

**PLANNING BOARD
RESOLUTION NO. 2014-70**

A RESOLUTION OF THE KEY WEST PLANNING BOARD GRANTING MAJOR DEVELOPMENT PLAN AND LANDSCAPE MODIFICATION / WAIVER APPROVALS PURSUANT TO SECTIONS 108-91.A.2.(A) AND 108-517 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA FOR THE RECONSTRUCTION OF A 22-ROOM HOTEL AND ONE NON-TRANSIENT DWELLING UNIT AND FOR THE REDUCTION AND/OR WAIVER OF REQUIRED LANDSCAPING ON PROPERTY LOCATED AT 1212, 1220 & 1222 SIMONTON STREET (RE # 00028730-000000, 00028750-000000; AK # 1029513, 1029530) WITHIN THE HISTORIC NEIGHBORHOOD COMMERCIAL – TRUMAN / SIMONTON (HNC-1) ZONING DISTRICT; PROVIDING FOR AN EFFECTIVE DATE


WHEREAS, Section 108-91 of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that within the Historic District, a Major Development Plan is required for the reconstruction of five or more residential units; and


WHEREAS, modifications and waivers to reduce the City’s landscaping requirements are requested or required pursuant to City Code Section 108-517; and

WHEREAS, Code Sections 108-196(a) and 122-62(a) require the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan in an advisory capacity to the City Commission; and

WHEREAS, Code Section 108-517(a) requires the Planning Board to consider the landscape modification / waiver request and render the final action; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on

 Vice-Chairman

 Planning Director

October 16, 2014; and

WHEREAS, the granting of a Major Development Plan and Landscape Modification / Waiver application is consistent with the criteria of the Code of Ordinances; and

WHEREAS, the Planning Board finds that the granting of a Major Development Plan and Landscape Modification / Waiver application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.


NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:


Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. The Major Development Plan and Landscape Modification / Waiver for the reconstruction of a 22-room motel and one non-transient dwelling unit on property located at 1212, 1220 & 1222 Simonton Street (RE # 00028730-000000, 00028750-000000; AK # 1029513, 1029530) in the Historic Neighborhood Commercial – Truman / Simonton (HNC-1) Zoning District pursuant to Sections 108-91.A.2.(a) and 108-517 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached plans, is hereby approved with the following conditions:

General conditions:

1. The proposed development shall be consistent with the plans dated September 18, 2014 by Peter M. Pike, Architect, the civil plans dated May 30, 2014 by Allen E. Perez,

 Vice-Chairman

 Planning Director

P.E., and the landscape plans dated August 20, 2014 by Tyler Nielsen, Landscape Architect; notwithstanding the revisions requested and recommended by staff.

2. Although subject to a separate City approval, the City shall not bear any of the costs of the proposed sidewalk and any landscaping improvements within City right-of-way.

3. During all phases of demolition and construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.

Conditions prior to the City Commission hearing:

4. The applicant shall address all of staff's and the DRC's concerns as outlined in the October 16, 2014 staff letter and the June 26, 2014 DRC minutes.

5. The applicant shall submit an irrigation plan pursuant to City Code Section 108-243(d).

6. The applicant shall submit an outdoor lighting plan pursuant to City Code Section 108-284.

7. The architectural, civil and landscaping plans shall be revised and corrected in order to eliminate any and all inconsistencies between the plans to the satisfaction of the City Planner.

Conditions prior to issuance of a building permit:

8. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee.

Conditions prior to issuance of a Certificate of Occupancy:

9. On-site artwork shall be installed and inspected by the City pursuant to Code Section 2-487.

10. The property owner shall obtain and maintain a Conditional Approval Permit, pursuant to City Code Chapter 18, Article XII, Division 1. The City Code Compliance shall inspect the property on an annual basis upon reasonable notice to determine compliance with the above conditions.

Conditions subject to a Conditional Approval Permit, and subject to an associated annual inspection:

11. The rooftop pool and bar shall be for use of registered hotel guests only and shall not be open to the general public.

12. No sound from amplified or live music may cross any adjacent residential property line.

13. Any sale of alcohol shall be charged to a hotel room. No cash service.

14. No advertising of a public-access bar shall be allowed.

15. All outdoor lighting shall meet Dark Sky standards and guidelines.

16. A minimum of nine (9) off-street bicycle parking spaces shall be installed and maintained.



Section 3. Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This Major Development Plan and Landscape Modification / Waiver

application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

  Vice-Chairman
  Planning Director

Read and passed on first reading at a regularly scheduled meeting held this 16th day of October, 2014.

Authenticated by the Vice-Chairman of the Planning Board and the Planning Director.



Sam Holland, Jr., Planning Board Vice-Chairman 10-24-14
Date

Attest:





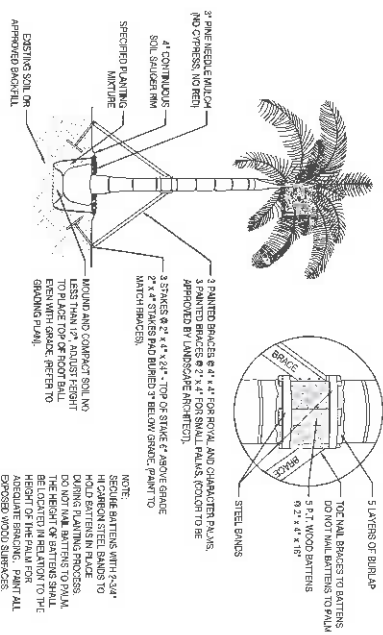
Donald Leland Craig, AICP, Planning Director 10 23 14
Date

Filed with the Clerk:

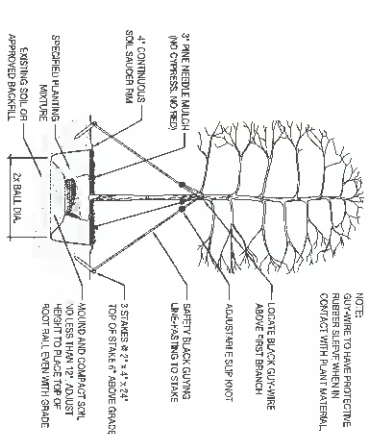


Cheryl Smith, City Clerk 10-23-14
Date

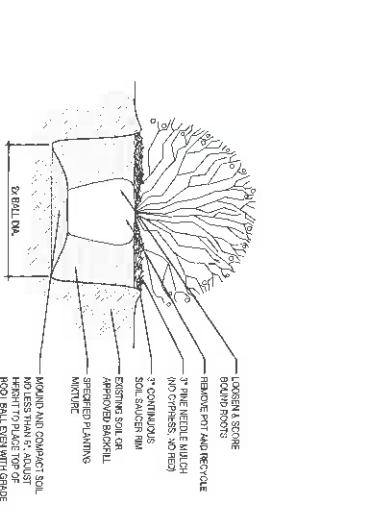
 Vice-Chairman
 Planning Director



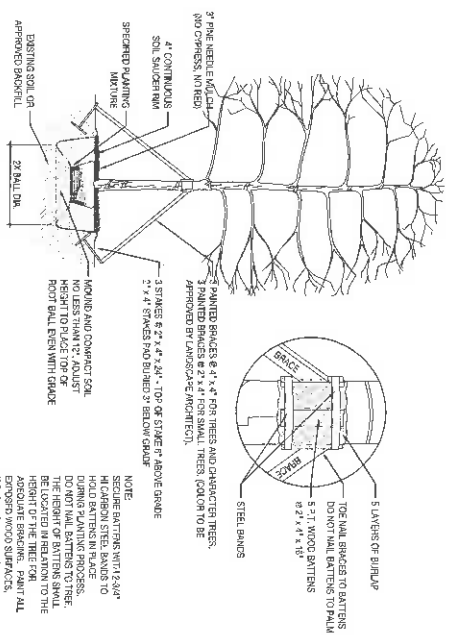
1 PALM PLANTING AND STAKING DETAIL
 SCALE: 3/32" = 1'-0"



