



**Historic Architectural Review Commission
Staff Report for Item 10b**

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Enid Torregrosa, MSHP
Historic Preservation Planner

Meeting Date: July 28, 2015

Applicant: Affiliated Design and Construction

Application Number: H15-01-1012

Address: #1000 Southard Street

Description of Work:

Replacement of windows and doors with impact resistant units and installation of impact resistant skylight on rear.

Site Facts:

The main structure in the site is a contributing resource to the historic district. The house was included as a contributing resource in the 1982 survey, done by the State Historic Preservation Office for the expansion of the historic district. The historic house sits on the southeast corner of Southard and Grinnell streets. According to the record from the Property Appraiser office, the one-story frame house was built in 1948. The house has a unique high pitch hip roof with exposed rafter's tails and historically had weatherboard as siding. The Sanborn maps from 1948 and 1962, as well as a circa 1965 photograph depicts a very similar footprint and front façade of the house that still on the site. The house has diverse types of windows; wood one over one on the front, and metal awning and hung windows on the sides and back elevations. None of the existing windows is original to the house. The main front door is made of wood with metal jalousies and staff opines that it is an original door to the house. Staff visited the structure while the applicant was doing interior work.

Staff was able to find several building permits, Board of Adjustment variances approvals, and HARC application approvals while researching city documents of the property:

- On 1992, the building department issued a permit for replacement of existing foundations.
- On 1995, the board of adjustment granted a variance to build an 8' high fence, 6 feet solid and upper two feet open. HARC and building department approved the plans.
- On 1999, the board of adjustment granted a variance to build a back addition for a bathroom. HARC and building department approved the plans.

With the assistance of Mr. Hambright, staff was able to verify that the windows depicted in the circa 1965 photograph are metal jalousies. Mr. Hambright has a theory that the house may be a part of a building from Peary Court that was located on the side, but there is no further evidence than can prove this. For sure, the proportions and form of the house are very singular and unique. The period of significance of the historic district dates from **1825 to 1948**

Guidelines Cited in Review:

- Scuttles and skylights (page 28), specifically guideline 1.
- Windows (pages 29-30), specifically first paragraph, and guidelines 1, 2, and 3.
- Doors (pages 32-33), specifically guidelines 9, 10, and 11.

Staff Analysis

The Certificate of Appropriateness in review proposes the removal of all non-historic and non-original windows and doors and their replacement with impact resistant metal units. The new proposed windows are one over one. The back doors will be aluminum with single glass panel, while the east side doors are proposed to be sliding metal units with single glass panel. For purposes of this application, the front door is not included.

Consistency with Cited Guidelines

Although there is a request to change the contributing value of the house to non-contributing status, staff will review the application assuming the actual status of the building. Guidelines for replacement of windows on contributing structures are specific as to *“replacement windows, sills, muntins, sashes, surrounds, and other window features should be of similar and compatible configuration, material, size, design, and placement, as those of original windows”*. It is staff's opinion that the original windows for this particular house may have been metal jalousie units, as depicted in the circa 1965 photo. Two strong evidences that supports our opinion is that there are records dating the manufacture of metal jalousie windows in mass production as back as 1946-47 and that the main front door, made of wood and metal jalousies is original to the house.

The argument for the specific request of replacing windows for this 1946-47 house can be challenging because of the language of the actual guideline is oriented to possible two

specific historic window types typically used in Key West, hung or casement. If the argument that the original window must be replaced with similar as original, staff recommends the use of aluminum metal jalousies; but available metal jalousies do not have the same proportions, thickness, and profile of those that were made historically. Staff considers the use of one over one or two over two metal units an appropriate solution for this specific case, understanding that the primarily material of the original windows was metal and that surrounding historic

For the proposed doors for the east and south elevations, including the bathroom addition, staff opines that the elevations have been altered through time; therefore, the proposed doors may be considered an appropriate design.

The proposed skylight will be on the back portion of the hip roof and will be slightly visible from Grinnell Street. Staff recommends that the skylight be flush-mounted to the roof and to be flat.

SOUTHARD STREET

<u>Photo No.</u>	<u>Address/Name Block & Lot</u>	<u>Use</u>	<u>Style/Fabric Porch/Gallery</u>	<u>Classification</u>
915 46, 4		Apartment	2-story Frame Vernacular, Drop Siding	C
917 46, 1		Apartment	2½-story Classical Revival, Weatherboard, Gallery South	C
919 46, 1		Apartment	1½-story Frame Vernacular, Weather- board, Drop Siding, Porch South	A
923 46, 1		Residential	1½-story Frame Vernacular, Weather- board, Porch South	C
924 57, 2		Residential	1½-story Frame Vernacular, Asbestos Siding, Porch North	A
925 46, 1		Residential	1-story Mediterranean Revival, Stucco, Porch South	C
926 57, 2		Residential	1½-story Frame Vernacular, Weather- board, Porch North	C
930 57, 2		Commercial	2-story Masonry Vernacular, Stucco	N
1000 56, 3		Residential	1-story Frame Vernacular, Weather- board	C
1001 45, 4		Apartment Commercial	2-story Frame Vernacular, Weather- board, Gallery South, West	C
1004 56, 3		Residential	1½-story Classical Revival, Weatherboard, Porch North	C
1006 56, 3		Residential	1½-story Frame Vernacular, Weather- board, Porch North	C
1008 56, 3		Residential	1½-story Frame Vernacular, Weather- board, Porch North	C


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Planning Successful Rehabilitation Projects

Windows

[Evaluating Historic Windows for Repair or Replacement](#)
[Replacement Windows that Meet the Standards](#)
[Documentation Requirements for Proposed Window Replacement](#)

Interior treatments

[Identifying Primary and Secondary Interior Spaces in Historic Buildings](#)
[Changing Secondary Interior Spaces in Historic Buildings](#)
[Subdividing Assembly Spaces in Historic Buildings](#)
[Retaining Corridors and Other Circulation Spaces in Historic Buildings](#)

New additions and related new construction

[New Additions to Historic Buildings](#)
[New Construction within the Boundaries of Historic Properties](#)

Modern requirements and new technologies and materials

[Codes and Regulatory Requirements for Rehabilitating Historic Buildings](#)
[Energy Efficiency, Sustainability, and Green Building Practices in Historic Buildings](#)
[Evaluating Substitute Materials in Historic Buildings](#)

Replacement Windows that Meet the Standards

The decision-making process for selecting replacement windows divides into two tracks depending on whether historic windows remain in place or no historic windows survive.

Replacement of Existing Historic Windows

When historic windows exist, they should be repaired when possible. When they are too deteriorated to repair, selection of the replacement windows must be guided by [Standard 6](#). Design, visual qualities, and materials are specific criteria provided by the Standard that are pertinent to evaluating the match of a replacement window. Evaluating the adequacy of the match of the replacement window involves the consideration of multiple issues.

How accurate does the match need to be?

The more important a window is in defining the historic character of a building the more critical it is to have a close match for its replacement. Location is a key factor in two ways. It is usually a consideration in determining the relative importance of a building's various parts. For example, the street-facing facade is likely to be more important than an obscured rear elevation. The more important the elevation, feature or space of which the window is a part, the more important the window is likely to be, and thus, the more critical that its replacement be a very accurate match. Secondly, the location of the window can affect how much of the window's features and details are visible. This will affect the nature of an acceptable replacement. For example, windows at or near ground level present a different case from windows in the upper stories of a tall building.

Using the hierarchy of a building's features and taking into account the window's visibility, some general guidance can be drawn.

Replacement windows on primary, street-facing or any highly visible elevations of buildings of three stories or less must match the historic windows in all their details and in material (wood for wood and metal for metal).

Replacement windows on the primary, street-facing or any highly visible elevations that are part of the base of high-rise buildings must match the historic windows in all their details and in material (wood for wood and metal for metal). The base may vary in the number of stories, but is generally defined by massing or architectural detailing.

Replacement windows on the primary, street-facing or highly visible elevations of tall buildings above a distinct base must match the historic windows in size, design and all details that can be perceived from ground level. Substitute materials can be considered to the extent that they do not compromise other important visual qualities.

Replacement windows on secondary elevations that have limited visibility must match the historic windows in size, configuration and general characteristics, though finer details may not need to be duplicated and substitute materials may be considered

Replacement windows whose interior components are a significant part of the interior historic finishes must have interior profiles and finishes that are compatible with the surrounding historic materials. However, in most cases, the match of the exterior of a replacement window will take precedence over the interior appearance.

Replacement windows in buildings or parts of buildings that do not fit into any of the above categories must generally match the historic windows in all their details and in material (wood for wood and metal for metal). Variations in the details and the use of substitute materials can be considered in individual cases where these differences result in only minimal change to the appearance of the window and in no change to the historic character of the overall building.

How well does the new window need to match the old?

The evaluation of the match of a replacement window depends primarily on its visual qualities. Dimensions, profiles, finish, and placement are all perceived in relative terms. For example, an eighth of an inch variation in the size of an element that measures a few inches across may be imperceptible, yet it could be more noticeable on the appearance of an element that is only half an inch in size. The depth of a muntin or the relative complexity of a brick mold profile are more often made visually apparent through the shadows they create. Thus, while comparable drawings are the typical basis for evaluating a replacement window, a three-dimensional sample or mock-up provides the most definitive test of an effective visual match.

The way a historic window operates is an important factor in its design and appearance. A replacement window, however, need not operate in the same manner as the historic window or need not operate at all as long as the change in operation does not change the form and appearance of the window to the point that it does not match the historic window or otherwise impair the appearance and character of the building.

Factors to consider in evaluating the match of a replacement window

Window unit placement in relation to the wall plane; the degree to which the window is recessed into the wall. The location of the window affects the three-dimensional appearance of the wall.

