

Application



Application For Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3720 • www.cityofkeywest-fl.gov

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 1213 Glynn R Archer Jr Dr (14th Street) - Office

Zoning District: MDR Real Estate (RE) #: 00065030-000000

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: Trepanier & Associates, Inc.

Mailing Address: 1421 First Street unit 101

City: Key West State: FL Zip: 33040

Home/Mobile Phone: NA Office: 305-293-8983 Fax: 305-293-8748

Email: lori@owentrepanier.com

PROPERTY OWNER: (if different than above)

Name: Island-West Investment Corp

Mailing Address: 1213 Glynn R Archer Jr Dr Ofc

City: Key West State: FL Zip: 33040

Home/Mobile Phone: NA Office: c/o305-293-8983 Fax: c/o305-293-8748

Email: c/o lori@owentrepanier.com

Description of Proposed Construction, Development, and Use: Office for Mobile Home Park:

Elevating and renovation of existing office space above flood including the addition of an ADA lift

List and describe the specific variance(s) being requested:

Variance to code section 122-270 (6)(a)1.

Front yard variance of 3.9 ' from the allowed 20' to the proposed 16.1 '

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property?
 If yes, provide date of landscape approval, and attach a copy of such approval.

Yes No

Is this variance request for habitable space pursuant to Section 122-1078?

Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	MDR			
Flood Zone	AE 8			
Size of Site	974,872.8 sf			
Height	35 ft	10.5 ft.	21.5	No change
Front Setback	20 ft	20.5 ft.	16.1 ft.	Variance (3.9 ft.)
Side Setback	7 ft	7 ft.	7 ft.	No change
Side Setback	7 ft	7 ft.	7 ft.	No change
Street Side Setback	10 ft	10 ft.	10 ft.	No change
Rear Setback	20 ft	10 ft	10 ft.	No change
F.A.R	NA	NA	NA	NA
Building Coverage	35%	35%	35%	No change
Impervious Surface	50%	50%	50%	No change
Parking	1/300 sq. ft.	6	6	No change
Handicap Parking	NA	NA	NA	NA
Bicycle Parking	10%	10%	10%	No change
Open Space/ Landscaping	35%	35%	35%	No change
Number and type of units	NA	NA	NA	NA
Consumption Area or Number of seats	NA	NA	NA	NA

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Special circumstances exist. The existing office building is currently at ground level and the proposal is to raise the structure above flood elevation, therefore the increase in height requires ADA accessibility.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The need to protect property from potential flood waters is not a condition created by the applicant.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

No special privileges will be conferred. The addition which decreases the setback is for an ADA lift and ADA compliant covered porch/entry.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship conditions do exist. The literal interpretation of the land development regulations would prevent the owner from raising the structure above potential flood waters.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Only the minimum variance is being requested. The structure will remain in the same location with the exception of the ADA lift and ADA compliant covered porch/entry.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Not injurious to the public welfare. This proposal is for the benefit of the general public allowing property protection against flood damage and providing for ADA access for residents of the park in need.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses of other properties are not considered as the basis for approval.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

Warranty Deed

82283

642 PAGE 211

This Instrument Prepared by:
ROBERT F. SAUER, Attorney
3600 North Roosevelt Blvd.
Key West, Florida 33040

WARRANTY DEED

THIS INDENTURE, Made this 25th day of September, A. D. 1975, between STADIUM MOBILE HOME PARK, INC., a corporation existing under the laws of the State of Florida, having its principal place of business in the County of Monroe and State of Florida, party of the first part, and ISLAND-WEST INVESTMENT CORPORATION, a corporation existing under the laws of the State of Florida, having its principal place of business in the County of Monroe and State of Florida, whose mailing address is 1213 Fourteenth Street, Key West, Florida 33040, party of the second part,

WITNESSETH, That the said party of the first part, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable considerations, to it in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, enfeoffed, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, remise, release, enfeoff, convey and confirm unto the said party of the second part, and its successors and assigns forever, all those certain parcels of land lying and being in the County of Monroe and State of Florida, more particularly described as follows:

A parcel of land on the Island of Key West, Monroe County, Florida and being more particularly described by metes and bounds as follows:

Commencing at the Northeasterly Corner of Lot 15, according to the PLAT OF SURVEY OF LANDS ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA, recorded in Plat Book Page 35, Public Records of Monroe County, Florida, bears South 21 degrees, 14 minutes and 20 seconds East, along the Easterly Line of Lot 15, the same being the Easterly right-of-way line of 14th Street 91.73 feet to the POINT OF BEGINNING of the tract of land hereinafter described; from said POINT OF BEGINNING, continue bearing South 21 degrees, 14 minutes and 20 seconds East, along the Easterly right-of-way line of 14th Street, 493.41 feet; thence bear North 68 degrees, 45 minutes and 40 seconds East, 288.64 feet; thence bear North 32 degrees, 28 minutes and 20 seconds West, 539.43 feet; thence bear South 57 degrees, 45 minutes and 40 seconds West, 187.00 feet, back to the POINT OF BEGINNING, containing 2.92 acres.

ALSO:

STATE OF FLORIDA
DOCUMENTARY
STAMP TAX
210.00

89:179

1975

047301

STATE OF FLORIDA
DOCUMENTARY
STAMP TAX
700.00

FLORIDA
STAMP TAX
700.00

FLORIDA
STAMP TAX
700.00

DOCUMENTARY
SUR TAX
847.00

FILED FOR RECORD
MONROE COUNTY FLA.
FALM SHIFF
CLERK OF CIRCUIT COURT
FEB 28 1975

082288

A tract of land on the Island of Key West, Florida and being more particularly described by metes and bounds as follows:

COMMENCING at the intersection of the Northwesterly right-of-way line of Duck Avenue and the Northeasterly right-of-way line of 14th Street, said intersection to be known as the POINT OF BEGINNING of the tract of land hereinafter described, bear North 21 degrees, 14 minutes and 20 seconds West, along the Northeasterly right-of-way line of 14th Street, 967.65 feet; thence bear North 68 degrees, 45 minutes and 40 seconds East, 288.64 feet; thence bear North 32 degrees, 28 minutes and 20 seconds West, 539.43 feet; thence bear South 57 degrees, 45 minutes and 40 seconds West, 187 feet to the Northeasterly right-of-way line of 14th Street; thence bear North 21 degrees, 14 minutes and 20 seconds West, along the Northeasterly right-of-way line of 14th Street, 91.73 feet to where the Northeasterly right-of-way line of 14th Street intersects the Southeasterly right-of-way line of Northside Drive; thence bear North 57 degrees, 45 minutes and 40 seconds East, along the Southeasterly right-of-way line of Northside Drive, 722.55 feet; thence bear South 32 degrees, 14 minutes and 20 seconds East, 897.91 feet; thence bear South 68 degrees, 41 minutes and 40 seconds West, 220.03 feet; thence bear South 21 degrees, 14 minutes and 20 seconds East, 635.55 feet; thence bear South 68 degrees, 45 minutes and 40 seconds West, 116.17 feet; thence bear South 21 degrees, 14 minutes and 20 seconds East, 172.87 feet to the Northwesterly right-of-way line of Duck Avenue; thence bear South 68 degrees, 45 minutes and 40 seconds West, along the Northwesterly right-of-way line of Duck Avenue, 48.83 feet; thence bear North 21 degrees, 14 minutes and 20 seconds West, 404.87 feet; thence bear South 68 degrees, 45 minutes and 40 seconds West, 146.42 feet; thence bear North 21 degrees, 14 minutes and 20 seconds West, 74.10 feet; thence bear South 68 degrees, 45 minutes and 40 seconds West, 272.50 feet; thence bear South 21 degrees, 14 minutes and 20 seconds East, 478.97 feet to the Northwesterly right-of-way line of Duck Avenue; thence bear South 68 degrees, 45 minutes and 40 seconds West, 75.02 feet, back to the POINT OF BEGINNING, containing
 ..19.46 acres.

SUBJECT TO easements of record.

TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining:

TO HAVE AND TO HOLD the same in fee simple forever.

And the said party of the first part doth covenant with the said party of the second part that it is lawfully seized of the said premises; that they are free of all incumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed, attested by its Secretary, the day and year above written.



STADIUM MOBILE HOME PARK, INC.

By *Vincent Cobley*
President.

Attest: (Corporate Seal)

[Signature]
Secretary

Executed in the Presence of:
[Signature]
[Signature]

STATE OF FLORIDA,
ss.
COUNTY OF MONROE,

I HEREBY CERTIFY, that on this 1st day of February, A. D. 1976, before me personally appeared Vincent Cobley and Patricia L. Kramer, President and Secretary respectively of STADIUM MOBILE HOME PARK, INC., a corporation existing under the laws of the State of Florida, to me known to be the persons described in and who executed the foregoing conveyance to ISLAND-WEST INVESTMENT CORPORATION, a corporation existing under the laws of the State of Florida, and severally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes therein mentioned; and that they affixed thereto the official seal of said corporation, and the said instrument is the act and deed of said corporation.

WITNESS my signature and official seal at Key West, in the County of Monroe and State of Florida, the day and year last aforesaid.

[Signature]
Notary Public, State of Florida at Large.

My commission expires:



RECORDED IN OFFICE OF CLERK OF CIRCUIT COURT
MONROE COUNTY, FLORIDA
RALPH W. WHITE
CLERK OF CIRCUIT COURT
CLERK'S NUMBER

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES: OCT. 20, 1977
BOND NO. 1977-00000000000000000000

Property Record Card



Summary

Parcel ID 00065030-000000
Account# 1065552
Property ID 1065552
Millage Group 10KW
Location Address 1213 14TH St, KEY WEST
Legal Description KW NO 16 A PARCEL OF LAND LYING BETWEEN N ROOSEVELT BLVD & FLAGLER AVE & A PARCEL OF LAND LYING NORTHEASTERLY OF 14TH ST & KW KW FWDN SUB PLAT 2 PB1-189 PT LOTS 2,3 & 11 & ALL OF 12 OR254-3/5 OR457-558/561 OR642-211/213 OR642-216/17 (RE 5430 COMBINED WITH THIS PARCEL FOR 1993 TAX ROLL)
(Note: Not to be used on legal documents.)
Neighborhood 31100
Property Class TRAILER/RV PARKS (2801)
Subdivision Key West Foundation Co's Plat No 2
Sec/Twp/Rng 33/67/25
Affordable Housing No



Owner

ISLAND-WEST INVESTMENT CORP
 1213 Glynn R Archer Jr Dr
 Ofc
 Key West FL 33040

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$9,328,570	\$9,328,570	\$9,328,570	\$9,328,570
= Just Market Value	\$9,328,570	\$9,328,570	\$9,328,570	\$9,328,570
= Total Assessed Value	\$9,328,570	\$9,328,570	\$9,328,570	\$9,328,570
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$9,328,570	\$9,328,570	\$9,328,570	\$9,328,570

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MOB HOME DRY (020D)	974,872.80	Square Foot	0	0