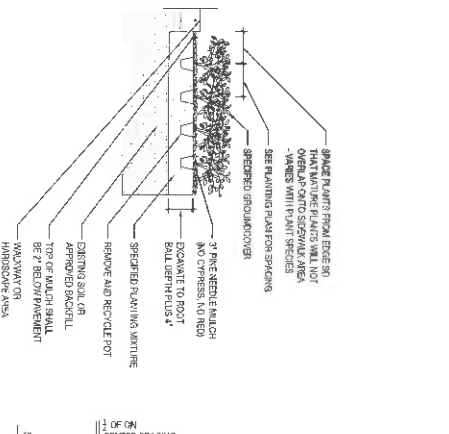
2 UNDERSTORY TREE PLANTING AND STAKING DETAIL
 SCALE: 3/32" = 1'-0"



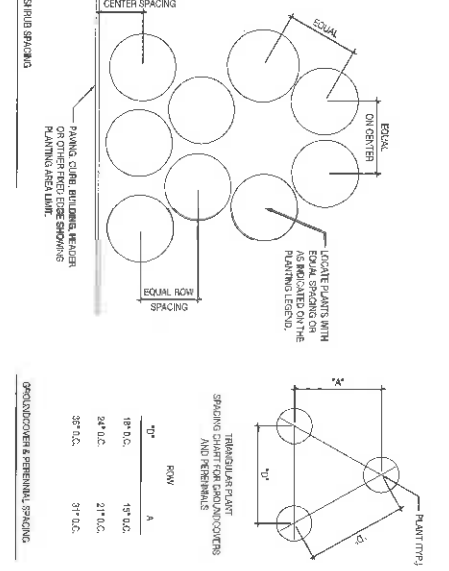
3 SHRUB PLANTING DETAIL
 SCALE: 3/32" = 1'-0"



4 TREE PLANTING AND STAKING DETAIL
 SCALE: 3/32" = 1'-0"



5 GROUND COVER PLANTING DETAIL
 SCALE: 3/32" = 1'-0"



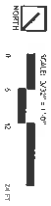
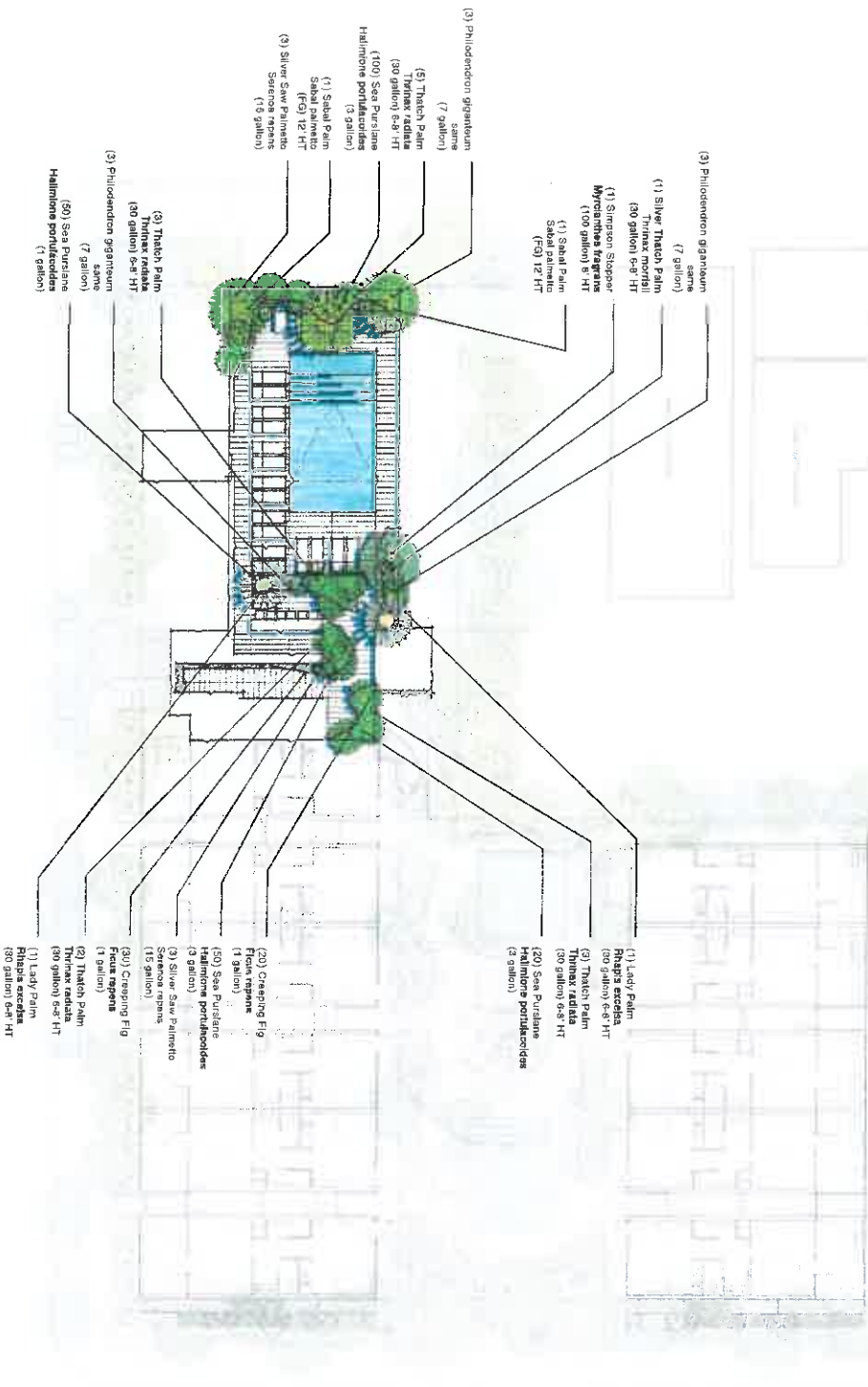
6 PLANT & SHRUB SPACING DETAIL
 SCALE: 3/32" = 1'-0"

20
 10214
 10-24-11

SPINDRIFT
 1212 S 1022 SIMONTON STREET | DEY WEST, FLORIDA 33061

LEGEND

#X XXXXXX EXISTING PLANTS - To Remain or Replace
 XXXXX
 XXXXX
 (X) XXXXXX NEW - Proposed Planting
 XXXXX
 XXXXX



9C
102114

102114

L&ND
LENN & NIKESH DESAI
LANDSCAPE ARCHITECTS
1000 N. W. 10th St.
Suite 100
Fort Lauderdale, FL 33304
LENN@L&ND.COM

