

# **Staff Report**

**Reconstruction of mid nineteenth century kitchen and living quarters-#209  
Whitehead Street- RJ Heisenbottle Architects (H11-01-825)**

The Audubon house, also known as the John H. Geiger house is a magnificent example of a frame vernacular structure. The two and a half story house was built in 1846 and is located on a corner lot. The proposed design consists of two ancillary structures that will be built on the back of the lot and will not be visible from the streets. According to the applicant the structures will be a reconstruction of the mid nineteenth century kitchen and slave living quarters and are based on historical documentation of similar structures in Florida during that period. The structures are intended only for exhibit.

The proposed kitchen will be rectangular in footprint and will measure approximately 14'-1" depth by 17'-1" wide and will be 14'-3" height from ground to ridge. A brick chimney is proposed on the south façade. The proposed quarters will also be rectangular in footprint and will measure 24'-0" depth by 12'-1" wide and will be 14'-3" height from ground to ridge. Both buildings will be built with cypress wood, including floors and siding and will have wood shake shingle roof. The buildings will be built with reclaimed wood, as much as possible and will not be painted. Both buildings will also have solid wood shutters as windows and wood doors.

On the application it is stated that the *design is based on historical documentation of similar structures in Florida during the mid nineteenth century period.* The application also states that *Sanborn Insurance maps are being used to provide historical documentation on the location of these structures within the Audubon House property.* The earliest Sanborn map of Key West available dates from 1889 and there is no evidence of these two structures in the site. In the 1912, 1926 and 1948 Sanborn maps a structure, shown as a kitchen, can be observed on the back of the main house. According to the maps the structure was a one story wood frame with a front porch and its main entrance faced north. In the 1962 Sanborn map the structure is not recorded. The proposed location of both new structures can not be supported by the Sanborn maps. The proposed kitchen will not be located where the old kitchen shown in the 1912 Sanborn map.

For the purpose of understanding the word reconstruction it is the act or process of depicting, by means of new construction, the form, features, and detailing of a non surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location. This is the definition from the National Park Service. According to the Department of the Interior's Standards for Reconstruction and Guidelines for Reconstructing Historic Buildings Standard number four states the following:



*Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non surviving historic property in materials, design, color, and texture.*

At this point the applicant has not provided substantial evidence that this application consists of a reconstruction of two historic structures that used to be located in the Audubon house site. Staff understands that the new structures shall not be considered reconstructions, however a review as new structures is provided.

Staff understands that the guidelines for Additions and Alterations and New Construction (pages 36-38) are applicable for the review of the plans. Under page 38 of the Historic Architectural Guidelines, new construction criteria can be found:

1. **Siting** - *New construction must conform to all current city easement, setback and building requirements. No existing building shall be relocated and no new structure shall be placed closer to the sidewalk, street or visible alley, than the distance of pre-existing historic structures. Areas reserved for parks or open space must be retained.*

According to the submitted plans the proposed design will conform to actual setbacks for this particular historic zone district HRO;

Front yard- 5 ft  
Street side- 5 ft  
Side- 5 ft  
Rear- 10 ft  
Maximum height- 35 ft

Both structures will be located on the back and will be ten feet from the back and side property lines.

2. **Elevation of finished floor above grade** - *Applications for buildings with the first finished floor above the minimum height necessary to comply with federal flood regulations will not be approved unless the applicant demonstrates that such elevation does not interfere with the essential form and integrity of properties in the neighborhood. In situations wherein parking is proposed below the first finished floor, HARC shall consider how visible the parking is from the public right-of-way; whether the parking area is enclosed or otherwise concealed by walls, louvers, lattice, landscaping or other features; and whether fill and/or berms are used to minimize the gap between the first finished floor and the crown of the nearest road.*



This will not be the case.

3. **Height** – *must not exceed two and a half stories. There must be a sympathetic relationship of height between new buildings and existing adjacent structures of the neighborhood. New buildings must be compatible with historic floor elevations. The height of all new construction shall be based upon the height of existing structures within the vicinity.*

The proposed new structures will be one story.

4. **Proportion, scale and mass** – *massing, scale and proportion shall be similar to that of existing historical buildings in the historical zone. No new construction shall be enlarged so that its proportions are out of scale with its surroundings. No new construction shall be more than two and a half stories. No structure shall outsize the majority of structures in the streetscape or historic zone.*

It is staff's belief that the proposed structures will have mass, scale and proportions that will be compatible to the surrounding historic buildings. The proposed structures will not obscure or outsize any building within the urban fabric.

5. **Compatibility** – *Design must be compatible with Key West architectural characteristics in the historical zones. All new construction must be in keeping with the historic character in terms of size, scale, design, materials, color and texture.*

The proposed design incorporates traditional forms, textures and configurations found in a historic frame vernacular building.

6. **Building Detail** – *All new buildings shall incorporate a level of detail that assures compatibility with the surrounding historic context. New construction shall not precisely mimic the details of historic buildings but should have features that are compatible with the lines of historic architecture.*

The new proposed design incorporates similar elements found in the historic district. Staff is concern about how *historic* the structures will look. The slave's quarter structure will not be a reconstruction, but rather an interpretation of what a structure may look on a particular period of time. History can not be recreated without accurate information.



7. **Relationship of materials** – *Materials used on new construction shall be of similar color, dimension, texture, and appearance as historic fabrics. The predominant exterior finish in historic zones is wood weatherboard, clapboard, drop siding, or board and batten. Exceptions for the use of composite materials may be permissible. Roofing is primarily sheet metal or metal shingles. New construction shall establish a relationship with existing historic structures by utilizing similar finishes and metals.*

The proposed new structures will use traditional building materials.

As stated before it is staff's belief that the project, as represented, will not constitute a reconstruction of mid nineteenth century structures since there is no factual evidence that has been submitted. It is clear that in the 1889, 1892 and 1899 Sanborn maps do not support the theory that in the site there use to be any of the two structures that are proposed on the new plans. Moreover it is not until the 1912 Sanborn map, when a kitchen was depicted, but not on the location where the new site plan depict it. Therefore the Sanborn maps can not be used as an accurate evidence for the proposed *reconstructions*.

It is staff's belief that the designs are consistent with many of the guidelines. On this particular application I recommend that an accurate term like *interpretation of what a kitchen or slaves quarters may be look* should be included in the application as well as in the site, once the structures are built. The buildings should also incorporate an element in their design showing that these are new structures.

# **Application**





**CITY OF KEY WEST  
BUILDING DEPARTMENT  
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # H-11-01-825

OWNER'S NAME:	Mitchell Wolfson Family Foundation Louis Wolfson III, President	DATE:	June 17, 2011
OWNER'S ADDRESS:	9400 S. Dadeland Boulevard, Suite 100 Miami, FL 33156	PHONE #:	305-854-1440
APPLICANT'S NAME:	Richard J. Heisenbottle, FAIA, President, R.J. Heisenbottle Architects, PA	PHONE #:	305-446-7799
APPLICANT'S ADDRESS:	2199 Ponce de Leon Boulevard, Suite 400 Coral Gables, FL 33134		
ADDRESS OF CONSTRUCTION:	205 Whitehead Street Key West, Florida	# OF UNITS	2

**THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT**

**DETAILED DESCRIPTION OF WORK:** Reconstruction of the mid-nineteenth century kitchen and slave living quarters structures for the Audubon House, based on historical documentation of similar structures in Florida during that period. Sanborn Insurance maps are being used to provide historical documentation on the location of these structures within the Audubon House property. The two structures will be located in the garden area behind the main house. They will be built of wood frame, using reclaimed lumber as much as possible and will be unpainted. Intended for exhibit only, not occupancy. (Please, see attached drawings and renderings)

*Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083*

\*\*\*\*\*

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 6-17-11

Applicant's Signature: *Richard Heisenbottle*

**Required Submittals**

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

**Staff Use Only**

Date: \_\_\_\_\_

Staff Approval: \_\_\_\_\_

Fee Due: \$ \_\_\_\_\_

HISTORIC ARCHITECTURAL REVIEW APPLICATION



# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

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Approved

Denied

Deferred

\_\_\_\_\_

Reason for Deferral or Denial:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HARC Comments:

*The Audubon House is a contributing resource built in 1846.  
Frame vernacular.  
Secretary of the Interior's Standards for Rehabilitation.  
Guidelines for new construction.*

Limit of Work Approved, Conditions of Approval and/or Suggested  
Changes:

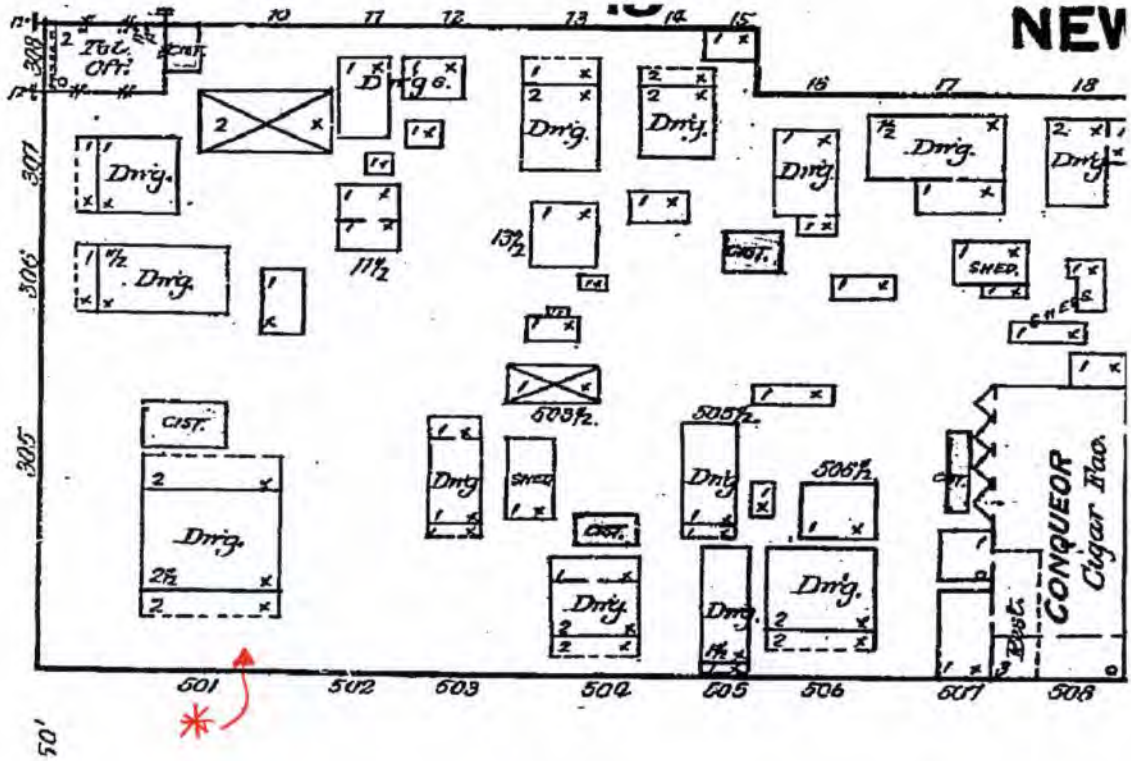
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Historic Architectural  
Review Commission

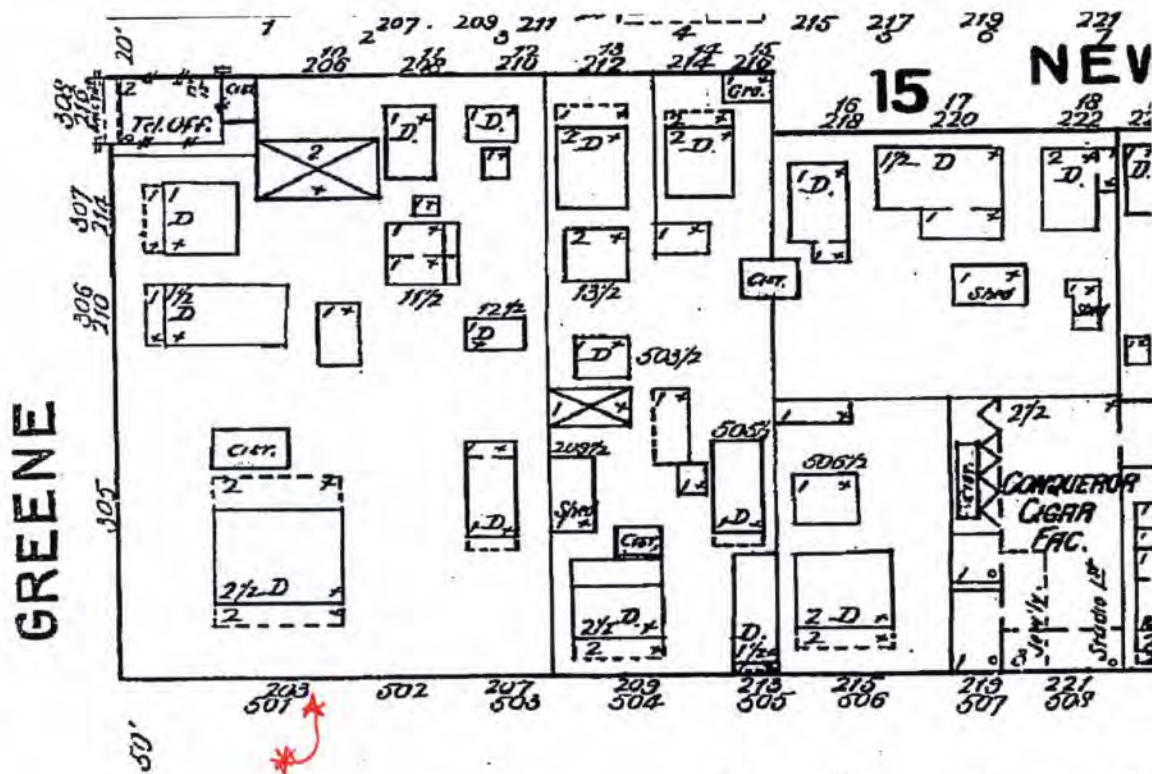




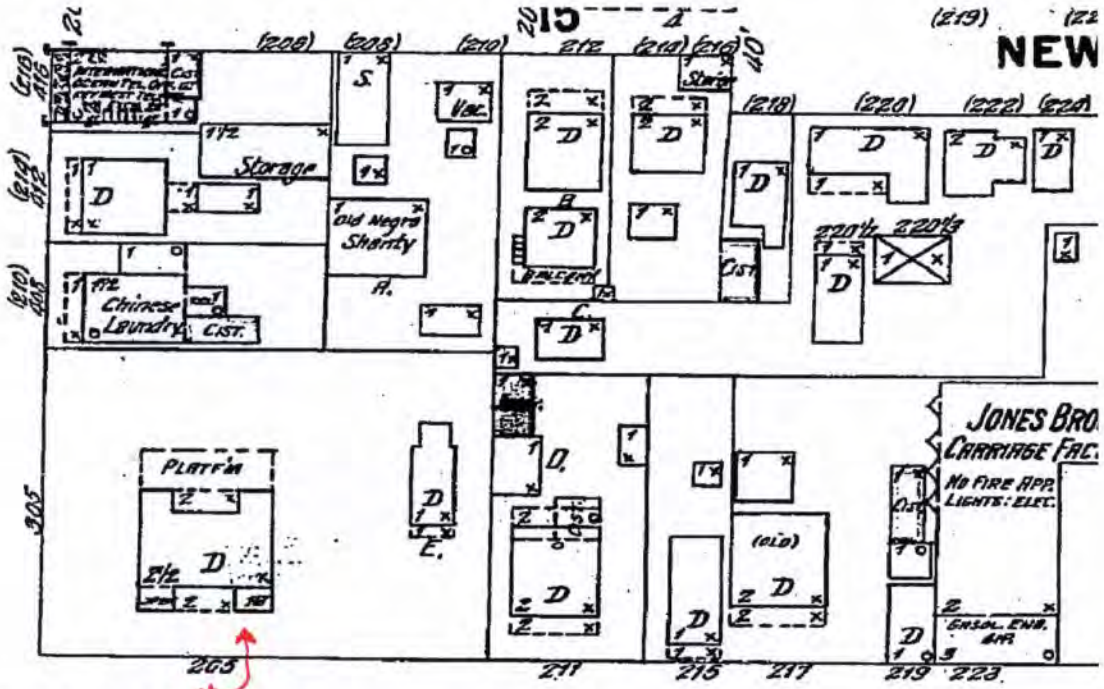
#205 Whitehead Street Sanborn map copy 1889. Notice the building address was #501 Whitehead Street

# **Sanborn Maps**





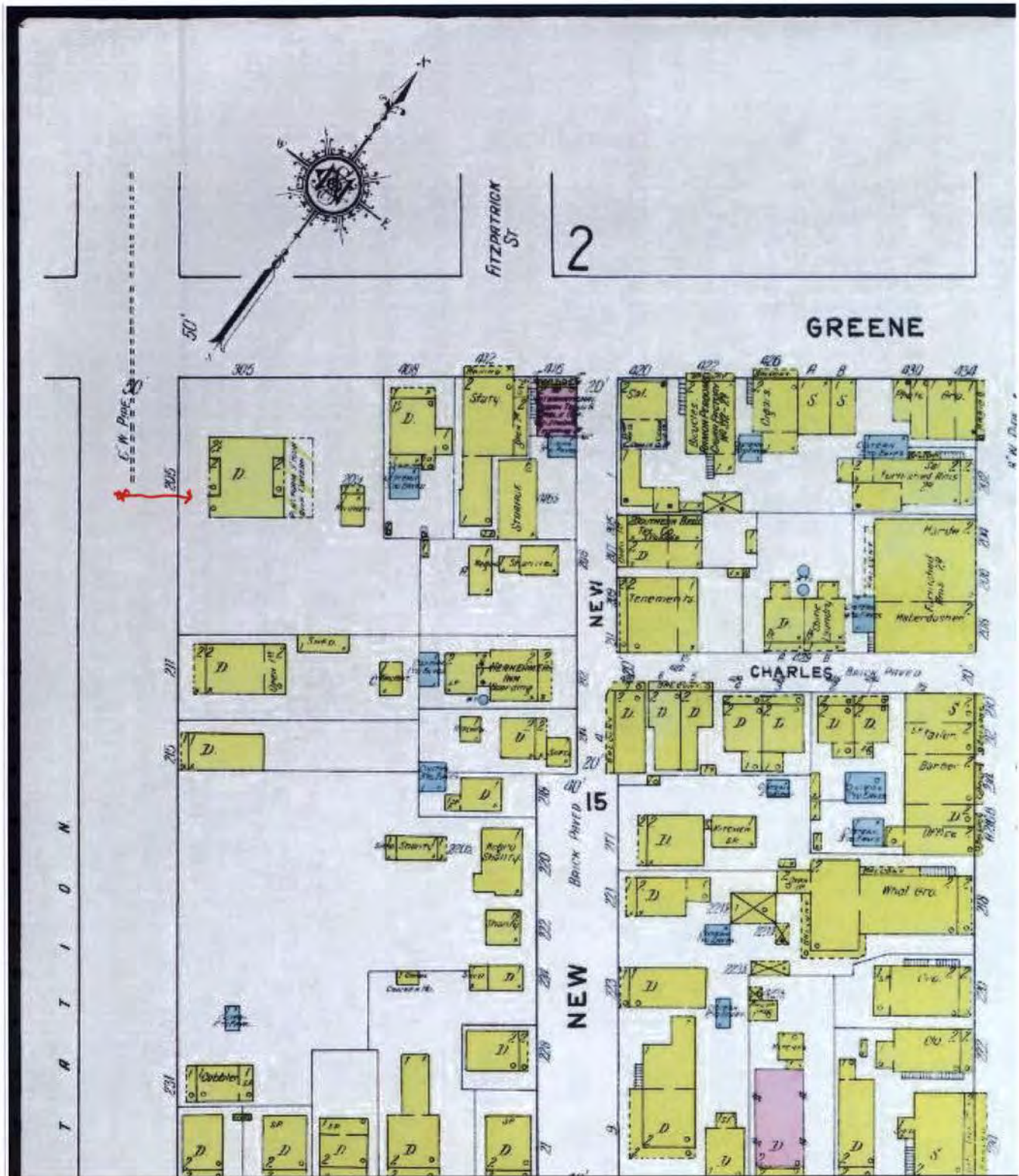
#205 Whitehead Street Sanborn map copy 1892.



#205 Whitehead Street Sanborn map copy 1899







**UF** UNIVERSITY of  
**FLORIDA**  
 The Foundation for The Gator Nation

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# KEY

**THIS IS/IS NOT**  
**BRICK/IS NOT**  
**CONCRETE/IS NOT**

**ADDRESS**

**HEIGHT OF BUILDING IN FEET FROM GROUND TO ROOF LINE**

**(C. BR.)** Concrete, lime, cinder or cement brick

**(C. B.)** Hollow concrete or cement block constn

**(CONC.)** Concrete or reinforced concrete constn

**(TILE)** Tile building

**NUMBER OF STORIES**

**TWO STORIES ABOVE OR BELOW COMPOSITION ABOVE**

**SHINGLE ROOF**

**(V.C.B.)** Brick veneered building

**BRICK 1ST** and frame building

**FRAME BRICK LINED** Frame building brick lined

**F-FLAT S-STOBE** " " metal clad

**D-DWELLING** Frame building

**Auto AUTO IN BENT** Iron building

**LOFT** Tenant building occupied by various manufacturing or occupancies

**(ASB. CL.)** Frame building covered with asbestos

**NON-COMBUSTIBLE ROOF** CONCRETE OR METAL SLATE/TILE OR ASBESTOS GONGALAS

**SKYLIGHT LIGHTING TOP STORY ONLY**

**SKYLIGHT LIGHTING THREE STORIES**

**WIRED GLASS SKYLIGHT**

**FIRE WALL 4 INCHES ABOVE ROOF**

**2345**

**WATER TANK**

**BRICK 1ST**

**A** Stable

**(C. B.)** Solid brick with interior walls of C.B. or C.B. and brick mixed

**(C. B. BR.)** Mixed construction of C.B. and brick with one wall of solid brick

**(C. B. BR. CONSTN)** Mixed construction of C.B. and brick with one wall faced with 4" brick

**(C. B. BR. CONSTN) (REPAIRED)** Mixed construction of C.B. and brick throughout

**MANHOLE HOLES**  
 DOTS REPRESENT OPENINGS  
 STEMS INDICATE STORIES  
 COUNTING FROM LEFT TO RIGHT, LOOKING TOWARD BUILDING

Window opening in first story.  
 Window openings in second and third stories.  
 Window openings in second and fourth stories.  
 Windows with wired glass.  
 Windows with iron or tin clad shutters.  
 Window openings tenth to twenty-second stories.

Open elevator.  
 Frame enclosed elevator.  
 " " " " with traps.  
 " " " " self closing traps.  
 Concrete block enclosed elevator with traps.  
 Tile enclosed elevator with self closing traps.  
 Brick enclosed elev. with wired glass door.

Width of street (BETWEEN BLOCK LINES, NOT CURB LINES.)

Iron chimney (WITH SPARK ARRESTOR)  
 Brick chimney.

Ground elevation.

Vertical steam boiler.

Gasoline tank.

Open under.

Samese fire dept. connection

Single fire dept. connection

Automatic fire alarm.

Independent electric plant.

Automatic sprinklers.

Automatic chemical sprinklers.

Automatic sprinklers in part of building only. (NOTE UNDER SYMBOL INDICATES PROTECTED PORTION OF BUILDING)

Not sprinklered.

Outside vertical pipe on fire escape.

Fire alarm box.

Single hydrant.

Double ".

Triple ".

Quadruple hydrant of "High Pressure Fire Service."

Fire alarm box of the "High Pressure Fire Service"

Water pipes of the "High Pressure Fire Service" and hydrants of the "High Pressure Fire Service" as shown on key map.

Water pipes and size in inches.

Water pipes of private supply

House numbers shown nearest to buildings are official or actually up on buildings.

Old house numbers shown furthest from buildings.

Block number.

Vertical pipe or stand pipe.

Automatic fire alarm.

Independent electric plant.

Automatic sprinklers.

Automatic chemical sprinklers.

Automatic sprinklers in part of building only. (NOTE UNDER SYMBOL INDICATES PROTECTED PORTION OF BUILDING)

Not sprinklered.

Outside vertical pipe on fire escape.

Fire alarm box.

Single hydrant.

Double ".

Triple ".

Quadruple hydrant of "High Pressure Fire Service."

Fire alarm box of the "High Pressure Fire Service"

Water pipes of the "High Pressure Fire Service" and hydrants of the "High Pressure Fire Service" as shown on key map.

Water pipes and size in inches.

Water pipes of private supply

House numbers shown nearest to buildings are official or actually up on buildings.

Old house numbers shown furthest from buildings.

## CODING OF STRUCTURAL UNITS FOR FIREPROOF AND NON-COMBUSTIBLE BUILDINGS

FRAMING	FLOORS	ROOF
CODE STRUCTURAL UNIT	CODE STRUCTURAL UNIT	CODE STRUCTURAL UNIT
A. Reinforced Concrete Frame.	1. Reinforced Concrete, Reinforced Concrete with Masonry Units, Pre-cast Concrete or Gypsum Slabs or Planks.	a. Reinforced Concrete, Reinforced Concrete with Masonry Units, Reinforced Gypsum Concrete, Pre-cast Concrete or Gypsum Slabs or Planks.
B. Reinforced Concrete Joists, Columns, Beams, Trusses, Arches, Masonry Piers.	2. Concrete on Metal Lath, Incombustible Form Boards, Paper-backed Wire Fabric, Steel Deck, and Cellular, Ribbed or Corrugated Steel Units.	b. Concrete or Gypsum on Metal Lath, Incombustible Form Boards, Paper-backed Wire Fabric, Steel Deck, and Cellular, Ribbed or Corrugated Steel Units.
C. Protected Steel Frame.	3. Open Steel Deck or Grating.	c. Incombustible Composition Boards with or without Insulation, Masonry or Metal Tiles.
D. Individually Protected Steel Joists, Columns, Beams, Trusses, Arches.		d. Steel Deck, Corrugated Metal or Asbestos Protected Metal with or without Insulation.
E. Indirectly Protected Steel Frame.		
F. Indirectly Protected Steel Joists, Columns, Beams, Trusses, Arches.		
G. Unprotected Steel Frame.		
H. Unprotected Steel Joists, Columns, Beams, Trusses, Arches.		
O. Masonry Bearing Walls.		

