

Historic Architectural Review Commission

Staff Report Item 12b

Meeting Date:	October 28, 2014
Applicant:	Brian Olson, Agent, and Elizabeth Chamberlain, Owner
Application Number:	H14-01-1609
Address:	#1418 Pine Street
Description of Work:	Demolition of non-historic addition of contributing house.
Building Facts:	The house located at 1418 Pine Street is listed as a contributing resource. The single-story frame vernacular house was built in 1906 and first appears on the 1912 Sanborn map. There have been multiple modifications over time to the back of the house, and the current rear shed is not considered historic or contributing.
Ordinance Cited in Review:	Sec. 102-217 (2): Demolition of non-historic or non-contributing buildings, Sec. 102-218: Criteria for demolitions, and Sec. 102-125: Historic architectural review commission findings precedent to issuance in the Land Development Regulations.

Staff Analysis

The Certificate of Appropriateness in review proposes the demolition of a non-historic portion in the rear. The house has retained a similar footprint over time, with its first appearance on the 1912 Sanborn map showing the rear portion as a kitchen. After viewing photographs and conducting a site visit, staff has concluded that the portion in consideration is not historic or contributing. The walls of the shed are made of fencing, and the shed contains no historic material.

It is staff's opinion that the proposed demolition will not cover historic elements of the house. As the rear portion contains no historic fabric, it does not meet any of the criteria listed in Sec. 102-125 (1) through (9), and therefore can be considered for demolition. If the demolition is approved this will constitute the only review for this request.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

01-2014 011609

APPLICATION # _____

OWNER'S NAME: **ELIZABETH CHAMBERLAIN** DATE: **9/30/2014**

OWNER'S ADDRESS: **1418 PINE STREET** PHONE #: **305-619-0802**

APPLICANT'S NAME: **ELIZABETH CHAMBERLAIN** PHONE #: **305-619-0802**

APPLICANT'S ADDRESS: **1418 PINE STREET**

ADDRESS OF CONSTRUCTION: **1418 PINE STREET** # OF UNITS **1**

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:

Demo existing attached shed (55 sq. ft.) and deck (165 sq. ft.) at rear of house. Install (2) new wood full light french doors at rear of house. Install (1) new wood pass through window. Install above grade pt wood deck in back yard (aprox. 200 sq. ft.) replace and repair damaged siding (match existing) on rear and sides of house (aprox 35 sq. ft.)

Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 9-30-2014

Applicant's Signature:

AUTHORIZED BY ELIZABETH CHAMBERLAIN

Required Submittals

<input type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TREE REMOVAL PERMIT (if applicable)
<input type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
<input type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: 7.10

Staff Approval: 16:24:12

Fee Due: \$ _____

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved

Denied

Deferred

Reason for Deferral or Denial:

HARC Comments:

Building is listed as contributing. Frame vernacular
built in 1906. • U.S. Secretary of the Interior's Standards
• Guidelines for windows and doors
• Ordinance for demolition

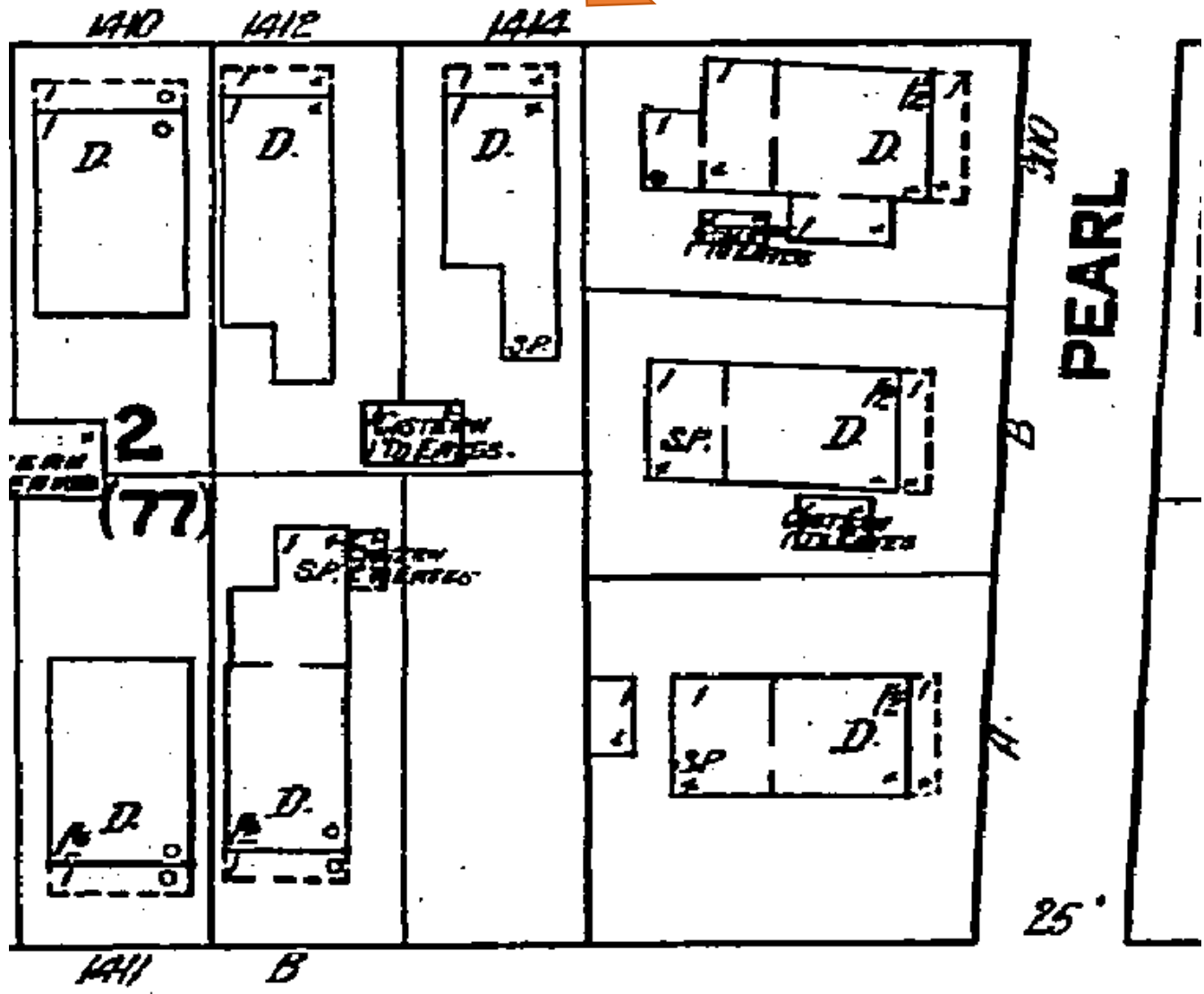
Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