Yard Items

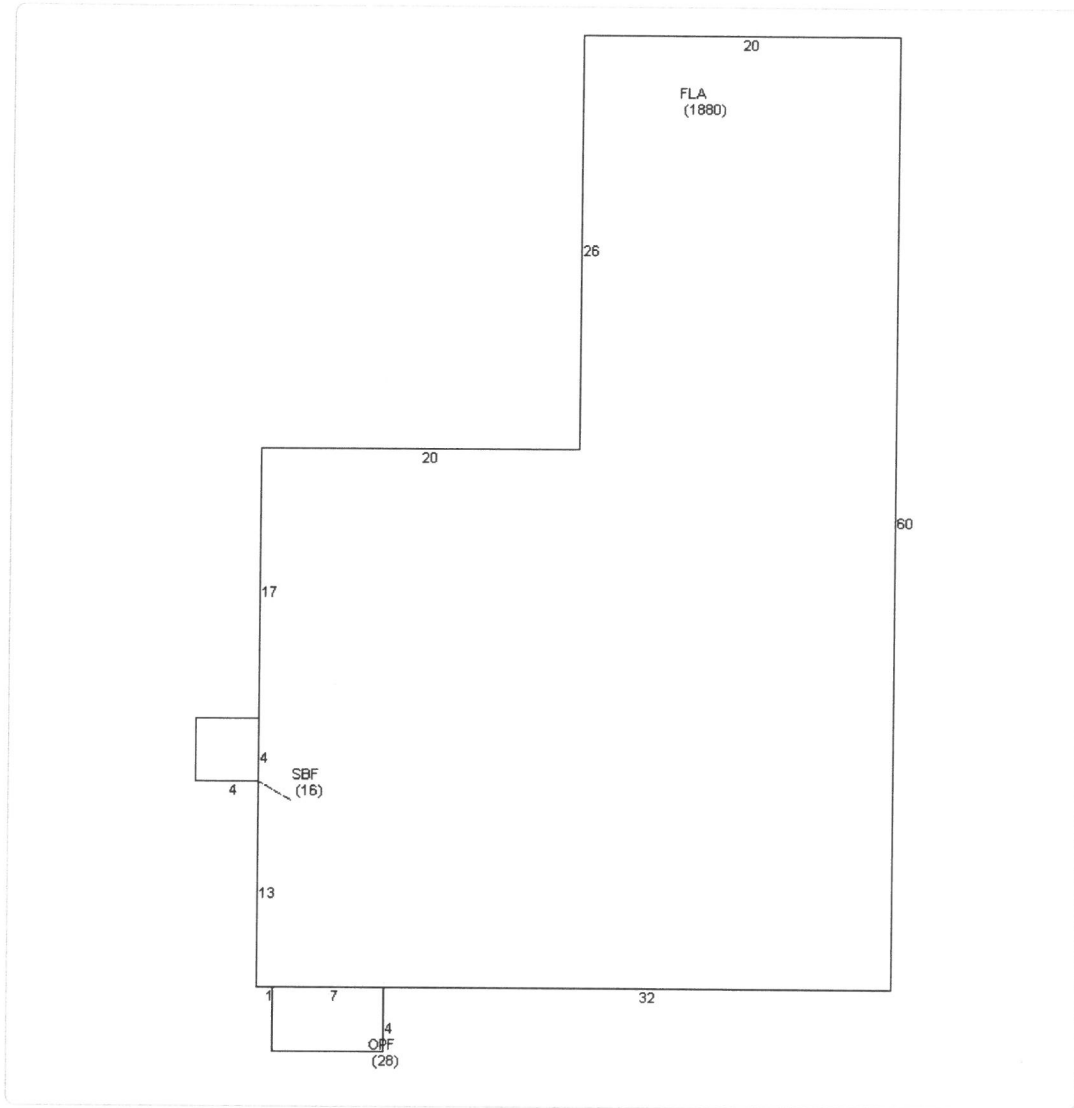
Description	Year Built	Roll Year	Quantity	Units	Grade
WALL AIR COND	1964	1965	1	3 UT	1
CH LINK FENCE	1973	1974	1	14364 SF	1
FENCES	1975	1976	1	114 SF	5
ASPHALT PAVING	1979	1980	1	170700 SF	2
LC UTIL BLDG	1981	1982	1	32 SF	1

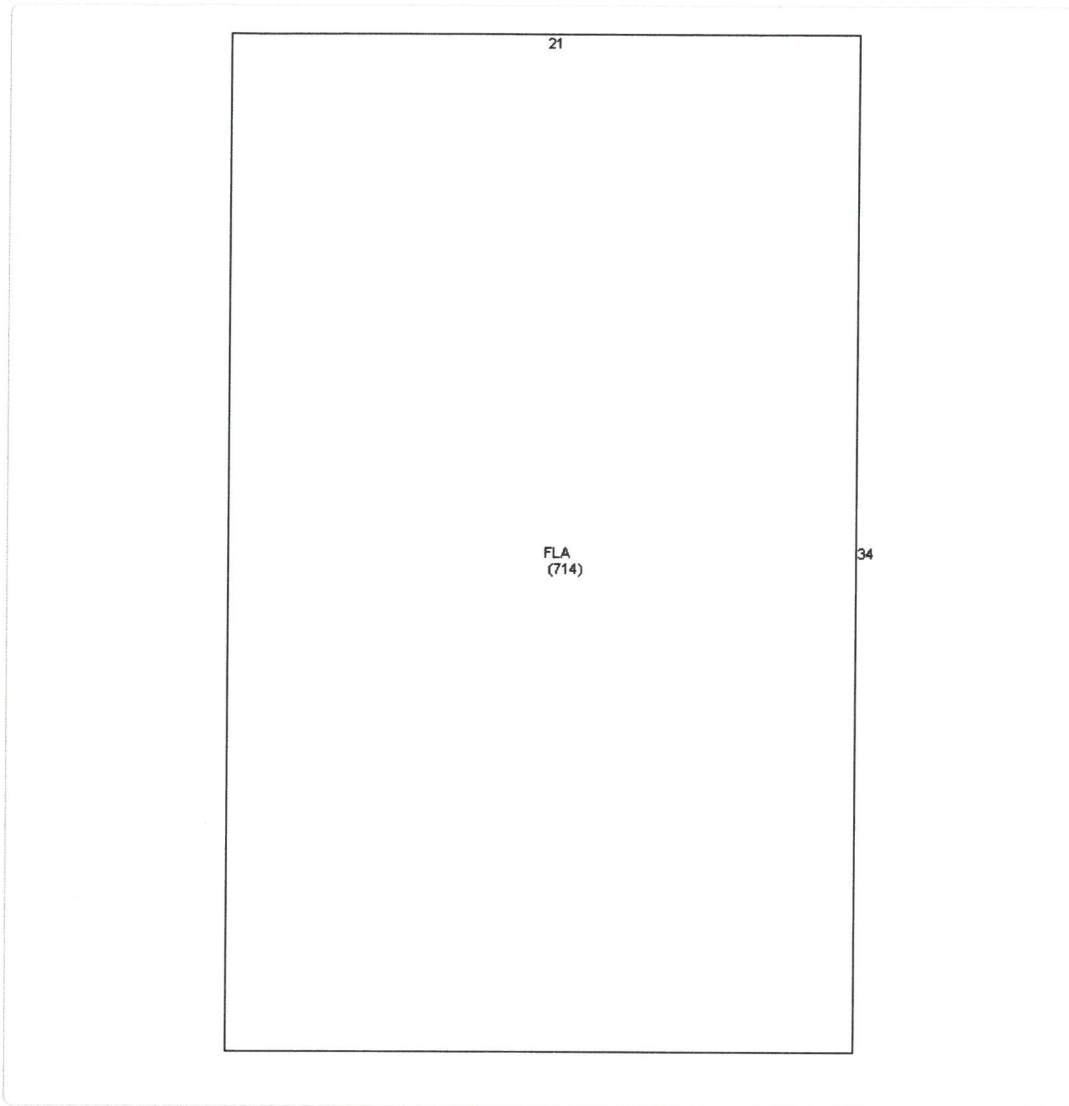
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
2/1/1976	\$770,000	Conversion Code		642	216	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2019-0046	1/8/2019		\$600	Residential	AFTER THE FACT-MOBILE HOME-REMOVE WALL COVERING & INSULATION IN BEDROOM AND REPLACE W/SAME. REMOVE 2 WINDOWS IN BEDROOM & REPLACE W/SAME. REMOVE PLYWOOD FROM FLOOR AND REPLACE W/SAME. 12 X 11 FT ROOM N.O.C. EXEMPT.
2018-00003575	10/9/2018		\$0	Commercial	ELECTRICAL- MISC ELECTRICAL - HOOK-UP AFTER DEMO OF KITCHEN CABINETS AND DEMO OF BATHROOM. RECONNECT MICROWAVE REINSTALL ANY MISC OUTLETS AND SWICHES. N.O.C. EXEMPT. GH
2018-00003574	10/2/2018		\$0	Commercial	INTERIOR PERMIT- RECONNECT KITCHEN SINK BATHROOM SINK MISC SHOWER AFTER DEMO OF KITCHEN CABINETS AND REWORK OF BATHROOM. N.O.C. EXEMPT. GH





Photos



Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

Developed by
 Schneider
GEOSPATIAL

Last Data Upload: 4/11/2019, 12:08:40 PM

Version 2.2.13

Quit Claim Deed

3

1, 30/5

82290

642 PAGE 216

QUIT CLAIM DEED

THIS INDENTURE, Made this 25th day of September, A. D. 1975,
 between STADIUM MOBILE HOME PARK, INC., a corporation existing under the
 laws of the State of Florida, having its principal place of business in
 the County of Monroe and State of Florida, party of the first part, and
 ISLAND-WEST INVESTMENT CORPORATION, a corporation existing under the laws
 of the State of Florida, having its principal place of business in the
 County of Monroe and State of Florida, whose mailing address is 1213
 Fourteenth Street, Key West, Florida 33040, party of the second part,

WITNESSETH, that the said party of the first part, for and in consid-
 eration of the sum of One Dollar (\$1.00) and other good and valuable con-
 siderations, in hand paid by the said party of the second part, the receipt
 whereof is hereby acknowledged, has remise, released and quitclaimed, and
 by these presents does remise, release and quitclaim unto the said party of
 the second part all the right, title, interest, claim and demand which the
 said party of the first part has in and to the following described lots,
 pieces or parcels of land, situate, lying and being in the County of Monroe,
 State of Florida, to-wit:

A strip of land in the City of Key West, Florida and being more particularly
 described by metes and bounds as follows: COMMENCING at the Northeast
 Corner of Lot 15, according to the PLAT OF SURVEY OF LANDS ON THE ISLAND OF
 KEY WEST, MONROE COUNTY, FLORIDA, as recorded in Plat Book 3, Page 35, of
 the Public Records of Monroe County, Florida, bear North 57 degrees, 45
 minutes and 40 seconds East, along the Southerly right-of-way line of North-
 side Drive, 722.55 feet to the Northwest Corner of The Aldersgate Property;
 thence bear South 32 degrees, 14 minutes and 20 seconds East, along the
 Westerly Property Line of the Aldersgate, 897.91 feet to the Southerly
 right-of-way line of the Former F.E. C. Rwy.; thence bear South 68 degrees,
 41 minutes and 40 seconds West, along the Southerly right-of-way line of
 the Former F.E.C. Rwy., 29.34 feet to the POINT OF BEGINNING of the strip
 of land hereinafter described; from said POINT OF BEGINNING, continue bear-
 ing South 68 degrees, 41 minutes and 40 seconds West, along the Southerly
 right-of-way line of the Former F.E.C. Rwy., 189.69 feet, more or less;
 thence bear North 21 degrees, 14 minutes and 20 seconds West, 1.27 feet,
 more or less, to a Cyclone Fence; thence bear North 68 degrees, 41 minutes
 and 40 seconds East, along said Cyclone Fence, 185 feet, more or less;
 thence Southeasterly, 1.27 feet, more or less, back to the POINT OF
 BEGINNING.