LAND USE CODE APPLICABLE TO CHANGES INDICATED AFTER 1962

R	RESIDENTIAL	M	MANUFACTURING
RT	RESIDENTIAL - TRANSIENT	P	PUBLIC OR INSTITUTIONAL
C	COMMERCIAL	U	UTILITY
N	NON-RESIDENTIAL	T	TRANSPORTATION

NUMERICAL PREFIX INDICATES THE YEAR OF ESTABLISHMENT OF EACH CATEGORY

The coding for framing, floor and roof structural units as shown above is used in describing the construction of fire-resistant buildings. In addition, reports for fire-resistant buildings will show the date built and wall construction when other than brick.

FP buildings have masonry floors and roof; concrete and/or directly or indirectly protected steel framing; and clay brick, stone or poured concrete walls.

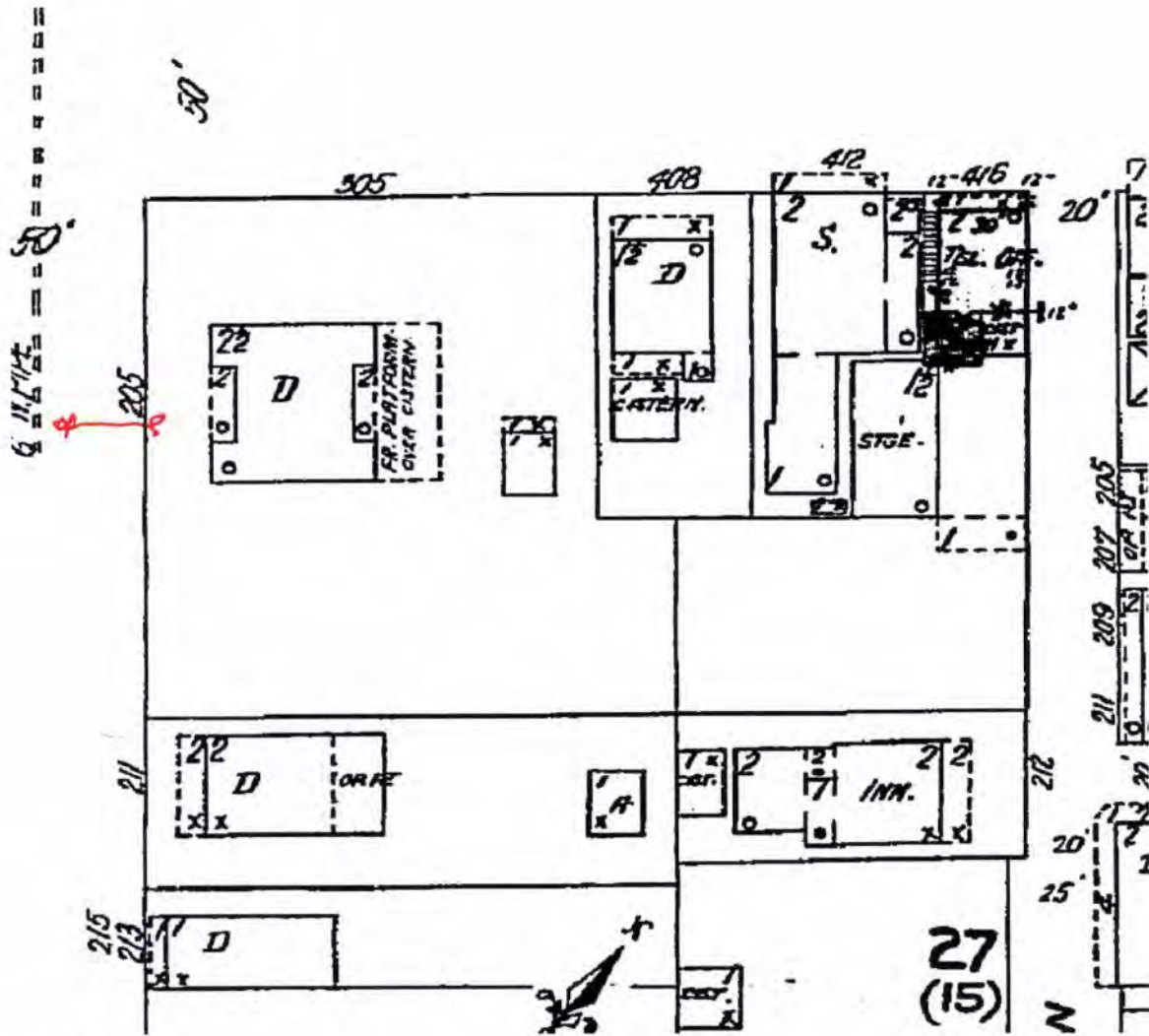
FPX buildings are FP buildings with interior walls such as concrete block, cement brick, metal or glass panels, etc.

NC buildings have unprotected steel framing and fire-resistant but non-masonry floors and roof.

**FP-1962 (CONC.) A-1-B** A fire-resistant building built in 1962 with concrete walls and reinforced concrete frame, floors and roof.

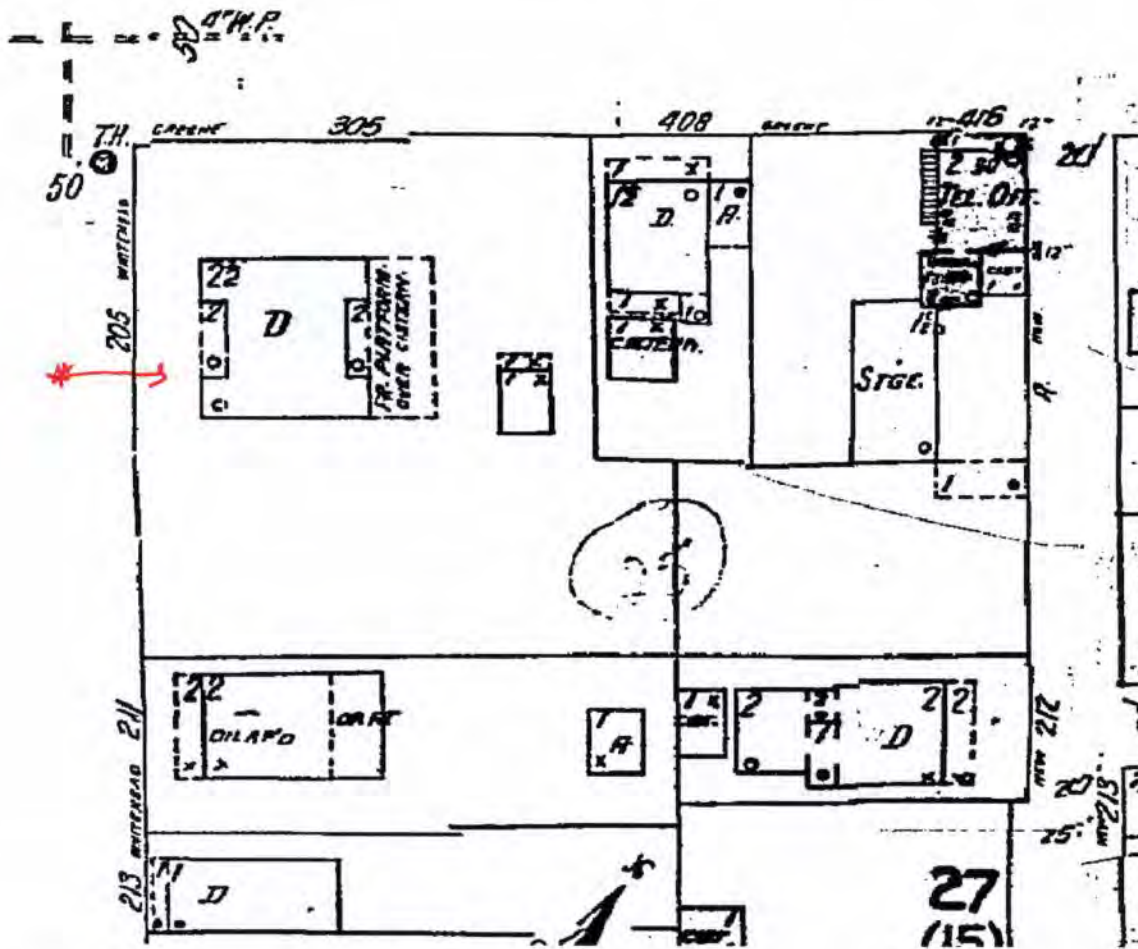
**FPX-1962 (CONC.) A-1-B** A fire-resistant building built in 1962 with metal panel walls, indirectly protected steel frame, concrete floors and roof on metal lath, noncombustible ceilings.

**NC-1962 (C. B.) N-2-H** A noncombustible building built in 1962 with concrete block walls; unprotected steel columns and beams; concrete floors on metal lath and steel deck roof.

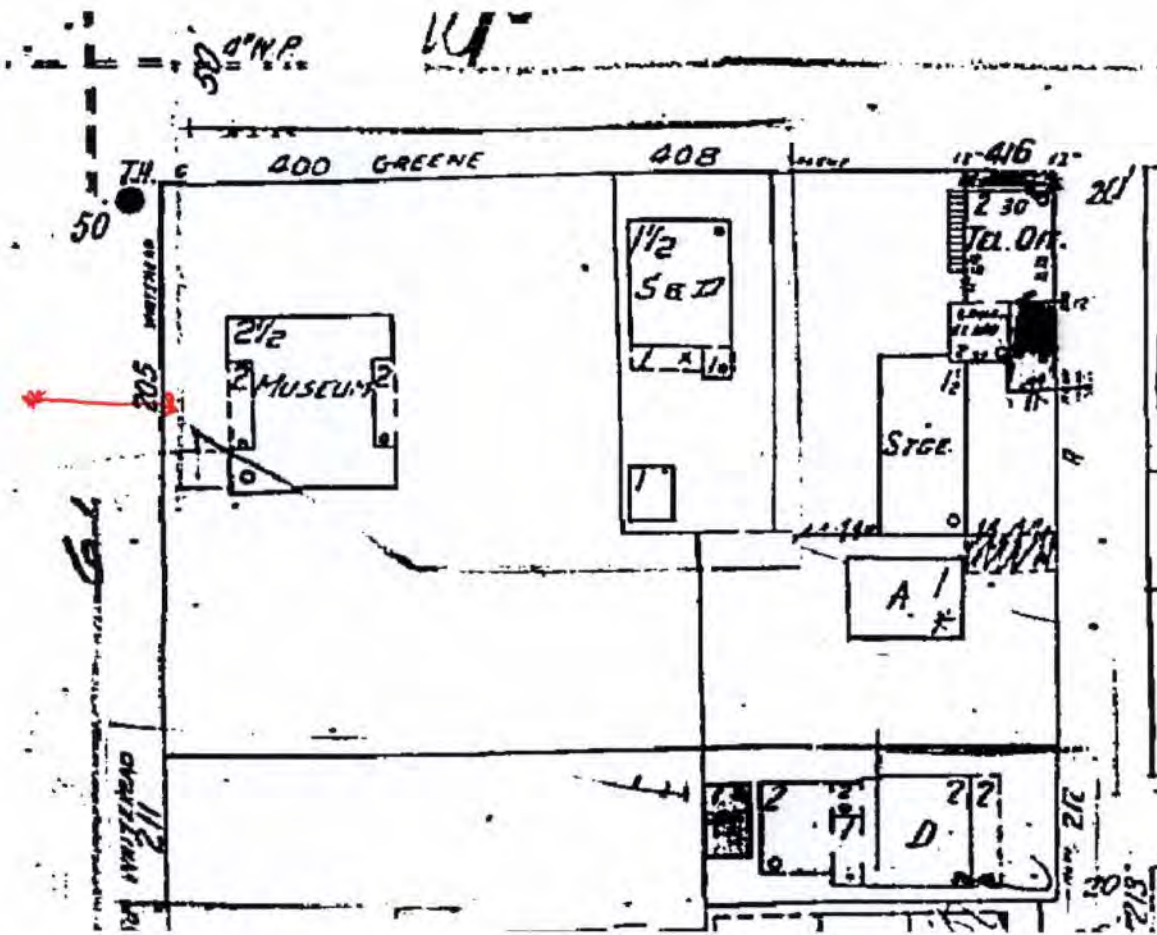


#205 Whitehead Street Sanborn map copy 1926





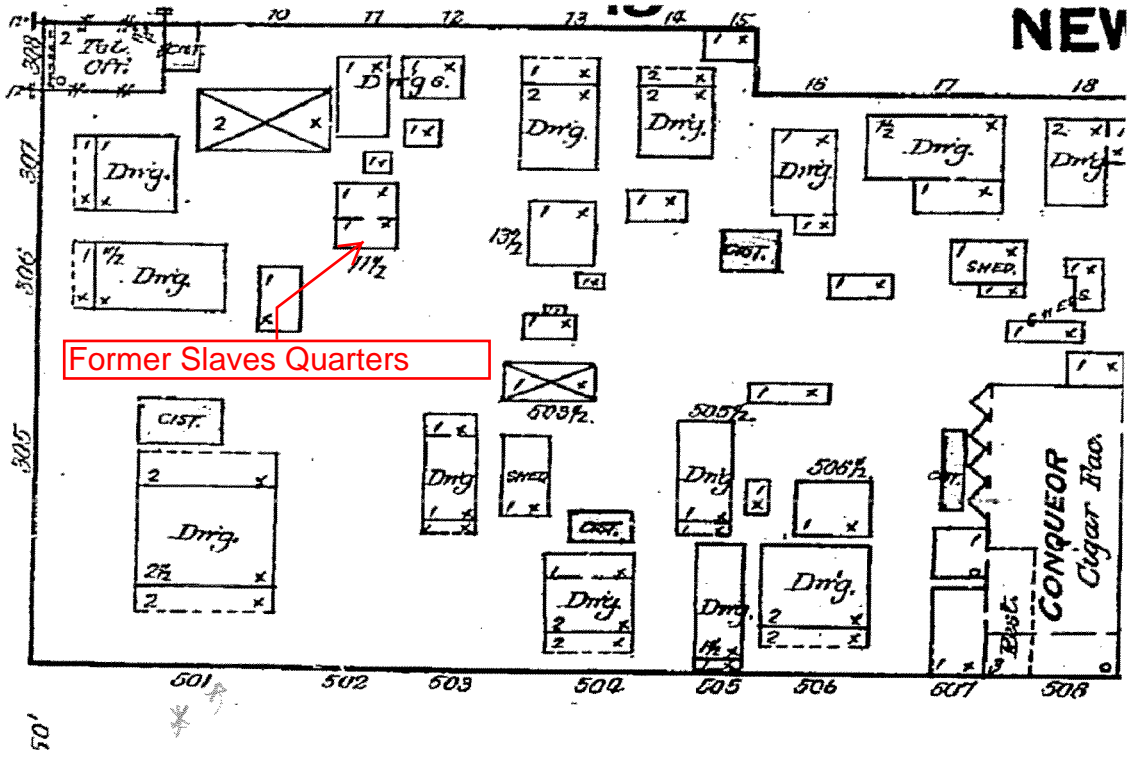
#205 Whitehead Street Sanborn map 1948



#205 Whitehead Street Sanborn map copy 1962



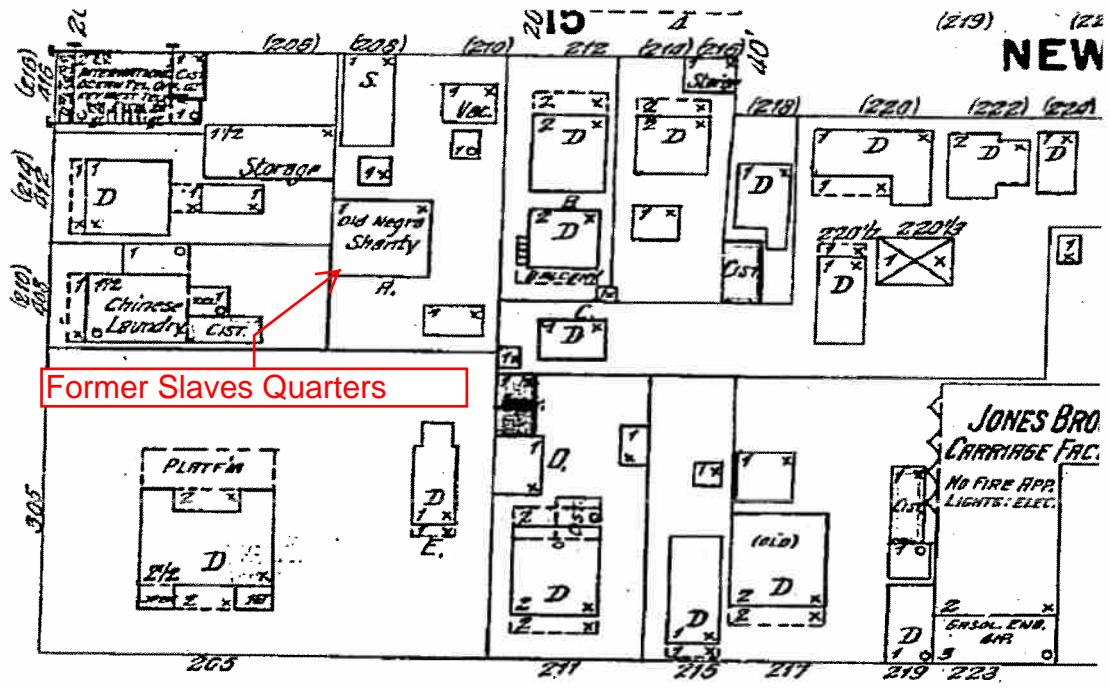
**Sanborn Maps  
With Applicant's Annotations**



#205 Whitehead Street Sanborn map copy 1889. Notice the building address was #502 Whitehead Street