SPINDRIFT
1212 & 1222 BROADWAY STREET | KEY WEST, FLORIDA 33540

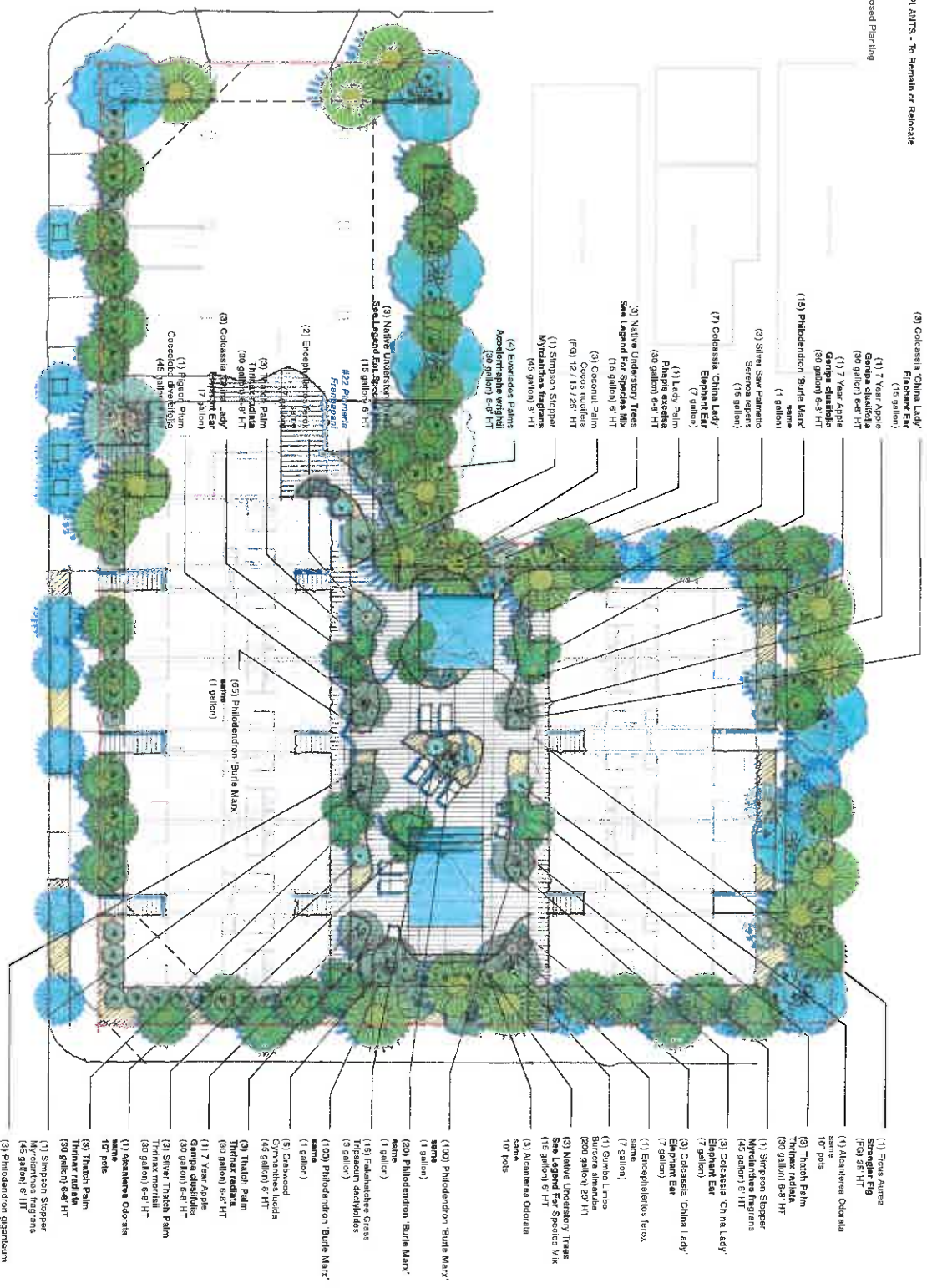
SEEK AT YOUR OWN RISK. L&ND IS NOT FOR CONSTRUCTION.

DATE: 08/11/2014
DRAWN BY: TRECEN BERRY

L702

LEGEND
 #X.XXXXXXX
 XXXXX
 (X) XXXXXX
 XXXXX

EXISTING PLANTS - To Remain or Relocate
 NEW - Proposed Planting



L&ND
 LANDSCAPE & NURSERY DESIGN
 2201 W. UNIVERSITY BLVD
 SUITE 200
 TAMPA, FL 33606
 TEL: 813.288.1111
 WWW.LANDSCAPEANDNURSERY.COM

Handwritten: 10/24/18
 10/21/18
SPINDRIFT
 132 E. 122nd STREET | NEW WEST, FLORIDA 33613

SEE ALL PLANTS WITH L&ND
 NOT FOR CONSTRUCTION

DATE: 10/24/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]

L701b

LEGEND

- XXXXXX EXISTING PLANTS - To Remain or Relocate
- XXXXX NEW - Proposed Planting
- XXXXX
- XXXXX
- XXXXX



L&ND
 LANDSCAPE DESIGN
 8110 W. WINDYWAY
 SUITE 200
 TAMPA, FL 33617
 (813) 973-2333
 WWW.LANDSCAPEDESIGN.COM

SPINDRIFT
 1212 S. SIMONSON STREET | KEY WEST, FLORIDA 33550

SEE ALL PLANTINGS ON PLANS
 NOT FOR CONSTRUCTION

GRID LETTER PLANTING PLAN
 DATE: 10/24/2011
 DRAWN BY: JEFFREY B. BROWN

L701

- (1) Gumbo Limbo
- (2) Coconut Palm
- (3) Sabal Palm
- (4) Bay Palm
- (5) Christmas Palm
- (6) Native Understory Trees
- (7) Wild Coffee (ALL IN VIEW TRIANGLE)
- (8) Wild Coffee (ALL IN VIEW TRIANGLE)
- (9) Coconut Palm
- (10) Coconut Palm
- (11) Coconut Palm
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PLANTING NOTES