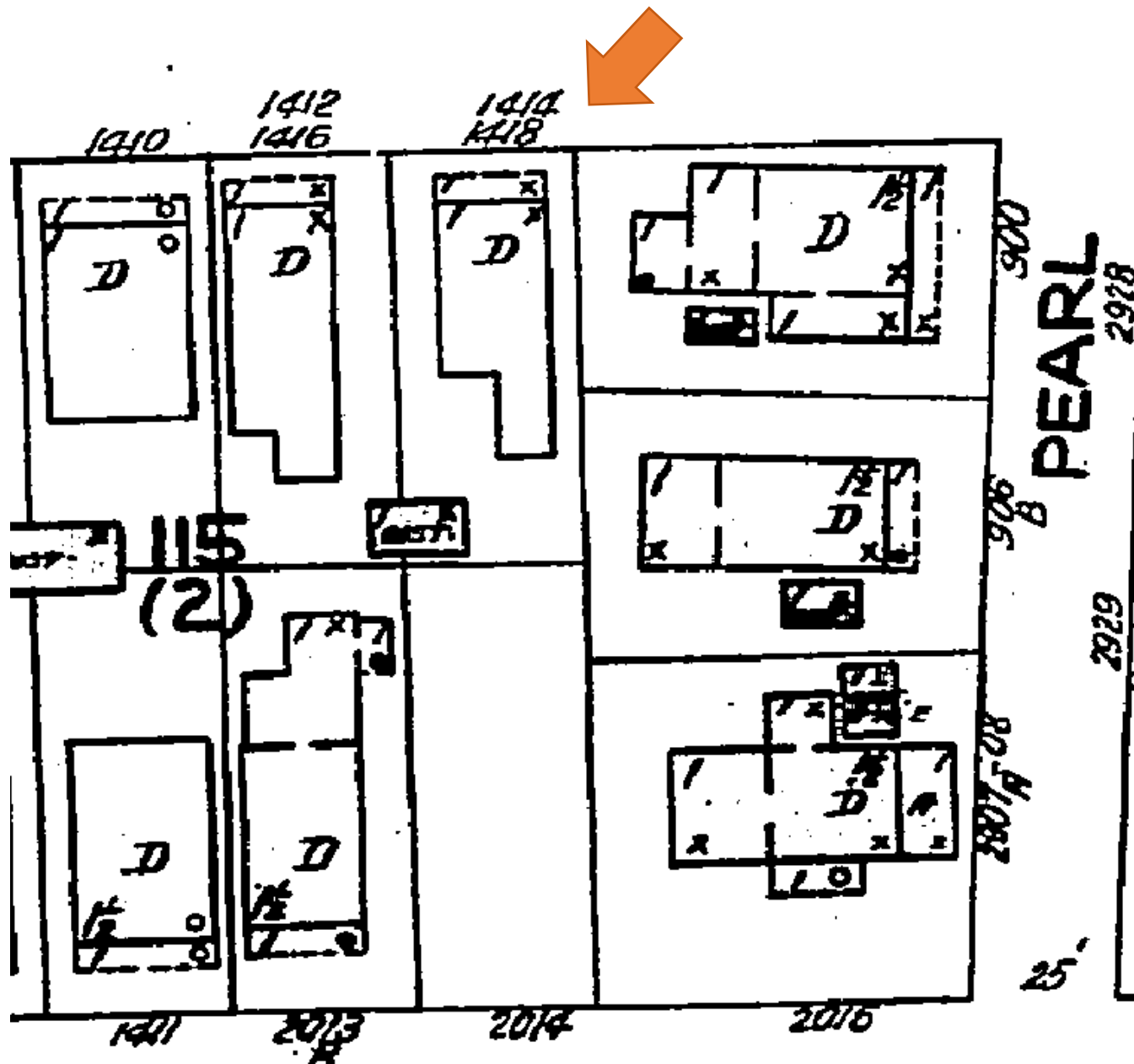
Signature: _____

Historic Architectural
Review Commission

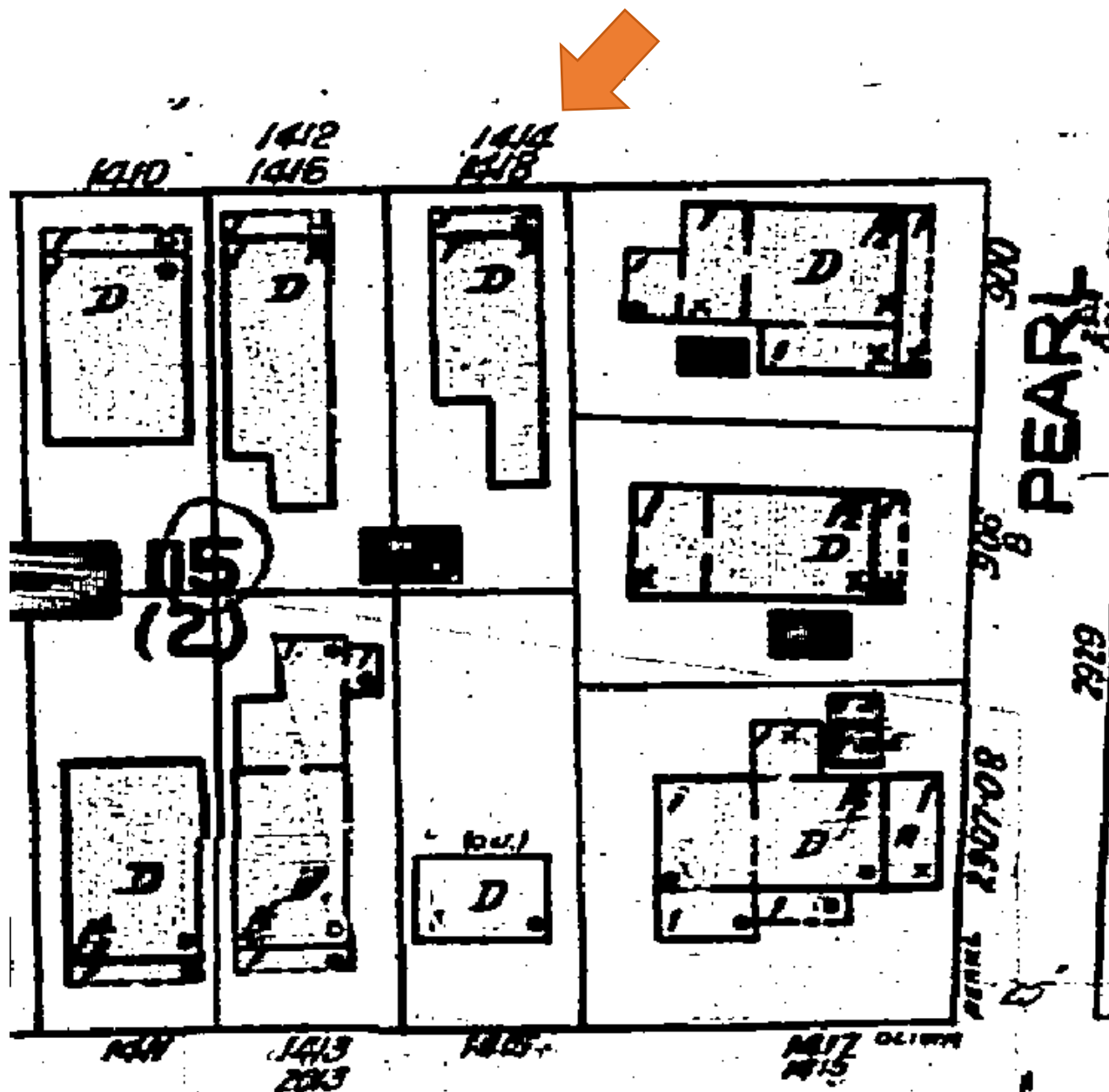
Sanborn Maps



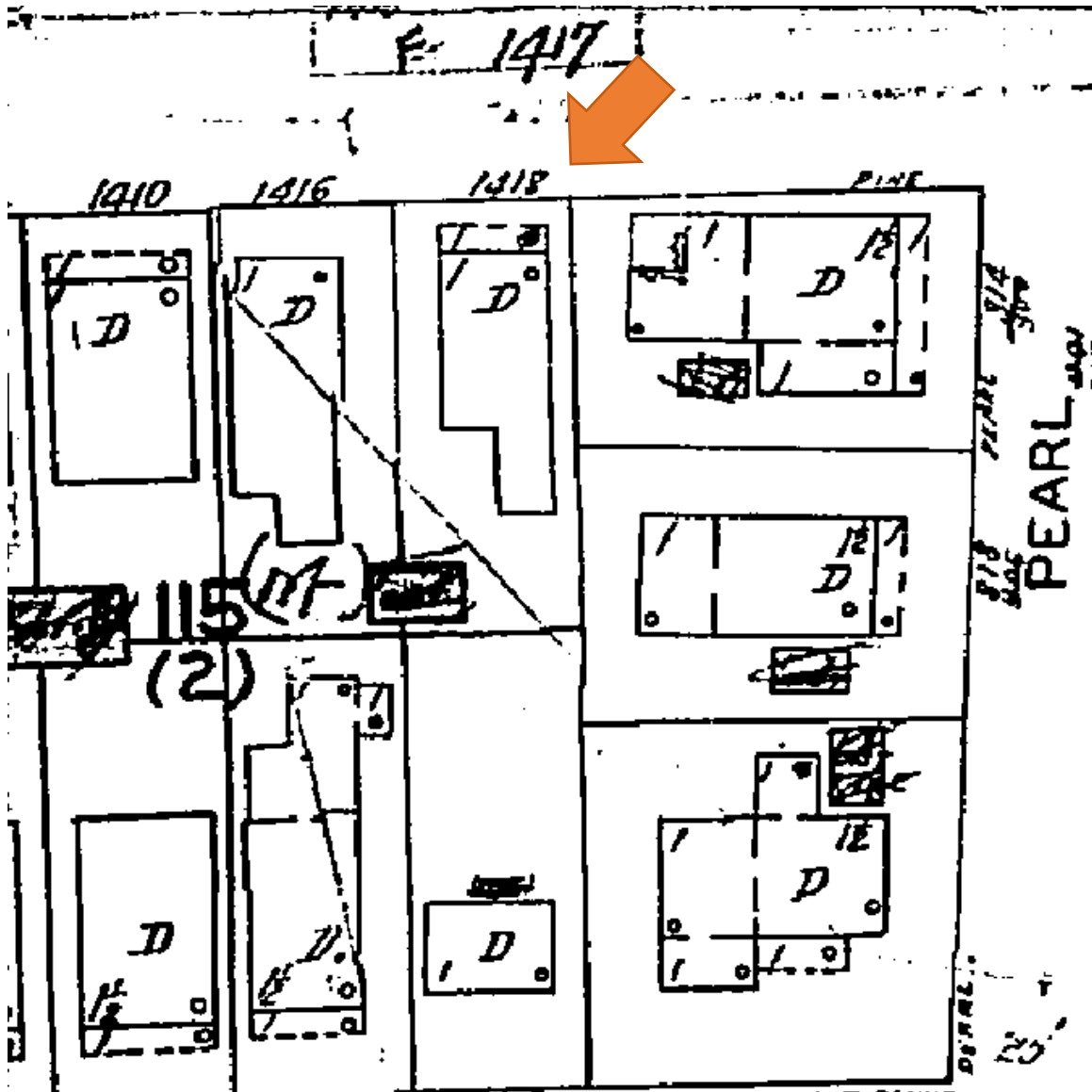
1912 Sanborn Map



1926 Sanborn Map



1948 Sanborn Map



1962 Sanborn Map

Project Photos



1965 Property Appraiser's Photo of 1418 Pine Street.

Monroe County Public Library.



STREET VIEW



REAR OF HOUSE WITH ATTACHED SHED



REAR OF HOUSE WITH ATTACHED SHED

Survey

CERTIFIED TO:
ELIZABETH CHAMBERLAIN

PROPERTY ADDRESS:
1418 PINE STREET
KEY WEST, FLORIDA 33041

MAP OF BOUNDARY SURVEY

DATE OF FIELD WORK 4/22/14

LEGAL DESCRIPTION:

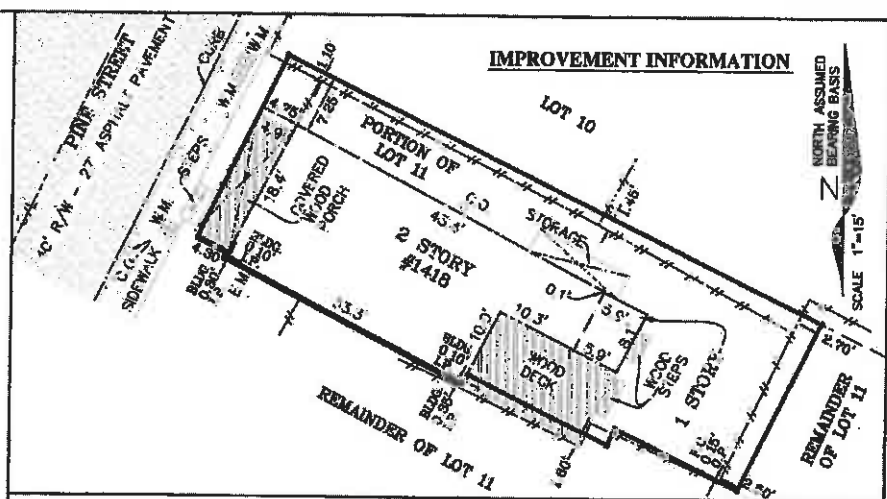
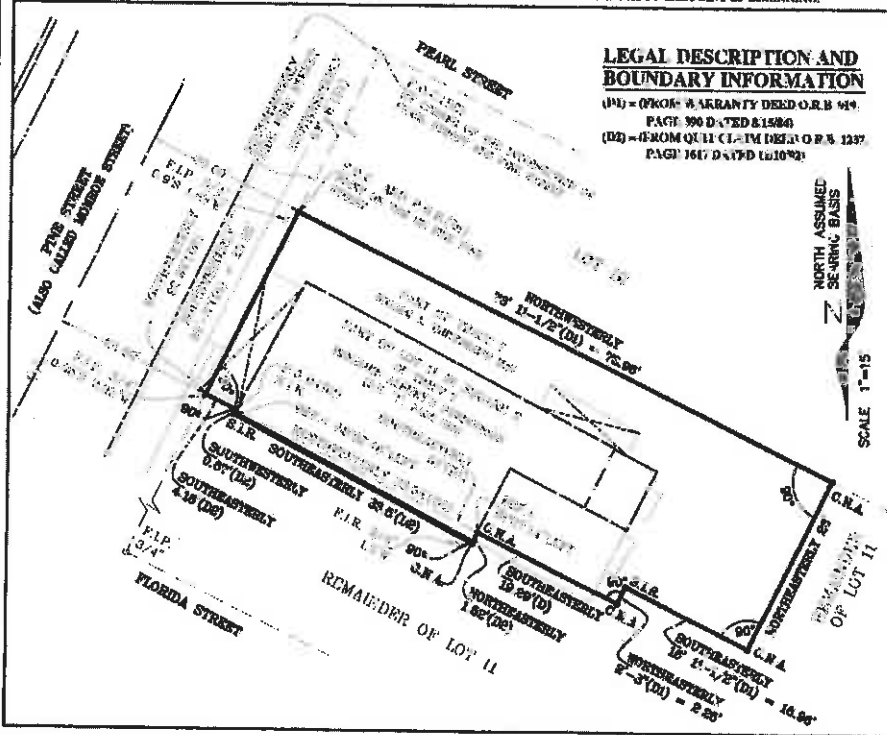
(D1) (FROM WARRANTY DEED O.R.B. 919, PAGE 390 DATED 8/15/84)

ON THE ISLAND OF KEY WEST AND KNOWN ON WILLIAM A. WHITFIELD'S MAP OF SAID ISLAND DELINEATED TO FEBRUARY, A.D. 1895, AS A PART OF TRACT 7 BUT MORE PARTICULARLY DESCRIBED ACCORDING TO BENJAMIN ALBURY'S SUBDIVISION OF A PART OF TRACT 7 DIAGRAM OF WHICH IS DULY RECORDED IN DEED BOOK "T", PAGE 389 MONROE COUNTY, FLORIDA, PUBLIC RECORDS AS PART OF LOT 11 IN SQUARE 2 OF SAID SUBDIVISION OF EAST 1/4 OF TRACT 7 SAID PART OF LOT 11 BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS COMMENCING AT A POINT ON THE SOUTHEASTLY SIDE OF PINE STREET (ALSO CALLED MONROE STREET) DISTANT 47 FEET, 8 INCHES NORTHWESTERLY FROM THE CORNER OF PINE STREET AND PEARL STREET (ALSO CALLED MONROE STREET) AND FROM SAID POINT RUN SOUTHWESTERLY ALONG THE SOUTHEASTLY SIDE OF PINE STREET (ALSO CALLED MONROE STREET) 2 FEET, 1 INCH; THENCE RUN AT RIGHT ANGLES IN A SOUTHEASTLY DIRECTION 5 FEET; THENCE RUN AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 73 FEET, 11 3/4 INCHES TO PINE STREET (ALSO CALLED MONROE STREET) TO TO POINT OF BEGINNING.

(D2) (FROM QUIT CLAIM DEED O.R.B. 1237, PAGE 1617 DATED 11/10/92)

ON THE ISLAND OF KEY WEST AND KNOWN AS A PART OF LOT 11, SQUARE 2 OF BENJAMIN ALBURY'S SUBDIVISION OF A PART OF TRACT 7 RECORDED IN DEED BOOK "T", PAGE 389 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; SAID PARCEL BEING FURTHER DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SWLY RIGHT OF WAY LINE OF PEARL STREET WITH THE SELY RIGHT OF WAY LINE OF PINE STREET AND RUN THEREIN IN A SWLY DIRECTION ALONG THE SELY RIGHT OF WAY LINE OF THE SAID PINE STREET FOR A DISTANCE OF 92.92 FEET; THENCE SELY AND AT RIGHT ANGLES FOR A DISTANCE OF 4.18 FEET TO THE POINT OF BEGINNING; THENCE SWLY AND AT RIGHT ANGLES FOR A DISTANCE OF 0.67 FEET; THENCE SELY ALONG A LINE IN PLAT 204 33.46 TO THE LEFT FOR A DISTANCE OF 33.5 FEET; THENCE NELY AND AT RIGHT ANGLES FOR A DISTANCE OF 1.52 FEET; THENCE NWLY ALONG A LINE DEFLECTED 91°27'14" TO THE LEFT FOR A DISTANCE OF 33.53 FEET BACK TO THE POINT OF BEGINNING.



LEGEND AND ABBREVIATIONS

BLDG. = BUILDING	I.P. = INSIDE THIS SUBJECT PROPERTY	ASPHALT = [Symbol]
C/L = CENTER LINE	O.P. = OUTSIDE THIS SUBJECT PROPERTY	CONCRETE = [Symbol]
C.N.A. = CORNER NOT ACCESSIBLE	O.R.B. = OFFICIAL RECORDS BOOK	WOOD DECK = [Symbol]
C.O. = CLEAN OUT	P.O.B. = POINT OF BEGINNING	
CONC. = CONCRETE	P.O.C. = POINT OF COMMENCEMENT	
(D) = DEED	R/W = RIGHT-OF-WAY	
(D1) = DEED 1	S.I.R. = SET 5/8" IRON ROD LB7888	
(D2) = DEED 2	S.N.D. = SET NAIL AND DISC LB7888	
D.B. = DEED BOOK	W.M. = WATER METER	
DEF < = DEFLECTION ANGLE	OVERHANG = [Symbol]	
E.F. = END FENCE	WOOD FENCE = [Symbol]	
E.M. = ELECTRIC METER		
F.C. = FENCE CORNER		
F.I.P. = FOUND IRON PIPE		
F.I.R. = FOUND IRON ROD		

NOTES:

1) THIS IS A COPYRIGHT DOCUMENT CONTAINING PROPRIETARY INFORMATION AND IS NOT WARRANTED BY THE SIGNING SURVEYOR WHEN COPIED BY OTHERS. 2) UNLESS OTHERWISE SHOWN HEREON RECORD AND MEASURED CALLS ARE IN SUBSTANTIAL AGREEMENT 3) AND SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT ON THE PLAT AND THE SAME, IF ANY MAY NOT BE SHOWN ON THIS SKETCH 4) FENCE OWNERSHIP IS NOT DETERMINED BY UNDERSIGNED, FENCE TIES ARE TAKEN TO THE CENTER OF THE FENCE, FENCE LINES MAY MEANDER ALONG PROPERTY LINES, FENCE LINES MAY BE SHOWN EXAGGERATED TO BETTER ILLUSTRATE WHERE THEY ARE LOCATED 5) SUBSURFACE FOUNDATION FEATURES WERE NOT LOCATED FOR THIS SURVEY 6) SUBSURFACE UTILITY FEATURES WERE NOT LOCATED FOR THIS SURVEY 7) THIS IS NOT A VALID SURVEY WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER 8) THIS SURVEY HAS BEEN PROVIDED FOR THE EXCLUSIVE USE AS AN AID IN OBTAINING TITLE INSURANCE FOR THE CERTIFIED HEREON, NO OTHER WARRANTIES ARE HEREBY EXTENDED OR GRANTED 9) THIS SURVEY WAS NOT PREPARED FOR CONSTRUCTION PURPOSES

5/8/14

HENRY A. JOHNSTON P.L.S.#6843

JOHNSTON & JOHNSTON LAND SURVEYING SERVICES LB77889
7081 TAFT ST. #100
HOLLYWOOD, FL 33024
PHONE: 954-286-0516
WEB: WWW.LANDSURVEYING.COM

