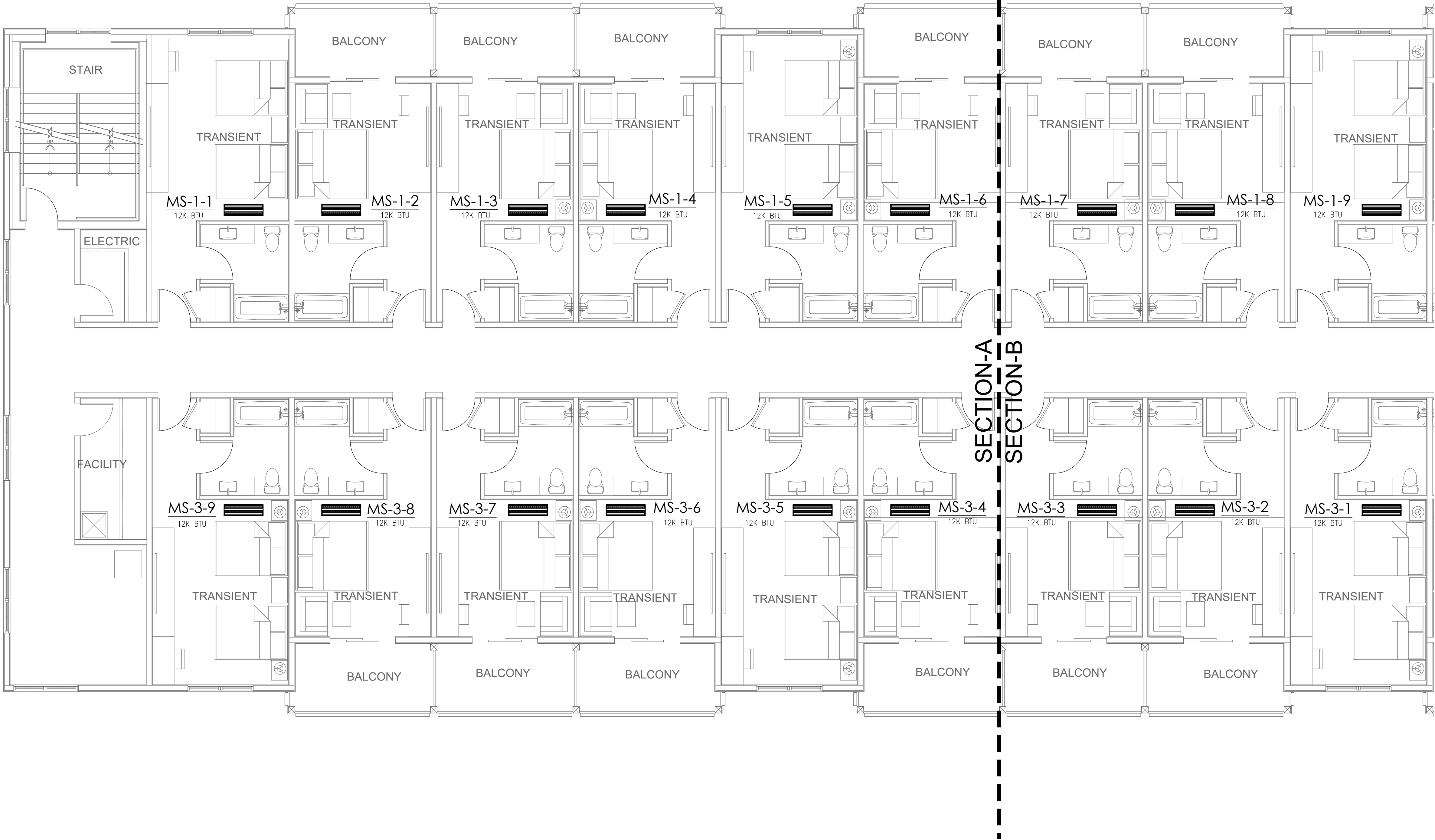
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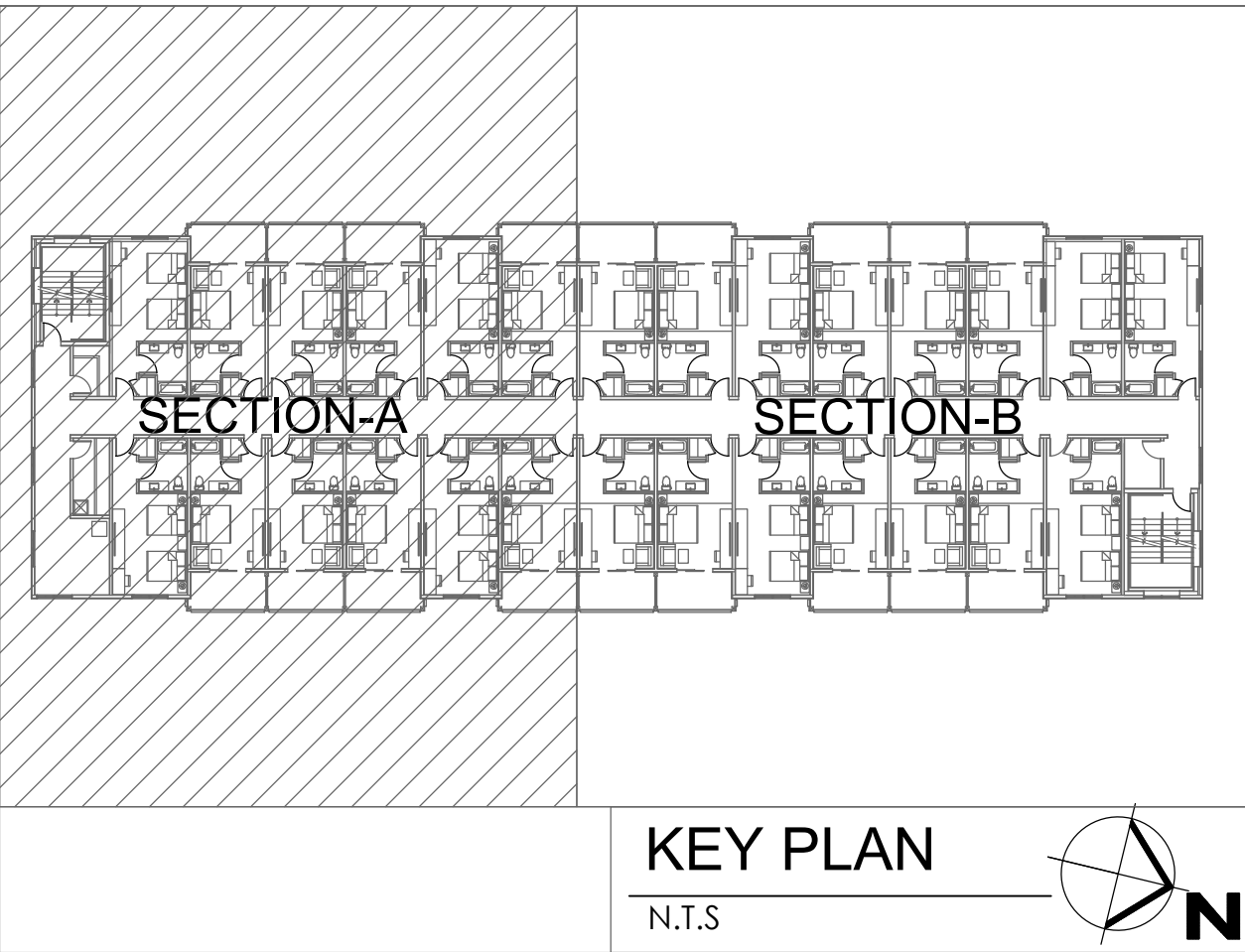
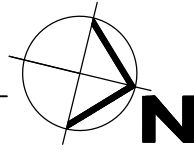
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FLOOR PLAN -
HOTEL BUILDING 2
(SECTION-A)

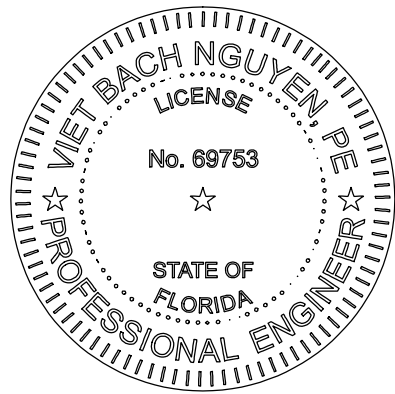
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M-4.2



MECHANICAL FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)
scale: 3/16" = 1'-0"





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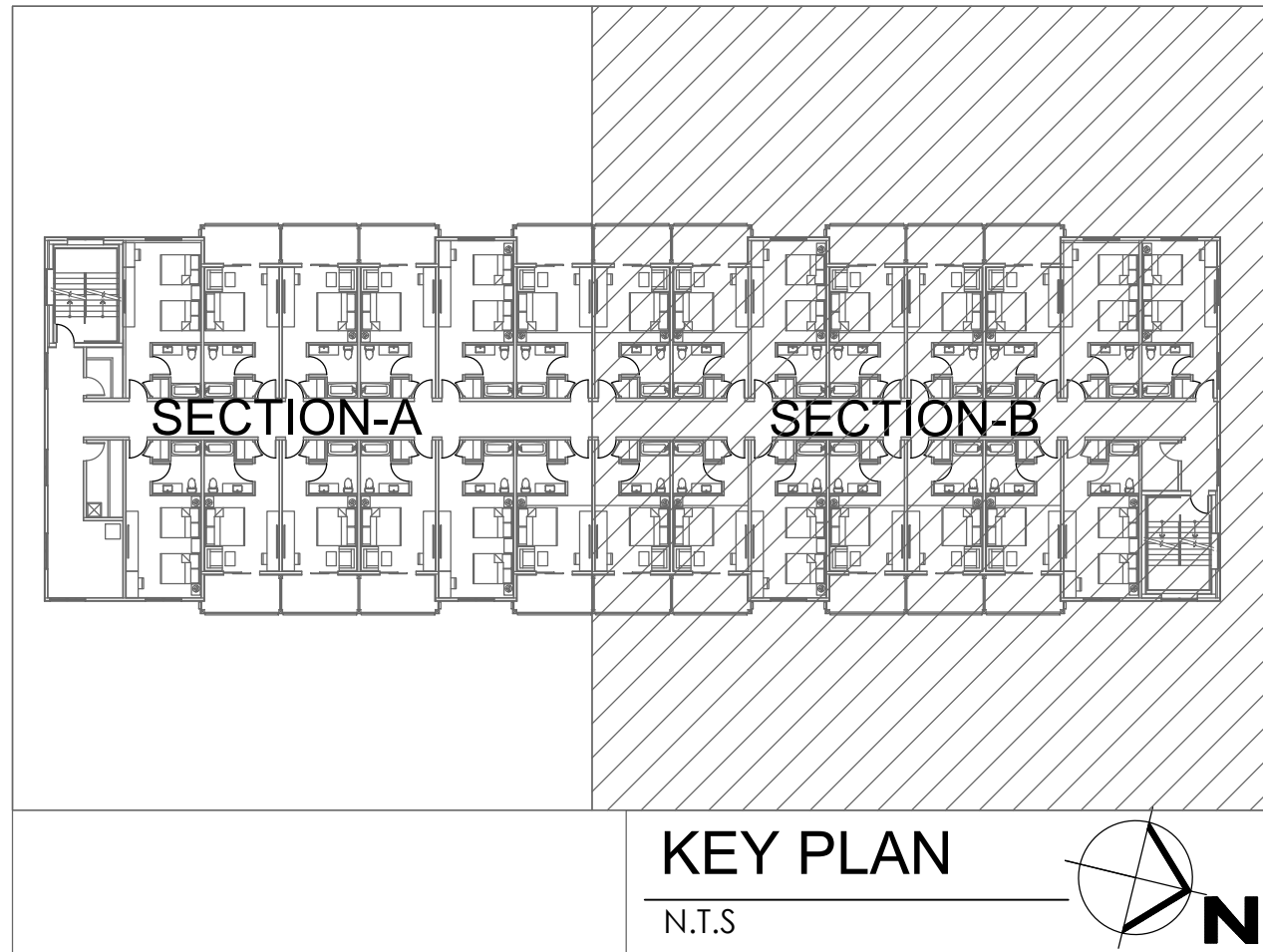
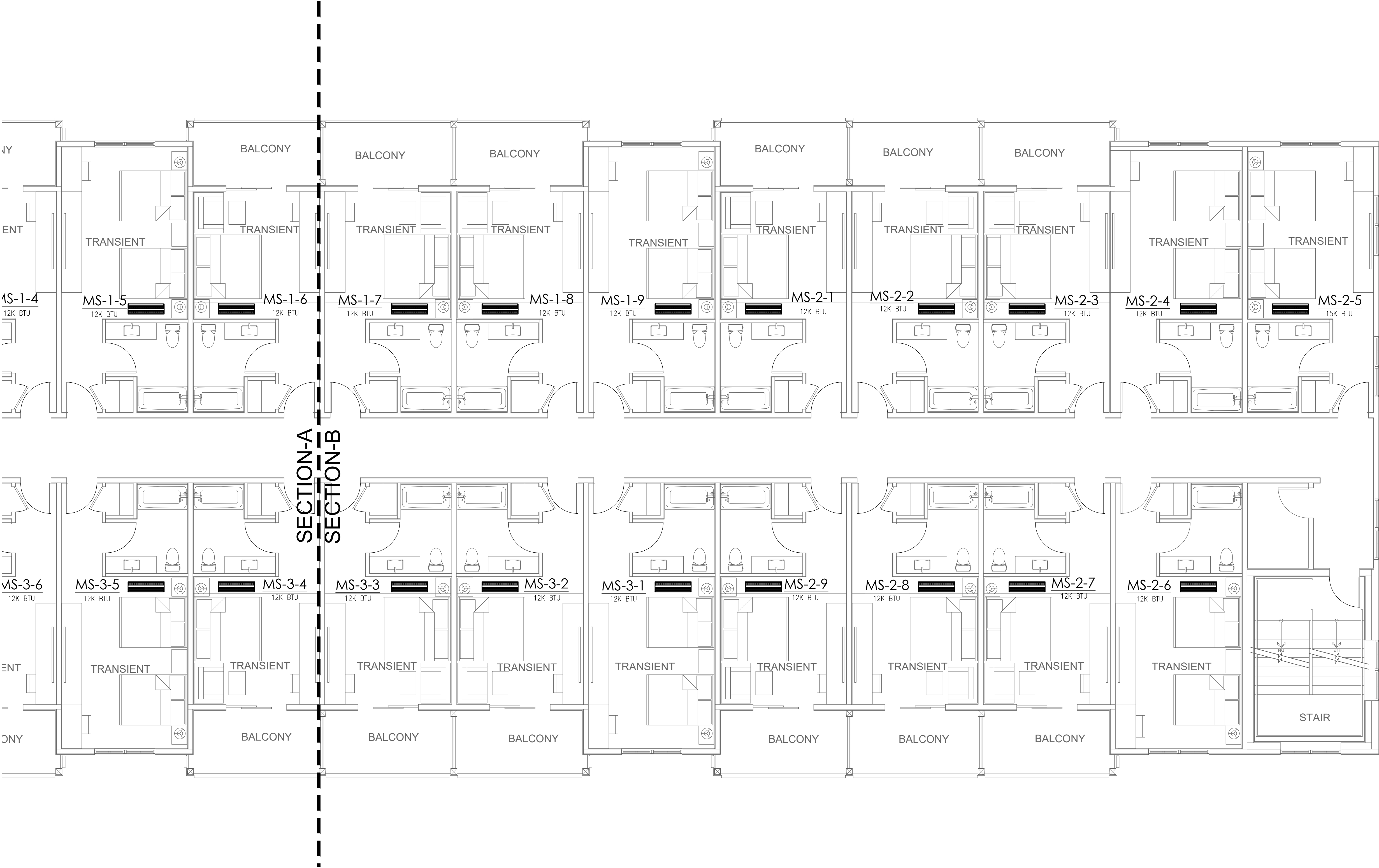
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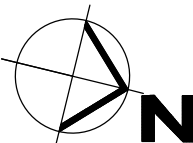
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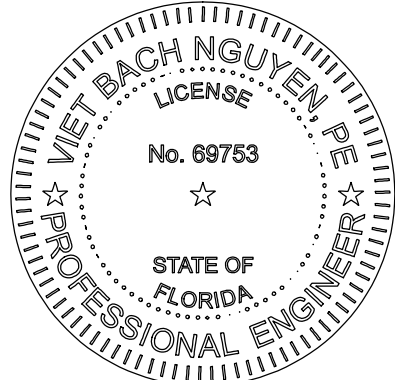
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FLOOR PLAN -
HOTEL BUILDING 2
(SECTION-B)**

SHEET No:
M-4.3



MECHANICAL FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)
scale: 3/16" = 1'-0"





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KEYWEST, FL 33040

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No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE: **MECHANICAL
SECOND FLOOR
PLAN - HOTEL
BUILDING 2
(SECTION-A)**