1. ALL PLANT MATERIAL IS TO BE DELIVERED TO THE PROJECT SITE FROM DISSEMINATED SOURCES TO BE IDENTIFIED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHOULD BE DELIVERED TO THE PROJECT SITE WITH PROPER DOCUMENTATION. THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL. STOCKPILED AND/OR PLANTED ON SITE DURING THE COURSE OF CONSTRUCTION. PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REJECTED BY THE OWNER.
2. THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL. STOCKPILED AND/OR PLANTED ON SITE DURING THE COURSE OF CONSTRUCTION. PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REJECTED BY THE OWNER.
3. PROVIDE MATCHING SIZES AND FORMS FOR EACH PLANT OF THE SAME SPECIES UNLESS OTHERWISE INDICATED.
4. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF DISCREPANCIES, SPECIFICALLY SHOW QUANTITIES SHALL TAKE PRECEDENCE.
5. ALL MATERIALS LISTED SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE ASSOCIATION OF NURSERYMEN.
6. ALL PLANT MATERIAL SHALL BE INSTALLED BY PLUMBER AND PER THE SPECIFICATIONS CONTAINED WITHIN THE CONTRACT DOCUMENTS. ANY NECESSARY STAKING AND/OR OTHER SUPPORTS MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL PRUNE EXISTING AND/OR NEW TREES ONLY PER LANDSCAPE ARCHITECT DIRECTION.
8. THE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL TREES AND PALM SPRINGS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
9. ALL ROOT-BARRIERS MATERIALS THAT ARE NOT ROOT-BARRIERS SHALL BE REMOVED FROM THE ROOT BALL. ROOT BALLS SHALL BE FREE OF TREES.
10. SPECIFIED PLANT MATERIAL SIZES SHALL BE CONSIDERED MINIMUM SIZES.
11. FINISH GRADE OF PLANTING BEDS SHALL BE ONE (1) INCH BELOW ADJACENT FLATWORK, UNLESS SPECIFIED OTHERWISE.
12. MULTIPLE PLANTING BEDS PRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULTIPLE PLANTING BEDS PRESSING SHALL NOT BE PLACED WITHIN 60 INCHES OF TREE TRUNKS. MULCHING SHOULD BE REPEATED ANNUALLY DURING THE AUTUMN TO A DEPTH OF 10 INCH DEPTH.
13. ALL PLANT MATERIAL SHOULD RECEIVE AN ORGANIC FERTILIZER IN LIMITED APPLICATION FOLLOWING INSTALLATION. TYPE AND APPLICATION RATE AND METHOD OF APPLICATION TO BE SPECIFIED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
14. EXCESS FERTILIZER SHALL BE DISPOSED OF PROPERLY OFF-SITE. IT SHALL NOT BE DISPOSED OF IN STORM DRAINS AND/OR DRYWELLS.
15. STOCKPILED PLANT MATERIAL TO BE PLACED IN THE SHADE AND PROPERLY HAND-WATERED UNTIL PLANTED.
16. UNMULCHED TREE DECORATIVE BARK MULCH WILL BE USED TO RETURN NUTRIENTS TO THE SOIL, REDUCE MAINTENANCE AND MINIMIZE EVAPORATION FOR AREAS APPROXIMATE TO THE RESIDENCE. LARGER SHEDDED BARK MULCH WILL BE USED FOR STREET AREAS SO SLOUGHING IS LESS LIKELY TO OCCUR.
17. PRESERVE & PROTECT ALL EXISTING VEGETATION INDICATED TO REMAIN AT ALL TIMES.
18. ALL VEGETATION PROPOSED FOR OUTSIDE THE BUILDING ENVELOPE TO BE NATIVE SPECIES. ALL VEGETATION PROPOSED FOR INSIDE THE BUILDING ENVELOPE TO BE NATIVE SPECIES. ALL VEGETATION PROPOSED FOR RESTORATION PURPOSES ONLY OR IS SPECIFIC TO UTILITIES RESTORATION.

SIX (6) INCH DIA (1/4" DIA) SHALL BE PROVIDED FOR ALL LAMIN, TURF AND NATIVE PLANTING ZONES. 18 INCH DIA SHALL BE PROVIDED FOR ALL PERMANENT PLANTING BEDS UNLESS OTHERWISE NOTED.

PLANTING SCHEDULE

PLANT QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
5	ELAEAGNUS TANNIIFOLIA	DIABLO UNBURN	300 GAL., 12" - 18" HT. CA.
11	ELAEAGNUS TANNIIFOLIA	TRICHOPHYLLA	150 GAL., 12" - 18" HT. CA.
9	MORNINGGLORY PASCALIS	SPRING STONER	35 FT. DIA. SPREAD. CHARACTER 10 GAL., 8" HT. CA.
3	ACELERORHAPHIS VINCIGRILLI	EMERALD JADE PALM	30 GAL., 8" - 10" CA.
5	COCCOS NIUTREBA	COCONUT PALM	10 GAL. CHARACTER. CURVE TRUNKS
5	COCCOS NIUTREBA	COCONUT PALM	12 GAL. CHARACTER. CURVE TRUNKS
5	COCCOS NIUTREBA	COCONUT PALM	14 GAL. CHARACTER. CURVE TRUNKS
6	SABAL PALMETTO	HISPANIOLA PALM	14 GAL. MINIMUM SPREAD
6	SABAL PALMETTO	CARRIBE PALM	14 GAL. CHARACTER. CURVE TRUNKS (2 W/ROOTS)
6	SABAL PALMETTO	CARRIBE PALM	16 GAL. CHARACTER. CURVE TRUNKS (2 W/ROOTS)
6	SABAL PALMETTO	CARRIBE PALM	18 GAL. CHARACTER. CURVE TRUNKS (2 W/ROOTS)
6	SABAL PALMETTO	CARRIBE PALM	24 GAL. CHARACTER. CURVE TRUNKS (2 W/ROOTS)
6	SABAL PALMETTO	CARRIBE PALM	28 GAL. CHARACTER. CURVE TRUNKS
6	SABAL PALMETTO	LADY PALM	30 GAL. 8" - 8" HT.
28	THURBERGIA RADICATA	THATCH PALM	15 GAL., 4" - 6" CA.
15	THURBERGIA RADICATA	SILVER THATCH PALM	15 GAL., 4" - 6" CA.
11	ALCANTHERA CANTHARIA	LEAFLESS CASSIA	140 GAL., 12" HT. CA.
11	ALCANTHERA CANTHARIA	SPRINKLER STOPPER	300 GAL., 8" HT. CA.
11	ELAEAGNUS TANNIIFOLIA	HEAD STOPPER	45 GAL., 10" CA.
11	ELAEAGNUS TANNIIFOLIA	WHITE STOPPER	25 GAL., 8" - 10" CA.
3	GENIPAPA CLUSIPICOLA	SEVEN YEAR APPLE	30 GAL., 8" HT. CA.
31	GYNERANTHUS FLACIDUS	ORCHARDWOOD	45 GAL., 8" HT. CA.
11	GYNERANTHUS FLACIDUS	EMERSON STOPPER	45 GAL., 8" HT. CA.
18	PSYCHOTRINIA LINDSTRERLOIA	DWARF WILD COFFEE	7 GAL., 24" X 24"
1	ALCANTHERA CANTHARIA	SILVER BROWNE LAND	117 POTS
22	COCCOS NIUTREBA	EMERSON PALM	15 GAL.
4	EMERSONIA NERIFOLIA	SLAVE	7 GAL.
15	SERENGA NERIFOLIA	SILVER SAW PALMETTO	15 GAL.
21	PHILODENDRON BIKANTHEMUM	SLAVE	15 GAL.
929	EMERSONIA NERIFOLIA	GOLDEN GREPPER	1 GAL.
276	PHILODENDRON BIKANTHEMUM	SLAVE	1 GAL.
276	PHILODENDRON BIKANTHEMUM	SLAVE	3 GAL.
646	WIKSTRONGIA DACTYLOIDES	WAXY TREE	12" X 12" X 12" MIN.
30	WIKSTRONGIA DACTYLOIDES	FERN-LIKE TREE GRASS	3 GAL., 38" X 38"
59	FICUS BENEFICA	CHERRING FIG	3 GAL.
200	PHALANOPSIS	WHITE ONCHID	3 GAL.