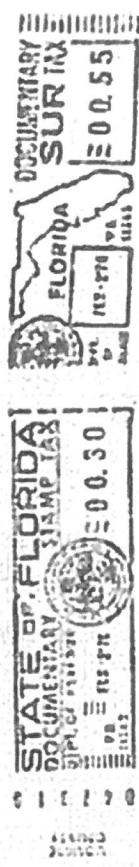
FILED FOR RECORD
 MONROE COUNTY FLA.
 RAFAEL WHITE
 CLERK OF CIRCUIT COURT
 FEB 2 1975

THIS INSTRUMENT PREPARED
 BY Robert E. Jones OF
 LAW FIRM OF NEULETT & SAUNDERS

ALSO:

A strip of land on the Island of Key West, Florida, and being more particularly described by metes and bounds as follows:

COMMENC'NG at the Southwest Corner of Block 21 of the KEY WEST FOUNDATION COMPANY'S SUBDIVISION, Plat No. 2, as recorded in Plat Book 1, Page 189, of the Public Records of Monroe County, Florida, bear North 68 degrees, 45 minutes and 40 seconds East, along the Northernly right-of-way line of Duck Avenue, 542.77 feet; thence bear North 21 degrees, 14 minutes and 20 seconds West, 172.87 feet; thence bear North 68 degrees, 45 minutes and 40 seconds East, 116.17 feet to the Easterly Property Line of The Stadium Mobile Home Apartments and the POINT OF BEGINNING of the strip of land hereinafter described; from said POINT OF BEGINNING, continue bearing North 68 degrees, 45 minutes and 40 seconds East, 1.0 feet, more or less, to a Cyclone Fence; thence bear North 21 degrees, 14 minutes and 20 seconds West, along said Cyclone Fence, 635.55 feet to the Southerly right-of-way line of the Former F. E. C. Rwy.; thence bear South 68 degrees, 41 minutes and 40 seconds West, along the Southerly right-of-way of the Former F. E. C. Rwy., 1.0 feet, more or less, to the Easterly Property Line of The Stadium Mobile Home Apartments; thence bear South 21 degrees, 14 minutes and 20 seconds East, along the Easterly Property Line of the Stadium Mobile Home Apartments, 635.55 feet, back to the POINT OF BEGINNING.



IN WITNESS WHEREOF, the said party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed, attested by its Secretary, the day and year above written.

Executed in the Presence of:
Robert F. Law
Helene G. Allaway

STADIUM MOBILE HOME PARK, INC.
By [Signature]
President.
Attest: (Corporate Seal) [Signature]
Secretary.

STATE OF FLORIDA, ss,
COUNTY OF MONROE,

I HEREBY CERTIFY, That on this 1st day of February, A. D. 1976, before me personally appeared Vincent Conkey and Patricia L. Kramay, President and Secretary respectively of STADIUM MOBILE HOME PARK, INC., a corporation existing under the laws of the State of Florida, to me known to be the persons described in and who executed the foregoing conveyance to ISLAND-WEST INVESTMENT CORPORATION, a corporation existing under the laws of the State of Florida, and severally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes therein mentioned; and that they affixed thereto the official seal of said corporation, and the said instrument is the act and deed of said corporation.

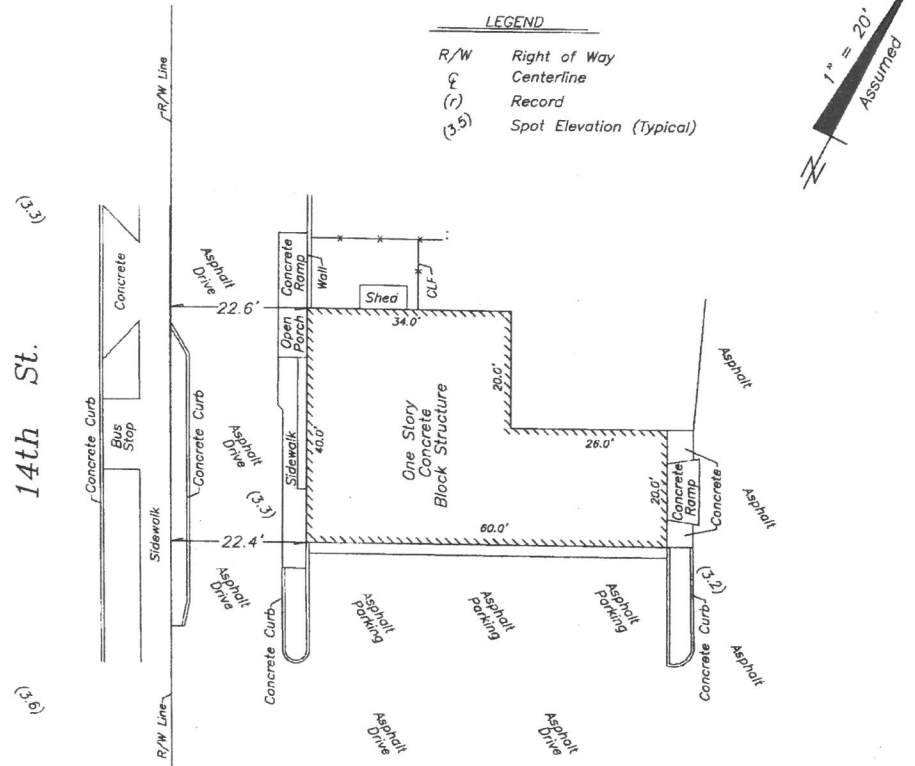
WITNESS my signature and official seal at Key West, in the County of Monroe and State of Florida, the day and year last aforesaid.



Robert F. Law
Notary Public, State of Florida at Large.
My commission expires [Date]

Survey

Specific Purpose Survey of a portion of STADIUM TRAILER PARK, Key West, FL



NOTES:

1. The legal description shown hereon was authored by the undersigned.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1213 14th Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. This survey is not assignable.
9. Adjoiners are not furnished.
10. The description contained herein and sketch do not represent a field boundary survey.
11. Elevations are shown in parenthesis and refer to Mean Sea Level N.G.V.D. 1929 Datum.

SPECIFIC PURPOSE SURVEY TO SHOW THE OFFICE AT
STADIUM TRAILER PARK

SPECIFIC PURPOSE SURVEY FOR: ISLAND-WEST INVESTMENT CORP.;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6296

October 14, 2018

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6296

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

0-8458

FEMA's National Flood Hazard Layer (Official)



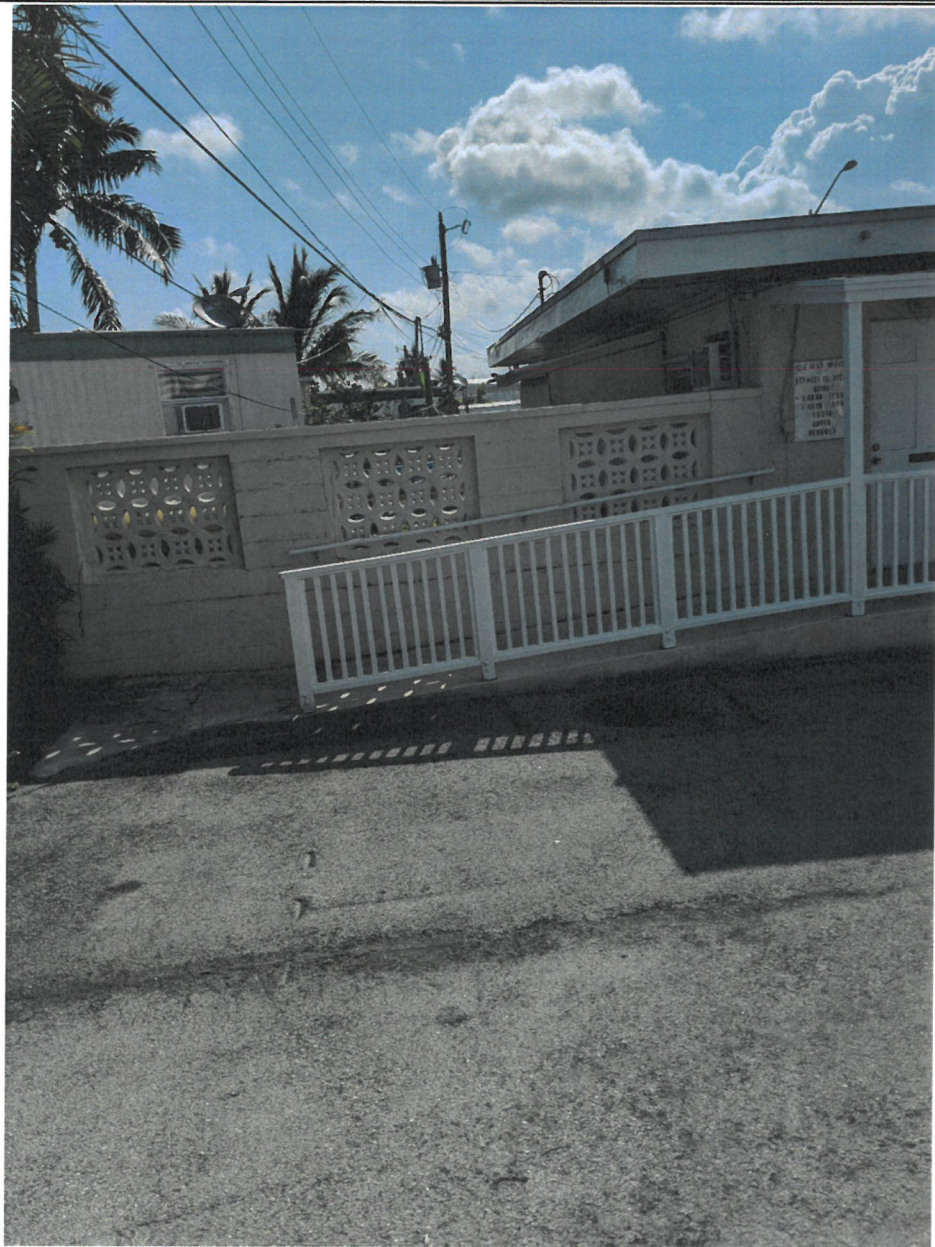
Data from Flood Insurance Rate Maps (FIRMs) where available digitally. New NFHL FIRMette Print app available:
<http://tinyurl.com/j4xwp5e>

USGS The National Map: Orthoimagery | National Geospatial-Intelligence Agency (NGA); Delta State
<http://tinyurl.com/j4xwp5e> Support: FEMAMapSpecialist@riskmapcdfs.com | U

Site Photos







Proposed Plans

CONSTRUCTION PLANS FOR 1 213 14TH ST STADIUM MOBILE HOME PARK OFFICE RAISING



SITE LOCATION

LOCATION MAP:

PROJECT LOCATION:
1 213 14TH STREET
KEY WEST, FL 33040

CLIENT:
GARY THE CARPENTER

Digitally signed
by Serge
Mashtakov P.E.
71480 State of
Florida
Date:
2019.03.25
13:43:35 -04'00'



THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL.

