



Historic Architectural Review Commission Staff Report for Item 5

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: August 25, 2020

Applicant: Artibus Design

Application Number: H2020-0022

Address: #1007 Thomas Street

Description of Work:

Renovations and rear addition to a historic structure.

Site Facts:

The structure under review is a historic residence located at 1007 Thomas Street. According to the Monroe County Public Library record, the structure was built ca. 1918, and it appears on the 1926 Sanborn map. The structure was listed on the HARC survey as non-contributing, likely due to insufficient information at the time of the survey, but the structure is very historic. The original front porch was enclosed sometime after 1965.

Guidelines Cited on Review:

- Guidelines for Windows (pages 29-30), specifically guideline 4.
- Guidelines for Additions and Alterations on Contributing, Non-Contributing and Non-Historic Buildings and Structures (pages 37a-37k), specifically guidelines 1, 2, 5, 6, 11, 13, 19, 26, 29, 31, 32 and 33.
- Guidelines for Decks, Patios, Hot Tubs and Pools (pages 39-40), specifically guideline 3.

Staff Analysis:

This application proposes renovations and a rear addition to a historic structure.

Renovations include restoration of the front porch, expansion of the rear dormer, repairs to exterior siding, replacement of all windows and doors, and new 5 v-crimp metal roofing. The height of the rear dormer will be expanded from 16 feet 9 inches to 20 feet, which will raise it from 4 feet below to 9 inches below the height of the historic ridgeline. The width of the dormer will be increasing by almost 4 feet. Replacement windows and doors on the existing historic portions of the house are to be wood

The rear addition will add just less than 60 square feet to the building's footprint. The height of the rear addition is to be 16 feet, which is 4 feet 9 inches below the height of the historic ridgeline. The new addition is to have cement board siding and windows and doors are proposed to be aluminum.

This application also proposes a 12 foot by 8 foot pool and a pool deck at the rear of the house, an off-street parking spot and walkway using pervious pavers, 4 foot and 6 foot white picket fencing, and a white paint color for the house.

Consistency with Cited Guidelines:

It is staff's opinion that the proposed design meets the cited guidelines.

Replacement windows on the historic portion of this non-contributing structure are to be wood, which will be compatible with the character of the building and its neighborhood. The existing windows are not original to the house, as displayed by the historic photo from 1965, which shows the house with jalousie windows. Windows on the addition are proposed to be aluminum, which is in-keeping with the guidelines.

The proposed addition requires no changes or alterations to the character defining features of the building, and if removed in the future, essential character defining features will be unimpaired. The addition is to be attached to the rear and will limit its size and scale in relationship to the historic building. The proposed massing is smaller than that of the historic house and is appropriate in the context of adjacent lots. Proposed materials are appropriate and harmonious to the historic structure and the surrounding context. In accommodation for the new addition, the demolition of original elements of the historic, non-contributing building will be minimized. There will also be a small-scale hyphen in order to differentiate between the historic house and the new addition.

This application also proposes the removal of non-historic additions and alterations that have obscured character-defining features, in accordance with guidelines 32 and 33 under Additions and Alterations.

In accordance with guideline 4 under Decks, Patios, Hot Tubs and Pools, the proposed pool will be screened from the elevation right-of-way by the fencing that is proposed between the driveway and the pool.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



City of Key West

1300 WHITE STREET
KEY WEST, FLORIDA 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1007 Thomas St	
NAME ON DEED:	Stephanie L. Nadeau	PHONE NUMBER (207) 332-6347
OWNER'S MAILING ADDRESS:	PO Box 584, Kennebunkport ME 04046	EMAIL lobco@roadrunner.com
APPLICANT NAME:	Serge Mashtakov, PE	PHONE NUMBER (305) 304-3512
APPLICANT'S ADDRESS:	3710 N Roosevelt Blvd, Key West, FL 33040	EMAIL serge@artibusdesign.com
APPLICANT'S SIGNATURE:	<i>Serge Mashtakov</i>	DATE 07/17/2020

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS RELOCATION OF A STRUCTURE ELEVATION OF A STRUCTURE
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES NO INVOLVES A HISTORIC STRUCTURE: YES NO
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL:
MAIN BUILDING: Open front and restore front porch. Rear addition, interior remodeling, repairs to all exterior walls, new 5v metal roofing, repairs to exterior wall siding on all walls, replacement of all windows and doors. New parking, a/c and pool equipment over concrete pad in rear.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): Pool and pool deck.	
PAVERS: Pervious pavers, old town heritage color 4x8 paver bricks	FENCES: 4ft and 6ft white wood picket fences
DECKS: Coral stone tiled pool deck in rear	PAINTING: White paint color
SITE (INCLUDING GRADING, FILL, TREES, ETC.):	POOLS (INCLUDING EQUIPMENT): 12'x8' pool
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):	OTHER:

OFFICIAL USE ONLY:		HARC COMMISSION REVIEW		EXPIRES ON:	
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:			
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:			
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:			
REASONS OR CONDITIONS:					
STAFF REVIEW COMMENTS:					
FIRST READING FOR DEMO:			SECOND READING FOR DEMO:		
HARC STAFF SIGNATURE AND DATE:			HARC CHAIRPERSON SIGNATURE AND DATE:		

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC Certificate of Appropriateness: Demolition Appendix



City of Key West
 1300 WHITE STREET
 KEY WEST, FLORIDA 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:	1007 Thomas St. Key West, FL 33040
PROPERTY OWNER'S NAME:	Stephanie Nadeau
APPLICANT NAME:	Stephanie Nadeau

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.***

PROPERTY OWNER'S SIGNATURE	Stephanie Nadeau	9/05/19 DATE AND PRINT NAME
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DETAILED PROJECT DESCRIPTION OF DEMOLITION
Demolish wood stairs on left side, Demolish Non historic dormer roof in rear. Demolish front porch enclosure walls. Demolish roof overhang and roof top terrace

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:
Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);
(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.
(2) Or explain how the building or structure meets the criteria below:
(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

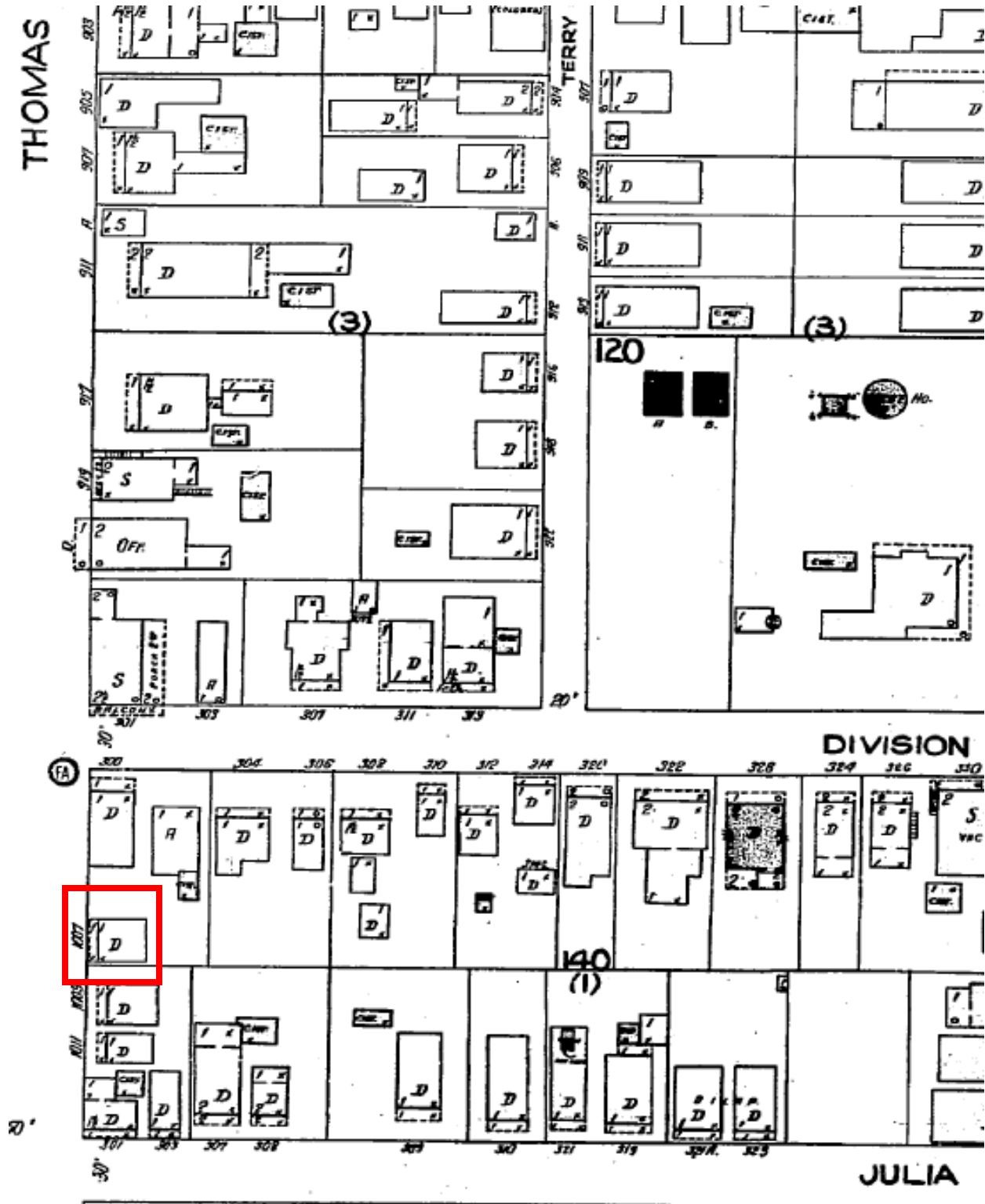
(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
Not associated with events of local, state nor national history.
(c) Has no significant character, interest, or value as part fo the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
No significatn character, interest, or value is affected by the proposed demolition.
(d) Is not the site of a historic event with significant effect upon society.
Property is not the site of a historic event.
(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
No cultural, political, economic, social, or historic heritage of the city is affected by the demolition.
(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
No distinctive architectural style is represented in rear roof overhangs nor in front porch.
(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
Not part of the above.
(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