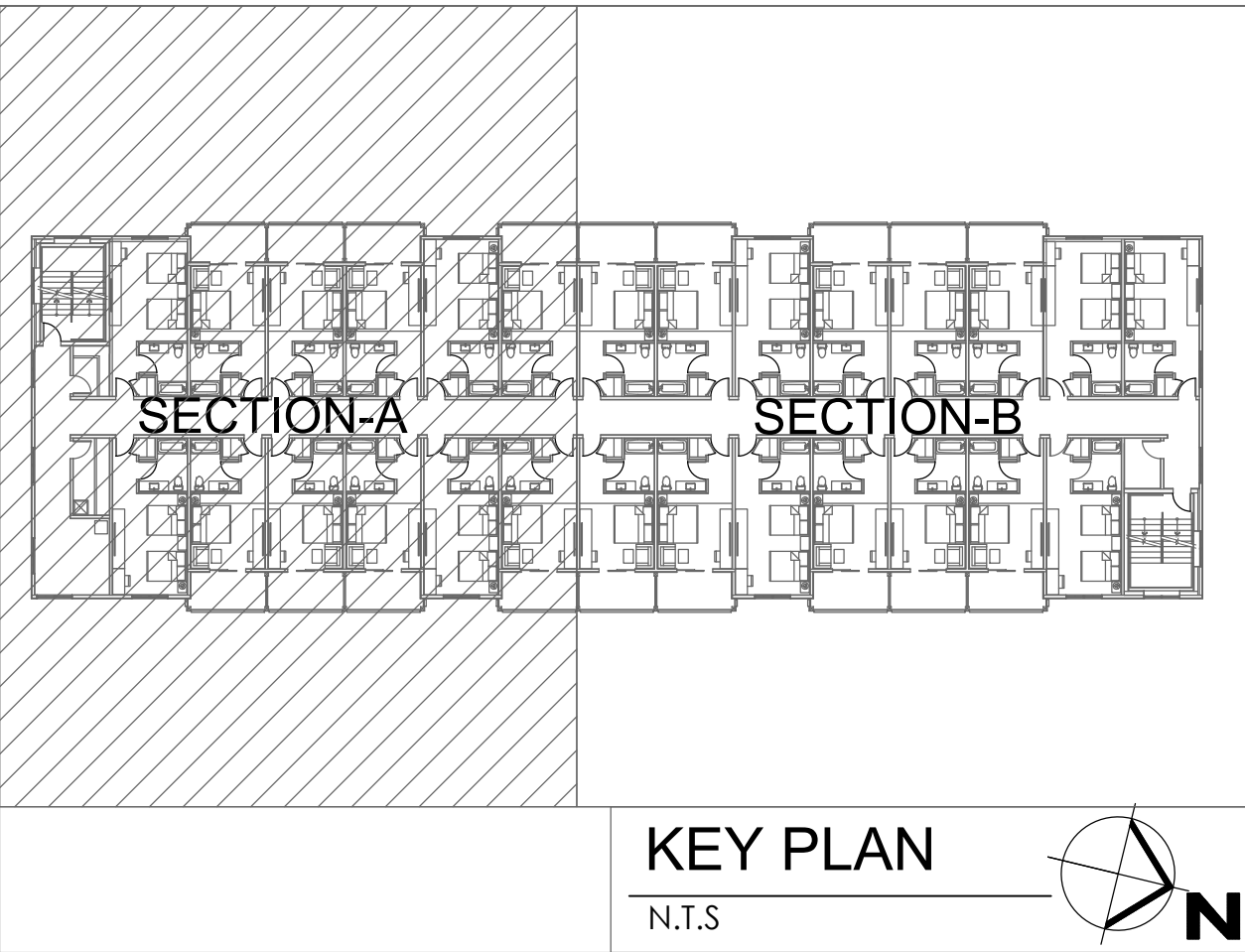
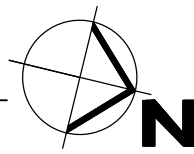
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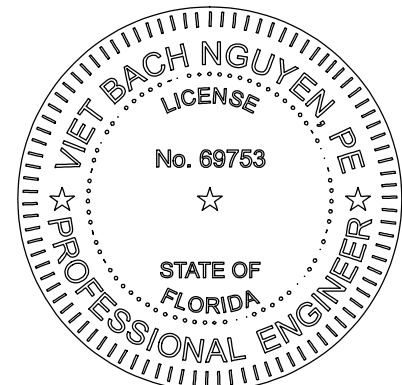
M-4.4



MECHANICAL SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"





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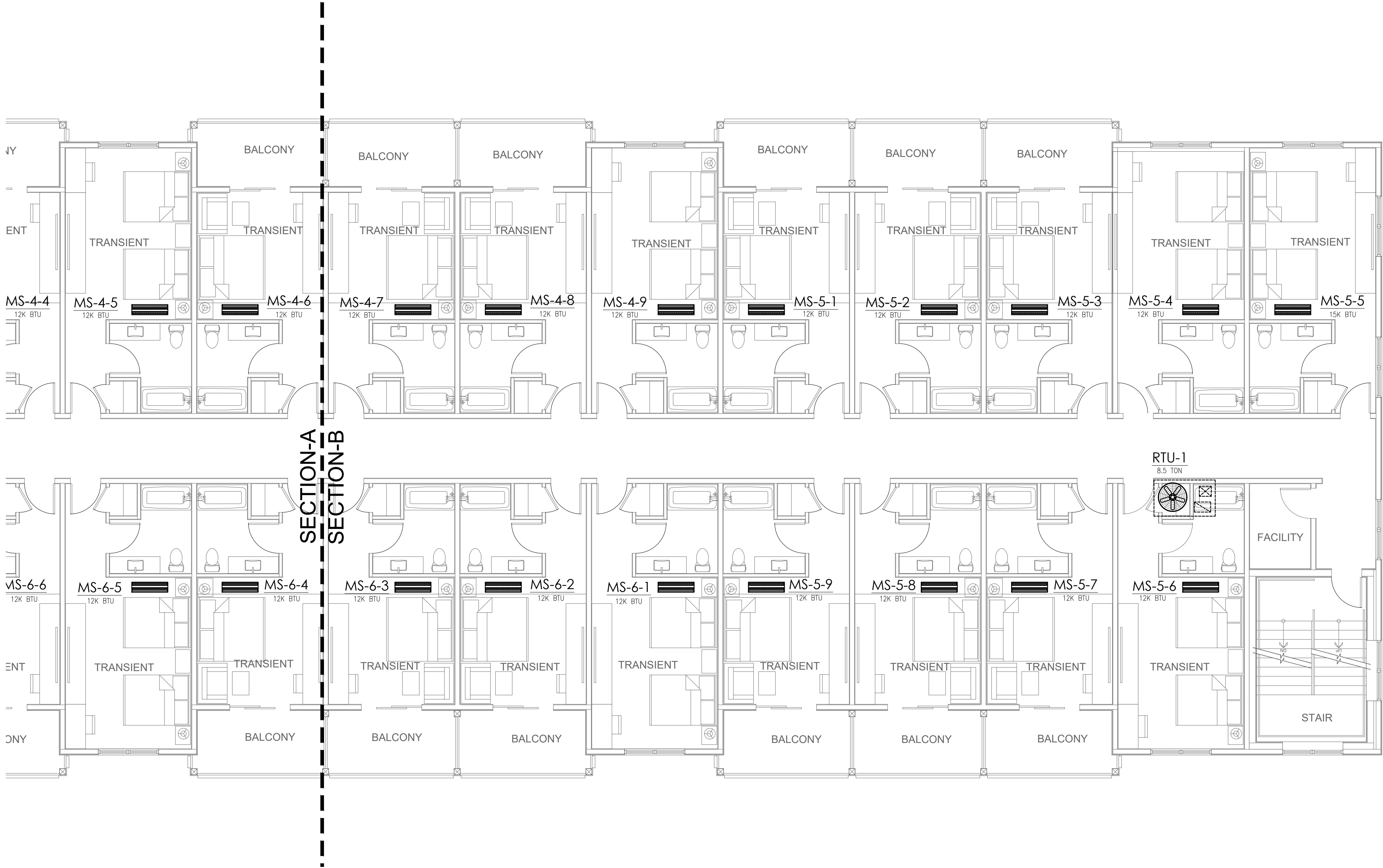
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SECOND FLOOR
PLAN - HOTEL
BUILDING 2
(SECTION-B)**

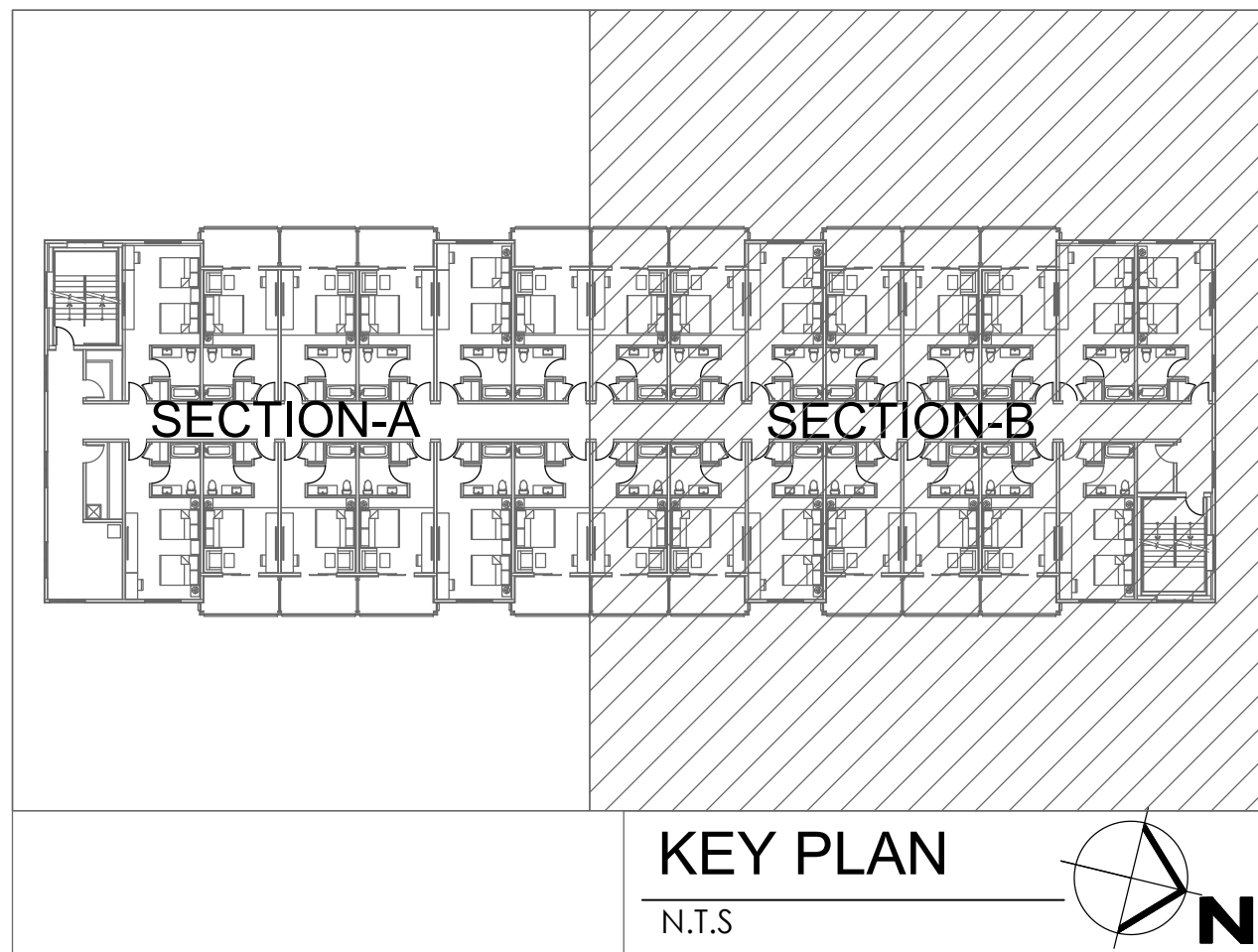
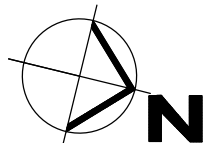
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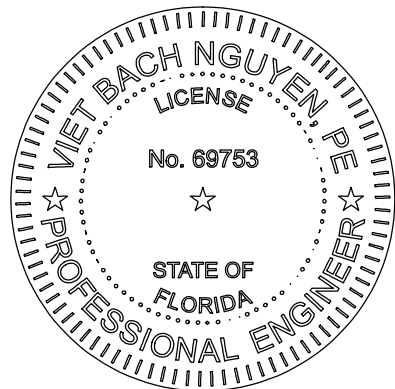
M-4.5



MECHANICAL SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)

scale: 3/16" = 1'-0"





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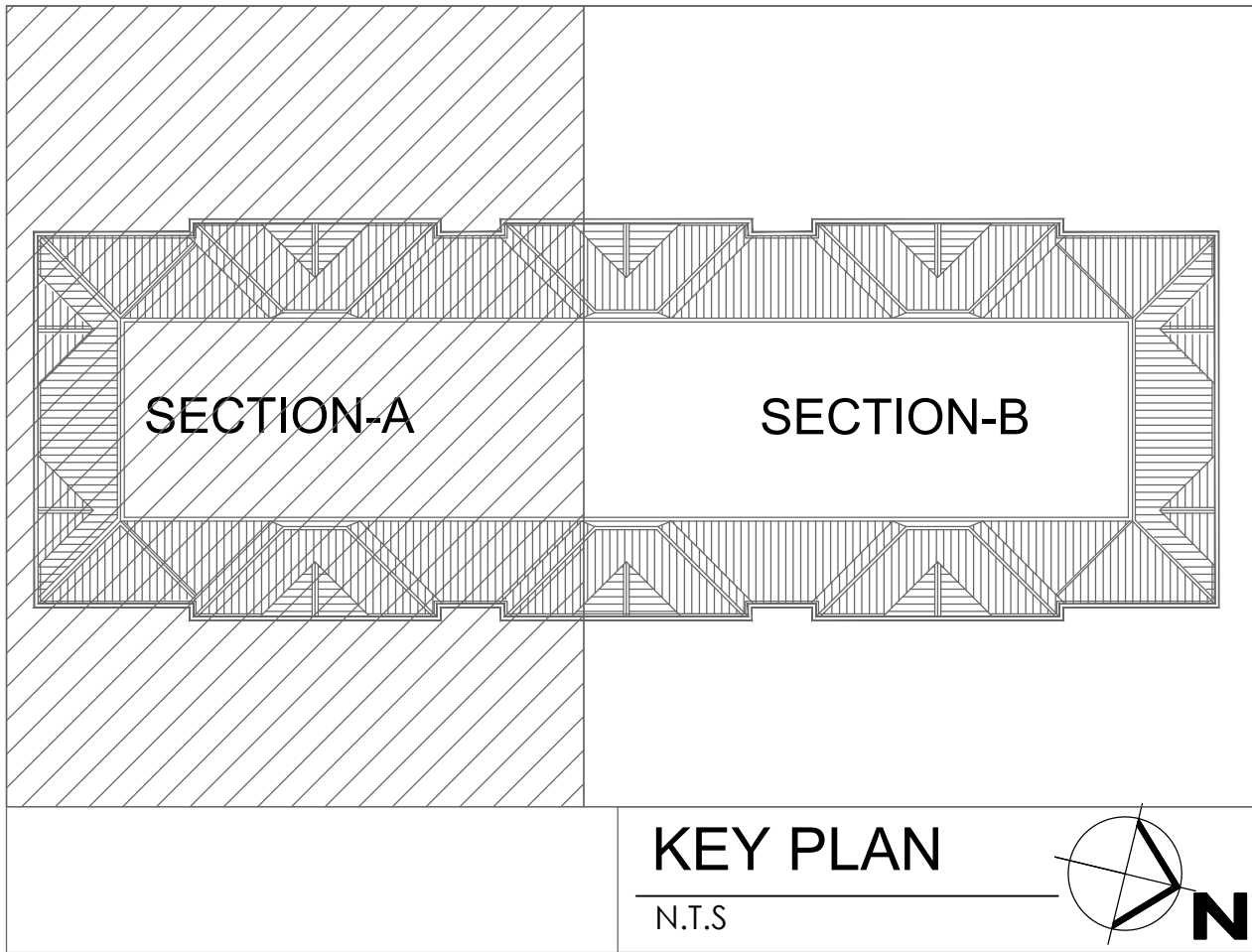
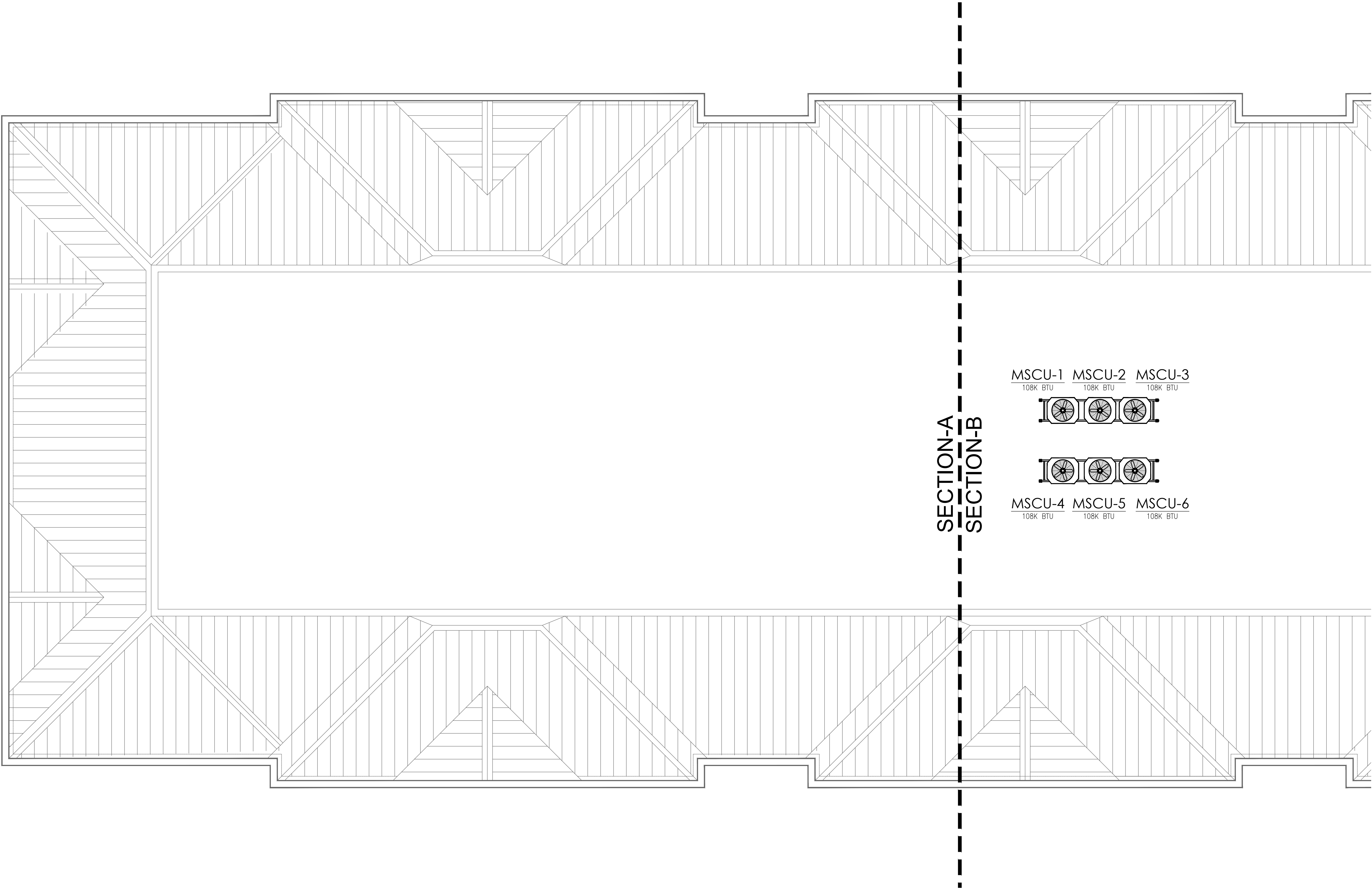
No.	Description	Date

PROJECT No: 121324
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SHEET TITLE
MECHANICAL
ROOF PLAN -
HOTEL BUILDING 2
(SECTION-A)

