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**Historic Architectural Review Commission  
Staff Report for Item 19**

**To:** Acting Chairman Richard McChesney and Historic Architectural Review Commission Members

**From:** Enid Torregrosa, MSHP  
Historic Preservation Planner

**Meeting Date:** August 23, 2016

**Applicant:** Evan Bell/ Richard Milelli

**Application Number:** H16-03-0063

**Address:** #1021 Washington Street

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**Description of Work:**

New swimming pool and spa on side yard.

**Site Facts:**

The main house located at #1021 Washington Street is listed as a contributing resource to the historic district. The house was originally built circa 1926 and the Sanborn maps are clear evidence of how the house floorplan has changed historically. The house was built by Mrs. Shirley Wood's (actual owner) father, 14 terms Florida Representative Bernie C. Papy. In March 24, 2015, the Commission denied a proposal to relocate the historic house towards the west side of the lot. The house is under rehabilitation process as plans were approved by the Commission in December 2015.

**Guidelines Cited in Review:**

- Guidelines for hot tubs and pools (pages 39-40) specifically guidelines 3, 4, and 6.

**Staff Analysis**

The Certificate of Appropriateness proposes the construction of an in ground pool 32' long by 12' wide and a spa, 8' by 8', both to be located on the south east side of the lot. According to the guidelines pools need to be located on the rear half of the side yard. The

pool will be built approximately 33' setback from the front property line, and that portion of the site measures 122' from front to rear property lines. The site plan includes fences and landscape to be installed in order to screen the pool. A permit was recently submitted for the installation of fences on the property.

# APPLICATION

Fema Building is contributing

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



BY: City of Key West  
3140 FLAGLER AVENUE  
KEY WEST, FLORIDA 33040  
Phone: 305.809.3936

HARC PERMIT NUMBER H03-000-63	BUILDING PERMIT NUMBER	INITIAL & DATE 8/11/16 EBC
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. I. FL.
		SUBSTANTIAL IMPROVEMENT YES NO

ADDRESS OF PROPOSED PROJECT: 1021 Washington Street # OF UNITS 1

RE # OR ALTERNATE KEY:

NAME ON DEED: EVAN BELL PHONE NUMBER 305.797.0633

OWNER'S MAILING ADDRESS: 1120 Seminy Strat Key West EMAIL keysecoscapes@gmail.com

CONTRACTOR COMPANY NAME:

CONTRACTOR'S CONTACT PERSON:

ARCHITECT / ENGINEER'S NAME: MBI & Rickma PHONE NUMBER 305.320.0211

ARCHITECT / ENGINEER'S ADDRESS: 1001 Whitehead #101 EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT: 30,000.00

FLORIDA STATUTE 837.68: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: ONE OR TWO FAMILY MULTI-FAMILY COMMERCIAL NEW REMODEL  
CHANGE OF USE / OCCUPANCY ADDITION SIGNAGE WITHIN FLOOD ZONE  
DEMOLITION SITE WORK INTERIOR EXTERIOR AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,  
proposing pool 12x32' & spa 8x8' on side yard.

I HAVE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOVT AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT.

OWNER PRINT NAME: EVAN BELL QUALIFIER PRINT NAME:

OWNER SIGNATURE: [Signature] QUALIFIER SIGNATURE:

Notary Signature as to owner: Deirdre Bowes # FF 235839 Notary Signature as to qualifier:

STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS 1st DAY OF August 20 16 STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS DAY OF 20

DEIRDRE BOWES  
Notary Public - State of Florida  
Commission # FF 235839  
My Comm. Expires May 31, 2019

Personally known or produced as identification. Personally known or produced as identification.

**PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  8 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC  
 PUBLIC POOLS REQUIRE SD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE SD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING  
 5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  SLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE  
 POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW  
 SQ. FT. OF EACH SIGN FACE: \_\_\_\_\_

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS  
 A/C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE  
 SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE  AMP(S)

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS  
 RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100  
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.  
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER *pool*

ADDITIONAL INFORMATION: *Seeking HARC approval for 5.02sqrd pool.*

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: \_\_\_\_\_  
 BUSINESS LICENSE # \_\_\_\_\_ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE \_\_\_\_\_

Open: KEYWELD Typet: BP Drawer: 1  
 Date: 8/02/16 50 Receipt no: 24397  
 2016 300063  
 FT \* BUILDING PERMITS-NEW  
 1.00 \$100.00  
 Trans number: 3068067  
 OK CHERY 4284 \$100.00  
 Trans date: 8/02/16 Time: 7:46:51

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY:		INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO.
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
<i>Main have is listed as contributing</i>			
<i>Guidelines for pedst. apps.</i>			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

**PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS**

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

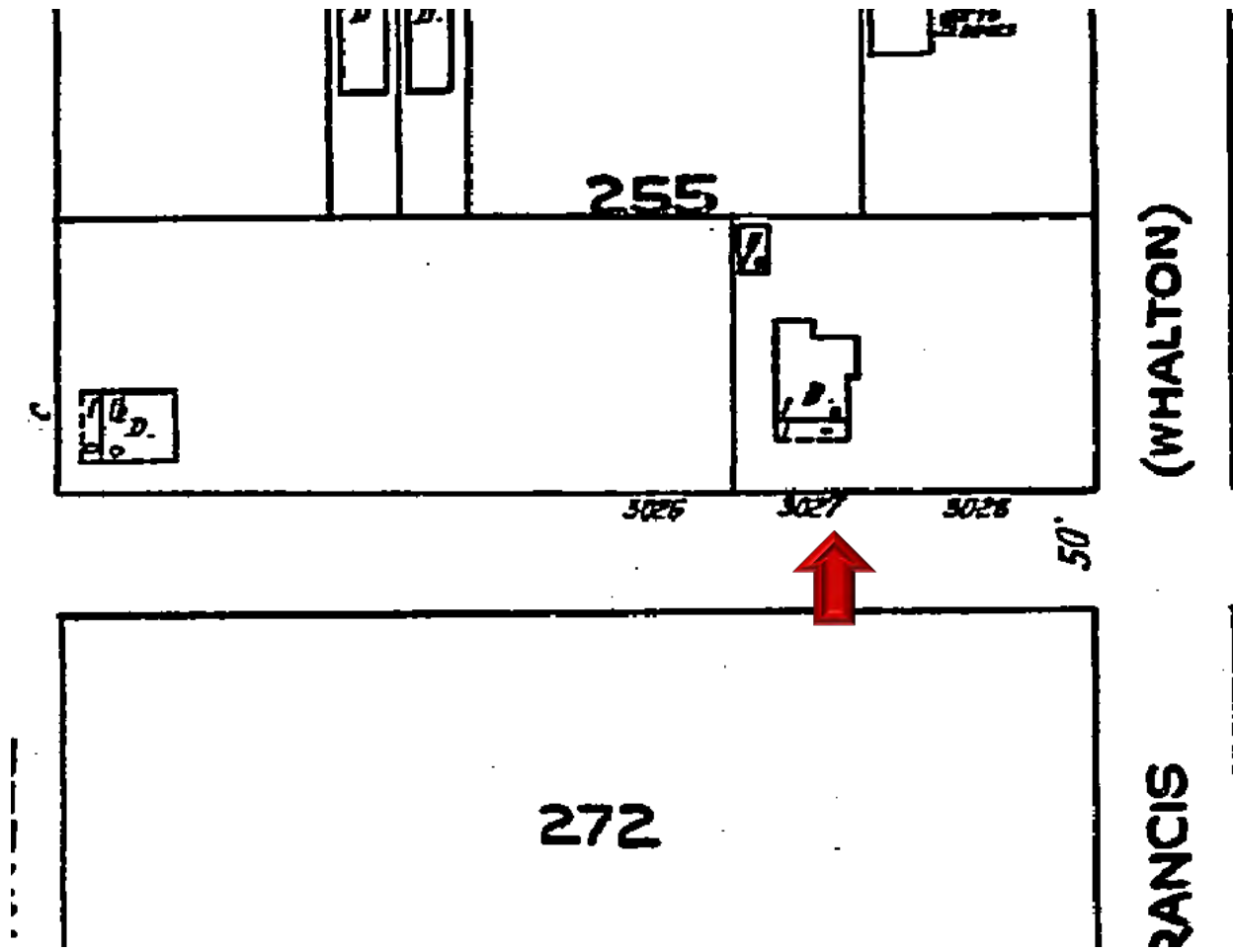
FLORIDA STATUTE 468: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 468.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS

PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USEPA ON STRUCTURES BUILT PRIOR TO 1978.

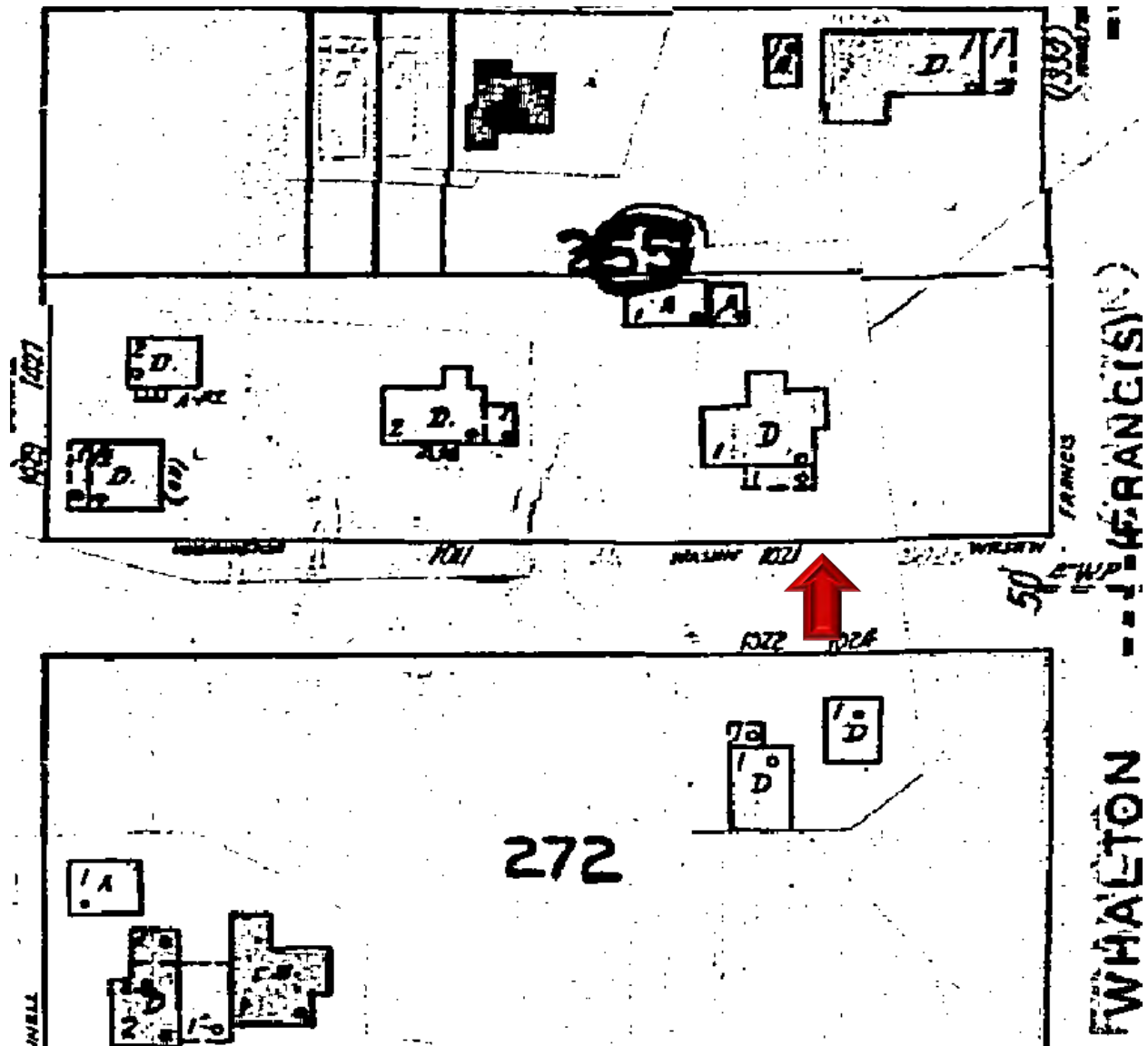
OFFICIAL USE ONLY BY PLANNING EXAMINER OR CHIEF BUILDING OFFICIAL:				
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	CSO OR PL. EXAM. APPROVAL:
				DATE:

# SANBORN MAPS

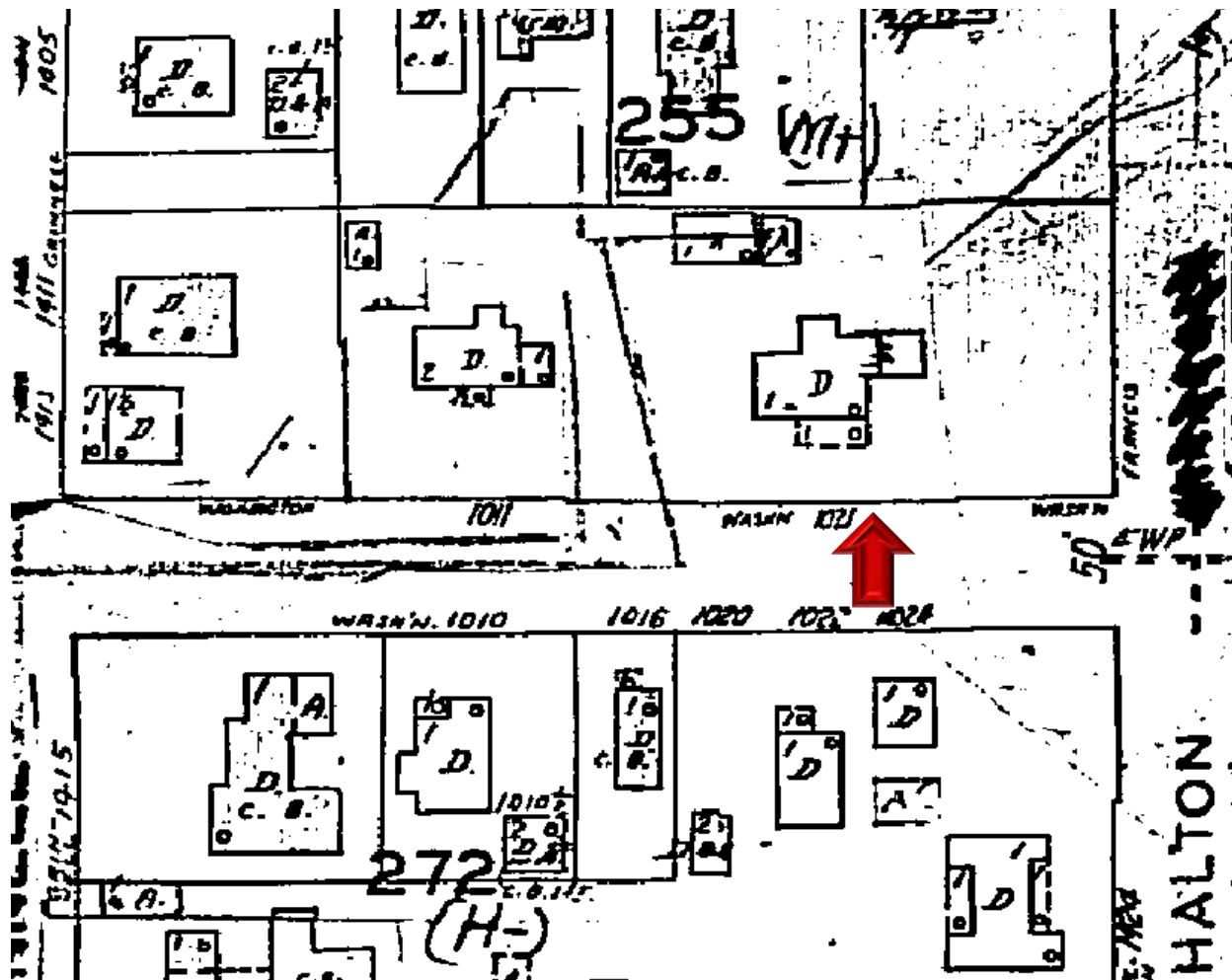


#1021 Washington Street Sanborn map 1926





#1021 Washington Street Sanborn map 1948



#1021 Washington Street Sanborn map 1962

# PROJECT PHOTOS



**#1021 Washington Street main house circa 1965. Monroe County Library**



**#1021 Washington Street garage circa 1965. Monroe County Library**







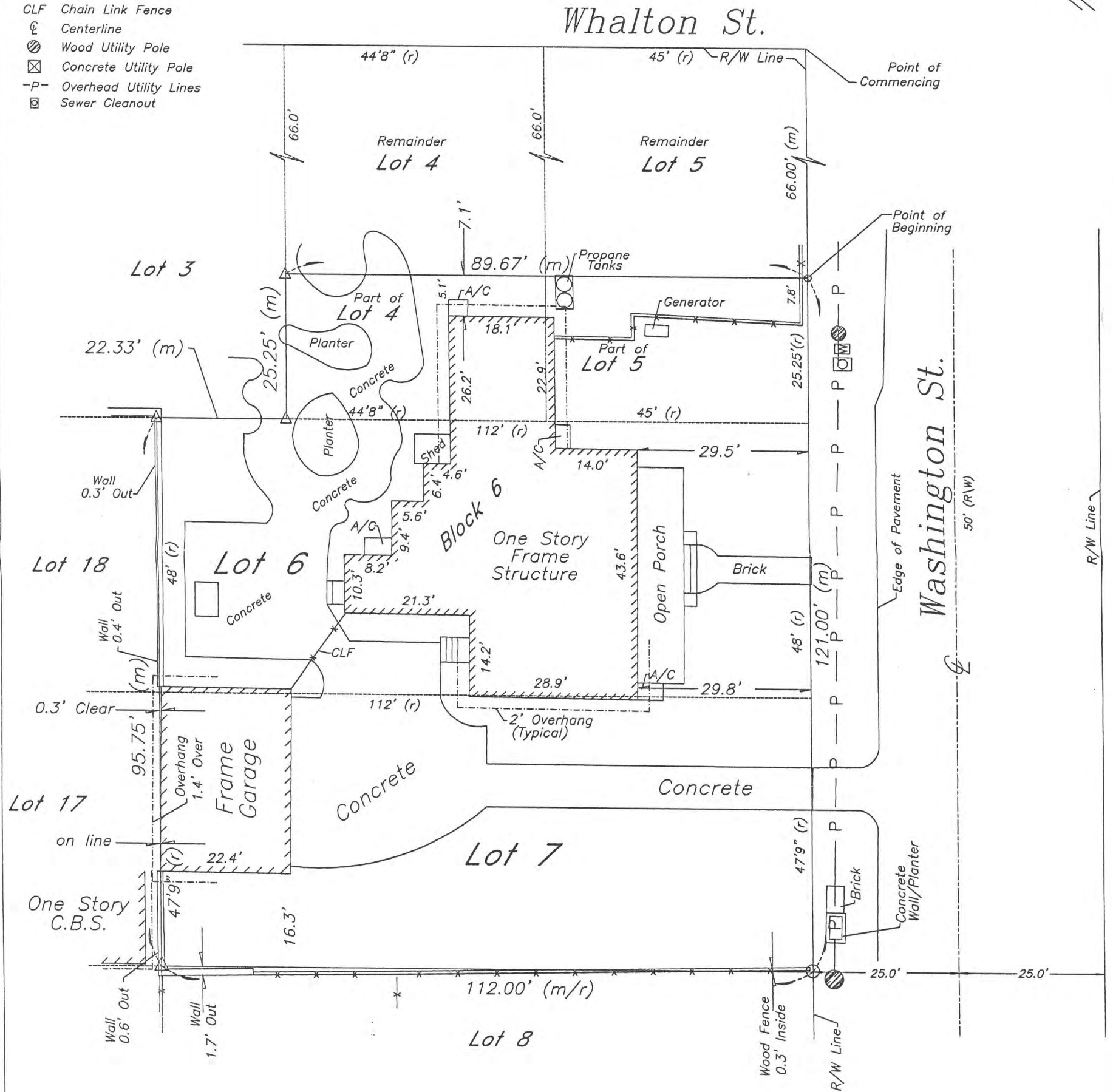
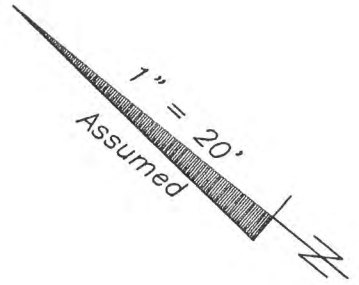


# SURVEY

# Boundary Survey Map of part of Lots 4 & 5, all Lots 6 & 7, Block 6, KEY WEST WEBB REALTY COMPANY'S SUBDIVISION

## LEGEND

- Set 3/4" Iron Pipe w/cap (6298)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊙ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines
- ⊞ Sewer Cleanout



Sheet One of Two Sheets

NOTE:  
This Survey Map is not  
full and complete without  
the attached Survey Report.

**J. LYNN O'FLYNN, Inc.**



Professional Surveyor & Mapper  
PSM #6298

3430 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of part of Lots 4 & 5, all Lots 6 & 7, Block 6,  
KEY WEST WEBB REALTY COMPANY'S SUBDIVISION

NOTES:


1. The legal description shown hereon was authored by the undersigned. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1021 Washington Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: August 26, 2015
9. Ownership of fences is undeterminable, unless otherwise noted.
10. The Survey Report is not full and complete without the attached Survey Map.