Window frame size and shape. For example, with a wood window, this would include the brick mold, blind stop, and sill.

The specific profile of the brick mold is usually less critical than its overall complexity and general shape, such as stepped or curved.

Typical sight lines reduce the importance of the size and profile of the sill on windows high above ground level, especially when the windows are deeply set in the wall.

Though a blind stop is a small element of the overall window assembly, it is a noticeable part of the frame profile and it is an important part of the transition between wall and glass.

Steel windows that were installed as a building's walls were constructed have so little of their outer frame exposed that any replacement window will necessitate some addition to this dimension, but it must be minimal.

Glass size and divisions. Muntins reproduced as simulated divided lights – consisting of a three-dimensional exterior grid, between-the-glass spacers, and an interior grid – may provide an adequate match when the dimensions and

profile of the exterior grid are equivalent to the historic muntin and the grid is permanently affixed tight to the glass.

Sash elements width and depth. For example with a wood window, this would include the rails, stiles and muntins; with a steel window, this would include the operator frame and muntins.

The depth of the sash in a double-hung window, or its thickness, affects the depth of the offset at the meeting rail of a hung window. This depth is perceived through the shadow that it creates.

Because of its small size, even slight differences in the dimension of a muntin will have a noticeable effect on the overall character of a window. Shape, as well as depth, is important to the visual effect of a muntin.

The stiles of double-hung historic windows align vertically and are the same width at the upper and lower sashes. The use of single-hung windows as replacements may alter this relationship with varying effects on the appearance of a window. In particular, when the distinction between the frame and the sash is blurred, details such as lugs may be impossible to accurately reproduce.

Meeting rails of historic windows were sometimes too narrow to be structurally sound. Reproducing a structurally-inadequate condition is not required.

The operating sash of a steel window is usually wider than the overall muntin grid of the window. In addition, the frame of the operating sash often has slight projections or overlaps that vary from the profile of the surrounding muntins. The shadow lines the muntins create add another important layer to the three-dimensional appearance of the window.

Materials and finish.

While it may be theoretically possible to match all the significant characteristics of a historic window in a substitute material, in actuality, finish, profiles, dimensions and details are all affected by a change in material.

In addition to the surface characteristics, vinyl-clad or enameled aluminum-clad windows may have joints in the cladding that can make them look very different from a painted wood window.

Secondary window elements that do not match the finish or color of the window can also diminish the match. Examples include white vinyl tracks on dark-painted wood windows or wide, black, glazing gaskets on white aluminum windows.

Glass characteristics.

Insulated glass is generally acceptable for new windows as long as it does not compromise other important aspects of the match.

The clarity and reflectivity of standard clear window glass are significant characteristics of most windows. Because these characteristics are often diminished for old glass, new glass equivalent to the original should be the basis for evaluating the glazing proposed for new windows. Color should only be a noticeable characteristic of the new glass where it was historically, and any coating added must not perceptibly increase the reflectivity of the glass.

Where the glazing is predominantly obscure glass, it may be replaced with clear glass, but some evidence of the historic glazing must be retained, either in parts of windows or in selected window units.

Replacement Windows Where No Historic Windows Remain

Replacement windows for missing or non-historic windows must be compatible with the historic appearance and character of the building. Although replacement windows may be based on physical or pictorial documentation, if available, recreation of the missing historic windows is not required to meet the [Standards](#) . Replacement of missing or non-historic windows must, however, always fill the original window openings and must be compatible with the overall historic character of the building. The general type of window – industrial steel, wood double-hung, etc. – that is appropriate can usually be determined from the proportions of the openings, and the period and historic function of the building. The appearance of the replacement windows must be consistent with the general characteristics of a historic window of the type and period, but need not replicate the missing historic window. In many cases, this may be accomplished using substitute materials. There may be some additional flexibility with regard to the details of windows on secondary elevations that are not highly visible, consistent with the approach outlined for replacing existing historic windows. Replacing existing incompatible, non-historic windows with similarly incompatible new windows does not meet the Standards.

Technical Preservation Services

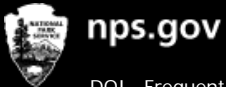
- About
- Historic Surplus Property
- The Standards
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- Site Map
- How To Preserve
- Sustainability

Cultural Resources

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- National Historic Landmarks
- Historic Preservation Grants
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- Discover History
- Teachers
- Explore Nature
- Kids
- Working with Communities
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EXPERIENCE YOUR AMERICA™

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER 15-01-1012	BUILDING PERMIT NUMBER 15-2716	INITIAL & DATE PLS SLU
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.
SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %		

ADDRESS OF PROPOSED PROJECT:

1000 SOUTHARD

OF UNITS

1

RE # OR ALTERNATE KEY:

1011134

NAME ON DEED:

ANNE F. FERRARA

PHONE NUMBER

(716) 445-8338

OWNER'S MAILING ADDRESS:

6 PURITAN AVE.

EMAIL

af14069@icloud.com

CONTRACTOR COMPANY NAME:

**MOUNT SANA, NY 11766
AFFILIATED DESIGN &
CONSTRUCTION MANAGERS LLC**

PHONE NUMBER

(305) 797-1085

CONTRACTOR'S CONTACT PERSON:

DAR CASTILLO

EMAIL

darcastillo@atl.net

ARCHITECT / ENGINEER'S NAME:

BILL POWAN

PHONE NUMBER

(305) 296-3784

ARCHITECT / ENGINEER'S ADDRESS:

321 PEACOCK LN.

EMAIL

KEY WEST, FL 33040

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

26,400

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: ONE OR TWO FAMILY MULTI-FAMILY COMMERCIAL NEW REMODEL
 CHANGE OF USE / OCCUPANCY ADDITION SIGNAGE WITHIN FLOOD ZONE
 DEMOLITION SITE WORK INTERIOR EXTERIOR AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

REPLACE (2) FRENCH DOORS

W/IMPACT (PGT ALUM), (1) SLIDING DOOR W/IMPACT, REPLACE (2) ALUM. AWMING

WINDOWS W/IMPACT SINGLE HUNG, REPLACE (3) ALUM. SINGLE HUNG W/

IMPACT SINGLE HUNG (1) HORIZ. ROLLER ALUM W/IMPACT (3) WOOD SINGLE HUNG W/IMPACT

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOVT AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:

OWNER PRINT NAME: ANNE F. FERRARA	QUALIFIER PRINT NAME: DAR CASTILLO
OWNER SIGNATURE: <i>[Signature]</i>	QUALIFIER SIGNATURE: <i>[Signature]</i>
Notary Signature as to owner: <i>[Signature]</i>	Notary Signature as to qualifier: <i>[Signature]</i>
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <u>29th</u> DAY OF <u>JUNE</u> , 20 <u>15</u>	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <u>29th</u> DAY OF <u>JUNE</u> , 20 <u>15</u>

Personally known or produced as identification. Personally known or produced as identification.



5362/11093 dx

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW
 SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
 A / C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
 SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS
 RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
REMOVE FROM CONTRIBUTING LIST (SITE VISIT)		PHOTOS OF DIMENSIONAL
HARDEN HOME W IMPACT WINDOWS (PGT)		LOW BER
VELUX SKYLIGHT ON REAR ELEVATION (IMPACT)		

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____

IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

Query: KEYWBLD Type: PD Bracket: 1
 Date: 7/01/15 50 Receipt no: 27894
 2015 1001012
 * BUILDING PERMITS-NEW
 1.00 \$100.00
 Trans numbers 3954778
 MULTIPLE TENDER
 Trans date: 7/01/15 Time: 15:09:38

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:			HARC STAFF OR COMMISSION REVIEW		
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABBLED FOR ADD'L. INFO.	<input type="checkbox"/>	<input type="checkbox"/>
HARC MEETING DATE:		HARC MEETING DATE:		HARC MEETING DATE:	
REASONS OR CONDITIONS:					
STAFF REVIEW COMMENTS:					
<i>None is listed as contributing.</i>					
HARC PLANNER SIGNATURE AND DATE:			HARC CHAIRPERSON SIGNATURE AND DATE:		

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:	
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:		
				DATE:	



AFFILIATED

DESIGN & CONSTRUCTION MANAGERS, LLC

P.O. Box 5882, Key West FL 33040

Office Phone (305) 296-6021 Fax (305) 296-4867

darcastillo@att.net Dar's Cell: (305)797-1085

Florida State Contractors License CGC1515977

Florida State Qualifiers # QB45643

Enid Torregrosa
Kelly K. Perkins
HARC
City of Key West
3132 Flagler Avenue
Key West, FL 33040



07/01/15

Re: Removal of 1000 Southard Street from the contributing structure list

Criteria:

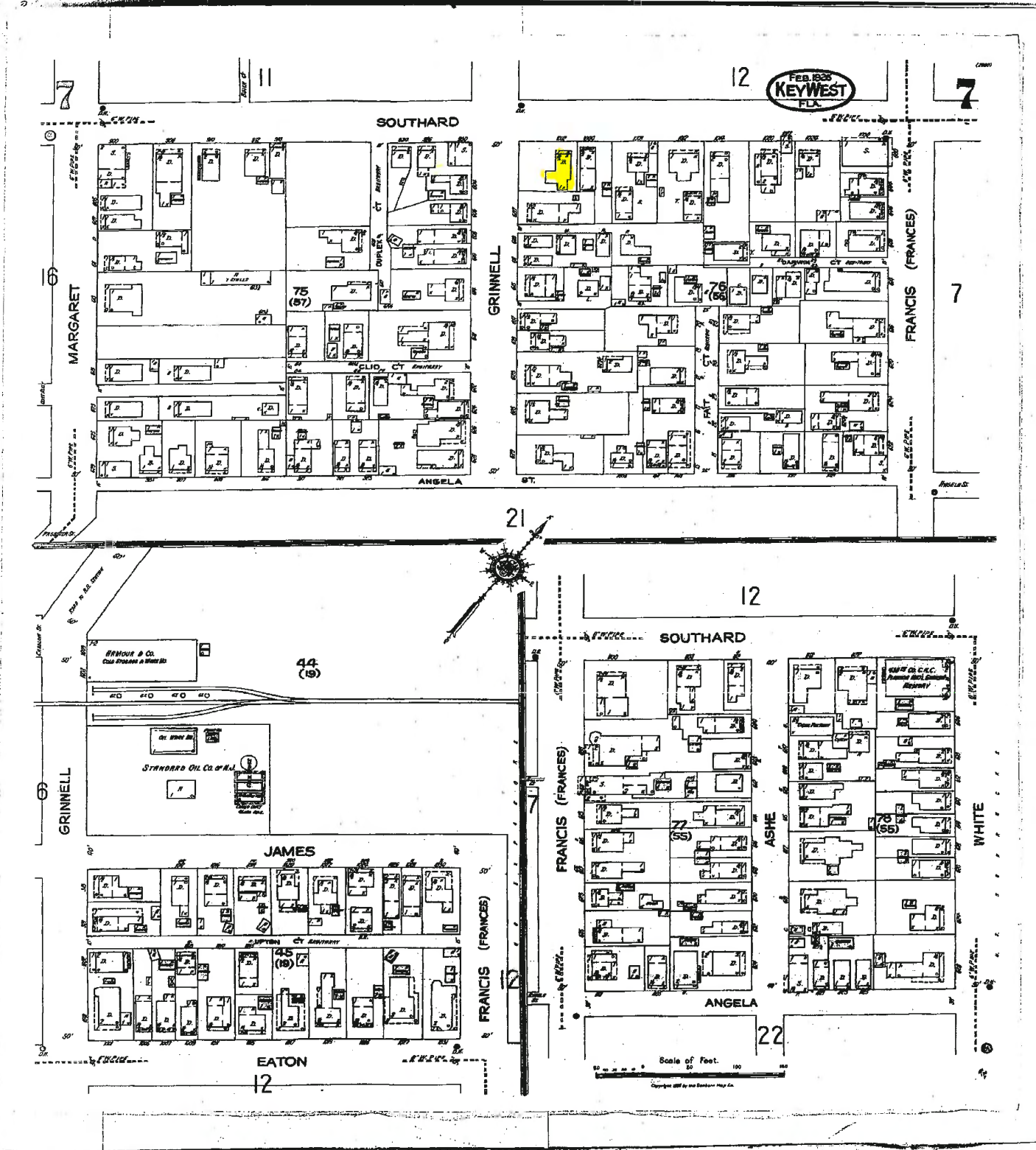
1. The structure at 1000 Southard Street contains only dimensional lumber not available or utilized prior to the early 1960's. The attached photos are representative of all framing lumber in this home. We did have the opportunity of walking Enid and Kelly through the property to view the dimensional lumber utilized throughout the home. Although the home appears to be in a similar location as the structure depicted in the 1948 Sanborn map, the current structure has poured concrete piers and front steps that appear to have been poured during the new construction in the early 60's. In addition to the framing lumber and foundation materials, none of the windows or doors are historic. There are no distinctive characteristics of a type, period or method of construction of historic or aesthetic significance and is not a significant and distinguishable building entity whose components may lack individual distinction.
2. There are no specific events identified that are associated with this property with any significant contribution to local, state or national history.
3. This property was not part of the development, heritage or cultural characteristic of the city, state or nation and is not associated with the life of a person significant in the past.
4. No historic event took place on this site.
5. This structure does not exemplify any particular cultural, political, economic, social or historic heritage in Key West.
6. This home has no distinctive architectural style.
7. This structure is not part of a square, park or other distinctive area.
8. 1000 Southard is not in any particular unique location on Southard and Grinnell streets
9. This home has not yielded or is likely to yield information important to history.

Based on the (9) criteria listed above, we would respectfully request that 1000 Southard Street be removed from the contributing structure list for the city of Key West.

Thank you for your consideration.

Dar A. Castillo- Homeowner representative

SANBORN MAPS

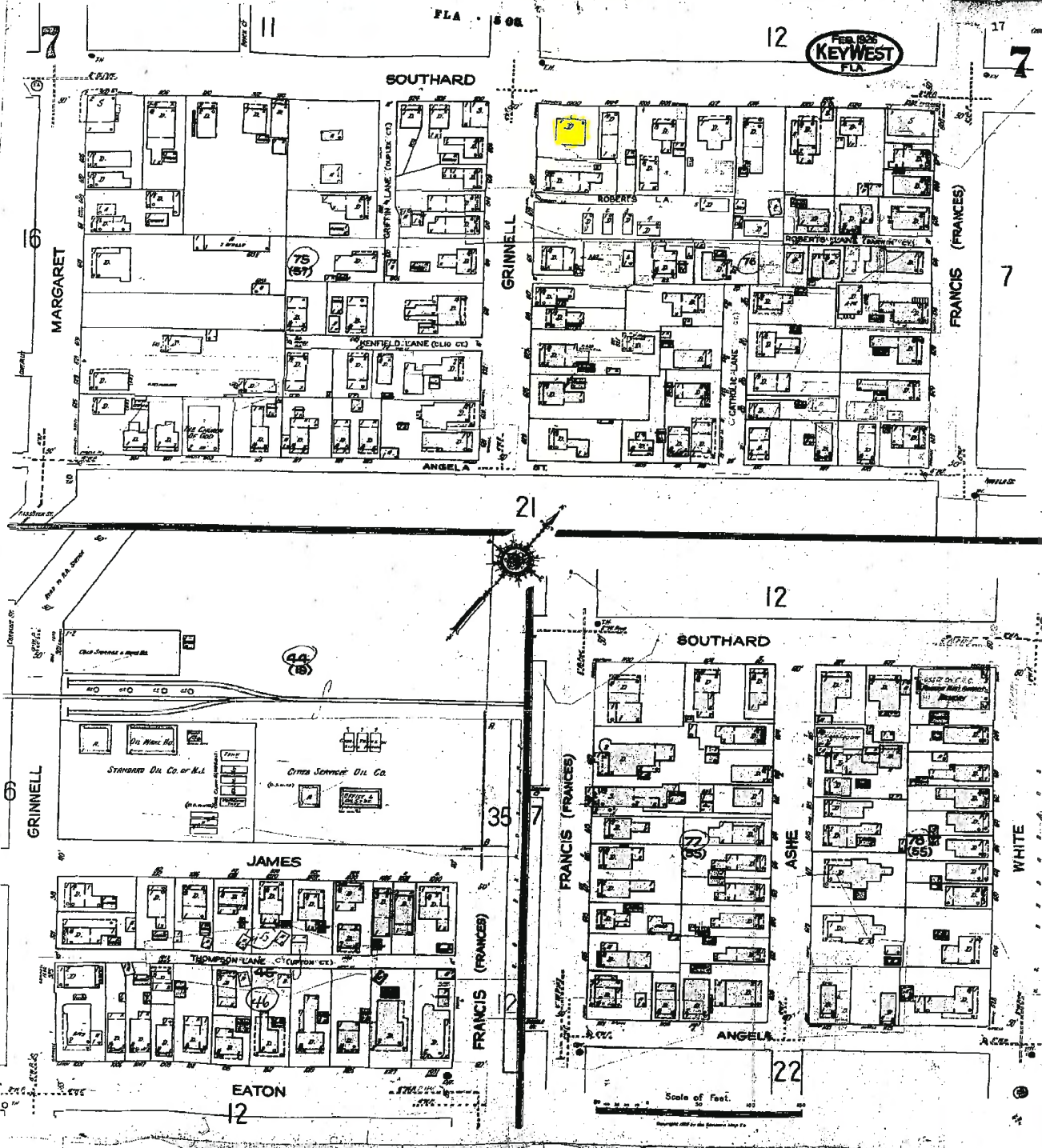


The Sanborn Library, LLC

This Sanborn® Map is a certified copy produced by Environmental Data Resources, Inc. under arrangement with The Sanborn Library, LLC. Information on this Sanborn® Map is derived from Sanborn field surveys conducted in:

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 Year ECR Research Associates

