

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members

From: Kevin Bond, AICP, LEED Green Associate, Planner II

Through: Donald Leland Craig, AICP, Planning Director

Meeting Date: January 16, 2014

Agenda Item: **Variance – 313 Duval Street (AK # 1004472, RE # 00004300-000000) –**
A request for a variance to the minimum off-street parking requirements in order to convert an existing retail area to a new bar service area and increase the consumption area by seven seats for an existing restaurant on property located within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District pursuant to Section 108-572 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida

Request: To consider a parking variance for three (3) vehicular parking spaces to allow for the conversion of an existing retail area to a new bar service area and increase the consumption area by seven (7) seats for an existing restaurant.

Applicant: Rich Sconyers, Hard Rock International

Property Owner: Conch Shell Properties, Inc.

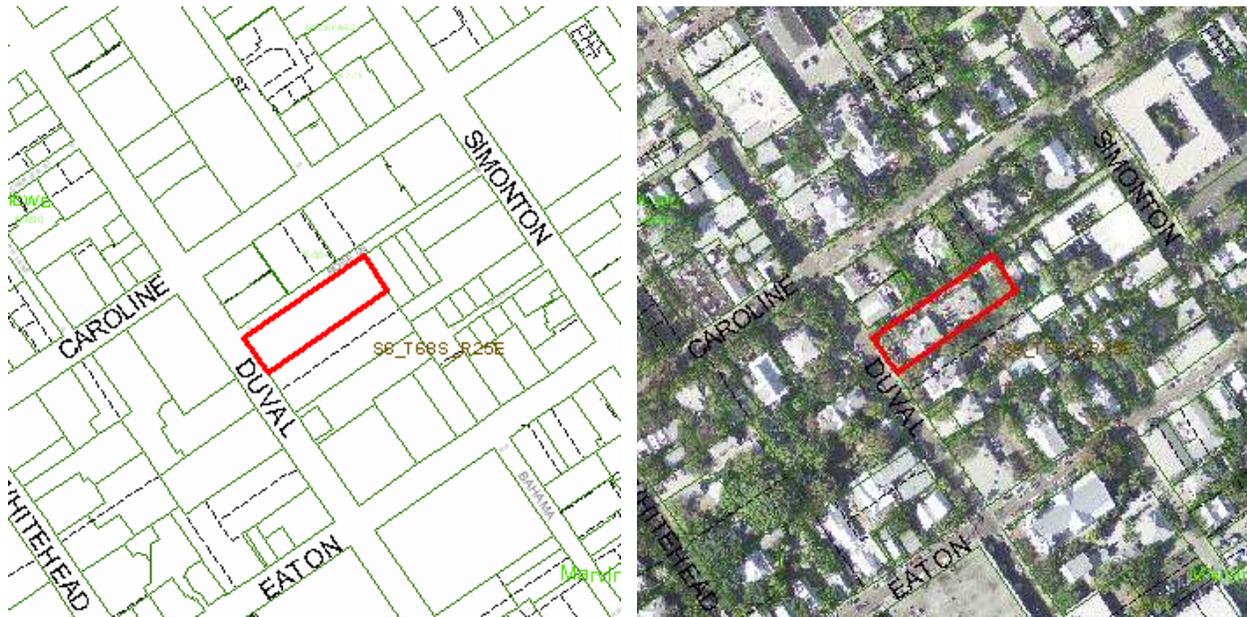
Location: 313 Duval Street (RE# 00004300-000000; AK # 1004472)

Zoning: Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1)

Background:

The property is currently used as a 192-seat restaurant by Hard Rock Café and includes a small outbuilding used for retail souvenir sales, which is located near the corner of Duval Street and Rose Lane. The applicant wishes to convert 140 square feet of the existing 420-square-foot retail building to a new bar service area. The remaining 280 square feet would continue as retail souvenir sales. As part of the proposed development, four (4) existing restaurant seats would be replaced with 11 new bar seats, for a net increase of seven (7) restaurant/bar seats. Due to the increase in restaurant consumption area, the minimum off-street parking requirement increases by three (3) vehicular parking spaces and one (1) bicycle parking space. The property is fully-

developed and there is not adequate land area for any additional off-street vehicular parking spaces.



The property is located within the historic commercial pedestrian-oriented area. Pursuant to Section 108-573 of the Land Development Regulations (LDRs) of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”), no additional off-street parking is required within the historic commercial pedestrian-oriented area if a commercial structure is the subject of a change from one type of commercial use to another type of commercial use, so long as no additional or expanded floor area is created. In this case, the proposed development would result an expansion of the restaurant consumption area by seven (7) seats. The City uses a standard of 15 square feet per seat, which results in an increase in consumption area of 105 square feet. At 105 square feet of expanded area, the total variance needed is for three (3) vehicular parking spaces.

The property currently provides 13 off-street vehicular parking spaces and racks for up to 18 off-street bicycle parking spaces. There are no existing ADA-compliant accessible parking spaces. Signs are posted reserving three parking spaces for managers and one parking space for employee of the month. See the attached parking diagram and photos of the existing off-street parking area.

It should be noted that on November 19, 2013, the Key West City Commission passed an ordinance invoking the Zoning in Progress (“ZIP”) doctrine for parking variances, which defers the acceptance and processing of new applications for up to one year. A complete application for the subject request was submitted to the City on September 3, 2013 and is not subject to the ZIP.

Request:

The applicant’s request is for a variance to the three (3) additional vehicular parking spaces to allow for the proposed development, which results in the addition of seven (7) new seats (or 105

new square feet) to the existing restaurant consumption area. The following table summarizes the City Code requirements and the applicant's variance request.

Parking Uses	Code Requirement	Existing	Proposed	Variance Request
Restaurants, bars and lounges (vehicular)	1 vehicular space per 45 square feet of serving and/or consumption area	192 seats x 15 SF per seat = 2,880 SF consumption area; 2,880 SF / 45 SF = 64 spaces	7 seats x 15 SF per seat = 105 SF consumption area; 105 SF / 45 SF = 2.33 spaces	3 vehicular spaces (2.3 spaces, rounded up)
Restaurants, bars and lounges (bicycles)	25% of vehicular spaces for bicycles	64 vehicular spaces x 0.25 = 16 bicycle spaces	2.33 vehicular spaces x 0.25 = 1 bicycle space (0.58 rounded up)	N/A. 18 existing bicycle spaces provided.

Process:

Development Review Committee Meeting:

September 26, 2013

Planning Board Meetings:

December 19, 2013 (cancelled, no quorum)

January 16, 2014

Analysis – Evaluation for Compliance With The Land Development Regulations:

The standards for considering variances are set forth in Section 90-395(a) of the City LDRs. Before any variance may be granted, the Planning Board must find all of the following:

(1) Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

The land, structures and buildings involved are located on the property within the HRCC-1 Zoning District, and were developed prior to the adoption of the current land development regulations (LDRs). However, most other land, structures and buildings within the HRCC-1 Zoning District were also developed prior to the adoption of the current LDRs. Therefore, there are no special conditions or circumstances that exist peculiar to the land, structures or buildings involved.

(2) Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Many of the existing conditions and circumstances do not result from the action or negligence of the applicant. However, the proposed development, which would increase the restaurant consumption area by seven (7) seats and 105 square feet, does result from the action of the applicant. As an alternative to seeking a variance, the applicant could convert the retail space to bar space without increasing the number of restaurant/bar seats, which would not increase the parking requirement within the historic commercial pedestrian-oriented area.

- (3) Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the Land Development Regulations to other lands, buildings or structures in the same zoning district.**

Given the existing site conditions and prior development of the property, it would be difficult for the applicant to bring the parking deficiency into full conformity with the LDRs, as is required by Code Section 108-575(5). Unlike some other properties in the same zoning district, the subject property does provide 13 vehicular and 18 bicycle parking spaces. That being said, the applicant could propose the development in a way that would not increase the parking requirement above that for the current uses of the property by not adding new restaurant/bar seating.

- (4) Hardship conditions exist. That literal interpretation of the provisions of the Land Development Regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

The applicant currently enjoys the use of the property as a restaurant with an indoor bar, which is a common permitted use within the HRCC-1 Zoning District. Denial of the requested variance would not deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.

- (5) Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.**

The proposed development could be designed in a way so as to not increase the parking requirement and thus the variance request, by maintaining the current number of restaurant seats. Furthermore, the applicant currently has reasonable use of the land, building and structures prior to the proposed development.

- (6) Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the Land Development Regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

Due to not being in compliance with all of the other standards for considering variances, the granting of the requested variance to off-street parking spaces would not be in compliance with this standard.

- (7) Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

The existing nonconforming uses of other property are not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the HRCC-1 Zoning District, and no permitted use of lands, structures, or buildings in other zoning districts are considered grounds for the issuance of a variance.

Pursuant to Code Section 90-395(b), the Planning Board shall make factual findings regarding the following:

(1) That the standards established by Code Section 90-395 have been met by the applicant for a variance.

The standards for the granting of variances established by Code Section 90-395 have not all been met by the applicant.

(2) That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

As of the writing of this report, public notices were not yet required. Staff is not aware of any objections at this time.

RECOMMENDATION:

Based on the above analysis of the standards for considering variances established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the requested variances be **DENIED**.

However, if the Planning Board approves the requested variance, the Planning Department recommends the following conditions:

Conditions required to be completed prior to the issuance of a building permit:

1. The owner shall obtain a Certificate of Appropriateness for the proposed development.

Conditions required to be completed prior to a Certificate of Occupancy and/or final inspection:

2. One existing off-street parking space shall be adapted to provide one ADA-compliant accessible parking space with an access aisle in a location and design to the satisfaction of the city building official.

**PLANNING BOARD
RESOLUTION NO.**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING A VARIANCE TO THE MINIMUM OFF-STREET PARKING REQUIREMENTS IN ORDER TO INCREASE THE RESTAURANT/BAR CONSUMPTION AREA BY SEVEN (7) SEATS ON PROPERTY LOCATED AT 313 DUVAL STREET (RE # 00004300-000000; AK # 1004472) WITHIN THE HISTORIC RESIDENTIAL COMMERCIAL CORE – DUVAL STREET GULFSIDE (HRCC-1) ZONING DISTRICT PURSUANT TO SECTION 108-572(9) OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the applicant proposes to convert an existing retail area to a new bar service area and increase the consumption area by seven (7) seats or 105 square feet for an existing restaurant (the “Proposed Development”) on property located at 313 Duval Street (RE # 00004300-000000; AK # 1004472) within the Historic Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District (the “Property”); and

WHEREAS, Section 108-572 of the Land Development Regulations (the “LDRs”) of the Code of Ordinances (the “Code”) of the City of Key West (the “City”) provides for the minimum off-street parking requirements for land-use types; and

WHEREAS, the Property is located within the historic commercial pedestrian-oriented area of the City pursuant to Section 108-573 of the LDRs; and

WHEREAS, Code Section 90-391 allows applicants to request variances to the Land Development Regulations through the Planning Board; and

WHEREAS, the applicant requests a variance to three (3) vehicular parking spaces generated

by the Proposed Development; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on January 16, 2014; and

WHEREAS, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

WHEREAS, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

WHEREAS, the Planning Board finds that granting the variances requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

WHEREAS, the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands,

structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variances; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. An approval by Resolution of the Key West Planning Board for a variance to three (3) vehicular parking spaces generated by the Proposed Development according to the attached plans dated August 30, 2014 by Morris Architects, on property located at 313 Duval Street (RE # 00004300-000000; AK # 1004472) in the HRCC-1 Zoning District pursuant to Code Section 108-572(9) with the following conditions of approval:

Conditions required to be completed prior to the issuance of a building permit:

1. The owner shall obtain a Certificate of Appropriateness for the proposed development.

Conditions required to be completed prior to a Certificate of Occupancy and/or final inspection:

2. One existing off-street parking space shall be adapted to provide one ADA-compliant accessible parking space with an access aisle in a location and design to the satisfaction of the city building official.

Section 3. It is a condition of these variances that full, complete and final application for all conditions of this approval for any use and occupancy for which these variances are wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

Section 4. The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate these variances, which variances shall be of no force or effect.

Section 5. These variances do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 6. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 7. This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of

Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this ____ day of _____, 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director;

Richard Klitenick, Planning Board Chairman

Date

Attest:

Donald Leland Craig, AICP, Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

_____ Chairman
_____ Planning Director



Variance Application
 City of Key West Planning Department
 3140 Flagler Avenue, Key West, FL 33040
 (305) 809-3720



Variance Application

Please completely fill out this application and attach all necessary documents. This will help our staff to process your request quickly and obtain necessary information without delay. If you have any questions please call 305-809-3720 to schedule an appointment with a Planner.

Please print or type a response to the following:

1. Site Address 313 DUVAL ST
2. Name of Applicant BICK SCOVYER, HARD ROCK CAFE
3. Applicant is: Owner _____ Authorized Representative X
4. Address of Applicant 6100 OLD PARK CANE
ORLANDO, FL 32835
5. Phone # of Applicant 407-445-7625 Mobile# 407-810-8497
6. E-Mail Address BICK-SCOVYER@HARDROCK.COM
7. Name of Owner, if different than above FOUAD SATANA, CONOH SHAW PRO
8. Address of Owner 905 VON PHILSTER ST.
9. Phone # of Owner _____
10. Email Address _____
11. Zoning District of Parcel _____ RE# _____
12. Description of Proposed Construction, Development, and Use
CONVERTING 100 SQFT OF EXISTING RETAIL AREA
TO BAR SERVICE AREA. NO ADDITIONAL AREA
IS BEING ADDED.
13. List and describe the specific variance(s) being requested:
NO ADDITIONAL PARKING SPACES ARE BEING
ADDED.

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



14. Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback				
Side Setback				
Street Side Setback				
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats				

15. Is Subject Property located within the Historic District? Yes _____ No X
 If Yes, attach HARC approval and approved site plans

Meeting Date _____ HARC Approval # _____

Variance Application
City of Key West Planning Department
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16. Are there any easements, deed restrictions or other encumbrances attached to the subject property? Yes _____ No If Yes, please describe and attach relevant documents

17. Will the work be within the dripline (canopy) of any tree on or off the property?
YES _____ NO

If yes, provide date of landscape approval, and attach a copy of such approval.

This application is pursuant to Section 106-51 & 52 City of Key West Land Development Regulations.

If the applicant would like additional information, electronic version of the City's Code of Ordinances can be found either through www.keywestcity.com, Planning Department archives or at www.municode.com. Once there, search Online Library/Florida/Key West/Chapter 122.

***Please note, variance approvals are quasi-judicial hearings, and it is improper for the owner or signatory to speak to a Planning Board member or City Commissioner about the hearing.**

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Variance Application
City of Key West Planning Department
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(305) 809-3720



4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

WE ARE NOT ADDING ANY ADDITIONAL AREA TO THE EXISTING PROPERTY AND THERE IS NO OTHER AREA AVAILABLE TO ADD ADDITIONAL PARKING SPACE.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an entity)

I, RICK SCONYERS, in my capacity as SR DIR OF DESIGN
(print name) *(print position; president, managing member)*

of HARD ROCK INTERNATIONAL
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

313 DUVAL ST. KEY WEST, FL 33040
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Rick Sconyers
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this January 10, 2014 by
date

Rick Sconyers
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Teresa Steen
Notary's Signature and Seal

Teresa Steen
Name of Acknowledger typed, printed or stamped



EE026906
Commission Number, if any

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, FOUAD SAMAHIA as
Please Print Name of person with authority to execute documents on behalf of entity

PRESIDENT of CONCH SHELL PROPERT., INC.
Name of office (President, Managing Member) Name of owner from deed

authorize RICK SCONYERS, HARD ROCK INT.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf on entity owner

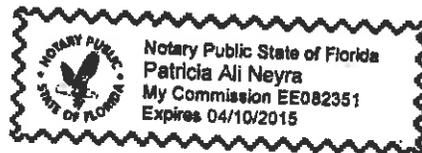
Subscribed and sworn to (or affirmed) before me on this 26 AUG 2013 by
date

FOUAD SAMAHIA
Name of Authorized Representative

He/She is personally known to me or has presented DRIVERS license as identification.