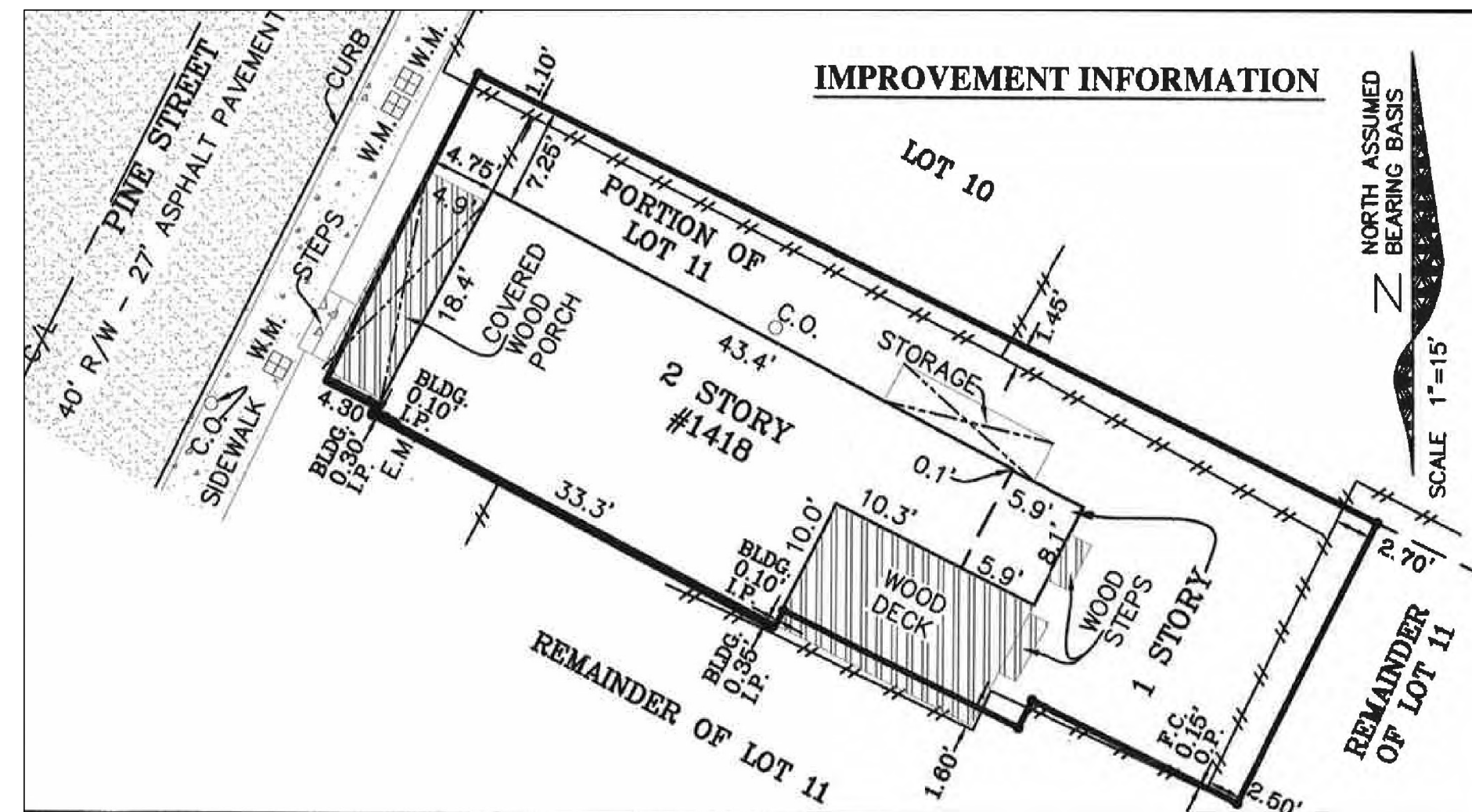
Johnston
&
Land Surveying Services Inc.

JOB #14-04-003

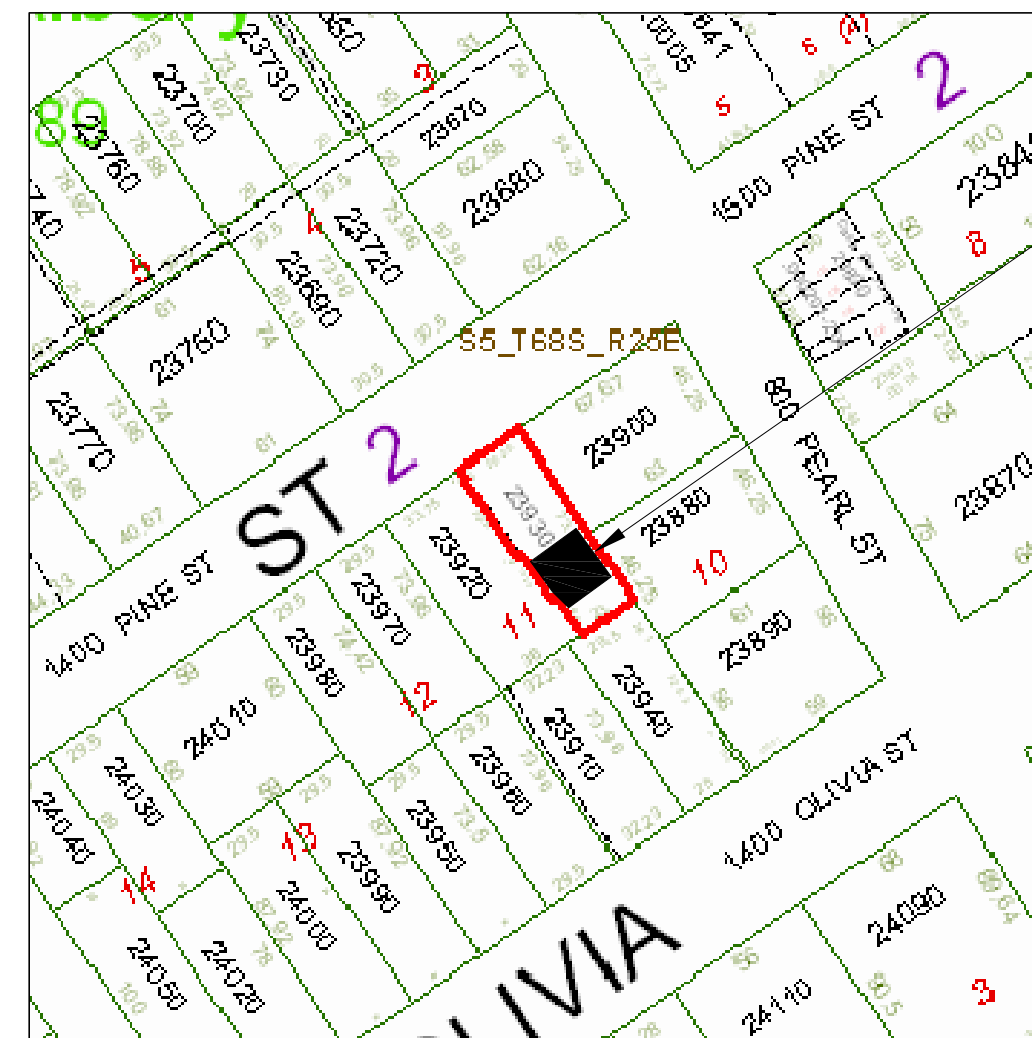
Proposed design

CHAMBERLAIN RESIDENCE RESIDENTIAL REMODEL / UPDATE

1418 PINE STREET KEY WEST, FLORIDA 33040



SURVEY



SITE LOCATION

PROPOSED CONSTRUCTION LOCATION

SHEET INDEX	
NO.	DESCRIPTION
1	C COVER - LOCATION, SURVEY, GENERAL NOTES
2	A-1 EXISTING SITE PLAN, FLOOR PLAN, EXISTING ELEVATIONS
3	A-2 PROPOSED SITE PLAN, FLOOR PLAN, SCHEDULES
4	A-3 DEMO PLAN, NOTES
5	A-4 INTERIOR ELEVATIONS, NOTES, DETAILS
6	S-1 FLOOR FRAMING PLAN, WALL FRAMING PLAN, NOTES
7	M-1 MEP, NOTES, SPECS
8	SP NOTES, SPECS

GENERAL NOTES

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

- BUILDING: Florida Building Code, 2010
- ELECTRICAL: National Electrical Code, 2010
- PLUMBING: Florida Building Code (Plumbing), 2010
- MECHANICAL: Florida Building Code (Mech.), 2010
- GAS: LP Gas Code, 2010 edition (NFPA 58)

This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads 180 mph (gusts) (Exposure C)



EAST ELEVATION

Site Data	Allowed	Existing	Proposed
Zoning	HMDR		
Flood	AE		
Lot Size		1866 SF	
Building Coverage	40% (746 SF)	47% (880 SF)	44% (823 SF)
Imperviousness	60% (1120 SF)	48% (890 SF)	57% (1070 SF)
Setbacks			
Front	10'	0'	0' N.C.
Side	5'	0'	0' N.C.
Side	5'	7.25'	7.25' N.C.
Rear	5'	18.9'	25.6'
Storm Drainage			
Coverage decreases therefore no additional drainage required			

Florida Administrative Code

61G-16.003 WHEN SEAL MAY BE AFFIXED. The personal seal, signature and date of the architect shall appear on all architectural documents to be filed for public record and shall be construed to obligate his partners of his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the index sheet or sheets (if it identifies all parts) of drawings and specifications shall be considered adequate. Without such index, all sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in rule 61G-23.04C. An architect or interior designer shall not use his seal or do an other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.

CHAMBERLAIN RESIDENCE
RESIDENTIAL REMODEL / UPDATE
1418 PINE STREET KEY WEST, FLORIDA 33040

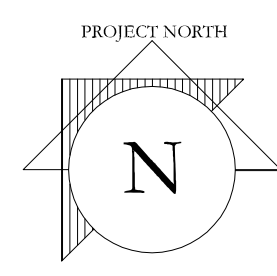
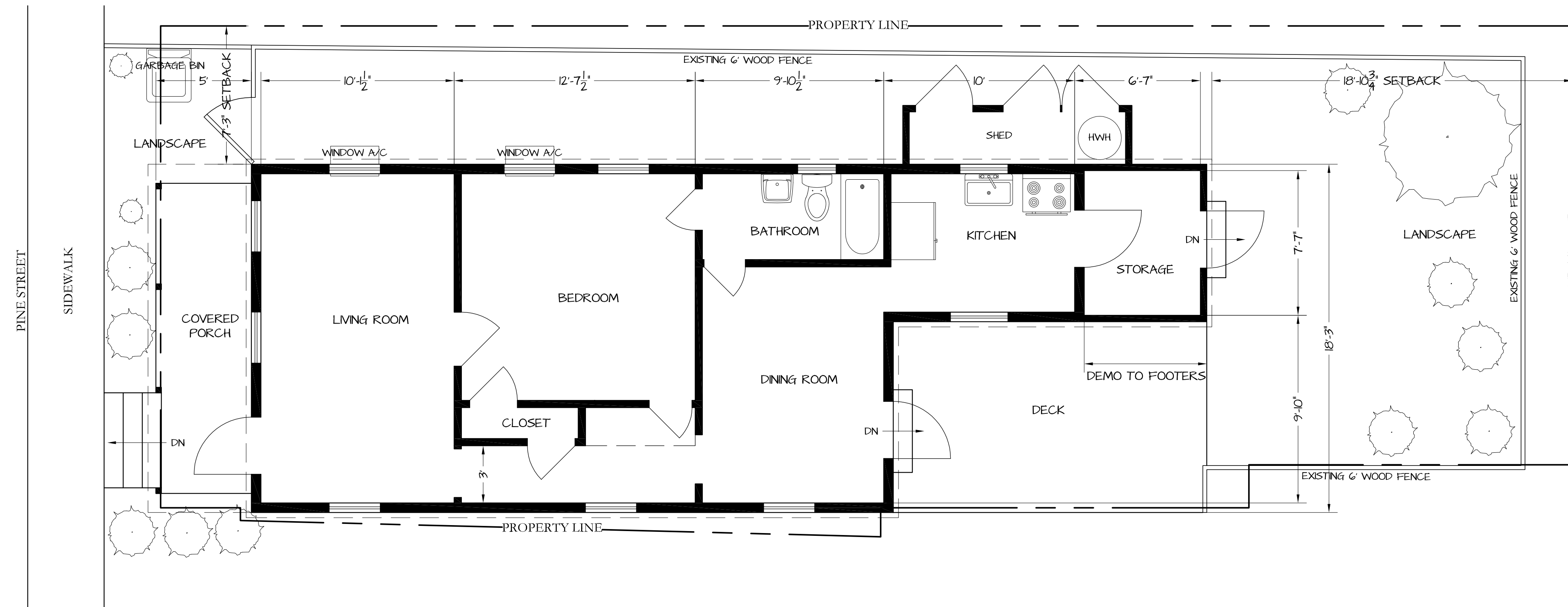
WILLIAM ROWAN
ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE AR-001751
321 PEACOCK LANE
305.296.3784