SIGNATURE: _____
DATE: _____

SEGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 11480

REV: DESCRIPTION: _____ DATE: 03/25/19
FINAL



ARTIBUS DESIGN
3706 N. ROOSEVELT BLVD
SUITE 2016
KEY WEST, FL 33040
(305) 304-3612
WWW.ARTIBUSDESIGN.COM
CA # 25593

DESIGNER: GARY THE CARPENTER
PROJECT: OFFICE RAISING

TITLE: 1 213 14TH STREET
KEY WEST, FL 33040
COVER

DATE PLOTTED	DATE	SCALE	CHECKED
1806-02	02/23/19	MNS	BAM
PROJECT	DATE	SCALE	REVISION
1806-02	03-25-19	G-100	1

- GENERAL REQUIREMENTS:**
- PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS TO DETERMINE IF ANY DISCREPANCIES ARE DISCOVERED.
 - THE ENGINEER IS NOT RESPONSIBLE FOR THE ACTIONS OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE NECESSARY PERMITS AND TO OBTAIN THE NECESSARY APPROVALS TO PROVIDE THE NECESSARY UTILITIES AND SERVICES TO THE PROJECT.
 - QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
 - ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

- DESIGN DATA:**
- APPLICABLE BUILDING CODE: FBC EXISTING BUILDING 6TH EDITION (2017)
 - APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-10
 - ROOF LIVE LOAD: 30 PSF (300 LB CONG.)
 - BASIC WIND SPEED: 180 MPH
 - WIND EXPOSURE CATEGORY: II
 - FLOOD ZONE: AE7

- ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6
- 3.ASCE 24-1.4 FLOOD RESISTANT DESIGN AND CONSTRUCTION
- SOILS AND FOUNDATIONS:**

- PREDUCTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A FOUNDATION ANALYSIS. FOUNDATIONS SHALL BE PLACED ON A SEDEMENTARY AND FOLIATED ROCK WITH AN ALLOWABLE LOAD BEARING CAPACITY OF 3,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT.
- ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
 - FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE SPECIFIED ON THE PLANS. IF OVEREXCAVATED, FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
 - FILL MATERIALS AND FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6" TO 8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
 - FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIKESOCK MIX WITHOUT ANY ORGANIC WOODS OR CELLULOSE DEBRIS.

- AUGERCAST PILES**
- AUGERCAST PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
 - CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI.
 - REINFORCEMENT SHALL BE FOUR (4) #5 REBAR VERTICALLY WITH #3 STRIPS AT 12" O.C. CONTRACTOR SHALL USE PLASTIC CHAIR OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

- CONCRETE:**
- APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
 - CONCRETE SHALL BE PLACED IN A MINIMUM 24 HOUR CURING PERIOD UNLESS OTHERWISE SHOWN ON THE PLANS.
 - ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM DRYING PER ACI 308.10 "HOT-WEATHER CONCRETING" CHAPTERS.
 - NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 - TESTING: ALL FIELD AND LABORATORY TESTS SHALL BE PERFORMED BY AN INDEPENDENT TESTING COMPANY.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY.
 - MINIMUM SAMPLING FREQUENCY:
 - EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX.
 - EVERY 50 CUBIC YARDS.
 - EVERY 2000 SQ.FT. OF SLAB AREA.

- ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS.
- LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED/SEALED REPORT RESULTS TO THE ENGINEER.
7. DATE, MAKE AND PRECAST NUMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2.2 IN SECTION 8.3 OF PCI DESIGN HANDBOOK/SIXTH EDITION.

- REINFORCEMENT:**
- ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 - REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.

- ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
- ALL WELDED JOINTS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
- ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

- ALUMINUM COMPONENTS:**
- TYPE 6061-T6 ALUMINUM.
 - ALL WELDED JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
 - ALL ALUMINUM MATERIALS SHALL BE ANODIZED OR PROTECTED BY OTHER CORROSION RESISTANT MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.

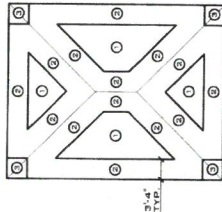
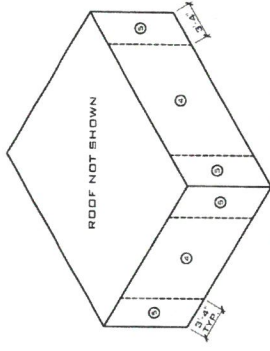
- HARDWARE:**
- ALL HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

- STRUCTURAL LUMBER:**
- ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCES STANDARDS.
 - MEMBERS SHALL BE PRESSURE TREATED SOUTHWEST PINE NO.2 OR GREATER KILN DRIED AS SPECIFIED IN THE SCHEDULES, UNLESS OTHERWISE SPECIFIC TO CONCRETE OR STEEL.
 - ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE TREATED WITH PRESERVATIVE TO MEET THE REQUIREMENTS OF AWPA STANDARDS.
 - ALL FIELD CUTS IN PT LUMBER SHALL BE MADE PER AWPA STANDARDS.
 - NAILING SHALL BE IN ACCORDANCE WITH FBC 6TH EDITION (2017), NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACP APPROVED TREATED.
 - 5/8" DIAMETER W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
 - ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

- STRUCTURAL STEEL:**
- STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" (AISC 360) AND "SPECIFICATIONS FOR STRUCTURAL STEEL BRACED FRAME BUILDINGS" (AISC 340).
 - HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (14.49 KSI).
 - STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) STEEL UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 - WELDED CONNECTIONS SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

- STRUCTURAL STEEL COATINGS:**
- ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10) EXCEPT WHERE NOTED OTHERWISE.
 - ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (18.0 MILS DFT).
 - APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE POLYURETHANE (ASTM D2701) WITH A TENSILE STRENGTH SHALL (F_T) BE 2000 PSI.
 - MINIMUM ALL BLOCKS IN RUNNING BOND.
 - TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING.
 - REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
 - FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE SPECIFIED ON THE PLANS).
 - GROUT SHALL BE TYPE 1000 PORTLAND CEMENT (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 6"-11".
 - RESERVED CELLS SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOADS, MORTAR OR CLADDING ATTACHED TO THE FRAME.
 - BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

- WINDOWS & DOORS:**
- ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
 - ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NDA.
 - PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
 - WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)



THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL.

SIGNATURE: SERGE MASHTAKOV
 DATE: 2019.03.25
 PROJECT: 1213 14TH STREET
 STATE OF FLORIDA
 LICENSE NO. 71480

SCALE: FINAL

ARTIBUS DESIGN
 ENGINEERING AND PLANNING

ARTIBUS DESIGN
 3706 N.W. 30th AVE
 SUITE 1-208
 BOCA RATON, FL 33304
 (305) 304-5330
 WWW.ARTIBUSDESIGN.COM
 CA # 30835

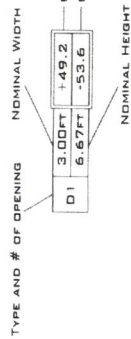
PROJECT: 1213 14TH STREET

1213 14TH STREET
 KEY WEST, FL 33040

DATE: 2019.03.25

1808-02 G-101 1

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 Serge Mashakov
 P.E. 71480 State of
 Florida
 Date: 2019.03.25
 13:48:52 -04'00'



Description	Width	Area	ENCLOSED - BUILDING (CH 30 PART 1)		PARTIALLY ENCLOSED - PORCH	
			Max P	Min P	Max P	Min P
Zone 1	1	1	-30.76	-48.88	-37.04	-67.56
Zone 2	1	1	-30.76	-48.88	-37.04	-67.56
Zone 3	1	1	-30.76	-48.88	-37.04	-67.56
Zone 4	1	1	-33.38	-57.90	N/A	N/A
Zone 5	1	1	-33.38	-57.90	N/A	N/A

SITE DATA:

TOTAL SITE AREA: ±974,872.80 SQ.FT. (22.38 ACRE)
LAND USE: MDR - SINGLE FAMILY
FLOOD ZONE: AE7

SETBACKS

FRONT:
REQUIRED 20 FT
EXISTING 20.5 FT
PROPOSED 16.1 FT
VARIANCE REQUIRED

STREET SIDE:
REQUIRED 10 FT
EXISTING NO CHANGE
PROPOSED NO CHANGE

SIDE:
REQUIRED 7 FT
EXISTING NO CHANGE
PROPOSED NO CHANGE

REAR:
REQUIRED 20 FT
EXISTING NO CHANGE
PROPOSED NO CHANGE

MAXIMUM HEIGHT:
REQUIRED 35 FT
EXISTING 21.5 FT
PROPOSED

MAXIMUM IMPERVIOUS SURFACE RATIO:

REQUIRED: 50%
EXISTING NO CHANGE
PROPOSED NO CHANGE

MAXIMUM BUILDING COVERAGE:

REQUIRED 35%
EXISTING NO CHANGE
PROPOSED NO CHANGE

MINIMUM OPEN SPACE:

REQUIRED 35.0%
EXISTING NO CHANGE
PROPOSED NO CHANGE

NOTE: SMALL EXTENSION OF THE FRONT PORCH CREATES DE MINIMIS CHANGES TO BUILDING COVERAGE IN RELATION TO THE SIZE OF OVERALL PARCEL. NO SIGNIFICANT CHANGES TO IMPERVIOUS AREAS IS PROPOSED.