Patricia Ali Neyra
Notary's Signature and Seal

PATRICIA ALI NEYRA
Name of Acknowledger typed, printed or stamped



EE082351
Commission Number, if any

870446

OFF REC 1334 PAGE 0606

7700.00
6.00
7706.00

THIS INDENTURE

made December 12, 1994, between

FILED FOR RECORD

The Shell Man, Inc., a Florida corporation

of the County of Monroe
in the State of Florida

'94 DEC 19 12:06

party of the first part, whose post office address is
P.O. Box 1917, Key Largo, FL 33037

CLERK OF CIR. CT. DISTRICT
MONROE COUNTY FLA.

7700.00 12-19-94
DANNY L. HOLYACE, CLERK CIR. CT.

Couch Shell Properties, Inc., a Florida corporation

party of the second part, whose post office address is
1401 Simonton Street, Key West, Florida 33040
and whose taxpayer identification number is

- Recording Information -

Witnesseth: That the said party of the first part, for and in consideration of the sum of Ten and NO/100 (\$10.00) Dollars and other good and valuable consideration, to him in hand paid by the party of the second part, the receipt of which is hereby acknowledged, has granted, bargained and sold to the party of the second part, his heirs and assigns forever, the following described land, to wit:

In the City of Key West, and being known according to William A. Whitehead's Map of said City of Key West, delineated in February 1829, as all that part of Square 24:

COMMENCING at the corner of Duval Street and Rose Lane and running thence along the line of Duval Street in a Southeasterly direction 71 feet; thence at right angles in a Northeasterly direction 242 feet; thence at right angles in a Northwesterly direction 71 feet to Rose Lane; thence along the line of Rose Lane in a Southwesterly direction 242 feet to the Point of Beginning.

Recorded in Official Records
in Monroe County, Florida
Record 10447-1
296073 I. COLRAGN
Clerk Circuit Court

(For information Only: Property Appraiser's Parcel I.D. Number is 0000 430-00000)

Subject to easements, restrictions and reservations of record and for taxes for the current year.

And the said party of the first part does hereby warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

Signed, sealed and delivered in the presence of:

Sign [Signature]
Print CLAUDE T. TATE
Sign [Signature]
Print PATRICIA G. WILLIAMS

The Shell Man, Inc.
Sign [Signature] (Seal)
Print Lawrence W. Wade, President
Sign [Signature] (Seal)
Print Louise Wade, Secretary

STATE OF FLORIDA, COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 12TH day of December, 19 94, by Lawrence W. Wade, President of The Shell Man, Inc., Louise Wade, Secretary who is to personally known to me or who has produced _____

as identification and who (did) (did not) take an oath.

NOTARY PUBLIC:

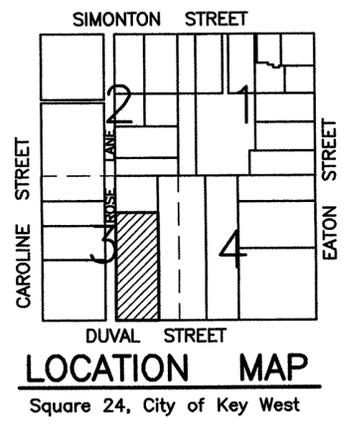
Sign [Signature]

Commission expiration:
Commission number:
Printed Name:

(NOTARIAL SEAL)
Patricia J. Williams
Notary Public, State of Florida
Commission No. CC 960111
My Commission Expires 12/30/97
Produced by The Policy Service A Division of Co.



N.T.S.



LEGAL DESCRIPTION:

In the City of Key West and being known according to William A. Whitehead's Map of said City of Key West, delineated in February 1829, as all that part of Square 24: Commencing at the corner of Duval Street and Rose Lane and running thence along the line of Duval Street in a Southeasterly direction 71 feet; thence at right angles in a Northeasterly direction 242 feet; thence at right angles in a Northwesterly direction 71 feet to Rose Lane; thence along the line of Rose Lane in a Southwesterly direction 242 feet to the Point of Beginning. Said lands situate, lying and being in Monroe County, Florida.

SURVEYOR'S NOTES:

North arrow based on assumed median Parking
 3.4 denotes existing elevation 14 Spots
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: Basic Elevation: 14.324

Monumentation:

- ⊙ = set 1/2" Iron Pipe, P.L.S. No. 2749
- = Found 1/2" Iron Bar, P.L.S. No. 1587
- ▲ = Found P.K. Nail, P.L.S. No. 2749
- △ = Set P.K. Nail, P.L.S. No. 2749

Abbreviations:

- | | | |
|--------------------|-----------------------|---------------------------------|
| Sty. = Story | N.T.S. = Not to Scale | P.O.C. = Point of Commence |
| R/W = Right-of-Way | C = Centerline | P.O.B. = Point of Beginning |
| fd. = Found | Elev. = Elevation | Bal. = Balcony |
| p. = Plat | B.M. = Bench Mark | C.B.S. = Concrete Block Stucco |
| m. = Measured | conc. = concrete | cov'd. = Covered |
| o/h = Overhead | I.P. = Iron Pipe | F.F.L. = Finish Floor Elevation |
| wd. = Wood | I.B. = Iron Bar | |
| | A/C = Air Conditioner | |

Field Work performed on: 8/27/13

CERTIFICATION:

I HEREBY CERTIFY that the attached **BOUNDARY SURVEY** is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
 Professional Land Surveyor & Mapper No. 2749
 Professional Engineer No. 36810
 State of Florida

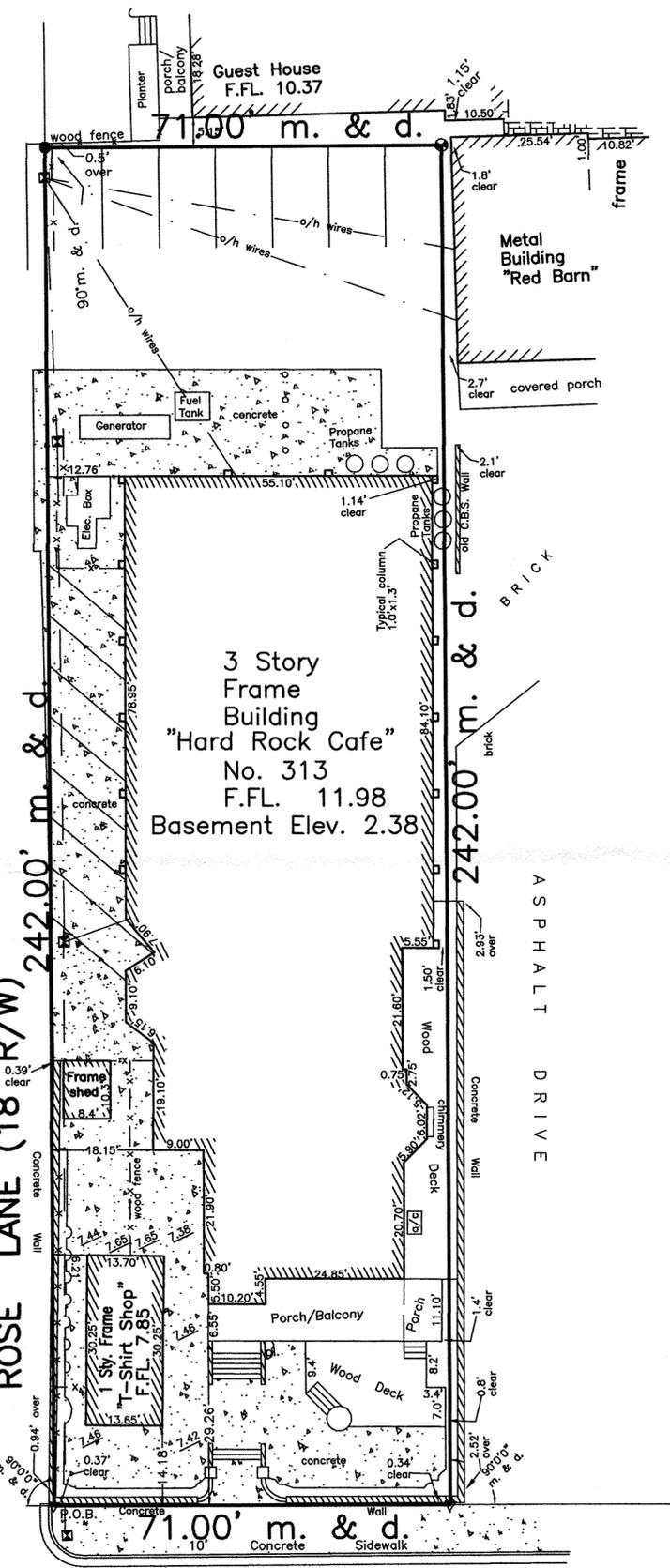
NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

CAROLINE STREET

106' m. & d.

ROSE LANE (18' R/W) 242.00' m. & d.

71.00' m. & d.
 2' curb & gutter
DUVAL STREET
 (50' R/W)



Hard Rock Cafe 313 Duval Street, Key West, Florida 33040			
BOUNDARY SURVEY		Dwn No.: 13-335	
Scale: 1"=20'	Ref. 193-57	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 8/17/07	file	Flood Zone: AE	Flood Elev. 6'
REVISIONS AND/OR ADDITIONS			
8/27/13: F.F.L. T shirt shop, grades, parking			
f:\dwg\kw\block 24\hard rock cafe			

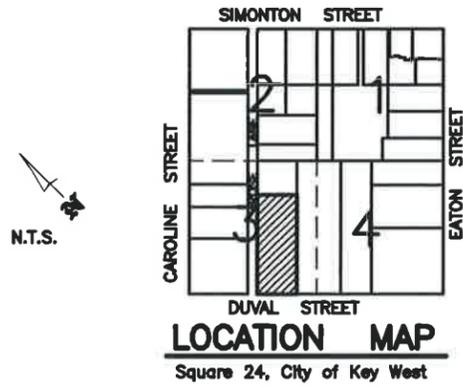
Block 24

ISLAND SURVEYING INC.

ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive
Suite 201
Key West, Fl. 33040

(305) 293-0466
Fax: (305) 293-0237
fhildeb1@bellsouth.net
L.B. No. 7700



LEGAL DESCRIPTION:
In the City of Key West and being known according to William A. Whitehead's Map of said City of Key West, delineated in February 1829, as all that part of Square 24: Commencing at the corner of Duval Street and Rose Lane and running thence along the line of Duval Street in a Southeasterly direction 71 feet; thence at right angles in a Northeasterly direction 242 feet; thence at right angles in a Northwesterly direction 71 feet to Rose Lane; thence along the line of Rose Lane in a Southwesterly direction 242 feet to the Point of Beginning. Said lands situate, lying and being in Monroe County, Florida.

SURVEYOR'S NOTES:
North arrow based on assumed median Parking
3.4 denotes existing elevation 14 Spots
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: Basic Elevation: 14.324

Monumentation:
⊙ = set 1/2" Iron Pipe, P.L.S. No. 2749
● = Found 1/2" Iron Bar, P.L.S. No. 1587
▲ = Found P.K. Nail, P.L.S. No. 2749
△ = Set P.K. Nail, P.L.S. No. 2749

Abbreviations:
Sty. = Story
R/W = Right-of-Way
fd. = Found
p. = Plat
m. = Measured
o/h = Overhead
wd. = Wood
N.T.S. = Not to Scale
C = Centerline
Elev. = Elevation
B.M. = Bench Mark
conc. = concrete
I.P. = Iron Pipe
I.B. = Iron Bar
A/C = Air Conditioner
P.O.C. = Point of Commence
P.O.B. = Point of Beginning
Bal. = Balcony
C.B.S. = Concrete Block Stucco
cov'd. = Covered
F.F.L. = Finish Floor Elevation

Field Work performed on: 8/27/13

CERTIFICATION:
I HEREBY CERTIFY that the attached **BOUNDARY SURVEY** is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

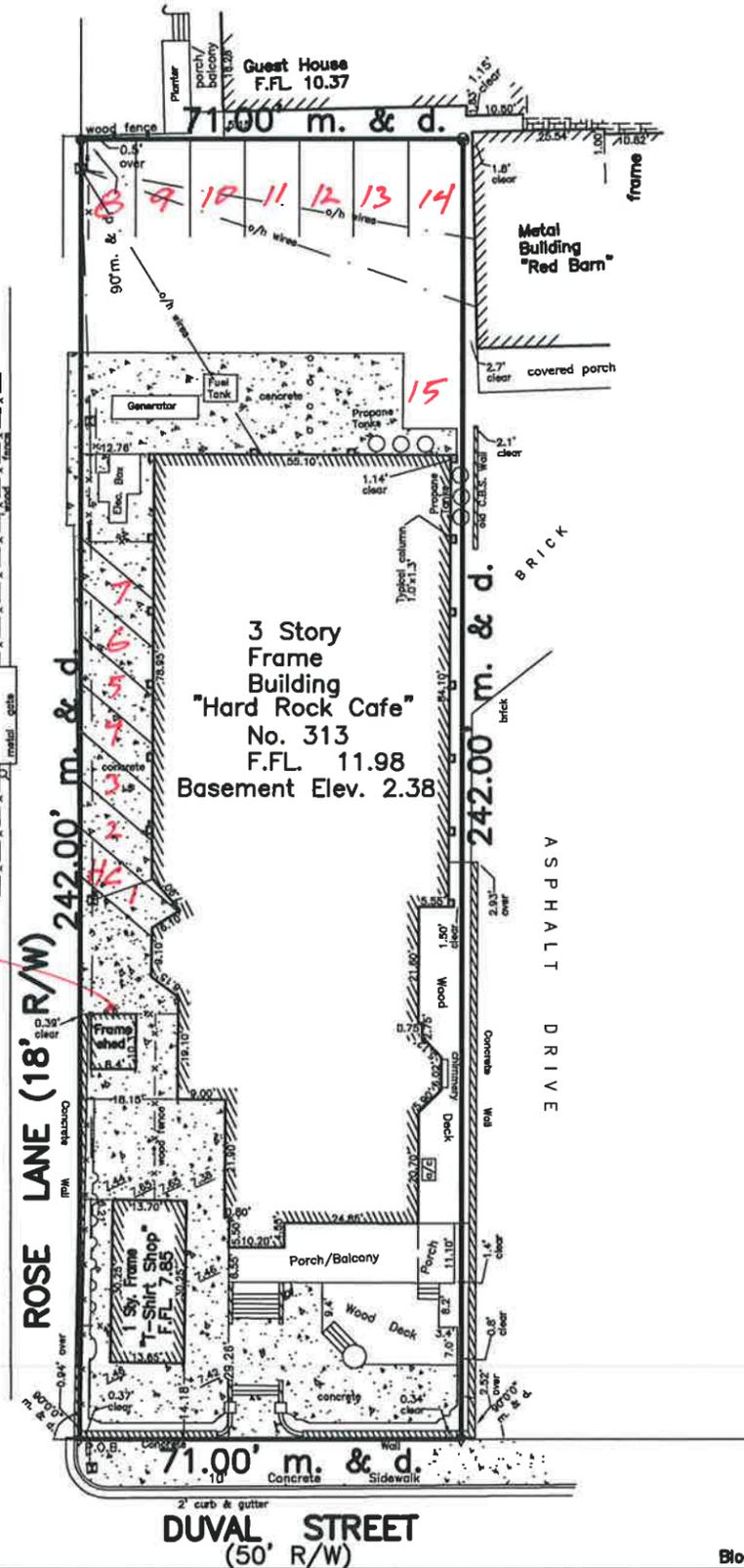
FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

CAROLINE STREET

16 SPACE
BIKE RACK
EXISTING

106' m. & d.