PROJECT NO :

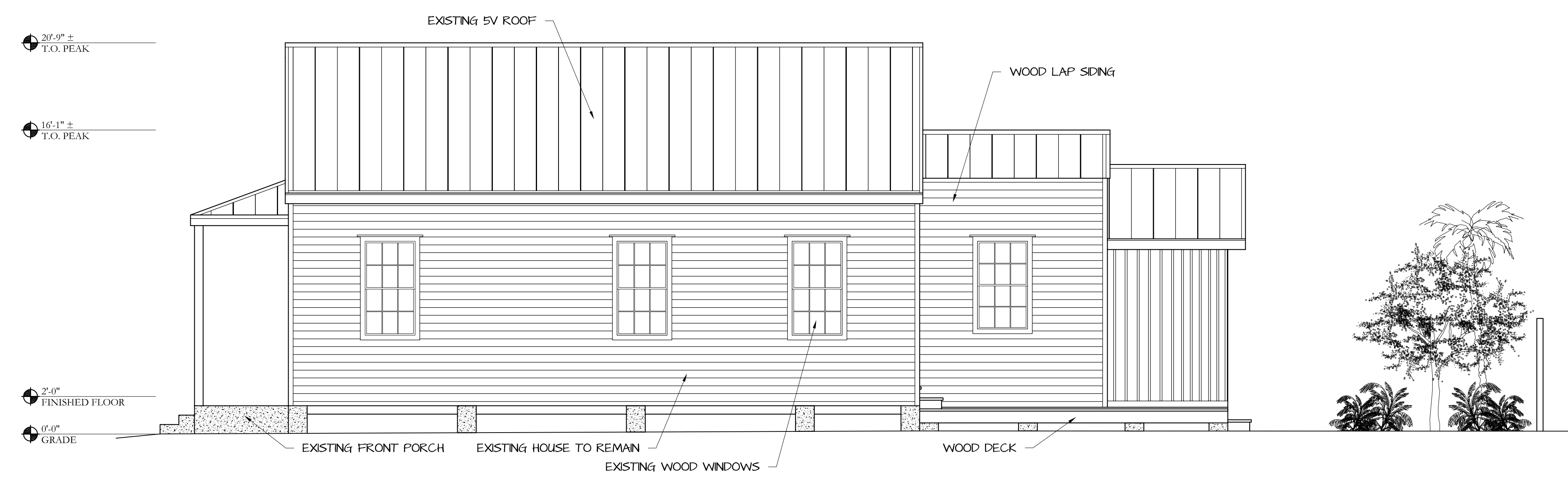
8/30/2014

DATE :

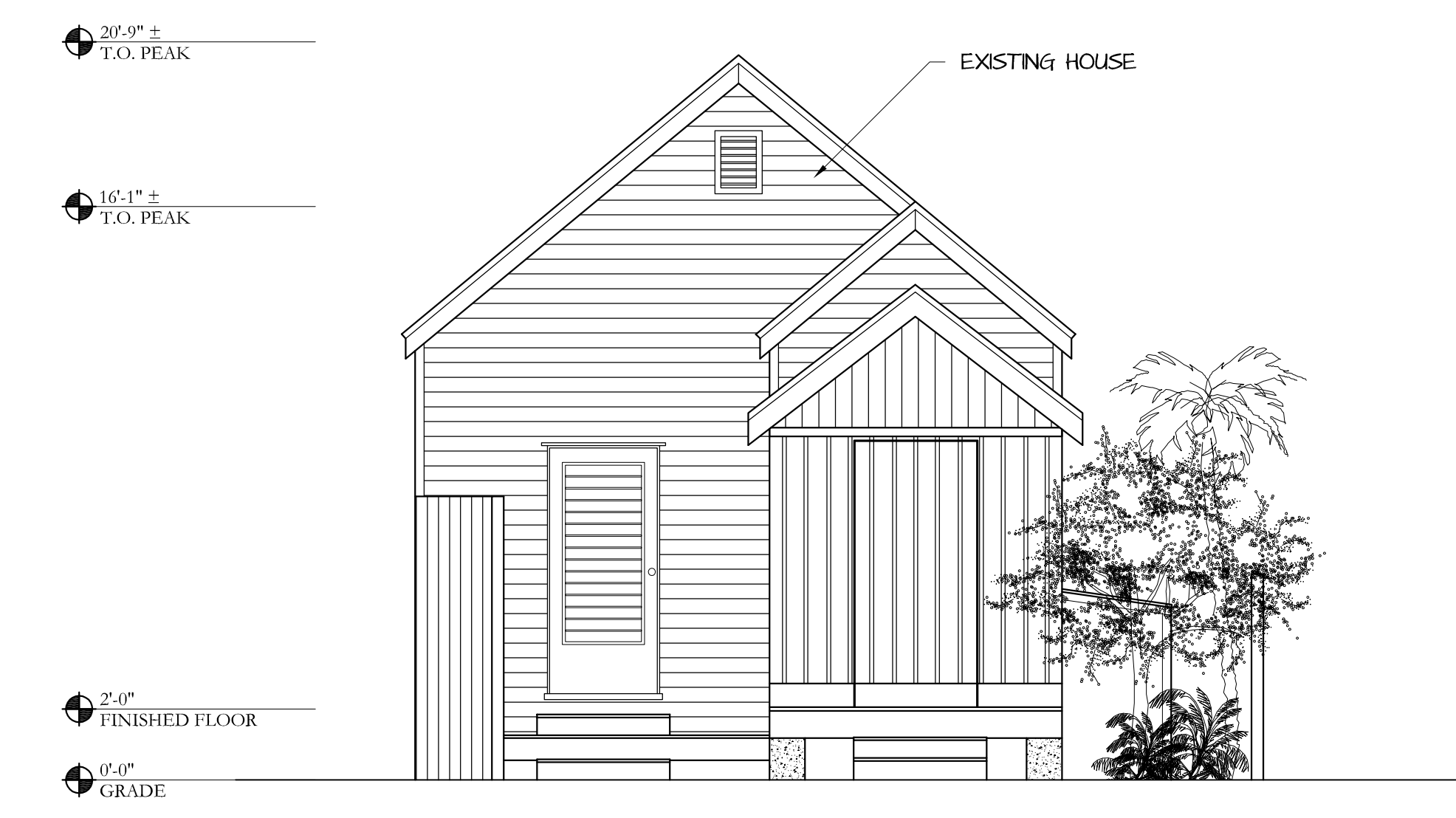
C
1 OF 8



FLOOR / SITE PLAN (EXISTING)
1/4" = 1'-0"



SOUTH ELEVATION (EXISTING)
1/4" = 1'-0"



EAST ELEVATION (EXISTING)
1/4" = 1'-0"

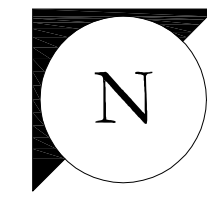
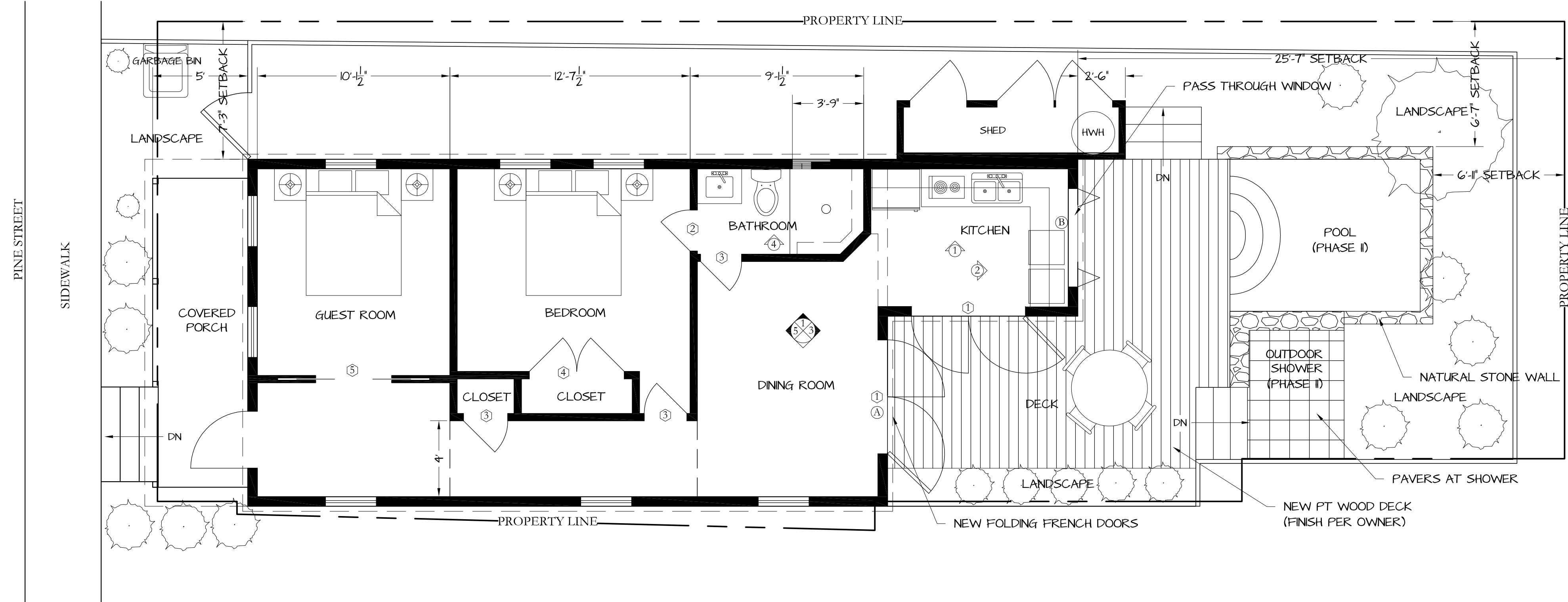
CHAMBERLAIN RESIDENCE
RESIDENTIAL REMODEL / UPDATE
1418 PINE STREET KEY WEST, FLORIDA 33040