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Serge Mashtakov
P.E. 71480 State of
Florida
Date: 2019.06.13
14:50:15 -04'00'



STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 71480

REV: DESCRIPTION: DATE: DATE:
STATUS: FINAL



ARTIBUS DESIGN
3706 N. ROOSEVELT BLVD
SUITE 201
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30829

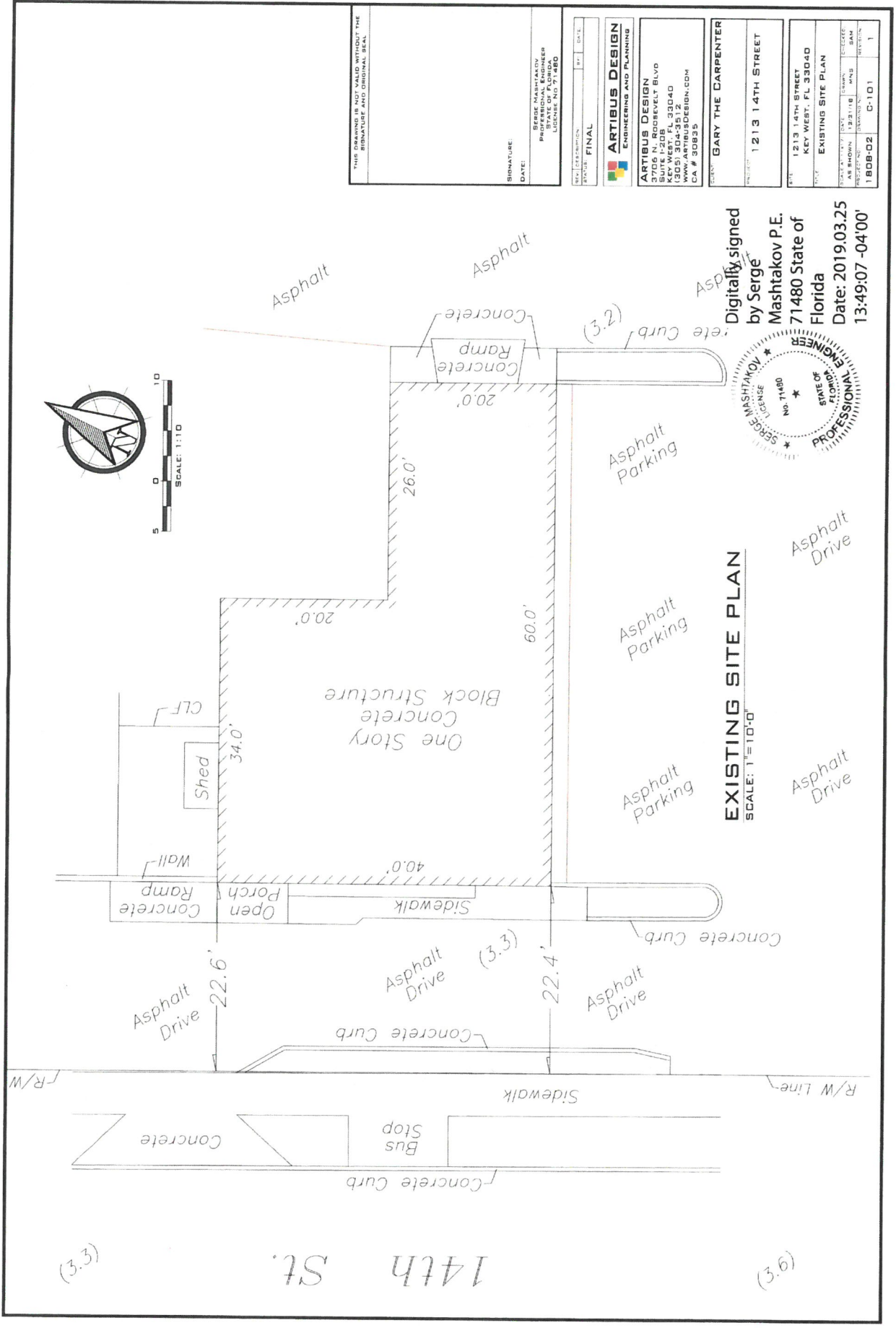
CLIENT: GARY THE CARPENTER

PROJECT: 1213 14TH STREET

SITE: 1213 14TH STREET
KEY WEST, FL 33040

TITLE: PROPOSED SITE DATA

SCALE	DATE	DESIGNED	CHECKED
AS SHOWN	12/11/18	MHE	RAM
PROJECT NO:	DRAWING NO:	REVISION:	
1808-02	C-103	1	

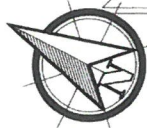


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 by Serge
 Mashtakov P.E.
 71480 State of
 Florida
 Date: 2019.03.25
 13:49:07 -04'00'



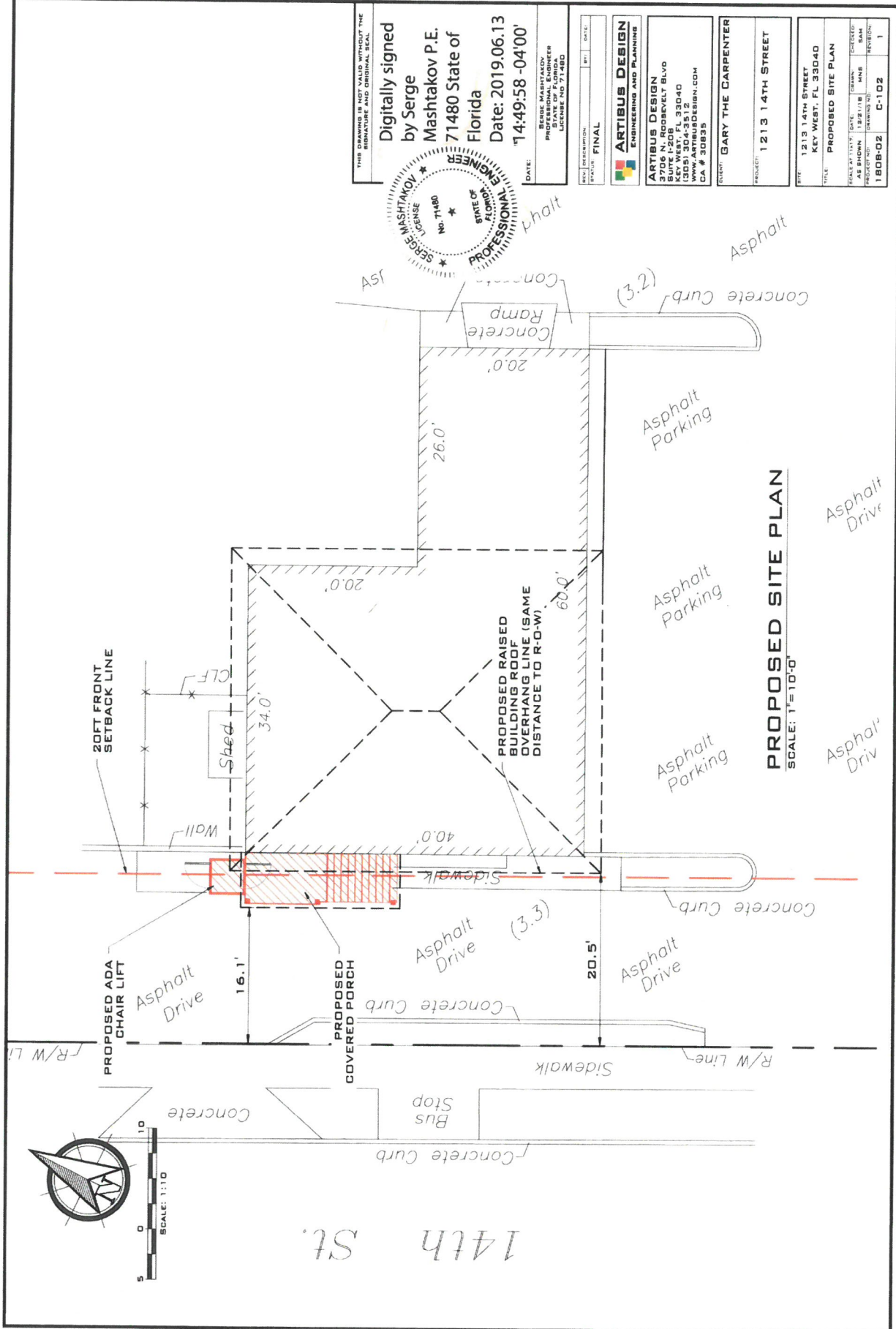
EXISTING SITE PLAN
 SCALE: 1" = 10'-0"

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL.	
SIGNATURE:	GARY THE CARPENTER
DATE:	2019.03.25
GARY THE CARPENTER PROFESSIONAL ENGINEER LICENSE NO. 11480	
SCALE:	FINAL
DATE:	
ARTIBUS DESIGN ENGINEERS AND PLANNING 3706 N. ROOSEVELT BLVD SUITE 100 KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 32833	
PROJECT:	1213 14TH STREET
DATE:	2019.03.25
SCALE:	EXISTING SITE PLAN
DATE:	2019.03.25
SCALE:	C-101
DATE:	1



SCALE: 1"=10'-0"

14th St.



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 by Serge Mashtakov P.E.
 71480 State of Florida
 Date: 2019.06.13 14:49:58 -04'00'

DATE: 2019.06.13
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 LICENSE NO. 71480



REV. DESCRIPTION	BY	DATE
FINAL		

ARTIBUS DESIGN
 ENGINEERING AND PLANNING

ARTIBUS DESIGN
 3706 N. ROOSEVELT BLVD
 SUITE 200
 KEY WEST, FL 33040
 (305) 304-3512
 WWW.ARTIBUSDESIGN.COM
 CA # 30835

CLIENT: GARY THE CARPENTER

PROJECT: 1213 14TH STREET

DATE: 2019.06.13

TITLE: 1213 14TH STREET KEY WEST, FL 33040
 PROPOSED SITE PLAN

SCALE: 1"=10'-0"	DATE: 2019.06.13	DRAWN: GTC	CHECKED: GTC
BY: GTC	DATE: 2019.06.13	DATE: 2019.06.13	DATE: 2019.06.13
1808-02	C-102	1	1

PROPOSED SITE PLAN
 SCALE: 1"=10'-0"

Digitally signed
by Serge
Mashtakov P.E.
71480 State of
Florida
Date: 2019.03.25
13:49:56 -04'00'



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SIGNATURE: _____
DATE: _____