Hard Rock Cafe 313 Duval Street, Key West, Florida 33040			
BOUNDARY SURVEY		Dwn No.: 13-335	
Scale: 1"=20'	Ref. 193-57	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 8/17/07	File	Flood Zone: AE	Flood Elev. 6'
REVISIONS AND/OR ADDITIONS			
8/27/13: F.F.L. T shirt shop, grades, parking			
f:\dwg\kw\block 24\hard rock cafe			

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L.B. No. 7700

Block 24

PARKING



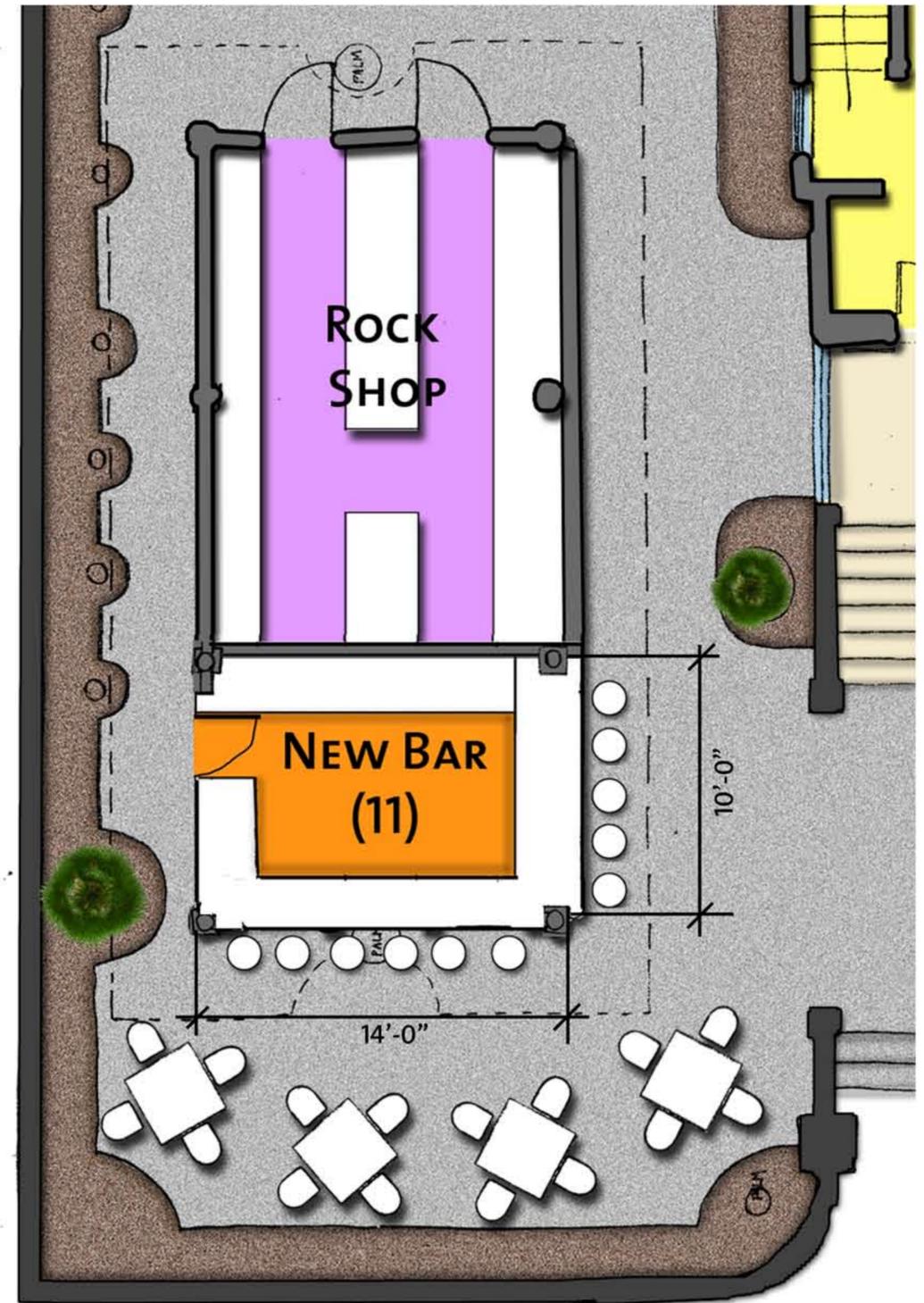
HARD ROCK CAFE - KEY WEST, FL

EXISTING FLOOR PLAN



FLOOR PLAN

SCALE: 1/8" = 1'-0"



ENLARGED FLOOR PLAN

SCALE: 1/4" = 1'-0"

HARD ROCK CAFE - KEY WEST, FL

PROPOSED FLOOR PLAN - NEW BAR

HARD ROCK CAFE - RETAIL SHOP ALTERATIONS KEY WEST, FLORIDA

□□□□□□□A□□□□□□□□

□□□□□ □□□□□□□□□□A

ISSUE FOR PERMIT 30 AUGUST 2013

□□□□□□□□□AM

OWNER

HARD ROCK CAFE INTERNATIONAL
6100 OLD PARK LANE
ORLANDO, FLORIDA 32835
PHONE (407) 445 - 7625

ARCHITECT

MORRIS
ARCHITECTS

622 E. Washington St., Suite 500 | Orlando, Florida 32801 USA
Phone 407.839.0414 | Fax 407.839.0410
www.morrisarchitects.com AAC 001524 LC 0000359

STRUCTURAL ENGINEER

PAUL J. FORD AND COMPANY
3670 MAGUIRE BLVD
ORLANDO, FLORIDA 32803
PHONE: (407) 898-9039

FOOD SERVICE CONSULTANT

SSA
5701 PARK BLVD.
PINELLAS PARK, FLORIDA 33781
PHONE: (727) 549-8408

HARD ROCK CAFE -
RETAIL SHOP ALTERATIONS
ISSUE FOR PERMIT
30 AUGUST 2013

HARD ROCK CAFE
KEY WEST, FLORIDA
PERMIT PACKAGE

Morris Project Number
R301308.01

COVER

A-000

AA	ALUMINUM ANGLE	MA	MASONRY
AB	ALUMINUM BRACKET	MB	MASONRY BRICK
AC	ALUMINUM CHANNEL	MC	MASONRY CONCRETE
AD	ALUMINUM DRAIN	MD	MASONRY DRAIN
AE	ALUMINUM END BRACKET	ME	MASONRY EXTERIOR
AF	ALUMINUM FINISH	MF	MASONRY FINISH
AG	ALUMINUM GROUND ANGLE	MG	MASONRY GROUND
AH	ALUMINUM HANGING BRACKET	MH	MASONRY HANGING
AI	ALUMINUM INSULATOR	MI	MASONRY INSULATOR
AJ	ALUMINUM JOINT	MJ	MASONRY JOINT
AK	ALUMINUM KICKER	MK	MASONRY KICKER
AL	ALUMINUM LATH	ML	MASONRY LATH
AM	ALUMINUM MOUNTING BRACKET	MM	MASONRY MOUNTING
AN	ALUMINUM NAIL	MN	MASONRY NAIL
AO	ALUMINUM ORNAMENT	MO	MASONRY ORNAMENT
AP	ALUMINUM PLATE	MP	MASONRY PLATE
AQ	ALUMINUM QUARTER ROUND	MQ	MASONRY QUARTER ROUND
AR	ALUMINUM RAIL	MR	MASONRY RAIL
AS	ALUMINUM SILL	MS	MASONRY SILL
AT	ALUMINUM TIE	MT	MASONRY TIE
AV	ALUMINUM VEE	MV	MASONRY VEE
AW	ALUMINUM WIRE	MW	MASONRY WIRE
AX	ALUMINUM X	MX	MASONRY X
AY	ALUMINUM Y	MY	MASONRY Y
AZ	ALUMINUM Z	MZ	MASONRY Z
BA	BALANCE	MA	MASONRY ANGLE
BB	BALANCE BRACKET	MB	MASONRY BRICK
BC	BALANCE CHANNEL	MC	MASONRY CONCRETE
BD	BALANCE DRAIN	MD	MASONRY DRAIN
BE	BALANCE END BRACKET	ME	MASONRY EXTERIOR
BF	BALANCE FINISH	MF	MASONRY FINISH
BG	BALANCE GROUND ANGLE	MG	MASONRY GROUND
BH	BALANCE HANGING BRACKET	MH	MASONRY HANGING
BI	BALANCE INSULATOR	MI	MASONRY INSULATOR
BJ	BALANCE JOINT	MJ	MASONRY JOINT
BK	BALANCE KICKER	MK	MASONRY KICKER
BL	BALANCE LATH	ML	MASONRY LATH
BM	BALANCE MOUNTING BRACKET	MM	MASONRY MOUNTING
BN	BALANCE NAIL	MN	MASONRY NAIL
BO	BALANCE ORNAMENT	MO	MASONRY ORNAMENT
BP	BALANCE PLATE	MP	MASONRY PLATE
BQ	BALANCE QUARTER ROUND	MQ	MASONRY QUARTER ROUND
BR	BALANCE RAIL	MR	MASONRY RAIL
BS	BALANCE SILL	MS	MASONRY SILL
BT	BALANCE TIE	MT	MASONRY TIE
BU	BALANCE VEE	MV	MASONRY VEE
BV	BALANCE WIRE	MW	MASONRY WIRE
BW	BALANCE X	MX	MASONRY X
BX	BALANCE Y	MY	MASONRY Y
BY	BALANCE Z	MZ	MASONRY Z
CA	CALCULATED	MA	MASONRY ANGLE
CB	CALCULATED BRACKET	MB	MASONRY BRICK
CC	CALCULATED CHANNEL	MC	MASONRY CONCRETE
CD	CALCULATED DRAIN	MD	MASONRY DRAIN
CE	CALCULATED END BRACKET	ME	MASONRY EXTERIOR
CF	CALCULATED FINISH	MF	MASONRY FINISH
CG	CALCULATED GROUND ANGLE	MG	MASONRY GROUND
CH	CALCULATED HANGING BRACKET	MH	MASONRY HANGING
CI	CALCULATED INSULATOR	MI	MASONRY INSULATOR
CJ	CALCULATED JOINT	MJ	MASONRY JOINT
CK	CALCULATED KICKER	MK	MASONRY KICKER
CL	CALCULATED LATH	ML	MASONRY LATH
CM	CALCULATED MOUNTING BRACKET	MM	MASONRY MOUNTING
CN	CALCULATED NAIL	MN	MASONRY NAIL
CO	CALCULATED ORNAMENT	MO	MASONRY ORNAMENT
CP	CALCULATED PLATE	MP	MASONRY PLATE
CQ	CALCULATED QUARTER ROUND	MQ	MASONRY QUARTER ROUND
CR	CALCULATED RAIL	MR	MASONRY RAIL
CS	CALCULATED SILL	MS	MASONRY SILL
CT	CALCULATED TIE	MT	MASONRY TIE
CU	CALCULATED VEE	MV	MASONRY VEE
CV	CALCULATED WIRE	MW	MASONRY WIRE
CW	CALCULATED X	MX	MASONRY X
CX	CALCULATED Y	MY	MASONRY Y
CY	CALCULATED Z	MZ	MASONRY Z

SECTION	ELEVATION
	GRADE/EARTH
	GRAVEL
	SAND
	CONCRETE
	PRECAST CONCRETE
	CMU
	BRICK
	CAST/OUT STONE
	NATURAL STONE
	STEEL
	ALUMINUM
	BRASS/BRONZE
	CONT. WOOD BLOCKING
	DISCONT. WOOD SHIM
	FINISHED WOOD
	PLYWOOD
	SPRAYED FIREPROOFING
	BATTEL/NET INSULATION
	RIGID INSULATION
	ROOF DECK INSULATION
	METAL LATH & PLASTER
	GYPSUM SHEATHING
	GYPSUM WALLBOARD
	BACHER ROD & SEALANT
	JOINT FILLER
	ACOUS. CEILING
	PLASTIC LAMINATE
	CERAM. COUNTRY TILE
	CARPET
	GLASS/MIRROR

SYMBOLS	DESCRIPTION
	PLAN NORTH
	NORTH ARROW
	ENLARGED DETAIL REFERENCE
	TITLE MARK
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	DIMENSIONS
	MATCH LINE
	REVISION DELTA AND CLOUD
	VERTICAL ELEVATION
	PARTITION TYPE
	WINDOW TYPE
	DOOR IDENTIFICATION
	DOOR IDENTIFICATION IS DESIGNATED BY THE ROOM THE CIRCLE KEY IS IN
	SHEET NOTE RE. NOTE LIST EACH SHEET
	KEYNOTE
	FINISH TAG

SHEET INDEX			
SHEET NO.	SHEET TITLE	REVISION	DATE ISSUED
GENERAL			
A-00	COVER SHEET		06/02/2013
A-01	DRAWING INDEX, ABBREV. SYMBOLS & GENERAL NOTES		06/02/2013
A-10	SITE PLAN, LIFE SAFETY PLAN, & CODE SUMMARY		06/02/2013
ARCHITECTURAL			
A-101	FLOOR PLANS		06/02/2013
A-102	REFLECTED CEILING PLAN		06/02/2013
A-103	ROOF PLAN		06/02/2013
A-200	EXTERIOR ELEVATIONS - DEMOLITION		06/02/2013
A-201	EXTERIOR ELEVATIONS		06/02/2013
A-301	BUILDING SECTION & DETAILS		06/02/2013
STRUCTURAL			
S-001	GENERAL NOTES		06/02/2013
S-101	PLANS & SECTIONS		06/02/2013
S-201	SECTIONS		06/02/2013
FOOD SERVICE			
FS-1	FOOD SERVICE EQUIPMENT PLAN AND SCHEDULE		06/02/2013
FS-2	FOOD SERVICE EQUIPMENT UTILITY ROUGH - INB		06/02/2013

GENERAL NOTES:

- COORDINATE ALL IN SLAB FLOOR SINGS & DRINS WITH FOOD SERVICE DRAWINGS.
- REFERENCE STRUCTURAL DRAWINGS & NOTES RE. FLOOR SLAB DEMOLITION REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO OWNER & ARCHITECT.
- ALL NEW WOOD SIDING, STANDING & RUNNING WOOD TRIM & WOOD DOORS TO BE PAINTED & STAINED TO MATCH EXISTING PAINT COLOR. DOWN DOWN SHAPES TO BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO PAINTING.

SHEET NOTES:

SYMBOLS:

MORRIS ARCHITECTS

602 E. Washington St., Suite 600 | Orlando, Florida 32801 USA
 Phone: 407.881.0414 | Fax: 407.881.0410
 www.morrisarch.com | AIA 000288 | LC 000288

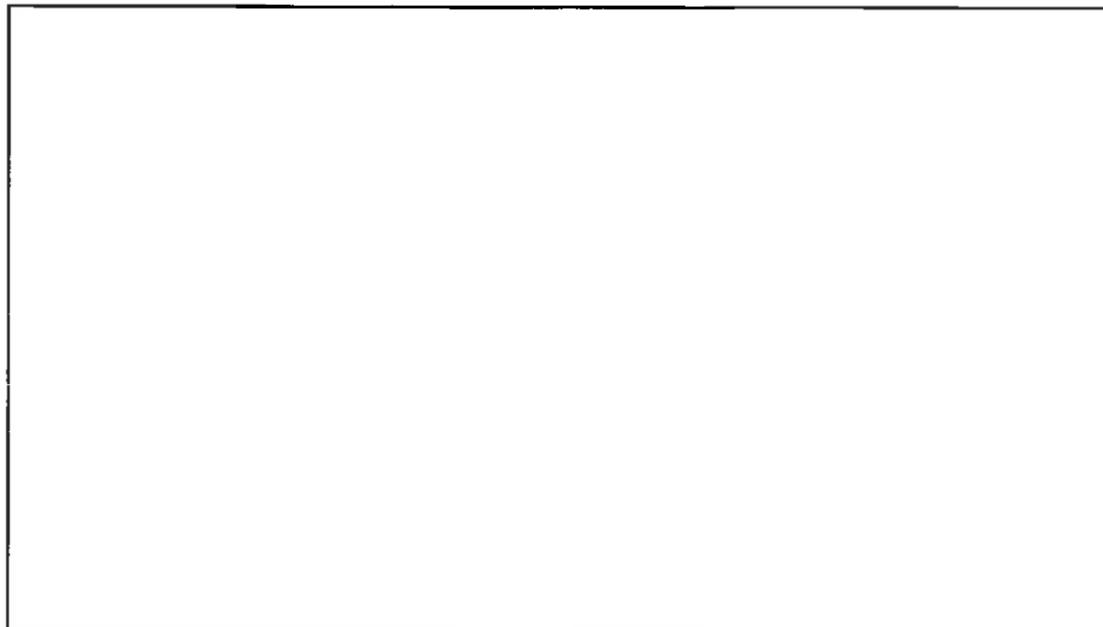
Project Name
PAUL J. FORD AND COMPANY
 STRUCTURAL ENGINEER
SSA
 FOOD SERVICE CONSULTANT