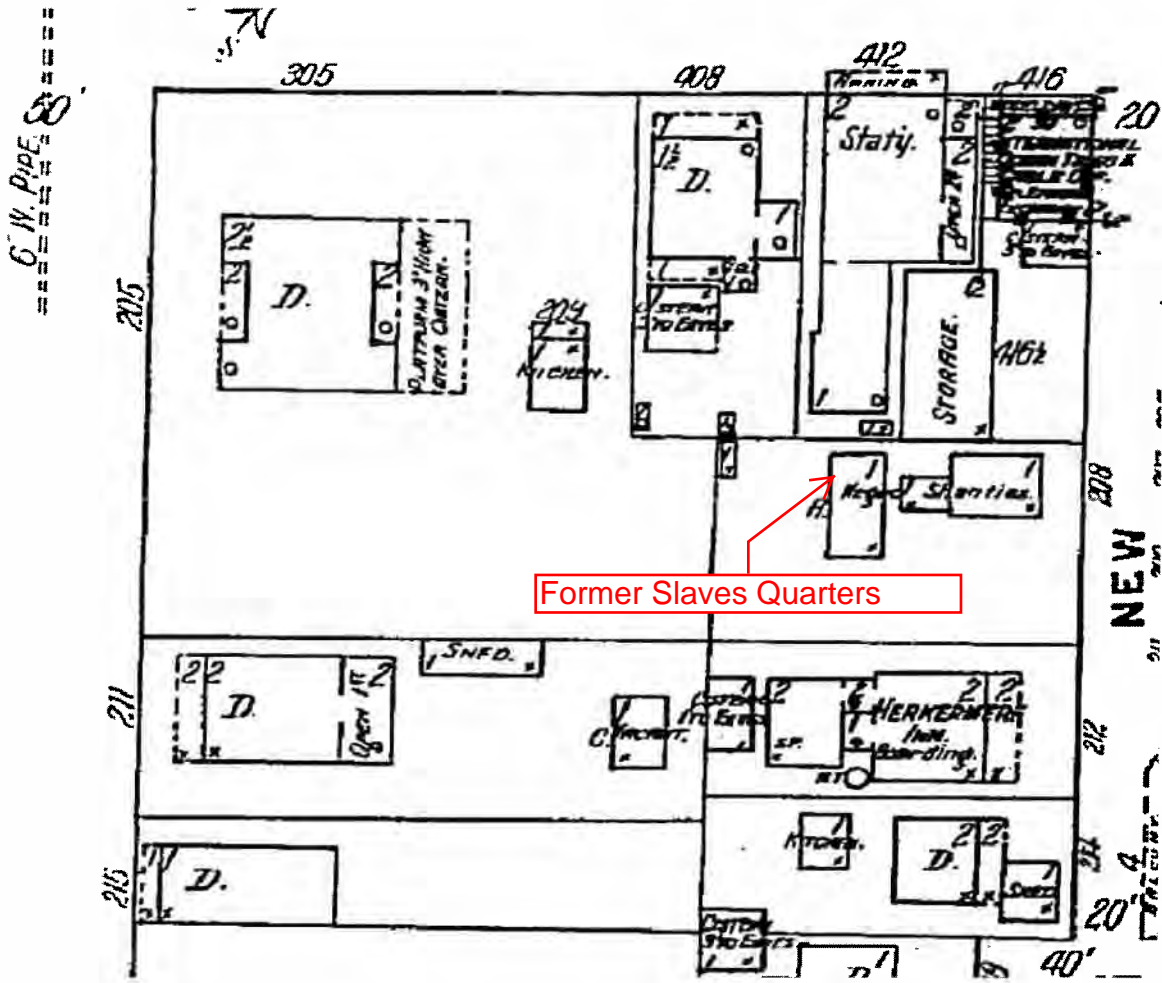




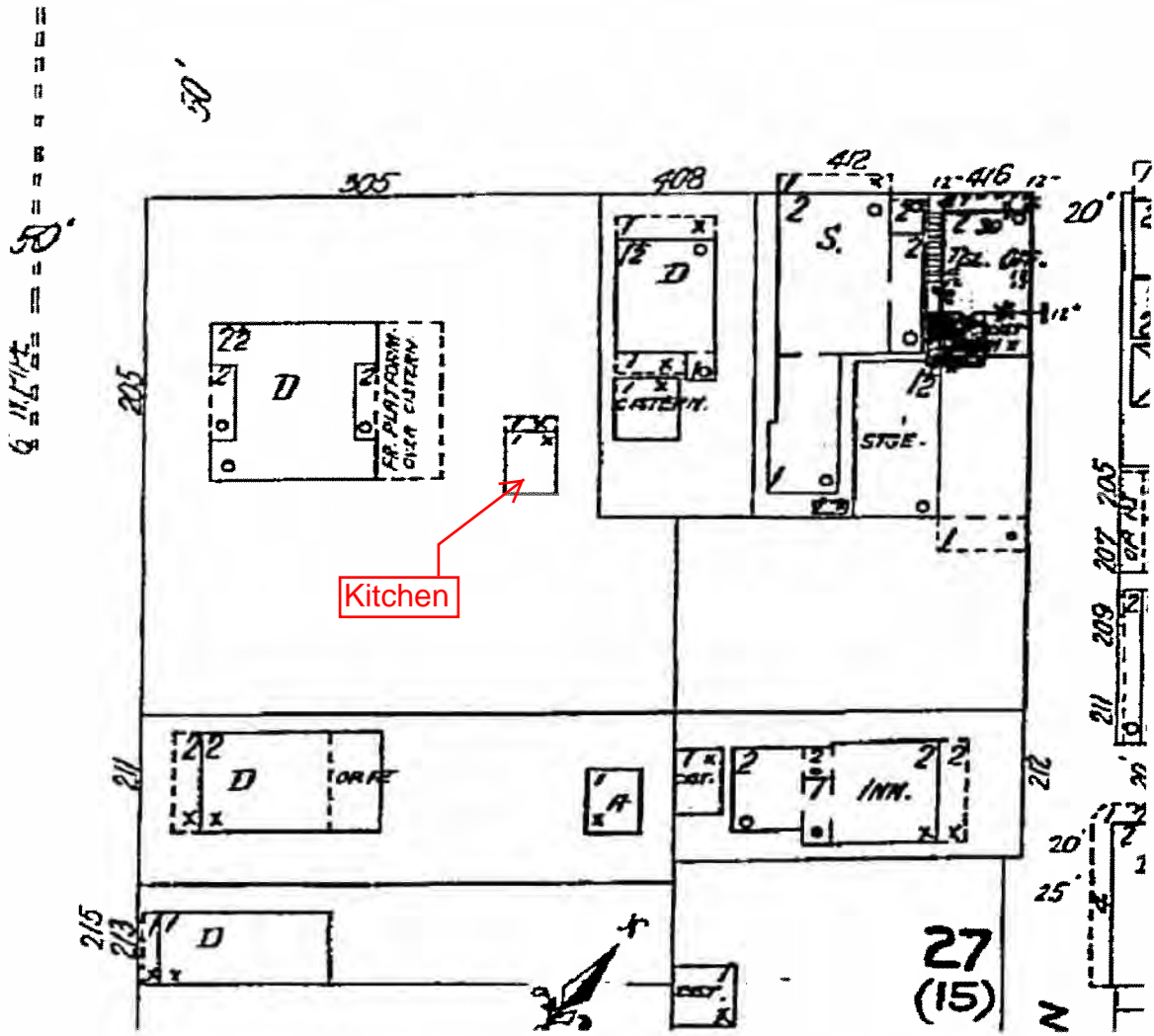
Former Slaves Quarters

#205 Whitehead Street Sanborn map copy 1899



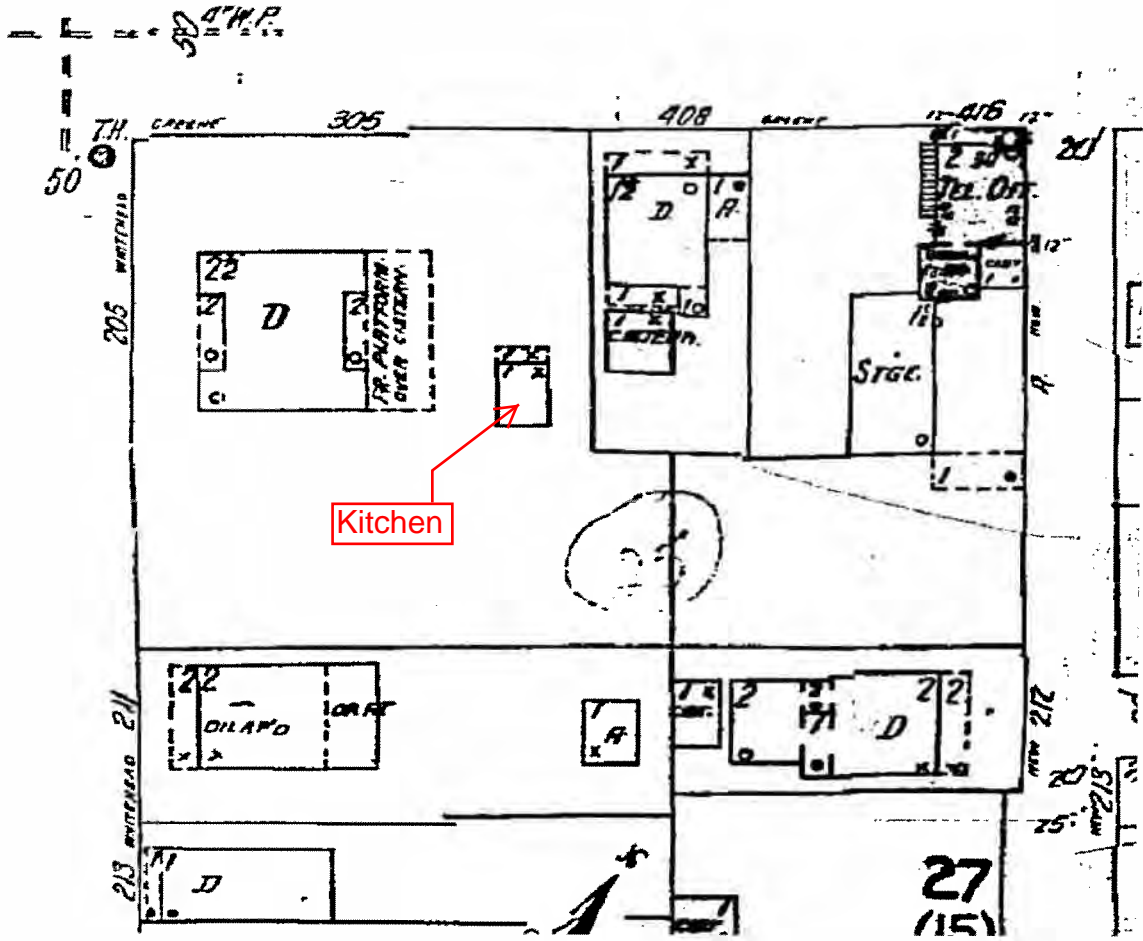


#205 Whitehead Street Sanborn map copy 1912

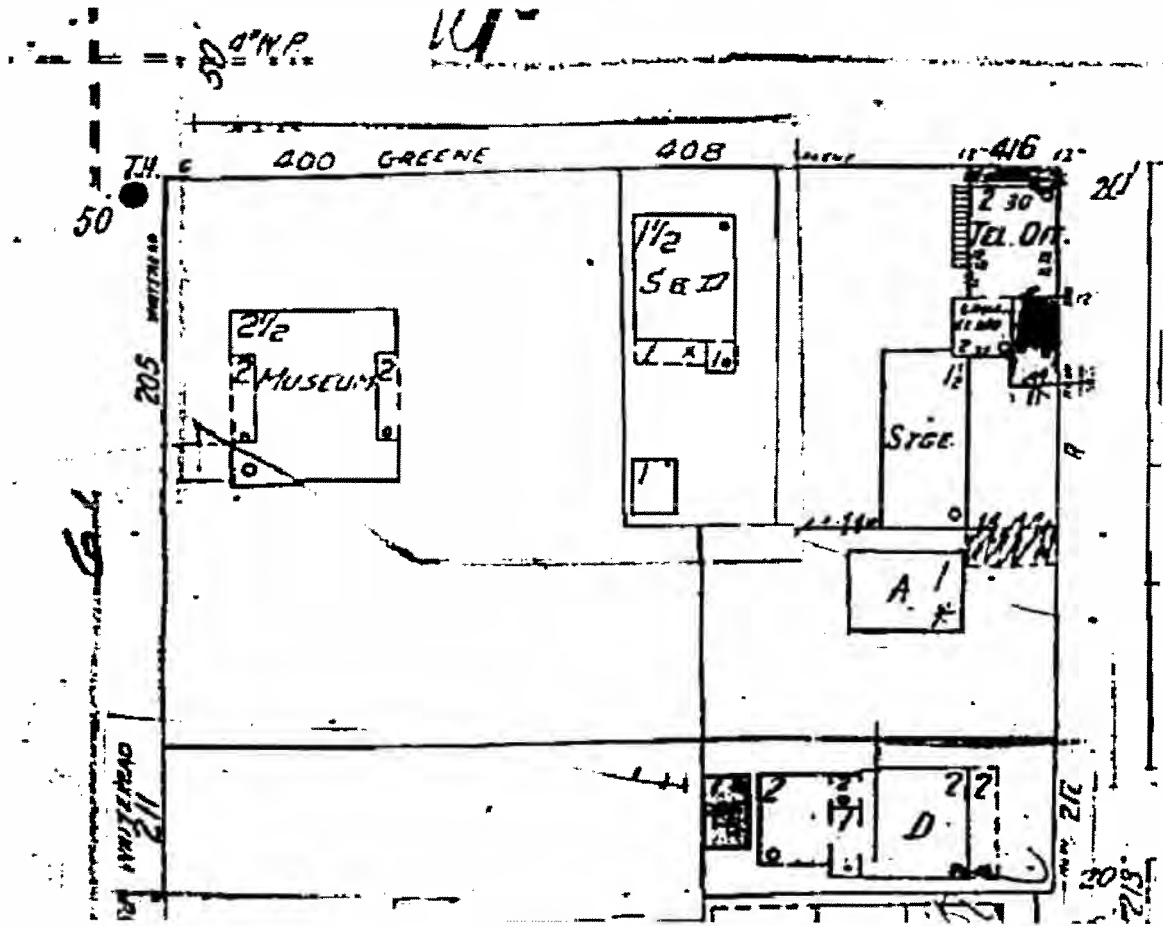


#205 Whitehead Street Sanborn map copy 1926





#205 Whitehead Street Sanborn map 1948



#205 Whitehead Street Sanborn map copy 1962



## **Project Photos**



The Heritage House Collection, donated by the Campbell, Poirier and Pound families; Audubon House at 205 Whitehead Street in the 1930s. From a collection of photographs taken or collected during the 1930s by the WPA workers in Key West. Monroe County Library.





Photo taken by Property Appraiser's office c1965; 205 Whitehead St.; built 1846; The Audubon House; Monroe County Library

























# **Correspondence**





Enid Torregrosa &lt;etorregr@keywestcity.com&gt;

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**KW Sanborn Maps**

11 messages

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**Enid Torregrosa <etorregr@keywestcity.com>****Wed, Jul 6, 2011 at 5:09 PM**

To: richard@rjha.net

Dear Richard:

Hi! It was very nice finally talking to you this afternoon. Enclosed please find copy of the Sanborn maps. As you notice these maps have been zoomed. I will appreciate if you can mark where the slaves quarters used to be. If you need less zoomed versions please let me know. If you can also submit some history or data regarding these two buildings will be very helpful.

Thank you for letting me know that the two photos that you provide depict the old kitchen. Please do not hesitate to contact with if you think I can be of any assistance.

Hope to meet you soon!

Ciao;

*Enid Torregrosa, MSHP*  
Historic Preservation Planner  
City of Key West  
3140 Flagler Avenue  
Key West, Florida 33040  
305.809.3973 Direct  
305.808.3978 Fax

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 **DOC196.PDF**  
239K

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**Richard Heisenbottle <richard@rjha.net>****Wed, Jul 6, 2011 at 5:10 PM**

To: Enid Torregrosa &lt;etorregr@keywestcity.com&gt;

Thanks Enid,

Richard J. Heisenbottle, FAIA

President

R.J. Heisenbottle Architects, PA

2199 Ponce de Leon Boulevard

Suite 400



Coral Gables, FL 33134

Tel. [305-446-7799](tel:305-446-7799) ext. 14

Fax [305-446-9275](tel:305-446-9275)

Cell [786-218-6722](tel:786-218-6722)

E-mail [richard@rjha.net](mailto:richard@rjha.net)

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**From:** Enid Torregrosa [<mailto:etorregr@keywestcity.com>]

**Sent:** Wednesday, July 06, 2011 5:10 PM

**To:** Richard Heisenbottle

**Subject:** KW Sanborn Maps

[Quoted text hidden]

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**Enid Torregrosa <[etorregr@keywestcity.com](mailto:etorregr@keywestcity.com)>**

**Thu, Jul 7, 2011 at 10:42 AM**

To: Richard Heisenbottle <[richard@rjha.net](mailto:richard@rjha.net)>

Dear Richard:

You are welcome. I have learn that there were some archaeological research on the Audubon House site probably ten years ago. Do you have copy of the reports? Does the archaeological findings show any remains of the structures?

Please send me any documentation that can help me and the Commissioners to understand the reconstruction of these two structures.

I appreciate all your help on this matter. I have until tomorrow noon to upload all the information in our system.

Hope you have a great day!

*Enid*

[Quoted text hidden]

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**Enid Torregrosa <[etorregr@keywestcity.com](mailto:etorregr@keywestcity.com)>**

**Thu, Jul 7, 2011 at 10:57 AM**

To: Haven Burkee <[blbender@bellsouth.net](mailto:blbender@bellsouth.net)>

Bert:

Here are the e-mails.

*Enid*

[Quoted text hidden]

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**Enid Torregrosa** <etorregr@keywestcity.com>  
To: Haven Burkee <blbender@bellsouth.net>

Thu, Jul 7, 2011 at 11:01 AM


*Enid Torregrosa*  
Historic Preservation Planner  
City of Key West  
3140 Flagler Avenue  
Key West, Florida 33040  
305.809.3973 Direct  
305.808.3978 Fax

----- Forwarded message -----

From: **Enid Torregrosa** <etorregr@keywestcity.com>

[Quoted text hidden]

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 **DOC196.PDF**  
239K

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**Richard Heisenbottle** <richard@rjha.net>

To: Enid Torregrosa <etorregr@keywestcity.com>

Cc: kdhechema@aol.com, Louis Wolfson III <louisw@pinnaclehousing.com>

Thu, Jul 7, 2011 at 11:17 AM

Hi Enid,

I trust that you received my earlier e-mail.

Regarding archaeological research, we have nothing in our files, but will check with Katia Daboub Hechema who is the Audubon House Curatorial Consultant and get back to you.

While I am in Key West on Tuesday, shall I meet with Cynthia Domenech of the Tree Commission/Landscape Department? Please let me know.

Thanks,

Richard J. Heisenbottle, FAIA

President

R.J. Heisenbottle Architects, PA

2199 Ponce de Leon Boulevard

Suite 400

Coral Gables, FL 33134

Tel. 305-446-7799 ext. 14

Fax 305-446-9275

Cell 786-218-6722

E-mail richard@rjha.net

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**From:** Enid Torregrosa [mailto:etorregr@keywestcity.com]

**Sent:** Thursday, July 07, 2011 10:43 AM

**To:** Richard Heisenbottle

**Subject:** Re: KW Sanborn Maps

[Quoted text hidden]

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**Richard Heisenbottle** <richard@rjha.net>

To: Enid Torregrosa <etorregr@keywestcity.com>

Cc: Louis Wolfson III <louisw@pinnaclehousing.com>, kdhechema@aol.com

**Thu, Jul 7, 2011 at 11:09 AM**

Good morning Enid,

Thank you for your e-mail containing the additional Sanborn Maps, they were most helpful.

To answer your specific questions, I have annotated the Sanborn Maps to illustrate the location of the former slaves quarters and kitchen.

The attached PDF Census indicates that Mr. Geiger had five adult slaves in 1850 and they had 5 children. In 1860 it indicates that he had two adult slaves. We do not have the exact dates that the slaves quarters were constructed, but they appear on the 1889 Sanborn Map and are later labeled



on the 1899 Sanborn Map as "Old Negro Shanty." There appears to have been two of them.

The kitchen first appears on the Sanborn Map in 1912, marking its construction sometime between 1899 and 1912. It continues to appear on the Sanborn Map in 1948, and is absent in 1962, indicating that somewhere during that timeframe it was removed. I have attached a photo of the original kitchen with Mr. Wolfson in the photograph. This photo was probably taken in 1950's. I have also attached yet another photo that was found during our research of a Key West Kitchen from the same period. The two photos were used as our basis for reconstruction. The design of the slaves quarters was based upon historical documentation of similar structures built in Florida during the mid 19<sup>th</sup> century. Similarly, the size and scale of both proposed kitchen and slaves quarters were approximated from the Sanborn Maps as was the location of the kitchen. The slaves quarters were originally located outside the present property boundary, therefore for interpretive purposes we have located the reconstruction as close to the original location as possible on the current property.

Please contact me if you have any further questions.

Kindest regards,

Richard J. Heisenbottle, FAIA

President

R.J. Heisenbottle Architects, PA

2199 Ponce de Leon Boulevard

Suite 400

Coral Gables, FL 33134

Tel. 305-446-7799 ext. 14

Fax 305-446-9275

Cell 786-218-6722

E-mail [richard@rjha.net](mailto:richard@rjha.net)



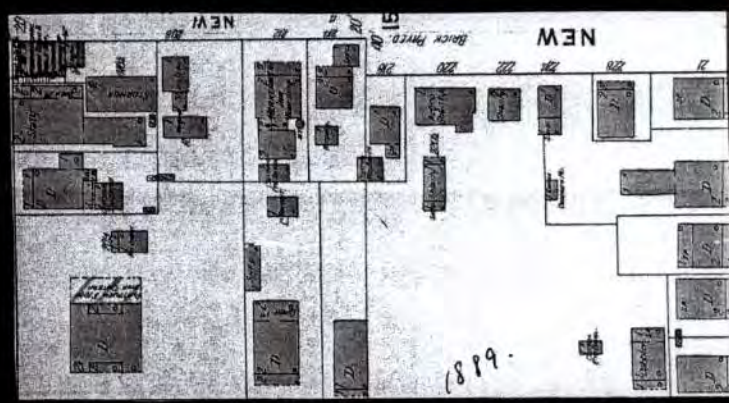
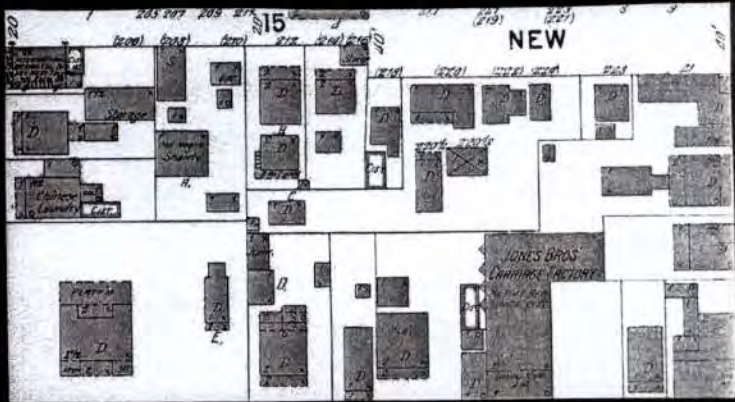
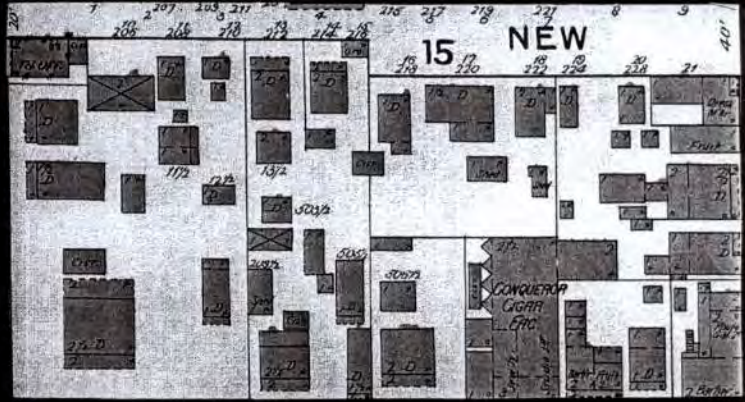
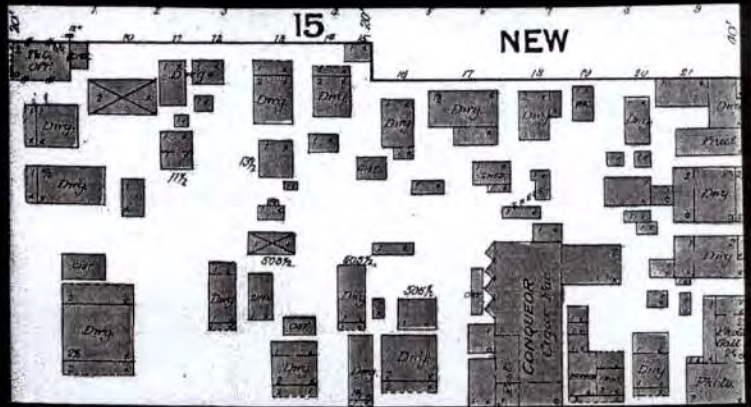






1976 photo of Ken West kitchen











SCHEDULE I. Free Inhabitants in Dist No 1 in the County of Alamogordo State of Florida enumerated by me, on the 27<sup>th</sup> day of July 1850. W. C. Mabrey Ass<sup>t</sup> Marshal 145

1	2	3	DESCRIPTION			7	8	9	10 11 12			13
			Age	Sex	Color				M	S	V	
The Name of every Person whose usual place of abode on the first day of June, 1850, was in this family.		Profession, Occupation, or Trade of each Male Person over 15 years of age.		Place or Birth, Naming the State, Territory, or Country.		Males within the year attended School within the year.			Whether deaf and dumb, blind, insane, idiotic, pauper, or convict.			
1	1	Henry Giger	44	M		Planter	1500	Florida				
2		Robert Allen	62	M	B	Sabree		Maryland	1			
3	2	Salvador de Cruz	40	M		Sabree		Florida				
4	3	Wm. Smith	50	M		Mariner		England				
5		James Kelly	41	M				New York				
6	4	Antoine Normandy	42	M				France				
7		W. Williams	20	M				Kentucky				
8		Charles Pelt	14	M				France				
9	5	John Jackson	45	M	B	Sabree		Florida				
10	6	Philip Hartine	46	M		Planter		Germany				
11		Mary S.	53	F				Ohio				
12		Mary P.	14	M				Pa				
13		Walter	11	M				Louisiana				
14		Sanctus	5	M				Florida				
15		Mary H.	5	F								
16		Benjamin	1	F								
17	7	J. Chapman	60	M		Planter	100	Maryland				
18		James Anderson	48	M		Mariner		Germany				
19		Robert Johnson	23	M		Mariner		Florida				
20	8	John Roberts	46	M		Planter	200	Bahamas				
21		Isaac	25	F								
22		John	15	M								
23		Alexander	16	M								
24		Fredrick	14	M								
25		James	12	M								
26		Martha	9	F								
27		Elizabeth	6	F				Fl				
28		Mary	5	F								
29		Joseph	1	M								
30	9	Chas. Mathys	71	M		Mariner		Georgia				
31		Nancy	45	M		Planter	200	Bahamas				
32		Martha	16	F				Bahamas				
33												
34												
35												
36												
37												
38												
39												
40												
41												
42												

white males 22  
 " females 5      30  
 total males 27  
 " females none      2  
 total males 24  
 " females 5      32  
 Travelling Negroes 9  
 Total Population 185  
 W. C. Mabrey











SCHEDULE 2—Slave Inhabitants in the City of Tallahassee in the County of Monroe State of Florida, enumerated by me, on the 10<sup>th</sup> day of August, 1860. James S. Moore U.S. Marshal.

NAMES OF SLAVE OWNERS.	Number of Slaves.	DESCRIPTION.			Fugitives from Slave States.	Number unaccounted for.	Deaf & dumb, blind, insane, or idiotic.	No. of Slave Inhabitants.	NAMES OF SLAVE OWNERS.	Number of Slaves.	DESCRIPTION.			Fugitives from Slave States.	Number unaccounted for.	Deaf & dumb, blind, insane, or idiotic.	No. of Slave Inhabitants.
		Age.	Sex.	Color.							Age.	Sex.	Color.				
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	
1 <u>Henry Giger</u>	1	61	M	B				2									
2 <u>do</u>	1	44	F	B													
3																	
4																	
5																	
6																	
7																	
8																	
9																	
10																	
11	<u>There are no slaves in the Parish of St. Marys with County of Monroe, State of Florida, enumerated by me on the 10<sup>th</sup> day of August 1860.</u>																
12																	
13																	
14																	
15																	
16	<u>James Cross</u>	1	11	M	B			3									
17	<u>do</u>	1	21	M	B												
18	<u>do</u>	1	24	M	B												
19	<u>do</u>	1	24	M	B												
20	<u>do</u>	1	24	M	B												
21	<u>do</u>	1	24	M	B												
22	<u>do</u>	1	24	M	B												
23	<u>do</u>	1	19	M	B												
24	<u>do</u>	1	16	M	B												
25	<u>do</u>	1	24	F	B												
26	<u>do</u>	1	17	F	B												
27	<u>do</u>	1	16	F	B												
28	<u>Pete Suffer</u>	1	22	F	B			1									
29																	
30																	
31																	
32																	
33																	
34																	
35																	
36																	
37																	
38																	
39																	
40																	

No. of owners, \_\_\_\_\_ No. of male slaves, \_\_\_\_\_ No. fugitives, \_\_\_\_\_ No. deaf and dumb, \_\_\_\_\_ No. insane, \_\_\_\_\_  
 No. of houses, \_\_\_\_\_ Total slaves, \_\_\_\_\_ No. unaccounted for, \_\_\_\_\_ No. blind, \_\_\_\_\_ No. idiotic, \_\_\_\_\_



---

**From:** Enid Torregrosa [mailto:etorregr@keywestcity.com]  
**Sent:** Wednesday, July 06, 2011 5:10 PM  
**To:** Richard Heisenbottle  
**Subject:** KW Sanborn Maps

Dear Richard:


[Quoted text hidden]

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**4 attachments**



**Audubon House Kitchen.jpg**  
540K

-  **Census Records 1850 & 1860.PDF**  
4340K
-  **19th Century Key West Kitchen.PDF**  
817K
-  **Sanborn Maps.pdf**  
253K

---

**Kdhechema@aol.com <Kdhechema@aol.com>**  
To: richard@rjha.net, etorregr@keywestcity.com  
Cc: louisw@pinnaclehousing.com

**Thu, Jul 7, 2011 at 11:52 AM**

Dear All,

I have attached for you the 1860 slave schedules which will be helpful as it lists that Mr. John Geiger had 2 slave quarters on his property. Please note that the census records that lists two slaves was that of his brother Henry Geiger. John Geiger is recorded as having slaves in Key West as early as 1832 and as late as at least 1860. He was one of the largest slave owners on the island.

The 1850 slave schedule that lists five adults and 5 children as slaves, do not infer parentage of the children. In fact, we have records that indicate that children were purchased by Mr. Geiger as individuals apart from their parents. Please find the 1860 census that lists his family, as well attached below.

Do not hesitate to call me with any questions. Should you require more census records or copies of our slave deeds, I would be happy to supply those to you.

The comparable kitchen photo was given to us by the curator of the Heritage House and is known to have been taken of their kitchen in the 19th century. Its comparison to the Audubon Kitchen (c,1957), depicting Mr. Wolfson is striking in its similarities and has been useful.

Regards,



Katia Hechema  
Consultant to The Audubon House  
[\(305\) 342-3896](tel:3053423896)

[Quoted text hidden]

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**Kdhechema@aol.com <Kdhechema@aol.com>**

**Thu, Jul 7, 2011 at 12:00 PM**

To: richard@rjha.net, etorregr@keywestcity.com

Cc: louisw@pinnaclehousing.com

Dear Ms. Torregrosa,

I will contact the Professor who conducted the field schools on the property to request a copy of their final report. I am not sure that I will be able to get a report by tomorrow. I will email her now and forward your questions.

The slave quarters were originally located outside of our current property boundaries, and so were outside the scope of their digs. I believe however that they might have examined very briefly, the area where the kitchen once stood. The property was first scanned by GPR and 'fruitful' areas were identified for excavation.

Regards,

Katia Hechema

In a message dated 7/7/2011 11:18:48 A.M. Eastern Daylight Time, [richard@rjha.net](mailto:richard@rjha.net) writes:

Hi Enid,

I trust that you received my earlier e-mail.

Regarding archaeological research, we have nothing in our files, but will check with Katia Daboub Hechema who is the Audubon House Curatorial Consultant and get back to you.

While I am in Key West on Tuesday, shall I meet with Cynthia Domenech of the Tree Commission/Landscape Department? Please let me know.

Thanks,

Richard J. Heisenbottle, FAIA

President

R.J. Heisenbottle Architects, PA

2199 Ponce de Leon Boulevard

Suite 400

Coral Gables, FL 33134

Tel. 305-446-7799 ext. 14

Fax 305-446-9275

Cell 786-218-6722

E-mail richard@rjha.net

---

**From:** Enid Torregrosa [mailto:[etorregr@keywestcity.com](mailto:etorregr@keywestcity.com)]

**Sent:** Thursday, July 07, 2011 10:43 AM

**To:** Richard Heisenbottle

**Subject:** Re: KW Sanborn Maps

Dear Richard:

You are welcome. I have learn that there were some archaeological research on the Audubon House site probably ten years ago. Do you have copy of the reports? Does the archaeological findings show any remains of the structures?

Please send me any documentation that can help me and the Commissioners to understand the reconstruction of these two structures.

I appreciate all your help on this matter. I have until tomorrow noon to upload all the information in our system.

Hope you have a great day!

*Enid*





Enid Torregrosa <etorregr@keywestcity.com>

---

## Fwd: The Audubon House

---

Richard Heisenbottle <richard@rjha.net>

Thu, Jul 7, 2011 at 3:13 PM

To: Enid Torregrosa <etorregr@keywestcity.com>

Cc: kdhechema@aol.com, Ivan Rodriguez <IRodriguez@rjha.net>, Louis Wolfson III <louisw@pinnaclehousing.com>

Enid,

Thank you for your time in discussing this matter with me.