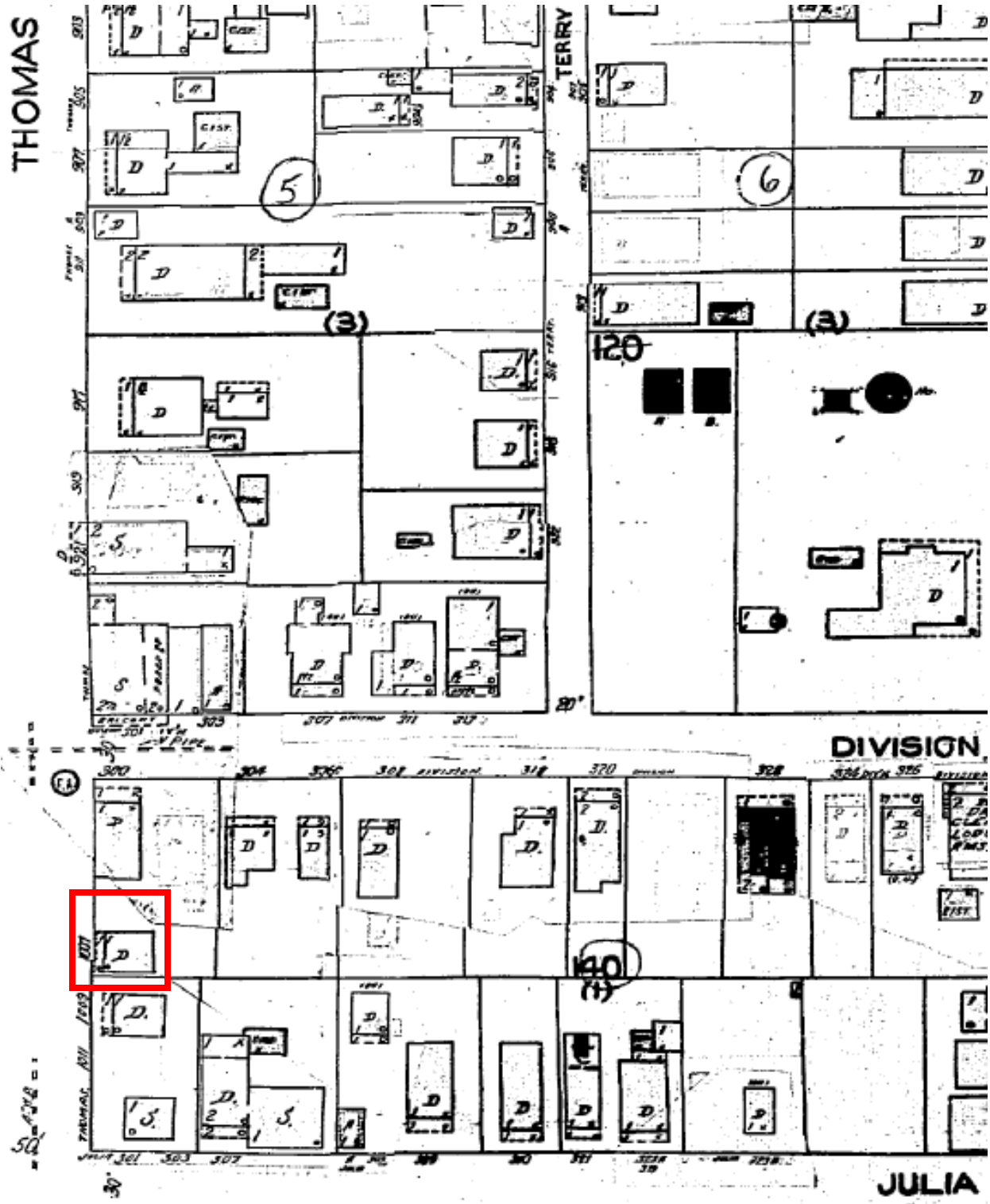
Not a unique location.
(i) Has not yielded, and is not likely to yield, information important in history.
No historic information is yielded.

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);
(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
Historic character of the district and neighborhood will not be affected by the proposed demolition.
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
The application does not request the demolition of the historic building - only non historic elements and are proposed to be demolished. Historic landscape will not be affected by the proposed demolition activities
(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.
Not applicable
(4) Removing buildings or structures that would otherwise qualify as contributing.
Not applicable

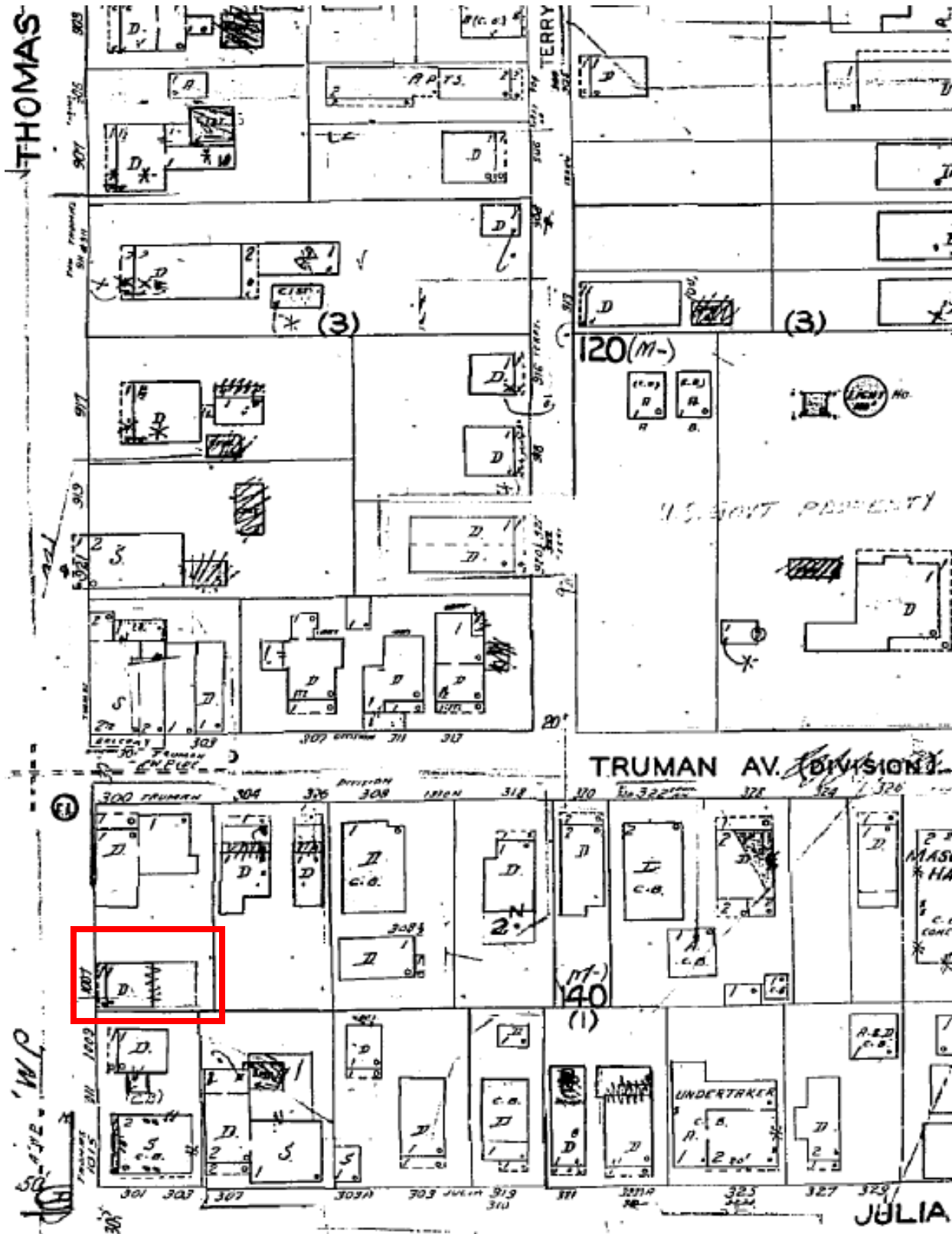
SANBORN MAPS



1926 Sanborn map indicating the location of 1007 Thomas Street.



1948 Sanborn map indicating the location of 1007 Thomas Street.



1962 Sanborn map indicating the location of 1007 Thomas Street.

PROJECT PHOTOS

753-1457



1965 photo of the structure at 1007 Thomas Street. Monroe County Public Library's record provides a year built ca. 1918.



2019 photo of the front elevation of the structure at 1007 Thomas Street from the Monroe County Property Appraiser.



2019 photo of the left elevation of the structure at 1007 Thomas Street from the Monroe County Property Appraiser.



Left Elevation

Left elevation of the structure at 1007 Thomas Street (1 of 2).



Left Elevation

Left elevation of the structure at 1007 Thomas Street (2 of 2).