Project Name
HARD ROCK CAFE
RETAIL SHOP ALTERATIONS
KEY WEST, FLORIDA

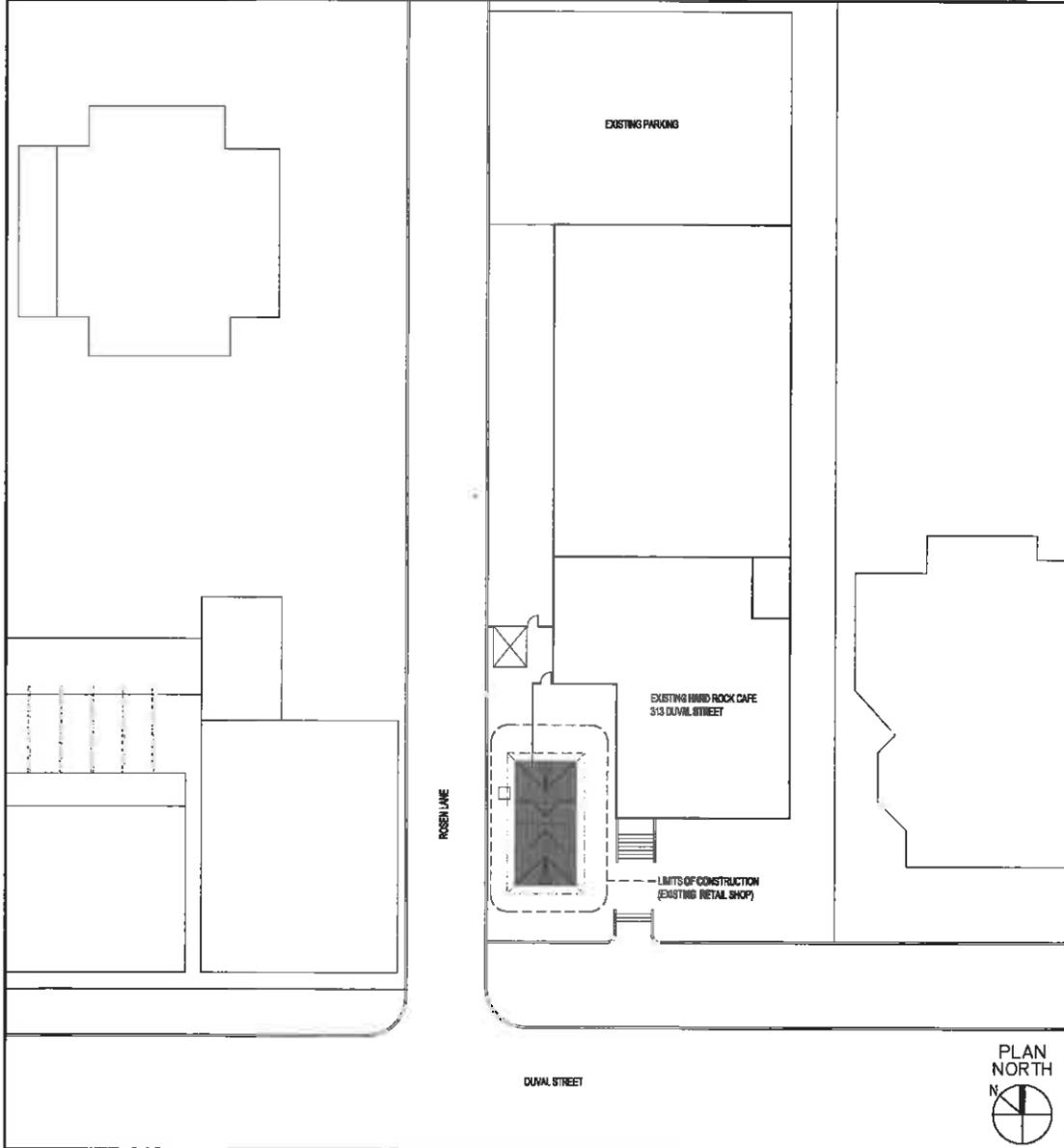
Project Number
RS01308.01

Drawing Name
**DRAWING INDEX, ABBREV.,
 SYMBOLS & GENERAL NOTES**

Drawing Number
A-001



NOT USED Scale: N.T.S. 04



SITE PLAN Scale: 1" = 20' 03

APPLICABLE CODES		
Building:	FLORIDA BUILDING CODE - EXISTING BLDG.	Edition: 2010
	IFPA 101 LIFE SAFETY CODE	Edition: 2009
Mechanical:	FLORIDA MECHANICAL CODE	Edition: 2010
Plumbing:	FLORIDA PLUMBING CODE	Edition: 2010
Gas:	FLORIDA FUEL GAS CODE	Edition: 2010
Electrical:	NATIONAL ELECTRIC CODE	Edition: 2008
Fire:	FLORIDA FIRE PREVENTION CODE	Edition: 2010
A.D.A.:	FLORIDA ACCESSIBILITY CODE	Edition: 2010

OCCUPANCY	
Occupancy(ies) / Group Classification:	MERCANTILE (GROUP M), RETAIL AND DRINKING ESTABLISHMENT (OCCUPANT LOAD LESS THAN 50)
Total Gross Floor Area:	388 S.F. (EXISTING AREA, NO ADDED SQUARE FOOTAGE)
Bar Floor Area:	110 S.F. (200 S.F. GROSS PER PERSON)
Retail Floor Area:	230 S.F. (BUSINESS AREA = 100 S.F. GROSS PER PERSON)

CONSTRUCTION		
Type of Construction:	TYPE V-B	Protected or Unprotected: UNPROTECTED
Sprinklered or Non-sprinklered:	NON-SPRINKLERED	
Max. Building Height:	40 FT	Max. No. of Stories: 1
Max. Floor Area:	6,000 S.F. (TABLE 503)	

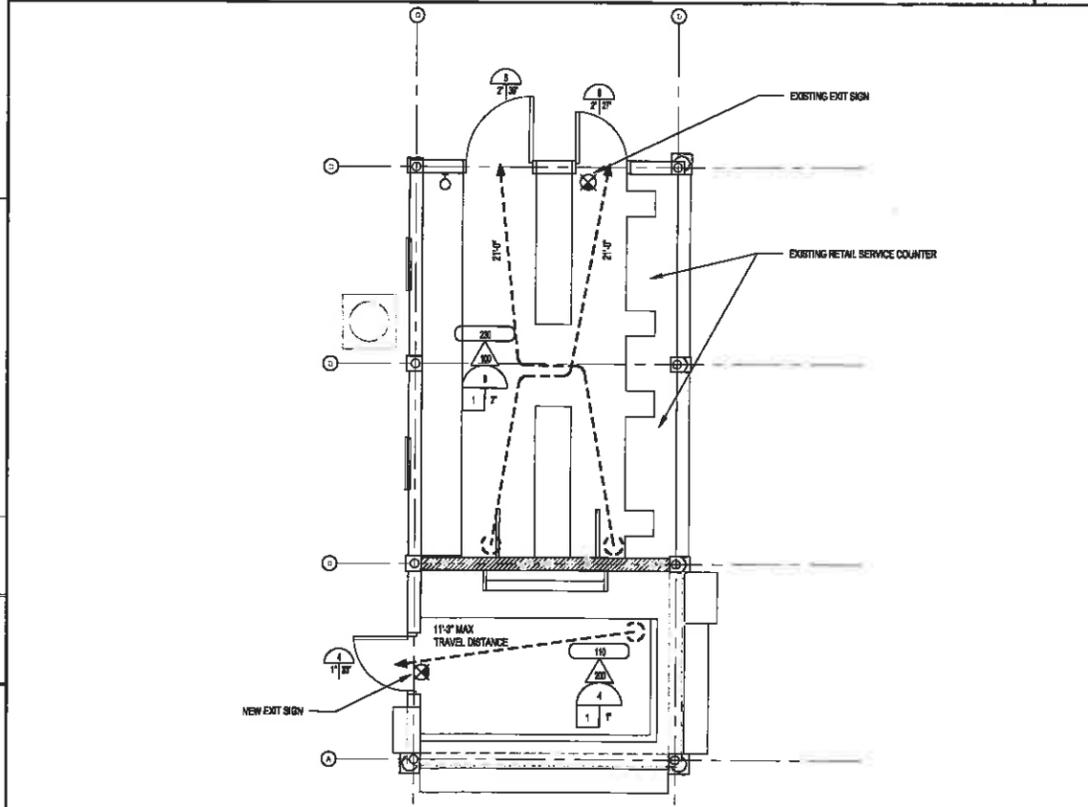
FIRE PROTECTION		
FIRE PROTECTION REQUIREMENTS: (TABLE 601)		
Interior Bearing:	NR	Interior Non-bearing: NR
Columns:	NR	Beams, girders, trusses: NR
Floor Assembly:	-	Roof / Ceiling Assembly: NR

EXTERIOR NON-BEARING WALL(S) RATING / % PERMITTED OPENINGS:			
North:	NR	NL	%
West:	NR	NL	%
South:	NR	NL	%
East:	NR	NL	%

MINIMUM INTERIOR FINISH CLASS: (TABLE 803.5)	
Vertical/Horizontal Exit:	A corridors: B Area/Room: C Floor: FBC 804

EXITS		
Minimum Number of Exits:	1	Maximum Travel Distance: 150 FT
Maximum Dead End Hall:	20 FT	Min. Corridor Width: 44" MIN

CODE SUMMARY Scale: N.T.S. 02



LIFE SAFETY PLAN Scale: N.T.S. 01

GENERAL NOTES:

- COORDINATE ALL IN SLAB FLOOR SINKS & DRAINS WITH FOOD SERVICE DRAWINGS.
- REFERENCE STRUCTURAL DRAWINGS & NOTES RE: FLOOR SLAB DEMOLITION REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO OWNER & ARCHITECT.
- ALL NEW WOOD SIDING, STAIRING & RUNNING WOOD TRIM & WOOD DOORS TO BE PAINTED & STAINED TO MATCH EXISTING PAINT COLORS. SHOWN DOWN SAMPLES TO BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO PAINTING.

SHEET NOTES:

SYMBOLS:

EXISTING LEGEND

- AREA IN CP
- OCCUPANT FACTOR (UPPER 50%)
- OCCUPANT LOAD
- CLEAR OPENING REQUIRED (OCCUPANT LOAD X 2')
- MINIMUM REQUIRED NO. OF EXITS (BY CODE)
- OCCUPANT LEVEL EXIT
- CLEAR OPENING PROVIDED
- 750 MIN. CLEAR OPENING (OCCUPANT LOAD X 2')

SYMBOLS LEGEND

- WALL MOUNTED FIRE EXTINGUISHER
- FIRE EXTINGUISHER AND CABINET (FAC)
- FIRE HOSE CABINET
- EXIT SIGN - PRIMARY EXIT SIGNS INDICATED ONLY. SEE ELECTRICAL LIGHTING DRAWINGS FOR ADDITIONAL LOCATIONS
- EXIT PATH & LIMIT
- EXIST TWO HOUR WALL - PROTECT
- PATH OF TRAVEL LINE
- PEDESTRIAN SAFETY / CONSTRUCTION FENCES

Project Name: **MORRIS ARCHITECTS**

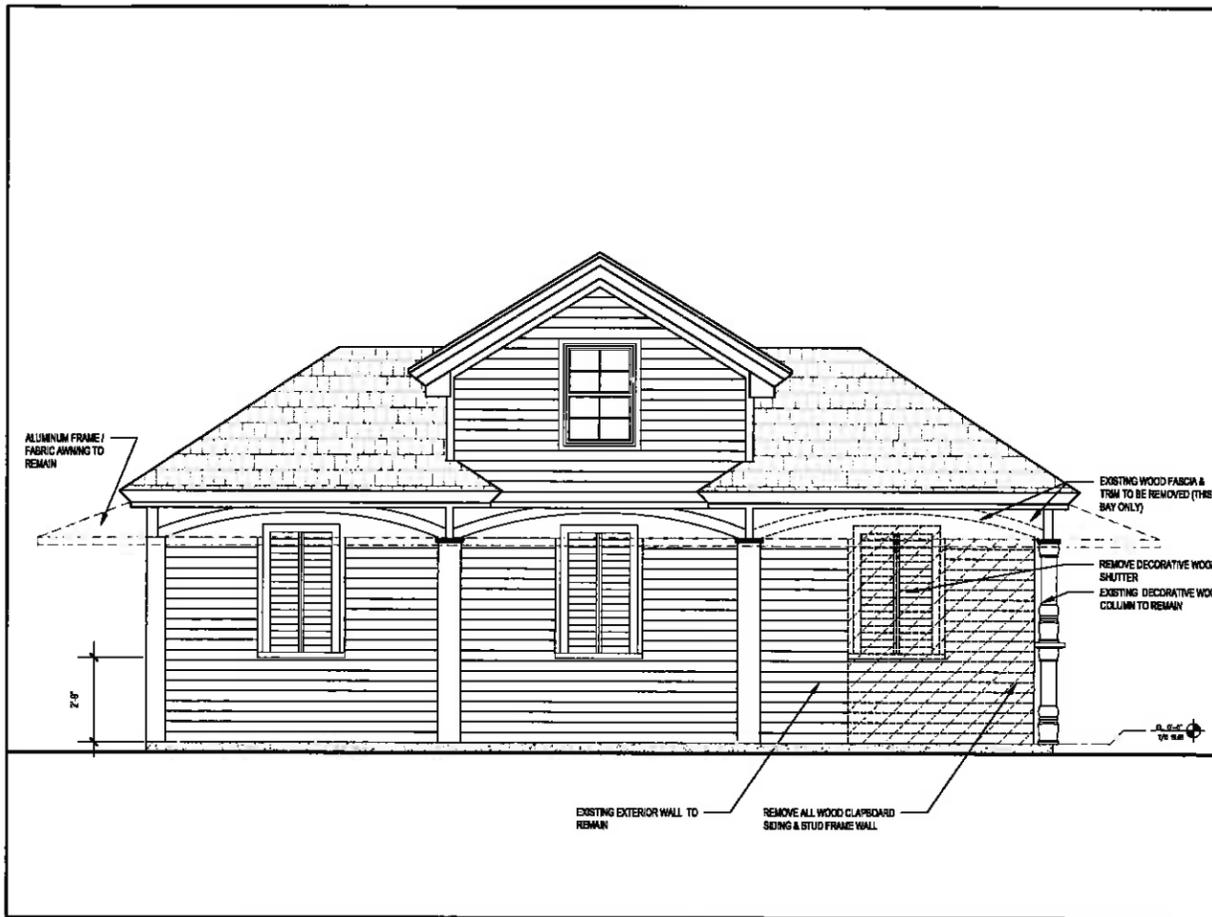
Project Name: **PAUL J. FORD AND COMPANY**
STRUCTURAL ENGINEER
SSA
FOOD SERVICE CONSULTANT