BOUNDARY SURVEY OF: A parcel of land on the Island of Key West and known on William A. Whitehead's map of said Island delineated in February A.D. 1829, as part of Tract Eighteen (18), and is now more particularly known and described as part of Lots Four (4) and Five (5), all of Lots Six (6) and Seven (7) of Block Six (6) of said Tract Eighteen (18), made by the Webb Realty Company and recorded in Plat Book 1, Page 42, of the Public Records of Monroe County, Florida, said parcel being more particularly described by metes and bounds as follows: COMMENCE at the intersection of the Northwesterly right of way line of Washington Street with the Southwesterly right of way line of Whalton Street and run thence Southwesterly along the Northwesterly right of way line of the said Washington Street for a distance of 66.00 feet to the Point of Beginning; thence continue Southwesterly along the Northwesterly right of way line of the said Washington Street for a distance of 121.00 feet to the Southerly corner of the said Lot 7; thence Northwesterly and at right angles along the Southwesterly boundary line of the said Lot 7 for a distance of 112.00 feet to the Westerly corner of the said Lot 7; thence Northeasterly and at right angles along the Northwesterly boundary line of the said Lots 6 and 7, for a distance of 95.75 feet to the Northerly corner of the said Lot 6; thence Southeasterly and at right angles for a distance of 22.33 feet to the Westerly corner of the said Lot 4; thence Northeasterly and at right angles along the Northwesterly boundary line of the said Lot 4 for a distance of 25.25 feet; thence Southeasterly and at right angles for a distance of 89.67 feet back to the Point of Beginning.

BOUNDARY SURVEY FOR: Evan Bell;  
Wells Fargo;  
Sanchez & Ashby, P.A.;  
Chicago Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

  
-----  
J. Lynn O'Flynn, PSM  
Florida Reg. #6298

THIS SURVEY  
IS NOT  
ASSIGNABLE

August 26, 2015  
Recertified November 18, 2015

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper  
PSM #6298

3430 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244

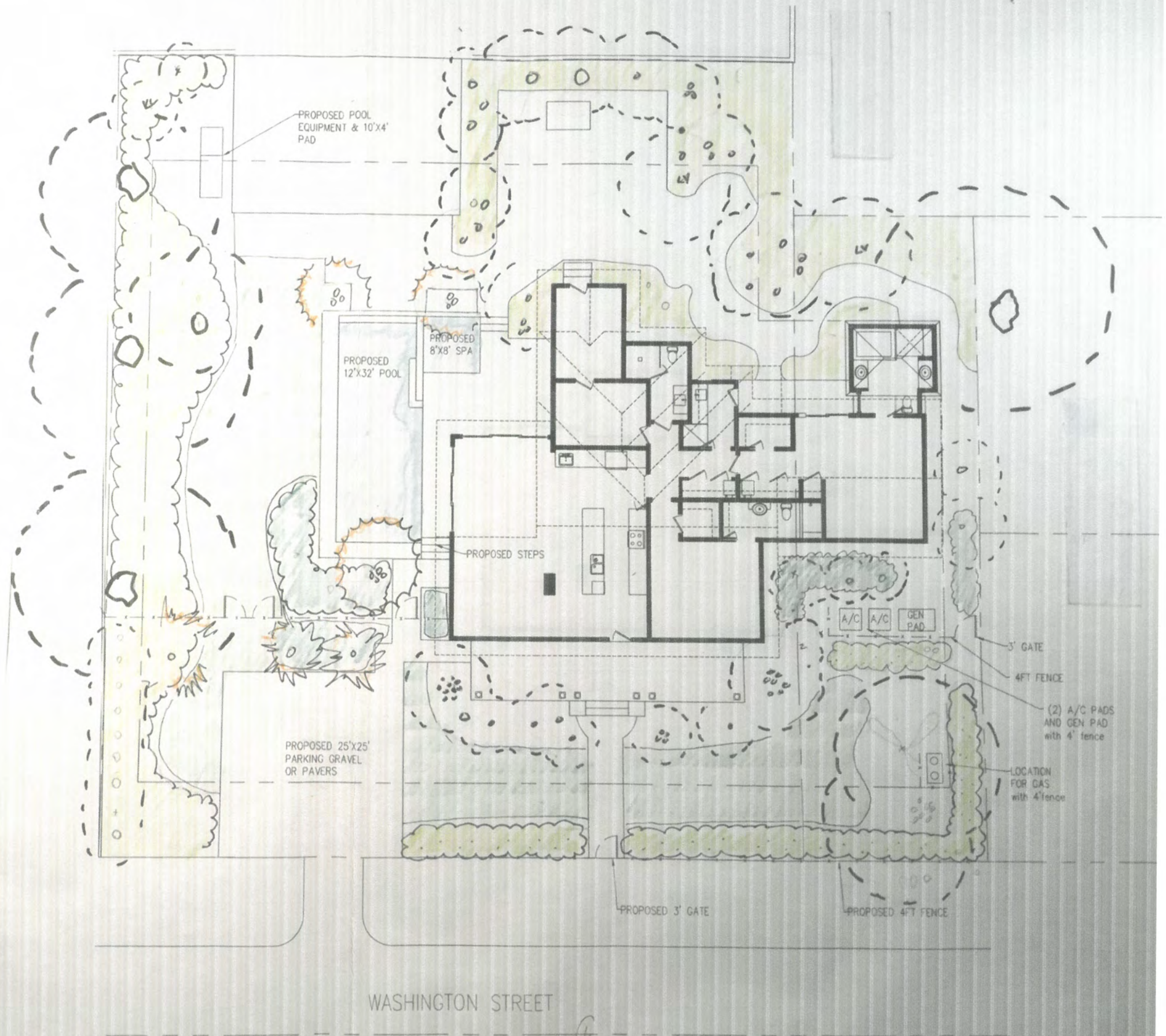
# PROPOSED DESIGN



# Pool and Landscape Concept Plan

1021 WASHINGTON STREET  
KEY WEST, FLORIDA 33040

July 31, 2016



# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 23, 2016 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

## NEW SWIMMING POOL AND SPA ON SIDE YARD.

### FOR- #1021 WASHINGTON STREET

Applicant – Evan Bell/ Richard Milelli

Application #H16-03-0063

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



Public Meeting Notice

skylimitconstruction.com  
licensed and insured cgc 1516320  
**sky limit construction llc**  
from rough to finish  
certified general contractor  
305/304 9358