Front Elevation

Front elevation of the structure at 1007 Thomas Street

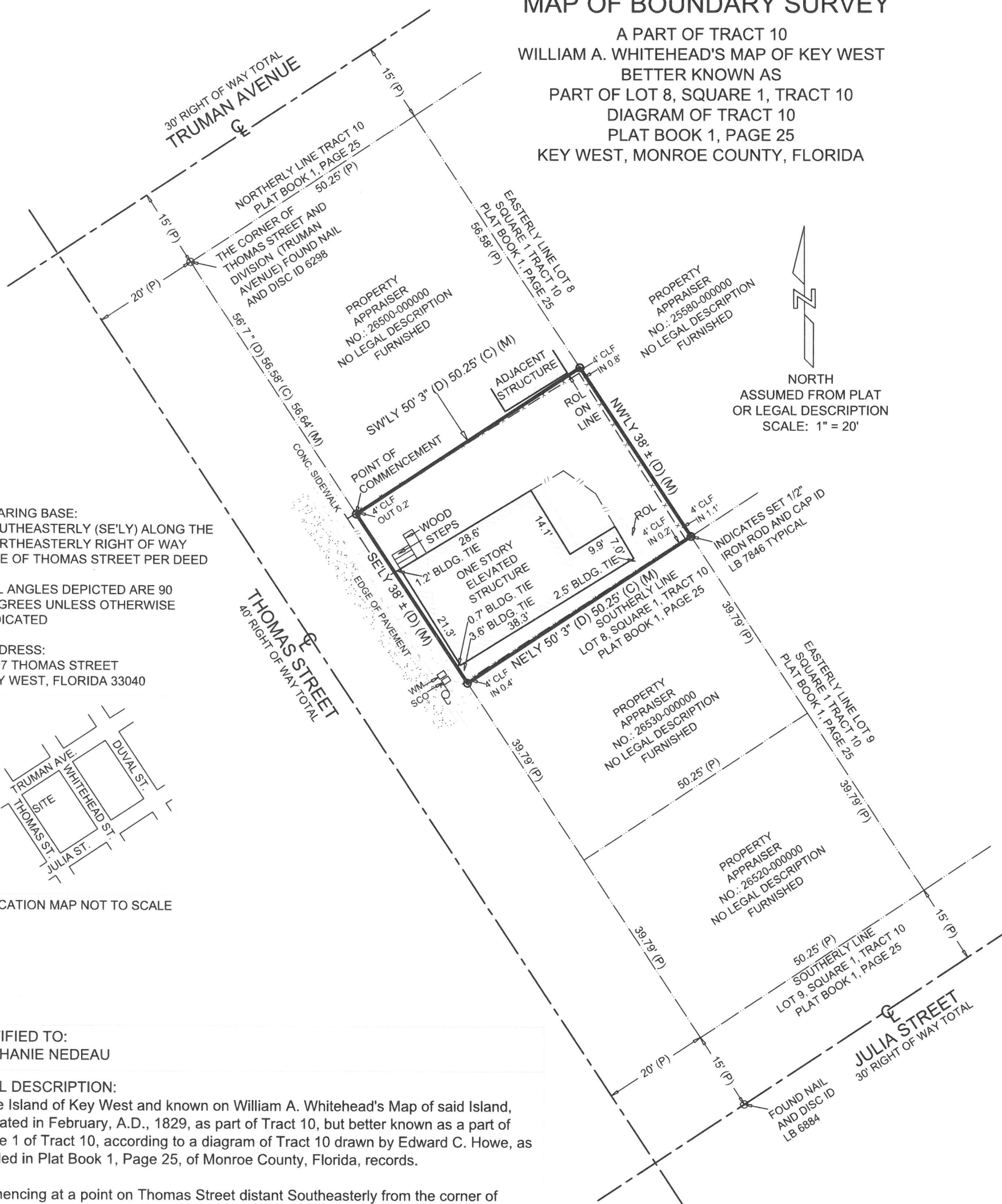


Rear elevation of the structure at 1007 Thomas Street.

SURVEY

MAP OF BOUNDARY SURVEY

A PART OF TRACT 10
 WILLIAM A. WHITEHEAD'S MAP OF KEY WEST
 BETTER KNOWN AS
 PART OF LOT 8, SQUARE 1, TRACT 10
 DIAGRAM OF TRACT 10
 PLAT BOOK 1, PAGE 25
 KEY WEST, MONROE COUNTY, FLORIDA



NORTH
 ASSUMED FROM PLAT
 OR LEGAL DESCRIPTION
 SCALE: 1" = 20'

BEARING BASE:
 SOUTHEASTERLY (SE'LY) ALONG THE
 NORTHEASTERLY RIGHT OF WAY
 LINE OF THOMAS STREET PER DEED

ALL ANGLES DEPICTED ARE 90
 DEGREES UNLESS OTHERWISE
 INDICATED

ADDRESS:
 1007 THOMAS STREET
 KEY WEST, FLORIDA 33040



LOCATION MAP NOT TO SCALE

CERTIFIED TO:
 STEPHANIE NEDEAU

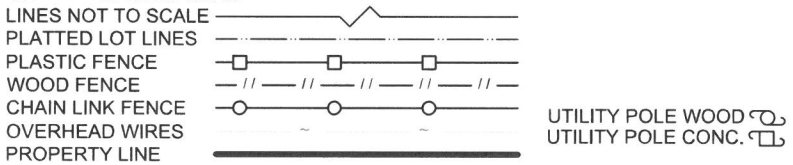
LEGAL DESCRIPTION:
 On the Island of Key West and known on William A. Whitehead's Map of said Island, delineated in February, A.D., 1829, as part of Tract 10, but better known as a part of Square 1 of Tract 10, according to a diagram of Tract 10 drawn by Edward C. Howe, as recorded in Plat Book 1, Page 25, of Monroe County, Florida, records.

Commencing at a point on Thomas Street distant Southeasterly from the corner of Division (now known as Truman Avenue) and Thomas Streets 56 feet and 7 inches and running Southeasterly along Thomas Street 38 feet, more or less, thence at right angles Northeasterly 50 feet and 3 inches; thence at right angles Northwesterly 38 feet, more or less; thence at right angles Southwesterly 50 feet 3 inches back to Thomas Street, the place of beginning.

GENERAL NOTES
 1.) THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.
 2.) LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS.
 3.) THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.
 4.) ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 5.) FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN.
 6.) MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

ABBREVIATIONS:

C = CALCULATED	M = MEASURED
CA = CENTRAL ANGLE	P = PLAT
CL = CENTERLINE	POB = POINT OF BEGINNING
CLF = CHAINLINK FENCE	POC = POINT OF COMMENCEMENT
D = DEED	R = RADIUS
EB = ELECTRIC BOX	ROL = ROOF OVERHANG LINE
EM = ELECTRIC METER	SCO = SANITARY CLEAN-OUT
(F) = FIELD	UPM = UTILITY POLE METAL
FI = FENCE INSIDE	WDF = WOOD FENCE
FO = FENCE OUTSIDE	WM = WATER METER
FOL = FENCE ON LINE	WV = WATER VALVE
GI = GRATE INLET	
GL = GROUND LEVEL	



SCALE: 1"=20'
 FIELD WORK DATE: 05/17/19
 REVISION DATE: -/-/
 SHEETS: 1 OF 1
 DRAWN BY: GF
 CHECKED BY: RER
 INVOICE NO.: 19050605

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 9, SUBPARAGRAPH 1(B) 1(SETBACKS), 1(B)3(ENCROACHMENTS), & 1(B)4(EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

SIGNED:
 ROBERT E. REECE
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA LICENSE NO. LS 5632

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

REECE & ASSOCIATES
 PROFESSIONAL SURVEYORS AND MAPPERS
 LB NO. 7846
 127 INDUSTRIAL ROAD, BIG PINE KEY, FL. 33043
 OFFICE (305) 872 - 1348
 EMAIL: info@reecesurveying.com

PROPOSED DESIGN

CONSTRUCTION PLANS FOR 1007 THOMAS ST VARIANCE APPLICATION



SITE LOCATION

LOCATION MAP:

PROJECT LOCATION:
1007 THOMAS ST,
KEY WEST, FL 33040

CLIENT:
STEPHANIE L NADEAU

REV:	DESCRIPTION:	BY:	DATE:
STATUS:		FINAL	



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: STEPHANIE L NADEAU

PROJECT: 1007 THOMAS ST

SITE: 1007 THOMAS ST
KEY WEST, FL 33040

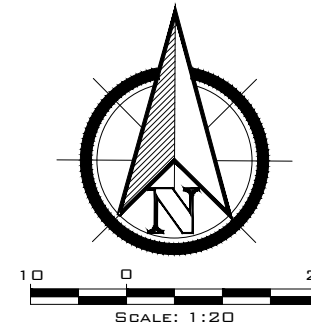
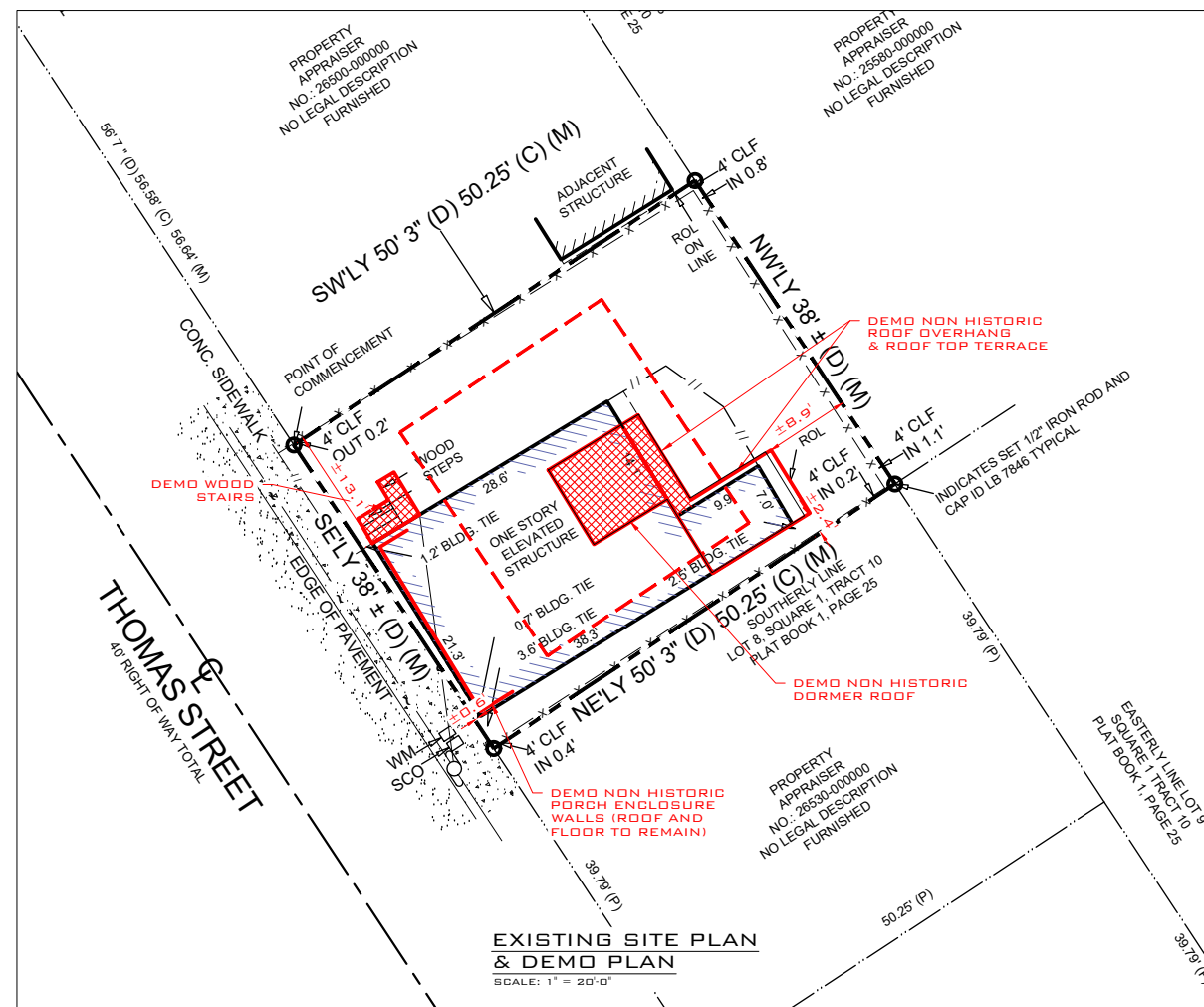
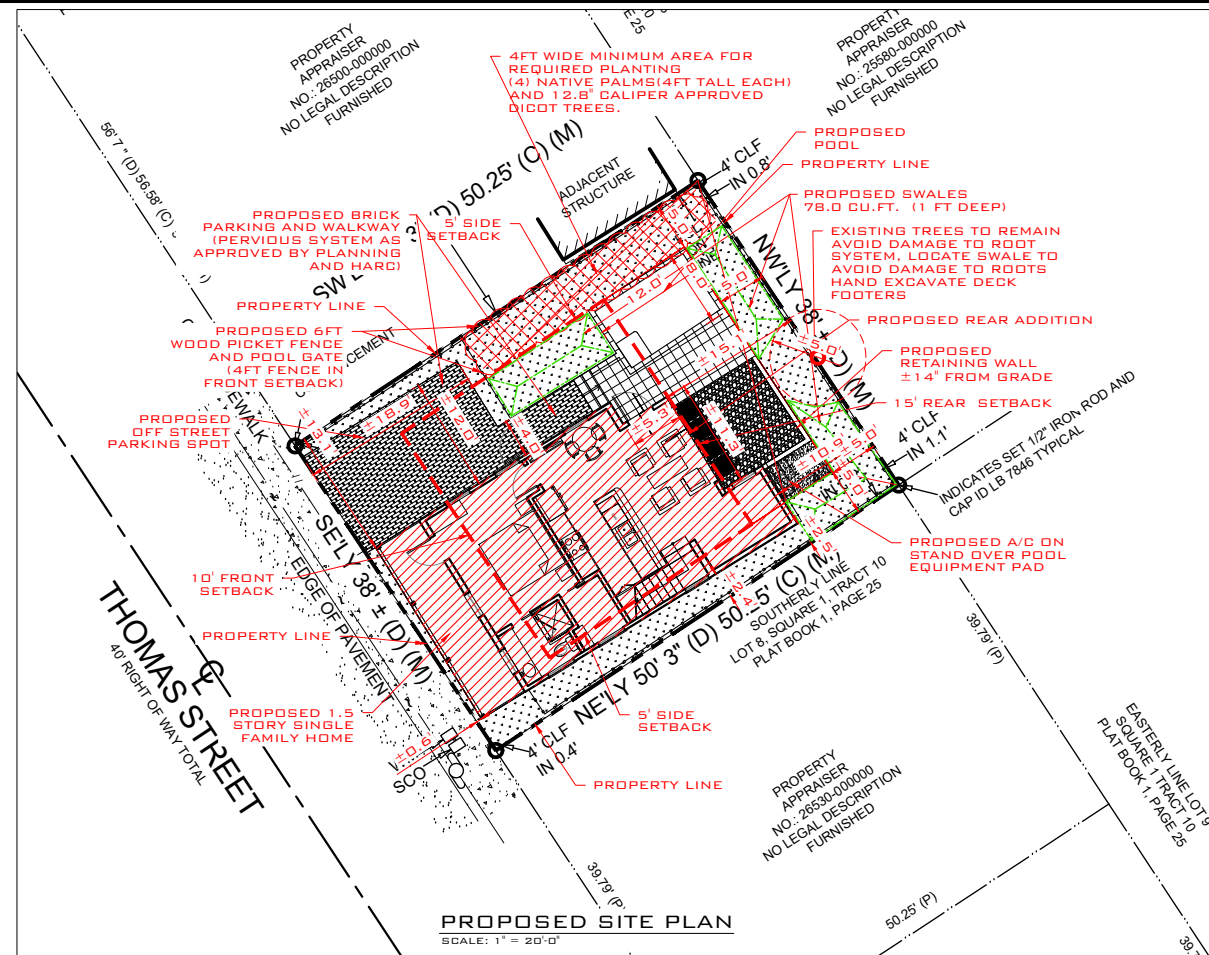
TITLE: COVER

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	G-100	1	

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



SITE DATA:

TOTAL SITE AREA: ±1,909.2 SQ.FT

LAND USE: HMDR

FLOOD ZONE: AE6

SETBACKS

FRONT:
REQUIRED 10 FT
EXISTING ±0.6 FT
PROPOSED NO CHANGE

SIDE:
REQUIRED 5 FT
EXISTING ±2.4 FT
PROPOSED NO CHANGE

SIDE:
REQUIRED 5 FT
EXISTING ±13.1 FT
PROPOSED NO CHANGE

REAR:
REQUIRED 15 FT
EXISTING ±8.9 FT
PROPOSED NO CHANGE

MAXIMUM IMPERVIOUS SURFACE RATIO:

REQUIRED:	60%	(1,145.5 SQ.FT.)
EXISTING	38.05%	(±726.6 SQ.FT.)
PROPOSED	57.67%	(±1,101.0 SQ.FT.)

BUILDING:	±734 SQ.FT.
POOL&DECK:	±188.5 SQ.FT.
POOL EQUIPMENT:	±23 SQ.FT.
STEPPING STONES:	±16 SQ.FT.
RETAINING WALL:	±8 SQ.FT.
PERVIOUS BRICK PAVERS:	±263 SQ.FT.*50%=±131.5 SQ.FT.

TOTAL: ±1,101.0 SQ.FT.

MAXIMUM BUILDING COVERAGE:

REQUIRED	40%	(763.68 SQ.FT)
EXISTING	38.05%	(±726.6 SQ.FT.)
PROPOSED	38.71%	(±734+5(A/C)=739.0 SQ.FT.)

OPEN SPACE MINIMUM:

REQUIRED	35%	(668.22 SQ.FT)
EXISTING	60.80%	(±1,160.9 SQ.FT.)
PROPOSED	35.14%	(±671.0 SQ.FT.)