Project Name: **HARD ROCK CAFE**
RETAIL SHOP ALTERATIONS
KEY WEST, FLORIDA

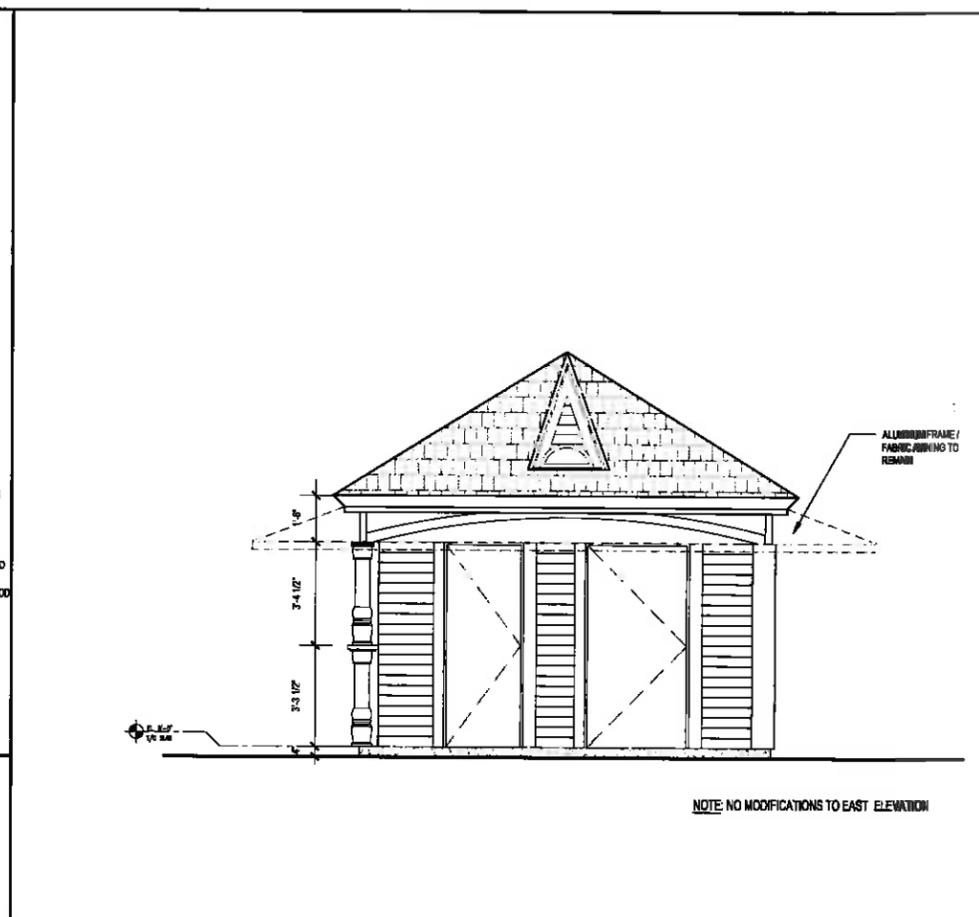
Project Number: R301306.01

Drawing Name: **SITE PLAN, LIFE SAFETY PLAN & CODE SUMMARY**

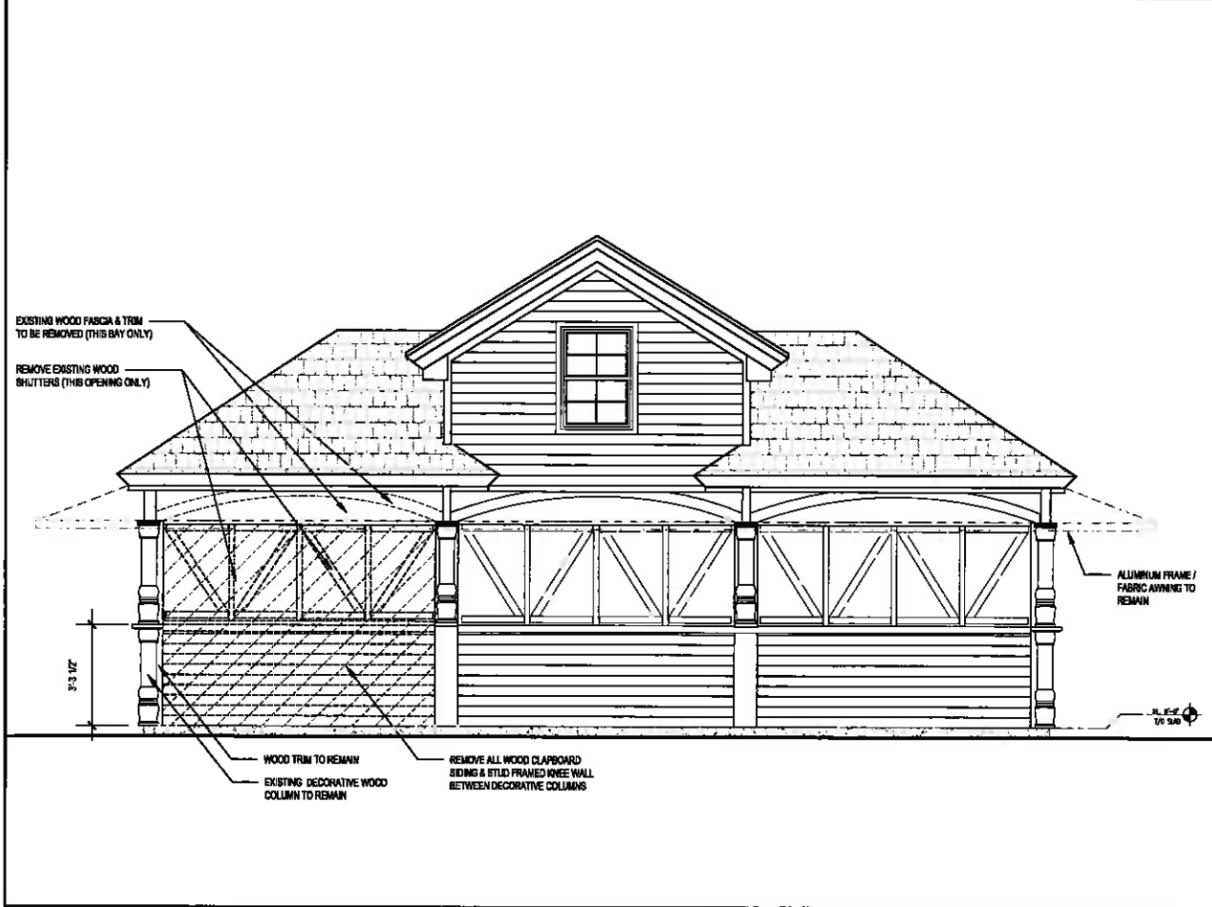
Drawing Number: **A-010**



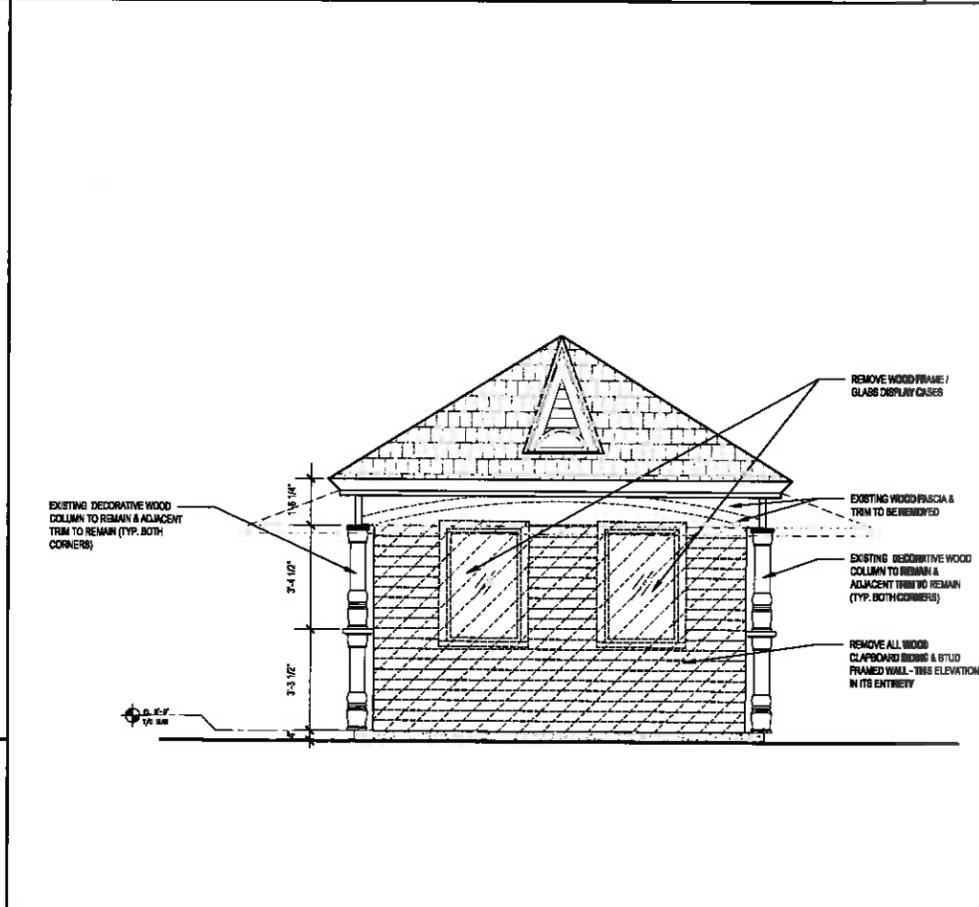
NORTH ELEVATION Scale: 3/8" = 1'-0" 04



EAST ELEVATION Scale: 3/8" = 1'-0" 02



SOUTH ELEVATION Scale: 3/8" = 1'-0" 03



WEST ELEVATION Scale: 3/8" = 1'-0" 01

GENERAL NOTES:

- COORDINATE ALL IN SLAB FLOOR FINISH & DRAWING WITH FOOD SERVICE DRAWINGS.
- REFERENCE STRUCTURAL DRAWINGS & NOTES RE: FLOOR SLAB DEMOLITION REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS & REPORT ANY DISCREPANCIES TO OWNER & ARCHITECT.
- ALL NEW WOOD SIDING, STANDING & RUNNING WOOD TRIM & WOOD DOORS TO BE PAINTED & STAINED TO MATCH EXISTING PAINT COLORS. DRAW DOWN SAMPLES TO BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO PAINTING.

SHEET NOTES:

SYMBOLS:

Issue	No.	Date	Description
	01	08/30/13	ISSUE FOR PERMIT

MORRIS ARCHITECTS

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 Phone 407.268.9114 | Fax 407.268.0410
 www.morrisarchitect.com | AIC 00158 LC 000055

Project Title
PAUL J. FORD AND COMPANY
 STRUCTURAL ENGINEER
SSA
 FOOD SERVICE CONSULTANT

Project Name
HARD ROCK CAFE
RETAIL SHOP ALTERATIONS
KEY WEST, FLORIDA

Project Number
 R301308.01

Drawing Name
EXTERIOR ELEVATIONS -
DEMOLITION

Drawing Number
AX-201

GENERAL

- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREINAFTER FOR USE ON THIS PROJECT.
- IF MATERIALS, QUANTITIES, STRENGTHS OR SIZES INDICATED BY THE DRAWINGS OR SPECIFICATIONS ARE NOT IN AGREEMENT WITH THESE NOTES, THE CONTRACTOR SHALL CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION.
- TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON THE PLANS, BUT APPLY UNLESS NOTED OTHERWISE.
- SHOP DRAWINGS PREPARED BY SUPPLIERS AND SUBCONTRACTORS SHALL BE REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION TO THE ENGINEER/ARCHITECT.
- SHOP DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC., WILL BE REVIEWED BY THE ENGINEER/ARCHITECT ONLY FOR CONFORMANCE WITH DESIGN CONCEPT. NO WORK AFFECTED BY THE SHOP DRAWINGS SHALL BE STARTED WITHOUT SUCH REVIEW.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL REVISIONS, CORRECTIONS, AND COMMENTS INDICATED ON THE SHOP DRAWINGS BY THE ARCHITECT/ENGINEER.
- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONSTRUCTION MANAGER, GENERAL CONTRACTOR, CONTRACTOR, SUB-CONTRACTOR AND/OR SUPPLIER PRIOR TO DETAILING, FABRICATION, ERECTION OR CONSTRUCTION OF ANY ELEMENT. ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE ACTUAL FIELD CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ENGINEER/ARCHITECT.
- SUPPORT, BRACE, AND SECURE EXISTING STRUCTURES AS REQUIRED TO PREVENT DAMAGE AND MOVEMENT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF EXISTING STRUCTURES DURING CONSTRUCTION.
- ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL CONFORM TO THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS.
- THE STRUCTURAL CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
- ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ENGINEER ARE SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. THEY DO NOT GUARANTEE CONTRACTORS PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- ALL STRUCTURES ARE DESIGNED TO BE STABLE AND SELF-SUPPORTING AT THE COMPLETION OF CONSTRUCTION. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE STABILITY AND SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE-DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL IS NOT INDICATED ON THE DRAWINGS AND, IF PROVIDED, SHALL BE REMOVED, AS CONDITIONS PERMIT AND REMAIN THE PROPERTY OF THE CONTRACTOR.
- ALL MATERIALS AND EQUIPMENT FURNISHED WILL BE NEW AND OF GOOD QUALITY, FREE FROM FLAWS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- COORDINATE WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR SIZE AND LOCATION OF FLOOR SLOPES, DEPRESSION AREAS, FINISH FLOORS, CHAMFERS, GROOVES, INSERTS, ETC.
- COORDINATE WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS FOR PIPE SLEEVES, FLOOR DRAINS, ROOF DRAINS, INSERTS, HANGERS, TRENCHES, FITS, WALL AND SLAB OPENINGS, CONDUIT RUNS IN WALLS AND SLABS, SIZE AND LOCATION OF MACHINE OR EQUIPMENT SUPPORTS, BASE AND ANCHOR BOLTS, RAILING, ETC.
- COORDINATE WITH SITE, ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND CIVIL DRAWINGS FOR RETAINING WALLS, PADS, PAVEMENT AND OTHER SITE STRUCTURES.
- FOUNDATION DRAINS, WATER PROOFING, AND OTHER REQUIRED NON-STRUCTURAL ITEMS ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. COORDINATE WITH CIVIL/SITE AND ARCHITECTURAL DRAWINGS.

GOVERNING CODES AND SPECIFICATIONS

FBC	-FLORIDA BUILDING CODE 2010
ASCE 7-10	-MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
ACI 318-08	-BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
ACI 301-05	-SPECIFICATIONS FOR STRUCTURAL CONCRETE
ACI 308R-09	-HOT WEATHER CONCRETING
ACI 308R-08	-COLD WEATHER CONCRETING, REAPPROVED 2002
ASCC 300-05	-STEEL CONSTRUCTION MANUAL, 13TH EDITION
AISC360-05	-DI. 1.4A, STRUCTURAL WELDING CODE, STEEL
AISC360-01	-NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS W/WOOD SUPPLEMENT
AFPA NDS 2005	-NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION WITH 2005 SUPPLEMENT
AFMPA SOPWB 2005	-AFMPA SUPPLEMENT SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC
ATC 104 2003	-TYPICAL CONSTRUCTION DETAILS
APA PDS 2004	-PANEL DESIGN SPECIFICATION

DESIGN LOADS

- LIVE LOADS:
 - FIRST FLOOR (SLAB ON GRADE) 100 PSF
- WIND LOADS:
 - CODE ASCE 7-10
 - BASIC WIND SPEED (3 SECOND GUST), MPH 130 MPH
 - RISK CATEGORY II
 - WIND EXPOSURE "C"
 - DESIGN WIND PRESSURE FOR COMPONENTS AND CLADDING SEE WIND PRESSURE SCHEDULE ON SHEET S-001

CONCRETE AND REINFORCEMENT

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE ACI 318.
- CONCRETE SHALL HAVE THE FOLLOWING 28-DAY COMPRESSIVE STRENGTH:
 - CAST-IN-PLACE CONCRETE 3,000 PSI
- USE 3% ± 1.5% ENTRAINED AIR PER ASTM C260 FOR ALL CONCRETE EXPOSED TO WEATHER.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. WELDED REINFORCING SHALL CONFORM TO ASTM A706.
- ADMIXTURES SHALL CONTAIN NO MORE THAN 0.06% CHLORIDE IONS BY WEIGHT OF CEMENT WHEN TESTED IN ACCORDANCE WITH ASTM C1260.
- CONTRACTOR SHALL KEEP A COPY OF "FIELD REFERENCE MANUAL: STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE ACI 301-05 WITH SELECTED ACI REFERENCES" (ACI PUBLICATION 99-1009) AT THE PROJECT FIELD OFFICE.
- ALL REINFORCING DETAILS SHALL CONFORM TO "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" ACI 318-08, UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS.
- SUBMIT FOR APPROVAL CONCRETE MIX DESIGN AND CERTIFICATION OF CONFORMITY OF CONCRETE MATERIALS.
- THE CONTRACTOR SHALL EMPLOY, AT NO COST TO THE OWNER, A TESTING LABORATORY APPROVED BY THE ENGINEER/ARCHITECT TO PERFORM THE TESTING SPECIFIED PER PARAGRAPH 1.8.4 OF ACI 301. THE TESTING LABORATORY SHALL MEET THE REQUIREMENTS OF ASTM E238. TESTING SHALL BE MADE BY AN ACI CONCRETE FIELD TESTING TECHNICIAN GRADE 1 OR APPROVED EQUIVALENT. A TECHNICIAN GRADE 1 SHALL BE PRESENT DURING ALL CONCRETE PLACEMENT.