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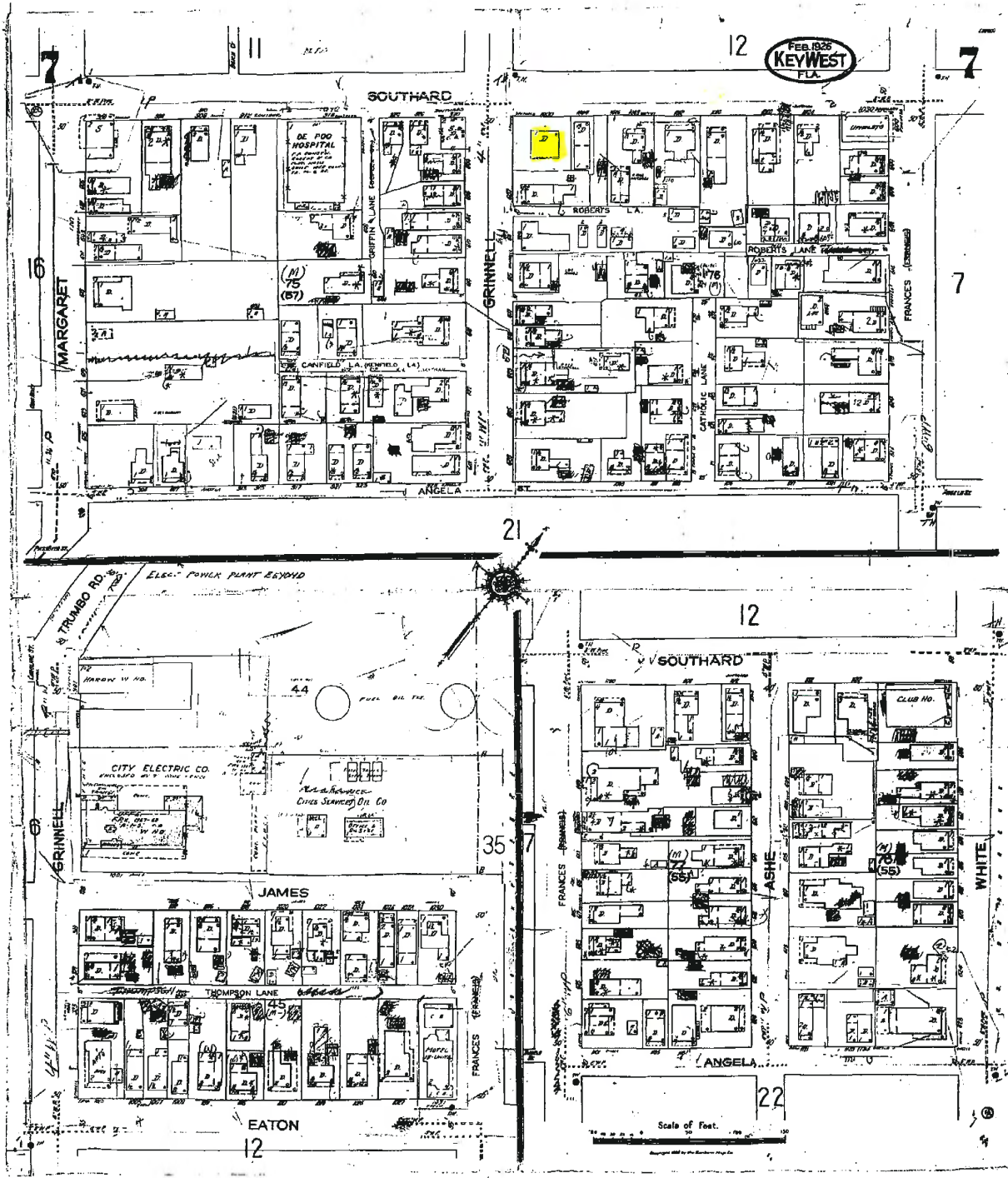


The Sanborn Library, LLC

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 Year EDR Research Associate

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The Sanborn Library, LLC

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 W.W. EDR Research Associates

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PROJECT PHOTOS

Southard from Grinnell East





*1000 Southard St.
Front Elevation
Replace double hung windows
with impact single hungs*



***1000 Southard St.
Left elevation
Replace with 4 panel impact patio door***



*1000 Southard St.
Right elevation
Replace aluminum awning windows
with impact single hungs*



***1000 Southard St.
Left elevation
Replace aluminum awning with impact single hung***



*1000 Southard St.
Right elevation
Replace aluminum single hung
window with impact single hung*



***1000 Southard St.
Rear elevation
Change door to impact***



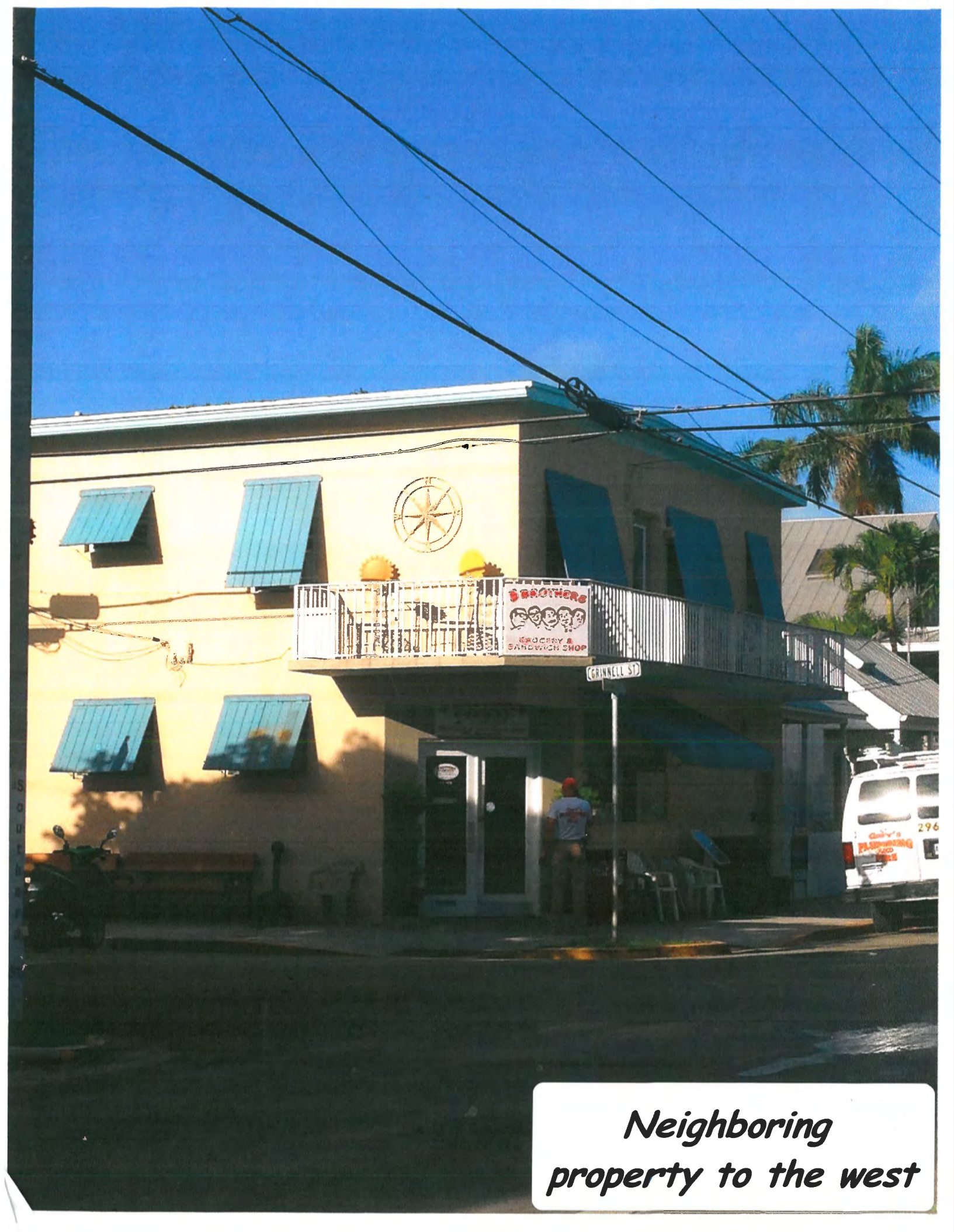
All studs interior and exterior 3 1/2" 2 x 4 dimensional lumber



Typical Header. See following photo indicating 7 1/2" 2 x 8 dimensional lumber



*Neighboring
property to the east*



Neighboring property to the west

PROPOSED DESIGN



2 EXIST. WEST ELEVATION (RIGHT)
A-3 Scale: 1/8" = 1'-0"



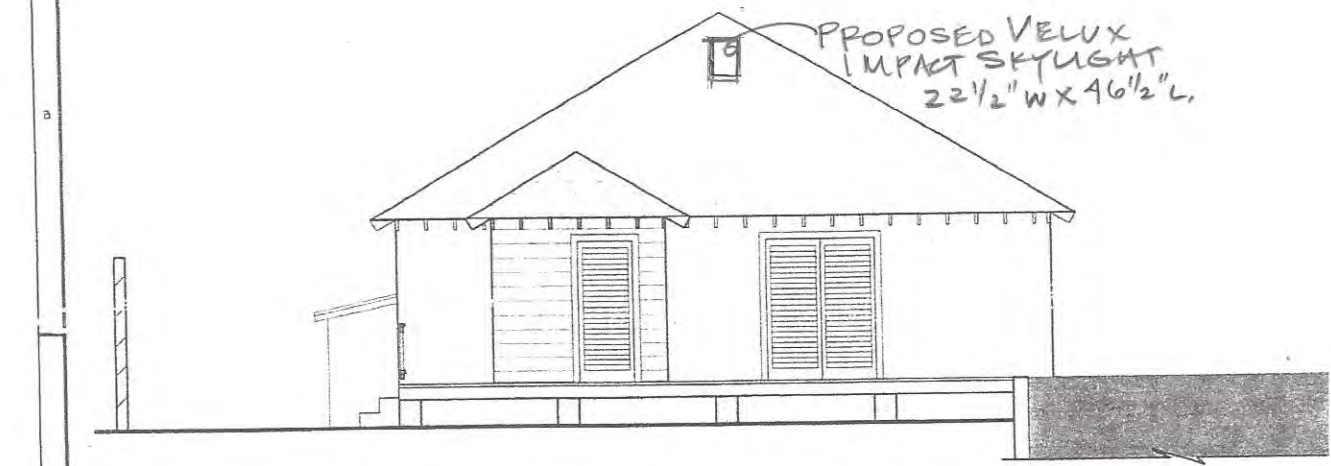
4 EXIST. EAST ELEVATION (LEFT)
A-3 Scale: 1/8" = 1'-0"