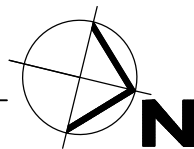
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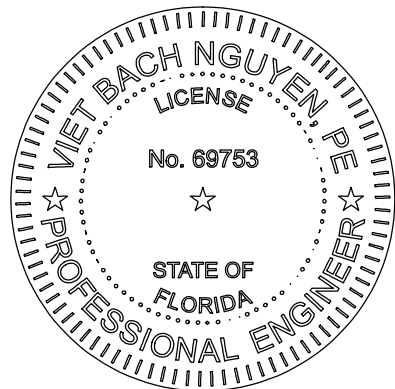
M-4.6



MECHANICAL ROOF PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"





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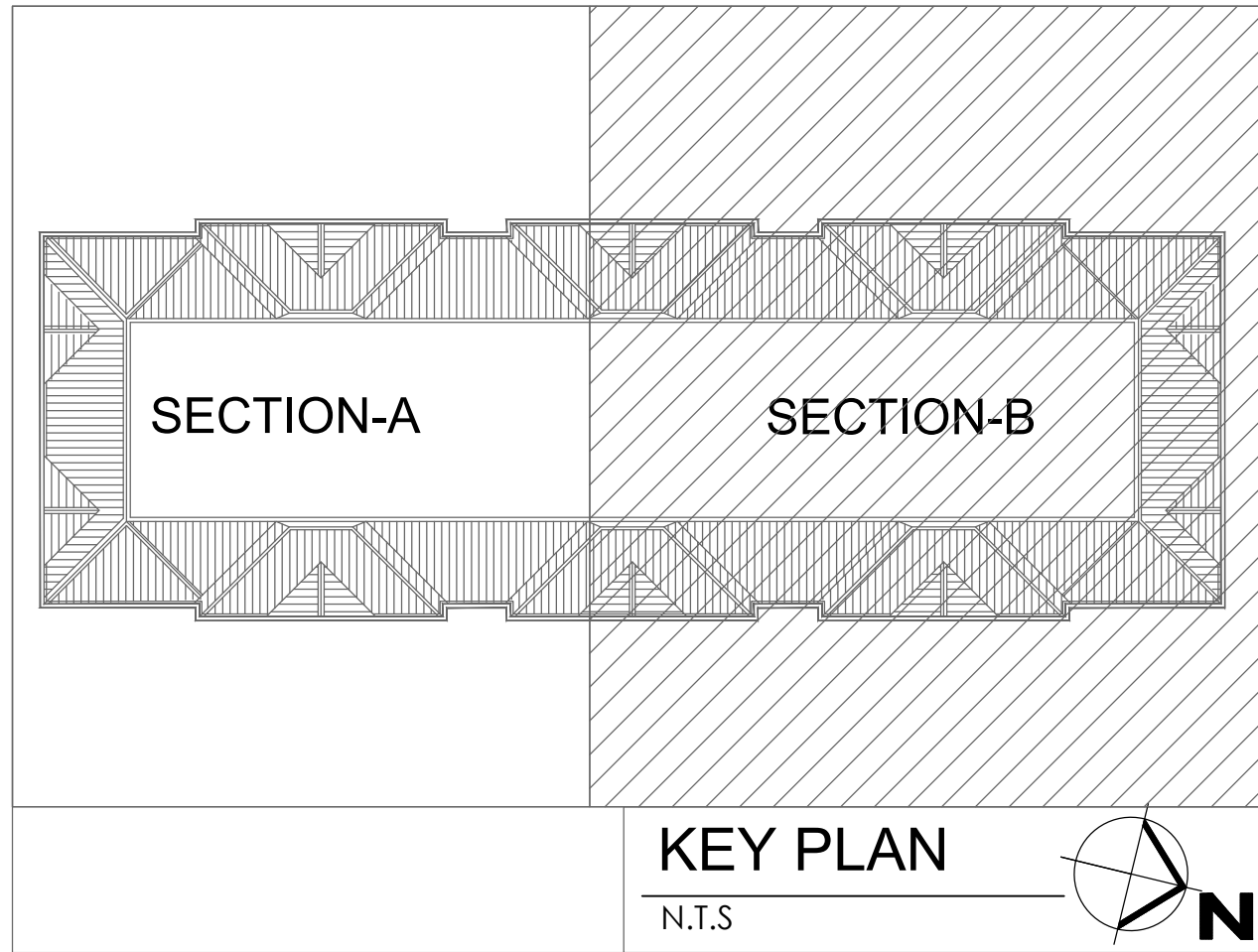
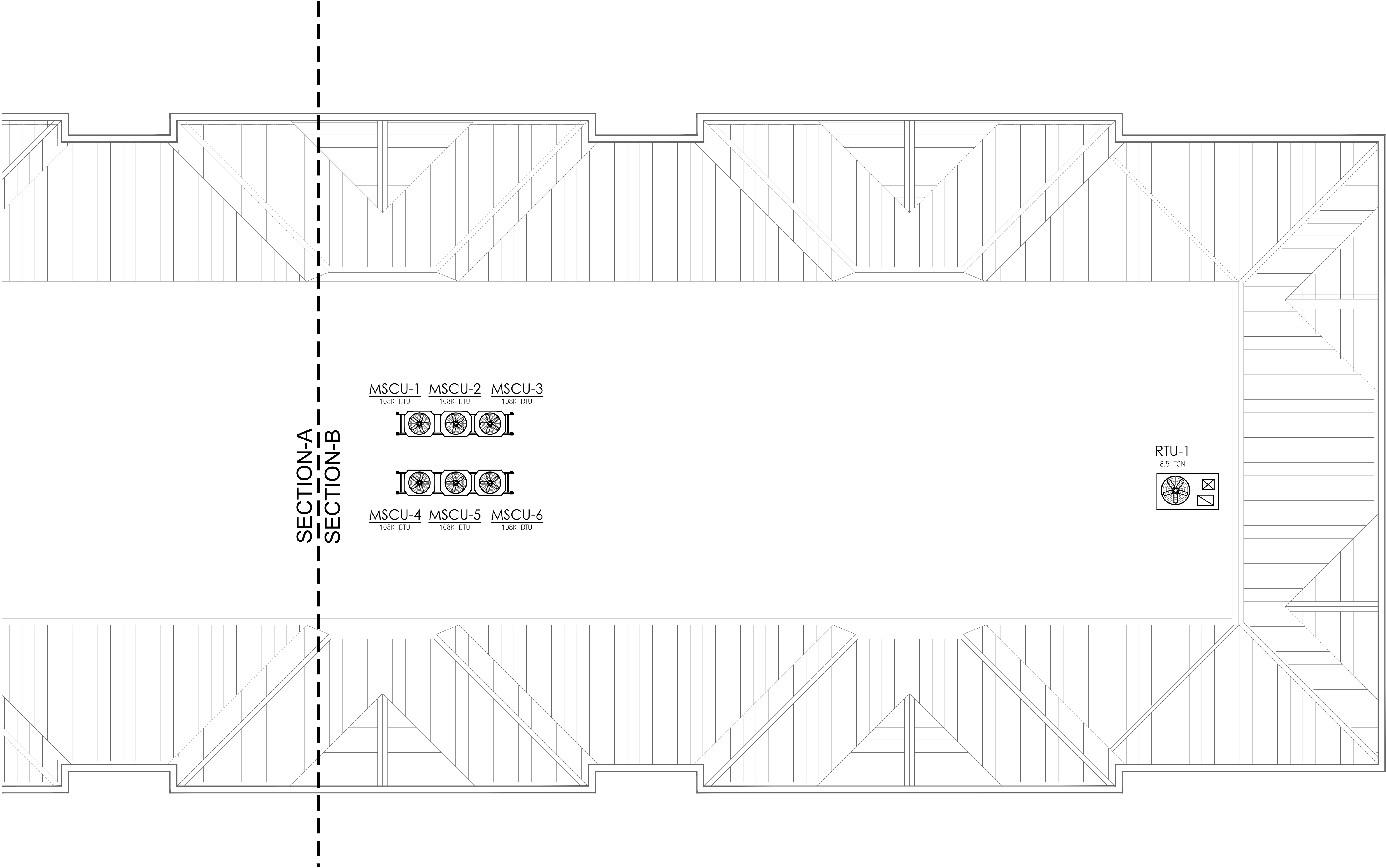
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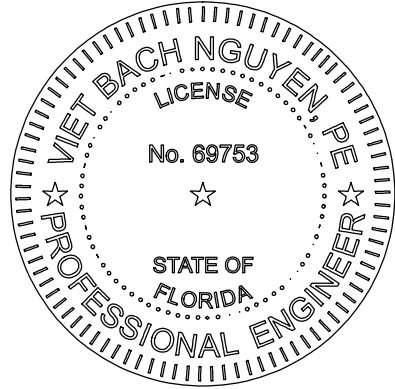
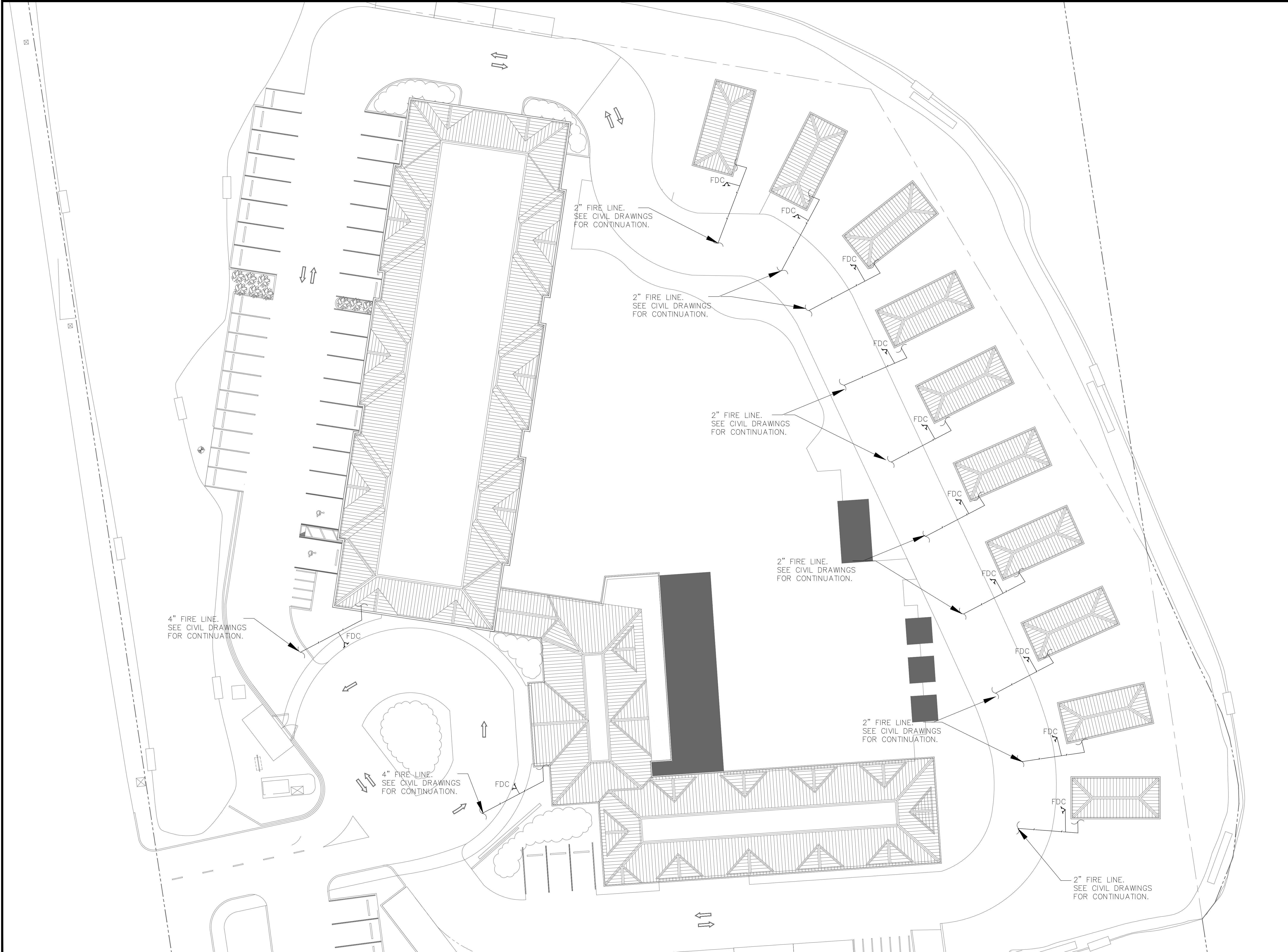
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ROOF PLAN -
HOTEL BUILDING 2
(SECTION-B)

SHEET No:

M-4.7



MECHANICAL ROOF PLAN - HOTEL BUILDING 2 (SECTION-B)
scale: 3/16" = 1'-0"



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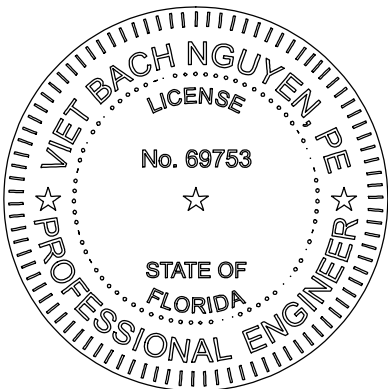
**IBIS BAY WATERFRONT
RESORT
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040**

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No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
**FIRE SPRINKLER
SITE PLAN**

SHEET No:
FP-1.0



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RESORT
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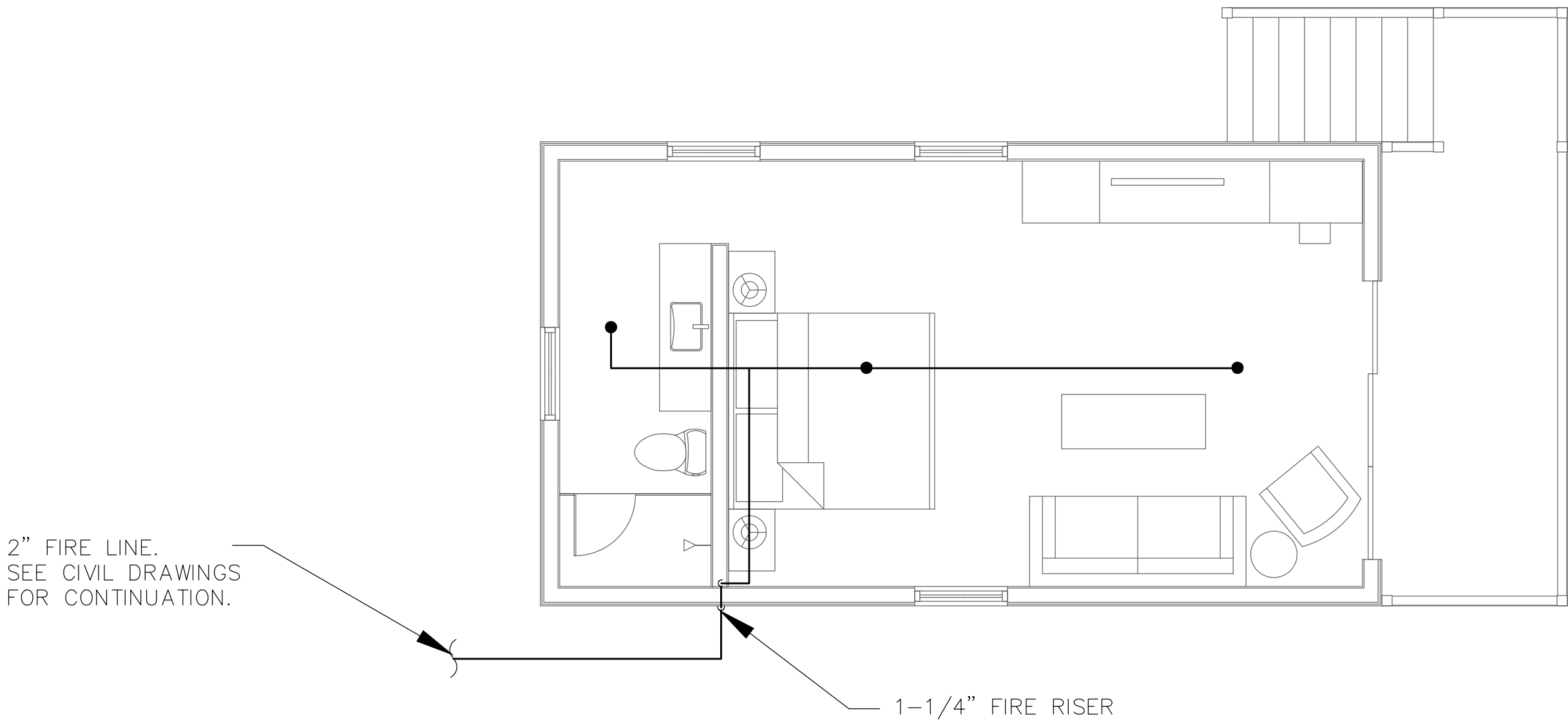
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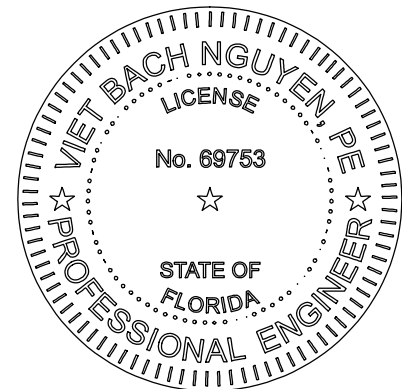
PROJECT No: 121324
DATE:

SHEET TITLE:
FIRE SPRINKLER
TYPICAL COTTAGE
FLOOR PLAN

SHEET No:
FP-2.0



FIRE SPRINKLER FLOOR PLAN
scale: 1/4" = 1'-0"