- SUBMIT SHOP DRAWINGS FOR REVIEW. THESE DRAWINGS SHALL SHOW ALL CONCRETE DIMENSIONS AND DETAILS FOR MASONRY WALLS.
- PROVIDE ADEQUATE BOLSTERS, CHAIRS, SUPPORT BARS, ETC., TO MAINTAIN SPECIFIED CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS. SUPPORTS THAT BEAR DIRECTLY ON EXPOSED SURFACES SHALL BE STAINLESS STEEL.
- ALL CONCRETE SHALL BE POLISHED MONOLITHICALLY, EXCEPT FOR THE REQUIRED CONSTRUCTION JOINTS.
- PROVIDE 3/4-INCH CHAMFER ON ALL EXPOSED CORNERS UNLESS OTHERWISE INDICATED ON THE ARCHITECTURAL DRAWINGS. MINIMUM CLEARANCES FOR REINFORCING STEEL SHALL BE MAINTAINED.
- CURE ALL CONCRETE FOR A MINIMUM 7-DAYS, APPLY CURING COMPOUND AT THE MAXIMUM COVERAGE RATE OF 300 SQUARE FEET PER GALLON. USE PRODUCT IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. SEE SPECIFICATIONS.
- WATERSTOP FOR CONSTRUCTION JOINTS SHALL BE PVC BERRATED TYPE WITHOUT CENTER BULB, NOT LESS THAN 6" WIDTH AND 3/8" THICK.
- ALL WATERSTOPS SHALL BE PROPERLY SUPPORTED AND WIRED TO REINFORCING TO REMAIN STRAIGHT AND TRUE. HEAT SPICE ALL JOINTS PER MANUFACTURERS RECOMMENDATIONS.
- IN CONSTRUCTION JOINTS, PROVIDE VERTICAL KEYWAY AT MEMBER CENTERLINE WITH A DEPTH OF 1/2 INCH AND WIDTH EQUAL TO ONE THIRD OF THE MEMBERS THICKNESS.
- CONTRACTOR SHALL SUBMIT PROPOSED LOCATIONS OF CONSTRUCTION JOINTS NOT INDICATED ON THE DRAWINGS FOR REVIEW BY THE ENGINEER/ARCHITECT.
- ALL ALUMINUM IN CONTACT WITH CONCRETE OR DISSIMILAR METALS SHALL BE COATED WITH GRAY EPOXY PRIMER, APPROVED BY THE ENGINEER.
- FORMWORK FOR ALL CONCRETE THAT WILL BE EXPOSED IN THE COMPLETED STRUCTURE, SHALL BE CONSTRUCTED FROM A METAL OR SUITABLE SURFACE PLYWOOD THAT WILL PRODUCE AN ACCEPTABLY SMOOTH SURFACE. SEE SPECIFICATIONS.
- FITCH CONCRETE SLABS TO FLOOR DRAINS SHOWN ON MECHANICAL, PROCESS, OR ARCHITECTURAL DRAWINGS.
- CONCRETE PROTECTION (CLEAR COVER) FOR REINFORCEMENT BARS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 - 2 INCH, EXPOSED TO EARTH, WATER OR WEATHER, UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL

- STEEL SHALL BE FABRICATED BY A FABRICATOR HAVING AN AISC QUALITY CERTIFICATION CATEGORY: "STANDARD FOR STEEL BUILDINGS (STD)".
- STRUCTURAL STEEL WORK SHALL CONFORM TO THE "STEEL CONSTRUCTION MANUAL, AISC 360."
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF MEMBERS AND CONNECTIONS FOR ANY PORTION OF THE STRUCTURE NOT INDICATED ON THE PLANS. ALL SPECIAL CONDITIONS AND CONNECTIONS SHALL BE CAREFULLY AND COMPLETELY DETAILED AND SUBMITTED FOR APPROVAL.
- STRUCTURAL FRAMING PLANS AND DETAILS ARE NOT INTENDED TO COVER ALL THE STEEL REQUIRED FOR A COMPLETE JOB. EXAMINE ALL ARCHITECTURAL DETAILS CAREFULLY.
- VERIFY THE EXACT LOCATION AND SIZE OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH THE MECHANICAL CONTRACTOR PRIOR TO FABRICATION OF MATERIALS.
- STEEL SHALL CONFORM TO THE FOLLOWING UNLESS OTHERWISE NOTED:
 - ANGLES, PLATES, RODS, ETC: ASTM A36
 - ANCHOR RODS: ASTM F1554, GRADE 36
 - HSS RECTANGULAR: A500 GRADE B
- WELDED CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY, A5W D1.1. WELDING ELECTRODE MATERIAL SHALL BE E70XX.
- MINIMUM WELDS, WHERE NOT SHOWN ON DRAWINGS, SHALL BE 3/16 INCH FILLET WELD, ALL AROUND.
- ALL STRUCTURAL STEEL IN EXTERIOR WALLS, INCLUDING ANGLES, PLATES AND ANCHOR RODS, SHALL BE GALVANIZED AFTER FABRICATION.
- ALL STEEL AND CORRESPONDING CONNECTIONS EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A153 AND A163, RESPECTIVELY.

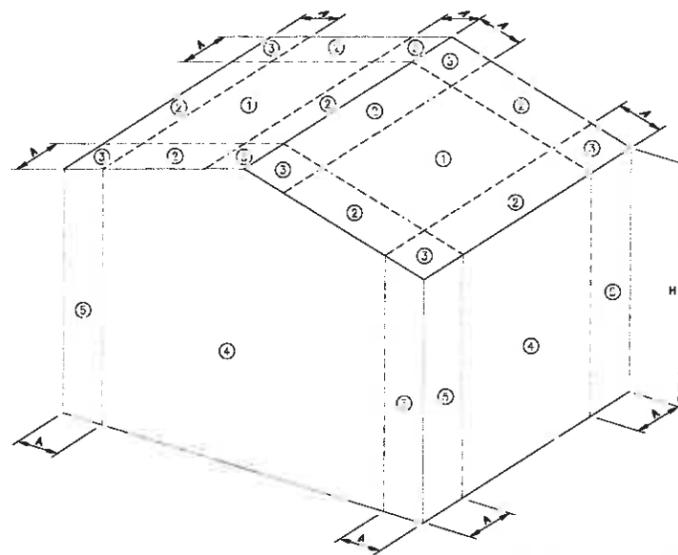
WOOD

- WOOD DESIGN, SPECIFICATIONS AND ERECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
- WOOD SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN WOOD PRODUCTS ASSOCIATION OR THE WEST COAST LUMBER INSPECTION BUREAU.
- ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED GRADING AGENCY.
- SAWN LUMBER SHALL HAVE THE FOLLOWING MINIMUM GRADE UNLESS NOTED OTHERWISE:

MEMBER SIZE	F _x (PSI)	F _y (PSI)	E (PSI)	F _v (PSI)	WOOD GRADE
2x & 4x	900	180	1,800,000	625	D.F. NO. 2
- ALL STUDS SHALL BE CONSTRUCTED CONTINUOUS FROM SILL TO TOP PLATE UNLESS NOTED OTHERWISE.
- PLYWOOD SHALL BE PLACED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS USING A MINIMUM 5-PLY PLYWOOD. PLYWOOD JOINTS SHALL BE STAGGERED.
- PLYWOOD ATTACHMENT SHALL BE DONE USING COMMON NAILS.
- ALL SILL PLATES RESTING ON CONCRETE OR MASONRY SHALL BE TREATED DOUGLAS FIR OR FOUNDATION GRADE REDWOOD.
- ALL BOLTS IN WOOD FRAMING SHALL BE INSTALLED WITH STEEL WASHERS CONFORMING TO ASTM F438.
- CONNECTION HARDWARE AND FASTENERS SHALL BE GALVANIZED STEEL, MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS BY SIMPSON STRONG-TIE COMPANY INC. OR AN APPROVED EQUAL.
- A MINIMUM 1/8-GAUGE STRAP EXTENDING 2" BEYOND PLATE WIDTH AND ATTACHED WITH 8-186 NAILS AT EACH END SHALL BE PROVIDED WHERE TOP PLATES, SILL PLATES OR STUDS ARE CUT FOR MECHANICAL, ELECTRICAL OR PLUMBING PENETRATIONS.
- PROVIDE A MINIMUM OF 3 STUDS AT EACH CORNER OF EXTERIOR WALLS.
- PROVIDE TRIPLE 2x8 WOOD HEADER OVER ALL NEW DOOR OPENINGS IN EXTERIOR WALLS. PROVIDE 1/2" FLITCH PLATE BETWEEN MEMBERS.
- NAIL ALL MULTIMEMBER HEADERS TOGETHER WITH 16d NAILS AT 12" OC TOP AND BOTTOM. CENTER OF FASTENERS SHALL BE 2" FROM TOP AND BOTTOM EDGES OF LUMBER.
- PROVIDE ONE JACK (BEARING) STUD AND TWO KING (FULL HEIGHT) STUDS AT EACH END OF WOOD HEADERS IN EXTERIOR WALLS.
- SILL PLATES SHALL BE ANCHORED TO CONCRETE WITH 1/2" DIA SIMPSON TITEN HD (2 3/4" EMBEDMENT) @ 32" O.C.
- 2x NAILS SHALL BE FASTENED TO UNDERSIDE OF HSS BEAMS WITH SIMPSON TB140US SCREWS @ 6" O.C. MAX.

STRUCTURAL ABBREVIATIONS

A	AMERICAN CONCRETE INSTITUTE	H	HORIZONTAL
ACI	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	HT	HEIGHT
ASCE	AMERICAN IRON AND STEEL INSTITUTE	L	LONG
ARCH	ARCHITECTURAL	LL	LONG LIVE LOAD
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	LLH	LONG LIVE LOAD HORIZONTAL
AWS	AMERICAN WELDING SOCIETY	LH	LONG SIDE HORIZONTAL
B	BOTTOM OF	N	NOT TO SCALE
BY	BEAM	NBS	NOT TO SCALE
BM	BOTTOM MECH	O	ON CENTER
BOT	BOTTOM	OC	ON CENTER OPENING
BRG	BEARING	P	PLATE
BS	BOTH SIDES	PL	PLYWOOD
C	CENTER TO CENTER	PT	PRESSURE TREATED
CC	CAST IN PLACE	R	REINFORCED (ING)
CP	CENTERLINE CLEARANCE	REQ	REQUIRE
CLR	COLUMN	S	SCHEDULE
CL	CONCRETE	SECT	SECTION
CONC	CONCRETE	SH	SHEET
CONT	CONCRETE	SM	SIMILAR
CTR	CENTER	SL	SLOPE
D	DIAMETER	SPECS	SPECIFICATIONS
DM	DIAMETER	STD	STANDARD
DTL	DETAIL	STL	STEEL
DWG	DRAWING	T	TOP OF
DWL	DOWEL	T/B	TOP & BOTTOM
E	EACH	THK	THICK
EA	EACH END	TYP	TYPICAL
EE	ELEVATION	U	UNLESS NOTED OTHERWISE
EL	ELECTRICAL	UO	UNLESS NOTED OTHERWISE
ELEC	ELECTRICAL	W	WITH
ENG	ENGINEER	WP	WORKING POINT
ES	EACH SIDE		
EW	EACH WAY		
EXT	EXISTING		
EXIST	EXISTING		
F	FOUNDATION		
FN	FOUNDATION		
FLR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FV	FIELD VERIFY		
G	GALVANIZED		
GC	GENERAL CONTRACTOR		
GR	GRADE		



WIND PRESSURE (ASCE 7-10) FOR COMPONENTS & CLADDING - ALLOWABLE STRESS DESIGN

EFFECTIVE AREA	ZONE 1		ZONE 2		ZONE 3		OVERHANG		ZONE 4		ZONE 5	
	POSITIVE	NEGATIVE	POSITIVE	NEGATIVE	POSITIVE	NEGATIVE	ZONE 2	ZONE 3	POSITIVE	NEGATIVE	POSITIVE	NEGATIVE
□ 10 SQ FT	62	-58	62	-63	62	-63	-72	-72	58	-58	58	-70
□ 20 SQ FT	51	-54	51	-61	51	-61	-70	-70	54	-60	54	-63
□ 50 SQ FT	50	-51	50	-58	50	-58	-67	-67	51	-55	51	-61
□ 100 SQ FT	48	-49	48	-56	48	-56	-65	-65	48	-53	48	-58

- TABLE IS BASED UPON A PARTIALLY ENCLOSED BUILDING USING THE SPECIFIED WIND LOADS AS INDICATED IN THE "DESIGN LOADS" SECTION ON THIS SHEET.
- EDGE STRIP "A" = 10 FT.
- POSITIVE & NEGATIVE SIGNS SIGNIFY PRESSURES ACTING TOWARDS AND AWAY FROM THE BUILDING SURFACES, RESPECTIVELY (FULL HEIGHT, UNLESS NOTED).
- VALUES SHOWN ARE ALLOWABLE STRESS DESIGN PRESSURES.

GENERAL NOTES:

SYMBOLS:

SHEET NOTES:

No.	Date	Description
08/30/18		ISSUE FOR PERMIT

MORRIS ARCHITECTS

222 E. Washington St., Suite 800 | Orlando, Florida 32801 USA
 Phone 407.226.0141 | Fax 407.226.0142
 www.morrisarchitects.com | AAC 010188 | LC 000389

PAUL J. FORD & COMPANY
 STRUCTURAL ENGINEERS
 3670 MAGNOLIA BLVD., SUITE 250 ORLANDO, FL 32833
 407.820.2039 EB-01/2/14J
 PJP Project No. CD2113.0038

SSA
 FOOD SERVICE CONSULTANT

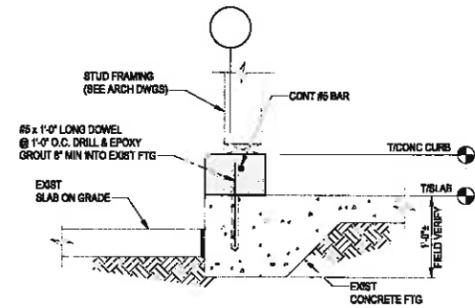
NATHAN E. MULLICAW
 FL REG. NO. 73148

**HARD ROCK CAFE
 RETAIL SHOP ALTERATIONS
 KEY WEST, FLORIDA**

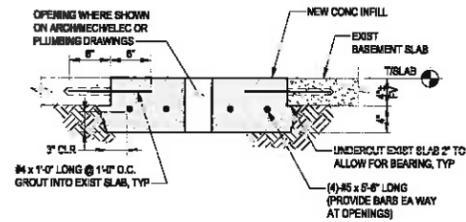
Project Number
 RSD1908.01

Drawing Name
GENERAL NOTES

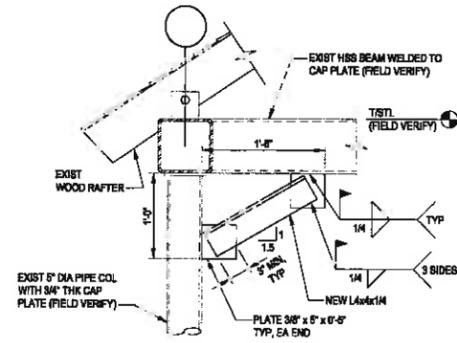
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S-001



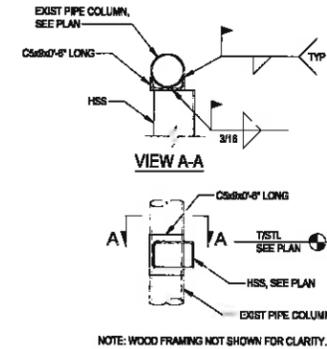
SECTION 1
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S-201



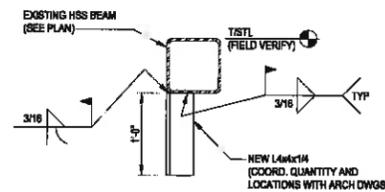
SECTION 2
SCALE: 1" = 1'-0"
S-201



SECTION 3
SCALE: 1" = 1'-0"
S-201



SECTION 4
SCALE: 1" = 1'-0"
S-201



SECTION 5
SCALE: 1" = 1'-0"
S-201

GENERAL NOTES:

SYMBOLS:

SHEET NOTES:

Issue	No.	Date	Description
	08/30/18		ISSUE FOR PERMIT

MORRIS ARCHITECTS

622 E. Wackerly Ave. Suite 300 | Orlando, Florida 32811 USA
Phone: 407.838.0114 | Fax: 407.838.0113
www.morrisarchitects.com | AEC 071281 LC 0000050

Project Title
PAUL J. FORD & COMPANY
STRUCTURAL ENGINEERS
3670 MAGUIRE BLVD, SUITE 250 ORLANDO, FL 32809
407.898.9019 EB-1-972-248
PJP Project No. C020113.0000