PETER M. PIKE
FLA. REGISTRATION # AR0015198

1000 SOUTHARD
6-31-15

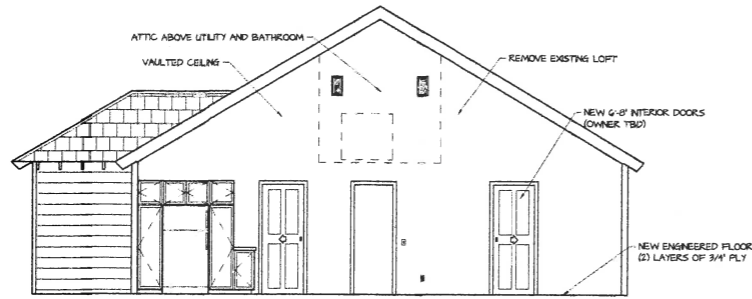


1 EXIST. NORTH ELEVATION (FRONT)
 A-3 Scale: 1/8" = 1'-0"



3 EXIST. SOUTH ELEVATION (REAR)
 A-3 Scale: 1/8" = 1'-0"

1000 SOUTHAPA
 6-31-15



A SECTION (PROPOSED)
1/2" = 1'-0"

- CONSTRUCTION PLAN GENERAL NOTES**
1. Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
 2. All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be sanded and sealed smooth.
 3. All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked "clear" or "c/s" shall be maintained and shall allow for thicknesses of all wall finishes UNO.
 4. Dimensions noted "clear" or "c/s" must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
 5. Dimensions marked +/- mean a tolerance not greater nor smaller than 2 inches from indicated dimension. UNO. Verify field dimensions exceeding tolerance with architect or owner.
 6. All dimensions to the exterior window wall are to the inside face of sill UNO.
 7. Notify architect or owner of any discrepancies or conflicts in the locations of the new construction.
 8. All exposed gypsum board edges to have metal edge trim work or equivalent.
 9. All work shall be directed and installed plumb, level, square, and true and in proper alignment.
 10. Refer to cover sheet for additional notes, legends, symbols, abbreviations, and schedules.
 11. Refer to electrical power plans for locations of switched outlets and the like.
 12. Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
 13. All existing and new floor penetrations for piping shall be fully blocked and sealed in accordance with the applicable building fire codes.
 14. Trim the bottoms of the doors to clear the top of finished floor, as applicable, by 1/2" maximum UNO. Verify slab conditions, trim each door to fit condition. Where radical variations in floor elevation exist, doors shall be ordered with bottom sets sized to accommodate these unusual conditions.
 15. Dimensions locating doors are to the inside of edge of jamb UNO.
 16. All "wet walls" to receive concrete board or green board.
 17. Replace rotted sub floor and damaged floor joists / beams with PT grade lumber.
 18. New sub floor to be 3/4" ply sheathing w/ engineered wood over top.
 19. Verify existing existing straps are at joists and rafters as req. install per 2009FBC as needed.
 20. Verify condition of plumbing and electrical throughout, replace per code as needed.
 21. Verify wall insulation and insulation between rafters, install new batt or spray-in per 2009 FBC and local codes.
 22. New sub floor. In the crewed and glued before engineered flooring is to be installed.

FIRE SAFETY NOTES

1. Existing smoke detectors to be tested or replaced.
2. Install new smoke detectors per plans UNO.

ELECTRICAL NOTES

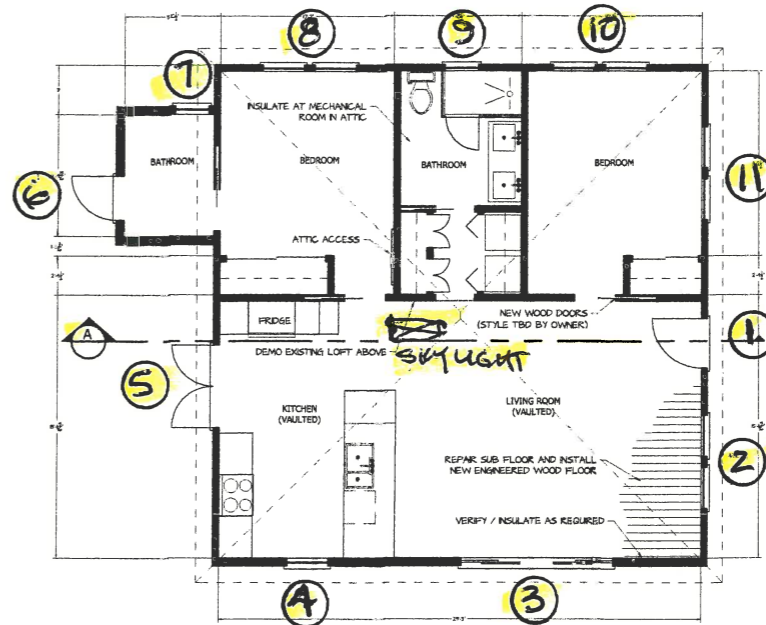
1. All switches and dimmers shall be located 42" above finished floor to center of switch UNO. Multiple switches at one location shall be ganged together and finished with one cover plate UNO.
2. All wet location outlets are to be gfci type.
3. All exterior switches and outlets are to be or have weather proof covers.
4. Verify all existing conditions (outlets, boxes, switches, etc.) and replace per 2009 FBC.
5. All ceiling light and exterior light fixtures are to be located by owner UNO.

MECHANICAL NOTES

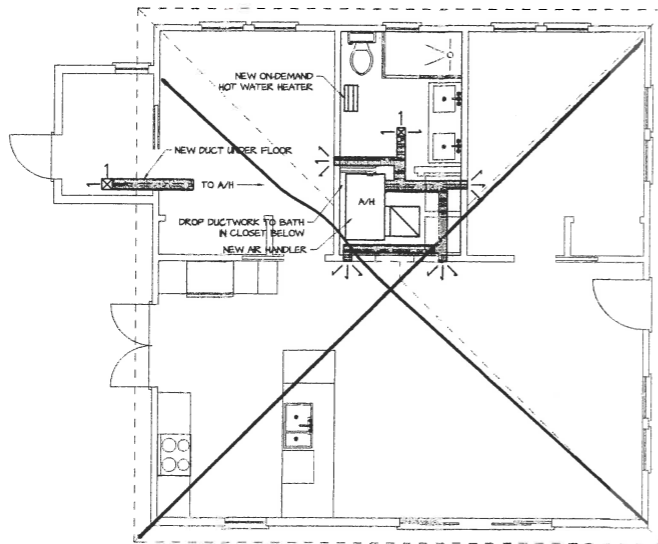
- Note to Contractor on Existing Conditions:
1. Contractor shall visit the site prior to bid and survey all existing conditions and equipment prior to submitting bid for work required by these documents. This includes above the ceiling and on the top of the roof.
 2. For all existing equipment to be re-located &/or re-used, contractor shall be responsible for disconnection, safe storage and re-connection of said equipment completely.
 3. For all existing equipment to be demolished, contractor shall be responsible for disconnection, removal and disposal off site per code of said equipment.
 4. Refer to manufacturers specifications for mounting details on A/C air handlers.

MECHANICAL SPECIFICATIONS

Scope: The contractor shall visit the site and examine the drawing and specifications before submitting a proposal. All work shall be in accordance with the 2009 FBC and with all amendments, and local codes and ordinances. Installation shall comply with the standards set by the NFPA, ASHRAE, ASPE, SMACNA, NEC and UL. The systems, equipment, devices, and accessories shall be installed, finished, tested and adjusted for continuous and proper operation. The contractor shall be responsible for his work, fitting in place and shall coordinate with the other trades to avoid interference with their work. The information given herein and on the drawings is as exact as could be secured, but its extreme accuracy is not guaranteed. The drawings are diagrammatic, intended to show general arrangement, capacity and location of various components, equipment, and devices. If work is required in a manner to make it impossible to produce first class work, or should discrepancies appear among the contract documents or between the contract documents and manufacturers recommendations, the contractor shall request interpretation from the owner or architect before proceeding with work. Contractor shall furnish all minor items which are obviously and reasonably necessary to complete the installation whether or not specific in the documents. Required Coordination: All work shall be coordinated with all trades involved. Offsets in ducts and piping (including divided ducts) and transitions around obstructions shall be included in the bid price. Construction Plans: In general, plans and diagrams are schematic only and should not be scaled. Required Access: Contractor shall ensure that all equipment and devices that require replacement, servicing, adjusting or maintenance shall be located to allow access and space for removal of internal assemblies, if required. Contractor shall provide access panels where required to allow access, even if not indicated on the drawings and these shall be included in the bid price. Vent Resistance: All equipment, appliances and supports located exterior of the Facility shall be installed to resist 180mph wind loads as detailed in FBC. Condensate and Drain Piping: Condensate drain piping shall be PVC-type DWV. Drains shall be pitched not less than 1/8". Runs shall be as short as possible without any dips to trap water and interfere with proper drainage. Provide traps and cleanouts at drain pan connections.