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

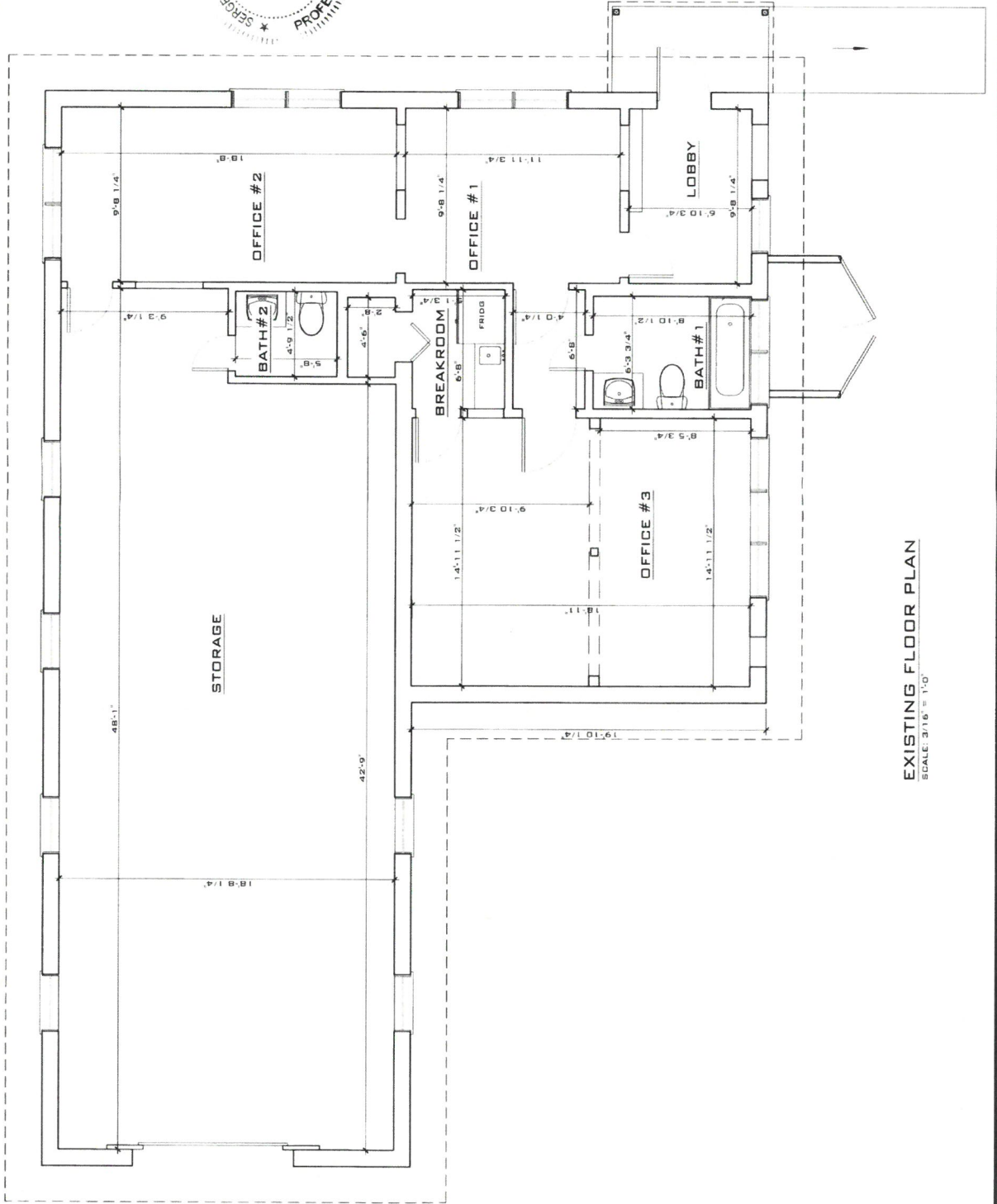
NO. OF REVISIONS: _____
DATE: _____
STATUS: **FINAL**

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ENGINEERING AND PLANNING
3706 N. ROSSEVELY BLVD
SUITE 1-208
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30893

DESIGNED BY: **GARY THE CARPENTER**

PROJECT: **OFFICE RAISING**

PROJECT	1213 14TH STREET KEY WEST, FL 33040
SCALE	EXISTING FLOOR PLAN
DATE	2019.03.25
BY	GARY THE CARPENTER
CHK'D	GARY THE CARPENTER
APP'D	GARY THE CARPENTER
DRAWN	GARY THE CARPENTER
NO.	1808-02
REV.	A-1 0 1
SHEET	1



EXISTING FLOOR PLAN
SCALE: 3/16" = 1'-0"

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 by Serge
 Mashtakov P.E.
 71480 State of
 Florida
 Date: 2019.03.25
 13:50:11 -04'00'

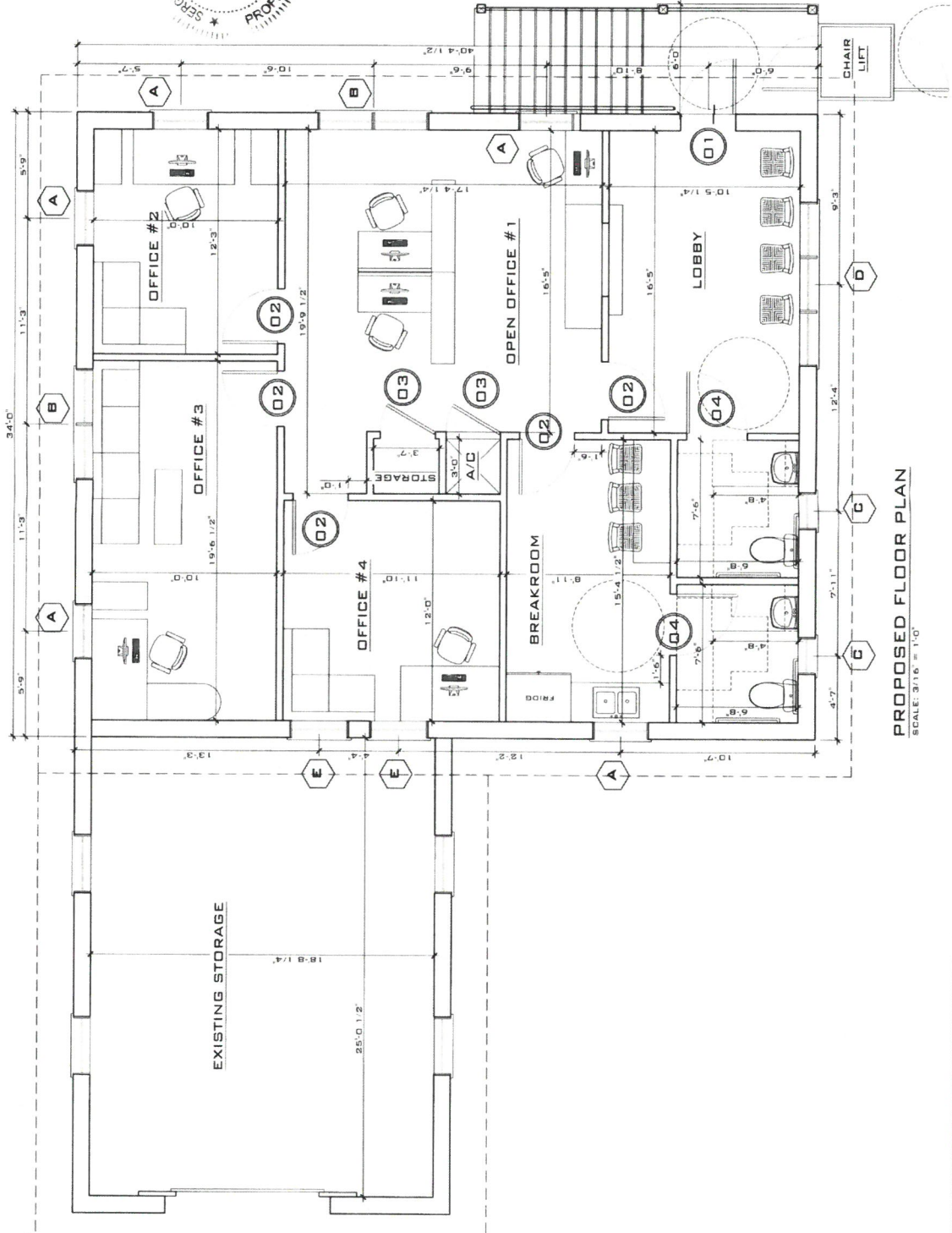


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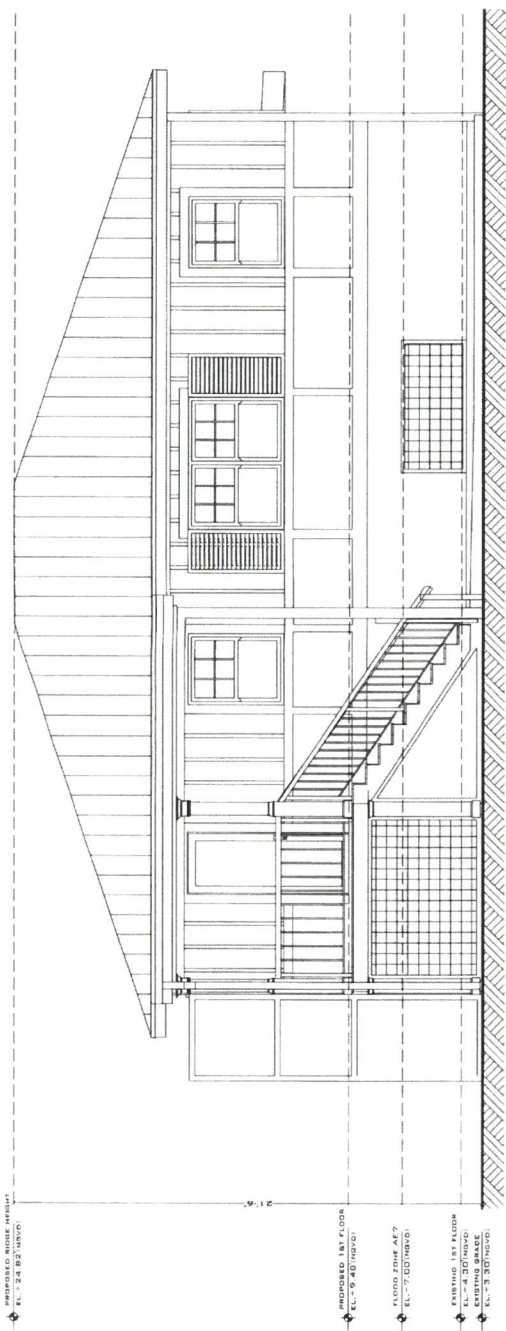
SIGNATURE: _____ DATE: _____

SEGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 71480

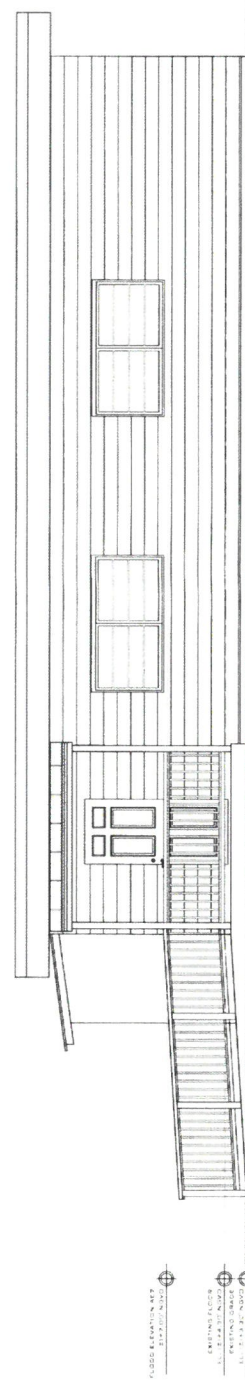
REV. DESCRIPTION	#	DATE
FINAL		
ARTIBUS DESIGN ENGINEERING AND PLANNING 3706 N. ROOSEVELT BLVD SUITE 1-208 (305) 304-3512 WWW.ARTIBUSDDESIGN.COM CA # 30825		
PROJECT: GARY THE CARPENTER 1213 14TH STREET KEY WEST, FL 33040		
PROPOSED FLOOR PLAN		
SCALE	DATE	BY
AS SHOWN	02.28.19	MHE
PROJECT NO.	1808-02	REVISION
	A-1-02	1



PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 3/16" = 1'-0"



EXISTING FRONT ELEVATION
SCALE: 3/16" = 1'-0"

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE: _____ DATE: _____

SEAL: SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 11480
EXPIRES 12/31/2020

REV. DESCRIPTION: _____ BY: _____ DATE: _____

STATUS: FINAL

ARTIBUS DESIGN
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ARTIBUS DESIGN
3706 N. ROOSEVELT BLVD
SUITE 200
MAYAGUEZ, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30833