Public Notice

sky limit construction llc  
certified general contractor  
305.434.9330

# PROPERTY APPRAISER INFORMATION



# Scott P. Russell, CFA Property Appraiser Monroe County, Florida

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

[Home](#) | [Departments](#) | [Exemptions](#) | [Save Our Homes](#) | [Portability](#) | [Homestead Fraud](#) | [Contact Us](#)

[Property Search](#) | [Tax Estimator](#) | [GIS/Maps](#) | [Millages/Taxroll Info](#) | [Appeals/VAB](#) | [Forms](#) | [Office Requirements](#)

Website tested on IE8, IE9, & Firefox.  
Requires Adobe Flash 10.3 or higher

## Property Record Card -

**Maps are now launching the new map application version.**

[Return to Search Results](#) | [Modify Search](#) | [New Search](#) | [Send Email to MCPA Regarding this Parcel](#) | [Estimate Taxes on this Parcel](#)

[Previous Record](#) **Alternate Key: 1039900 Parcel ID: 00039160-000000** [Next Record](#)

### Ownership Details

**Mailing Address:**

BELL EVAN A  
1120 SEMINARY ST  
KEY WEST, FL 33040-4804

### Property Details

**PC Code:** 01 - SINGLE FAMILY

**Millage Group:** 10KW

**Affordable Housing:** No

**Section-Township-Range:** 05-68-25

**Property Location:** 1021 WASHINGTON ST KEY WEST

**Subdivision:** The Webb Realty Co

**Legal:** KW WEBB REALTY CO SUB PB1-42 PT LOTS 4 AND 5 AND ALL LOTS 6 AND 7

**Description:** SQR 6 TR 18 OR145-472/74 OR2290-1990/1992E OR2743-1523/25 OR2770-1963-65

**Click Map Image to open interactive viewer**

### Monroe County Links

- » [Monroe County Home Page](#)
- » [BOCC](#)
- » [Growth Management](#)
- » [Building Dept.](#)
- » [Code Compliance](#)
- » [FEMA Flood Insurance Info](#)

### Monroe County Constitutional Officers

- » [Clerk of the Courts](#)
- » [Sheriff's Office](#)
- » [Elections Supervisor](#)
- » [Tax Collector](#)

### Monroe County Cities

- » [City of Key West](#)
- » [City of Marathon](#)
- » [City of Key Colony Beach](#)
- » [City of Layton](#)
- » [Islamorada, Village of Islands](#)

### First Time Home Buyer (IRS)

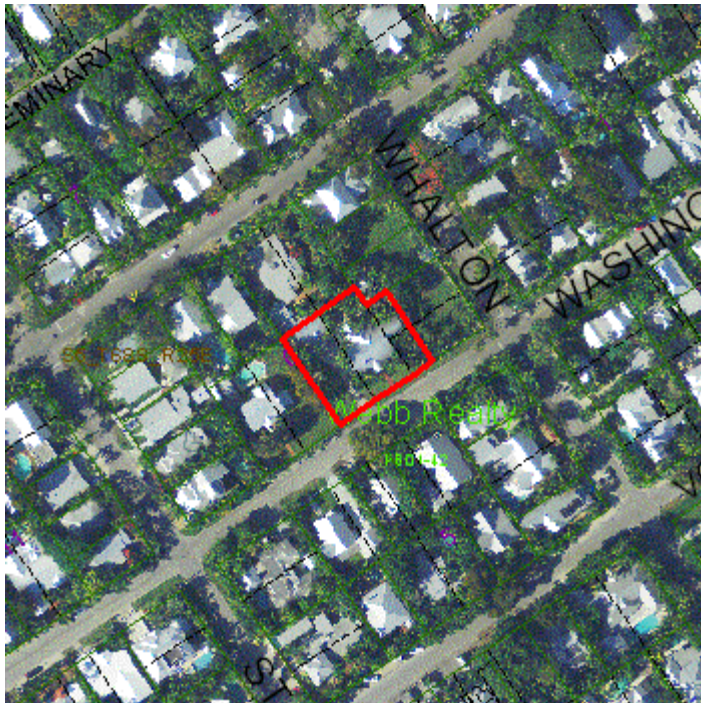
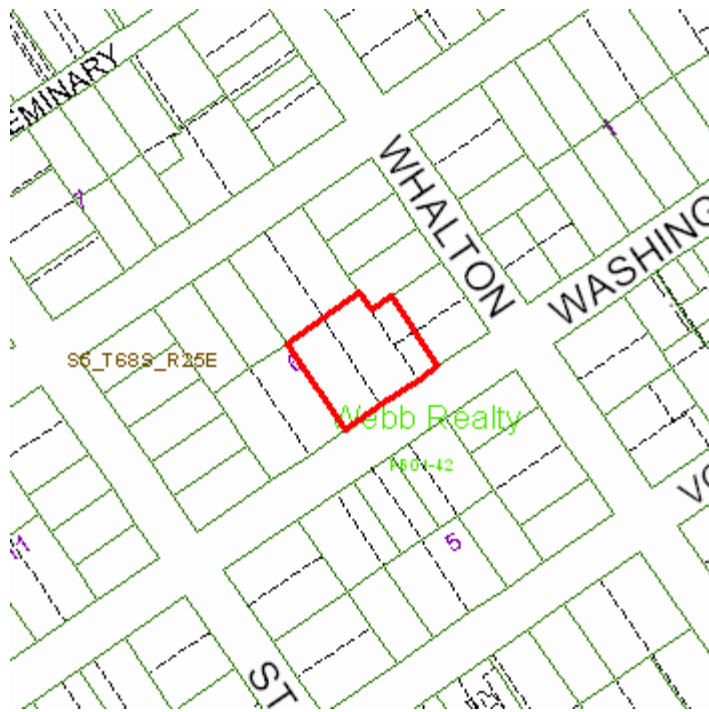
- » [Cancellation of Debt Flyer \(English\)](#)
- » [Cancellation of Debt Flyer \(Spanish\)](#)
- » [1st Time Homebuyers Fact Sheet](#)
- » [1st Time Homebuyers Basic Information](#)
- » [1st Time Homebuyers Scenarios](#)
- » [1st Time Homebuyers Q&A's](#)