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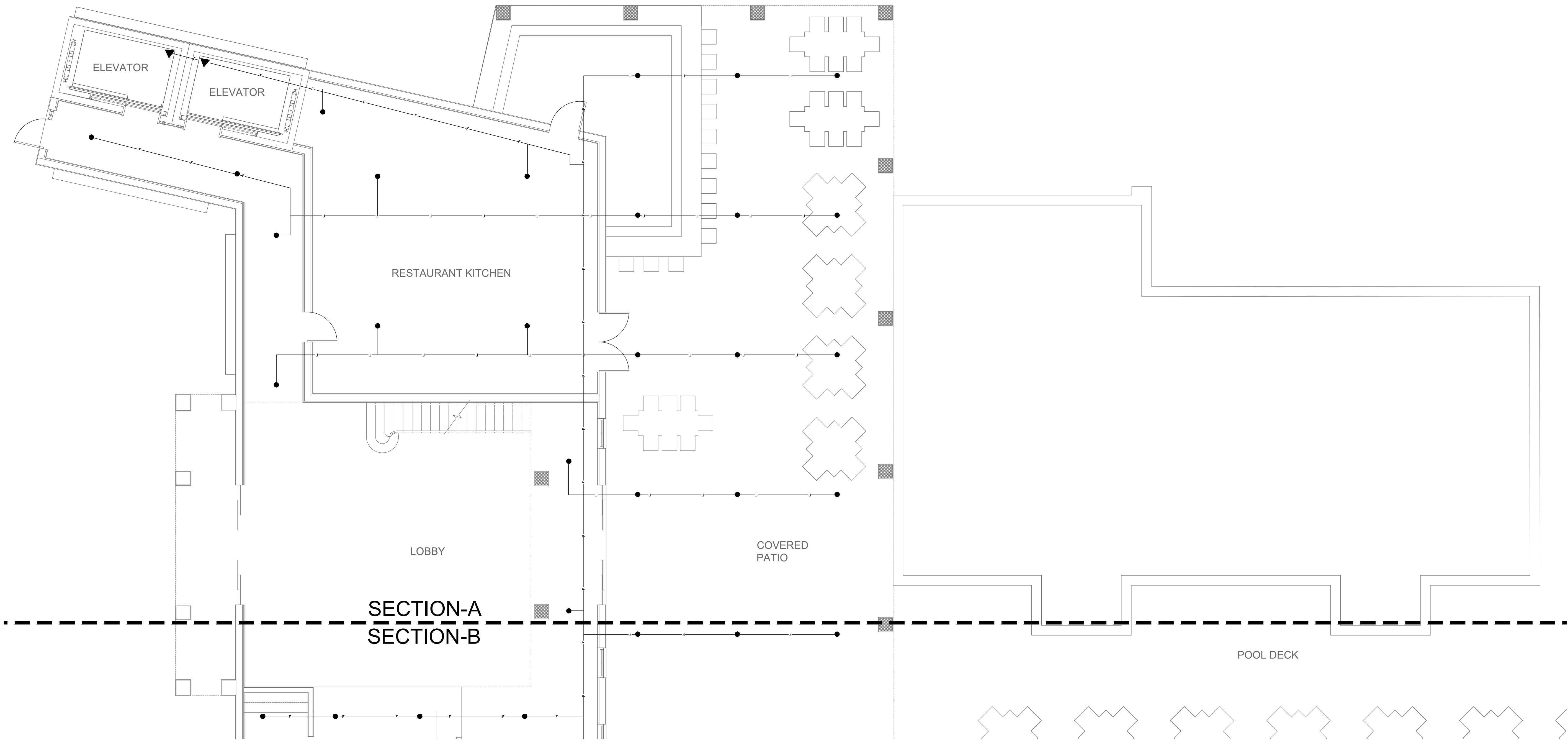
REVISIONS

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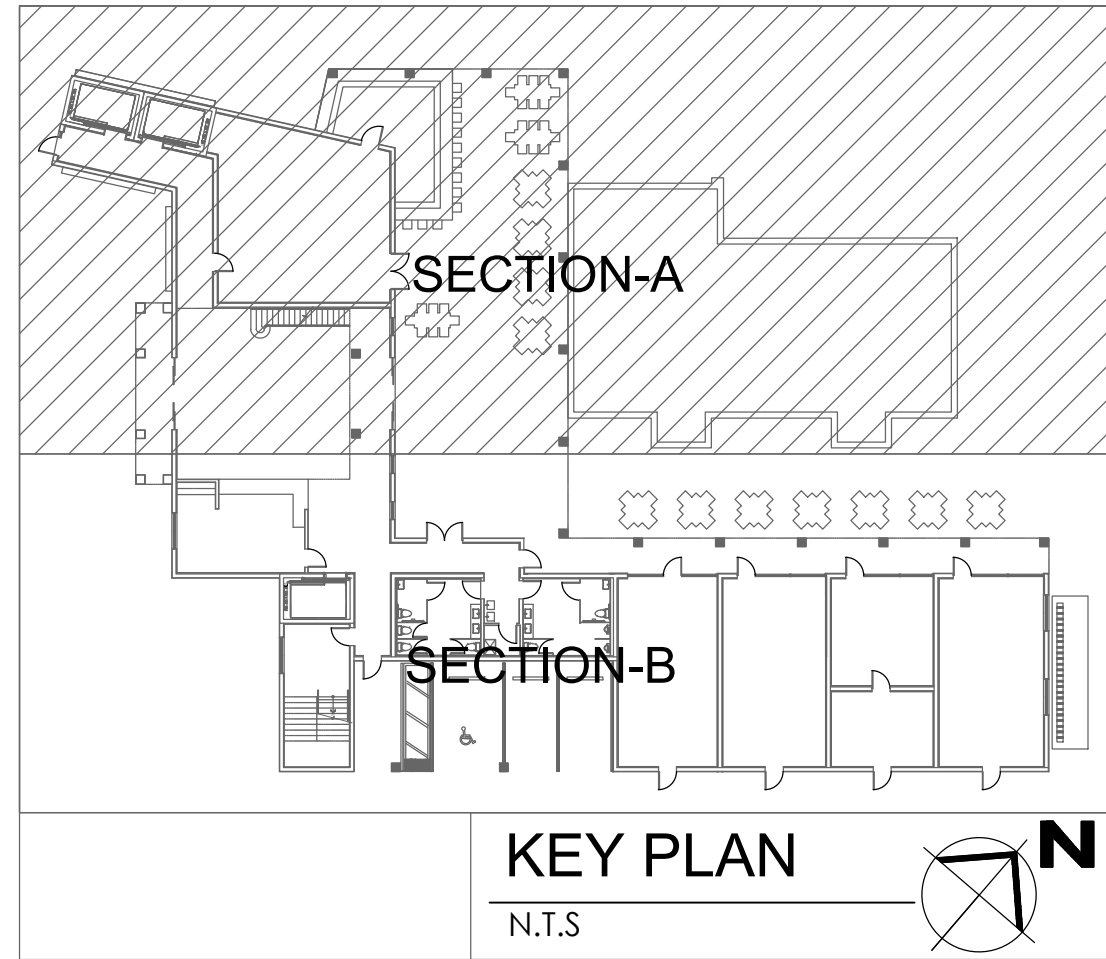
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DATE:

SHEET TITLE:
**FIRE SPRINKLER
GROUND FLOOR PLAN -
HOTEL LOBBY BUILDING
(SECTION-A)**

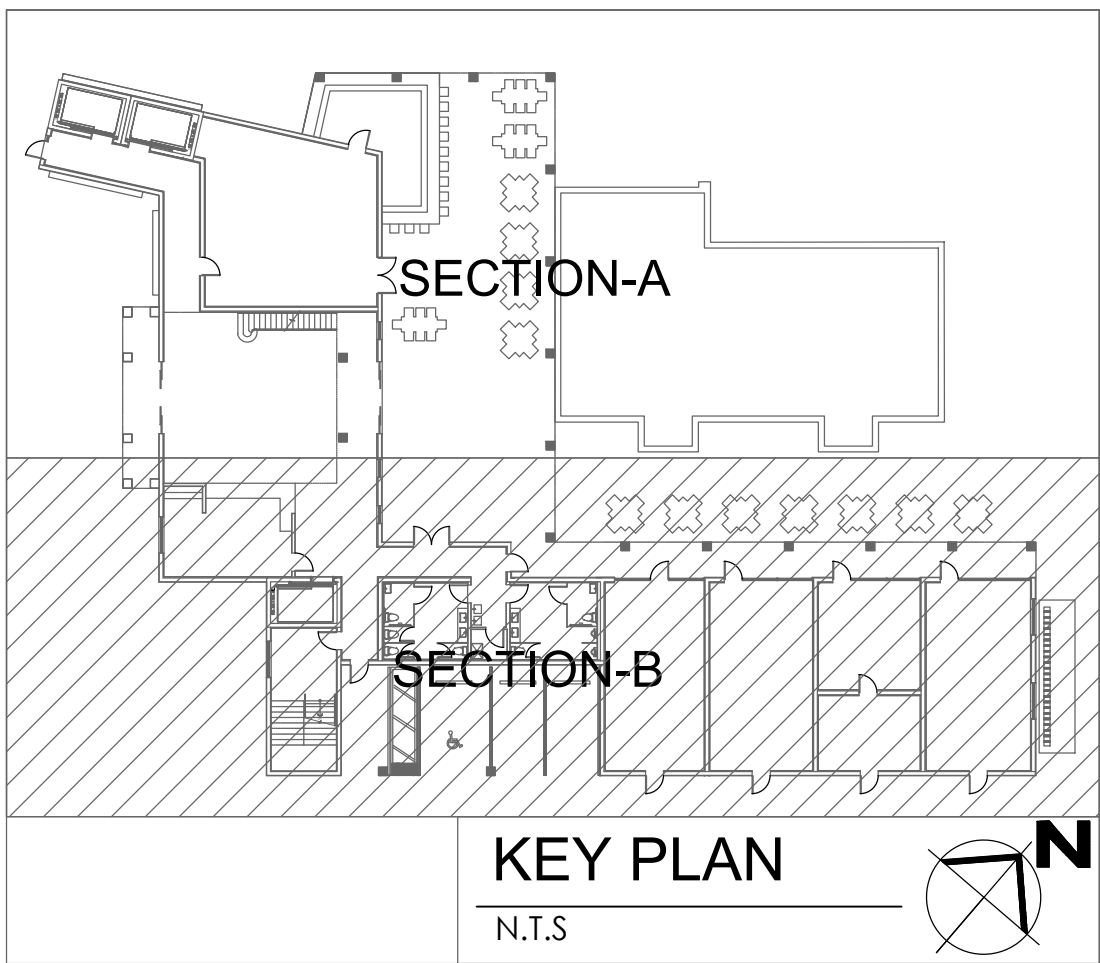
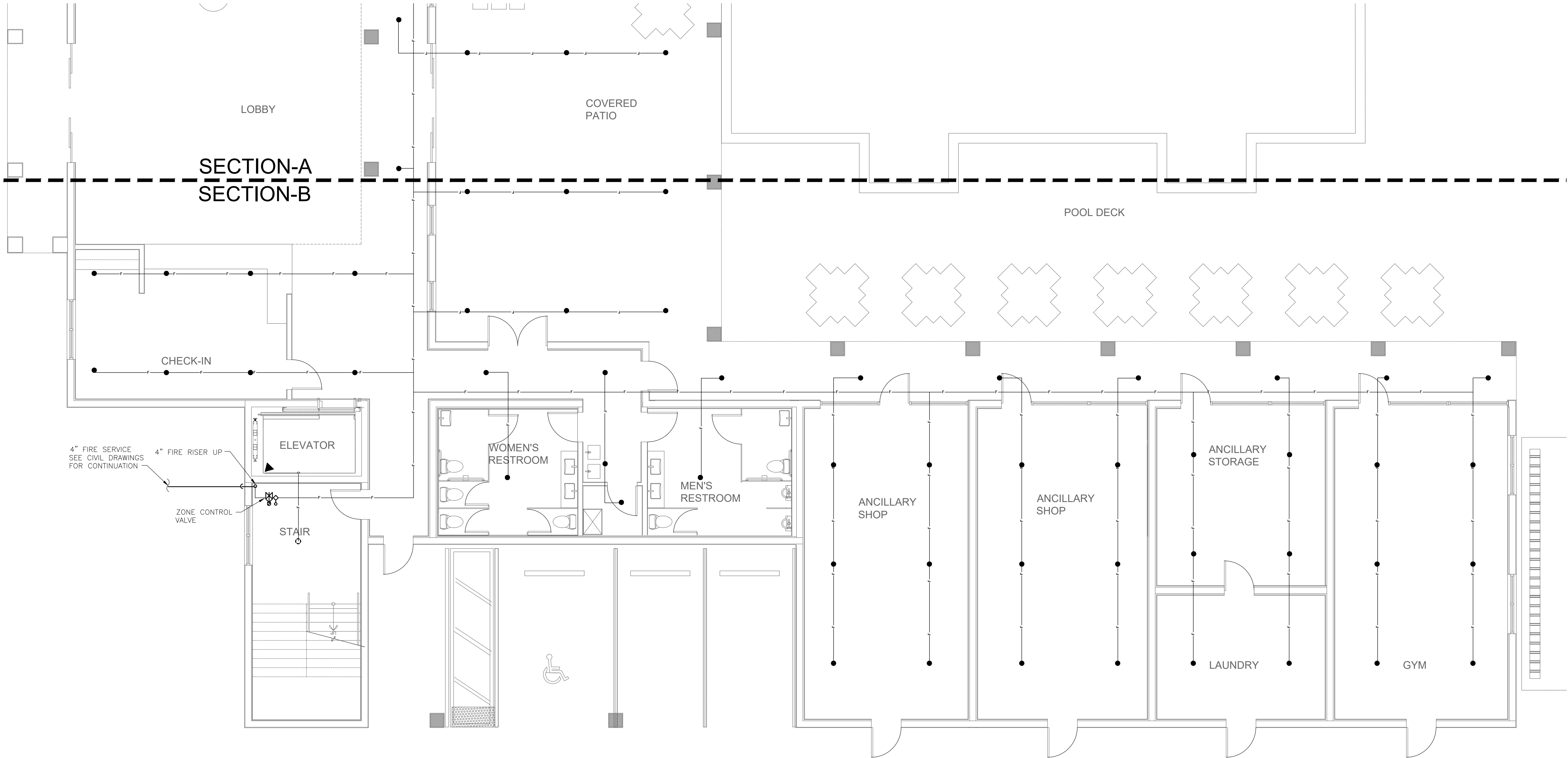
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FP-3.0



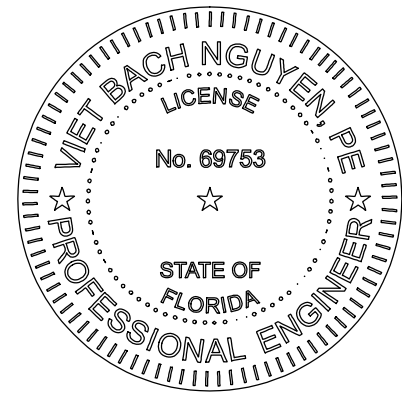
FIRE SPRINKLER GROUND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)
scale: 3/16" = 1'-0"



KEY PLAN
N.T.S



FIRE SPRINKLER GROUND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)
scale: 3/16" = 1'-0"



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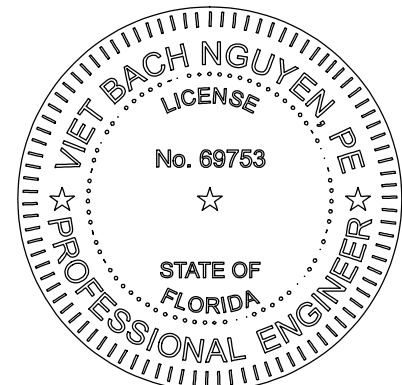
**IBIS BAY WATERFRONT
RESORT**
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS		
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
**FIRE SPRINKLER
GROUND FLOOR PLAN -
HOTEL LOBBY BUILDING
(SECTION-B)**

SHEET No:
FP-3.1



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FLORIDA P.E. #69753

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3101 NORTH ROOSEVELT BLVD.,
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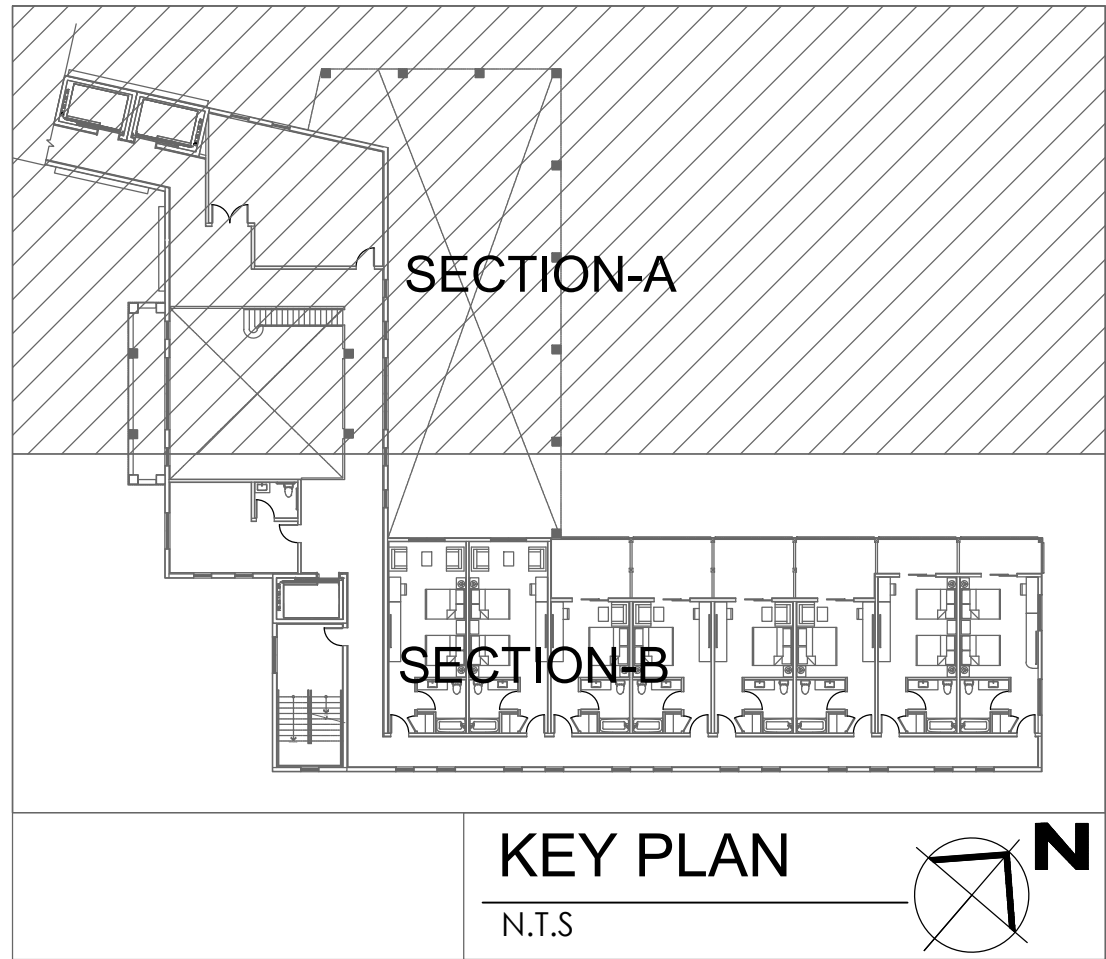
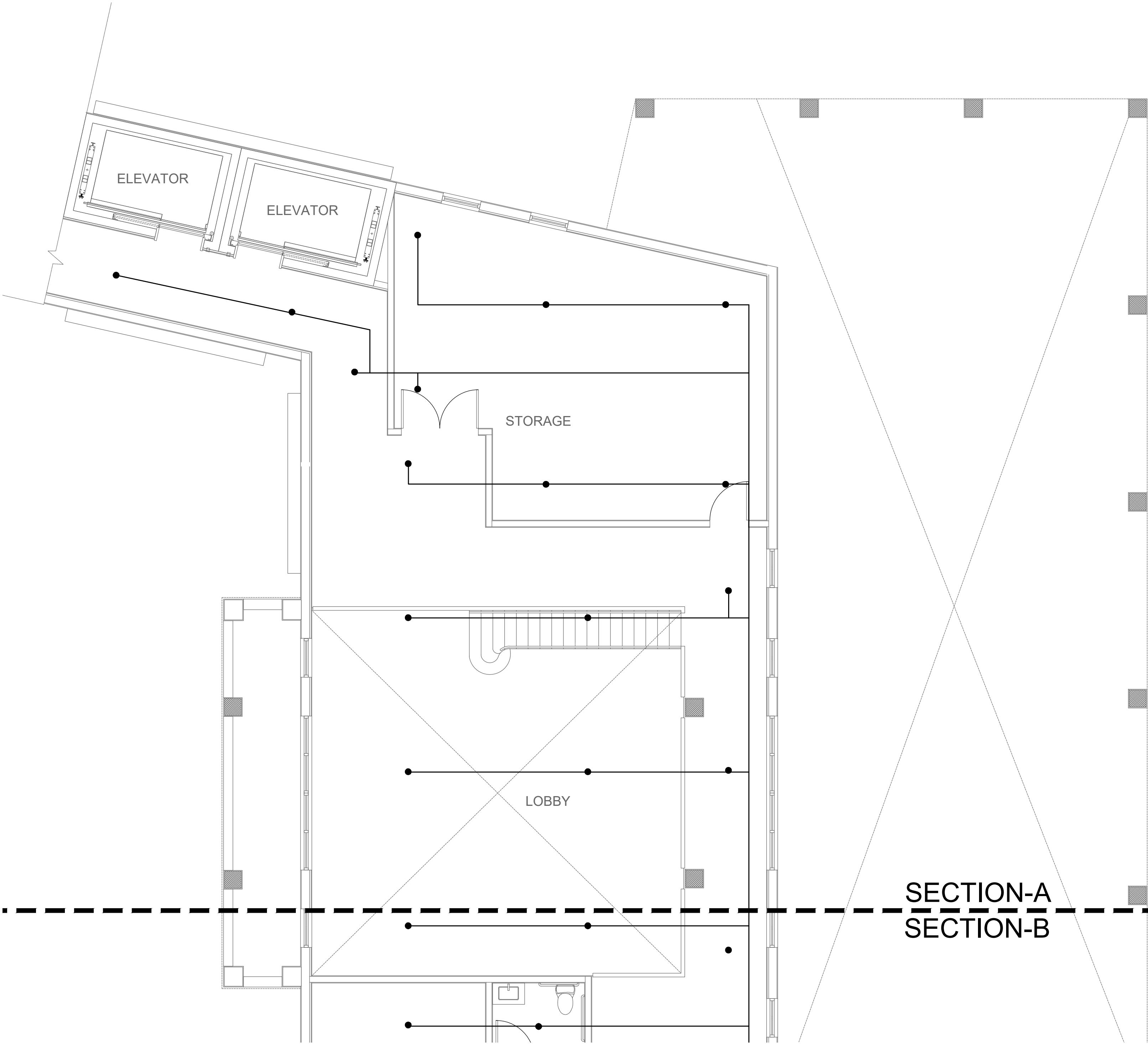
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
FIRE SPRINKLER FIRST FLOOR PLAN - HOTEL LOBBY BUILDING
(SECTION-A)