SSA
FOOD SERVICE CONSULTANT

Project Name
NATHAN E. MCFARROW
FL REG. NO. 73143

**HARD ROCK CAFE
RETAIL SHOP ALTERATIONS
KEY WEST, FLORIDA**

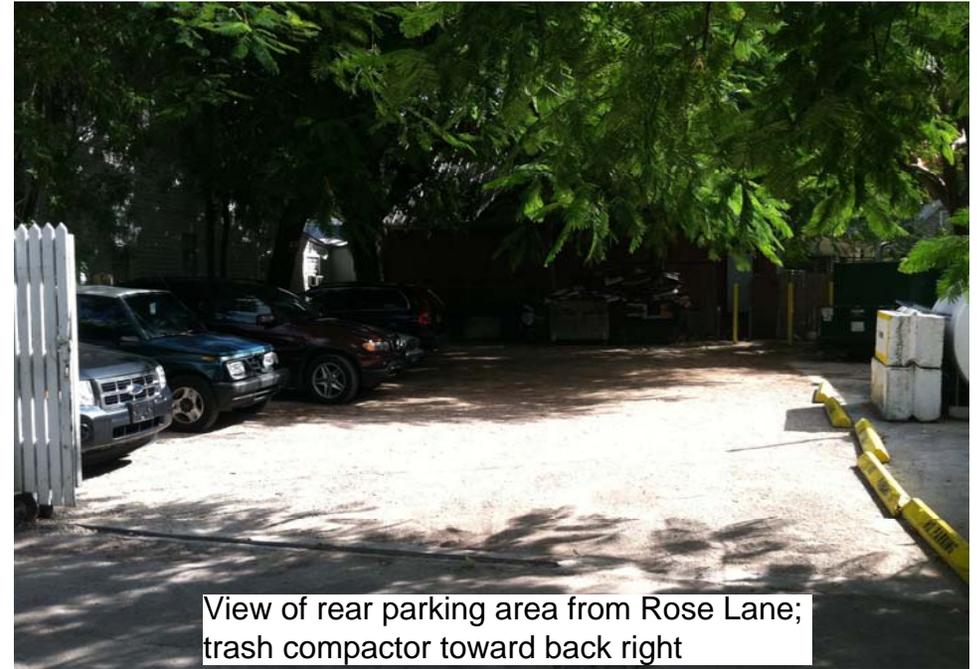
Project Number
R301308.01

Drawing Name
SECTIONS

Scale
Drawing Number
S-201



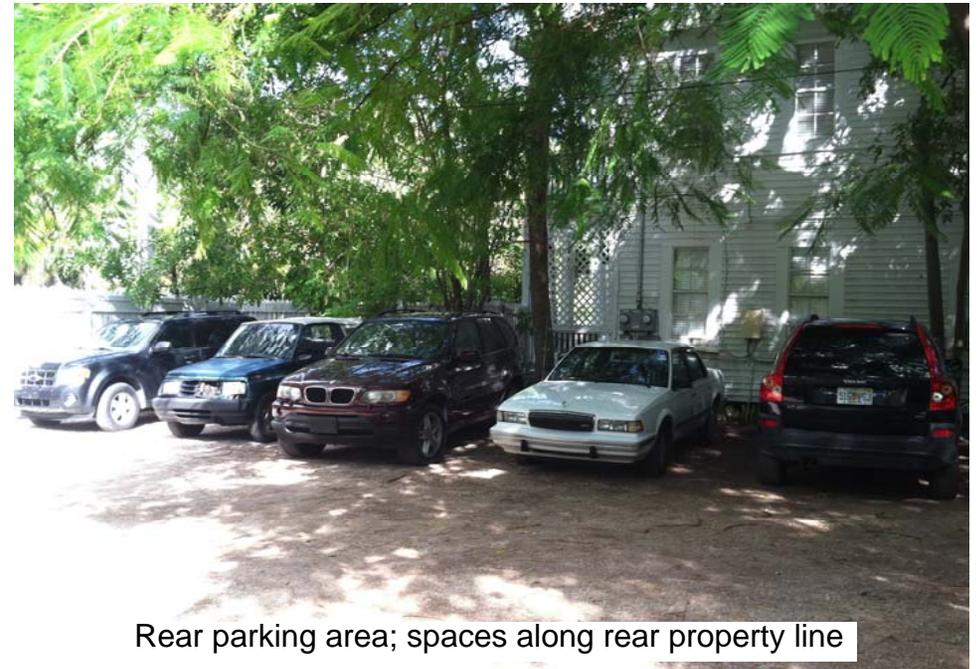
Rear parking area; spaces along rear property line



View of rear parking area from Rose Lane;
trash compactor toward back right



Rear parking area; trash compactor occupies area
where space 15 is indicated on applicant's plan.



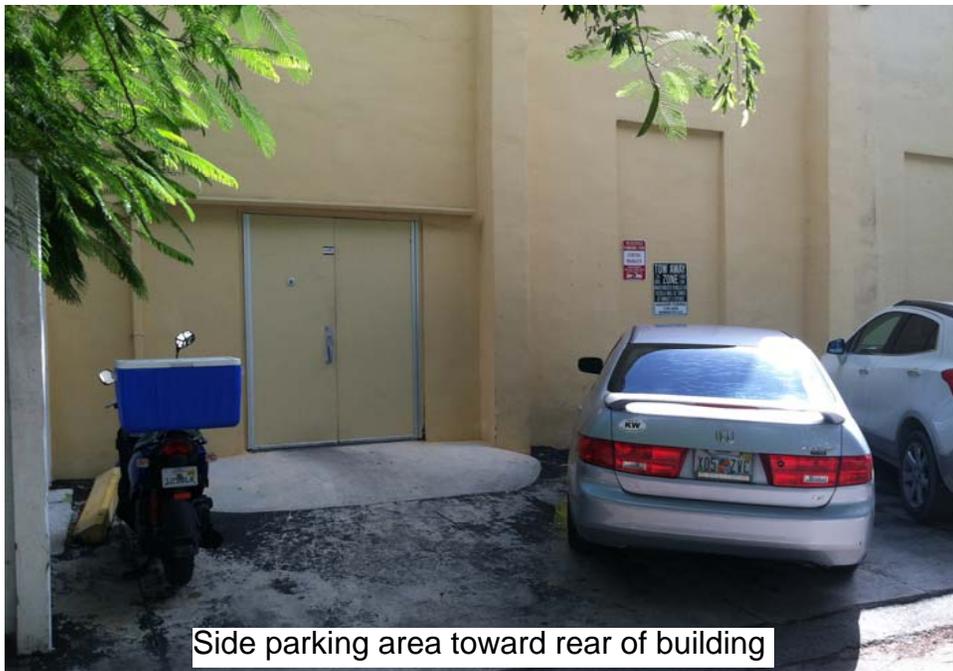
Rear parking area; spaces along rear property line



Side parking area



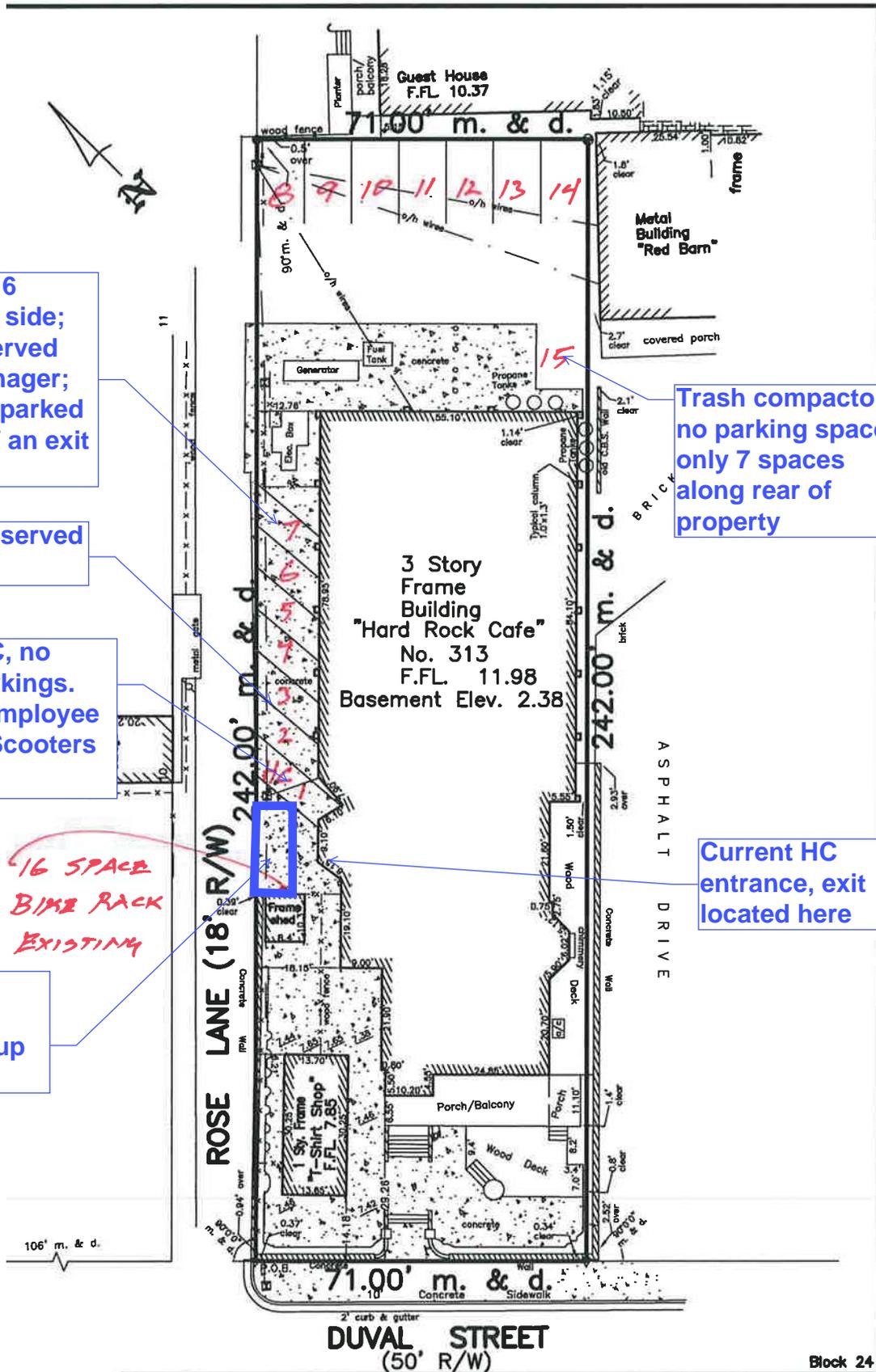
Side parking area; bicycle racks on right



Side parking area toward rear of building



Side parking area with racks for up to 18 bicycles.



There are only 6 spaces on this side; last space reserved for district manager; scooters were parked here in front of an exit door

Spaces 2 & 3 reserved for managers

Space 1 not HC, no signage or markings. Reserved for employee of the month. Scooters parked here.

16 SPACE BIKE RACK EXISTING

Racks located here and can accommodate up to 18 bicycles

Trash compactor; no parking space; only 7 spaces along rear of property

Current HC entrance, exit located here

Hard Rock Cafe 313 Duval Street, Key West, Florida 33040			
BOUNDARY SURVEY		Dwn No.: 13-335	
Scale: 1"=20'	Ref. 193-57	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 8/17/07	File	Flood Zone: AE	Flood Elev. 6'
REVISIONS AND/OR ADDITIONS			
B/27/13: F.F.L. T shirt shop, grades, parking			
F:\dwg\kw\block 24\hard rock cafe			

ISLAND SURVEYING INC.
ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive
Suite 201
Key West, Fl. 33040

(305) 293-0466
Fax. (305) 293-0237
thildeb1@bellsouth.net
L.B. No. 7700

Block 24

Minutes of the Development Review Committee

September 26, 2013

Approved on October 24, 2013

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

No comments.

POLICE DEPARTMENT:

No comments.

HARC PLANNER:

Question 15 is wrongly answered as no, when indeed the proposed changes to the site will require a Certificate of Appropriateness.

ENGINEERING:

Please provide inspection report for the existing grease interceptor, including type of tank, liquid capacity, and tank location. (Survey does not show location of grease interceptor.)

FIRE DEPARTMENT:

Mr. Barroso has concerns with lifesaving accessibility issues.

BUILDING OFFICIAL:

Mr. Wampler stated that according to Florida plumbing code, bars are required to have grease interceptors. Mr. Wampler stated that impact fee will apply.

SUSTAINABILITY COORDINATOR

No comments.

KEYS ENERGY:

No comments.

6. Parking Variance – 313 Duval Street (RE# 00004300-000000; AK# 1004472) – A request for a variance to the minimum parking space requirement in order to convert an existing retail area to a new bar service area for an existing restaurant on property located within the Residential Commercial Core – Duval Street Gulfside (HRCC-1) Zoning District pursuant to Section 108-572 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Mr. Bond gave members an overview of the variance request.

The applicant, Mr. Rick Sconyers gave members an overview of the request.

DRC Member Comments:

Minutes of the Development Review Committee

September 26, 2013

Approved on October 24, 2013

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

No comments.

POLICE DEPARTMENT:

No comments.

HARC PLANNER:

Application is incomplete. Question 15 is wrongly answered as no, when indeed the proposed changes to the site will require a Certificate of Appropriateness.

ENGINEERING:

No comments.

FIRE DEPARTMENT:

Mr. Barroso has concerns with lifesaving accessibility issues.

BUILDING OFFICIAL:

Mr. Wampler stated that according to Florida plumbing code, bars are required to have grease interceptors. Mr. Wampler stated that impact fee will apply.

SUSTAINABILITY COORDINATOR:

No comments.

KEYS ENERGY:

No comments.

7. **Variance - 825 Duval (RE# 00016830-000000; AK# 1017230)** - A request for a building coverage variance to erect a canopy to cover an existing outdoor-dining area at property in the HRCC-3 zoning district per Section 90-391 and Section 122-750(4)a. of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Mr. Cunningham gave members an overview of the request.

The applicant, Miami Awning Company gave members an overview of the request.

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

No comments.



Detail by Entity Name

Florida Profit Corporation

CONCH SHELL PROPERTIES, INC.

Filing Information

Document Number P94000087757
FE/EIN Number 650542514
Date Filed 12/02/1994
State FL
Status ACTIVE

Principal Address

313 DUVAL ST.
KEY WEST, FL 33040

Changed: 01/26/1996

Mailing Address

905 VON PHISTER ST
KEY WEST, FL 33040

Changed: 01/26/1995

Registered Agent Name & Address

SAMAHA, FOUAD
905 VON PHISTER ST
KEY WEST, FL 33040

Name Changed: 01/26/1995

Address Changed: 01/26/1995

Officer/Director Detail

Name & Address

Title P

SAMAHA, FOUAD
905 VON PHISTER ST
KEY WEST, FL 33040

Title V

LADHA, ISSA
12178 4TH STREET
RANCHO CUCAMONGA, CA 91730-6127

Title S

LADHA, NAVEEN
12178 4TH STREET
RANCHO CUCAMONGA, CA 91730-6127

Annual Reports

Report Year	Filed Date
2011	01/07/2011
2012	02/08/2012
2013	04/08/2013

Document Images

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01/20/2006 -- ANNUAL REPORT	View image in PDF format
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03/02/1999 -- ANNUAL REPORT	View image in PDF format
01/15/1998 -- ANNUAL REPORT	View image in PDF format
01/17/1997 -- ANNUAL REPORT	View image in PDF format
01/26/1996 -- ANNUAL REPORT	View image in PDF format
01/26/1995 -- ANNUAL REPORT	View image in PDF format

[Frs|ubikw6 #dqg#Subvdf|Srdflhv](#)

Vvdvht:#H arubgd/#G hsdump hqvht:#N vdvh

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name Conch Shell Properties Inc.	Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 313 Duval Street, Retail	Company NAIC Number
City Key West	State FL ZIP Code 33040

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
 Part of Lot 2, Square 24, Whitehead's Map, Parcel No.00004300-000000

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 24 33'27.5"N Long. 81 48'14.7"W Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1A

A8. For a building with a crawlspace or enclosure(s):

a) Square footage of crawlspace or enclosure(s)	<u>n/a</u>	sq ft
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade	<u>n/a</u>	
c) Total net area of flood openings in A8.b	<u>n/a</u>	sq in
d) Engineered flood openings?	<input type="checkbox"/> Yes <input type="checkbox"/> No	

A9. For a building with an attached garage:

a) Square footage of attached garage	<u>n/a</u>	sq ft
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade	<u>n/a</u>	
c) Total net area of flood openings in A9.b	<u>n/a</u>	sq in
d) Engineered flood openings?	<input type="checkbox"/> Yes <input type="checkbox"/> No	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number City of Key West 120168		B2. County Name Monroe		B3. State Florida	
B4. Map/Panel Number 12087C1516	B5. Suffix K	B6. FIRM Index Date 2/18/05	B7. FIRM Panel Effective/Revised Date 2/18/05	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 6'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date: _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: Basic Vertical Datum: NGVD 1929
 Indicate elevation datum used for the elevations in items a) through h) below. NGVD 1929 NAVD 1988 Other/Source: _____
 Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>7.85</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	<u>n/a</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>n/a</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>n/a</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>n/a</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>7.3</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>7.6</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>7.4</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Check here if attachments.