MAXIMUM HEIGHT: 30 FT
PROPOSED ±22.1 FT

REAR SETBACK COVERAGE
TOTAL REAR SETBACK 38FT*15FT=570 SQ.FT.
PROPOSED COVERAGE BY EXISTING BUILDING
AND A/C CONDENSER: 35 SQ.FT.
6.14% < 60%

REV:	DESCRIPTION:	BY:	DATE:
	STATUS:		
	FINAL		



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: STEPHANIE L NADEAU

PROJECT: 1007 THOMAS ST

SITE: 1007 THOMAS ST
KEY WEST, FL 33040

TITLE: PROPOSED SITE PLAN

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	C-101	1	

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



MONROE COUNTY RESIDENTIAL STORMWATER RETENTION CALCULATION SHEET

1. Determine Total Impervious Coverage on site:

a. Determine Impervious Coverage EXISTING prior to new improvement:

Roof/slabs	A	726.60	ft ²	Sidewalks	D		ft ²	
Decks / Patios	B	0.00	ft ²	Pool/Deck	E		ft ²	
Driveways	C		ft ²	Other	F		ft ²	
Impervious Coverage EXISTING prior to improvement (A + B + C + D + E + F)							726.60	1a

b. Determine NEW Impervious Coverage PROPOSED with improvement:

Roof/slabs	A	7.40	ft ²	Sidewalks	D	0.00	ft ²	
Decks / Patios	B	0.00	ft ²	Pool/Deck	E	188.50	ft ²	
Driveways	C	131.50	ft ²	Other	F	47.00	ft ²	
Impervious Coverage PROPOSED with improvement (A + B + C + D + E + F)							374.40	1b

Total Impervious Coverage: EXISTING + PROPOSED (1a+1b)		1,101.00	1
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2. Determine Percentage of Impervious Coverage on site:

$$\frac{1,101.00 \text{ ft}^2}{1,909.20 \text{ ft}^2} = 57.67\% \text{ \% of Impervious Coverage}$$

3. Determine "Disturbed Area" [(114-3(f)(2) 4]

$$1,909.20 \text{ ft}^2 - 0.00 \text{ ft}^2 = 1,909.20 \text{ ft}^2 \text{ Disturbed Area}$$

Total Lot Area Native Vegetation - If no BMP enter "0"
 For the purposes of this section, the term "disturbed area" includes the entire lot except that the areas covered by the following best management practices (BMP) shall be subtracted from the calculation of disturbed area: (i) Forested upland areas/vegetative buffer strips (both natural and manmade) which will be retained intact and over or through which vehicular access or travel is not possible and will not occur; and (ii) Open water surfaces and wetlands (salt marsh, buttonwood, mangroves, or freshwater marsh habitat types). It will be the responsibility of the applicant to affirmatively demonstrate that the best management practices used for the project are designed, constructed, and maintained properly.

4. Determine Required Swale Volume – Complete a, b, or c:

a. For a NEW home with less than 40% Impervious Coverage, use:

$$1,909.20 \text{ ft}^2 \times 0.083 = 158.76 \text{ ft}^3 \text{ Swale Volume}$$

b. For a NEW home with 40% or greater Impervious Coverage, use:

$$1,909.20 \text{ ft}^2 \times 0.208 \times 57.67\% = 228.00 \text{ ft}^3 \text{ Swale Volume}$$

c. When only new impervious area requires storm water retention (Existing Single Family & Duplexes Only):

1. When the total lot impervious coverage remains below 40% after the additional development:

$$374.40 \text{ ft}^2 \times 0.083 = 31.07 \text{ ft}^3 \text{ Added Swale Volume}$$

2. When the new development increases the total lot impervious area to 40% or above:

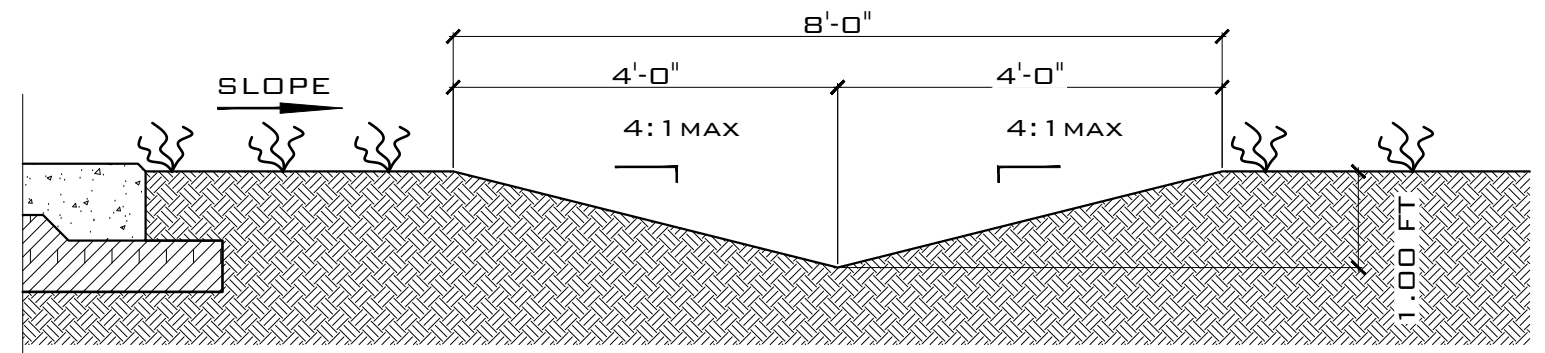
$$374.40 \text{ ft}^2 \times 0.208 = 77.88 \text{ ft}^3 \text{ Added Swale Volume}$$

5. Determine Swale Length (Swale side slopes must be no steeper than 4:1)

$$\left(\frac{8.00 \text{ ft} \times 1.00 \text{ ft}}{2} \right) = 4.00 \text{ ft}^2 \text{ Cross Sectional Area**}$$

$$\frac{77.88 \text{ ft}^3}{4.00 \text{ ft}^2} = 19.47 \text{ ft Swale Length}$$

Either 4 - a, b, c1 or c2 (**e.g. a V-shaped swale with 4:1 slopes, 8 feet wide and 1 foot deep has 4 SF of Cross Sectional Area.)



TYPICAL 8'-0" FT SWALE DETAIL
 (WIDTH VARIES)
 SCALE: NTS

Source: These Formulas are derived from the criteria for Water Quality treatment in paragraphs (f)(2)b. & a. of Monroe County Code 114-3. Updated 9/5/2012

REV:	DESCRIPTION:	BY:	DATE:
	STATUS:		
	FINAL		



ARTIBUS DESIGN
 3710 N. ROOSEVELT BLVD
 KEY WEST, FL 33040
 (305) 304-3512
 WWW.ARTIBUSDESIGN.COM
 CA # 30835

CLIENT: STEPHANIE L NADEAU

PROJECT: 1007 THOMAS ST

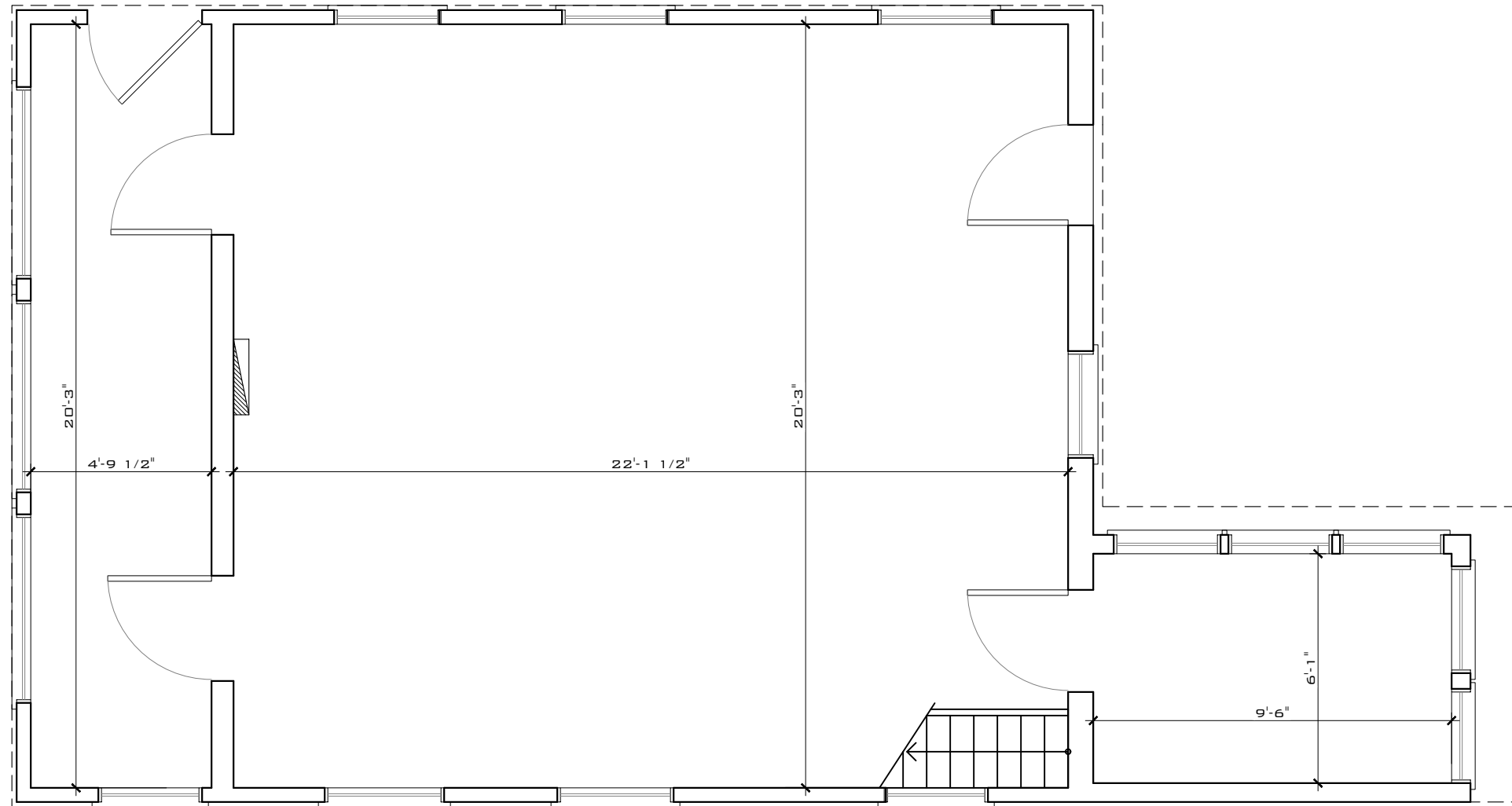
SITE: 1007 THOMAS ST
 KEY WEST, FL 33040

TITLE: SWALE CALCS

SCALE AT 1:17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	C-102	1	

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
 DATE:
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
STATUS:		FINAL	



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CLIENT: **STEPHANIE L NADEAU**