As we agreed in our telephone conversation, we will strike the word "reconstruction" from our request and term the project an interpretive display of the original kitchen and slaves quarters. We will also reinforce this in the signage and display information that we post at the site. In this manner we will be avoiding the need to comply with the Secretary of the Interiors Standard that applies to reconstruction.

I will plan on making a short PowerPoint presentation.

Thanks again for your assistance.

Richard J. Heisenbottle, FAIA

President

R.J. Heisenbottle Architects, PA

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Suite 400

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Fax [305-446-9275](tel:305-446-9275)

Cell [786-218-6722](tel:786-218-6722)

E-mail [richard@rjha.net](mailto:richard@rjha.net)

---

**From:** Enid Torregrosa [<mailto:etorregr@keywestcity.com>]  
**Sent:** Thursday, July 07, 2011 2:15 PM  
**To:** Richard Heisenbottle  
**Cc:** [kdhechema@aol.com](mailto:kdhechema@aol.com); Ivan Rodriguez; Louis Wolfson III

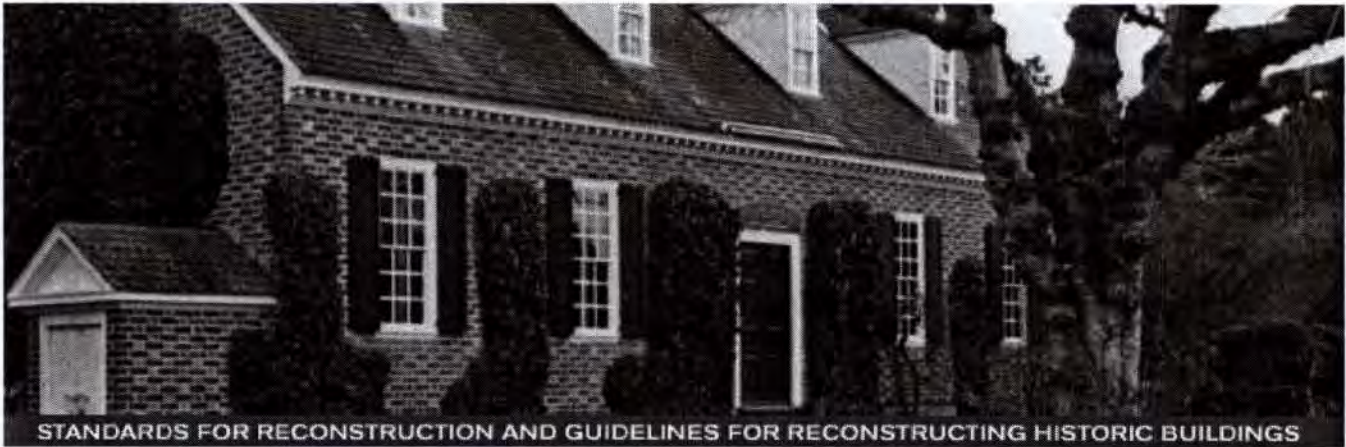
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## **Miscellaneous Information**



# reconstructing

**Reconstruction** is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

① **STANDARDS**

② **GUIDELINES**

[HISTORICAL OVERVIEW](#) - [PRESERVING](#) - [REHABILITATING](#) - [RESTORING](#) - **[reconstructing](#)**

[main](#) - [credits](#) - [email](#)





# standards for reconstruction



## **-GUIDELINES-**

### The Approach

### Research + Documentation

### Building Exterior

### Building Interior

### Site

### Setting

### **Special Requirements**

#### Energy Efficiency

#### Accessibility

#### Health + Safety

## **THE STANDARDS**

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.

2. Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.

3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.

4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.

5. A reconstruction will be clearly identified as a contemporary re-creation.

6. Designs that were never executed historically will not be constructed.

[Guidelines for Reconstruction-->](#)

[HISTORICAL OVERVIEW](#) - [PRESERVING](#) - [REHABILITATING](#) - [RESTORING](#)- **reconstructing**

[main](#) - [credits](#) - [email](#)





## RECONSTRUCTION the approach



*When a contemporary depiction is required to understand and interpret a property's historic value (including the re-creation of missing components in a historic district or site); when no other property with the same associative value has survived; and when sufficient historical documentation exists to ensure an accurate reproduction, Reconstruction may be considered as a treatment. Prior to undertaking work, a documentation plan for Reconstruction should be developed.*

### Choosing Reconstruction as a Treatment

Whereas the treatment Restoration provides guidance on restoring--or re-creating--building features, the **Standards for Reconstruction and Guidelines for Reconstructing Historic Buildings** address those aspects of treatment necessary to re-create an entire non-surviving building with new material. Much like restoration, the goal is to make the building appear as it did at a particular--and most significant--time in its history. The difference is, in **Reconstruction**, there is far less extant historic material prior to treatment and, in some cases, nothing visible. Because of the potential for historical error in the absence of sound physical evidence, this treatment can be justified only rarely and, thus, is the least frequently undertaken. Documentation requirements prior to and following work are very stringent. Measures should be taken to preserve extant historic surface and subsurface material. Finally, the reconstructed building must be clearly identified as a contemporary re-creation.

#### -GUIDELINES-

##### The Approach

##### Research + Documentation

##### Building Exterior

##### Building Interior

##### Site

##### Setting

##### **Special Requirements**

Energy Efficiency

Accessibility

Health + Safety

#### THE STANDARDS



*In the 1930s reconstruction of the 18th century Governor's Palace at Colonial Williamsburg, Virginia, the earliest archeological remains of the brick foundation were carefully preserved in situ, and serve as a base for the reconstructed walls. Photo: The Colonial Williamsburg Foundation.*

top

### Research and Document Historical Significance



Guidance for the treatment Reconstruction begins with **researching and documenting** the building's historical significance to ascertain that its re-creation is essential to the public understanding of the property. Often, another extant historic building on the site or in a setting can adequately explain the property, together with other interpretive aids. Justifying a reconstruction requires detailed physical and documentary evidence to minimize or eliminate conjecture and ensure that the reconstruction is as accurate as possible. Only one period of significance is generally identified; a building, as it evolved, is rarely re-created. During this important fact-finding stage, if research does not provide adequate documentation for an accurate reconstruction, other interpretive methods should be considered, such as an explanatory marker.

---

top

## Investigate Archeological Resources

**Investigating** archeological resources is the next area of guidance in the treatment **Reconstruction**. The goal of physical research is to identify features of the building and site which are essential to an accurate re-creation and must be reconstructed, while leaving those archeological resources that are not essential, undisturbed. Information that is not relevant to the project should be preserved in place for future research. The archeological findings, together with archival documentation, are then used to replicate the plan of the building, together with the relationship and size of rooms, corridors, and other spaces, and spatial relationships.

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top

## Identify, Protect and Preserve Extant Historic Features

Closely aligned with archeological research, recommendations are given for **identifying, protecting, and preserving** extant features of the historic building. It is never appropriate to base a **Reconstruction** upon conjectural designs or the availability of different features from other buildings. Thus, any remaining historic materials and features, such as remnants of a foundation or chimney and site features such as a walkway or path, should be retained, when practicable, and incorporated into the reconstruction. The historic as well as new material should be carefully documented to guide future research and treatment.

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top

## Reconstruct Non-Surviving Building and Site

After the research and documentation phases, guidance is given for Reconstruction work itself. Exterior and interior features are addressed in general, always emphasizing the need for an *accurate depiction*, i.e., careful duplication of the appearance of historic interior paints, and finishes such as stencilling, marbling, and graining. In the absence of extant historic materials, the objective in reconstruction is to re-create the appearance of the historic building for interpretive purposes. Thus, while the use of traditional materials and finishes is always preferred, in some instances, substitute materials may be used if they are able to convey the same visual appearance. Where non-visible features of the building are concerned--such as interior structural systems or mechanical systems--it is expected that contemporary materials and technology will be employed. Re-creating the building site should be an integral aspect of project work. The initial archeological inventory of subsurface and aboveground remains is used as documentation to reconstruct landscape features such as walks and roads, fences, benches, and fountains.

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top

## Energy Efficiency/Accessibility/Health and Safety Code Considerations

Code requirements must also be met in **Reconstruction** projects. For code purposes, a reconstructed building may be considered as essentially new construction. Guidance for

these sections is thus abbreviated, and focuses on achieving design solutions that do not destroy extant historic features and materials or obscure reconstructed features.

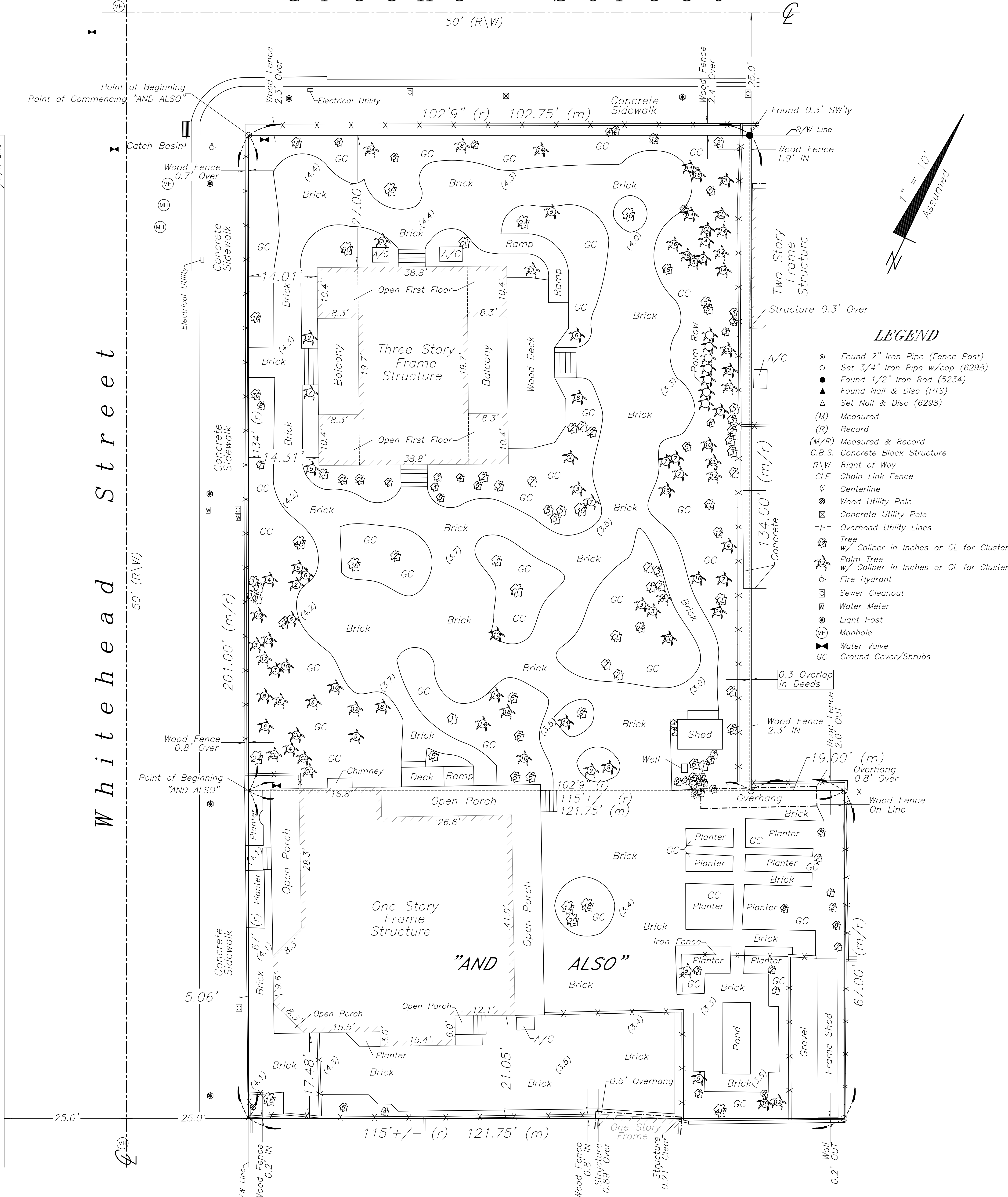
**[HISTORICAL OVERVIEW](#) - [PRESERVING](#) - [REHABILITATING](#) - [RESTORING](#)- **[reconstructing](#)****

[main](#) - [credits](#) - [email](#)



# Survey

# Greene Street



**LEGEND**

- Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (5234)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊗ Concrete Utility Pole
- P- Overhead Utility Lines
- 🌳 Tree w/ Caliper in Inches or CL for Cluster
- 🌴 Palm Tree w/ Caliper in Inches or CL for Cluster
- ⊕ Fire Hydrant
- ⊕ Sewer Cleanout
- ⊕ Water Meter
- ⊕ Light Post
- ⊕ Manhole
- ⊕ Water Valve
- GC Ground Cover/Shrubs

- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent.
  2. Underground foundations and utilities were not located.
  3. All angles are 90° (Measured & Record) unless otherwise noted.
  4. Street address: 205 & 213 Whitehead Street, Key West, FL.
  5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
  6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
  7. North Arrow is assumed and based on the legal description.
  8. Date of field work: July 19, 2010.
  9. Ownership of fences is undeterminable, unless otherwise noted.
  10. Reference Bench Mark: "872 4580 TIDAL 26"
  11. Elevations are shown in parenthesis and refer to Mean Sea Level N.G.V.D. 1929 Datum.

**BOUNDARY SURVEY OF:** On the Island of Key West and known as Part of Lot Three (3), Square Fifteen (15) Commencing at the corner of Whitehead and Greene Streets and running in a Southeasterly direction along the Northeast side of Whitehead Street One Hundred and Thirty-four feet (134); thence at right angles in a Northeasterly direction 102 feet and 9 inches; thence at right angles in a Northwesterly direction 134 feet to Greene Street; thence at right angles in a Southwesterly direction along Greene Street, 102 feet and 9 inches to the place of beginning.

**AND ALSO:**

On the Island of Key West and known on William A. Whitehead's Map of said Island, delineated in February, A.D. 1829, as a Part of Lot 3, in Square 15. COMMENCING at a point on Whitehead Street 134 feet from the corner of Greene and Whitehead Streets and running thence along Whitehead Street in a Southeasterly direction 67 feet; thence at right angles in a Northeasterly direction 115 feet, more or less; thence at right angles in a Northwesterly direction 67 feet; thence at right angles in a Southwesterly direction 115 feet, more or less, out to the Point of Beginning on Whitehead Street.

**BOUNDARY SURVEY FOR:** Audubon House;

J. LYNN O'FLYNN, INC.  
 J. Lynn O'Flynn, PSM  
 Florida Reg. #6298  
 August 31, 2010

THIS SURVEY  
IS NOT  
ASSIGNABLE

**J. LYNN O'FLYNN, Inc.**  
 Professional Surveyor & Mapper  
 PSM #6298  
 3430 Duck Ave., Key West, FL 33040  
 (305) 296-7422 FAX (305) 296-2244

**BOUNDARY SURVEY OF:**  
 Part of Lot 3, Square 15,  
 Island of Key West

DRAWN BY:	REVISIONS:	DATE:	SHEET: <b>1</b>
BGO	1.		
CHECKED BY:	2.		
JLO	3.		
DATE:	4.		
8-31-10	5.		
	6.		
	7.		
			OF: <b>1</b>



# **Site Plans**



RENDERING OF SLAVE QUARTERS - INTERIOR

AUDUBON HOUSE AND TROPICAL GARDENS  
SLAVE QUARTERS RECONSTRUCTION

205 WHITEHEAD STREET, KEY WEST, FLORIDA

JANUARY 14, 2011

**RJ** HEISENBOTTLE  
ARCHITECTS

2199 PONCE DE LEON BLVD., SUITE 400  
CORAL GABLES, FL 33134 TELEPHONE:  
305/446-7799 FAX: 305/446-9275 FLORIDA  
REGISTRATION NUMBER: AR 0010865





RENDERING OF SLAVE QUARTERS - EXTERIOR

AUDUBON HOUSE AND TROPICAL GARDENS  
SLAVE QUARTERS RECONSTRUCTION

205 WHITEHEAD STREET, KEY WEST, FLORIDA

JANUARY 14, 2011

**RJ** HEISENBOTTLE  
ARCHITECTS

2199 PONCE DE LEON BLVD., SUITE 400  
CORAL GABLES, FL 33134 TELEPHONE:  
305/446-7799 FAX: 305/446-9275 FLORIDA  
REGISTRATION NUMBER: AR 0010865





RENDERING OF HISTORIC KITCHEN

## AUDUBON HOUSE AND TROPICAL GARDENS HISTORIC KITCHEN RECONSTRUCTION

205 WHITEHEAD STREET, KEY WEST, FLORIDA

JANUARY 14, 2011

**RJ** HEISENBOTTLE  
ARCHITECTS

2199 PONCE DE LEON BLVD., SUITE 400  
CORAL GABLES, FL 33134 TELEPHONE:  
305/446-7799 FAX: 305/446-9275 FLORIDA  
REGISTRATION NUMBER: AR 0010865



# AUDUBON HOUSE AND TROPICAL GARDENS

205 WHITEHEAD STREET, KEY WEST, FLORIDA

## HISTORIC KITCHEN AND SLAVE QUARTERS DISPLAY BUILDINGS

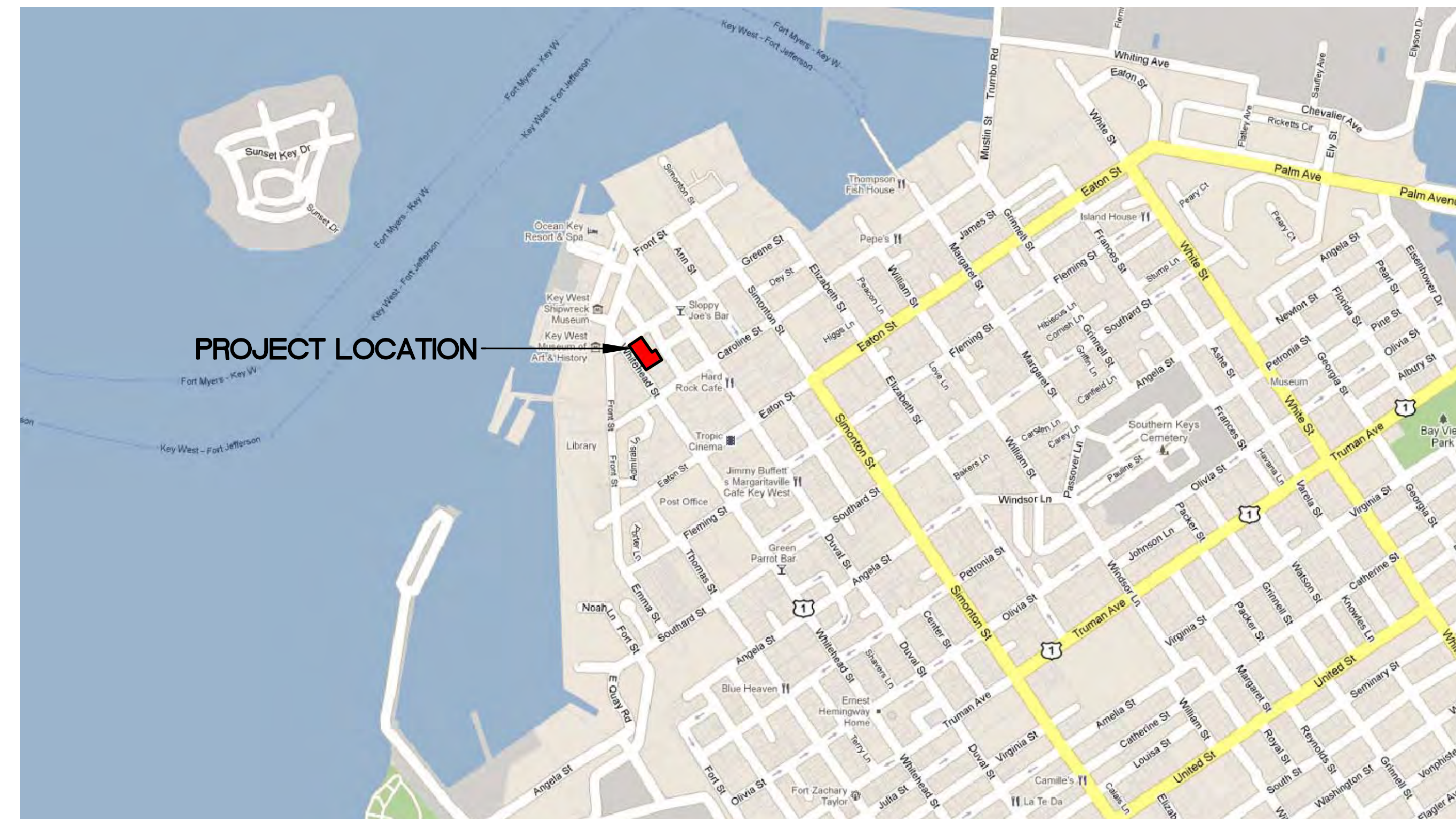
### PROJECT TEAM

**RJ HEISENBOTTLE**  
ARCHITECTS

2199 PONCE DE LEON BLVD, SUITE 400  
CORAL GABLES, FL 33134  
TELEPHONE: 305/446-7799 FAX: 305/446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

### STRUCTURAL ENGINEER

**Douglas Wood and Associates, Inc.**  
2100 PONCE DE LEON BOULEVARD, SUITE 1020  
CORAL GABLES, FL 33134  
TELEPHONE: 305/461-3450 FAX: 305/461-3650  
FLORIDA REGISTRATION NUMBER: EB 6353



LOCATION MAP  
N.T.S.

### INDEX OF DRAWINGS

#### GENERAL

C-1 COVER SHEET  
SURVEY

#### ARCHITECTURAL

A1.00 SITE PLAN  
A1.01 KITCHEN PLANS AND ELEVATIONS  
A1.02 SLAVE QUARTERS PLANS AND ELEVATIONS  
A1.03 TYPICAL DETAILS

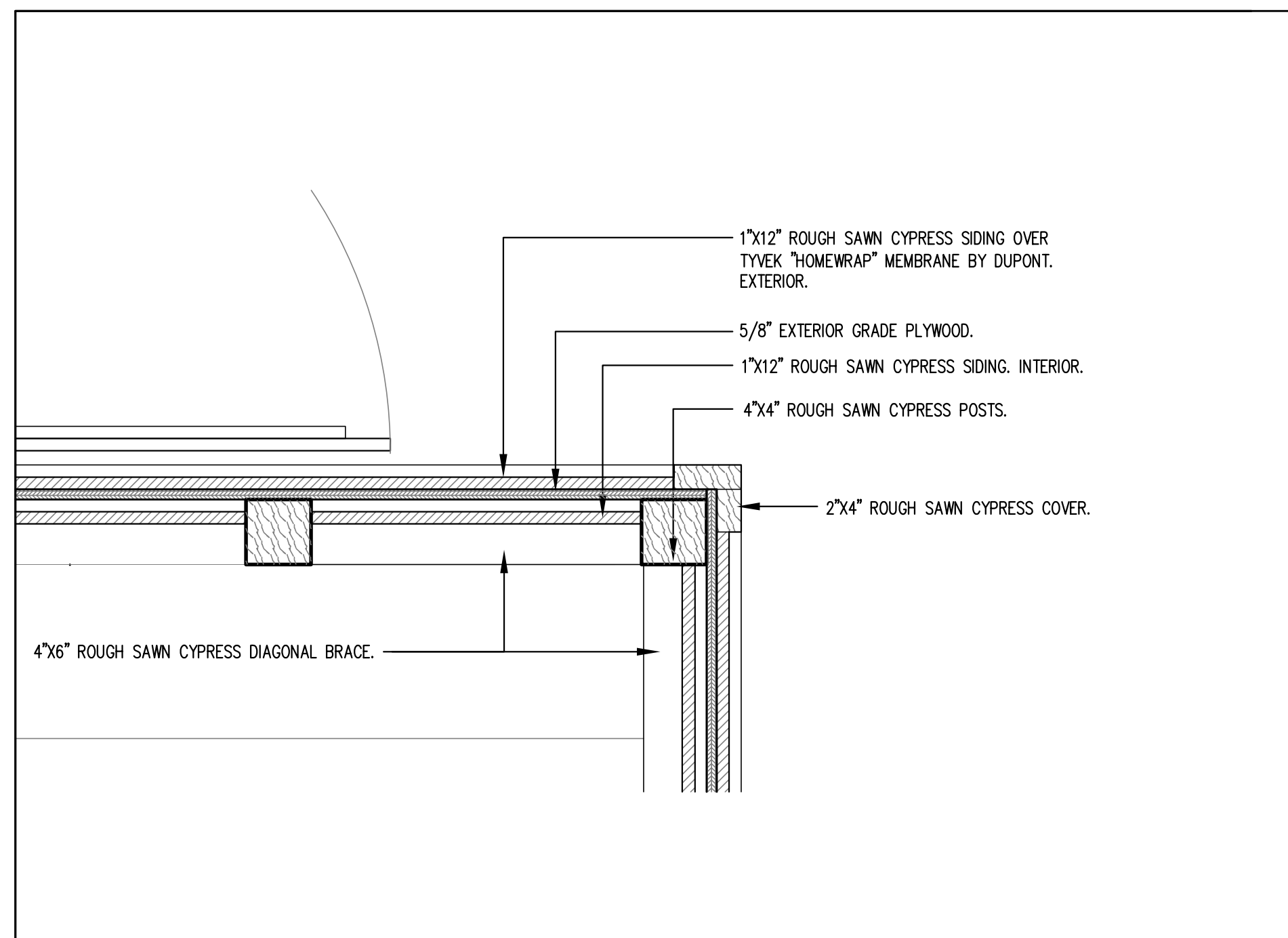
#### STRUCTURAL

S1.1 GENERAL STRUCTURAL NOTES, DRAWING  
INDEX AND LOCATION MAP  
S1.2 SITE PLAN, ABBREVIATION LEGEND AND  
SCHEDULES  
S2.1 SLAVE QUARTERS FOUNDATION AND FLOOR  
FRAMING PLAN, ROOF FRAMING PLAN,  
SECTIONS AND DETAILS  
S2.2 KITCHEN FOUNDATION AND FLOOR FRAMING  
PLAN, ROOF FRAMING PLAN, SECTIONS AND  
DETAILS  
S3.1 SECTIONS AND DETAILS  
S3.2 ECTIONS AND DETAILS