Certifier's Name Fred H. Hildebrandt	License Number PLSM 2749
Title P.E., P.L.S.	Company Name Island Surveying, Inc.
Address 3152 Northside Drive	City Key West State FL ZIP Code 33040
Signature	Date 8/28/13 Telephone 305-293-0466



IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 313 Duval Street, Retail Shop	Policy Number
City Key West State FL ZIP Code 33040	Company NAIC Number

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments A5. Lat. and Long. obtained using hand held G.P.S.

Signature _____ Date 8/28/13

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation G2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
-------------------------	------------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____
- G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

Check here if attachments.

Building Photographs

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
313 Duval Street, Retail Shop

Policy Number

City Key West

State FL

ZIP Code 33040

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Front View (8/27/13)



Rear View (8/27/13)

Building Photographs

Continuation Page

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			FOR INSURANCE COMPANY USE
City			Policy Number.
State	ZIP Code		Company NAIC Number.
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.			



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
 Marathon (305) 289-2550
 Plantation Key (305) 852-7130

Website tested on IE8, IE9, & Firefox.
 Requires Adobe Flash 10.3 or higher

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: **1004472** Parcel ID: **00004300-000000**

Ownership Details

Mailing Address:
 CONCH SHELL PROPERTIES INC
 905 VON PHISTER ST
 KEY WEST, FL 33040

Property Details

PC Code: 21 - RESTAURANTS & CAFETERIAS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 313 DUVAL ST KEY WEST
Legal Description: KW PT LOT 3 SQR 24 A5-132/4 OR920-834/35Q/C OR920-836/38 OR1004-635 OR1334-606(LG)

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	71	243	17,253.00 SF

Building Summary

Number of Buildings: 3
 Number of Commercial Buildings: 3
 Total Living Area: 11237
 Year Built: 1909

Building 1 Details

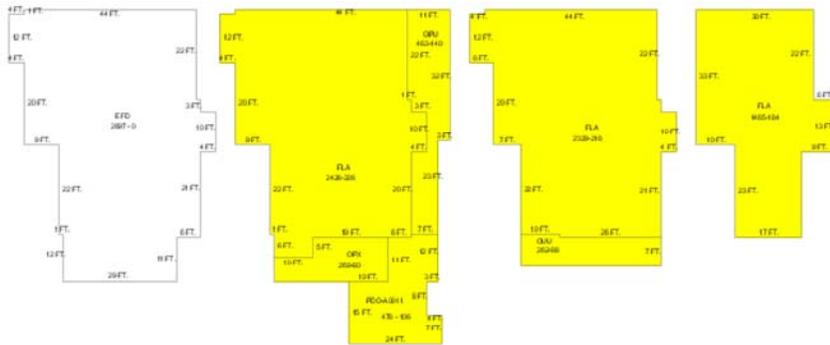
Building Type	Condition E	Quality Grade 450
Effective Age 20	Perimeter 630	Depreciation % 23
Year Built 1909	Special Arch 0	Grnd Floor Area 6,222
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	31	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	PDO		1	1987					478
1	EFD		1	1987					2,697
2	FLA		1	1987					2,428
3	OPX		1	1987					269
5	OPU		1	1987					463
6	FLA		1	1987					2,329
7	OOU		1	1987					262

8	FLA	1	1987	1,465
---	-----	---	------	-------

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	1192	REST/CAFET-A-	100	Y	Y
	1196	REST/CAFET-A-	100	Y	Y
	1198	OFFICE BLD-1 STORY	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
356	CUSTOM	100

Building 2 Details

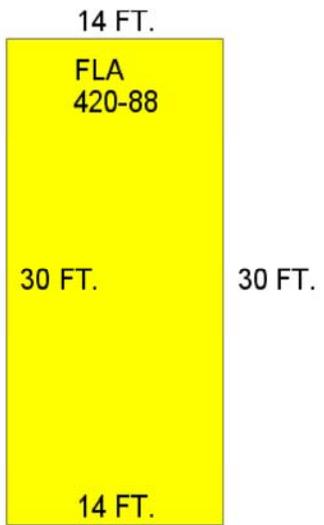
Building Type	Condition E	Quality Grade 350
Effective Age 20	Perimeter 88	Depreciation % 23
Year Built 1995	Special Arch 0	Grnd Floor Area 420
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 2	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 4	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
-----	------	----------	-----------	------------	-------	-----	------------	---------------------	------

1 FLA 1 1996 420

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	1199	1 STY STORE-B	100	N	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
357	CUSTOM	100

Building 3 Details

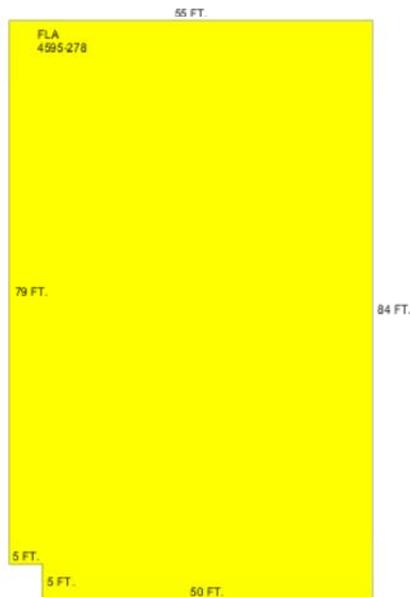
Building Type	Condition E	Quality Grade 400
Effective Age 18	Perimeter 278	Depreciation % 23
Year Built 1949	Special Arch 0	Grnd Floor Area 4,595
Functional Obs 0	Economic Obs 0	

Inclusions:

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	15	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1987					4,595

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	1200	RESTRNT/CAFETR-B-	100	Y	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
358	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	RW2:RETAINING WALL	276 SF	0	0	1949	1950	3	50
2	FN2:FENCES	72 SF	12	6	1994	1995	2	30
3	FN2:FENCES	336 SF	56	6	1994	1995	2	30
4	FN2:FENCES	51 SF	17	3	1994	1995	2	30
5	FN2:FENCES	312 SF	52	6	1994	1995	2	30
6	PT3:PATIO	1,288 SF	0	0	1994	1995	2	50
7	FN2:FENCES	234 SF	0	0	1995	1996	2	30
8	CL2:CH LINK FENCE	78 SF	13	6	1995	1996	1	30
9	PT3:PATIO	260 SF	0	0	1995	1996	2	50
10	PT3:PATIO	527 SF	31	17	1996	1997	2	50
11	FN2:FENCES	540 SF	90	6	1997	1998	2	30

Appraiser Notes

2003-06-12- BLDG #1 HARD ROCK CAFE BLDG #2 TEE SHIRT SHOP BLDG #3 ATTACHED TO REAR OF BLDG # 1 2003-06-11- ADDED FLA #8, 3RD STORY OFFICE. WMC 1995 DOR SALE PARCEL

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes	
1	08-2455	07/16/2008	1,500	Commercial	ROOFING	
1	09-0811	03/27/2009	2,450	Commercial	INSTALL FOUR SQRS. OF TAPERED INSULATION & FOUR SQRS. OF BUILT UP ROOFING	
1	08-4209	11/10/2008	19,900	Commercial	INSTALL WALK-IN FREEZER; INDOOR CONDENSOR ON EXISTING STAND ON ROOF EXISTING POWER.	
1	08-3247	09/04/2008	13,100	Commercial	REPLACE T SPLIT A/C EQUIPMENT SEVEN TON.	
1	09-1551	05/29/2009	9,000	Commercial	REPLACE 1327SF OF SIDING WITH 120LF OF TRIM ON FIRST AND SECOND FLOOR. REPLACE 9 2/2 WOOD WINDOWS TO MATCH EXISTING WINDOWS COVERED WITH COORUGATED STORM PANELS. REPLACE 200 SF OF LATTICE SKIRT.	
1	08-4208	11/12/2008	3,500	Commercial	DEMO EXISTNG WALK IN FREEZER AND INSTALL NEW FREEZER BOX.	
1	08-4210	11/12/2008	2,355	Commercial	RUN POWER TO NEW WALK-IN FREEZER.	
1	07-5481	12/20/2007	13,000		REPLACE 500SF OF DROP CEILING, TILE AND GROUT IN KITCHEN AREA, SAND AND REFINISH 625SF OF WOOD FLOOR IN LOWER DINING AREA, SAND AND REFINISH BAR TOPS. INSTALL 300SF OF 1X4 T&G DECKING ON SECOND FLOOR BALCONY.	
1	08-4528	12/16/2008	19,900	Commercial	REMOVE AND REPLACE SUB-FLOOR AND TILE IN WAIT STATION AREA. EXCAVATE AROUND EXTERIOR OF CISTERN TO WATER PROOF. FURR WALLS AND CEILING IN CISTERN/STORAGE ROOM TO INSULATE. APPLY DURAROCK AND STUCCO FINISH.	
1	13-1404	04/12/2013	15,000	Commercial	CHANGE OUT 20 TON A/C CONDENSOR ONLY.	
1	B953562	10/01/1995	12/01/1995	130,000	Commercial	REMODEL REAR BUILDING

1	B953512	10/01/1995	12/01/1995	5,000	Commercial	DEMO INTERIOR
1	P953533	10/01/1995	12/01/1995	7,064	Commercial	PLUMBING
1	E953566	10/01/1995	12/01/1995	11,300	Commercial	RENOVATIONS/ALTERATIONS
1	M953579	10/01/1995	12/01/1995	33,000	Commercial	REPLACE 4/10-1/5 TON AC
1	E953648	10/01/1995	12/01/1995	4,000	Commercial	100 KW GENERATOR
1	E953887	11/01/1995	12/01/1995	2,100	Commercial	ELECTRIC SERVICES
1	B954283	12/01/1995	09/01/1996	1,650	Commercial	AWNNGS
1	95-0176	12/01/1995	09/01/1996	10,000	Commercial	RENOVATIONS
1	96-2144	05/01/1996	09/01/1996	25,000	Commercial	DEMO OF BLDG
1	96-2176	05/01/1996	09/01/1996	5,000	Commercial	RENOVATIONS
1	96-2462	06/01/1996	09/01/1996	20,000	Commercial	RENOVATIONS
1	96-2702	07/01/1996	09/01/1996	30,000	Commercial	RENOVATIONS
1	96-2996	07/01/1996	09/01/1996	1,000	Commercial	FENCE
1	9602939	07/01/1996	09/01/1996	810,000	Commercial	RENOVATONS
1	9603273	08/01/1996	09/01/1996	5,000	Commercial	PLUMBING
1	9603307	08/01/1996	09/01/1996	70,000	Commercial	PLUMBING
1	9603316	08/01/1996	09/01/1996	153,000	Commercial	ELECTRICAL
1	9603324	08/01/1996	09/01/1996	14,285	Commercial	FIRE ALARM
1	9603328	08/01/1996	09/01/1996	160,000	Commercial	MECHANICAL
1	9603355	08/01/1996	09/01/1996	5,935	Commercial	FIRE ALARM
1	9603404	08/01/1996	09/01/1996	2,500	Commercial	SIGN
1	9603430	08/01/1996	09/01/1996	17,163	Commercial	MECHANICAL
1	96-3461	08/01/1996	09/01/1996	2,300	Commercial	MECHANICAL
1	96-3489	08/01/1996	09/01/1996	15,000	Commercial	ELECTRICAL
1	96-3539	08/01/1996	09/01/1996	3,000	Commercial	MECHANICAL
1	97-0866	03/01/1997	07/01/1997	900	Commercial	PAINTING
1	97-1403	05/01/1997	07/01/1997	3,000	Commercial	SLAB FOR TRASH COMPACTOR
1	97-4358	12/31/1997	01/01/1999	10,500	Commercial	INSTALL SWITCH & GENERATO
1	98-0217	01/27/1998	01/01/1999	3,000	Commercial	INSTALL DIESAL TANK
1	97-0866	06/29/1998	01/01/1999	900	Commercial	REPAINT DECK
1	98-2089	07/07/1998	01/01/1999	6,000	Commercial	WHITE PICKET FENCE
1	00-0382	02/14/2000	11/01/2000	43,027	Commercial	NEW ROOF
1	00-2259	08/18/2000	11/01/2000	39,000	Commercial	PAINT OUTSIDE
1	04-0558	03/11/2004	10/04/2004	2,400	Commercial	INSTALL DRAINS
1	07-5481	12/20/2007		13,000	Commercial	REPLACE 500 SF OF DROP CEILING, TILE & GRID IN KITCHEN AREA, SAND & REFINISH 625 SF, INSTALL APPROX. 300 SF OF 1X4 T&G DECKING SECOND FLOOR
1	05-2805	07/06/2005	12/31/2005	2,000	Commercial	INSTALL ELECTRIC FOR C.U.'S
1	05-3151	07/28/2005	12/31/2005	8,000	Commercial	REPLACE EXISTING 20 TON C/U WITH EQUAL PER HARC
1	06-6363	11/28/2006	03/08/2007	42,000	Commercial	REPLACE 4 A/C UNITS 10 TON

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	1,566,494	14,264	1,964,772	3,545,530	3,545,530	0	3,545,530

2012	1,595,880	14,772	1,964,772	3,575,424	3,575,424	0	3,575,424
2011	1,595,880	15,316	1,964,772	3,575,968	3,575,968	0	3,575,968
2010	1,664,258	15,814	1,998,415	3,678,487	3,678,487	0	3,678,487
2009	1,664,258	16,323	2,555,523	4,236,104	4,236,104	0	4,236,104
2008	1,690,253	16,865	2,691,468	4,760,564	4,760,564	0	4,760,564
2007	1,221,832	17,355	2,691,468	4,760,564	4,760,564	0	4,760,564
2006	1,346,657	17,863	1,552,770	4,760,564	4,760,564	0	4,760,564
2005	1,372,264	18,406	1,293,975	4,560,564	4,560,564	0	4,560,564
2004	1,382,498	18,903	1,086,939	4,560,564	4,560,564	0	4,560,564
2003	1,382,498	19,412	1,069,686	4,560,564	4,560,564	0	4,560,564
2002	1,210,176	19,955	1,069,686	4,343,394	4,343,394	0	4,343,394
2001	1,210,176	20,455	1,069,686	4,343,394	4,343,394	0	4,343,394
2000	1,254,847	6,803	897,156	4,343,394	4,343,394	0	4,343,394
1999	1,386,178	6,986	897,156	4,343,394	4,343,394	0	4,343,394
1998	924,218	6,451	897,156	1,970,016	1,970,016	0	1,970,016
1997	924,218	5,281	862,650	1,970,016	1,970,016	0	1,970,016
1996	827,103	4,383	862,650	1,326,392	1,326,392	0	1,326,392
1995	344,572	0	862,650	1,326,392	1,326,392	0	1,326,392
1994	372,633	0	862,650	1,256,582	1,256,582	0	1,256,582
1993	372,633	0	862,650	1,235,283	1,235,283	0	1,235,283
1992	372,633	0	862,650	1,235,283	1,235,283	0	1,235,283
1991	372,633	0	862,650	1,235,283	1,235,283	0	1,235,283
1990	329,114	0	694,433	1,023,547	1,023,547	0	1,023,547
1989	317,942	0	690,120	1,008,062	1,008,062	0	1,008,062
1988	294,685	0	552,096	846,781	846,781	0	846,781
1987	325,913	0	317,024	642,937	642,937	0	642,937
1986	327,136	0	310,554	637,690	637,690	0	637,690
1985	321,410	0	186,332	507,742	507,742	0	507,742
1984	317,843	0	186,332	504,175	504,175	423,507	80,668
1983	317,843	0	120,771	438,614	438,614	368,435	70,179
1982	232,196	0	109,556	341,752	341,752	269,984	71,768

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
12/1/1994	1334 / 0606	1,100,000	WD	U
3/1/1987	1004 / 635	750,000	WD	U
8/1/1984	920 / 836	475,000	WD	Q

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Monroe County Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176