PROJECT: **1007 THOMAS ST**

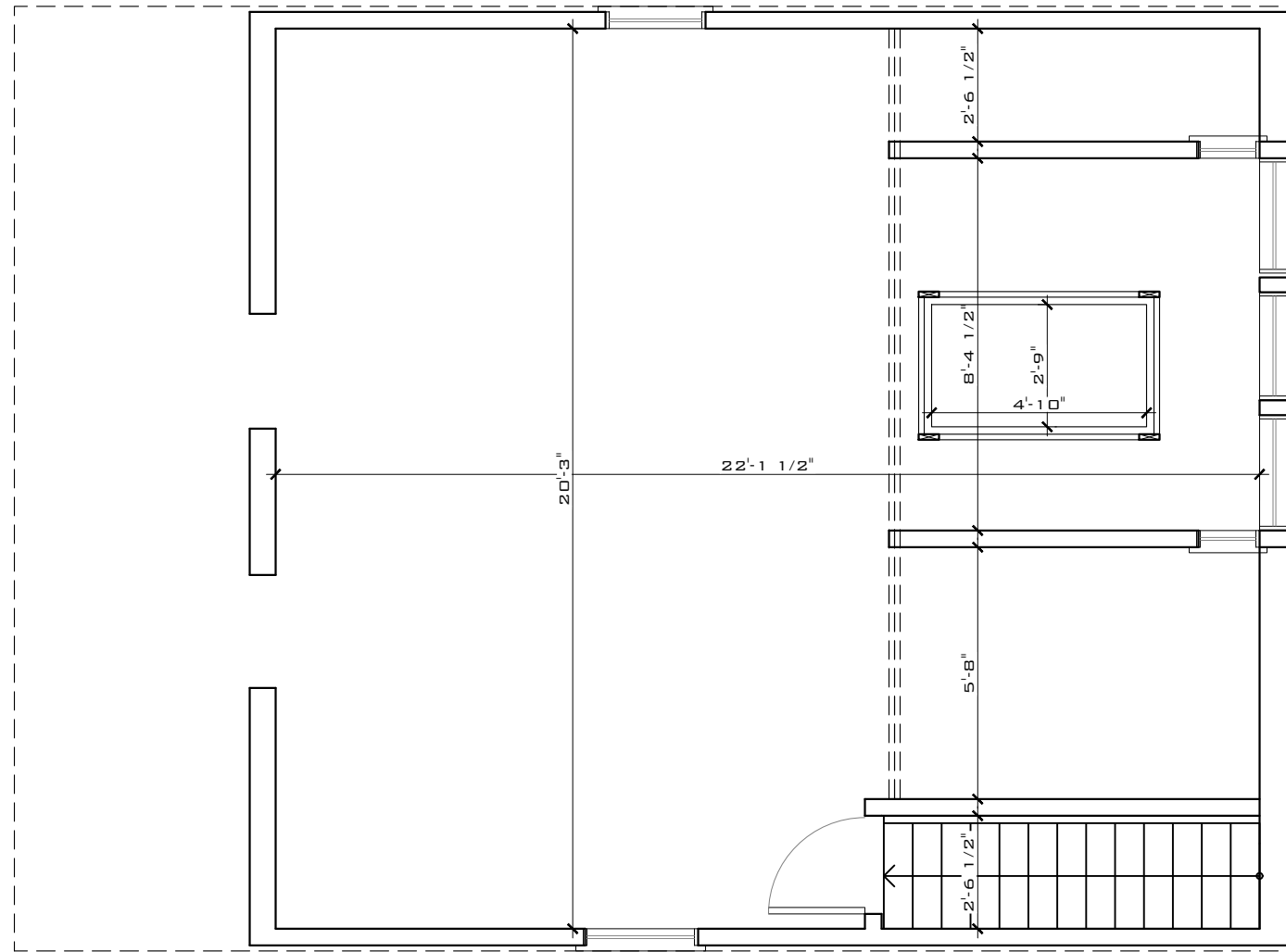
SITE: **1007 THOMAS ST
 KEY WEST, FL 33040**

TITLE: **EXISTING 1ST
 FLOOR PLAN**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	A-101	1	

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SIGNATURE:
 DATE:
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480



EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
	STATUS:		
	FINAL		



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CLIENT: **STEPHANIE L NADEAU**

PROJECT: **1007 THOMAS ST**

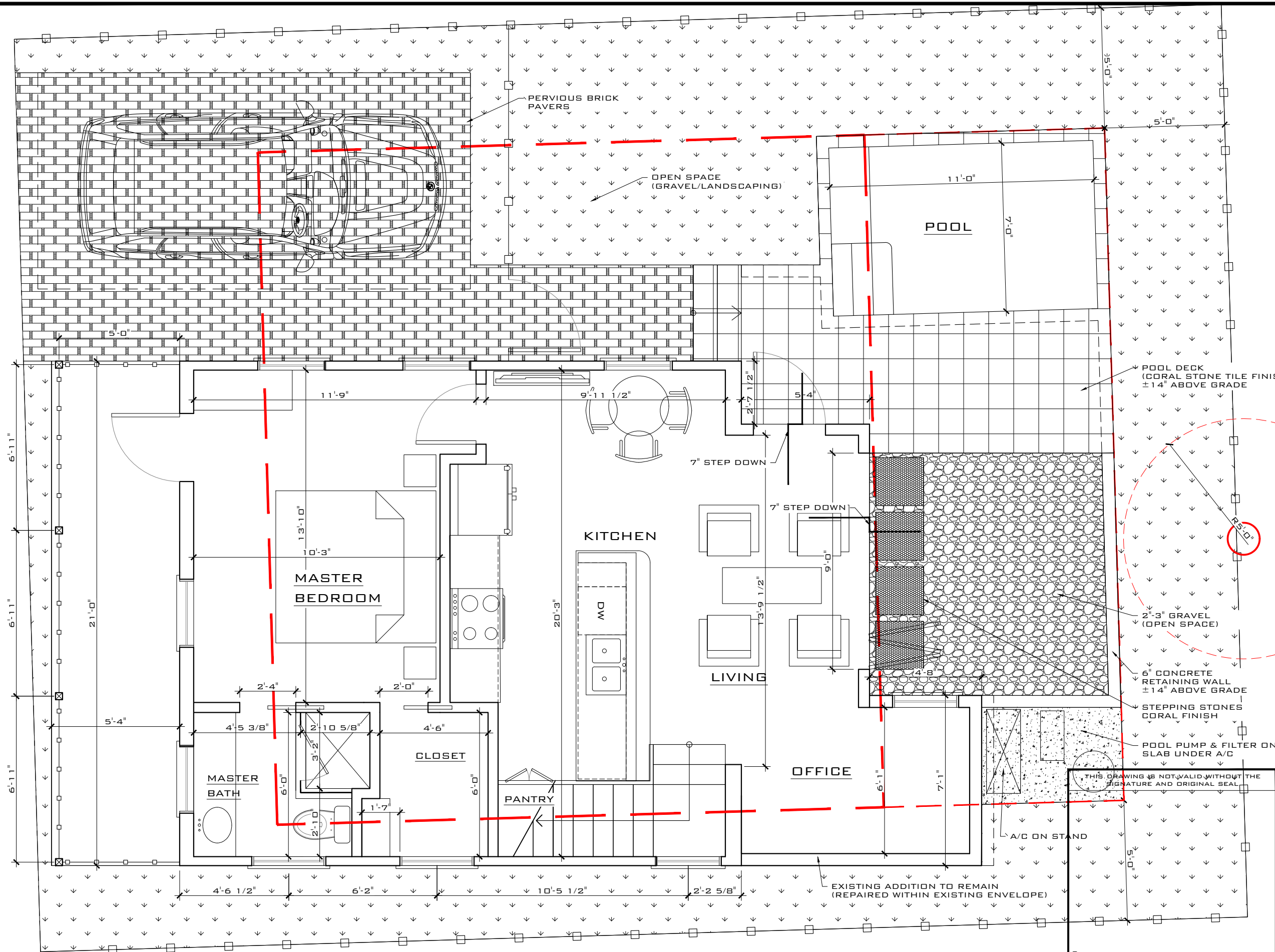
SITE: **1007 THOMAS ST
 KEY WEST, FL 33040**

TITLE: **EXISTING 2ND
 FLOOR PLAN**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	A-102	1	

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 DATE:
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 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FINAL		

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 ENGINEERING AND PLANNING

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CLIENT: **STEPHANIE L NADEAU**