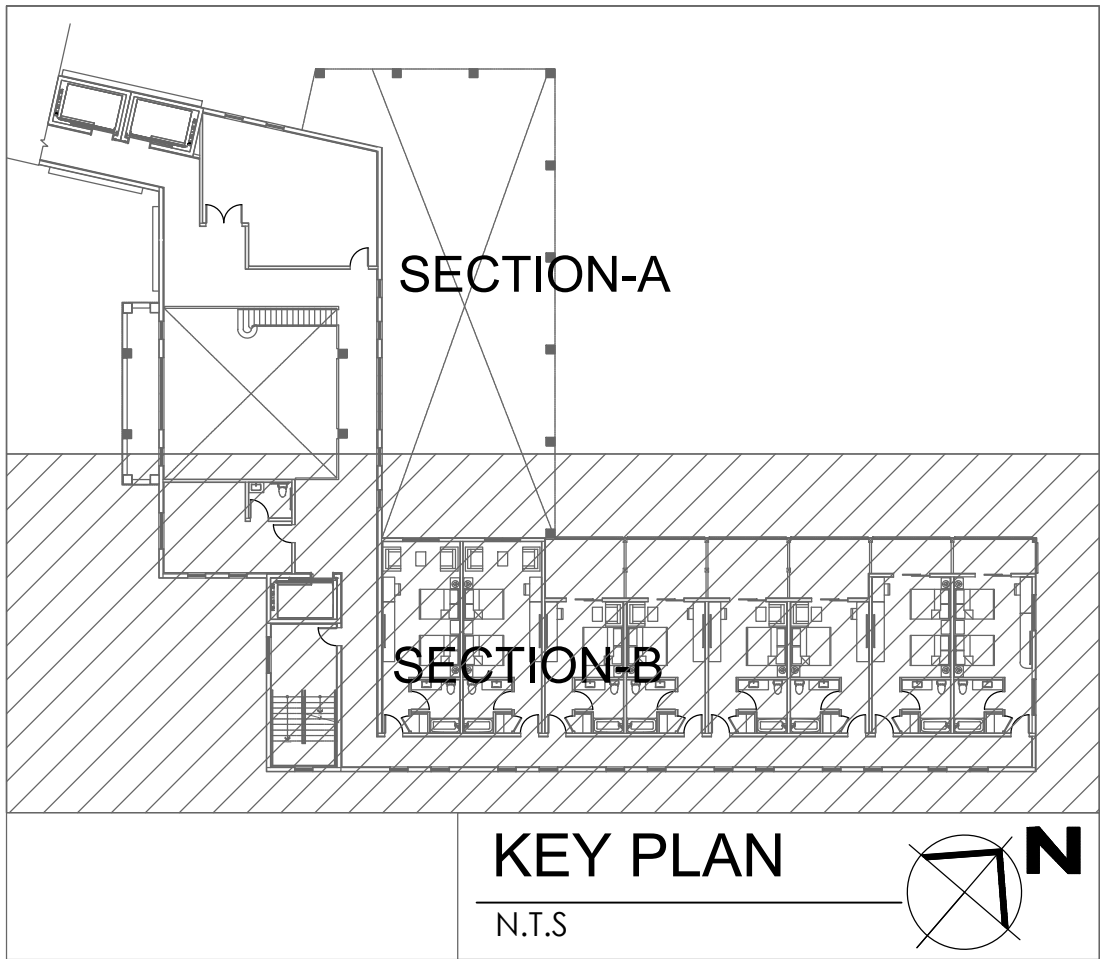
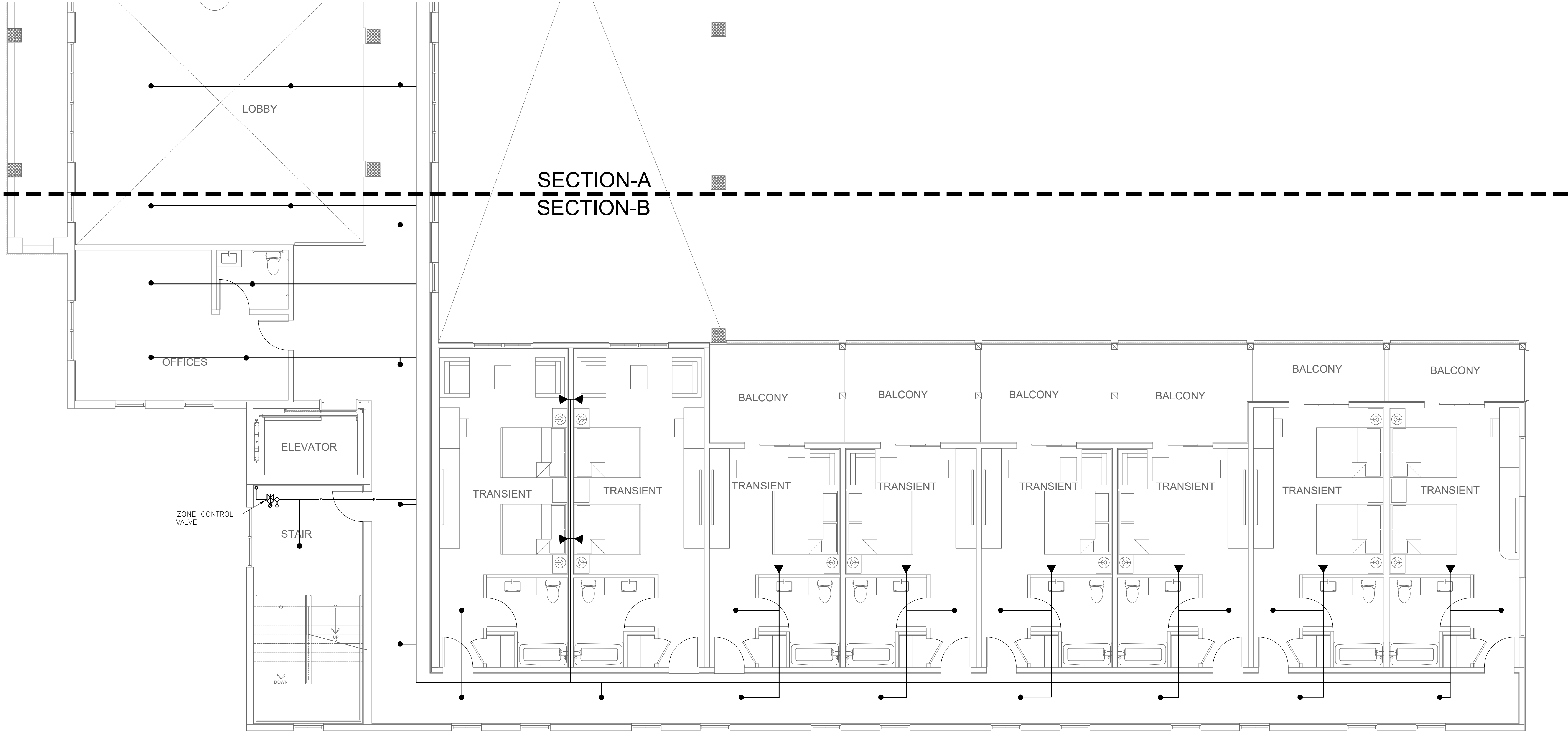
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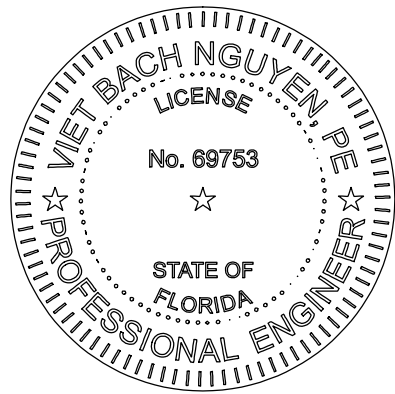


FIRE SPRINKELR FIRST FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)
scale: 3/16" = 1'-0"





FIRE SPRINKLER FIRST FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)
scale: 3/16" = 1'-0"



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FLORIDA P.E. #69753

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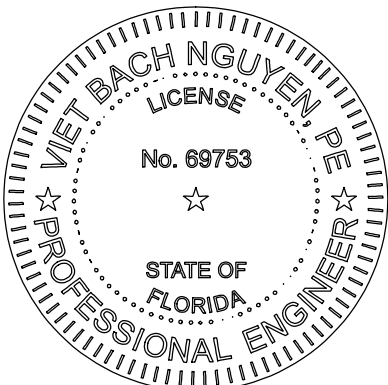
REVISIONS		
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
**FIRE SPRINKLER FIRST
FLOOR PLAN - HOTEL
LOBBY BUILDING
(SECTION-B)**

SHEET No:

FP-3.3



VIET BACH NGUYEN
FLORIDA P.E. #69753

IBIS BAY WATERFRONT
RESORT
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS

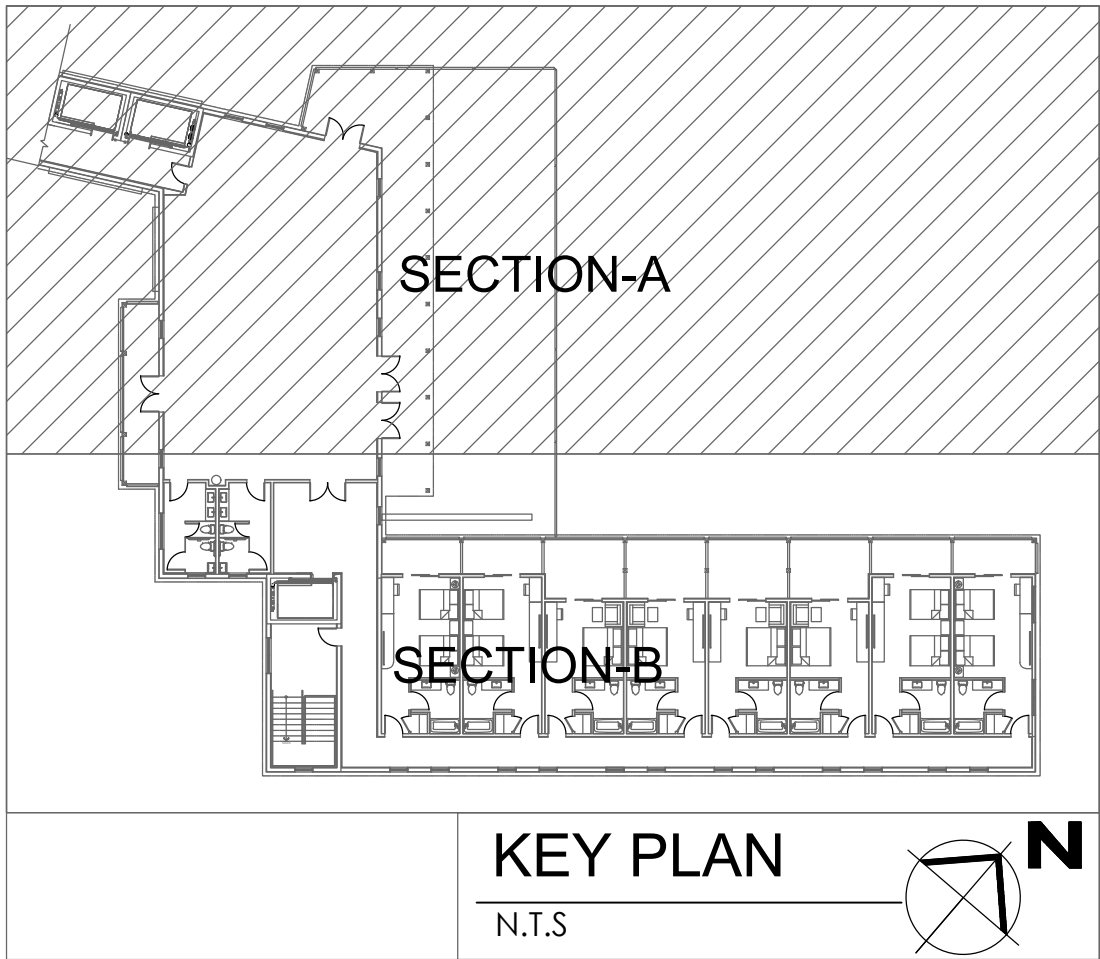
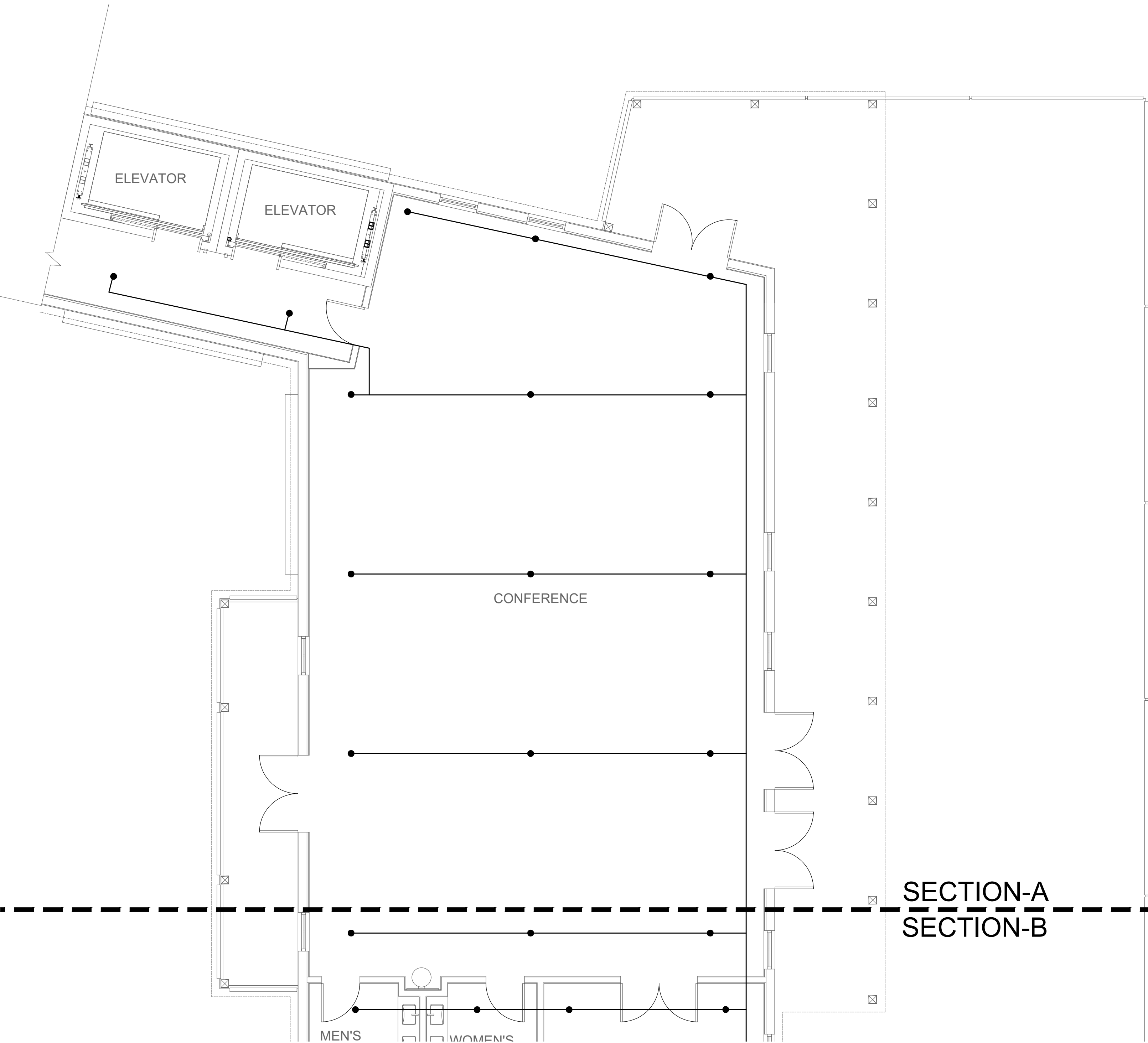
No.	Description	Date