100% CONSTRUCTION DOCUMENTS SET

RJHA PROJECT # 10-3339  
JUNE 20, 2011

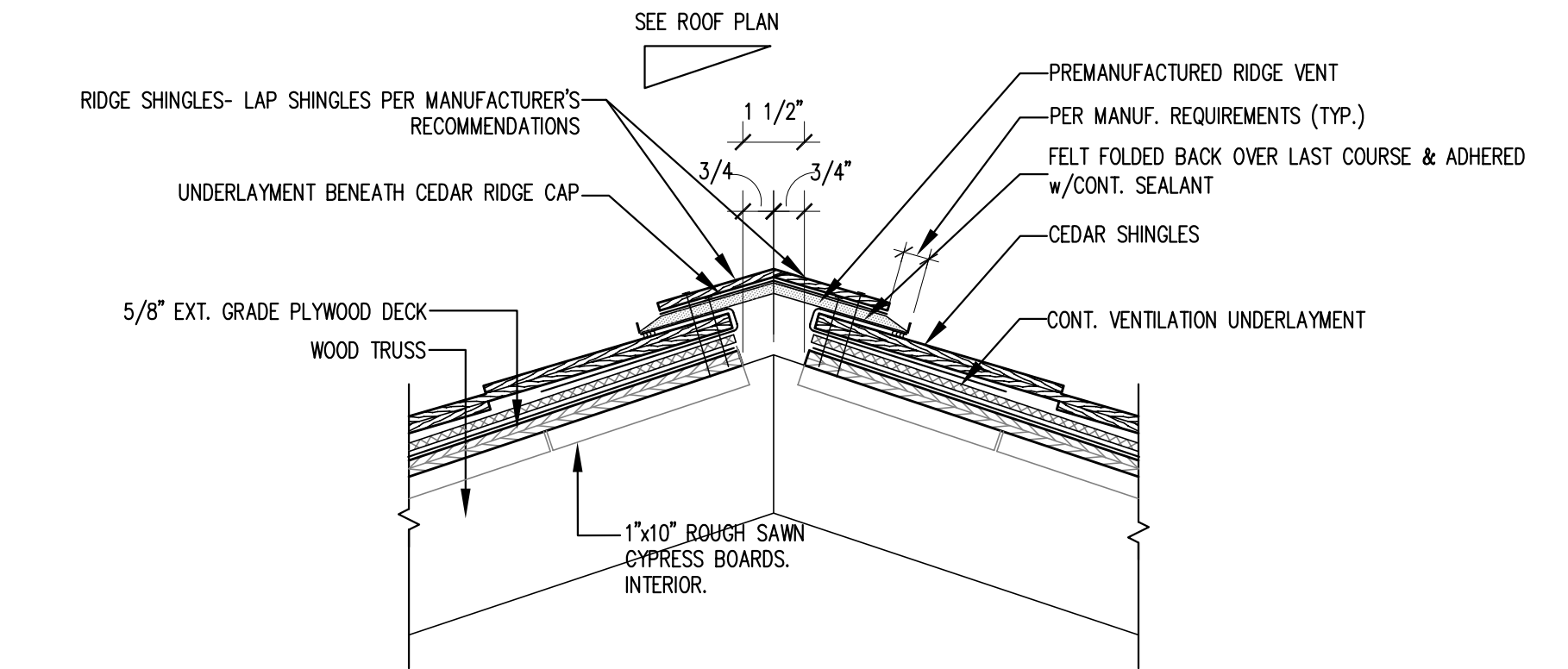




**1** TYPICAL CORNER DETAIL

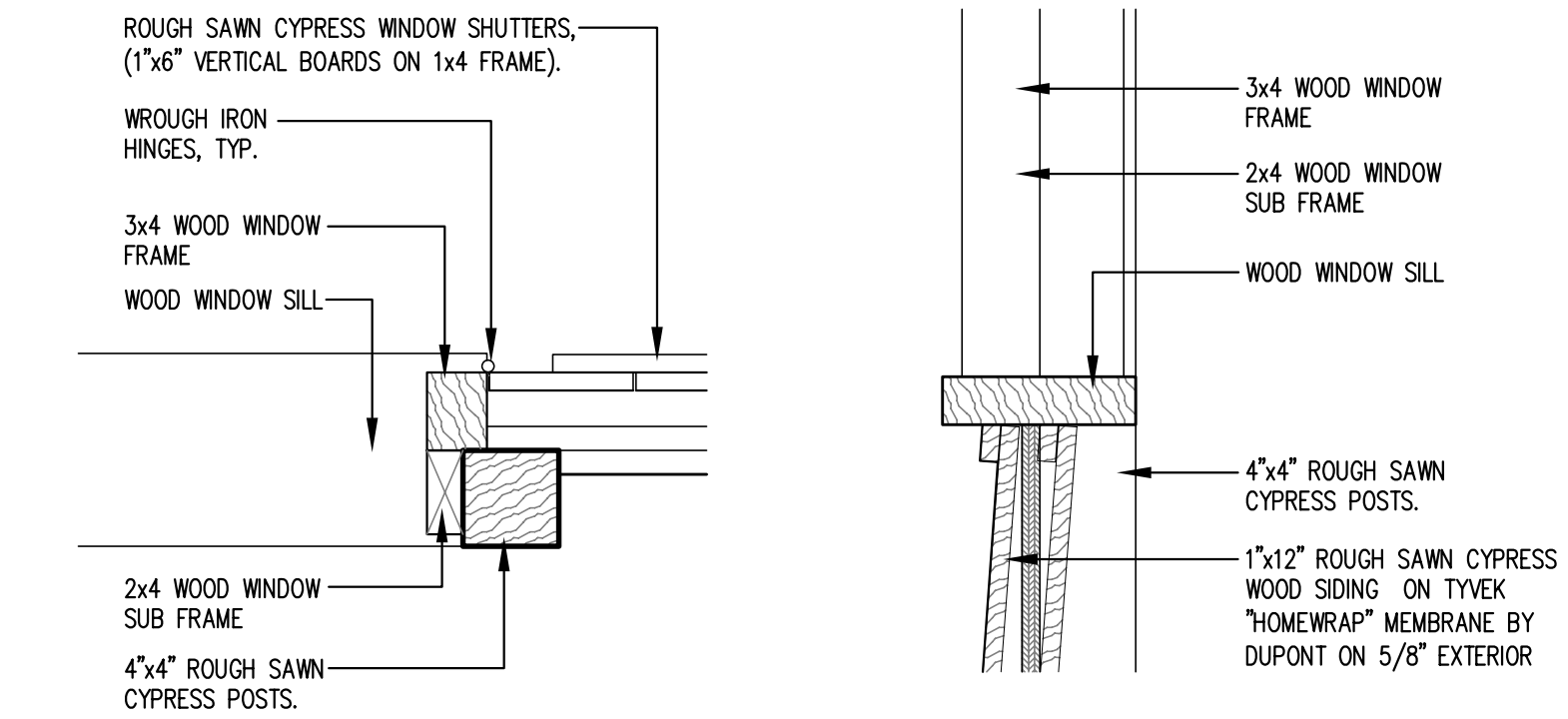
1-1/2" = 1'-0" PLAN

**NOTE:**  
 CEDER PLUS SHAKES. 18" LENGTH. HANDSPLIT, RESAWN,  
 FIRE RETARDANT, PRESERVATIVE TESTED CEDAR SHAKES  
 AS MANUFACTURED BY: GREEN RIVER LOG LTD. P.O BOX  
 515 SUMAS, WA 98295.



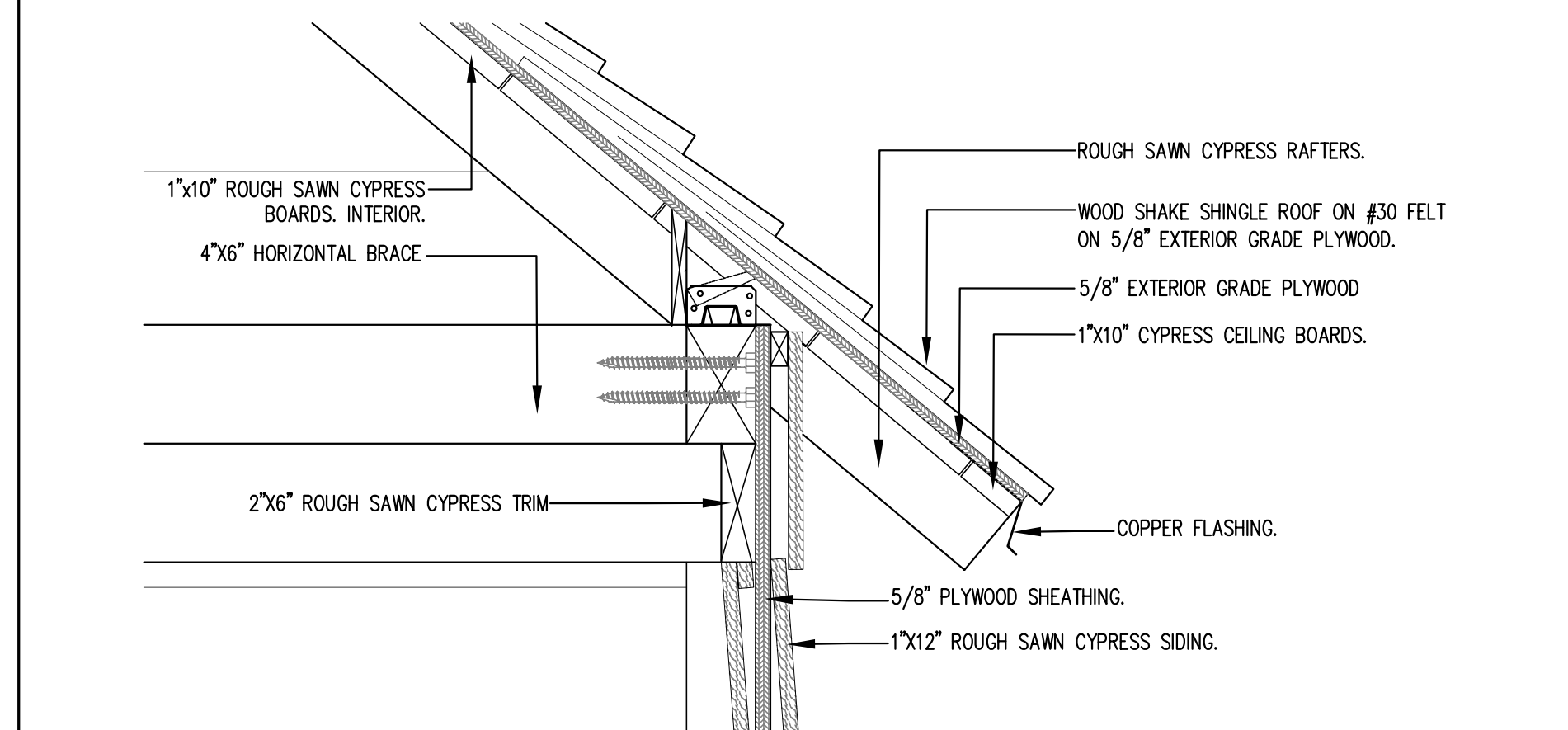
**4** TYPICAL ROOF EDGE DETAIL NOA #06-1107.01

1-1/2" = 1'-0" SECTION



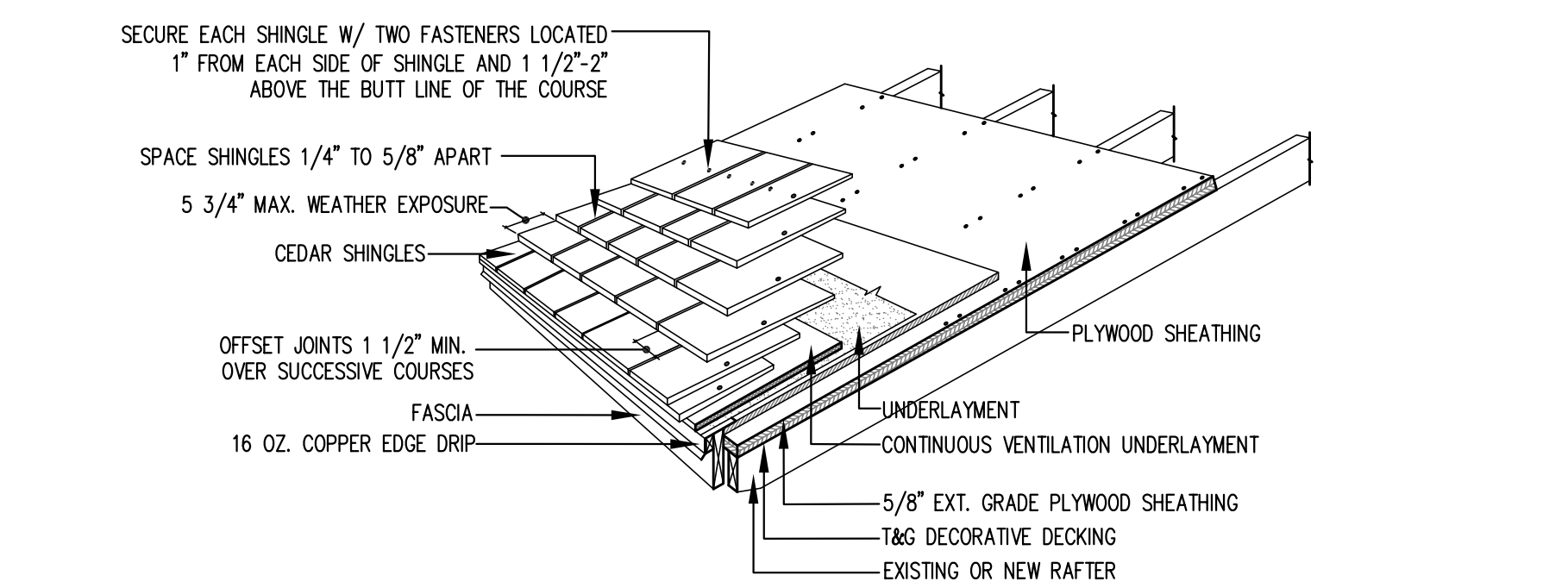
**7** WINDOW DETAILS

1-1/2" = 1'-0" SECTION



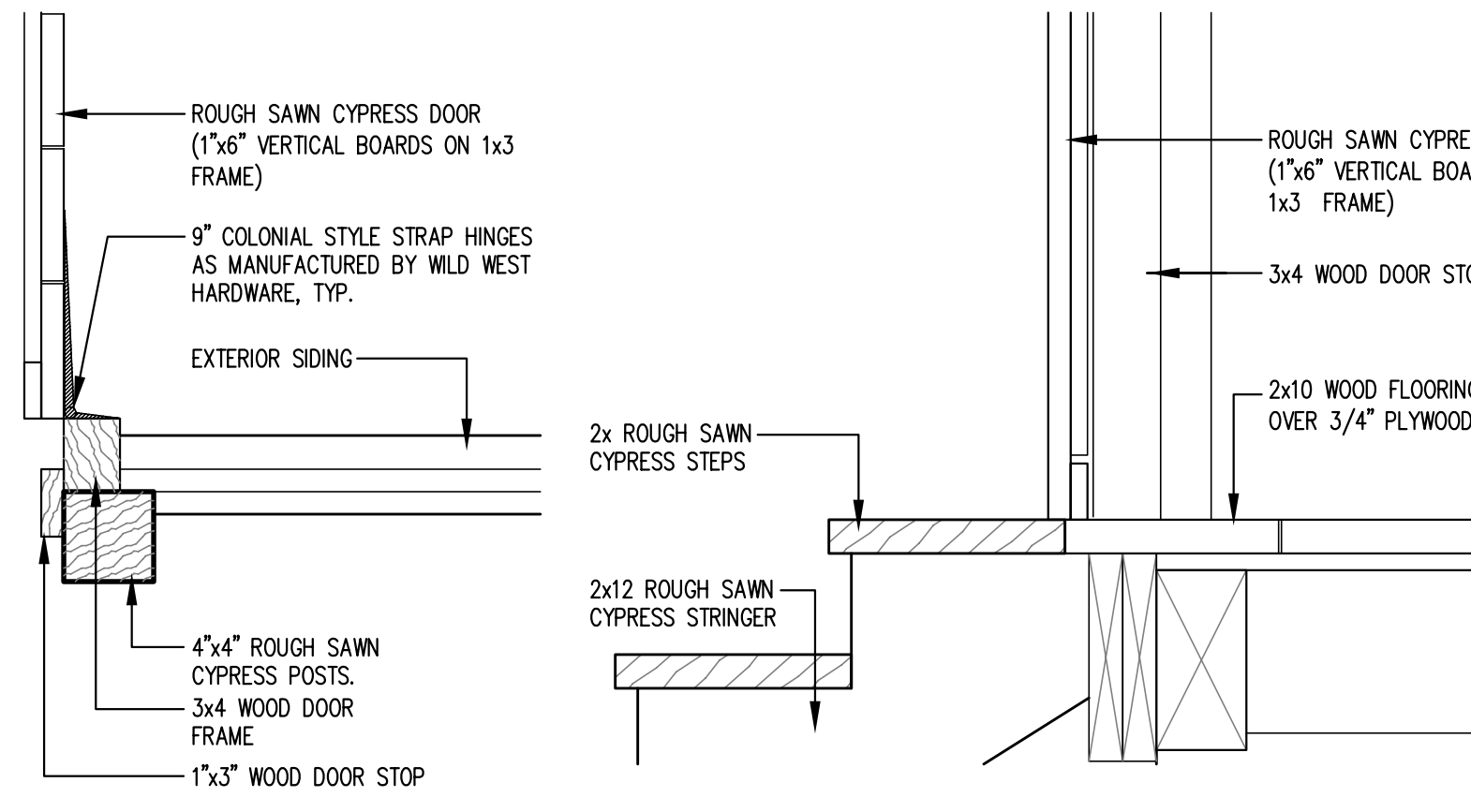
**2** TYPICAL CORNER DETAIL

1-1/2" = 1'-0" PLAN



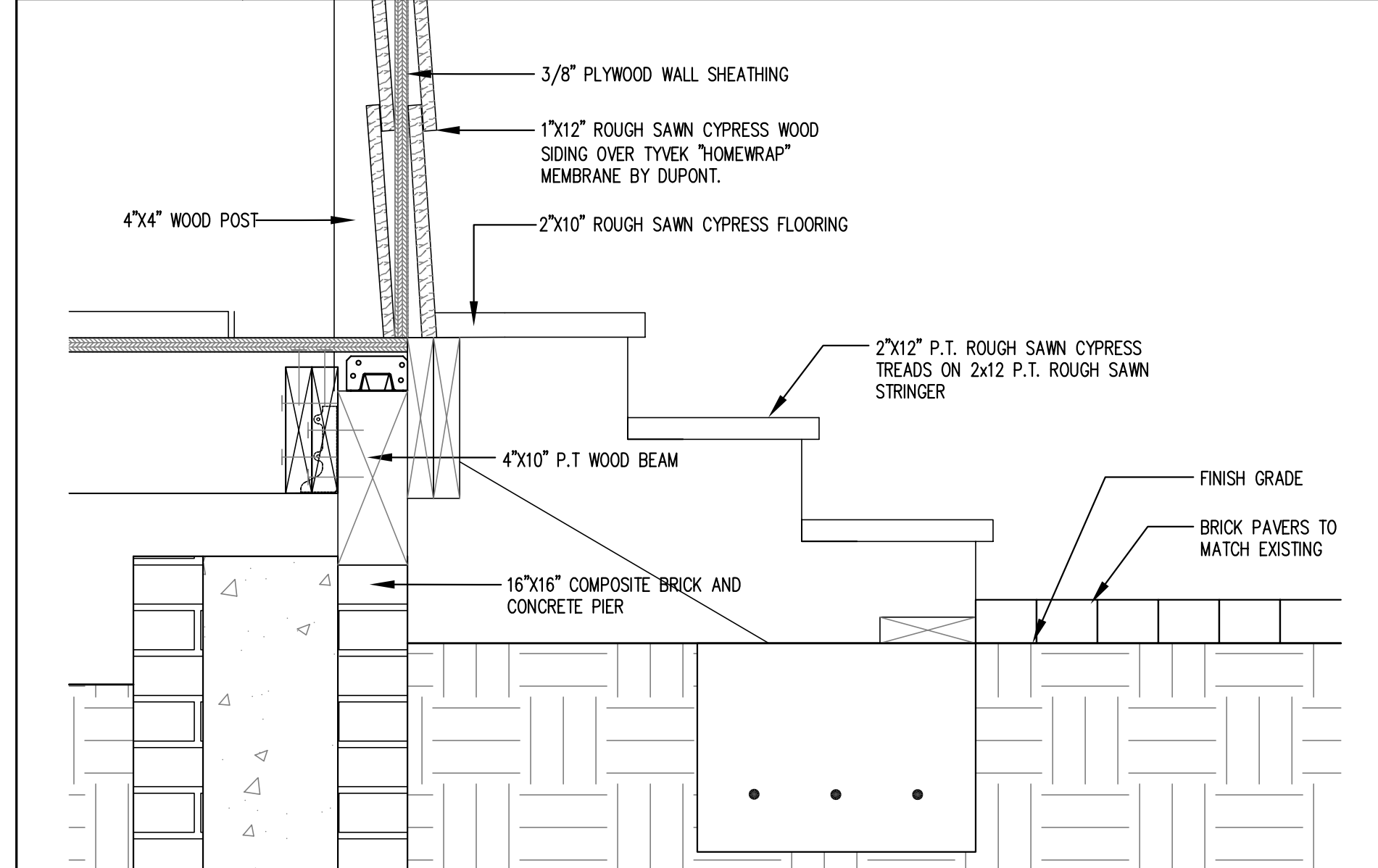
**5** WOOD SHINGLE ROOF ASSEMBLY DETAIL NOA #06-1107.01

1-1/2" = 1'-0" SECTION



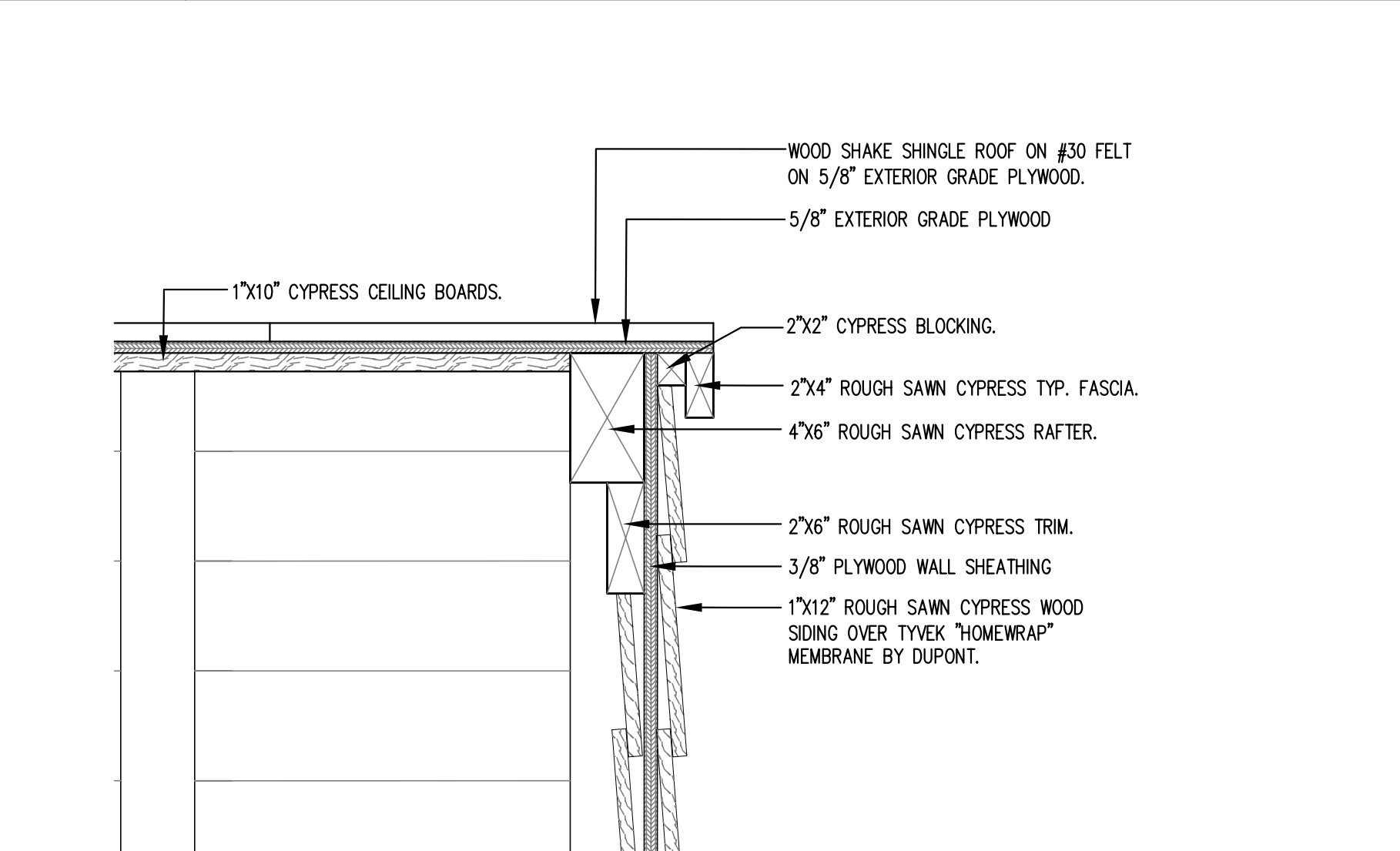
**7** DOOR DETAILS

DOOR LATCHES: PROVIDE HAND FORGED SLIDE BOLT FOR PADLOCK AS MANUFACTURED BY WILD WEST HARDWARE.