PLANTING REQUIREMENTS PER CITY OF KEY WEST

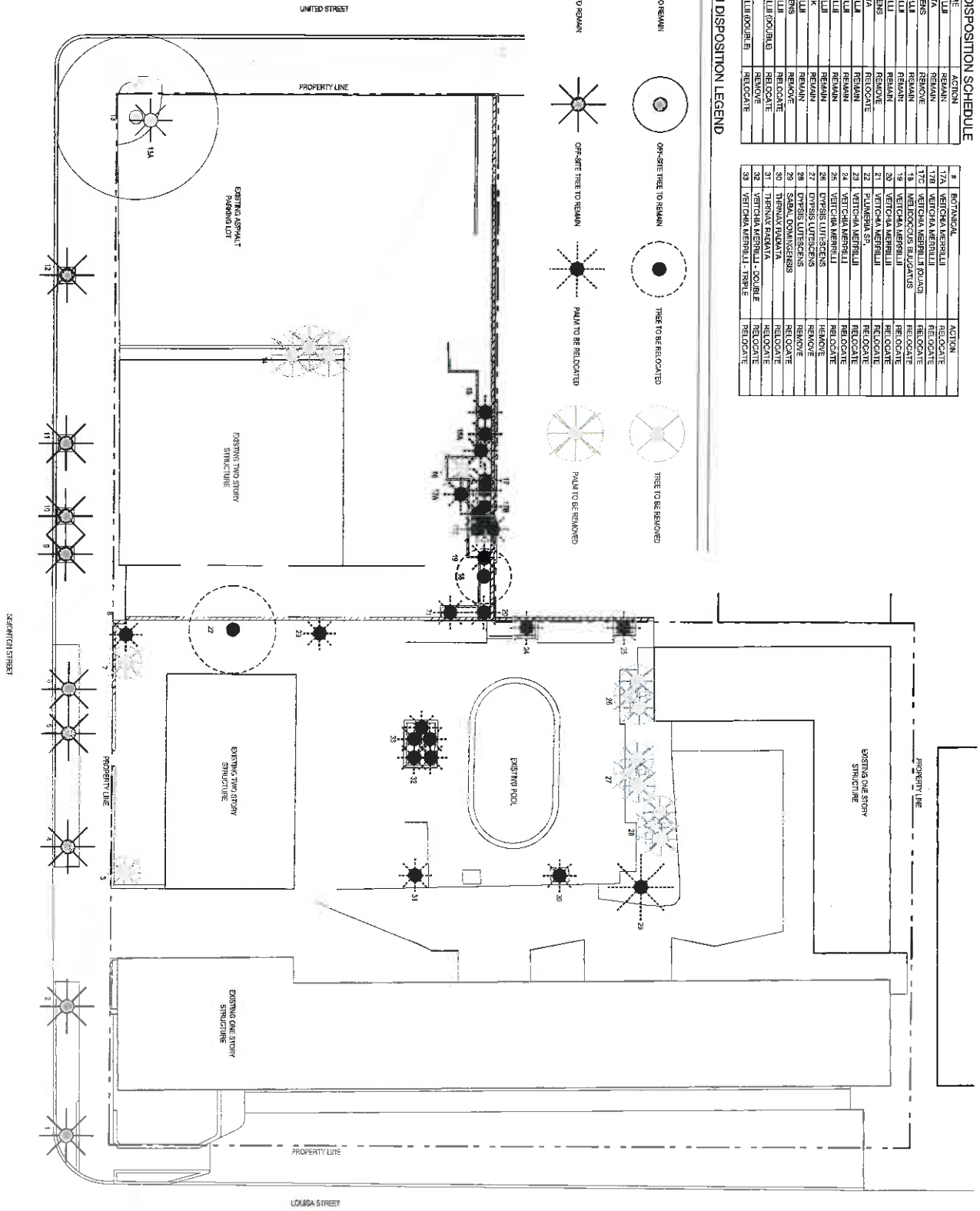
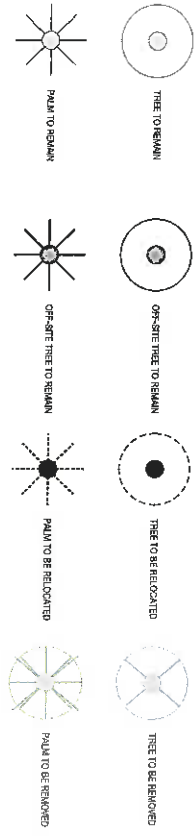
- 33,872 SQUARE FEET (2.1 ACRES) PROPERTY SIZE
- PERCENT LANDSCAPE REQUIRED (20%)
- PERCENT LANDSCAPE PROVIDED
- 4,771 SQUARE FEET (1.4 ACRES)
- 4,930 SQUARE FEET (1.4 ACRES)
- 409 LINEAR FEET
- 300 PLANT UNITS PROVIDED
- 300 PLANT UNITS
- NON-BENEFICIAL OPEN SPACE
- 11,600 SQUARE FEET (2.6 ACRES)
- 13 TREES
- 13 TREES
- 2,627 PLANTS
- 2,627 PLANTS
- 1,838 PLANTS
- 2,094 PLANTS
- 78 PERCENT

TREE & PALM DISPOSITION SCHEDULE

#	BOTANICAL NAME	ACTION
1	VERTICHA MERRILLI	REMAIN
2	THEPAINA PALMATA	REMAIN
3	DYSPIS LUTEESCENS	REMOVE
4	VERTICHA MERRILLI	REMAIN
5	VERTICHA MERRILLI	REMAIN
6	THEPAINA PALMATA	REMOVE
7	DYSPIS LUTEESCENS	RELOCATE
8	VERTICHA MERRILLI	REMAIN
9	VERTICHA MERRILLI	REMAIN
10	VERTICHA MERRILLI	REMAIN
11	VERTICHA MERRILLI	REMAIN
12	ALAZZIA LEBBECK	REMAIN
13	VERTICHA MERRILLI	REMAIN
14	VERTICHA MERRILLI	REMAIN
15	VERTICHA MERRILLI	RELOCATE
16	VERTICHA MERRILLI	RELOCATE
17	VERTICHA MERRILLI	RELOCATE

#	BOTANICAL NAME	ACTION
17A	VERTICHA MERRILLI	RELOCATE
17B	VERTICHA MERRILLI	RELOCATE
17C	VERTICHA MERRILLI	RELOCATE
18	MELIODOCUS BULGATUS	RELOCATE
19	VERTICHA MERRILLI	RELOCATE
20	VERTICHA MERRILLI	RELOCATE
21	PALMERA SP.	RELOCATE
22	VERTICHA MERRILLI	RELOCATE
23	VERTICHA MERRILLI	RELOCATE
24	VERTICHA MERRILLI	RELOCATE
25	VERTICHA MERRILLI	RELOCATE
26	DYSPIS LUTEESCENS	REMOVE
27	DYSPIS LUTEESCENS	REMOVE
28	SYRBA DOWNSIENSIS	RELOCATE
29	THEPAINA PALMATA	RELOCATE
30	THEPAINA PALMATA	RELOCATE
31	VERTICHA MERRILLI	RELOCATE
32	VERTICHA MERRILLI	RELOCATE
33	VERTICHA MERRILLI	RELOCATE