PROJECT No: 121324
DATE:

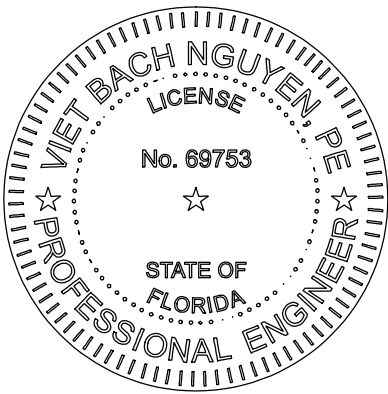
SHEET TITLE:
FIRE SPRINKLER
SECOND FLOOR PLAN -
HOTEL LOBBY BUILDING
(SECTION-A)

SHEET No:

FP-3.4



FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-A)
scale: 3/16" = 1'-0"



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FLORIDA P.E. #69753

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RESORT
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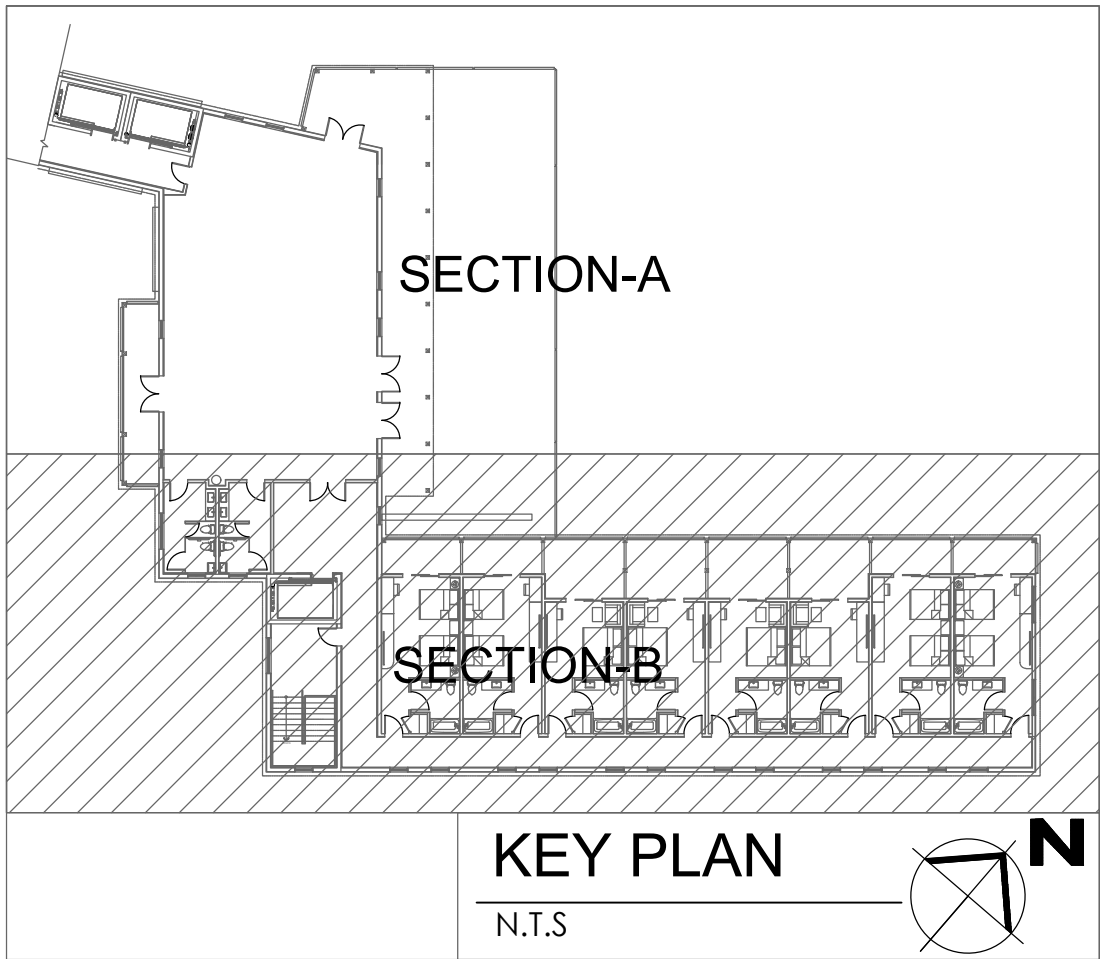
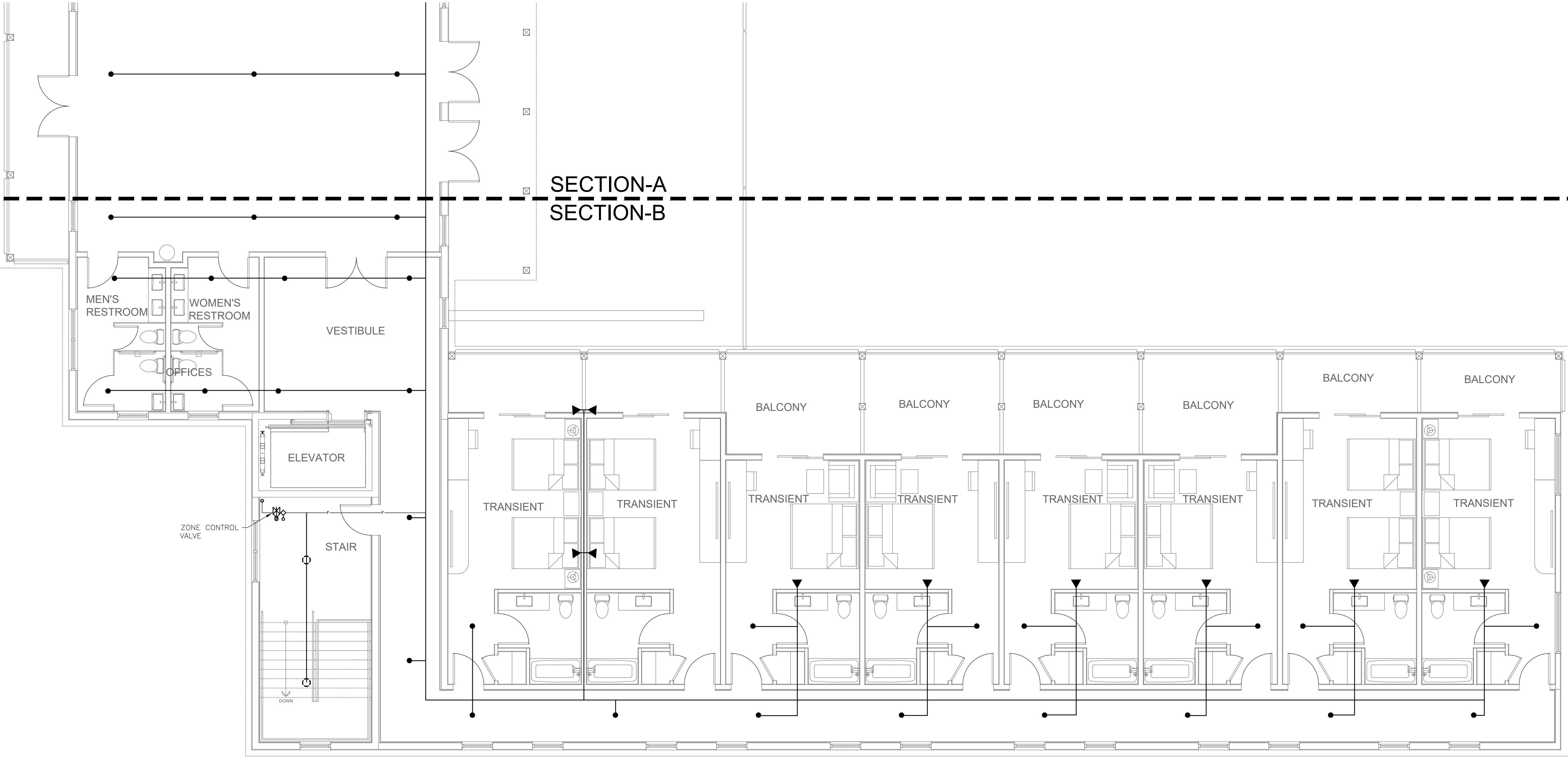
REVISIONS

No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE:
FIRE SPRINKLER
SECOND FLOOR PLAN -
HOTEL LOBBY
BUILDING (SECTION-B)

SHEET No:
M-3.5



FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL LOBBY BUILDING (SECTION-B)
scale: 3/16" = 1'-0"



4" FIRE SERVICE
SEE CIVIL DRAWINGS
FOR CONTINUATION

4" FIRE RISER UP

STAIR

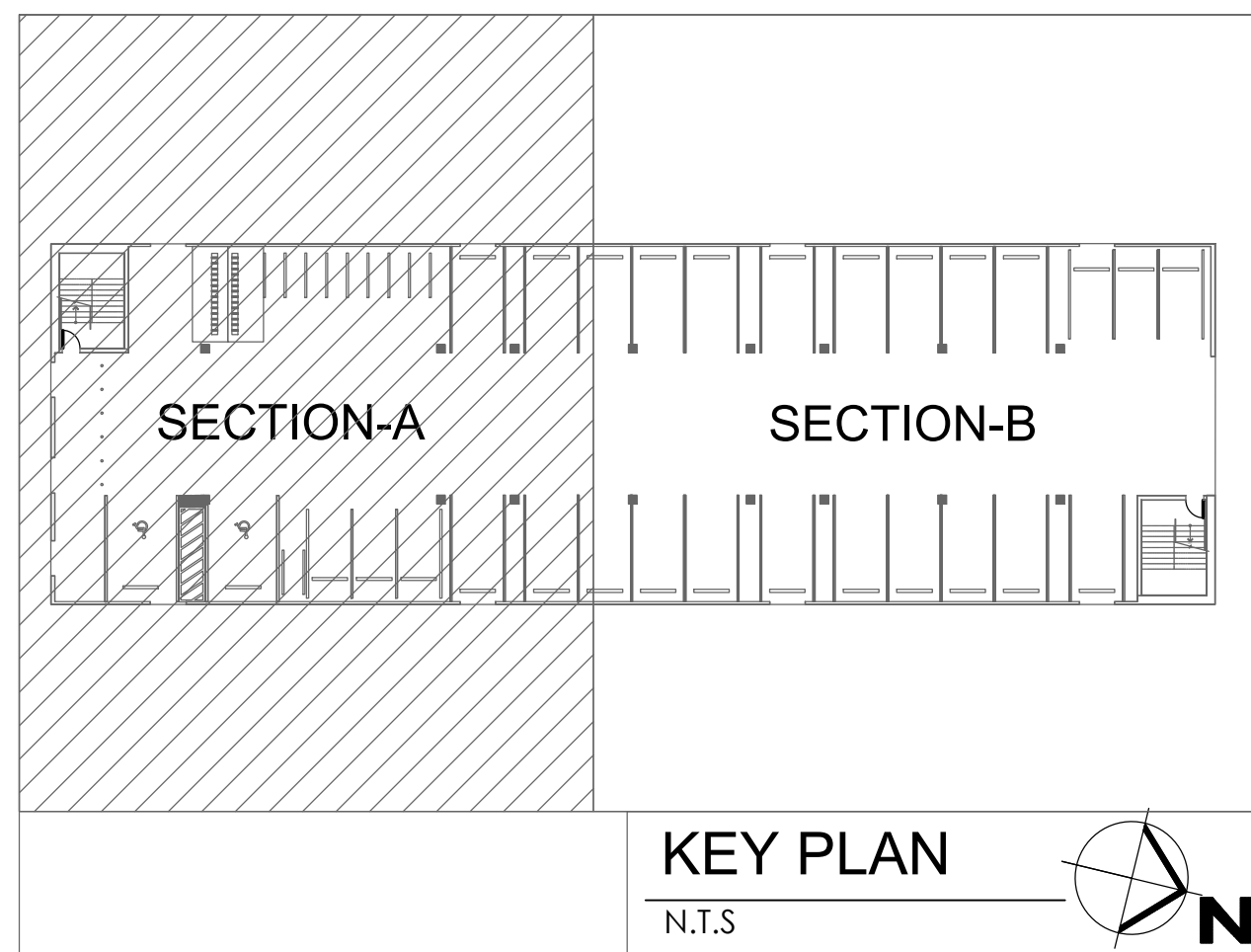
ZONE CONTROL
VALVE

BICYCLE
RACKS

SCOOTER
PARKING

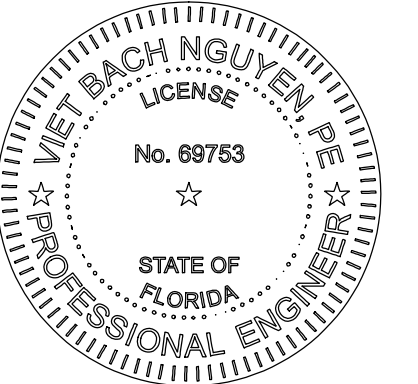
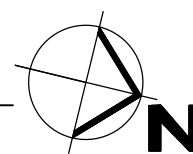
SECTION-A
SECTION-B

PARKING



FIRE SPRINKLER GROUND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"



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FLORIDA P.E. #69753

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RESORT**
3101 NORTH ROOSEVELT BLVD.,
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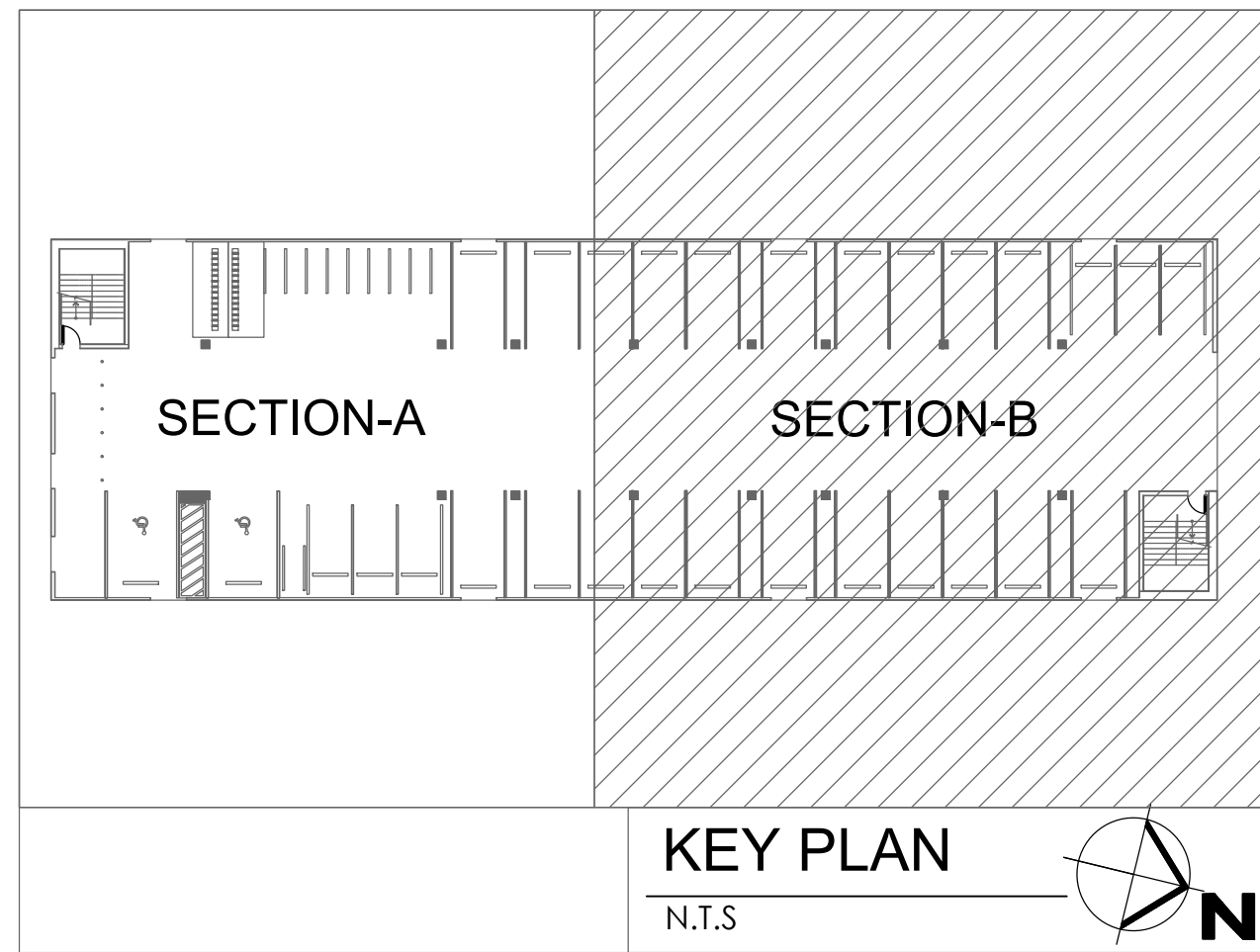
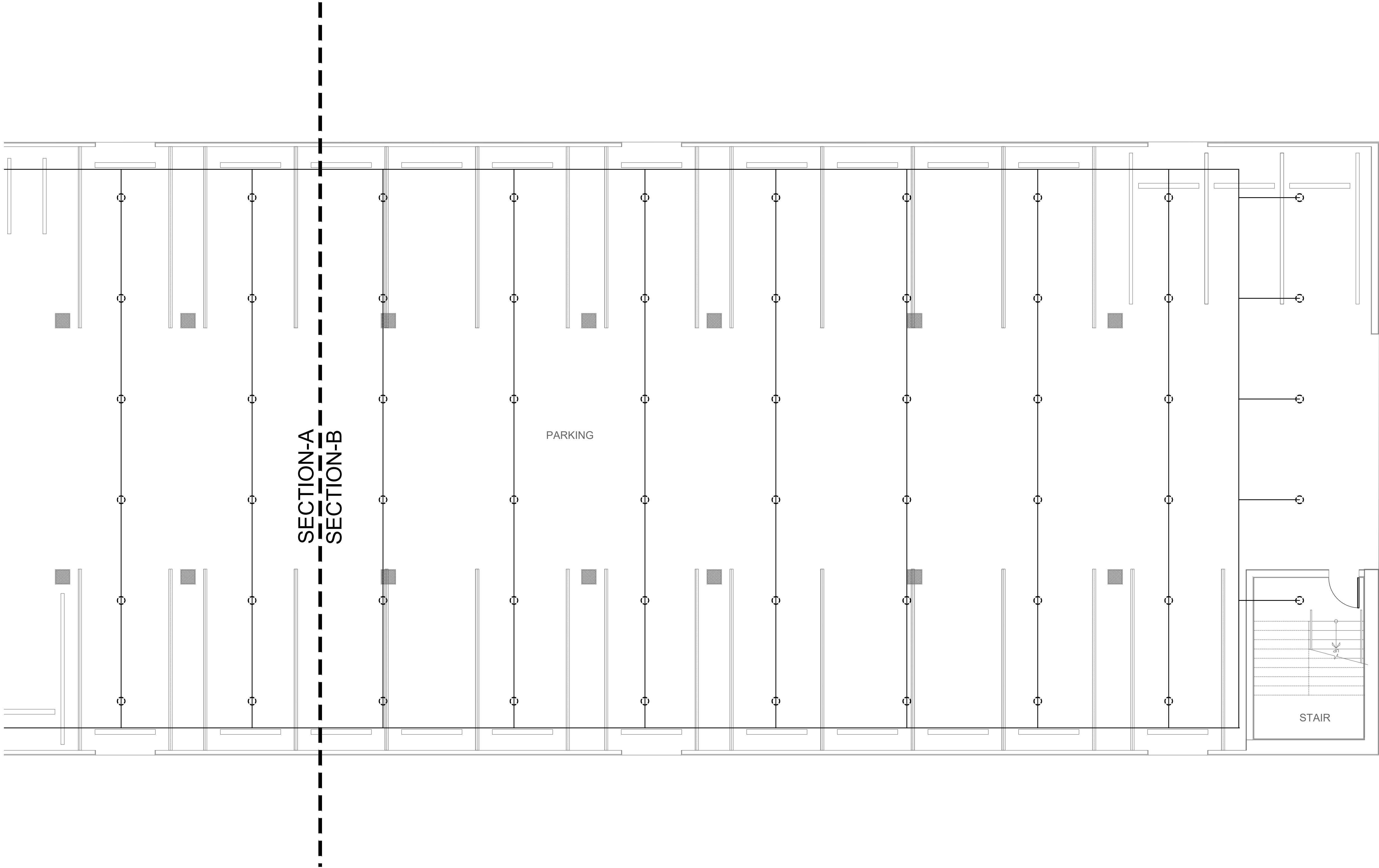
No.	Description	Date