### IRS Links

- » [Make Work Pay Credit](#)
- » [Energy Conservation Credit](#)

### Other Links

- » [FL Dept Rev - Property Tax Oversight](#)
- » [Census Info](#)



### Land Details

Land Use Code	Frontage	Depth	Land Area
01SD - RES SUPERIOR DRY			12,987.00 SF

### Building Summary

Number of Buildings: 1  
Number of Commercial Buildings: 0  
Total Living Area: 2007  
Year Built: 1953

## Building 1 Details

Building Type R1  
 Effective Age 22  
 Year Built 1953  
 Functional Obs 0

Condition G  
 Perimeter 232  
 Special Arch 0  
 Economic Obs 0

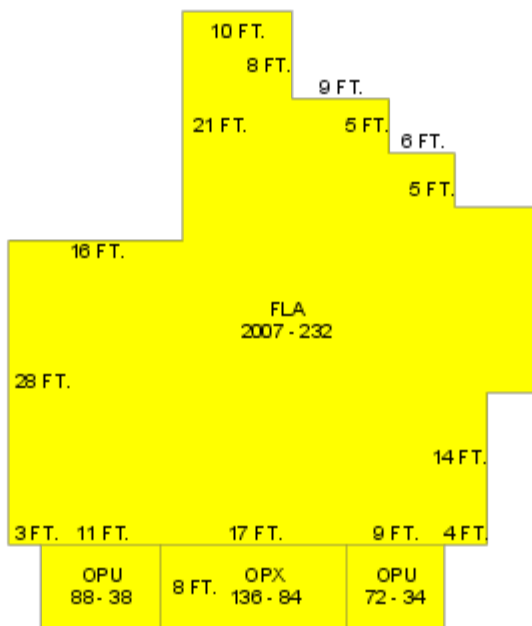
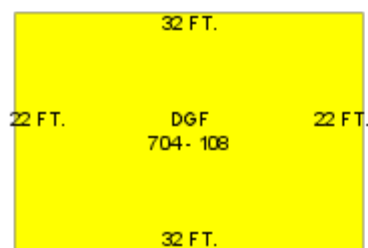
**Inclusions:** R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP  
 Heat 1 FCD/AIR DUCTED  
 Heat Src 1 ELECTRIC

Roof Cover METAL  
 Heat 2 NONE  
 Heat Src 2 NONE

**Extra Features:**

2 Fix Bath 0  
 3 Fix Bath 2  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %
0	<u>OPU</u>		1	1998			
0	<u>OPU</u>		1	1998			

0	DGF		1	1952			
1	FLA	12:ABOVE AVERAGE WOOD	1	1952	N	Y	0.00
2	OPX		1	1952	N	Y	0.00

### Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT3:PATIO	1,571 SF	0	0	1975	1976	2	50
5	FN2:FENCES	2,100 SF	350	6	1952	1953	5	30
6	PT2:BRICK PATIO	100 SF	20	5	1998	1999	3	50

### Appraiser Notes

2012-03-26 MLS \$3,300,000 3/3 REMARKABLE CASA MARINA ESTATE LIKE NO OTHER! STATELY HISTORIC RESIDENCE SITUATED ON A MASSIVE 27,000 + SQ. FT. OF LAND, ONE OF THE LARGEST RESIDENTIAL ESTATES IN KEY WEST, ON THE CORNER OF WASHINGTON STREET AND WHALTON STREET. BEAUTIFULLY MAINTAINED AND LOVINGLY CARED FOR OVER THE COURSE OF 74 YEARS BY THE SAME FAMILY. TOTALING 6 LOTS LAID OUT IN AN L SHAPE WITH 4 CONSECUTIVE VACANT LOTS FACING WHALTON STREET THAT CAN BE DIVIDED. 3 STRUCTURES IN TOTAL WHICH INCLUDE THE MAIN HISTORIC HOME, GUEST HOUSE AND 3-CAR GARAGE. GORGEOUS MEANDERING GARDENS AND LUSH LANDSCAPE MANICURED TO PERFECTION AND IRRIGATED BY 6 WELLS. RARE OPPORTUNITY WITH MANY POSSIBILITIES FOR DEVELOPMENT OR SUBDIVISION

PER PROPERTY OWNERS REQUEST LOT 2 HAS BEEN SPLIT OUT OF THIS PARCEL. SEE NEW ADD FOR LOT 2 ASSESSED UNDER RE 00039160-000200 AK 9102866. PER PROPERTY OWNERS REQUEST LOT 3 HAS BEEN SPLIT OUT OF THIS PARCEL. SEE NEW ADD FOR LOT 3 ASSESSED UNDER RE 00039160-000300 AK 9103482.

PER PROPERTY OWNERS REQUEST PT LOTS 4 AND 5 HAVE BEEN SPLIT OUT OF THIS PARCEL. SEE NEW ADD FOR PT LOTS 4 AND 5 ASSESSED UNDER RE 00039160-000400 AK 9103596.