WILLIAM ROWAN ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE AR-0017751
321 PEACOCK LANE
305 296 3784

PROJECT NO :
8/30/2014
DATE :

CONSTRUCTION PLAN GENERAL NOTES

1. Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
2. All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be aligned and sanded smooth.
3. All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked "Clear" or "cl" shall be maintained and shall allow for thicknesses of all wall finishes, UNO.
4. Dimensions noted "clear" or "cl" must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
5. Dimensions marked +/- mean a tolerance not greater nor smaller than 2 inches from indicated dimension, UNO. Verify field dimensions exceeding tolerance with architect or owner.
6. All dimensions to the exterior window wall are to the inside face of sill, UNO.
7. Notify architect or owner of any discrepancies or conflicts in the locations of the new construction.
8. All exposed gypsum board edges to have metal edge trim work or equivalent.
9. All work shall be directed and installed, plumb, level, square, and true and in proper alignment.
10. Refer to cover sheet for additional notes, legends, symbols, abbreviations, and schedules.
11. Refer to electrical power plans for locations of switched, outlets and the like.
12. Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
13. All existing and new floor penetrations for piping shall be fully blocked and sealed in accordance with the applicable building fire codes.
14. Trim the bottoms of the doors to clear the top of finished floor, as applicable, by 1/2" maximum, UNO. Verify slab conditions, trim each door to fit condition. Where radical variations in floor elevation exist, doors shall be ordered with bottom stile sized to accommodate these undercut conditions.
15. Dimensions locating doors are to the inside of edge of jamb UNO.
16. All "wet walls" to receive concrete board or green board.

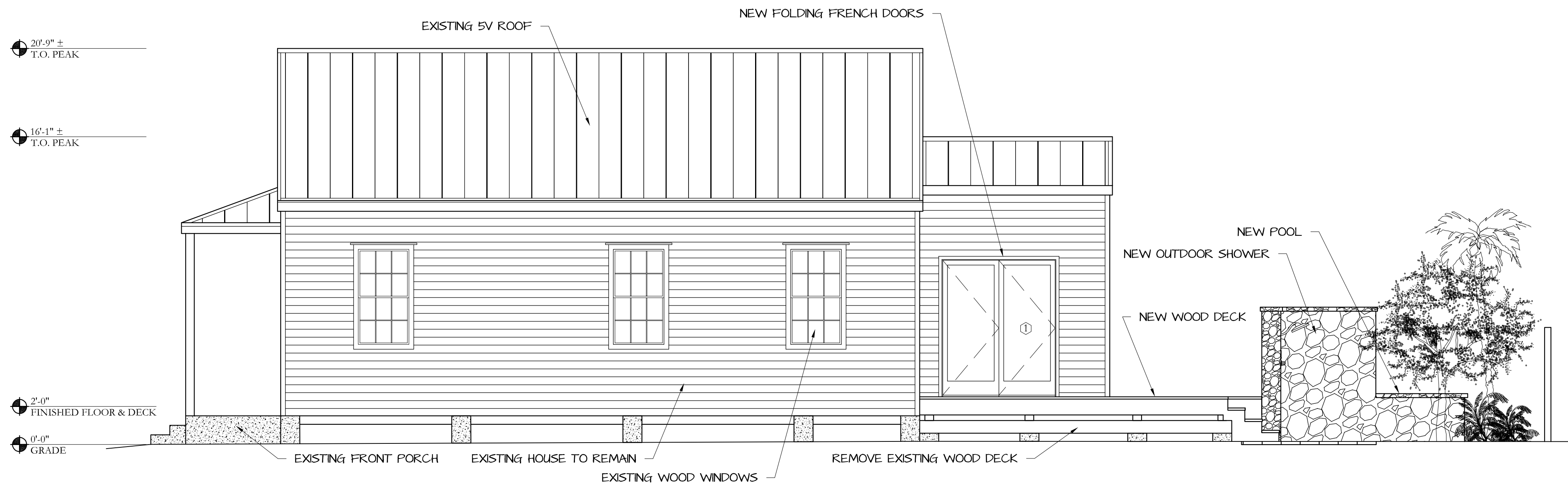


FLOOR / SITE PLAN (PROPOSED)

1/4" = 1'-0"

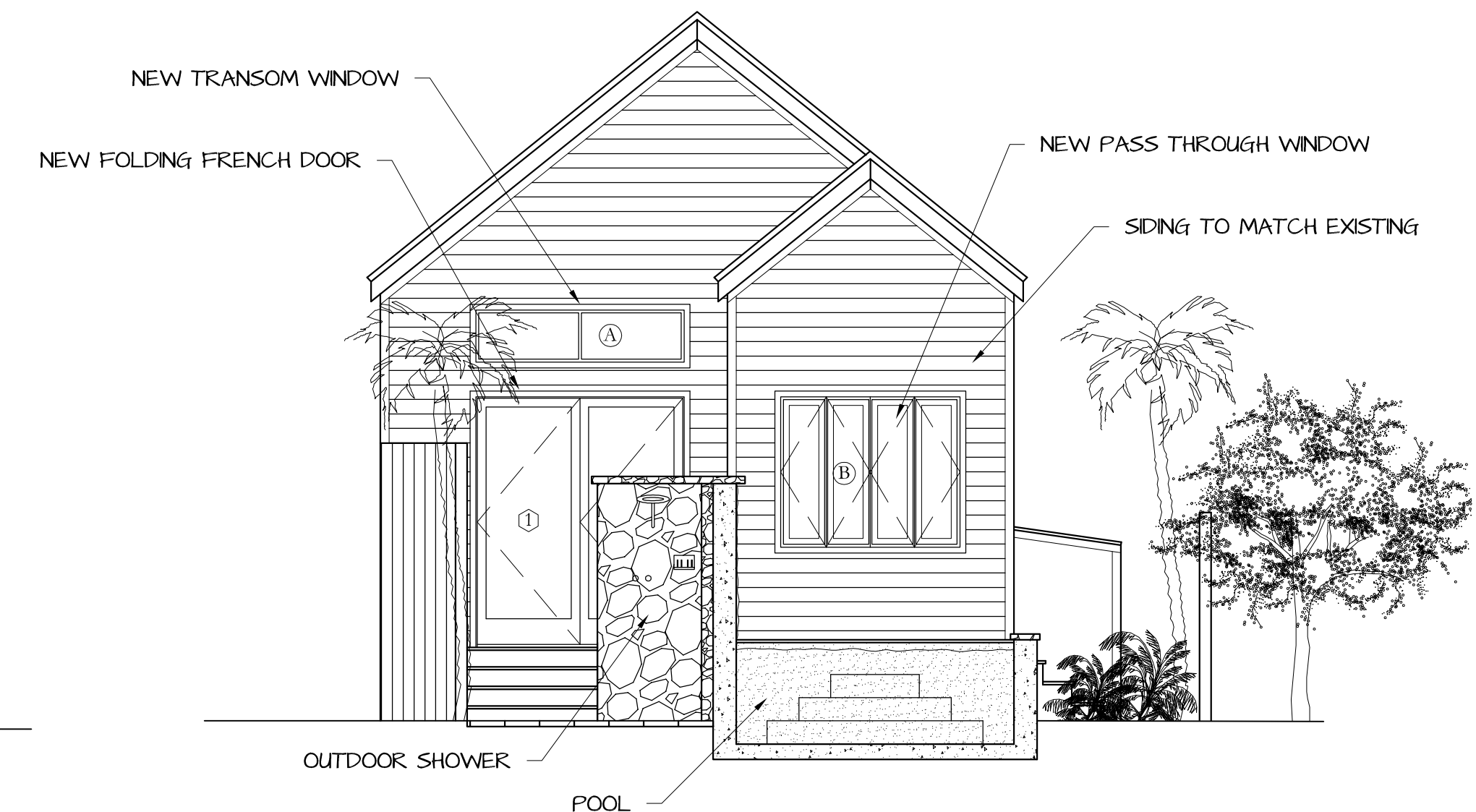
DOOR / WINDOW SCHEDULE

MK.	QTY.	DESCRIPTION	SIZE	FINISH	NOTES	ZONE	7-10 PRESSURES REQ.
A	1	TRANSOM WINDOW	18" H X 72" W	TBD	WOOD FIXED	5	10 SQ. FT. +45.48 / -60.90
B	1	PASS THROUGH WINDOW	50" H X 62" W	TBD	WOOD BI FOLD	5	215 SQ. FT. +43.22 / -56.37
1	2	DOUBLE FOLD WOOD FRENCH DOORS	84" H X 72" W	TBD	TYPE I V	5	42 SQ. FT. +41.24 / -52.42
2	1	INTERIOR G. PANEL	80" H X 26" W	TBD	TYPE I (SEE S-1)		
3	3	INTERIOR G. PANEL	80" H X 28" W	TBD	TYPE I (SEE S-1)		
4	1	INTERIOR OUT SWING CLOSET	80" H X 60" W	TBD	TYPE II (SEE S-1)		
5	1	INTERIOR DOUBLE POCKET DOORS	80" H X 48" W	TBD	TYPE III (SEE S-1)		