PROJECT: **1007 THOMAS ST**

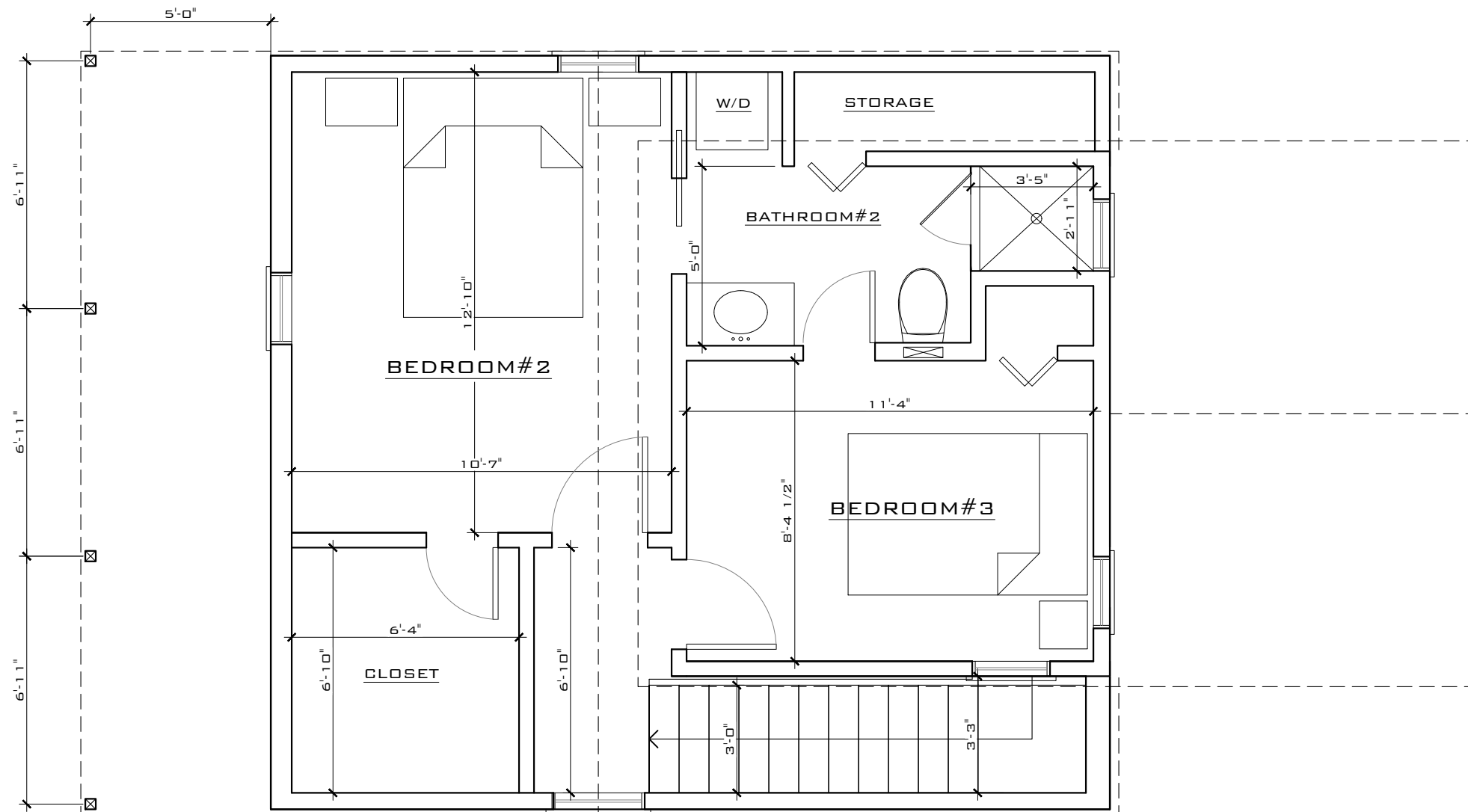
SITE: **1007 THOMAS ST
 KEY WEST, FL 33040**

TITLE: **PROPOSED 1ST
 FLOOR PLAN**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	A-103	1	

SIGNATURE:
 DATE:
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480

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PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



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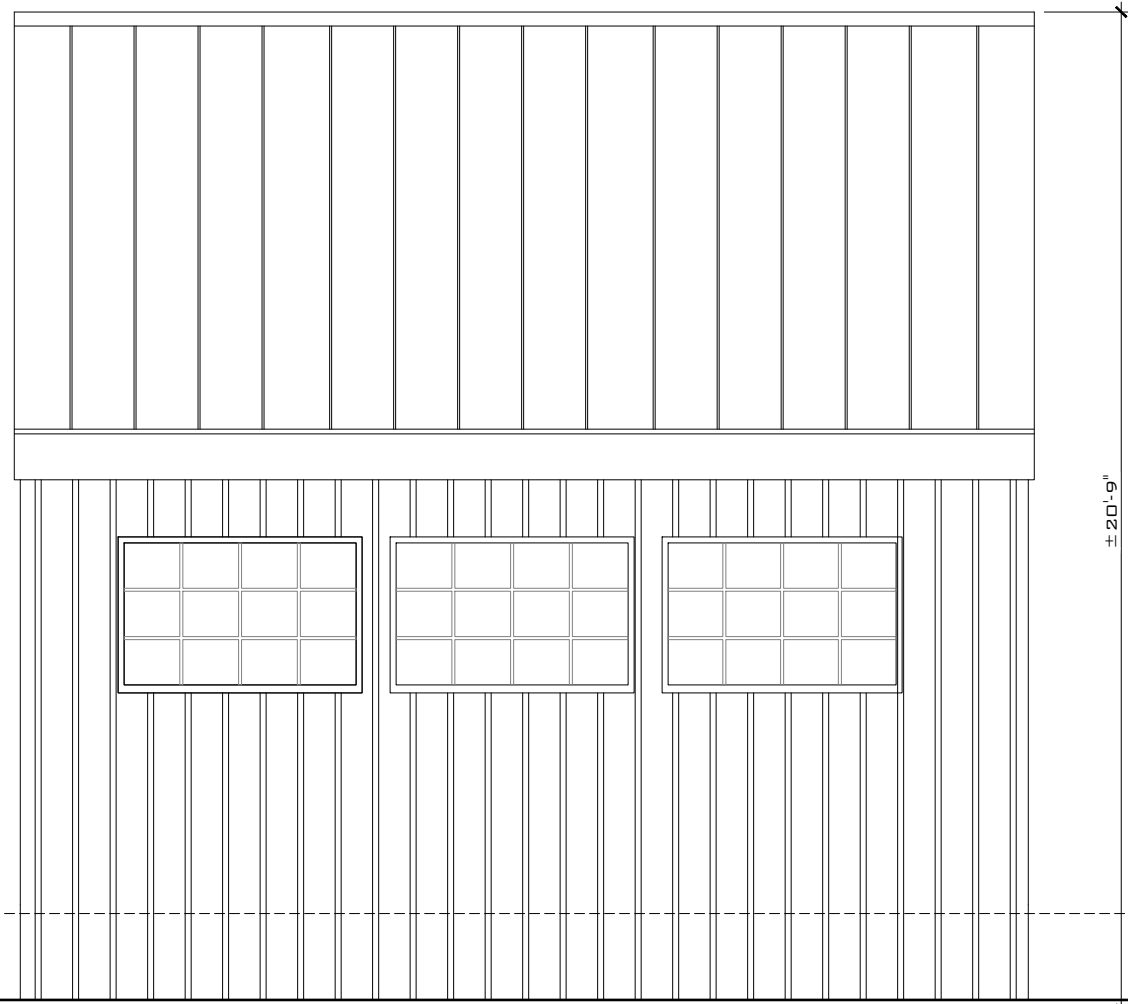
CLIENT: **STEPHANIE L NADEAU**
 PROJECT: **1007 THOMAS ST**

SITE: **1007 THOMAS ST
 KEY WEST, FL 33040**
 TITLE: **EXISTING 1ST
 FLOOR PLAN**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	A-104	1	

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SIGNATURE:
 DATE:
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480



**EXISTING FRONT ELEVATION
(FROM THOMAS ST)**
SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"

- ⊕ EXISTING F.FLOOR
EL. +8.50' NGVD
- ⊕ EXISTING GRADE (LAG)
EL. +6.20' NGVD
- ⊕ FLOOD ZONE AE6
EL. +6.00' NGVD
- ⊕ CROWN OF ROAD
EL. (±)+6.00' NGVD

REV.:	DESCRIPTION:	BY:	DATE:
	FINAL		



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CLIENT: **STEPHANIE L NADEAU**

PROJECT: **1007 THOMAS ST**

SITE: **1007 THOMAS ST
KEY WEST, FL 33040**

TITLE: **EXISTING FRONT/
REAR ELEVATION**

SCALE AT 11x17: AS SHOWN	DATE: 08/07/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1907-02	DRAWING NO: A-105	REVISION: 1	

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SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



- ⊕ EXISTING F.FLOOR
EL. +8.50' NGVD
- ⊕ EXISTING GRADE (LAG)
EL. +6.20' NGVD
- ⊕ FLOOD ZONE AE6
EL. +6.00' NGVD
- ⊕ CROWN OF ROAD
EL. (±)+6.00' NGVD

EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



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CLIENT: **STEPHANIE L NADEAU**
PROJECT: **1007 THOMAS ST**





SITE: **1007 THOMAS ST
KEY WEST, FL 33040**
TITLE: **EXISTING LEFT
ELEVATION**

SCALE AT 1/4" = 1'-0": AS SHOWN	DATE: 08/07/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1907-02	DRAWING NO: A-106	REVISION: 1	

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SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



-  EXISTING F.FLOOR
EL. +8.50' NGVD
-  EXISTING GRADE (LAG)
EL. +6.20' NGVD
-  FLOOD ZONE AE6
EL. +6.00' NGVD
-  CROWN OF ROAD
EL. (±)+6.00' NGVD

EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



ARTIBUS DESIGN
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KEY WEST, FL 33040
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WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: **STEPHANIE L NADEAU**

PROJECT: **1007 THOMAS ST**

SITE: **1007 THOMAS ST
KEY WEST, FL 33040**

TITLE: **EXISTING RIGHT
ELEVATION**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	A-107	1	



**PROPOSED FRONT ELEVATION
(FROM THOMAS ST)**

SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



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CLIENT: **STEPHANIE L NADEAU**

PROJECT: **1007 THOMAS ST**

SITE: **1007 THOMAS ST
KEY WEST, FL 33040**

TITLE: **PROPSD FRONT
ELEVATION**

SCALE AT 11x17: AS SHOWN	DATE: 08/07/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1907-02	DRAWING NO: A-108	REVISION: 1	

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SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
 DATE:
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



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 WWW.ARTIBUSDESIGN.COM
 CA # 30835