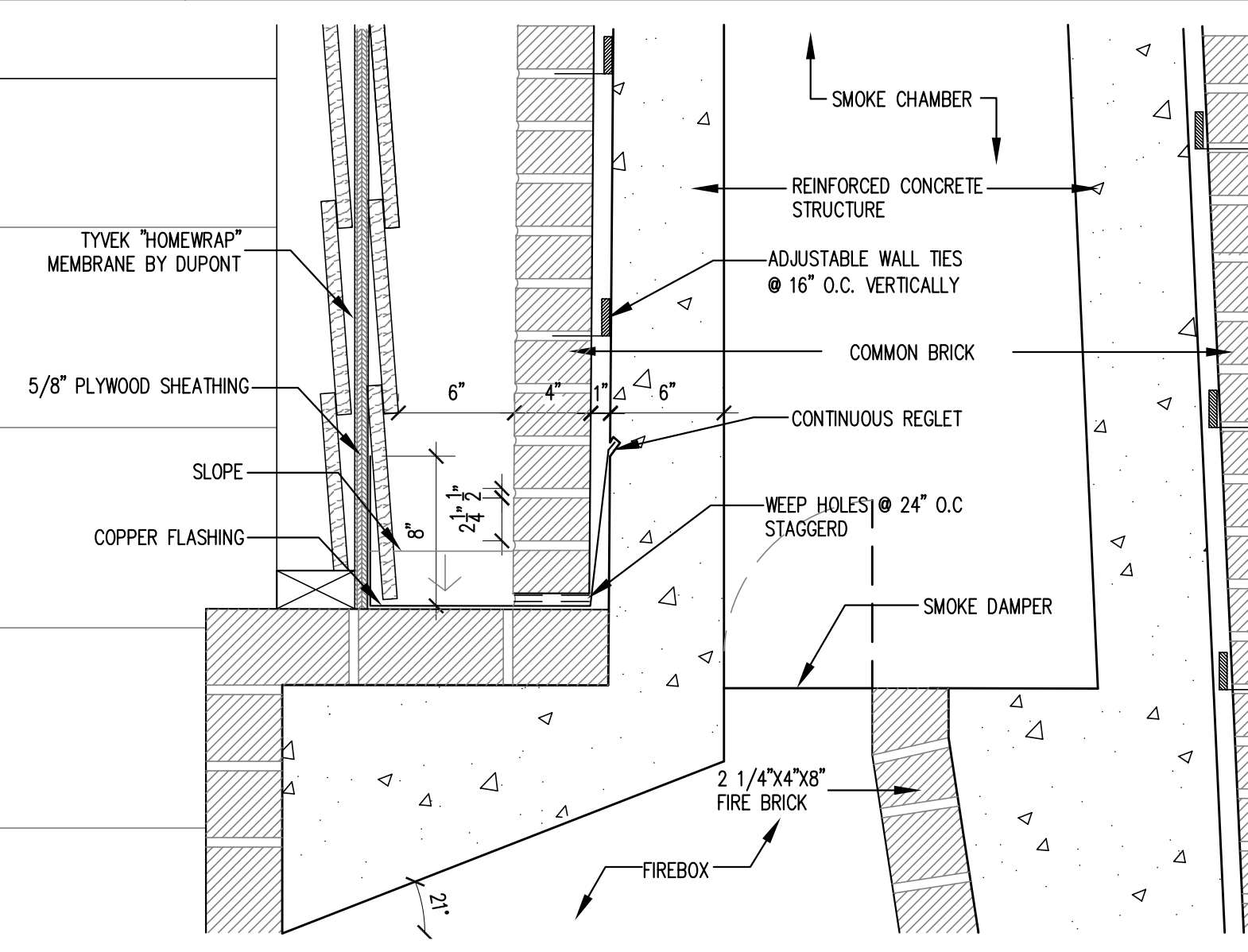
**3** STAIR DETAIL

1-1/2" = 1'-0" SLAVE QUARTERS



**6** TYPICAL SHINGLE ROOF EDGE DETAIL

1-1/2" = 1'-0" SECTION



**8** FIREPLACE / CHIMNEY DETAIL

1-1/2" = 1'-0" SECTION

**AUDUBON HOUSE AND TROPICAL GARDENS**

205 WHITEHEAD STREET  
 KEY WEST, FLORIDA

**HISTORIC KITCHEN AND SLAVE QUARTERS DISPLAY BUILDINGS**

100% CONSTRUCTION DOCUMENTS		06-20-11
NO.	REVISIONS/SUBMISSIONS (*)	DATE
PROJECT TEAM		

**RJ HEISENBOTTLE ARCHITECTS**  
 2199 PONCE DE LEON BLVD., SUITE 400  
 CORAL GABLES, FL 33134  
 TELEPHONE: 305/446-7799 FAX: 305/446-9275  
 FLORIDA REGISTRATION NUMBER: AR 0010865

STRUCTURAL ENGINEER  
 DOUGLAS WOOD & ASSOCIATES, INC.  
 2100 PONCE DE LEON BLVD., SUITE 1020  
 CORAL GABLES, FL 33134  
 TELEPHONE: 305/461-3450 FAX: 305/461-3650  
 FLORIDA REGISTRATION NUMBER: 032092

SHEET TITLE

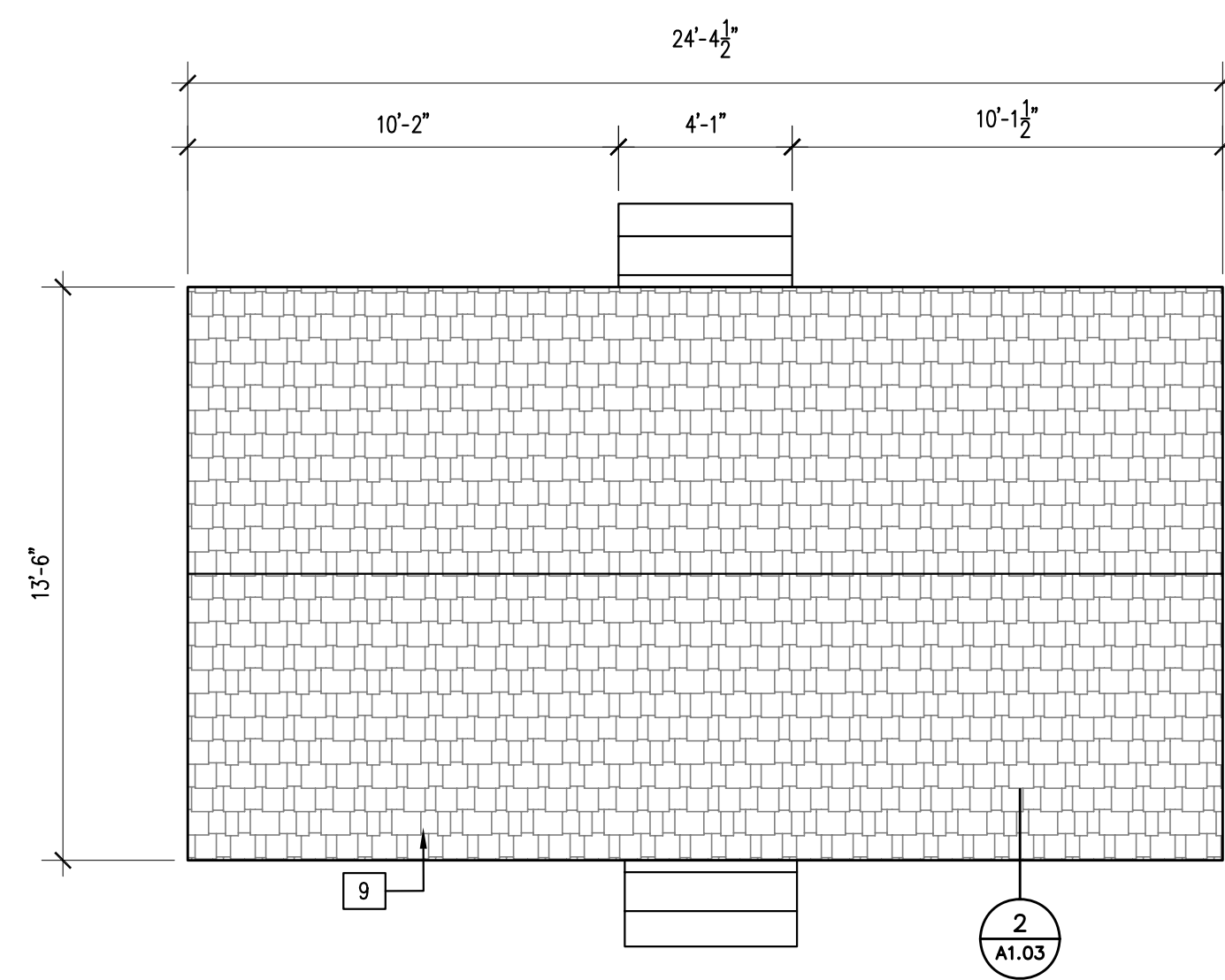
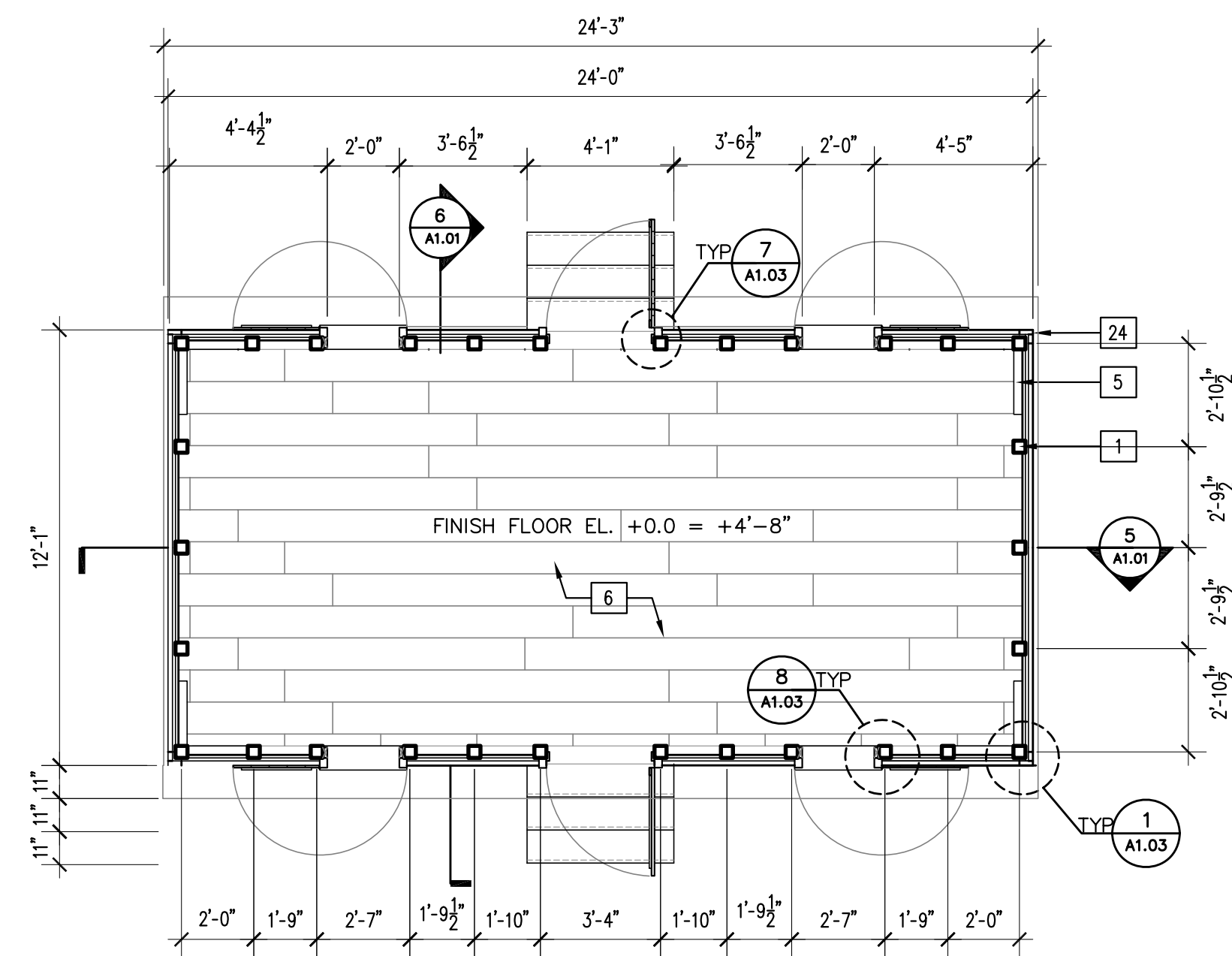
**DETAILS**

SEAL	ISSUE DATE	06/20/11
	PROJECT NO.	10-3339
	DRAWING NO.	

**A1.03**

DATE: RICHARD J. HEISENBOTTLE  
 FL REGISTRATION No. AR0010865  
 REGISTERED ARCHITECT





- 1 4"x4" ROUGH SAWN CYPRESS POSTS.
- 2 2"x6" ROUGH SAWN CYPRESS.
- 3 4"x6" ROUGH SAWN CYPRESS RAFTERS.
- 4 4"x4" ROUGH SAWN CYPRESS HORIZONTAL BRACE.
- 5 4"x6" ROUGH SAWN CYPRESS DIAGONAL BRACE.
- 6 2"x10" ROUGH SAWN CYPRESS FLOORING ON 3/4" EXTERIOR GRADE PLYWOOD DECK.
- 7 1"x12" ROUGH SAWN CYPRESS WOOD SIDING ON 5/8" EXTERIOR GRADE PLYWOOD.
- 8 1"x10" ROUGH SAWN CYPRESS DECORATIVE WOOD BOARDS ON 5/8" EXTERIOR GRADE PLYWOOD. INTERIOR.
- 9 WOOD SHAKE SHINGLE ROOF. SEE DETAIL.
- 10 4"x10" P.T. WOOD BEAM.
- 11 (3) 2"x8" P.T. @ 16" OC.
- 12 16"x16" COMPOSITE BRICK AND CONCRETE PIER.
- 13 1"x\_ ROUGH SAWN CYPRESS TRIM.
- 14 COPPER FLASHING
- 15 1"x10" ROUGH SAWN CYPRESS TRIM.
- 16 2-1/4"x4"x8" COMMON BRICK FACING
- 17 2-1/4"x4"x8" FIREBRICK
- 18 8"x12" FIRECLAY FLUE LINER
- 19 REINFORCED CONCRETE STRUCTURE. SEE DETAIL.
- 20 FIREBOX
- 21 SMOKE DAMPER
- 22 SMOKE CHAMBER
- 23 41" IRON FIREPLACE CRANE BY LEMEES FIREPLACE EQUIP.
- 24 2"x4" ROUGH SAWN CYPRESS CORNER BOARDS.
- 25 1"x6" ROUGH SAWN CYPRESS WINDOW SHUTTERS.
- 26 1"x6" ROUGH SAWN CYPRESS DOOR.
- 27 12"x12" COMPOSITE BRICK CONCRETE PIERS.
- 28 9" COLONIAL STYLE STRAP HINGES AS MANUFACTURED BY WILD WEST HARDWARE
- 29 8" HAND FORGED SLIDE BOLT FOR PADLOCK AS MANUFACTURED BY WILD WEST HARDWARE
- 30 (2) 2"x8" P.T. @ 16" OC.
- 31 1"x12" ROUGH SAWN CYPRESS SIDING. INTERIOR. REVERSE OF EXTERIOR.
- 32 1" AIR SPACE WITH ADJUSTABLE WALL TIES @ 16" OC. VER

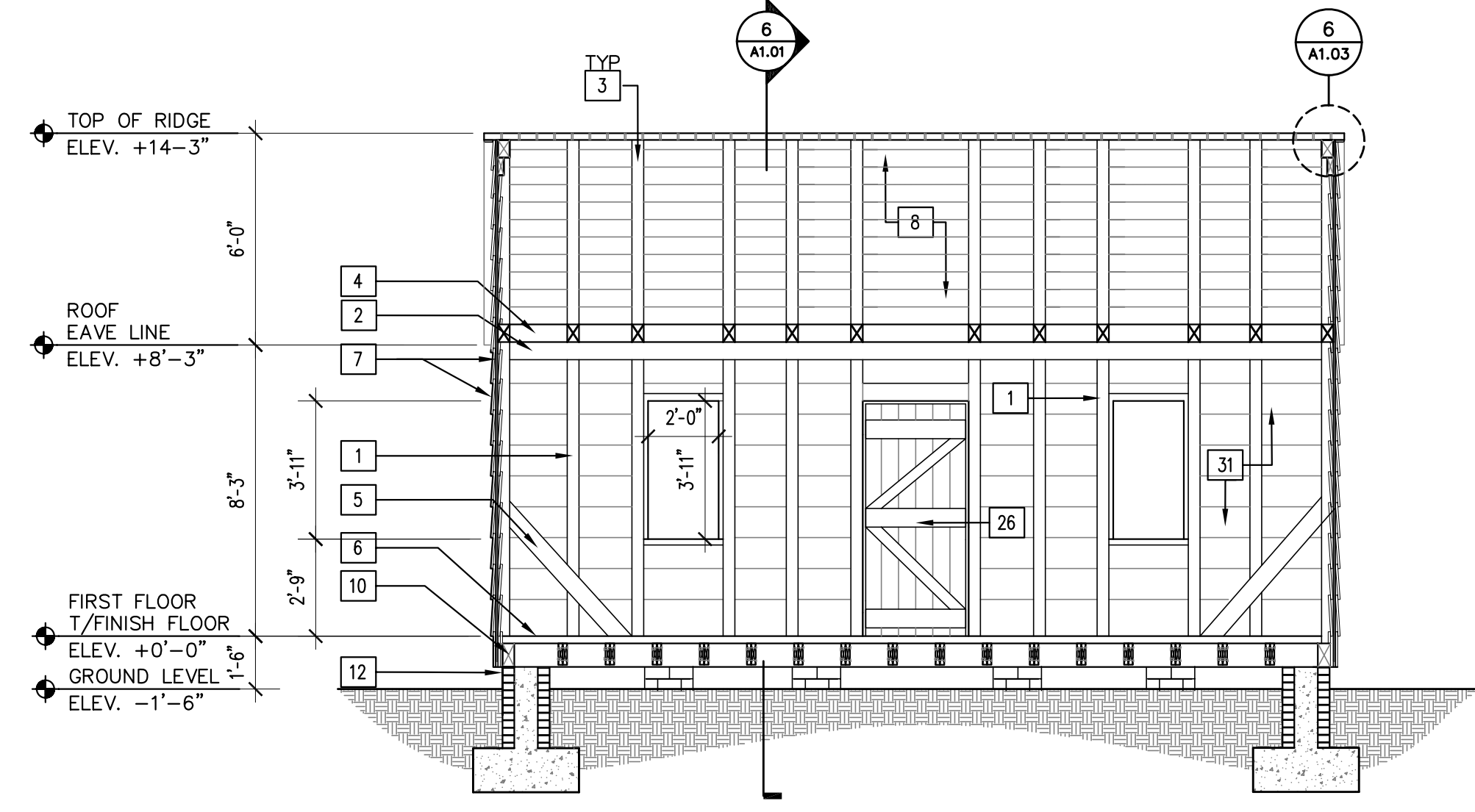
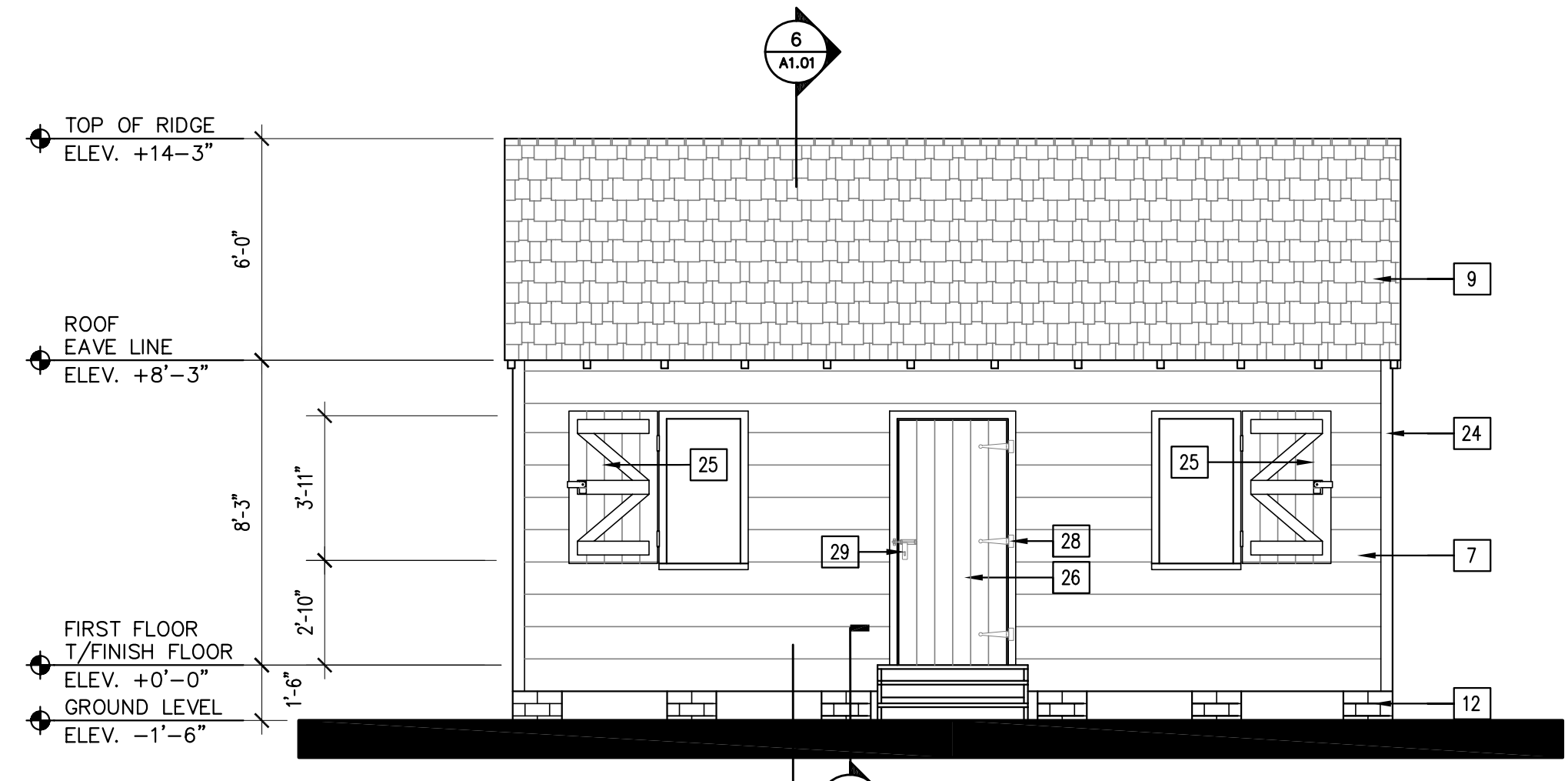
**AUDUBON HOUSE AND TROPICAL GARDENS**