SOUTH ELEVATION (PROPOSED)

1/4" = 1'-0"

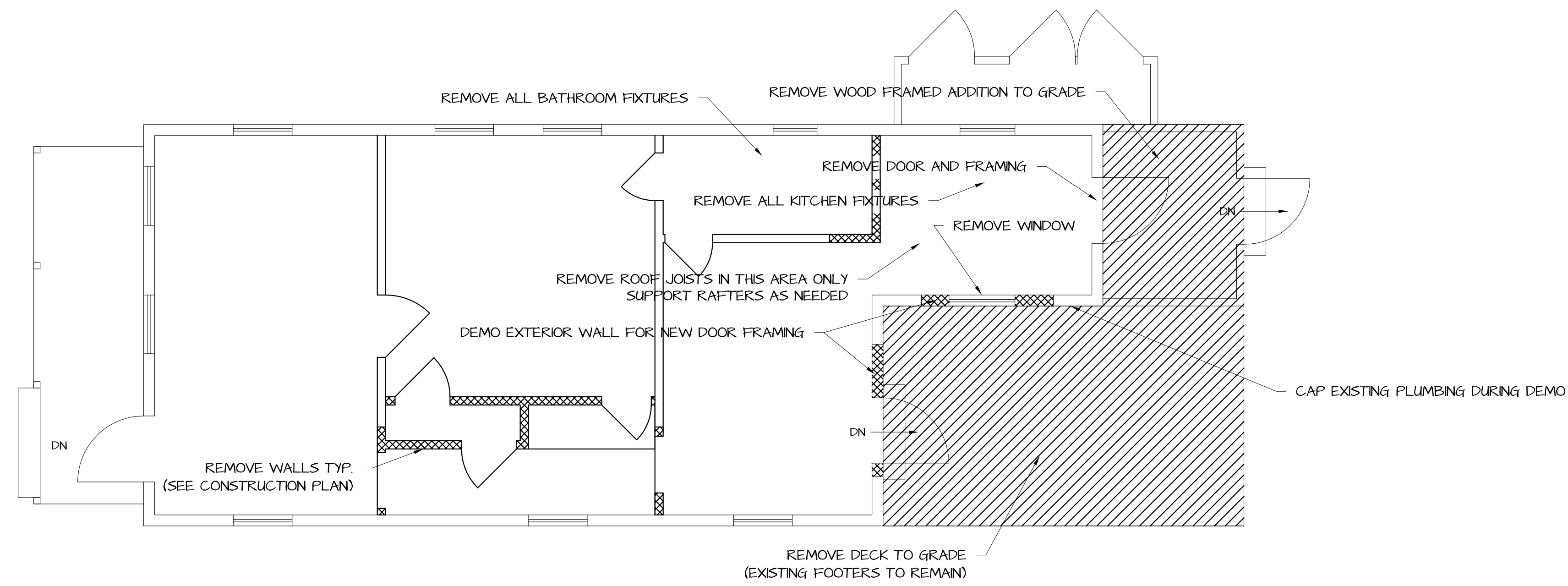


EAST ELEVATION (PROPOSED)

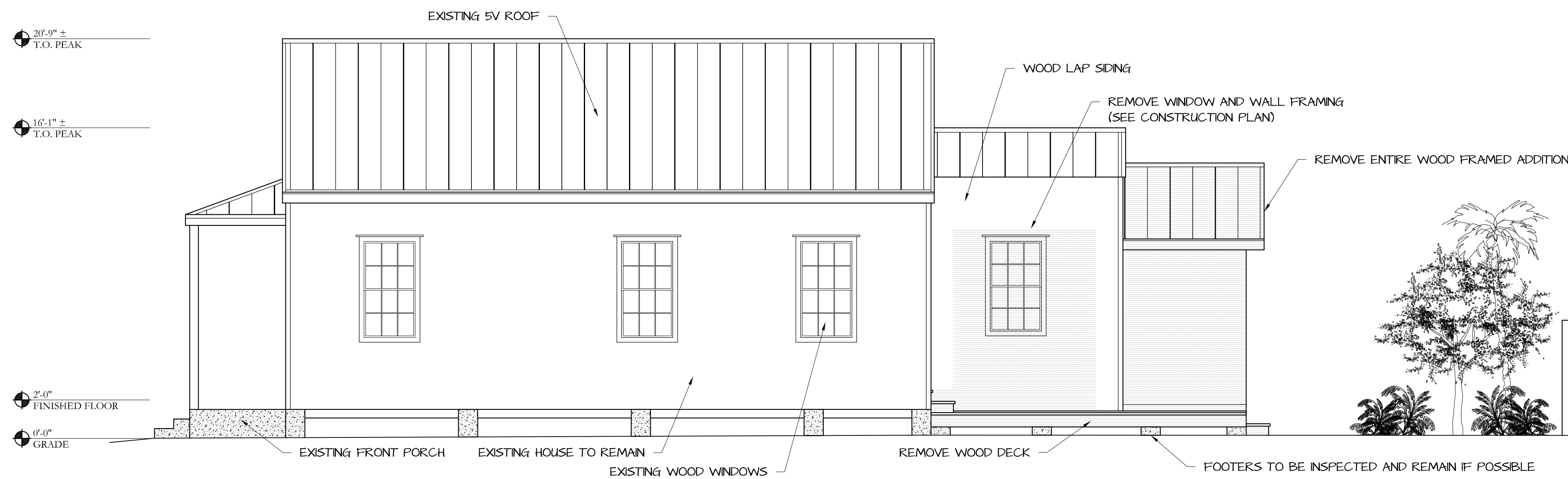
1/4" = 1'-0"

EXTERIOR DEMOLITION NOTES

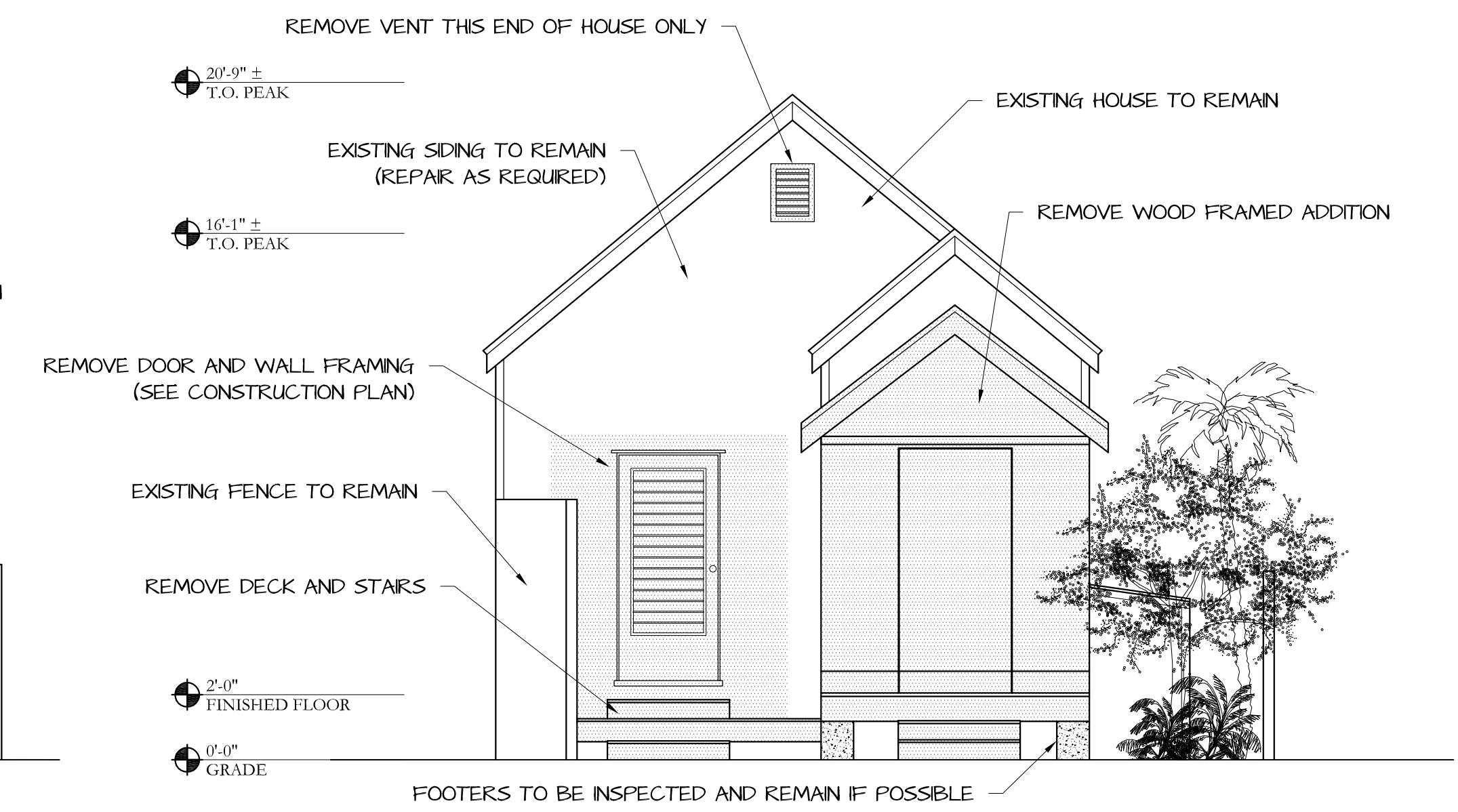
1. If Demolition commences prior to permit, GC shall obtain demo permits.
2. Furnish all labor and materials as required to complete demolition and removal of all items as indicated.
3. Provide strict control of job cleaning and prevent dust and debris from emanating from demolition area. Keep area clean.
4. If any questions arise as to the removal of any material, clarify the point in question with the architect or owner before proceeding.
5. At completion of demolition work the construction areas shall be left in 'broom clean' condition. All debris and misc. material shall be moved to waste area provided by the contractor.
6. Debris removal must be performed in accordance with owner and building management requirements and procedures.
7. Carefully remove all existing light fixtures and lenses (where demolition is noted) and store for future use. Before indicated reinstallation, inspect each fixture and repair or replace parts as required. All relocated fixtures shall be in full operating order. All tubes and/or ballasts not reused shall be disposed of in a proper manner.
8. Contractor shall be responsible for patching and/or repairing any damage caused by him or his subcontractors to existing construction. Refinish to match existing adjacent finish or as noted herein.
9. Existing plants to remain except where damage occurs due to demolition or noted otherwise. Replace or relocate where required.
10. Removal of any equipment, cabling, switches, and conduit pertaining to data/communications and telephone shall be verified with telephone companies or service owner data/communications representative as required to prevent new construction delays.
11. Demolition is not necessarily limited to what is shown on the drawings. The intent is to indicate the general scope of demolition required to complete the work in accordance with the contract drawings.
12. Contractor to coordinate with owner for reuse of existing millwork.
13. Demolition is limited to the rear and interior of house, no demo is to occur at the street side unless approved by HARC.