TREES & PALM DISPOSITION LEGEND



10214
10-24-14

L&ND
LENN & NICKI'S DESIGN
3115 NORTH MIAMI AVENUE
SUITE 200
MIAMI, FL 33136
305.556.1100
LENN@L&NDESIGN.COM

SPINDRIFT
1212 S. 1222 SIMONTON STREET | KEY WEST, FLORIDA 33020

SEE PERMITTED EXCAVATION
NOT FOR CONSTRUCTION

TREE DISPOSITION PLAN
DATE: 10/24/14
DRAWN BY: [Name]
CHECKED BY: [Name]

L101

TREES & PLANTING TO BE PRESERVED NOTES

- EXISTING TREES TO BE PRESERVED SHALL BEAT BOUND BY LANDSCAPE TO FINISHED GRADE AS THEY RELATE TO PRE-CONSTRUCTION GRADE.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED WITH STURDY, VENTILATED FENCING AT A MINIMUM FOUR (4) FEET HEIGHT. INSTALLED NO CLOSER THAN ONE (1) FOOT FROM THE TRUNK OF THE TREE. THE FENCING SHALL BE MAINTAINED IN WORKING ORDER DURING THE PHASES OF CONSTRUCTION. THE FENCING SHALL BE PROTECTED FROM DAMAGE BY VEHICLES AND TRUCKS.
- NO WORK SHALL BE CONDUCTED WITHIN THE PROTECTIVE ZONES DETERMINED AND APPROVED BY THE CITY OF SAN ANTONIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES FROM DAMAGE, FLOODING, OR EXCESSIVE WETTING.
- THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DETERMINED BY STURDY, VENTILATED FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.

TREES & PLANTING TO BE RELOCATED NOTES

- THE CONTRACTOR IS TO ROOT PALMS AND PALMS 30 DAYS MINIMUM IN ADVANCE OF MOVING PLANT MATERIAL. THE CONTRACTOR IS TO ROOT PALMS ALL TREES 90 DAYS MINIMUM IN ADVANCE OF MOVING PLANT MATERIAL.
- LANDSCAPE CONTRACTOR TO COORDINATE ALL PREPARATION AND MOVING LOGISTICS WITH GENERAL CONTRACTOR.
- TREES AND PALMS TO BE RELOCATED ARE TO BE STORED IN TEMPORARY HOLDING PEN UNTIL CONSTRUCTION PHASING / PROGRESS ALLOWS FOR INSTALLATION. THE PORTER GENERAL CONTRACTOR TO PROVIDE OFF-SITE TEMPORARY HOLDING PEN. PORTER GENERAL CONTRACTOR TO COORDINATE WITH DL PORTER ACCESS TO TEMPORARY HOLDING PEN.
- DL PORTER TO PROVIDE KAREN DEMARA CITY OF KEY WEST - URBAN FORESTER CITY COMPLIANCE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR HEALTH OF TREES AND PALMS WHILE TEMPORARILY STORED IN TEMPORARY HOLDING PEN. THE CONTRACTOR SHALL PROVIDE TEMPORARY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE HEALTH OF TREES AND PALMS. IF TEMPORARY AUTOMATIC IRRIGATION SYSTEM IS NOT PROVIDED, TREES AND PALMS TO BE WATERED BY HAND THREE TIMES A WEEK MINIMUM.
- THE CONTRACTOR IS TO WARRANTY ALL RELOCATED PLANT MATERIAL.
- UPON INSTALLATION THE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND FERTILIZATION OF ALL RELOCATED PLANT MATERIAL UNTIL PROJECT COMPLETION.
- ALL RELOCATED PLANT MATERIAL IS TO BE APPROPRIATELY BRANDED.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

TREES & PLANTING TO BE REMOVED NOTES

- THE CONTRACTOR IS TO COMPLETELY REMOVE ALL PLANTING MATERIAL DESIGNATED FOR REMOVAL (I.E. ROOT BALL, DEBRIS, SAW DUST, ETC).
- THE CONTRACTOR IS TO BACKFILL ALL EXCAVATED ROOT BALLS FLUSH TO THE ADJACENT ELEVATION LEVEL.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