PROJECT No: 121324
DATE:

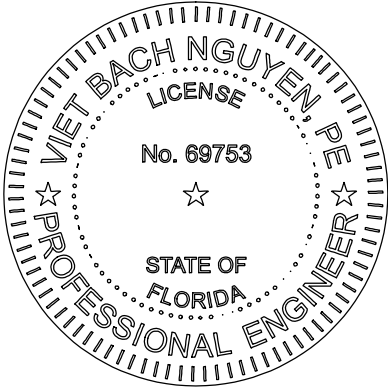
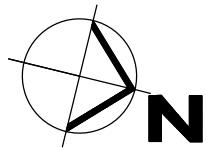
SHEET TITLE: **FIRE SPRINKLER
GROUND FLOOR
PLAN - HOTEL
BUILDING 2
(SECTION-A)**

SHEET No:

FP-4.0



FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)
scale: 3/16" = 1'-0"



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FLORIDA P.E. #69753

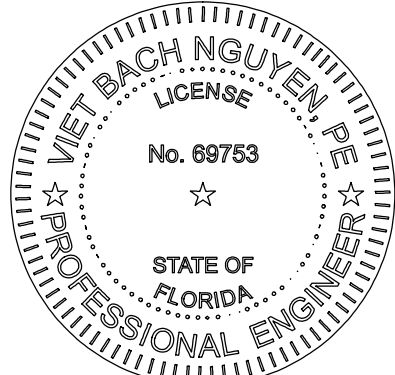
**IBIS BAY WATERFRONT
RESORT**
3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

REVISIONS		
No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE: **FIRE SPRINKLER
SECOND FLOOR
PLAN - HOTEL
BUILDING 2
(SECTION-B)**

SHEET No:
FP-4.1



VIET BACH NGUYEN
FLORIDA P.E. #69753

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3101 NORTH ROOSEVELT BLVD.,
KEYWEST, FL 33040

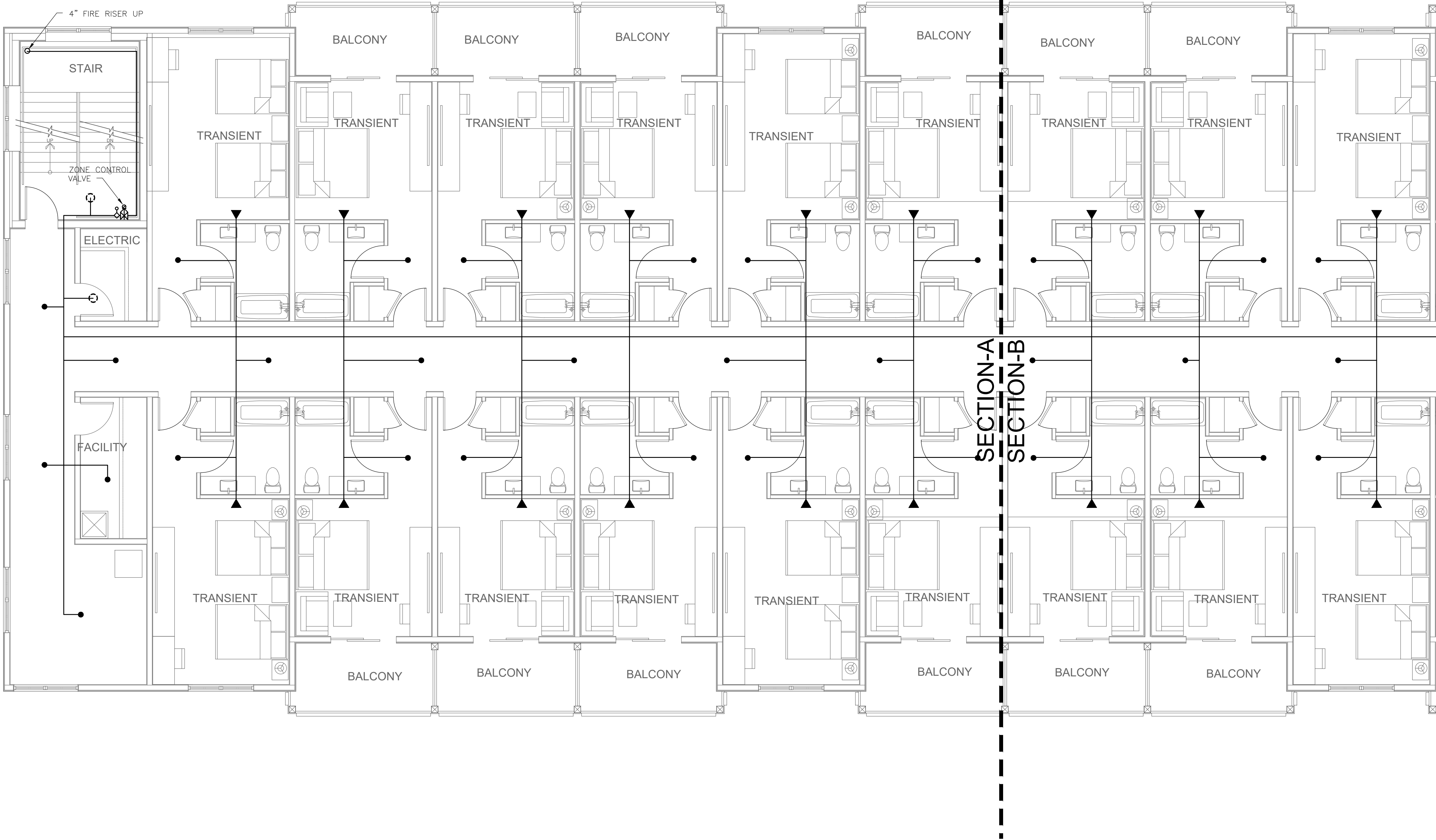
REVISIONS

No.	Description	Date

PROJECT No: 121324
DATE:

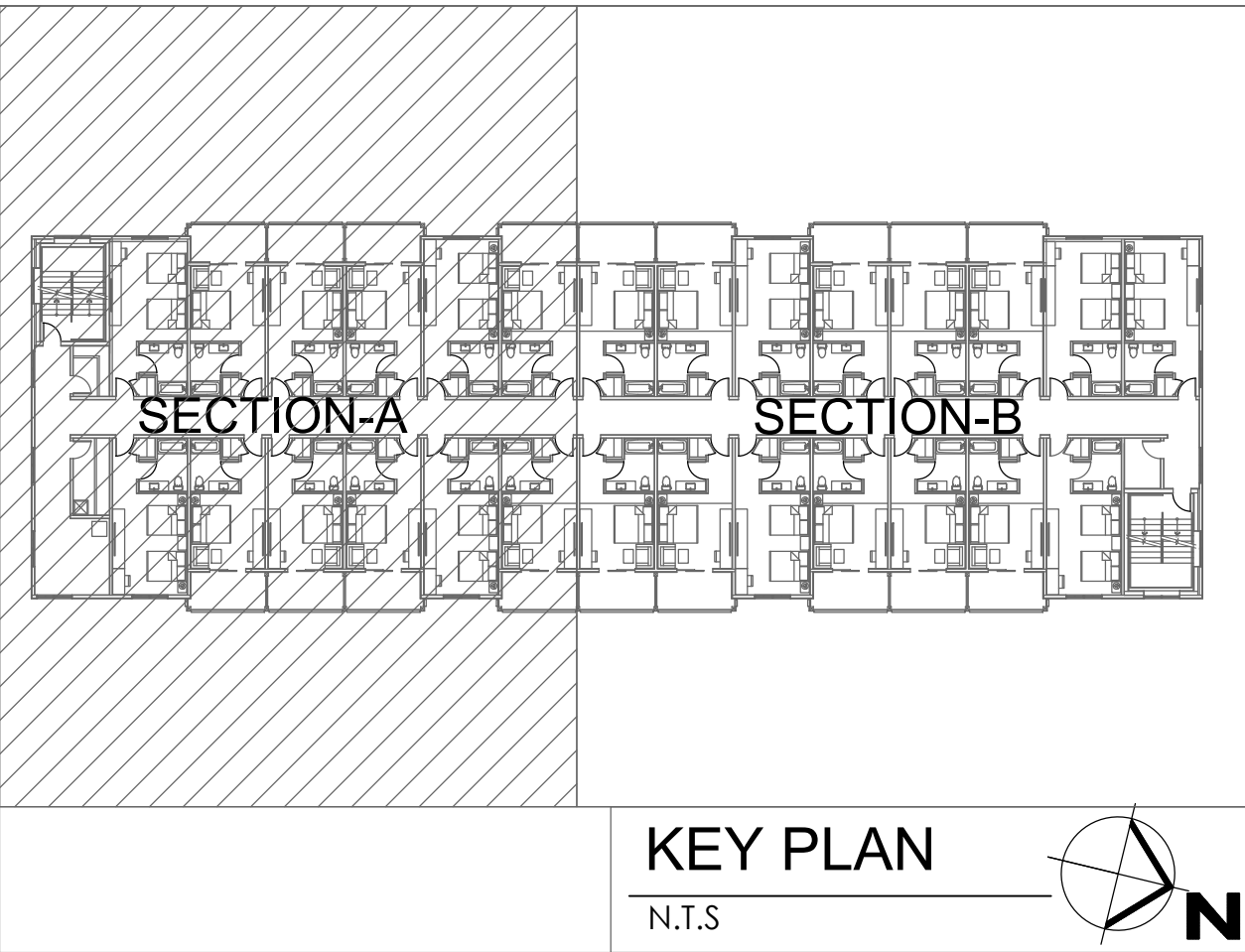
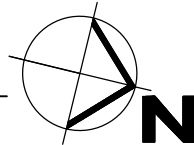
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FIRST FLOOR PLAN
- HOTEL BUILDING 2
(SECTION-A)

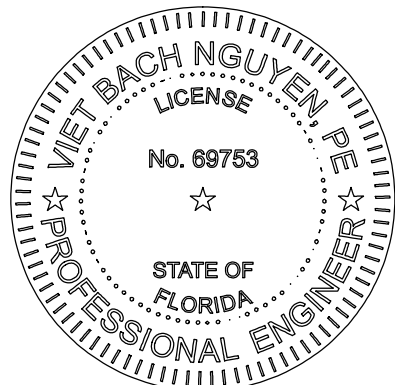
SHEET No:
FP-4.2



FIRE SPRINKLER FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)

scale: 3/16" = 1'-0"





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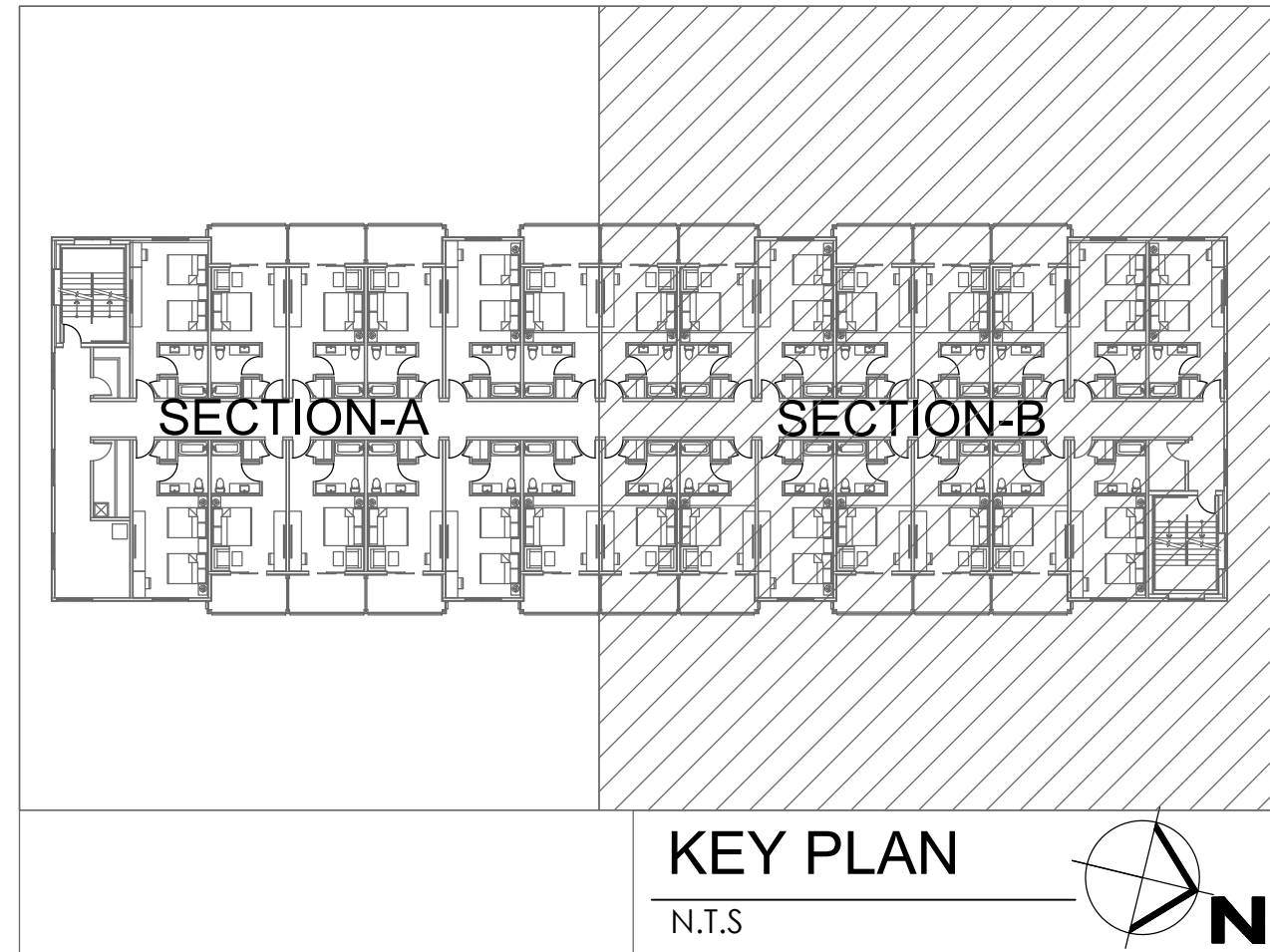
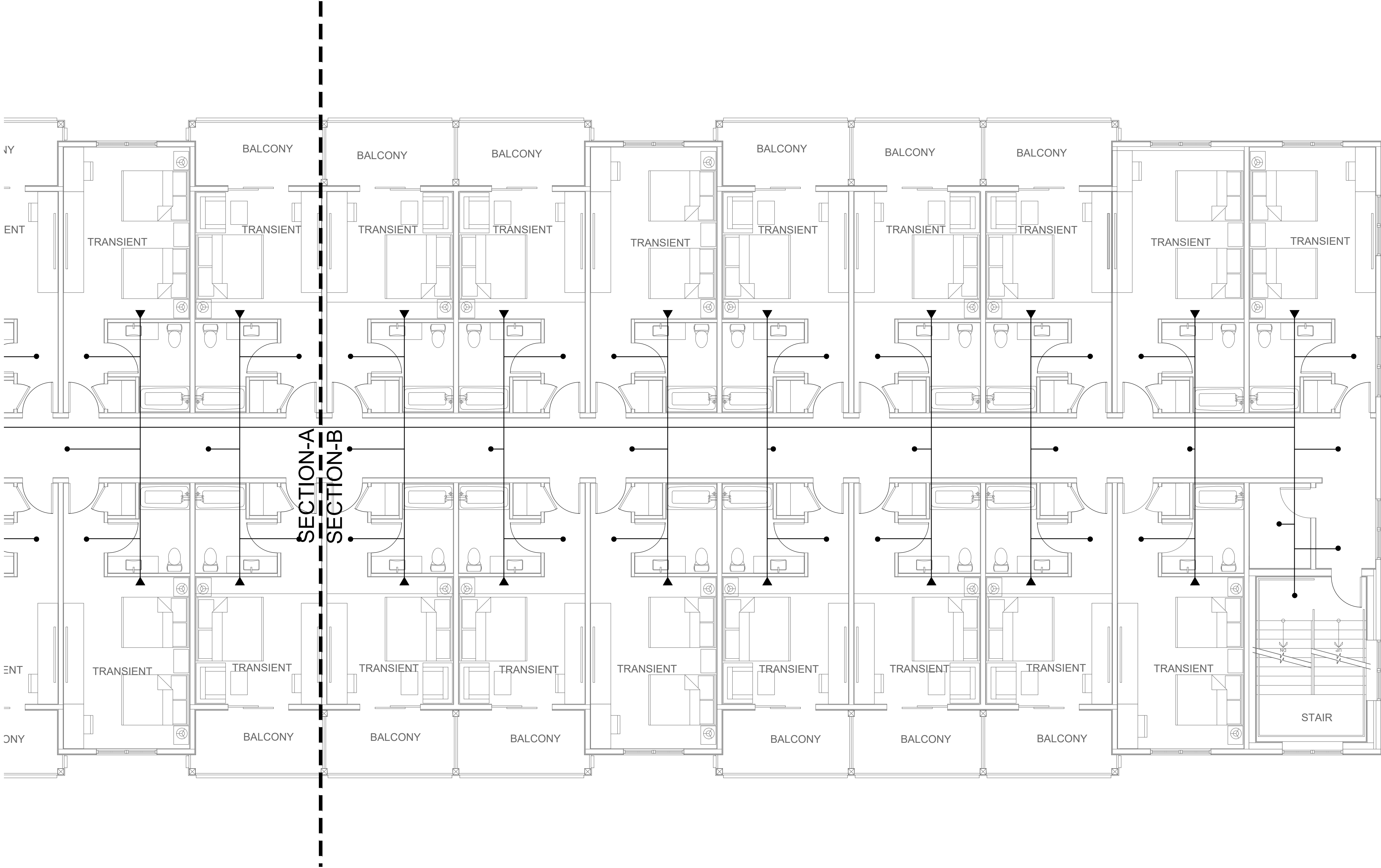
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PROJECT No: 121324
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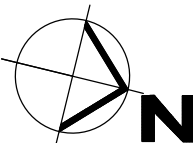
SHEET TITLE:**FIRE SPRINKLER
FIRST FLOOR PLAN
- HOTEL BUILDING 2
(SECTION-B)**