CLIENT: GARY THE CARPENTER

PROJECT: 1213 14TH STREET
1213 14TH STREET
KEY WEST, FL 33040

TITLE: EXISTING FRONT/PROPOSED FRONT ELEVATION

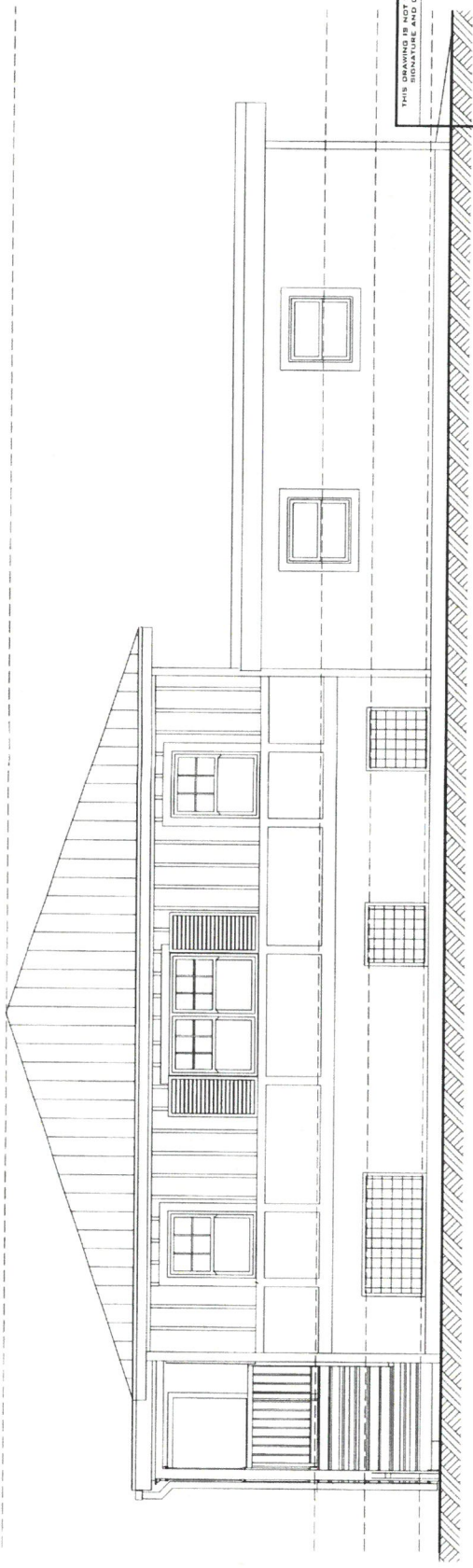
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PROJECT NO.: 19-03-25	DATE: 03/27/19	PROJECT NO.: 19-03-25	DATE: 03/27/19
PROJECT NO.: 19-03-25	DATE: 03/27/19	PROJECT NO.: 19-03-25	DATE: 03/27/19
PROJECT NO.: 19-03-25	DATE: 03/27/19	PROJECT NO.: 19-03-25	DATE: 03/27/19

PROJECT NO.: 19-03-25
DATE: 03/27/19

Digitally signed by
Serge Mashtakov
P.E. 71480 State of
Florida
Date: 2019.03.25
13:51:13 -04'00'



EXISTING FRONT ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

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SIGNATURE: _____
DATE: _____

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PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

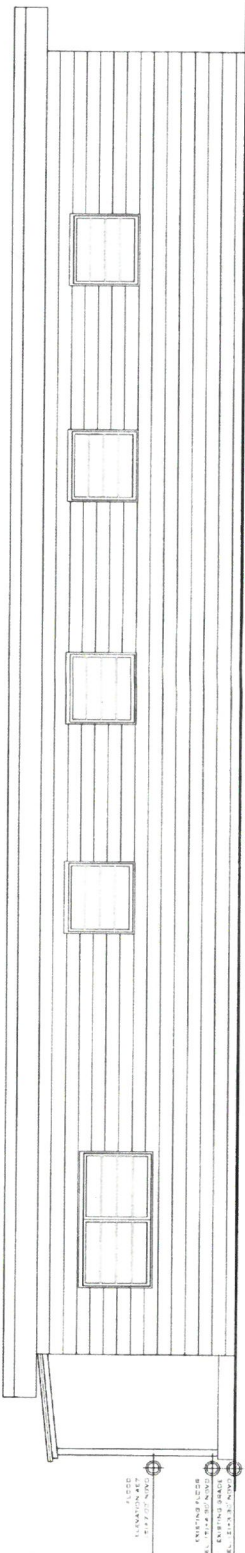
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3706 N. ROOSEVELT BLVD
SUITE 1-208
KEY WEST, FL 33040
(305) 304-3512
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CA # 30895

CLIENT: GARY THE CARPENTER

PROJECT: 1213 14TH STREET

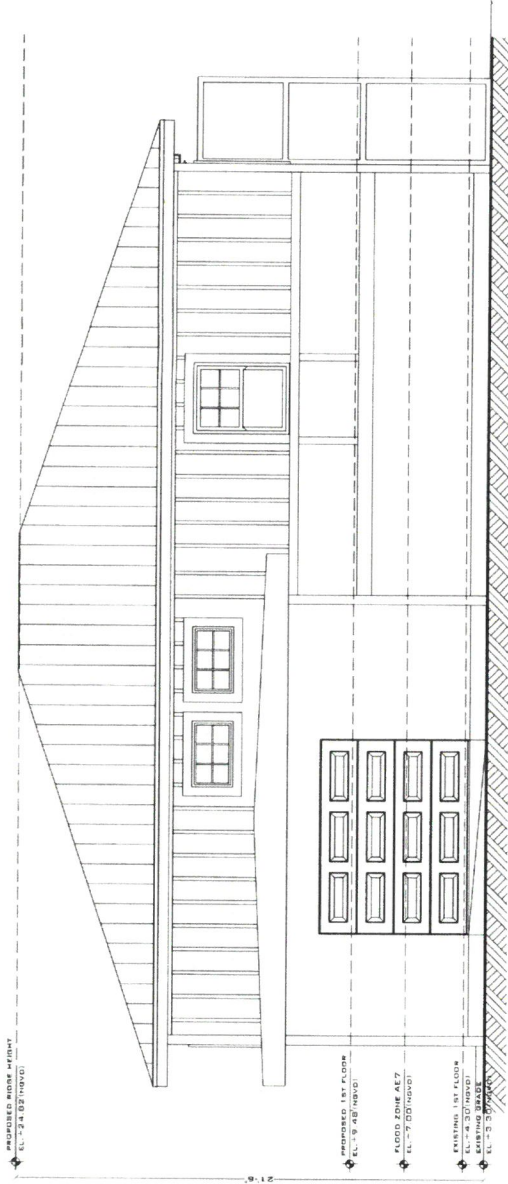
NO.:	1213 14TH STREET KEY WEST, FL 33040
TITLE:	EXISTING ST. SIDE ELEVATION/ PROPOSED ST. SIDE ELEVATION
DATE:	AS SHOWN 02/23/19
SCALE:	AS SHOWN
PROJECT NO.:	18DE-02
DATE:	A-107
REVISION:	1



EXISTING RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

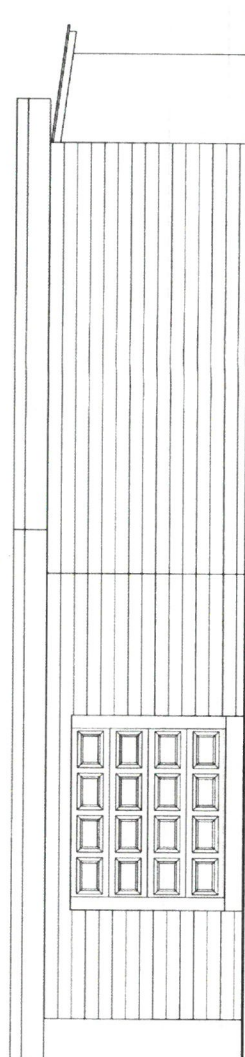


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Serge Mashtakov P.E.
71480 State of Florida
Date: 2019.03.25
13:51:30 -04'00'



PROPOSED REAR ELEVATION
SCALE: 3/16" = 1'-0"

- PROPOSED ROOF HEIGHT
E.L. 11.73 + 0.82 (11.95)
- PROPOSED 1ST FLOOR
E.L. 1.00 (1.00)
- EXISTING 1ST FLOOR
E.L. 1.00 (1.00)
- EXISTING 2ND FLOOR
E.L. 11.00 (11.00)
- EXISTING 3RD FLOOR
E.L. 21.00 (21.00)
- EXISTING 4TH FLOOR
E.L. 31.00 (31.00)
- EXISTING 5TH FLOOR
E.L. 41.00 (41.00)



EXISTING REAR ELEVATION
SCALE: 3/16" = 1'-0"

- EXISTING ROOF HEIGHT
E.L. 11.73 + 0.82 (11.95)
- EXISTING 1ST FLOOR
E.L. 1.00 (1.00)
- EXISTING 2ND FLOOR
E.L. 11.00 (11.00)
- EXISTING 3RD FLOOR
E.L. 21.00 (21.00)
- EXISTING 4TH FLOOR
E.L. 31.00 (31.00)
- EXISTING 5TH FLOOR
E.L. 41.00 (41.00)

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SIGNATURE: _____
DATE: _____

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

DATE: _____
DESCRIPTION: _____
SCALE: _____
STATUS: FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3000 N. BOKERVELL BLVD
SUITE 1208
KEY WEST, FL 33040
TEL: 305-838-3304
WWW.ARTIBUSDESIGN.COM
CA # 3DB35

CUSTOMER: GARY THE CARPENTER

PROJECT: 1213 14TH STREET

DATE: 12/13/14	14TH STREET	KEY WEST, FL 33040
TITLE: EXISTING REAR ELEVATION/	PROPOSED REAR ELEVATION	
DESIGNED BY: ASB	DRAWN BY: ASB	CHECKED BY: ASB
PROJECT NO.: 1808-02	DATE: 12/23/14	SCALE: A-108
		SHEET NO. 1

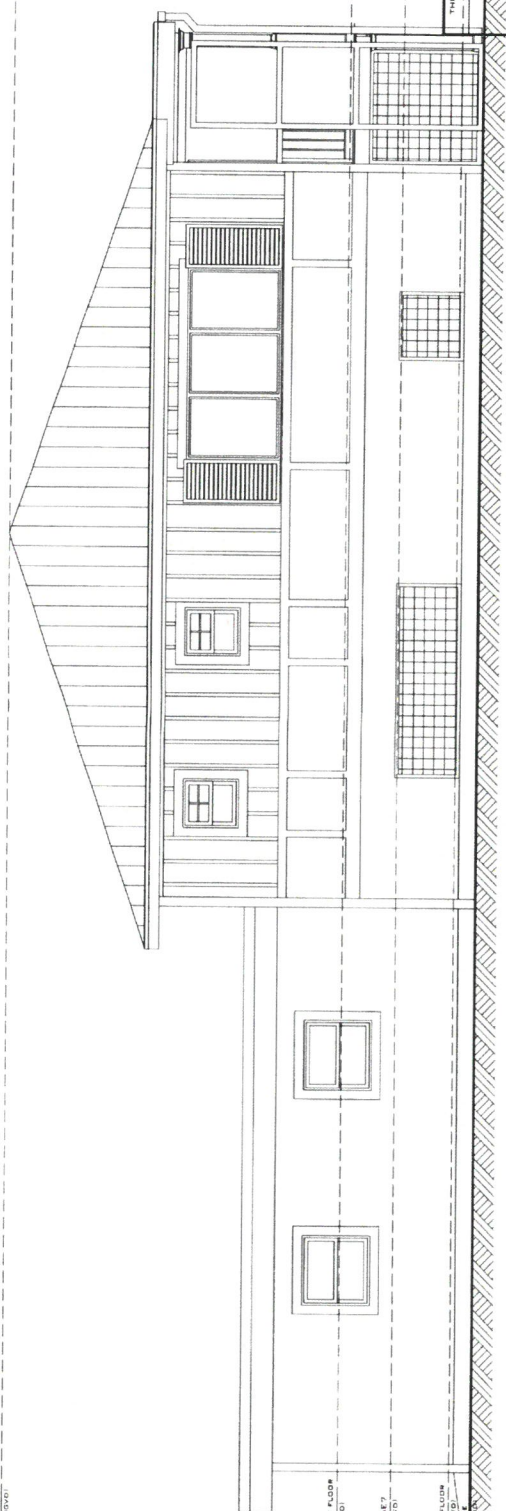
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by Serge
Mashtakov P.E.
71480 State of
Florida
Date: 2019.03.25
13:51:46 -0400