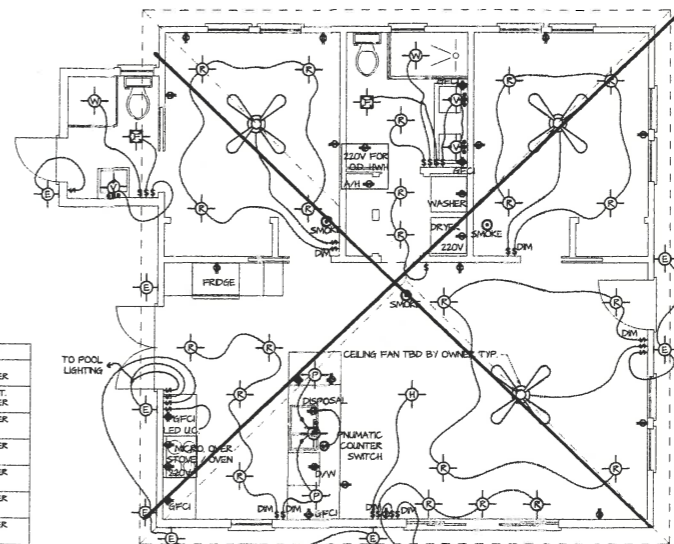


FLOOR PLAN (PROPOSED)
1/2" = 1'-0"



HVAC PLAN
1/4" = 1'-0"

ELECTRICAL FIXTURE SCHEDULE			
SYM.	TYPE	QTY.	NOTES
EF	EXHAUST FAN	2	80 CFM, TBD BY OWNER
SL	SHOWER RECESSED LIGHT	2	WATER RESIST. TBD BY OWNER
RL	Recessed LED LID	22	TBD BY OWNER
HL	HANGING LIGHT FIXTURE	1	TBD BY OWNER
PL	PENDANT LIGHT	3	TBD BY OWNER
EL	EXTERIOR LIGHT	5	TBD BY OWNER
VL	VANITY LIGHT	3	TBD BY OWNER



ELECTRICAL PLAN
1/4" = 1'-0"

FERRARA RESIDENCE
RESIDENTIAL INTERIOR UPGRADES
 1000 SOUTHARD STREET KEY WEST, FLORIDA 33040

WILLIAM ROWAN
ARCHITECTURE
 331 PINEGUM LANE KEY WEST, FLORIDA 33040
 FLORIDA LICENSE #AR 001773

PROJECT NO.

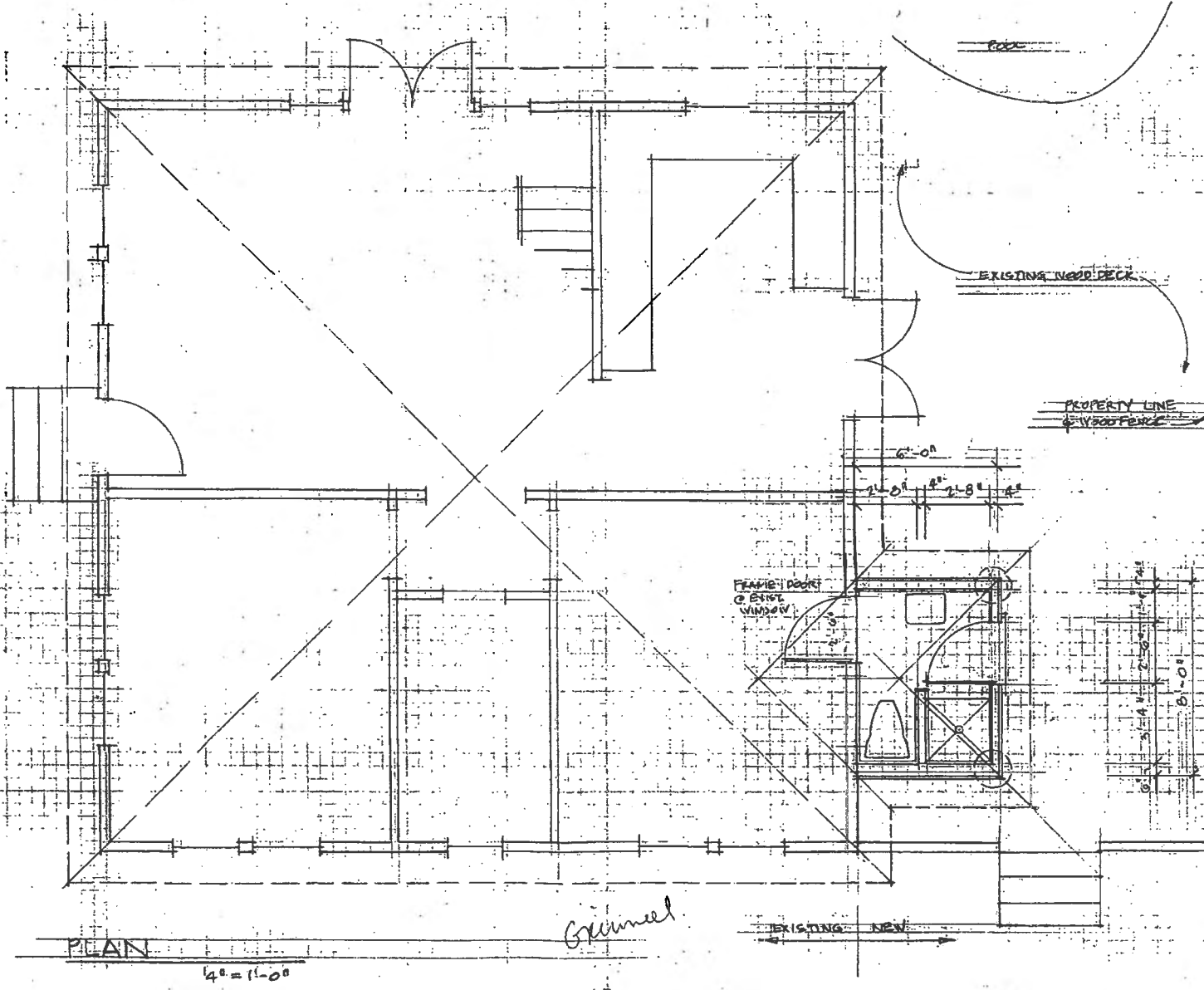
DATE: 4-28-15

2

2 OF 2

MISCELLANEOUS INFORMATION

SOUTHWARD



PLAN

1/4" = 1'-0"

Grinnel

ISSUED FOR GENERAL CONSTRUCTION: PLUMBING & ELECTRIC TO FOLLOW AFTER VARIANCE

BATHROOM ADDITION
 1000 SOUTHARD STREET
 KEY WEST, FLORIDA

[Signature]
 S. 4. 99

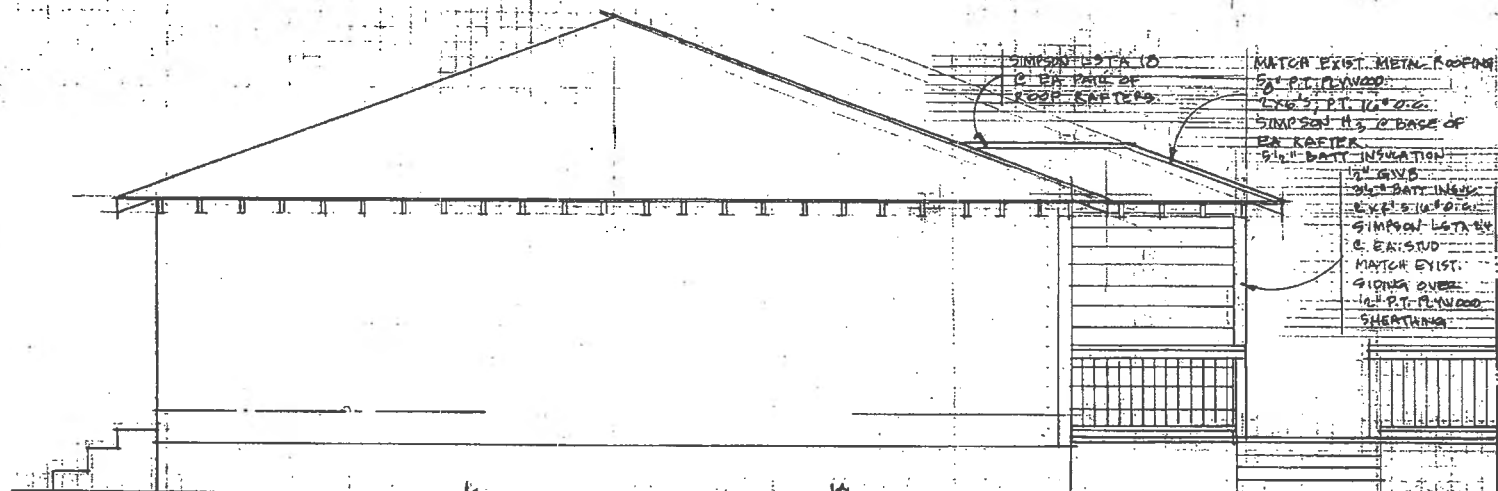
410
 1000 Southard Street
 Key West, Florida 33401
 Phone: 305-234-1177
 Fax: 305-234-1178
 Fink & Linnell Architects