CLIENT: **STEPHANIE L NADEAU**
 PROJECT: **1007 THOMAS ST**

SITE: **1007 THOMAS ST
 KEY WEST, FL 33040**
 TITLE: **PROPSD REAR
 ELEVATION**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	08/07/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1907-02	A-109	1	

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
 DATE:
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480



PROPOSED NEW 5V-CRIMP METAL ROOFING

PROPOSED NEW 5V-CRIMP METAL ROOFING

±5'-3"
PROPOSED REAR ADDITION

PROPOSED ALUMINUM WINDOWS AND DOORS
EXISTING ADDITION TO REMAIN
(REPAIRED WITHIN EXISTING ENVELOPE)

PROPOSED WOOD FRAME WINDOWS (HARC APPROVED)

±16'-0"
PROPOSED CEMENT BOARD SIDING

PROPOSED PT WOOD 4X4 POSTS

±20'-0"
±20'-9"

PROPOSED PT WOOD SIDING

EXISTING F.FLOOR
EL. +8.50' NGVD

EXISTING GRADE (LAG)
EL. +6.20' NGVD

FLOOD ZONE AE6
EL. +6.00' NGVD

CROWN OF ROAD
EL. (±)+6.00' NGVD

REV: 1
STATUS: FINAL
BY: DATE:

PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"



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CA # 30835

CLIENT: **STEPHANIE L NADEAU**
PROJECT: **1007 THOMAS ST**

SITE: **1007 THOMAS ST
KEY WEST, FL 33040**
TITLE: **PROPSD LEFT
ELEVATION**

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

SCALE AT 11x17: AS SHOWN	DATE: 08/07/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1907-02	DRAWING NO: A-110	REVISION: 1	



- ⊕ EXISTING F.FLOOR
EL. +8.50' NGVD
- ⊕ EXISTING GRADE (LAG)
EL. +6.20' NGVD
- ⊕ FLOOD ZONE AE6
EL. +6.00' NGVD
- ⊕ CROWN OF ROAD
EL. (±)+6.00' NGVD

PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: **STEPHANIE L NADEAU**
PROJECT: **1007 THOMAS ST**

SITE: **1007 THOMAS ST
KEY WEST, FL 33040**
TITLE: **PROPSED RIGHT
ELEVATION**

SCALE AT 11x17: AS SHOWN	DATE: 08/07/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1907-02	DRAWING NO: A-111	REVISION: 1	

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV	DESCRIPTION	BY	DATE
FINAL			

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a virtual meeting at **5:00 p.m., August 25, 2020**. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1

The purpose of the hearing will be to consider a request for:

**RENOVATIONS AND REAR ADDITION TO A HISTORIC STRUCTURE.
DEMOLITION OF ENCLOSED FRONT PORCH. DEMOLITION OF DORMER
ROOF, ROOF OVERHANG AND ROOF TOP TERRACE.**

#1007 THOMAS STREET

Applicant – Artibus Design Application #H2020-0022

If you wish to see the application or have any questions, you may contact the Planning Department during regular office hours at 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:
COUNTY OF MONROE:**

BEFORE ME, the undersigned authority, personally appeared _____, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 1007 THOMAS ST on the 11 day of AUGUST, 2020.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on AUGUST 25, 2020, 20____.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2020-0022

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

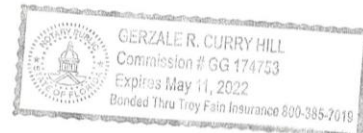
SEERGE MASHAKOV
Date: 8/12/2020
Address: 3710 N. ROOSEVELT BLVD
City: Key West, FL 33040
State, Zip: _____

The forgoing instrument was acknowledged before me on this 12 day of August, 2020.

By (Print name of Affiant) Serge MASHAKOV who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Gerzale R. Curry Hill
Print Name: Gerzale R. Curry Hill
Notary Public - State of Florida (seal)
My Commission Expires: _____





Photos of notice posted at 1007 Thomas Street.

PROPERTY APPRAISER INFORMATION



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00025610-000000
Account# 1026387
Property ID 1026387
Millage Group 11KW
Location 1007 THOMAS ST, KEY WEST
Address
Legal KW PB1-25-40 PT LOT 8 SQR 1 TR 10 E2-291 OR27-245/45
Description OR590-427 OR27-245/46 OR692-853/55 OR709-734 OR739-245 OR740-130 OR753-1457 OR2916-773D/C OR2947-721LET OR2948-0828 OR2967-1319
 (Note: Not to be used on legal documents.)
Neighborhood 6021
Property Class SINGLE FAMILY RESID (0100)
Subdivision Tracts 10 and 15
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

[NADEAU STEPHANIE STEPHANIE](#)
 PO Box 584
 Kennebunkport ME 04046

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$63,299	\$67,664	\$68,756	\$63,688
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$312,801	\$312,801	\$312,801	\$245,942
= Just Market Value	\$376,100	\$380,465	\$381,557	\$309,630
= Total Assessed Value	\$376,100	\$380,465	\$381,557	\$83,843
- School Exempt Value	\$0	\$0	\$0	(\$25,000)
= School Taxable Value	\$376,100	\$380,465	\$381,557	\$58,843

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	1,910.00	Square Foot	0	0

Buildings

Building ID	1992	Exterior Walls	WD FRAME
Style	2 STORY ELEV FOUNDATION	Year Built	1918
Building Type	S.F.R. - R1/R1	EffectiveYearBuilt	1933
Gross Sq Ft	1511	Foundation	WD CONC PADS
Finished Sq Ft	884	Roof Type	GABLE/HIP
Stories	2 Floor	Roof Coverage	ROLLED COMPOS
Condition	POOR	Flooring Type	SFT/HD WD
Perimeter	130	Heating Type	NONE with 0% NONE
Functional Obs	99	Bedrooms	3
Economic Obs	0	Full Bathrooms	1
Depreciation %	78	Half Bathrooms	0
Interior Walls	WALL BD/WD WAL	Grade	350
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FHS	FINISH HALF ST	483	0	0
FLA	FLOOR LIV AREA	884	884	0
OOU	OP PR UNFIN UL	144	0	0
TOTAL		1,511	884	0

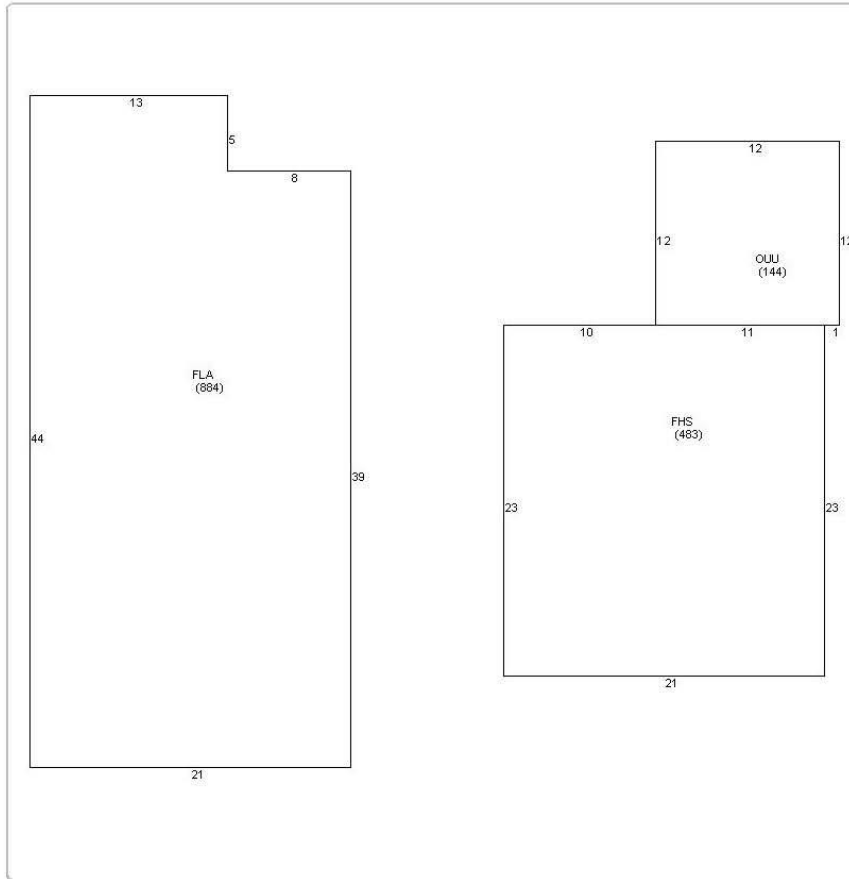
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
5/20/2019	\$350,000	Warranty Deed	2222725	2967	1319	01 - Qualified	Improved
2/4/2019	\$100	Warranty Deed	2205672	2948	0828	30 - Unqualified	Improved
10/1/1977	\$15,000	Conversion Code		753	1457	Q - Qualified	Improved

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)

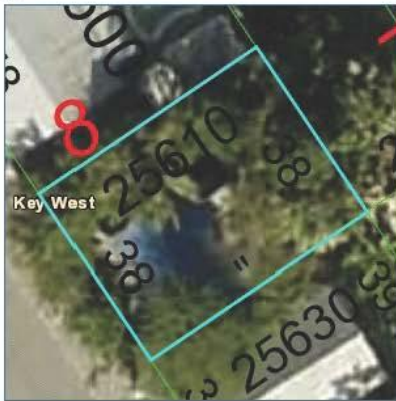


Photos





Map



TRIM Notice

[Trim Notice\(PDF\)](#)

2019 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Yard Items, Exemptions, Permits.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the [User Privacy Policy](#) and [GDPR Privacy Notice](#)

Last Data Upload: 8/12/2020 2:51:14 AM

Version 2.3.75

Developed by
Schneider
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