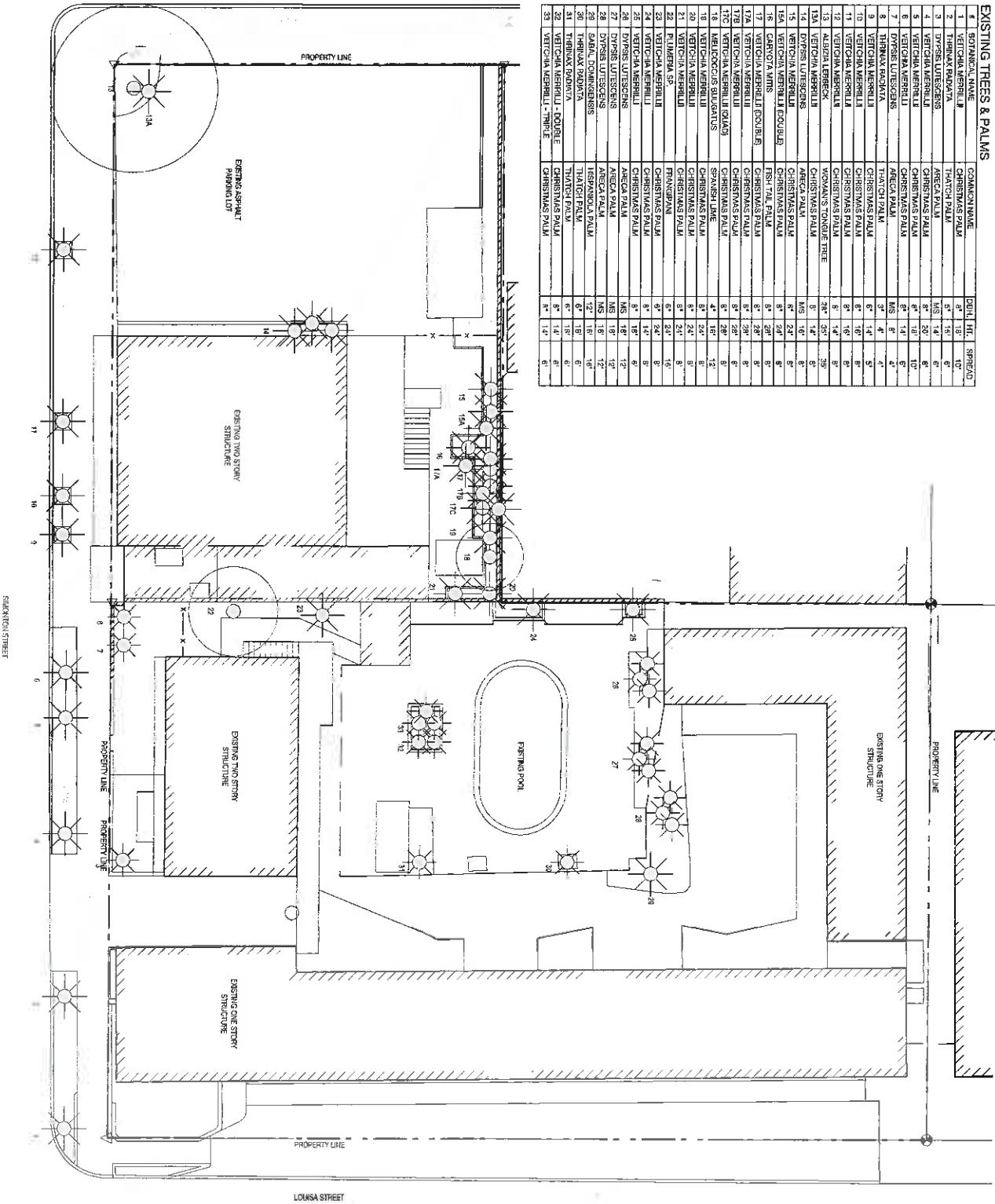
TREE DISPOSITION SCHEDULE

#	TAXONOMY NAME	COMMON NAME	DBH1	HT	SPREAD	ACTION	NOTES
1	SPERMATOPHYTES	CHRISTMAS PALM	6"	18'	10'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
2	VERBENA	THATCH PALM	6"	15'	6'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
3	VERBENA	THATCH PALM	6"	15'	6'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
4	VERBENA	CHRISTMAS PALM	6"	20'	6'	REMOVE	PLANT MATERIAL IS UNSERVABLE.
5	VERBENA	CHRISTMAS PALM	6"	18'	10'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
6	VERBENA	CHRISTMAS PALM	6"	18'	10'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
7	DIPSACALES	ARECA PALM	6"	14'	8'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
8	DIPSACALES	ARECA PALM	6"	14'	8'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
9	VERBENA	THATCH PALM	6"	14'	6'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
10	VERBENA	CHRISTMAS PALM	6"	14'	6'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.
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100	VERBENA	CHRISTMAS PALM	6"	14'	6'	PRESERVE	CONTRACTOR TO PROTECT AND CARE FOR PLANT MATERIAL.

10-21-14
 102114

EXISTING TREES & PALMS

#	BOTANICAL NAME	COMMON NAME	DBH	HT.	SPREAD
1	VERTICIA MERRILLI	CHRISTMAS PALM	8"	18'	10'
2	TRINIAK PADAWA	THATCH PALM	5"	15'	6'
3	DYPERS LUTESCENS	AMECA PALM	MS	14'	6'
4	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	6'
5	VERTICIA MERRILLI	CHRISTMAS PALM	8"	18'	10'
6	VERTICIA MERRILLI	CHRISTMAS PALM	MS	8'	5'
7	DYPERS LUTESCENS	AMECA PALM	MS	8'	5'
8	TRINIAK PADAWA	THATCH PALM	3"	4'	4'
9	VERTICIA MERRILLI	CHRISTMAS PALM	8"	14'	8'
10	VERTICIA MERRILLI	CHRISTMAS PALM	8"	16'	8'
11	VERTICIA MERRILLI	CHRISTMAS PALM	8"	16'	8'
12	VERTICIA MERRILLI	CHRISTMAS PALM	8"	14'	8'
13	ALSTROERIA LEBRECKII	WOMAN'S TONGUE TREE	28"	55'	55'
14	VERTICIA MERRILLI	CHRISTMAS PALM	8"	14'	8'
15	VERTICIA MERRILLI	CHRISTMAS PALM	MS	16'	8'
16	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
17	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
18	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
19	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
20	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
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22	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
23	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
24	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
25	VERTICIA MERRILLI	CHRISTMAS PALM	8"	20'	8'
26	DYPERS LUTESCENS	AMECA PALM	MS	18'	12'
27	DYPERS LUTESCENS	AMECA PALM	MS	18'	12'
28	DYPERS LUTESCENS	AMECA PALM	MS	18'	12'
29	DYPERS LUTESCENS	AMECA PALM	MS	18'	12'
30	SALAL DOMINGENSIS	ISLAND PALM	12"	18'	12"
31	TRINIAK PADAWA	THATCH PALM	6"	18'	8'
32	VERTICIA MERRILLI - DOUBLE	CHRISTMAS PALM	8"	14'	6'
33	VERTICIA MERRILLI - TRIPLE	CHRISTMAS PALM	8"	14'	6'



Handwritten notes:
 10214
 10-24-14

L&ND
 LEMAS & NIELSEN DESIGN
 1000 W. 12th Street
 Anchorage, Alaska 99501
 907.561.8888
 LEMAS@L&ND.COM

SPINDRIFT
 1212 & 1222 BRIDGEMAN STREET | 425 W. 14th, ANCHORAGE, ALASKA 99501

SEEK, MEASURE, DESIGN, CONSTRUCT
NOT FOR CONSTRUCTION

TREES & PALM SURVEY
 DATE: 08/15/14
 CLIENT: K&NS
 PROJECT: TRINIAK PADAWA

LSVR
 LAND SURVEYORS & VALUERS
 1000 W. 12th Street
 Anchorage, Alaska 99501
 907.561.8888
 LSVR@LSVR.COM

PLANIMETER REVISION SHEET
REV SHEET 4 - REVISION DESCRIPTION

DATE	BY	DESCRIPTION
08.02.2014	TREE COX, M.A.	TREE COX, M.A.
07.21.2014	TREE COX, M.A.	TREE COX, M.A.

DATE	BY	DESCRIPTION
08.02.2014	TREE COX, M.A.	TREE COX, M.A.
07.21.2014	TREE COX, M.A.	TREE COX, M.A.



LOCATION MAP

1025 L.V.P. SUPERIOR CENTER

1025 L.V.P. SUPERIOR CENTER

L&ND
 LEWIS & NELSON DESIGN
 2025 NORTH WINDYBROOK AVENUE
 SUITE 200
 WINDYBROOK, FL 32091
 407.253.7430
 LEND@LONELAND.COM

Handwritten notes:
 10-21-14
 1025 L.V.P.
 1025 L.V.P.

SPINDRIFT
 1212 S 1225 SAMONTON STREET | KEY WEST, FLORIDA 33040

SELLER'S NOTICE - PROPERTY NOT FOR CONSTRUCTION

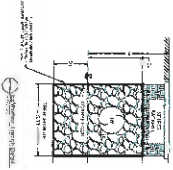
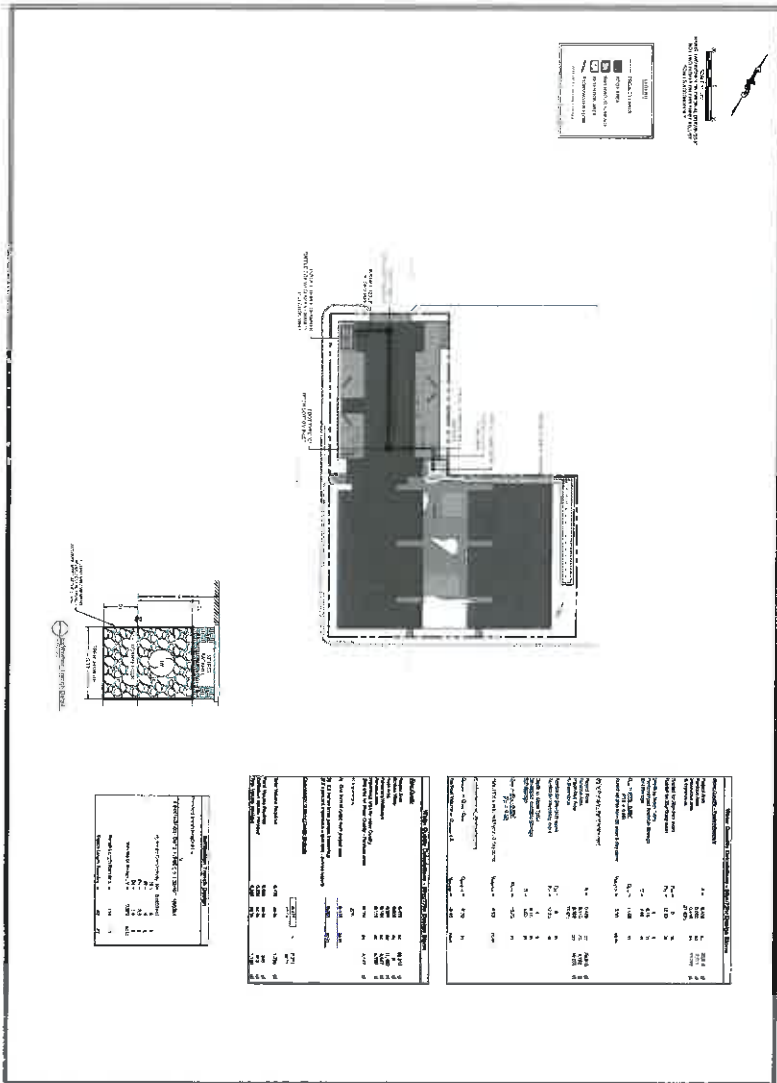
LCVR