Bender & Associates
 ARCHITECTS

Project No.
 99-01

Date: 2 MAY 99

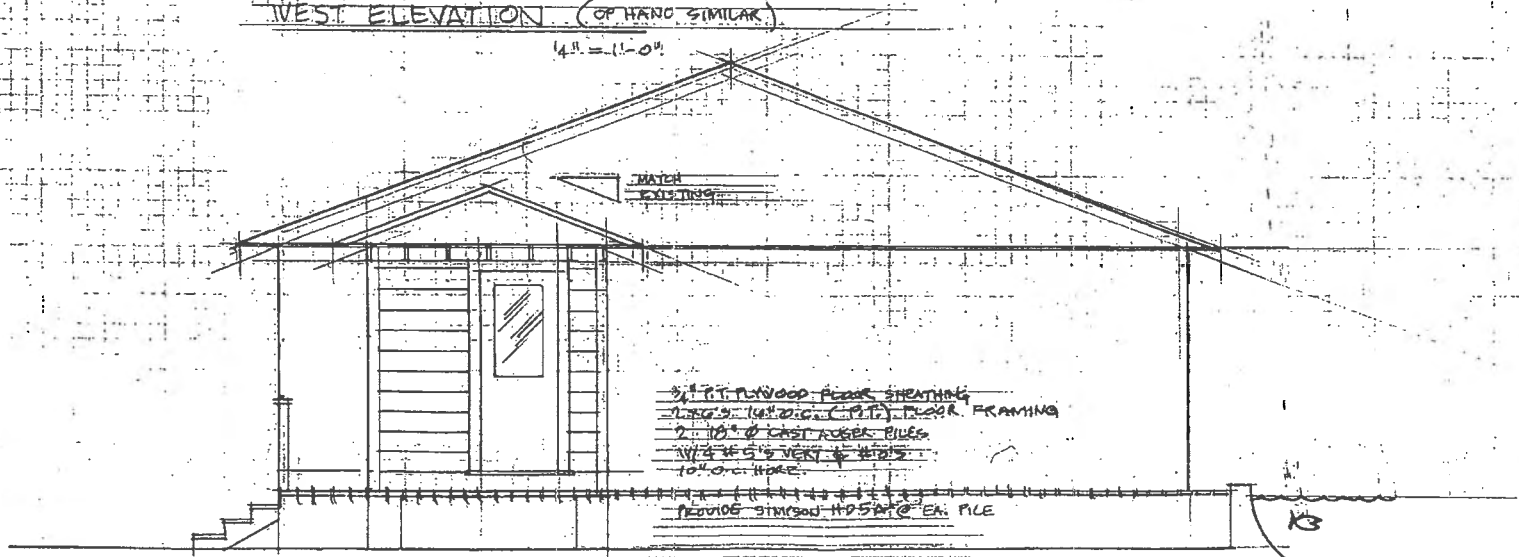
1



SIMPSON LSTA 10
 @ EA. PAIR OF
 ROOF RAFTERS
 MATCH EXIST. METAL ROOFING
 5/8" PLYWOOD
 EXIST. P.T. PLYWOOD
 SIMPSON H.S. @ BASE OF
 EA. RAFTER
 5/8" BATT INSULATION
 1/2" GYPS
 5/8" BATT INSUL
 EXIST. SILLING
 SIMPSON LSTA 10
 @ EA: STUD
 MATCH EXIST.
 SILLING OVER
 1/4" P.T. PLYWOOD
 SHEATHING

WEST ELEVATION (OP HAND SIMILAR)

1/4" = 1'-0"



MATCH
EXIST. ROOF

5/8" P.T. PLYWOOD FLOOR SHEATHING
 2x10'S @ 16" O.C. (C.P.T.) FLOOR FRAMING
 2x10'S @ CAST IN-PLACE
 1/4" P.T. PLYWOOD
 10' O.C. @ RAFTERS
 PROVIDE SIMPSON H.S. @ EA. PILE

SOUTH ELEVATION 1/4" = 1'-0"

BATHROOM ADDITION
 1000 SOUTHWARD STREET
 KEY WEST, FLORIDA


 S. 4. 99

410 Agate Street
 Key West, Florida 33440
 Phone: 305-894-5300
 Fax: 305-894-5307
 P.O. Box 120000 Key West, FL 33412

Bender & Associates
 ARCHITECTS
 P.A.

Project No:
 99-21

Date: 3 MAY 99

2



RECEIVED
AUG 27 2001

Historic Architectural Review Commission

Applicant's Summary of Scope of Work (Please type or print): Must side a
new structure. Permit says to match to existing siding.
House, however, has two different sidings, one is no longer
in existence, and the other has replaced it - the "new" historic
lap siding. Wish to match new structure siding to the "new"
lap siding. Also wish to replace old siding that is rotting
and damaged with new siding.
- Siding replacement for bathroom only
Also, wish to use a jalousie door on rear of structure
(13' rear of house & non-visible to street). This would
allow bathroom privacy and additional ventilation

see attached pictures

I attest that I will not exceed the scope of work as summarized above without coming back before the HARC for additional review.

Date: 8/27/01 Signature: [Signature]

For HARC Use Only

Approved _____ Denied _____ Deferred _____

Reason for deferral/denial: _____

New Hearing Date: _____

HARC staff comments:

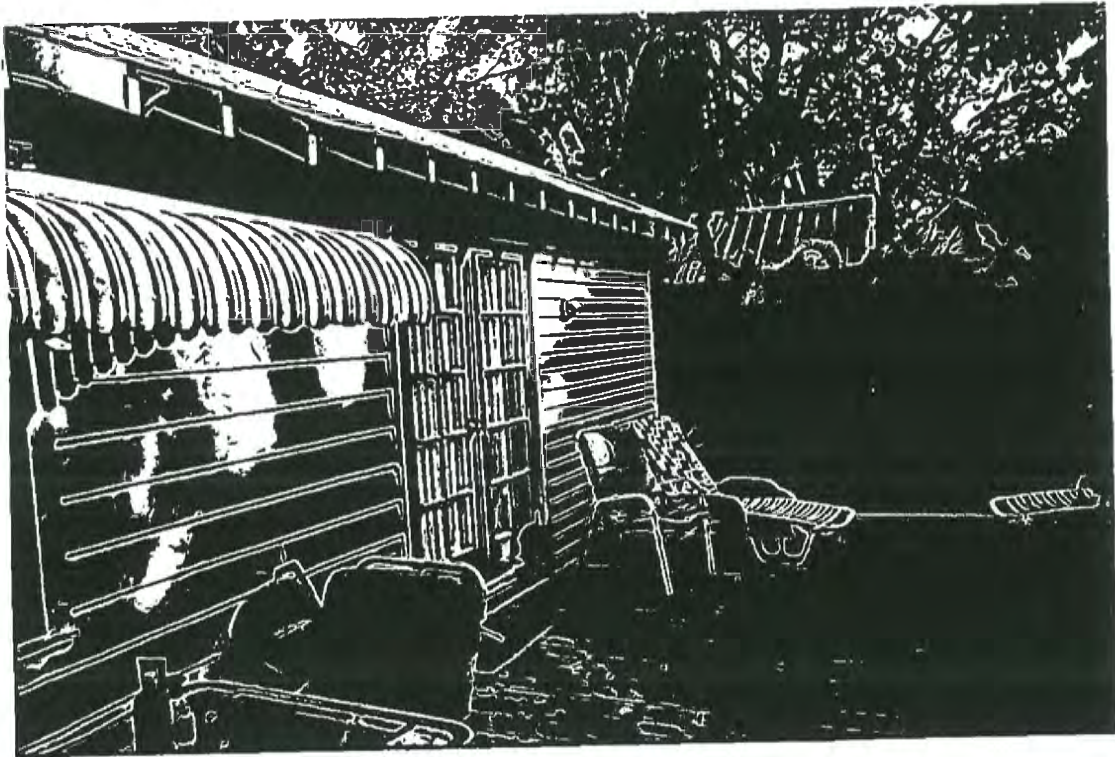
Spoke w/ Ms. Ferrite 9/4/01 - she explained that siding
replacement is for bathroom addition only.

Limits of work approved, conditions of approval, and/or suggested changes, etc.: _____

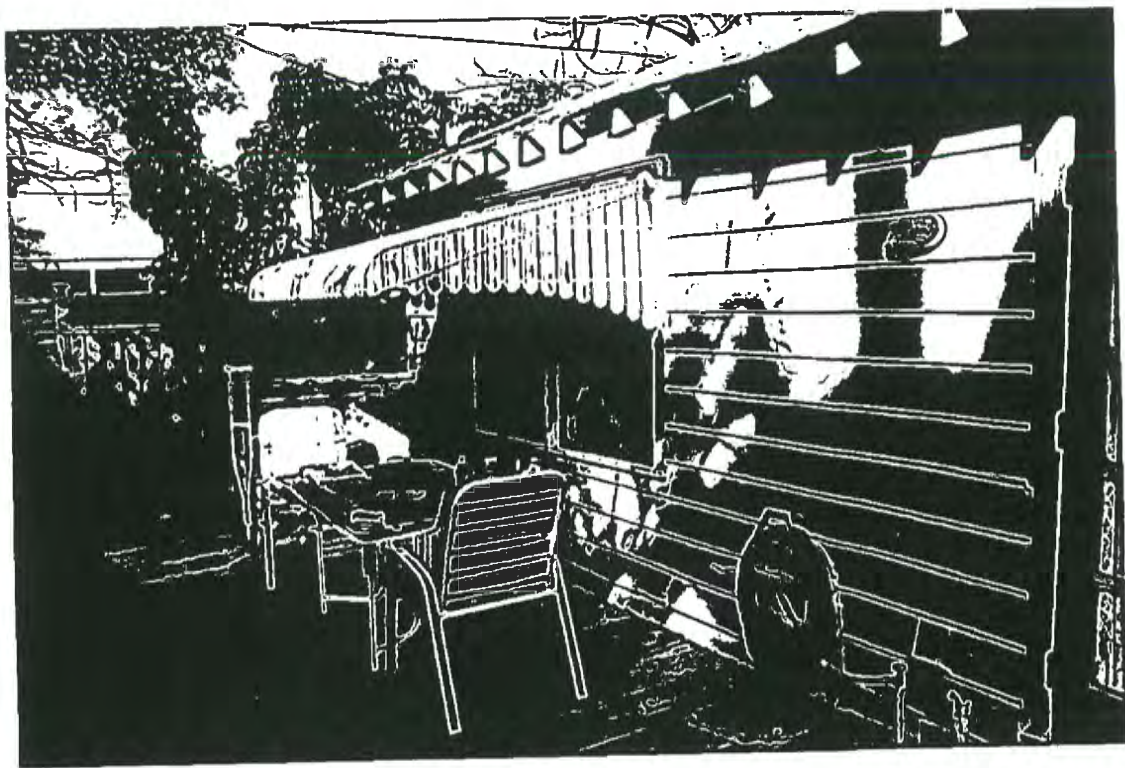
Date: _____ By: _____

Historic Architectural Review Commission

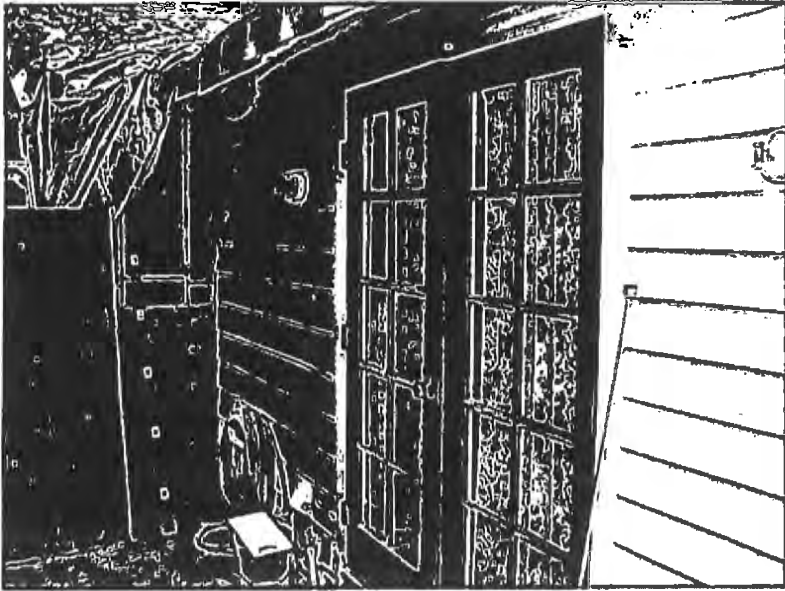
1000 SOUTHARD ST.