DEMO PLAN
1/4" = 1'-0"



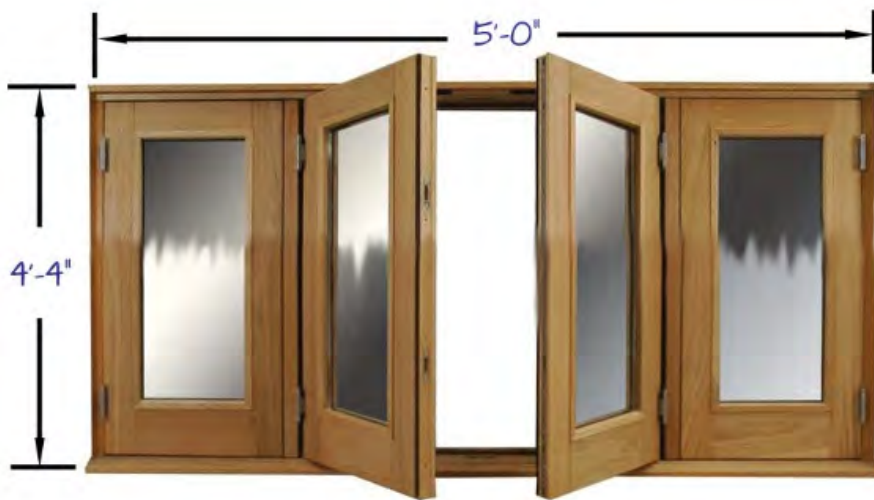
SOUTH ELEVATION (EXISTING)
1/4" = 1'-0"



EAST ELEVATION (EXISTING)
1/4" = 1'-0"



FRENCH DOOR WITH TRANSOM



PASS THROUGH WINDOW

Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a special public hearing at 5:30 p.m., October 28, 2014 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

RENOVATION AND MAINTENANCE OF REAR OF CONTRIBUTING HOUSE AND INSTALLATION OF WOODEN DECK. DEMOLITION OF NON-HISTORIC ADDITION OF CONTRIBUTING HOUSE.

FOR- #1418 PINE STREET

Applicant- Elizabeth Chamberlain/ Brian Olsen Application # H14-01-1609

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Brian Olson, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
1418 Pine Street Key West FL 33040 on the 22 day of Oct, 2014.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on 10/28, 2014.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H14-01-1609

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]
Date: October 22, 2014
Address: 1200 4th #158
City: Key West FL
State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 22 day of Oct, 2014.

By (Print name of Affiant) Brian Olson who is personally known to me or has produced Personally Known as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: [Signature]
Print Name: Megan Rossi

Notary Public - State of Florida (seal)
My Commission Expires: 11/29/16





Public Meeting Notice

1418

**Property Appraiser
Information**



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

The Key West office of the Property Appraiser will be closing
Friday, October 24th at noon.

Website tested on IE8, IE9, &
Firefox.
Requires Adobe Flash 10.3 or
higher

Property Record Card -
Maps are now launching the new map application version.

Alternate Key: 1024732 Parcel ID: 00023930-000000

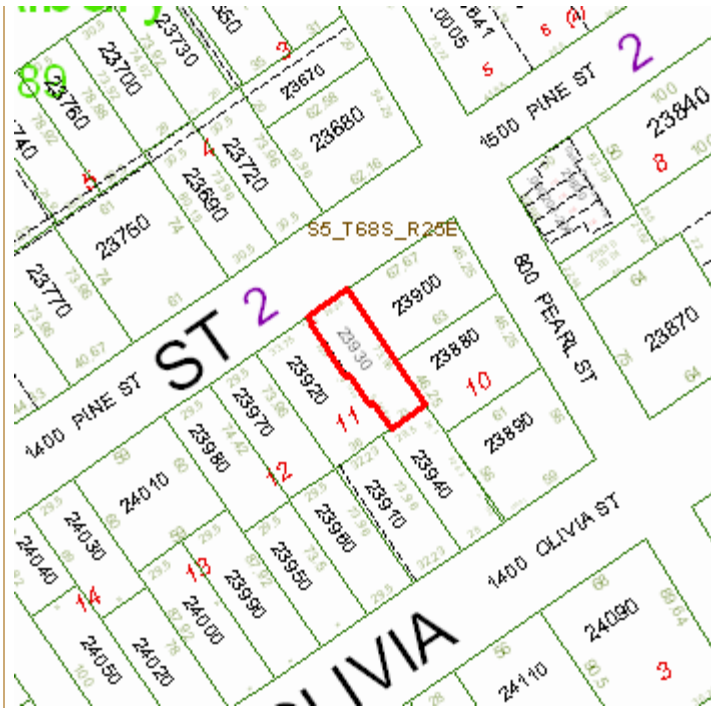
Ownership Details

Mailing Address:
CHAMBERLAIN ELIZABETH
1418 PINE ST
KEY WEST, FL 33040-7245

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 05-68-25
Property Location: 1418 PINE ST KEY WEST
Legal Description: KW BENJ ALBURYS SUBD DIAGRAM I-389 PT LOT 11 SQR 2 TR 7 OR27-153/53 OR304-140/41 OR392-29/30 OR405-365 OR432-433/34 OR814-2137/2140 OR839-1415/16 OR919-389 OR919-390 OR1237-1617/19 OR2687-90/92

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	25	74	1,866.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 630
 Year Built: 1928

Building 1 Details

Building Type R1	Condition G	Quality Grade 450
Effective Age 19	Perimeter 126	Depreciation % 26
Year Built 1928	Special Arch 0	Grnd Floor Area 630
Functional Obs 0	Economic Obs 0	

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP	Roof Cover METAL	Foundation WD CONC PADS
Heat 1 NONE	Heat 2 NONE	Bedrooms 1
Heat Src 1 NONE	Heat Src 2 NONE	

Extra Features:

2 Fix Bath 0	Vacuum 0
3 Fix Bath 0	Garbage Disposal 0
4 Fix Bath 0	Compactor 0
5 Fix Bath 0	Security 0
6 Fix Bath 0	Intercom 0
7 Fix Bath 0	Fireplaces 0
Extra Fix 0	Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1928	N N	0.00	0.00	630
2	OPX		1	1928		0.00	0.00	96
3	OPF		1	1928				80

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	FN2:FENCES	32 SF	0	0	1987	1988	2	30
2	UB3:LC UTIL BLDG	24 SF	0	0	1987	1988	1	30

Appraiser Notes

2004 NOV 05: RESPONDING TO OWNER'S COMPLAINT OVER INCREASING TAXES, INSPECTION REVEALED THAT EVERYTHING IS IN LINE WITH THE NEIGHBORHOOD SALES - 10 SALES IN 2003 - BKC

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	73,682	88	180,752	254,522	254,522	0	254,522
2013	64,957	88	219,029	284,074	265,526	0	284,074
2012	65,926	88	175,374	241,388	241,388	0	241,388
2011	65,926	88	161,979	227,993	227,993	0	227,993
2010	66,896	88	204,215	271,199	271,199	0	271,199
2009	74,577	88	310,407	385,072	385,072	0	385,072
2008	63,584	88	289,230	352,902	352,902	0	352,902
2007	66,206	88	317,220	383,514	383,514	0	383,514
2006	215,375	88	186,600	380,525	380,525	0	380,525
2005	219,598	94	130,620	350,312	350,312	0	350,312
2004	135,762	104	130,620	266,486	266,486	0	266,486
2003	135,762	110	57,846	193,718	193,718	0	193,718
2002	115,672	116	49,025	164,813	164,813	0	164,813
2001	97,974	126	49,025	147,125	147,125	0	147,125
2000	97,974	156	35,150	133,280	133,280	0	133,280
1999	87,968	174	34,595	122,737	122,737	0	122,737
1998	77,618	163	34,595	112,377	112,377	0	112,377
1997	74,384	163	31,450	105,998	105,998	0	105,998
1996	45,817	127	31,450	77,394	77,394	0	77,394
1995	33,150	96	31,450	64,696	64,696	0	64,696
1994	29,646	90	31,450	61,186	61,186	0	61,186
1993	29,237	0	31,450	60,687	60,687	0	60,687
1992	29,237	0	31,450	60,687	60,687	0	60,687
1991	29,237	0	31,450	60,687	60,687	0	60,687
1990	38,929	0	24,513	63,442	63,442	0	63,442
1989	35,390	0	24,050	59,440	59,440	0	59,440
1988	30,293	0	21,275	51,568	51,568	25,000	26,568
1987	29,924	0	12,673	42,597	42,597	25,000	17,597

1986	30,091	0	12,210	42,301	42,301	25,000	17,301
1985	29,206	0	7,530	36,736	36,736	25,000	11,736
1984	25,089	0	7,530	32,619	32,619	0	32,619
1983	25,089	0	7,530	32,619	32,619	0	32,619
1982	25,555	0	7,530	33,085	33,085	0	33,085

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/29/2014	2687 / 90	405,000	<u>WD</u>	<u>02</u>
8/1/1984	919 / 390	63,000	<u>WD</u>	<u>Q</u>
9/1/1981	839 / 1415	48,500	<u>WD</u>	<u>Q</u>

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Monroe County Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176