PROPOSED BROWN BRICK
 EX. 3/8" x 8" (HORIZONTAL)

PROPOSED 1ST FLOOR
 EX. 7' 0" (HORIZONTAL)

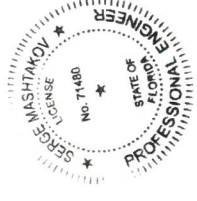
FLOOD ZONE AE7
 EX. 7' 0" (HORIZONTAL)

EXISTING 1ST FLOOR
 EX. 3' 0" (HORIZONTAL)



PROPOSED LEFT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

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 Mashtakov P.E.
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 Date: 2019.03.25
 13:52:03 -04'00'



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SIGNATURE:
 DATE:

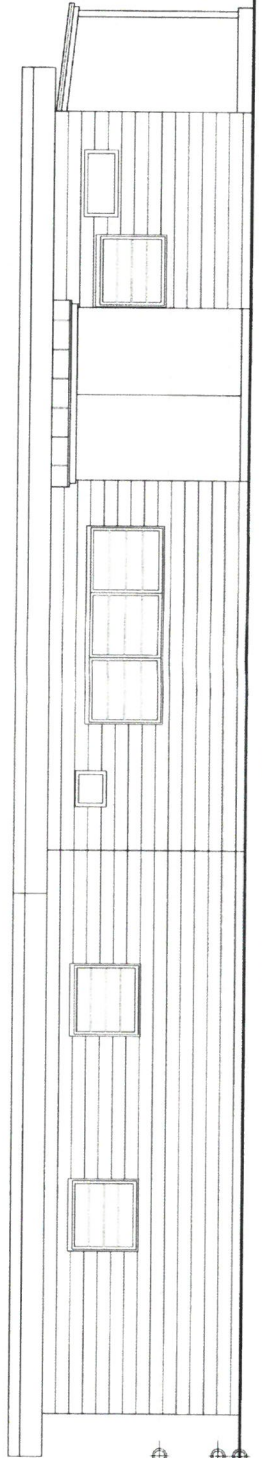
NO. DESCRIPTION BY DATE

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ARTIBUS DESIGN
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 KEY WEST, FL 33040
 WWW.ARTIBUSDESIGN.COM
 CA # 30835

CLIENT: GARY THE CARPENTER
 NO. 1213 14TH STREET

NO. 1213 14TH STREET
 KEY WEST, FL 33040
 EXISTING SIDE ELEVATION/
 PROPOSED SIDE ELEVATION/
 SHEET NO. 1808-02 A-109



EXISTING SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

SYMBOL LEGEND

	EMERGENCY LIGHTS ON BATTERY BACKUP
	EMERGENCY EXIT SIGN WITH LIGHTS ON BATTERY BACKUP
	CLASS 2-A FIRE EXTINGUISHERS (1) TOTAL
	VISUAL ALARM INTERCONNECTED WITH SMOKE DETECTORS AND FIRE ALARM (IF ANY)

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL.

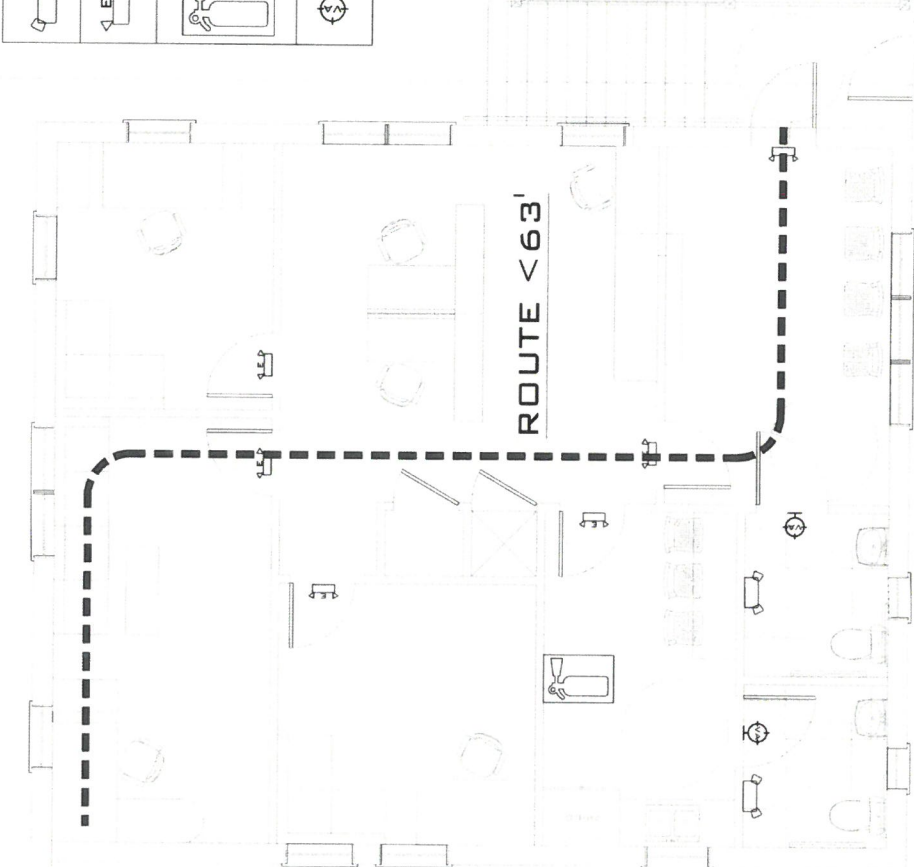
SIGNATURE: SERGE MASHATAKOV
 DATE: 2019.03.25
 PROJECT: LIFE SAFETY PLAN
 STATE OF FLORIDA
 LICENSE NO. 71480

NO. 123456789
 DATE: 03/25/19
 STATUS: FINAL

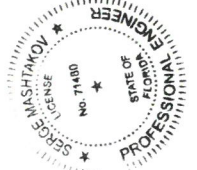
ARTIBUS DESIGN
 ENGINEERING AND PLANNING
 3706 N. ROCKWELL BLVD
 SUITE 1-208
 TAMPA, FL 33604-3545
 WWW.ARTIBUSDESIGN.COM
 CA # 30835

CONTRACTOR: GARY THE CARPENTER
 PROJECT: 1213 14TH STREET
 ADDRESS: 1213 14TH STREET
 CITY: KEY WEST, FL 33040

LIFE SAFETY PLAN	
DATE: 2019.03.25	SCALE: 3/16" = 1'-0"
PROJECT NO: 1808-02	DATE: 03/25/19
DRAWN BY: MNS	CHECKED BY: GJM
DATE: 03/25/19	DATE: 03/25/19
PROJECT: 1808-02	SCALE: 3/16" = 1'-0"
NO. 1	1



Digitally signed by
 Serge Mashatkov
 P.E. 71480 State of
 Florida
 Date: 2019.03.25
 13:52:20 -04'00'



LIFE SAFETY PLAN
 SCALE: 3/16" = 1'-0"

APPLICABLE BUILDING CODE: 2017
 FBC EXISTING BUILDING 6TH EDITION 2017
 LEVEL 3 ALTERATIONS

OCCUPANCY: BUSINESS GROUP B
 MINIMUM NUMBER OF EXITS REQUIRED: 1 ; PROVIDED: 1 PER TABLE 1006.2.1
 MAXIMUM EMERGENCY EGRESS TRAVEL DISTANCE: 200 FT
 FBC TABLE 1017.2; OCCUPANCY B, WITHOUT SPRINKLER SYSTEM: 200 FT
 MAXIMUM ROUTE: ±63 FT

ITEM	EXISTING	PROPOSED	CHANGE
CONSTRUCTION TYPE	FBC TABLE 506.2	21-0	NO CHANGE
MAX HEIGHT (FEET)	<12	40-0	NO CHANGE
OCCUPANCY	GROUP B	GROUP B	NO CHANGE
FLOOR AREA	±1,905 SF	9,000 SF	NO CHANGE

OCCUPANCY LOAD: PER TABLE 1004.1.2 FBC
 AREA: 9,000 SF
 LOAD: 1004.1.2) REQ. EGRESS: 1,005 (3.2) PROVIDED: 36 (11.0) QTY)
 MAX 19 (11.00 SF) 19 X (0.20) = 3.8' WIDTH, 36 (11.0) QTY)

FBC TABLE 506.3(1)
 FIRE EXTINGUISHERS CLASS: 2-A
 MAXIMUM FLOOR AREA PER EXTINGUISHER: 3,000 SF
 MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER: 75 FT

FIRE ALARM & DETECTION SYSTEMS: GROUP M
 THE BUILDING SHALL NOT BE EQUIPPED WITH A FIRE ALARM & DETECTION SYSTEM PER FBC (F) 907.2.2

Authorization Form

**City of Key West
Planning Department**



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Kenneth L Harding as
Please Print Name of person with authority to execute documents on behalf of entity

President of Island-West Investment Corp.
Name of office (President, Managing Member) *Name of owner from deed*

authorize Trepanier & Associates, Inc.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Kenneth L Harding Pres.
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 10/12/17
Date

by Kenneth L Harding
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented Florida Driver License as identification.

Yuneisi Canizares Garcia
Notary's Signature and Seal

Yuneisi Canizares Garcia
Name of Acknowledger typed, printed or stamped

No FF242724
Commission Number, if any



Detail by Entity Name

Florida Profit Corporation

ISLAND-WEST INVESTMENT CORPORATION

Filing Information

Document Number 484264
FEI/EIN Number 59-1638922
Date Filed 09/11/1975
State FL
Status ACTIVE
Last Event AMENDMENT
Event Date Filed 12/30/1997
Event Effective Date NONE

Principal Address

1213 14TH STREET
KEY WEST, FL 33040-4100

Changed: 01/13/2005

Mailing Address

1213 14TH STREET
KEY WEST, FL 33040-4100

Changed: 01/13/2005

Registered Agent Name & Address

MORGAN, HUGH J
317 WHITEHEAD STREET
KEY WEST, FL 33040

Address Changed: 02/18/2003

Officer/Director Detail

Name & Address

Title STD

HARDING, RICHARD A
PO BOX 905
TERRY, MT 59349-0905

Title VD

HARDING, JEFFREY A
PO BOX 905
TERRY, MT 59349-0905

Title PD

HARDING, KENNETH L
1213 14TH STREET
KEY WEST, FL 33040-4100