2014-03-10 MLS \$2,900,000 3/3 RARE COMBINATION LOCATED IN THE CASA MARINA DISTRICT, ON A 27,000 SQ FT SITE THAT ALLOWS THE BUYER TO BUILD UP TO 2 ADDITIONAL HOMES. ALREADY APPROVED BY THE CITY OF KEY WEST. MUST BUY THE EXISTING HOME COMES WITH A COTTAGE AND 3 CAR GARAGE ON APPROXIMATELY 13,500 SQ FT LOT. PROPERTY HAS ALREADY BEEN SURVEYED. IF YOU BUY THE HOME, COTTAGE, AND GARAGE YOU HAVE THE RIGHT TO BUY ONE OR BOTH VACANT LOTS. IDEAL FOR A FAMILY COMPOUND. GREAT LANDSCAPING INCLUDING MANY MATURE PALMS, IRRIGATED BY 6 WELLS. ALL FOR \$2,900,000.

### Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
15-2542	06/24/2015	07/10/2015	6,000		DEMOLITION OF SINGLE-FAMILY RESIDENTIAL UNIT (COTTAGE)0 RESERVING ITS BPAS EXEMPTION FOR NEW SINGLE FAMILY RESIDENCE ON LOT 3.
1 97-2167	07/01/1997	12/01/1997	5,400	Residential	AWNINGS
2 97-3066	09/01/1997	12/01/1997	3,000	Residential	REPAINT HOUSE

3	98-0752	03/17/1998	12/12/1998	5,000	Residential	REPLACE TILE ON PORCH
4	98-1931	08/24/1998	12/12/1998	1,000	Residential	HURRICANE SHUTTERS
5	01-2253	06/14/2001	10/31/2001	2,500	Residential	REPLACE GUTTERS/DOWNSPOUT
6	01-3244	09/27/2001	10/31/2001	2,300	Residential	FENCE REPAIRS
7	02-1174	05/07/2002	10/09/2002	3,000	Residential	REPAIR TERMITE DAMAGE
8	02-2023	07/26/2002	10/09/2002	2,500	Residential	REPAINT ALL BUILDINGS
9	03-0217	01/27/2003	11/16/2004	6,000	Residential	REPAINT GUEST HOUSE
10	03-0586	03/07/2003	11/16/2004	6,000	Residential	REPLACE FENCE
11	03-3703	10/24/2003	11/16/2004	4,900	Residential	ELECTRICAL
12	03-3719	10/24/2003	11/16/2004	3,000	Residential	PLUMBING
13	03-3730	11/10/2003	11/16/2004	42,626	Residential	FOUNDATION & ADDITION
14	07-1153	03/07/2007	07/31/2007	10,620	Residential	INSTALL STAND BY 16KW GENERATOR TO BE ABOVE FLOOD PAIAIN
	07-1467	03/27/2007	07/31/2007	3,260		R & R EAST GABLE END FASCIA

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	213,216	17,778	1,434,367	1,665,361	1,665,361	0	1,665,361
2015	285,018	18,133	1,497,378	1,449,262	262,499	25,000	237,499
2014	268,522	16,604	1,743,302	2,028,428	929,865	25,000	904,865
2013	272,200	16,724	1,614,169	1,903,093	916,123	25,000	891,123
2012	279,557	16,877	1,136,375	1,432,809	900,809	25,000	875,809
2011	289,774	16,997	710,234	1,017,005	874,572	25,000	849,572
2010	304,827	17,117	1,180,464	1,502,408	861,647	25,000	836,647
2009	343,245	17,270	1,600,184	1,960,699	838,994	25,000	813,994
2008	315,801	17,390	2,570,225	2,903,416	838,156	25,000	813,156
2007	420,316	17,510	2,232,038	2,669,864	813,744	25,000	788,744
2006	642,797	16,637	2,434,950	3,094,384	761,837	25,000	736,837
2005	668,133	8,395	1,758,575	2,435,103	739,648	25,000	714,648
2004	444,236	5,519	268,800	718,555	286,062	25,000	261,062



2003	466,305	5,762	138,432	610,499	280,729	25,000	255,729
2002	454,882	5,746	138,432	599,060	274,150	25,000	249,150
2001	356,102	5,730	138,432	500,264	269,833	25,000	244,833
2000	372,025	4,922	100,800	477,747	261,974	25,000	236,974
1999	267,003	4,310	100,800	372,113	255,087	25,000	230,087
1998	227,630	3,805	100,800	332,235	251,070	25,000	226,070
1997	196,869	3,029	90,048	289,946	246,874	25,000	221,874
1996	166,108	2,643	90,048	258,799	239,684	25,000	214,684
1995	151,343	2,488	90,048	243,879	233,839	25,000	208,839
1994	135,347	2,297	90,048	227,692	227,692	25,000	202,692
1993	131,110	1,185	90,048	222,343	222,343	25,000	197,343
1992	131,110	1,185	90,048	222,343	222,343	25,000	197,343
1991	131,110	1,185	90,048	222,343	222,343	25,000	197,343
1990	124,830	1,185	71,232	197,247	197,247	25,000	172,247
1989	113,482	1,077	67,200	181,759	181,759	25,000	156,759
1988	77,675	1,077	55,104	133,856	133,856	25,000	108,856
1987	76,886	1,077	36,826	114,789	114,789	25,000	89,789
1986	77,212	1,077	35,482	113,771	113,771	25,000	88,771
1985	75,254	1,077	23,224	99,555	99,555	25,000	74,555
1984	52,234	1,077	23,224	76,535	76,535	25,000	51,535
1983	52,234	1,077	23,224	76,535	76,535	25,000	51,535
1982	53,119	1,077	21,827	76,023	76,023	25,000	51,023

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
11/19/2015	2770 / 1963	1,400,000	WD	37
5/29/2015	2743 / 1523	2,500,000	WD	05

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Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176