REAR FACING EAST



REAR FACING WEST



RECEIVED
AUG 27 2001

old ↗

↖ new historic lap-siding.



RECEIVED
AUG 27 2001

↑
old historic
lap siding
damaged / rotting



RECEIVED
AUG 27 2001

"OLD"
ROTTING &
DAMAGED.
Not in existence
anymore.



RECEIVED
AUG 27 2001

↑
new historic
lap siding

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a special public hearing at 5:30 p.m., July 28, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**REQUEST FOR CONSIDERATION OF NON-CONTRIBUTING VALUE.
REPLACEMENT OF WINDOWS AND DOORS WITH IMPACT RESISTANT
UNITS AND INSTALLATION OF IMPACT RESISTANT SKYLIGHT ON REAR.**

FOR- #1000 SOUTHARD STREET

Applicant- Affiliated Design and Construction

Application # H13-01-1012

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

PROPERTY APPRAISER INFORMATION

- [» Tax Collector](#)

Monroe County Cities

- [» City of Key West](#)
- [» City of Marathon](#)
- [» City of Key Colony Beach](#)
- [» City of Layton](#)
- [» Islamorada, Village of Islands](#)

First Time Home Buyer (IRS)

- [» Cancellation of Debt Flyer \(English\)](#)
- [» Cancellation of Debt Flyer \(Spanish\)](#)
- [» 1st Time Homebuyers Fact Sheet](#)
- [» 1st Time Homebuyers Basic Information](#)
- [» 1st Time Homebuyers Scenarios](#)
- [» 1st Time Homebuyers Q& A's](#)

IRS Links

- [» Make Work Pay Credit](#)
- [» Energy Conservation Credit](#)

Other Links

- [» FL Dept Rev - Property Tax Oversight](#)
- [» Census Info](#)

Property Record Card -

Maps are now launching the new map application version.

[Return to Search Results](#) | [Modify Search](#) | [New Search](#) | [Send Email to MCPA Regarding this Parcel](#) | [Estimate Taxes on this Parcel](#)

Previous Record **Alternate Key: 1011134 Parcel ID: 00010840-000000** Next Record

Ownership Details

Mailing Address:

FERRARA ANNE F
6 PURITAN AVE
MOUNT SINAI, NY 11766-2510

Property Details

PC Code: 01 - SINGLE FAMILY
 Millage Group: 10KW
 Affordable Housing: No
 Section-Township-Range: 06-68-25
 Property Location: 1000 SOUTHARD ST KEY WEST
 Legal Description: KW PT LOT 3 SQR 56 OR66-99/100 OR1233-2400/01R/S(CMS)OR1306-911(AFFD) OR1306-912(LG)

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	61	60	3,660.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 994
 Year Built: 1943

Building 1 Details

Building Type	R1	Condition	G	Quality Grade	450
Effective Age	17	Perimeter	138	Depreciation %	22
Year Built	1943	Special Arch	0	Grnd Floor Area	994
Functional Obs	0	Economic Obs	0		

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type	GABLE/HIP	Roof Cover	METAL	Foundation	WD CONC PADS
Heat 1	FCD/AIR DUCTED	Heat 2	NONE	Bedrooms	2
Heat Src 1	ELECTRIC	Heat Src 2	NONE		

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	1	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0

Building Sketch Image



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1942	N Y	0.00	0.00	930
2	PTO		1	1995		0.00	0.00	775
3	FLD	12:ABOVE AVERAGE WOOD	1	1995	N Y	0.00	0.00	64
4	SBU		1	1995		0.00	0.00	28

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	364 SF	91	4	1991	1992	2	30
3	FN2:FENCES	186 SF	31	6	1991	1992	2	30
4	AC2:WALL AIR COND	1 UT	0	0	1991	1992	2	20
5	PT2:BRICK PATIO	48 SF	0	0	1994	1995	4	50
6	FN2:FENCES	1,088 SF	136	8	1994	1995	2	30
10	PO4:RES POOL	347 SF	0	0	1994	1995	4	50

Appraiser Notes

TPP 8945377

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
15-1746	05/13/2015		46,400		REMOVE 900 SQ FT EXISTING TILE & REPLACE W/ 150 SQ FT TILE & 750 SQ FT OF HARDWOOD FLOORING. REMOVE PARTIAL LOFT , DRYWALL REPAIRS AS NECESSARY, INSULATE & FRAME ATTIC FOR AIR HANDLER, REPLACE KITCHEN CABINETS AND COUNTERTOPS.
11 15-2012	05/22/2015		8,200	Residential	ADDENDUM TO ABOVE PERMIT UPON REMOVING DAMAGED SUB-FLOOR IT WAS DEEMED JOISTS & SUB-FLOOR REQUIRE REPLACING INCLUDING NEW FOOTERS.
15-2561	06/24/2015		6,500		WIRE UP HOUSE TO CODE. INSTALL 30 RECEPTACLES, 20 SWITCHES, 42 CAN LIGHTS, 3 CEILING FANS AND ECT.
1 B953537	10/01/1995	12/01/1995	10,000	Residential	SWIMMING POOL
2 E953650	10/01/1995	12/01/1995	400	Residential	POOL EQUIPMENT
3 B953804	11/01/1995	12/01/1995	4,000	Residential	POOL DECK,PAVE WALK,PAINT
4 A954081	11/01/1995	12/01/1995	800	Residential	FENCE
5 9500092	12/01/1995	08/01/1996	700	Residential	FENCE
6 9901578	05/07/1999	08/13/1999	250	Residential	REWIRE POOL PUMP
7 0002190	08/03/2000	01/04/2001	2,500	Residential	PLUMBING
8 0002429	06/21/2000	01/04/2001	500	Residential	PAINTING FENCE/HOUSE
9 04-3217	10/04/2004	12/17/2004	900	Residential	EMERG METER CAN REPAIR
10 07-5138	11/21/2007	02/29/2008	800	Residential	REPLACE EXISTING FENCE 16 LN FT PICKET FENCE 4' HI AT SIDE OF THE HOUSE

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	110,605	21,684	405,636	537,925	490,692	0	537,925
2013	113,303	22,304	350,416	486,023	446,084	0	486,023
2012	114,652	23,037	267,842	405,531	405,531	0	405,531
2011	116,001	23,808	260,081	399,890	399,890	0	399,890
2010	117,350	24,541	325,703	467,594	467,594	0	467,594
2009	130,438	25,332	495,069	650,839	650,839	0	650,839
2008	119,928	26,181	508,740	654,849	654,849	0	654,849
2007	210,210	20,973	640,500	871,683	871,683	0	871,683

2006	390,247	21,605	347,700	759,552	759,552	0	759,552
2005	323,640	22,295	314,760	660,695	660,695	0	660,695
2004	269,826	22,929	274,500	567,255	567,255	0	567,255
2003	214,634	23,587	128,100	366,321	366,321	0	366,321
2002	163,010	24,302	128,100	315,412	315,412	0	315,412
2001	130,127	18,460	128,100	276,687	276,687	0	276,687
2000	122,884	18,989	69,540	211,413	211,413	0	211,413
1999	117,007	18,624	69,540	205,171	205,171	0	205,171
1998	98,842	16,158	69,540	184,540	184,540	0	184,540
1997	90,828	15,234	62,220	168,281	168,281	0	168,281
1996	72,128	12,436	62,220	146,784	146,784	0	146,784
1995	37,027	1,918	62,220	101,164	101,164	0	101,164
1994	31,330	1,689	62,220	95,239	95,239	25,000	70,239
1993	31,330	0	62,220	93,550	93,550	0	93,550
1992	31,330	0	62,220	93,550	93,550	0	93,550
1991	31,330	0	62,220	93,550	93,550	25,000	68,550
1990	26,576	0	48,495	75,071	75,071	25,000	50,071
1989	21,964	0	47,580	69,544	69,544	25,000	44,544
1988	19,116	0	40,260	59,376	59,376	25,000	34,376
1987	18,858	0	27,327	46,185	46,185	25,000	21,185
1986	18,963	0	26,330	45,293	45,293	25,000	20,293
1985	18,330	0	14,896	33,226	33,226	25,000	8,226
1984	17,029	0	14,896	31,925	31,925	25,000	6,925
1983	17,029	0	14,896	31,925	31,925	25,000	6,925
1982	17,405	0	14,896	32,301	32,301	25,000	7,301

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/1/1994	1306 / 0912	158,500	WD	U
11/1/1992	1233 / 2400	110,000	WD	Q

This page has been visited 123,461 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176