205 WHITEHEAD STREET  
KEY WEST, FLORIDA

**HISTORIC KITCHEN AND SLAVE QUARTERS DISPLAY BUILDINGS**

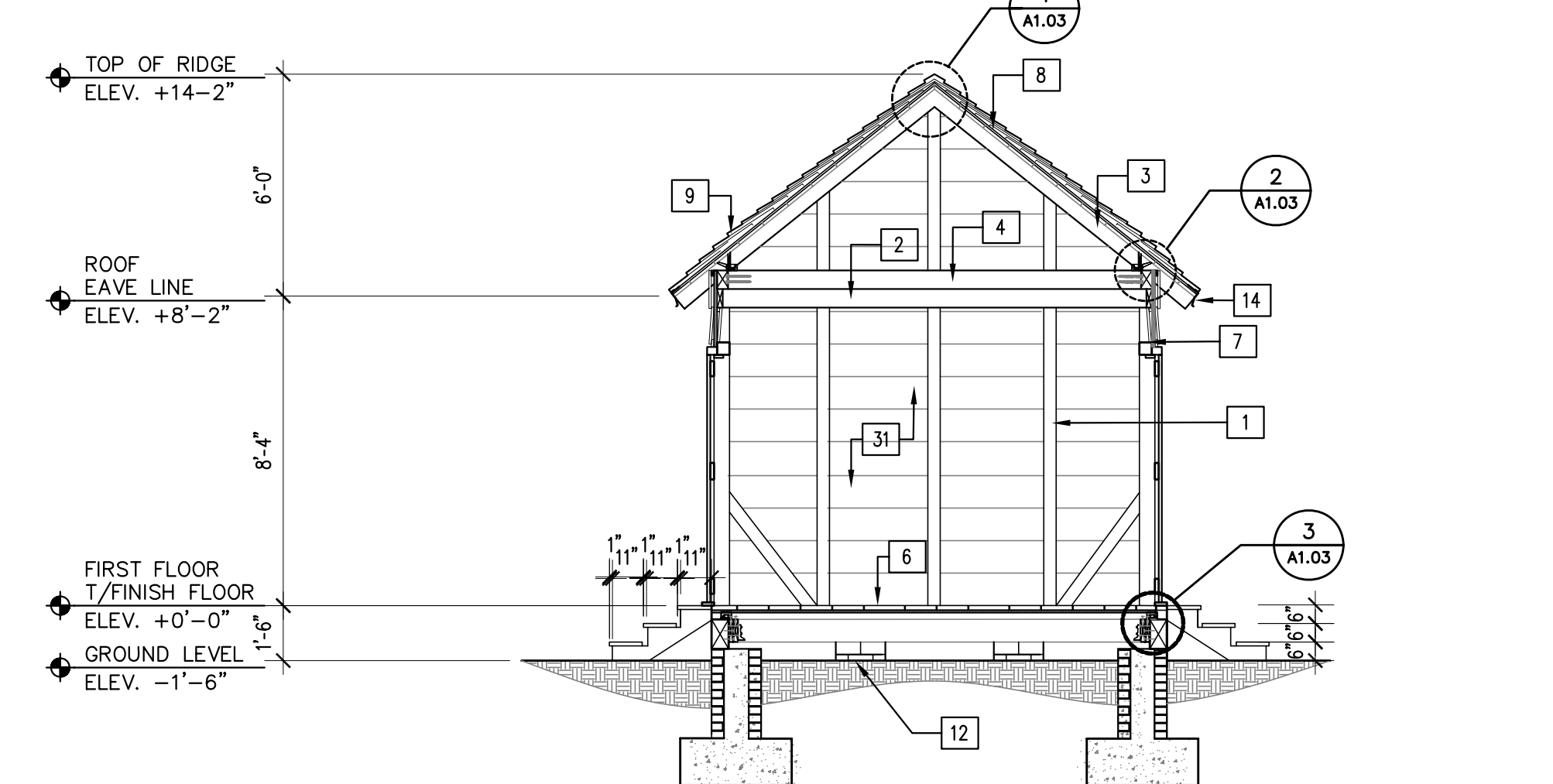
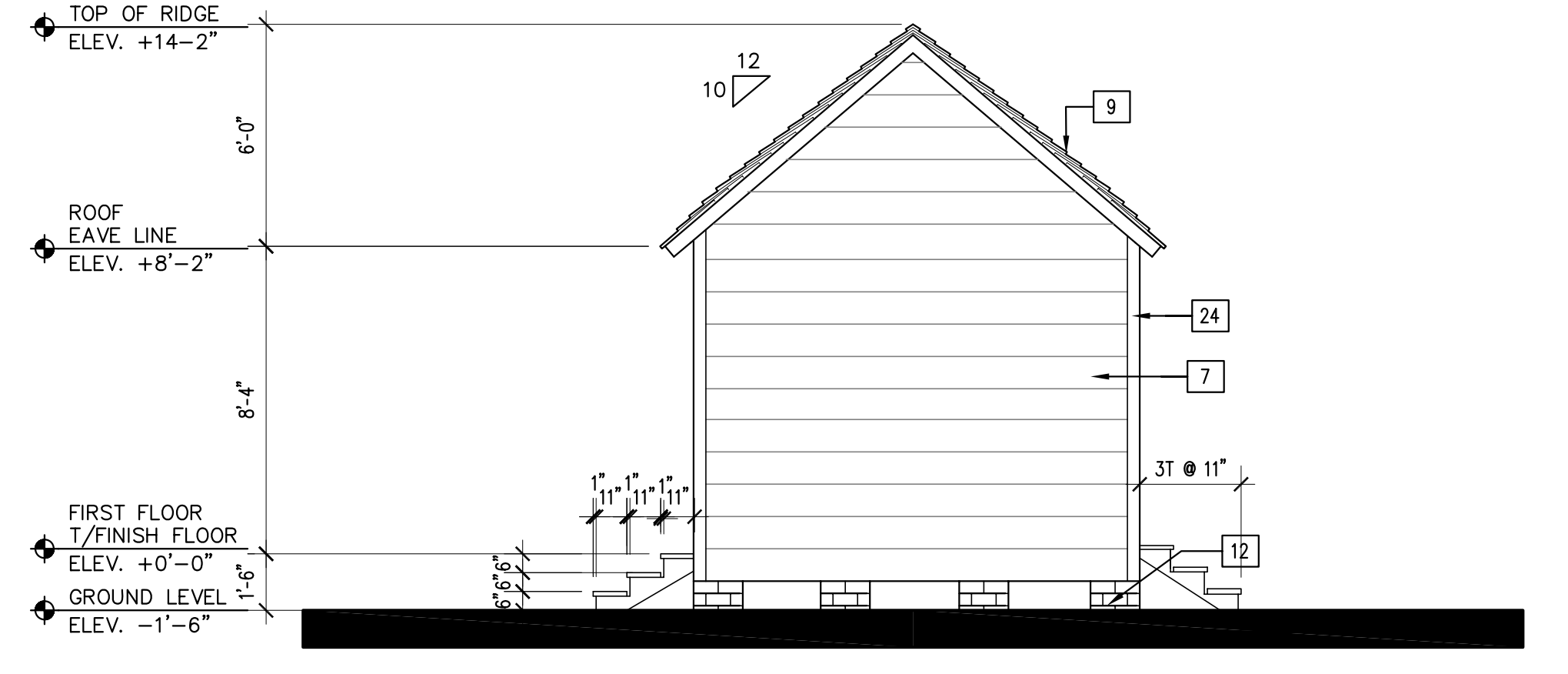
**1 SLAVE QUARTER PLAN (EXHIBIT DISPLAY BUILDING NO OCCUPANCY)**

**4 SLAVE QUARTER PLAN**



**2 SLAVE QUARTER TYPICAL FRONT AND REAR ELEVATION**

**5 SLAVE QUARTER SECTION**



**3 SLAVE QUARTER TYPICAL SIDE ELEVATION**

**6 SLAVE QUARTER SECTION**

**7 KEY NOTES**

100% CONSTRUCTION DOCUMENTS		06-20-11
NO.	REVISIONS/SUBMISSIONS (*)	DATE

**RJ HEISENBOTTLE ARCHITECTS**

2199 PONCE DE LEON BLVD., SUITE 400  
CORAL GABLES, FL 33134  
TELEPHONE: 305/446-7799 FAX: 305/446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

STRUCTURAL ENGINEER  
DOUGLAS WOOD & ASSOCIATES, INC.  
2100 PONCE DE LEON BLVD., SUITE 1020  
CORAL GABLES, FL 33134  
TELEPHONE: 305/461-3450 FAX: 305/461-3650  
FLORIDA REGISTRATION NUMBER: 032092

SHEET TITLE

**SLAVE QUARTER PLANS AND ELEV.**

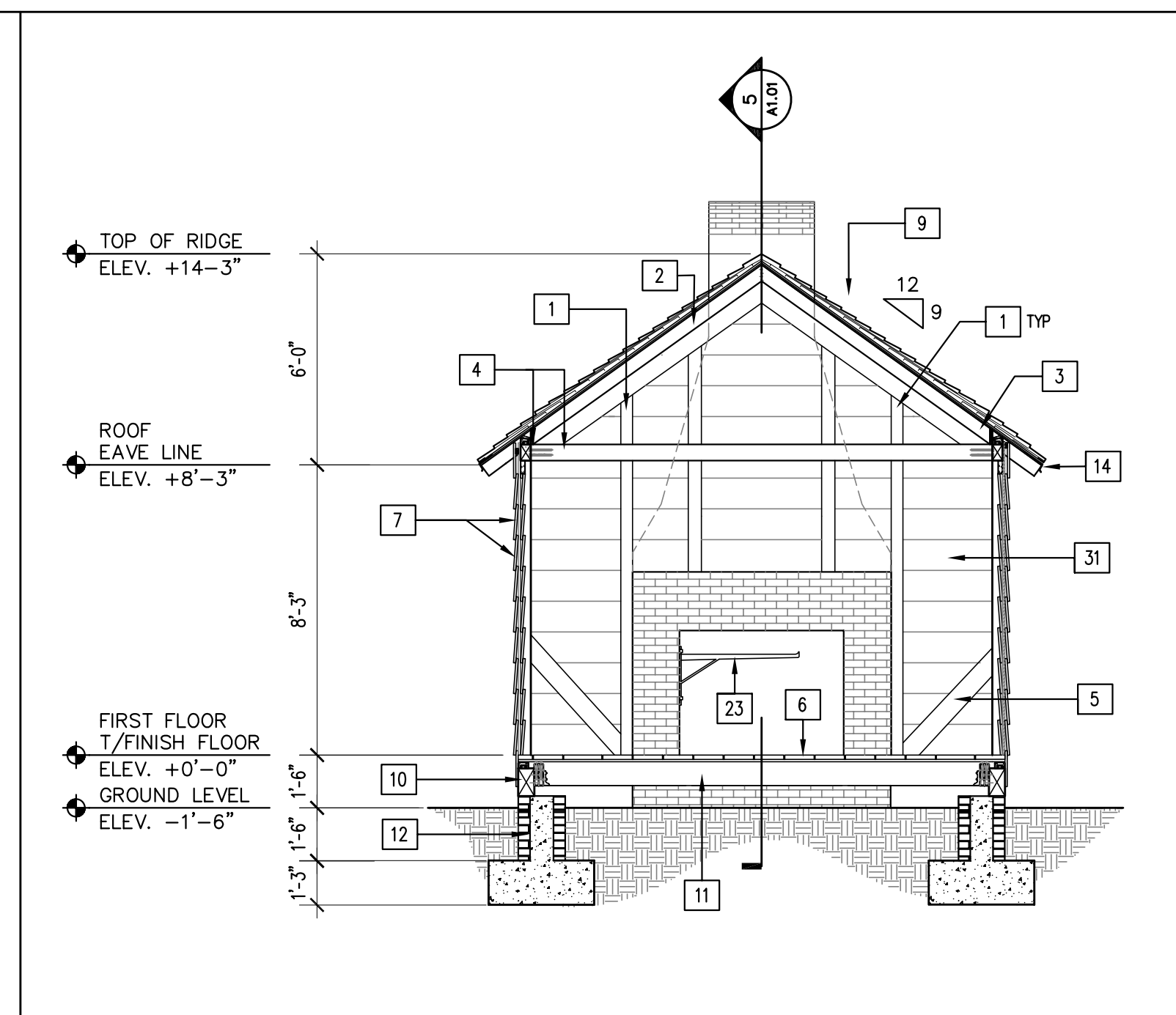
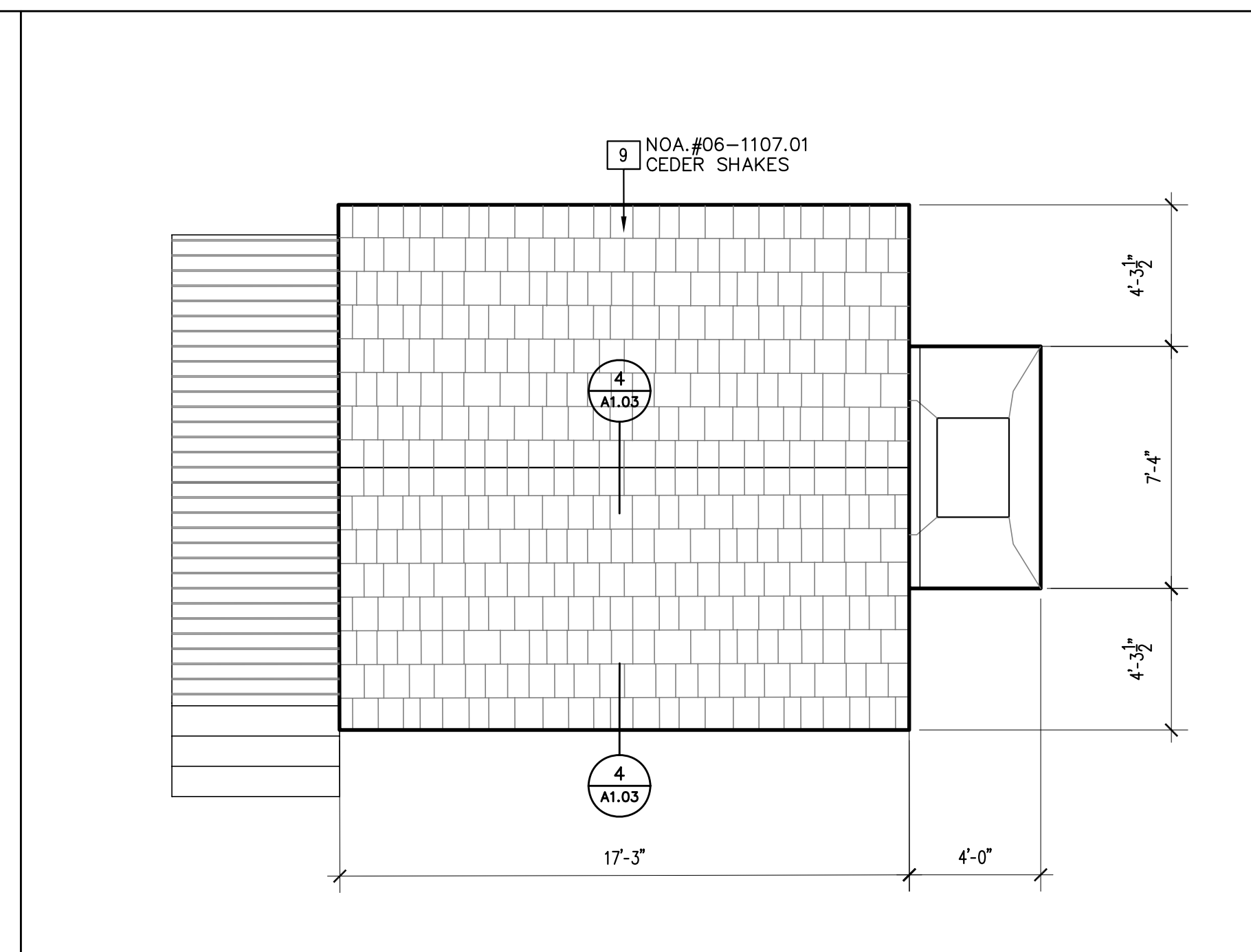
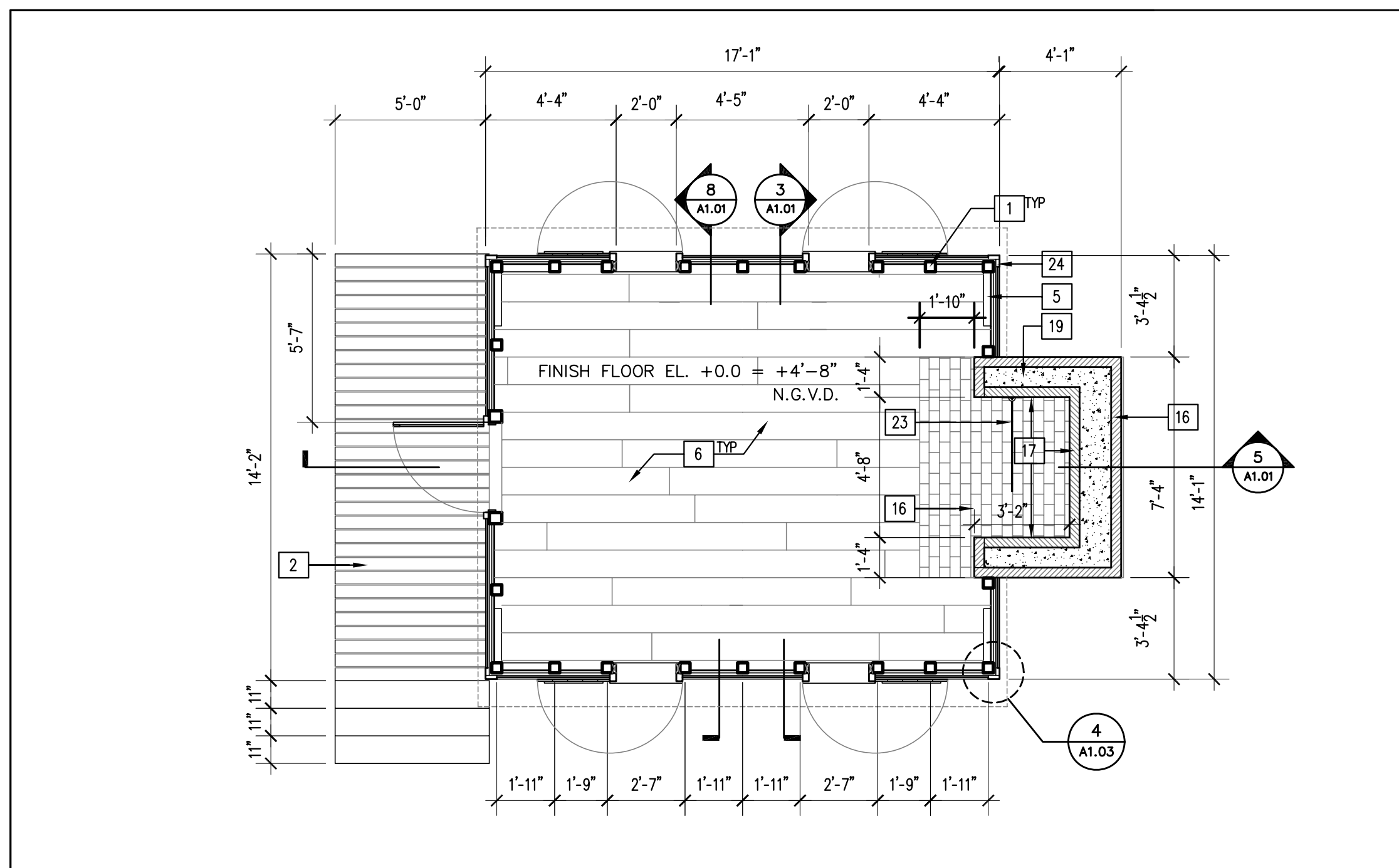
SEAL	ISSUE DATE	06/20/11
	PROJECT NO.	10-3339
	DRAWING NO.	
DATE: RICHARD J. HEISENBOTTLE FL REGISTRATION No. AR0010865 REGISTERED ARCHITECT		<b>A1.02</b>



# AUDUBON HOUSE AND TROPICAL GARDENS

205 WHITEHEAD STREET  
KEY WEST, FLORIDA

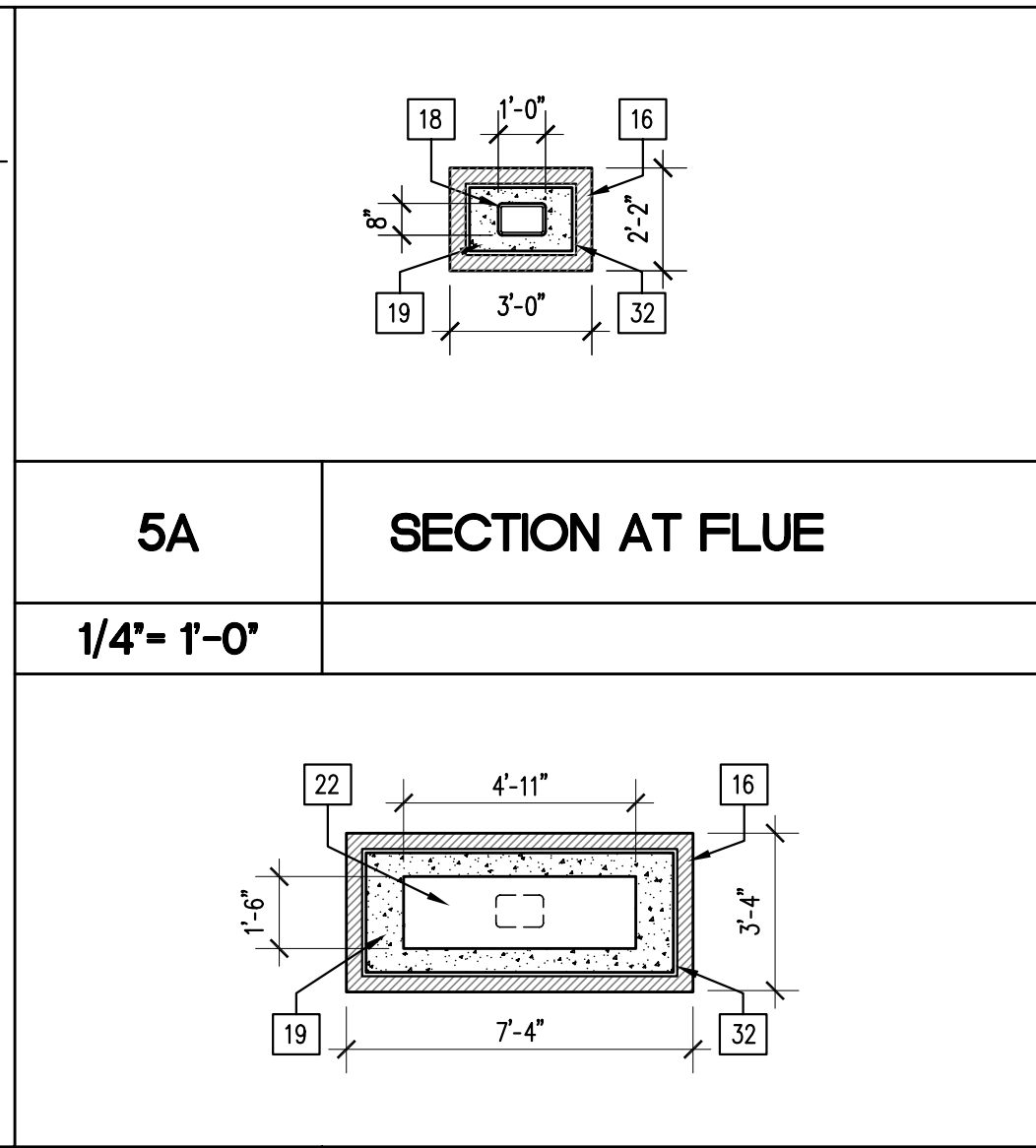
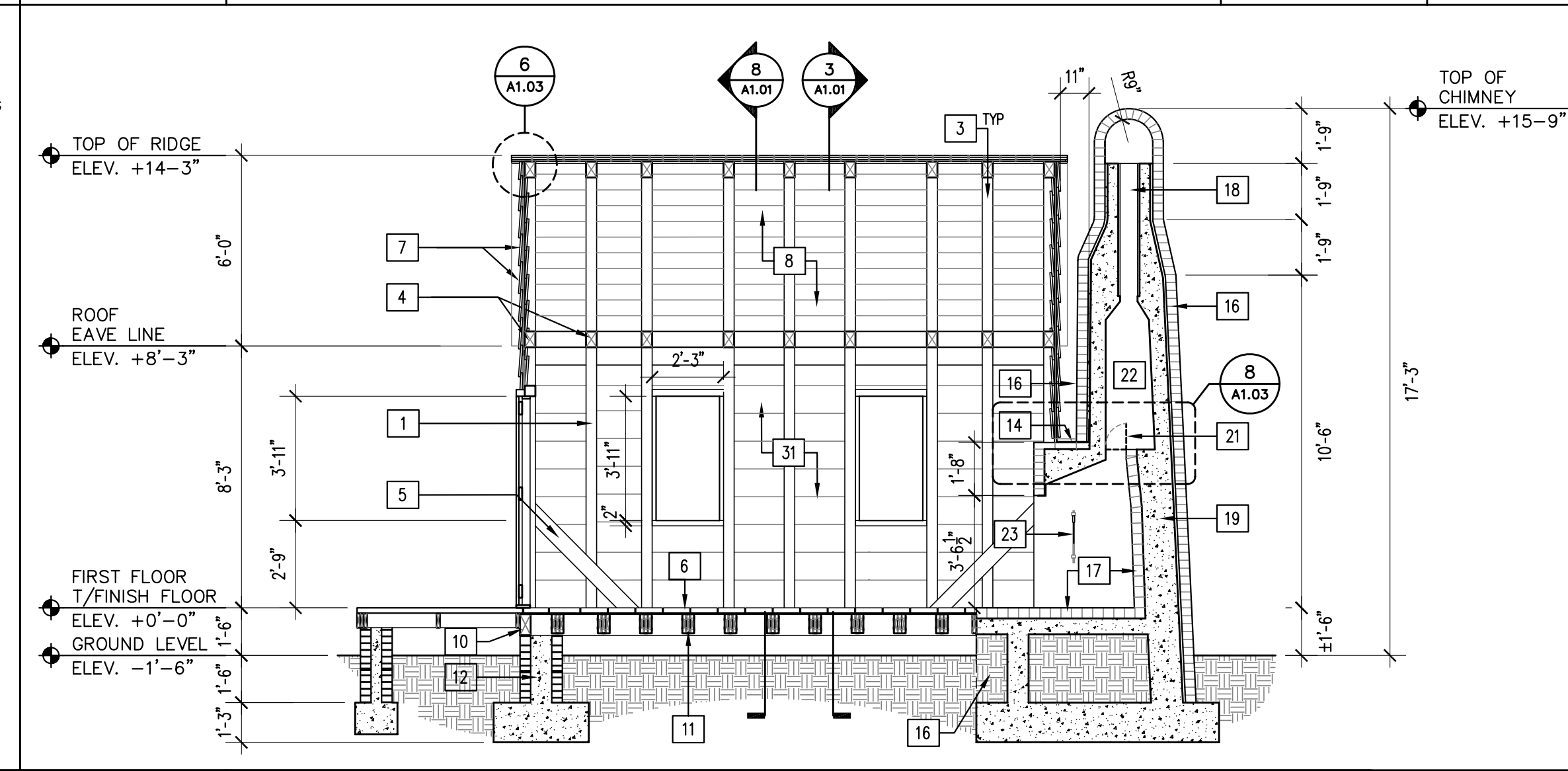
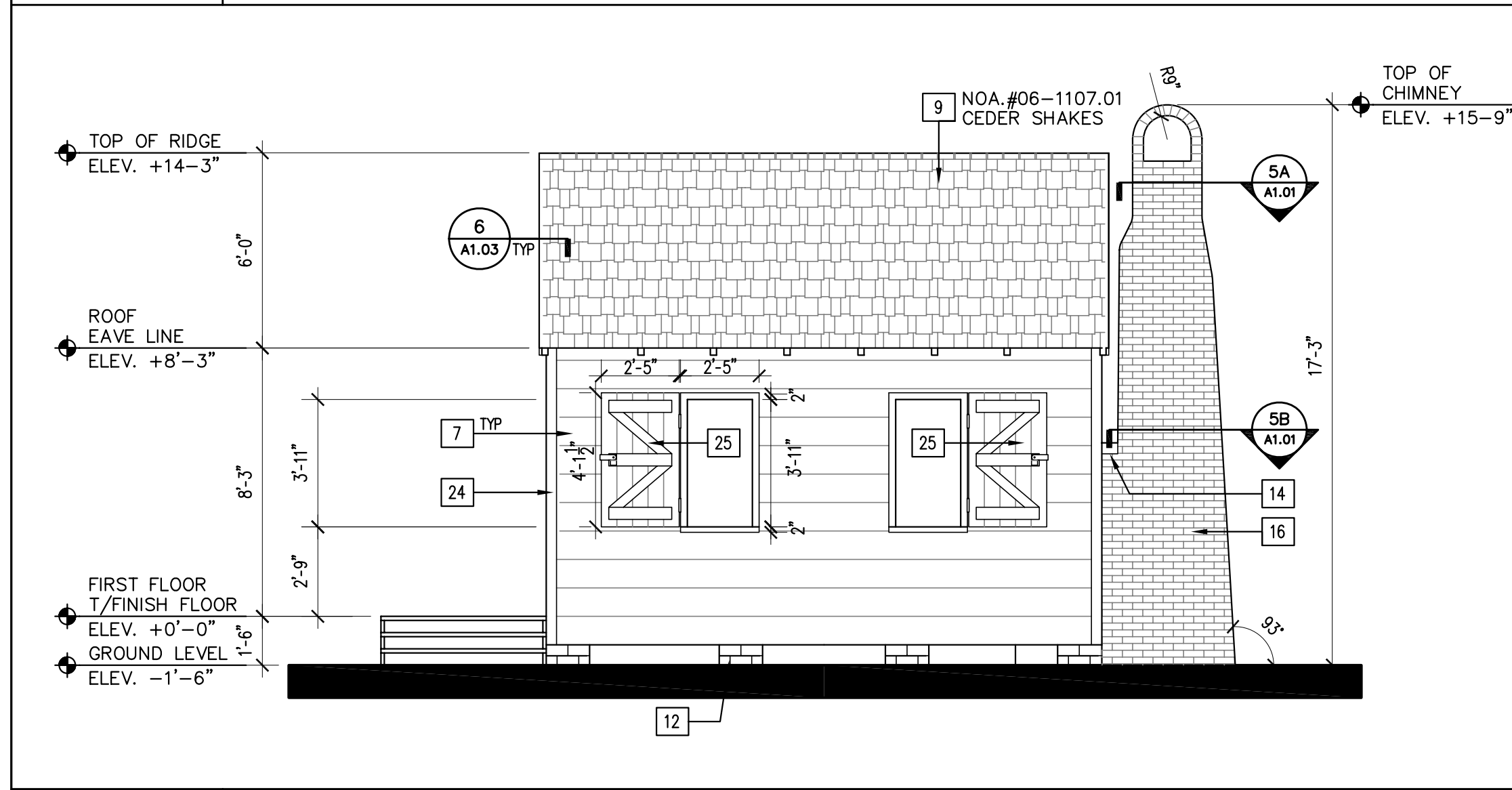
## HISTORIC KITCHEN AND SLAVE QUARTERS DISPLAY BUILDINGS