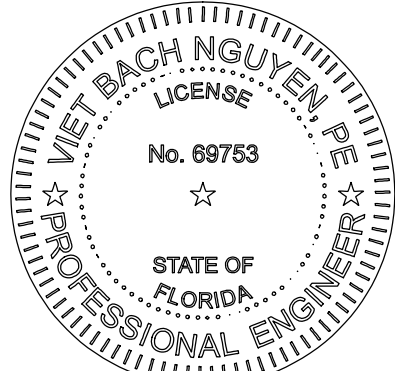
SHEET No:

FP-4.3



FIRE SPRINKLER FIRST FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)
scale: 3/16" = 1'-0"





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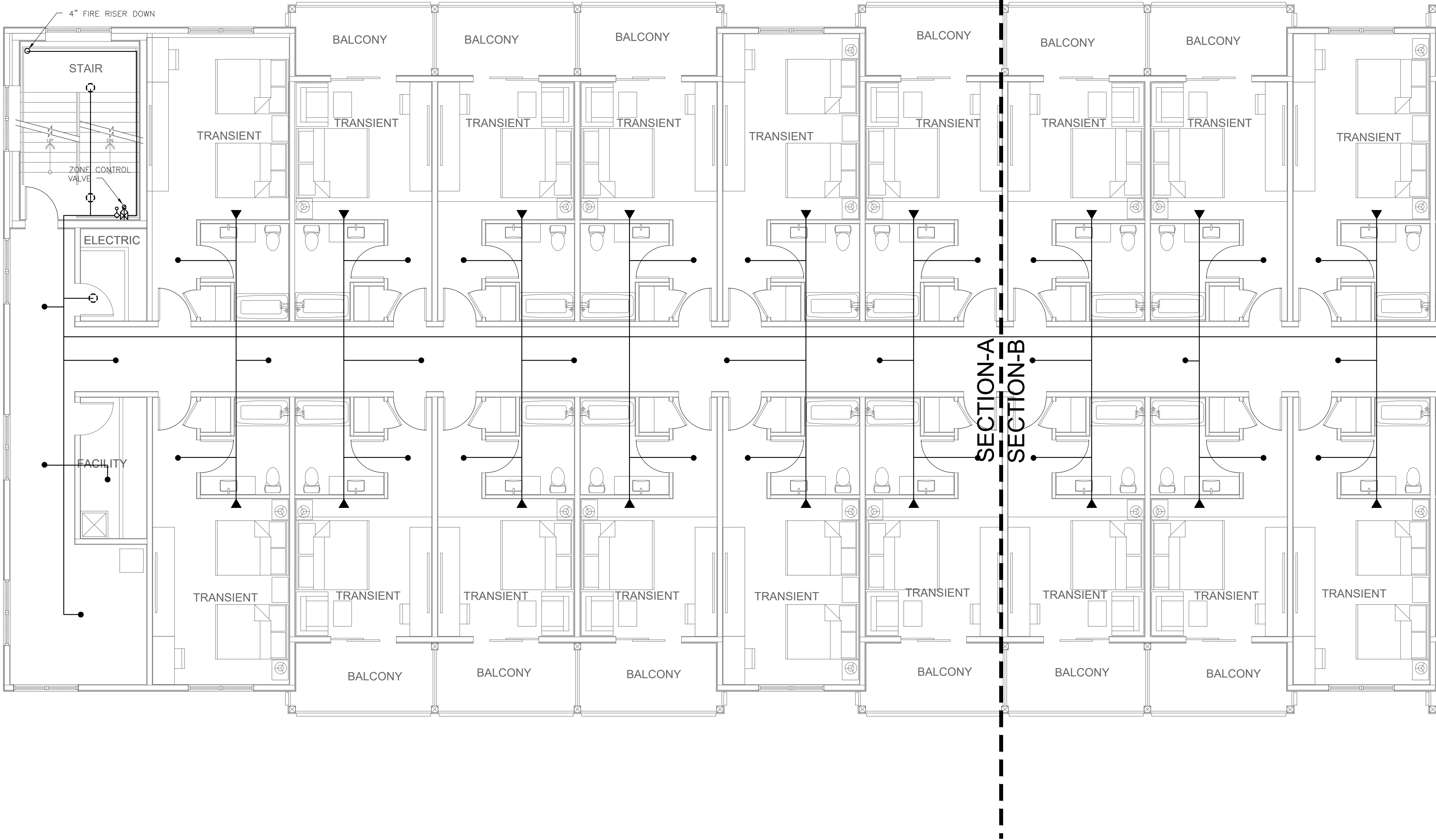
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PROJECT No: 121324
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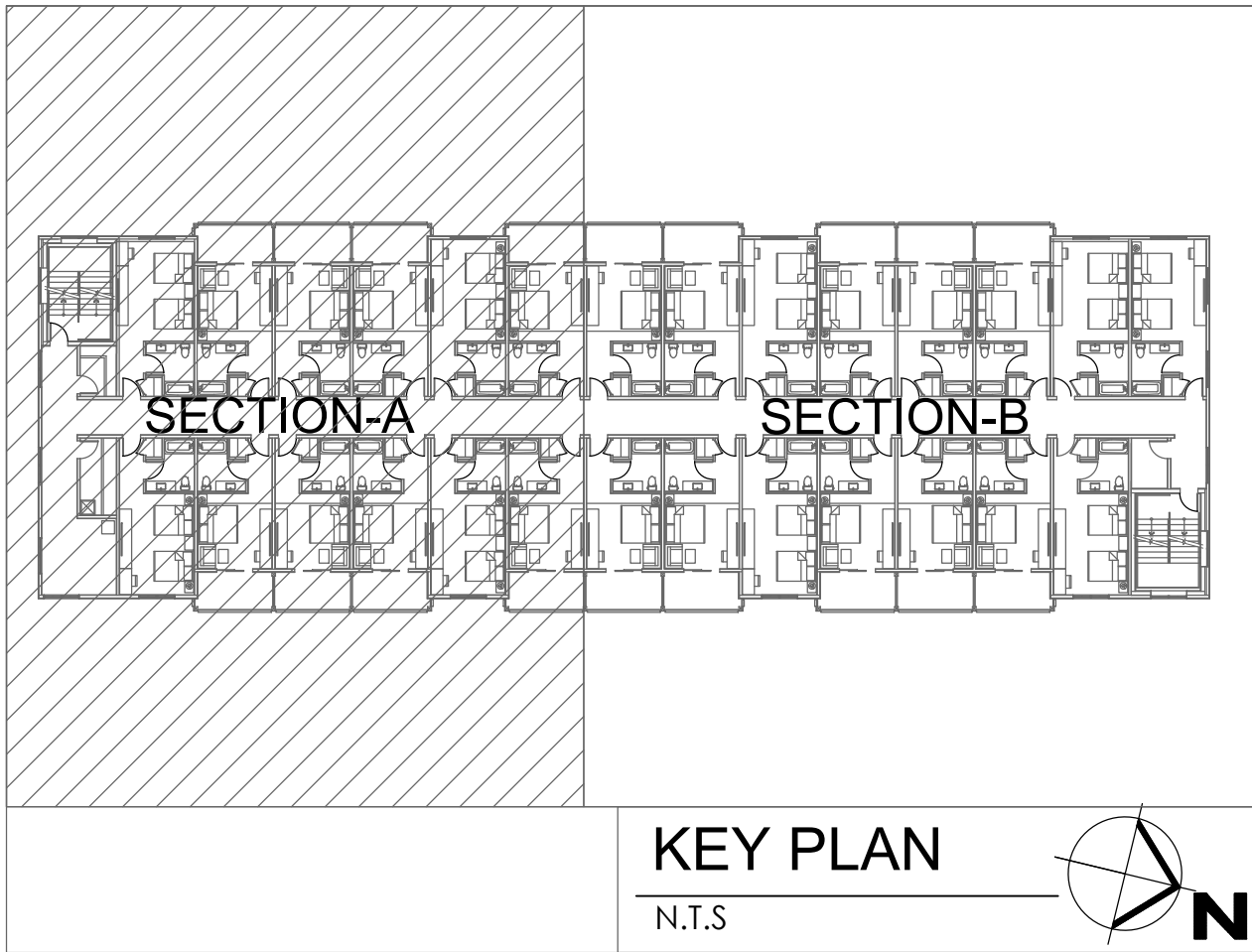
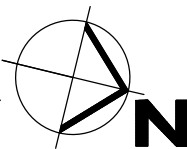
SHEET TITLE: FIRE SPRINKLER
SECOND FLOOR
PLAN - HOTEL
BUILDING 2
(SECTION-A)

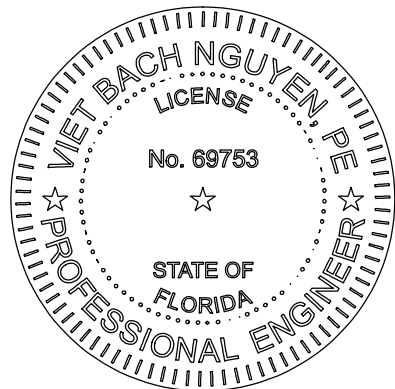
SHEET No:

FP-4.4



FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-A)
scale: 3/16" = 1'-0"





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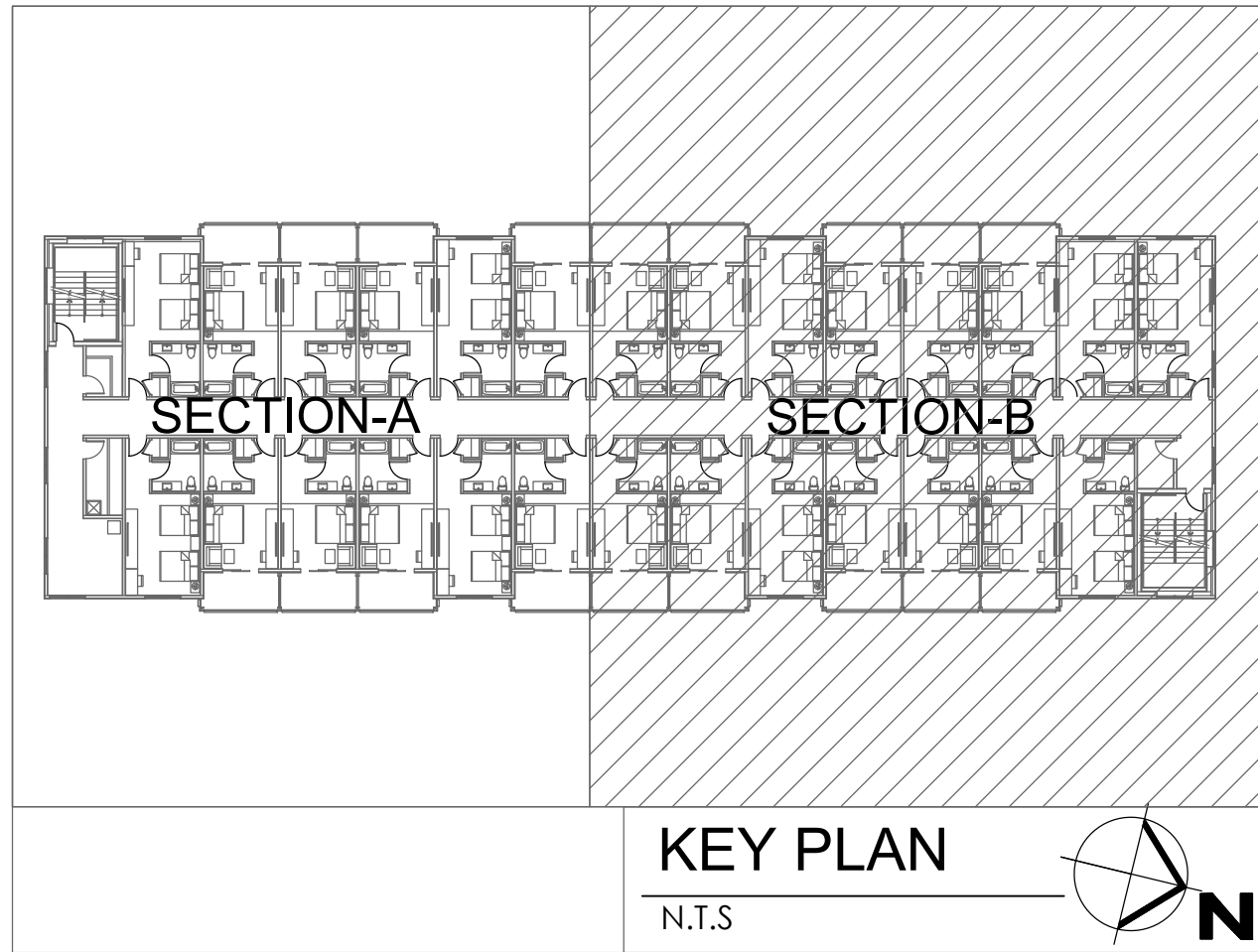
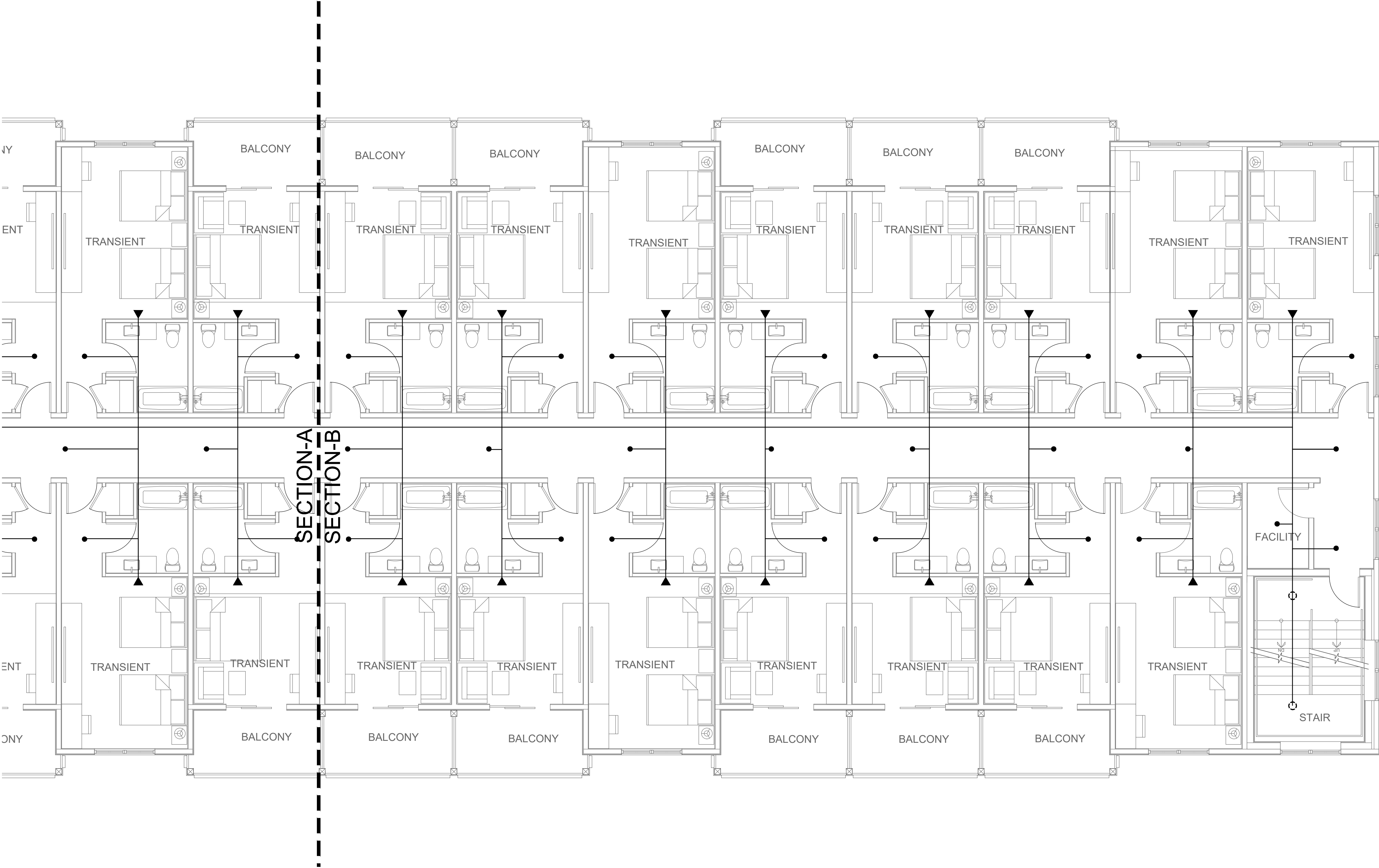
REVISIONS

No.	Description	Date

PROJECT No: 121324
DATE:

SHEET TITLE: FIRE SPRINKLER
SECOND FLOOR
PLAN - HOTEL
BUILDING 2
(SECTION-B)

SHEET No:
FP-4.5



FIRE SPRINKLER SECOND FLOOR PLAN - HOTEL BUILDING 2 (SECTION-B)
scale: 3/16" = 1'-0"