**1** KITCHEN FLOOR PLAN (EXHIBIT DISPLAY BUILDING NO OCCUPANCY)  
1/4"= 1'-0"

**2** KITCHEN ROOF PLAN  
1/4"= 1'-0"

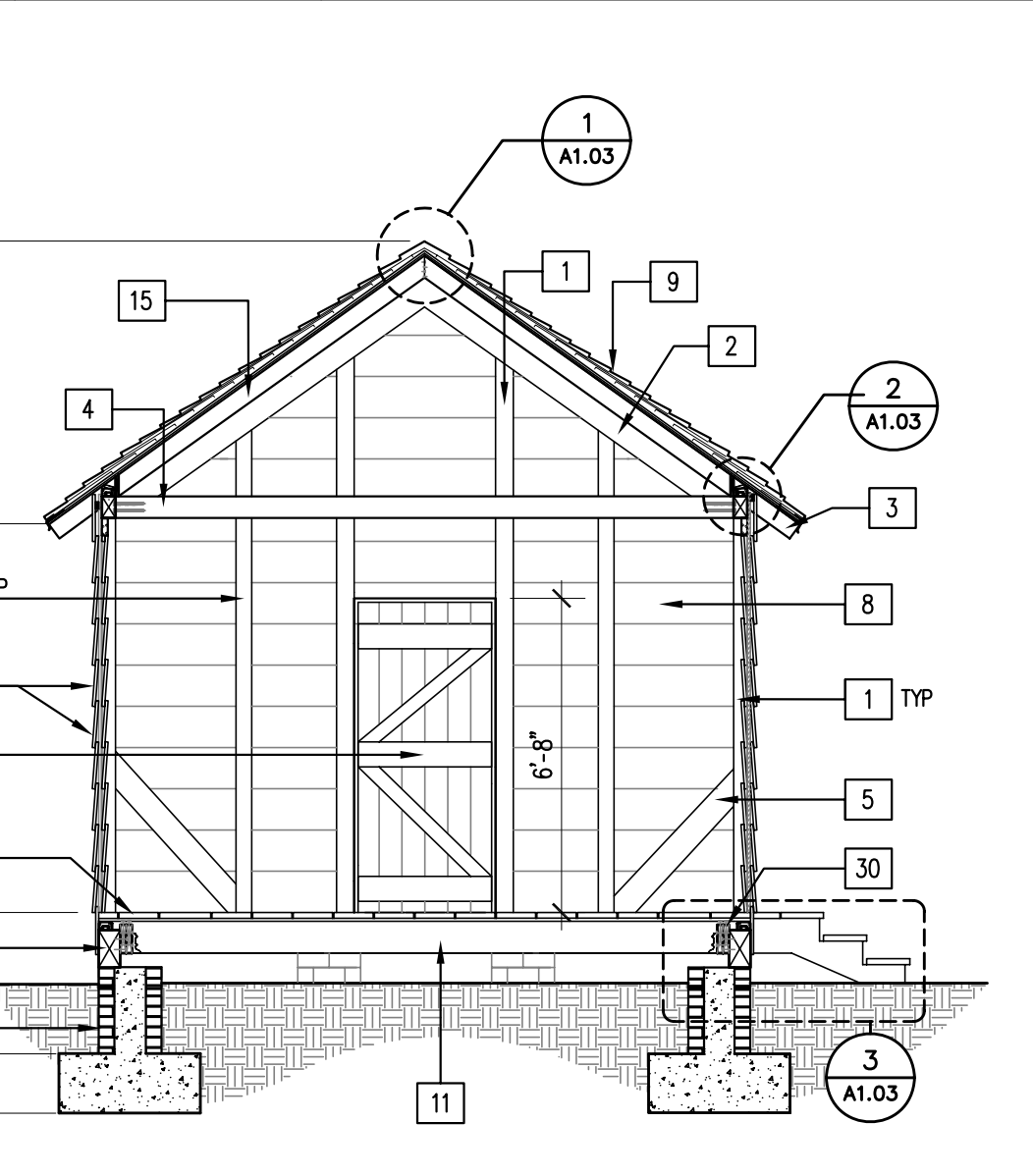
**3** KITCHEN SECTION  
1/4"= 1'-0"



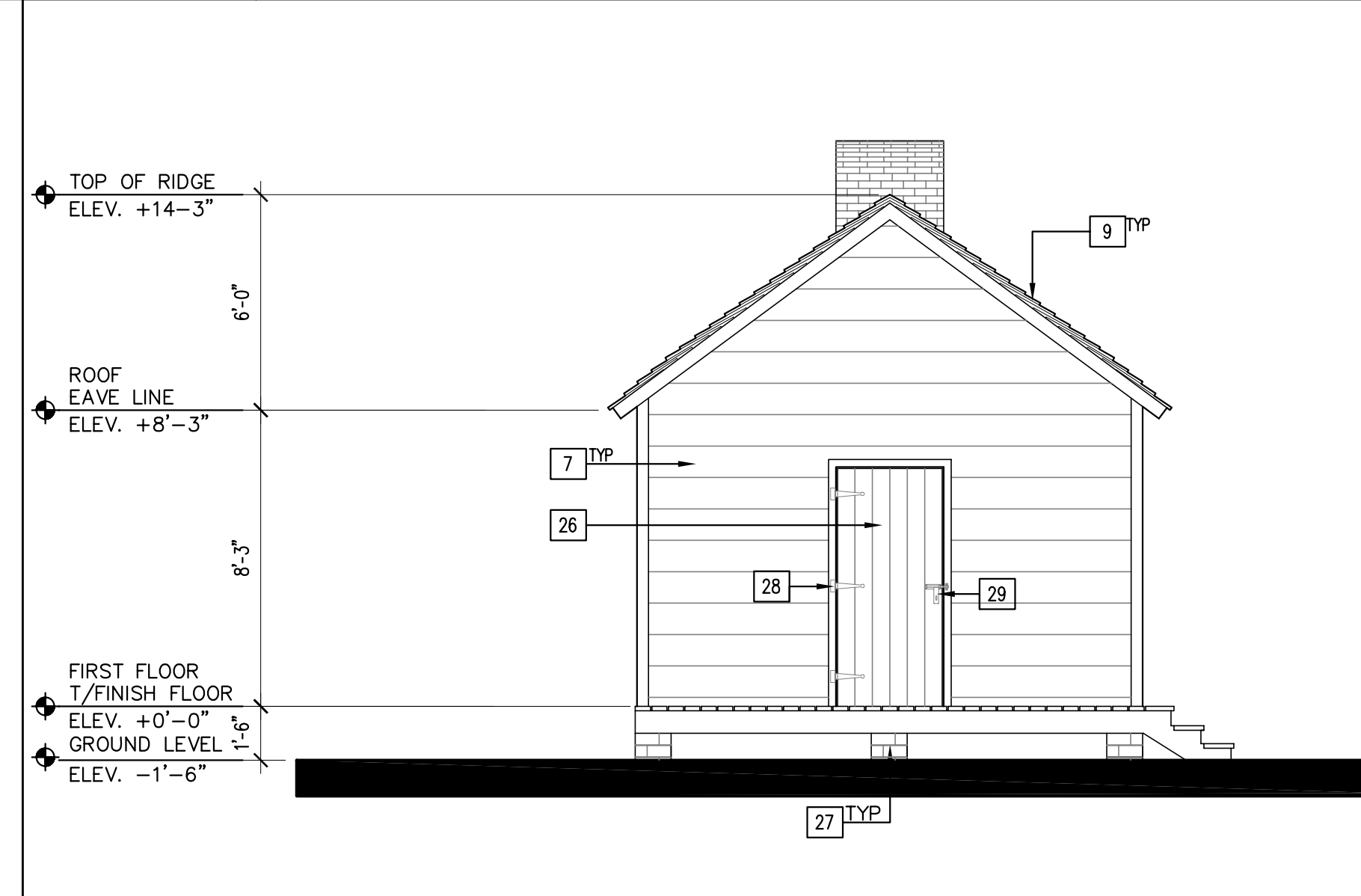
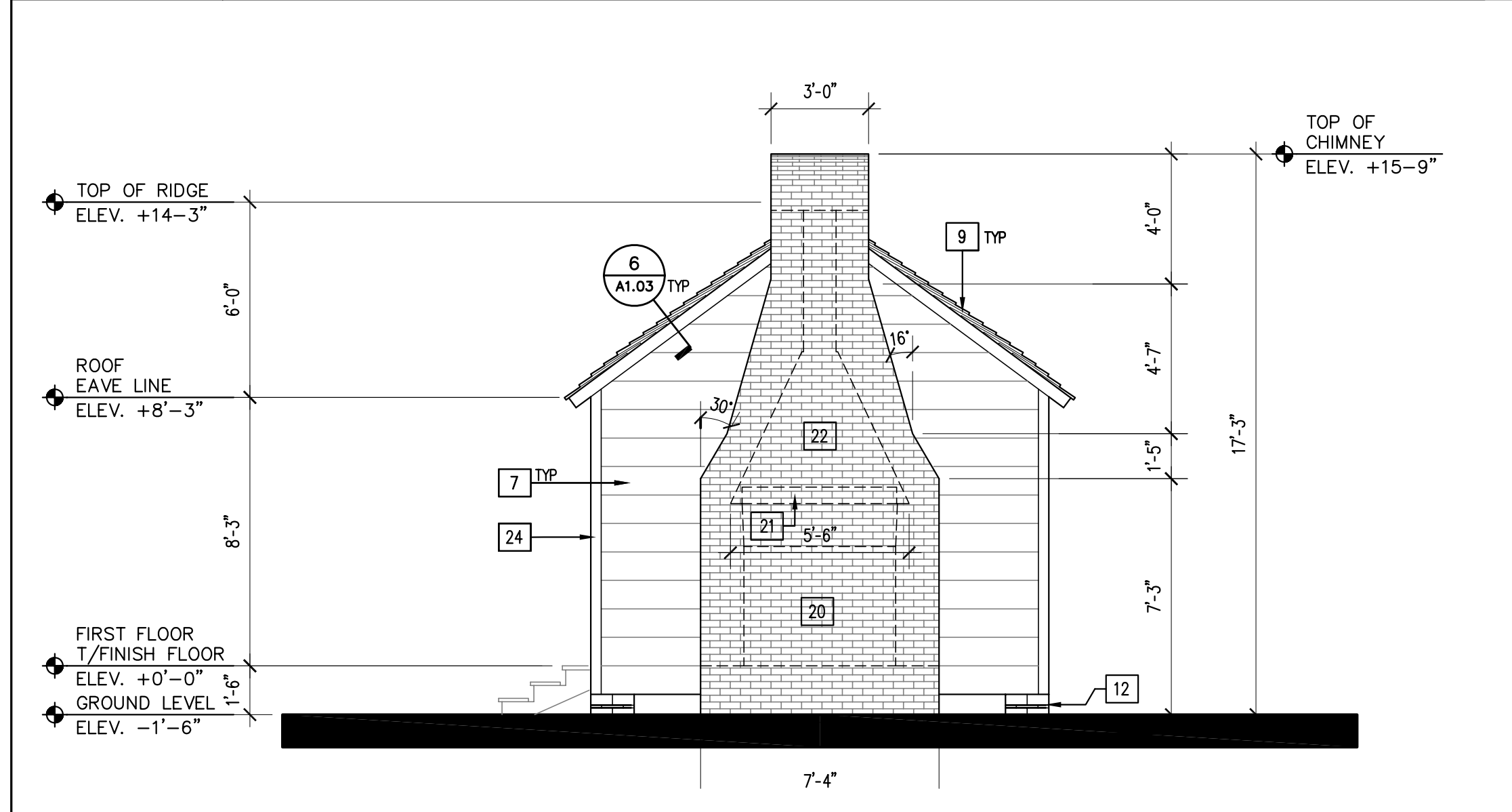
**4** KITCHEN WEST ELEVATION  
1/4"= 1'-0"

**5** KITCHEN SECTION  
1/4"= 1'-0"

**5A** SECTION AT FLUE  
1/4"= 1'-0"

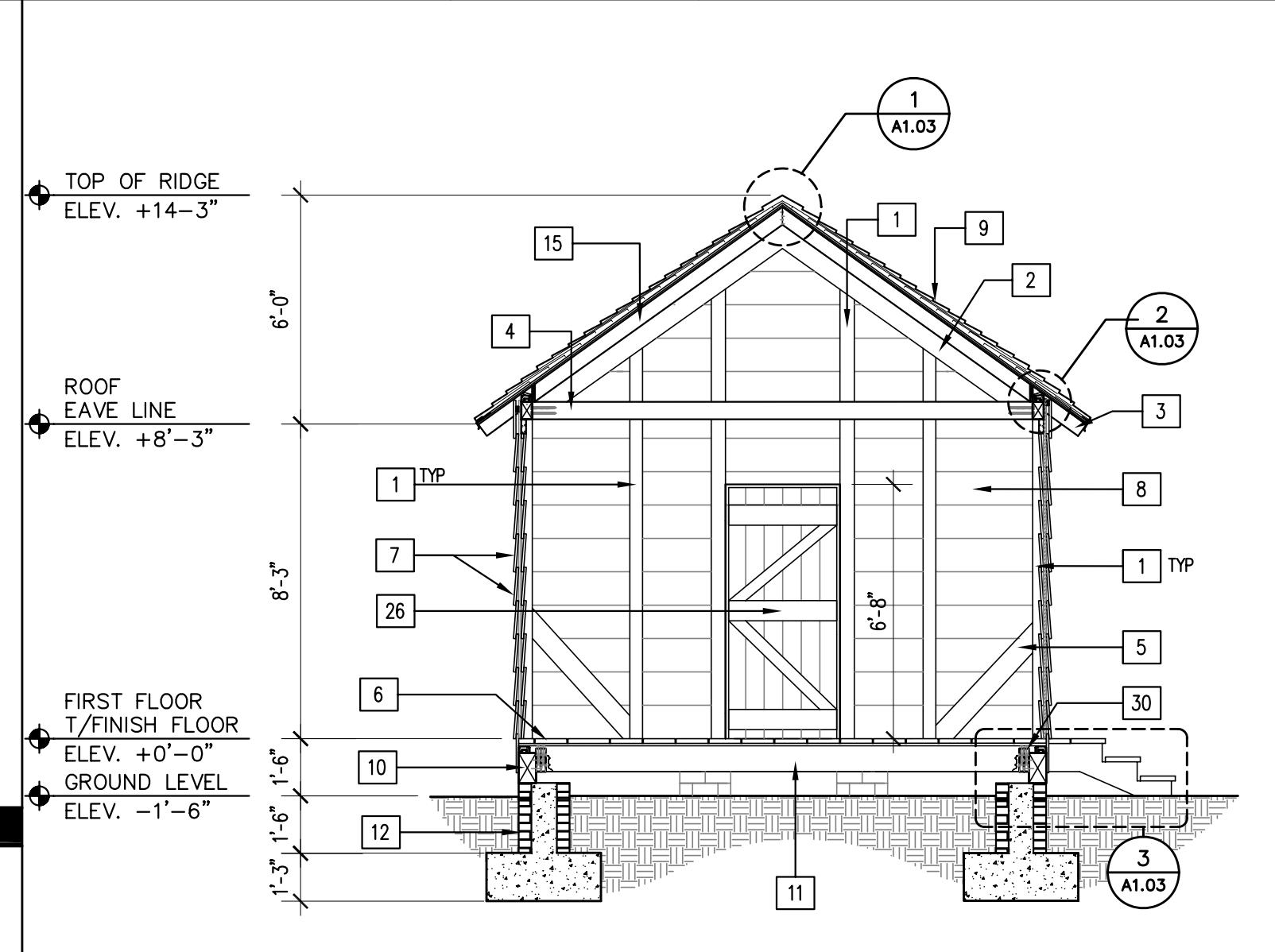


**5B** SECTION AT SHAFT  
1/4"= 1'-0"



**6** KITCHEN SOUTH ELEVATION  
1/4"= 1'-0"

**7** KITCHEN NORTH ELEVATION  
1/4"= 1'-0"



**8** KITCHEN SECTION  
1/4"= 1'-0"

100% CONSTRUCTION DOCUMENTS		06-20-11
NO.	REVISIONS/SUBMISSIONS (*)	DATE
PROJECT TEAM		

**RJ HEISENBOTTLE**  
ARCHITECTS  
2199 PONCE DE LEON BLVD., SUITE 400  
CORAL GABLES, FL 33134  
TELEPHONE: 305/446-7799 FAX: 305/446-9275  
FLORIDA REGISTRATION NUMBER: AR 0010865

STRUCTURAL ENGINEER  
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2100 PONCE DE LEON BLVD., SUITE 1020  
CORAL GABLES, FL 33134  
TELEPHONE: 305/461-3450 FAX: 305/461-3650  
FLORIDA REGISTRATION NUMBER: 032092

SHEET TITLE

## KITCHEN PLANS AND ELEV.

DATE:	ISSUE DATE	06/20/11
RICHARD J. HEISENBOTTLE	PROJECT NO.	10-3339
FL REGISTRATION No. AR0010865	DRAWING NO.	
REGISTERED ARCHITECT		

**A1.01**







**Property Appraiser  
Information**



**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501

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## Property Record View

Alternate Key: 1001562 Parcel ID: 00001510-000000

### Ownership Details

**Mailing Address:**

MITCHELL WOLFSON FOUNDATION INC  
C/O WOLFSON LOUIS III  
9400 S DADELAND BLVD  
STE 100  
MIAMI, FL 33156

### Property Details

**PC Code:** 77 - CLUBS, LODGES (PC/LIST)

**Millage Group:** 10KW

**Affordable Housing:** No

**Section-Township-Range:** 06-68-25

**Property Location:** 205 WHITEHEAD ST KEY WEST

**Legal Description:** KW PT LOT 3 SQR 15 OR128-266-267







100E - COMMERCIAL EXEMPT	103	134	13,769.00 SF
--------------------------	-----	-----	--------------

### Building Summary

Number of Buildings: 1  
 Number of Commercial Buildings: 1  
 Total Living Area: 2352  
 Year Built: 1953

### Building 1 Details

Building Type  
 Effective Age 17  
 Year Built 1953  
 Functional Obs 0

Condition E  
 Perimeter 324  
 Special Arch 0  
 Economic Obs 0

Quality Grade 450  
 Depreciation % 23  
 Grnd Floor Area 2,352

**Inclusions:**

Roof Type  
 Heat 1  
 Heat Src 1

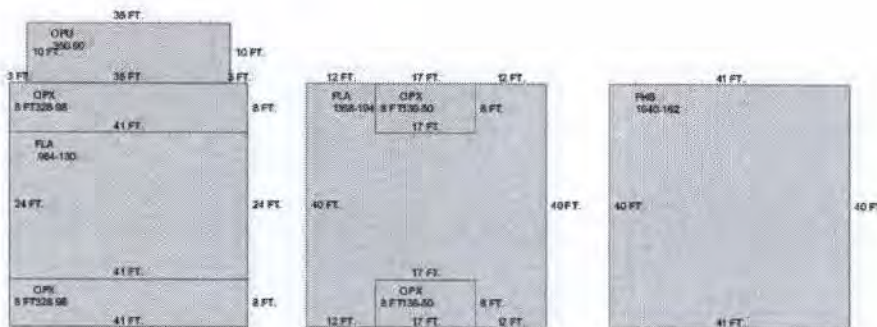
Roof Cover  
 Heat 2  
 Heat Src 2

Foundation  
 Bedrooms 0

**Extra Features:**

2 Fix Bath 0  
 3 Fix Bath 0  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 9

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 0  
 Intercom 0  
 Fireplaces 0  
 Dishwasher 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
-----	------	----------	-----------	------------	-------	-----	------------	---------------------	------



1	OPX	1	1991	328
2	FLA	1	1991	984
3	OPX	1	1991	328
4	OPU	1	1991	350
5	OPX	1	1991	136
6	FLA	1	1991	1,368
7	OPX	1	1991	136
8	FHS	1	1991	1,640

**Interior Finish:**

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	600	TOURIST ATTRAC-B-	100	N	Y
	604	TOURIST ATTRAC-B-	100	N	Y
	606	FHS	100	N	N

**Exterior Wall:**

Interior Finish Nbr	Type	Area %
194	AB AVE WOOD SIDING	100

**Misc Improvement Details**

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	UB2:UTILITY BLDG	54 SF	0	0	1973	1974	1	50
2	PT2:BRICK PATIO	6,000 SF	0	0	1973	1974	4	50
3	PT2:BRICK PATIO	132 SF	0	0	1991	1992	4	50
4	FN2:FENCES	1,784 SF	0	0	1986	1987	2	30
5	PT2:BRICK PATIO	3,200 SF	0	0	2002	2003	2	50

**Building Permits**

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
9603321	08/01/1996	11/01/1996	11,800	Commercial	PLUMBING
9603626	09/01/1996	11/01/1996	9,500	Commercial	RENOVATIONS
9700085	01/01/1997	07/01/1997	1,000	Commercial	FIRE ALARM
1 9800745	03/10/1998	01/01/1999	5,000	Commercial	PAINT FENCES/ PORCHES ETC
9901782	10/29/1999	12/04/1999	12,000	Commercial	REPLACE DOORS
0000238	02/04/2000	12/13/2000	3,500	Commercial	EXTERIOR PAINTING
0000411	02/17/2000	12/13/2000	6,500	Commercial	2 A/C SYSTEMS
0200513	03/12/2002	10/11/2002	12,000	Commercial	OLD CHICAGO BRICK
03-0029	01/09/2003	10/30/2003	6,500	Commercial	PAINT
08-0661	03/11/2008		2,200	Commercial	REPLACE 90LF OF GUTTER
08-2176	07/09/2008		30,748	Commercial	REMOVE EXISTING ROOFS & REPLACE W/WOOD SHINGLES



04-1446 05/04/2004 11/18/2004 950 Commercial POND PUMP &amp; LIGHT

**Parcel Value History**

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2010	436,609	49,387	1,652,280	2,138,276	2,138,276	2,138,276	0
2009	436,609	49,895	1,779,643	2,266,147	2,266,147	2,266,147	0
2008	447,524	50,402	3,648,785	4,146,711	4,146,711	4,146,711	0
2007	351,553	50,910	3,648,785	4,051,248	4,051,248	4,051,248	0
2006	351,553	51,418	1,170,365	1,573,336	1,573,336	1,573,336	0
2005	359,825	51,926	826,140	1,237,891	1,237,891	1,237,891	0
2004	359,810	52,620	826,140	697,121	697,121	697,121	0
2003	359,810	54,646	550,760	697,121	697,121	697,121	0
2002	359,810	32,129	550,760	697,121	697,121	697,121	0
2001	359,810	7,797	550,760	697,121	697,121	697,121	0
2000	351,118	12,104	523,222	697,121	697,121	697,121	0
1999	383,404	12,614	523,222	697,121	697,121	697,121	0
1998	256,120	13,125	523,222	697,121	697,121	697,121	0
1997	205,293	13,662	495,684	697,121	697,121	697,121	0
1996	161,746	14,172	495,684	697,121	697,121	697,121	0
1995	161,746	14,685	495,684	697,121	697,121	697,121	0
1994	161,746	15,220	495,684	697,121	697,121	697,121	0
1993	161,746	15,731	495,684	697,121	697,121	697,121	0
1992	161,746	14,831	495,684	697,121	697,121	697,121	0
1991	193,268	15,312	495,684	697,121	697,121	697,121	0
1990	136,424	15,780	450,935	697,121	697,121	697,121	0
1989	136,424	16,248	437,166	697,121	697,121	697,121	0
1988	130,685	14,324	437,166	615,478	615,478	615,478	0
1987	128,914	6,325	289,149	544,997	544,997	544,997	0
1986	129,370	6,325	289,149	424,844	424,844	424,844	0
1985	127,430	6,325	343,674	477,429	477,429	477,429	0
1984	125,940	6,325	165,228	297,493	297,493	297,493	0
1983	125,940	6,325	132,499	264,764	264,764	264,764	0
1982	121,912	6,325	132,499	260,736	260,736	260,736	0

**Parcel Sales History**

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.



There are no sales to display for this parcel.

This page has been visited 10,400 times.

Monroe County Property Appraiser  
Karl Borglum  
P.O. Box 1176  
Key West, FL 33041-1176