CLIENT
 HAVEL HOLDINGS, LLC
 4000 PINE TREE BLVD, SUITE 100
 WINDYBROOK, FL 32091
 407.841.2800

LANDSCAPE ARCHITECT
 LEWIS & NELSON DESIGN
 2025 NORTH WINDYBROOK AVENUE
 SUITE 200
 WINDYBROOK, FL 32091
 407.253.7430

ARCHITECT OF RECORD
 STEPHEN WATSON
 5165 WINDYBROOK AVENUE, SUITE 100
 WINDYBROOK, FL 32091
 407.253.7430

GENERAL CONTRACTOR
 JOHN SPINALEZ
 1025 L.V.P. SUPERIOR CENTER
 WINDYBROOK, FL 32091
 407.253.7430



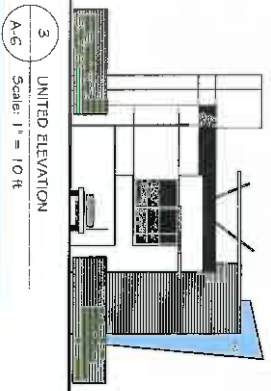
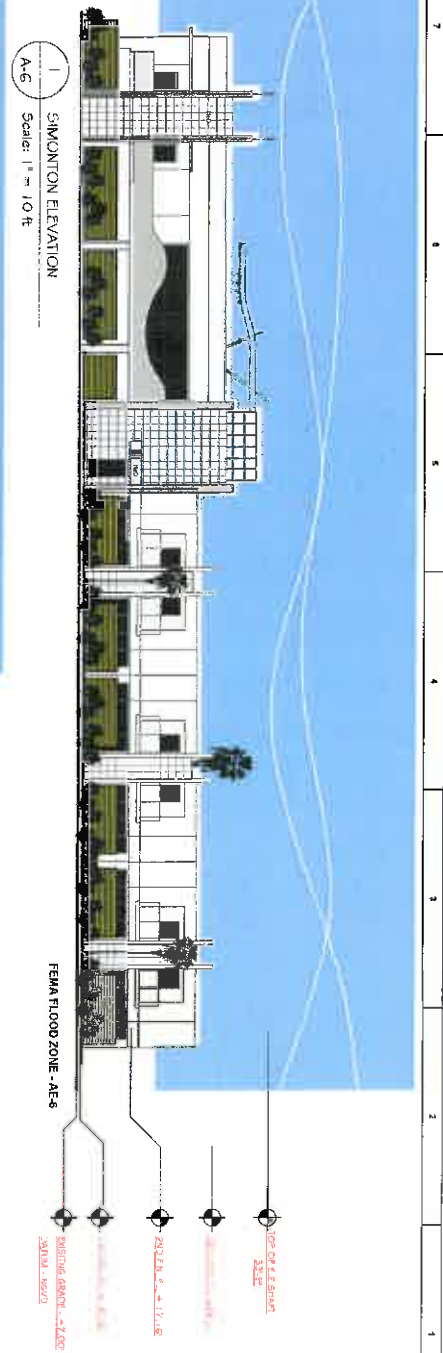
Symbol	Description
(Solid line)	Proposed Drainage Lines
(Dashed line)	Existing Drainage Lines
(Circle with dot)	Proposed Stormwater Storage

Room No.	Room Name	Area (sq. ft.)	Drainage
101	Reception	1,200	Drainage to Sump
102	Office	800	Drainage to Sump
103	Conference Room	1,500	Drainage to Sump
104	Break Room	600	Drainage to Sump
105	Kitchen	400	Drainage to Sump
106	Restroom	200	Drainage to Sump
107	Storage	300	Drainage to Sump
108	Garage	2,000	Drainage to Sump
109	Pool Deck	3,000	Drainage to Sump
110	Pool	4,000	Drainage to Sump
111	Pool House	1,000	Drainage to Sump
112	Pool Deck	2,500	Drainage to Sump
113	Pool	3,500	Drainage to Sump
114	Pool House	1,000	Drainage to Sump
115	Pool Deck	2,000	Drainage to Sump
116	Pool	3,000	Drainage to Sump
117	Pool House	1,000	Drainage to Sump
118	Pool Deck	2,500	Drainage to Sump
119	Pool	3,500	Drainage to Sump
120	Pool House	1,000	Drainage to Sump

Room No.	Room Name	Area (sq. ft.)	Drainage
201	Reception	1,200	Drainage to Sump
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205	Kitchen	400	Drainage to Sump
206	Restroom	200	Drainage to Sump
207	Storage	300	Drainage to Sump
208	Garage	2,000	Drainage to Sump
209	Pool Deck	3,000	Drainage to Sump
210	Pool	4,000	Drainage to Sump
211	Pool House	1,000	Drainage to Sump
212	Pool Deck	2,500	Drainage to Sump
213	Pool	3,500	Drainage to Sump
214	Pool House	1,000	Drainage to Sump
215	Pool Deck	2,000	Drainage to Sump
216	Pool	3,000	Drainage to Sump
217	Pool House	1,000	Drainage to Sump
218	Pool Deck	2,500	Drainage to Sump
219	Pool	3,500	Drainage to Sump
220	Pool House	1,000	Drainage to Sump

SPADRIFT HOTEL, 1216 BRIGHTON STREET, KEY WEST, FL 33048
 SPADRIFT HOTEL, KEY WEST, FL 33048
 CONCEPTUAL DRAINAGE PLAN
 ENGINEERING

AC
 10211A
 10-21-14



Handwritten notes:
 OK
 10/21/19
 CSB 10-24-19

PETER M. PIKE F.L.A. REGISTRATION # AR0015198

DRAWING TITLE:
 ELEVATIONS

PROJECT:
 SPINDRIFT HOTEL
 1212 SIMONTON STREET
 KEY WEST, FL 33040

CONTRACTER:
 GOMMIER ARCHITECTS
 471 US HIGHWAY 1
 SUITE 101
 KEY WEST, FLA. 33040
 305-296-1492

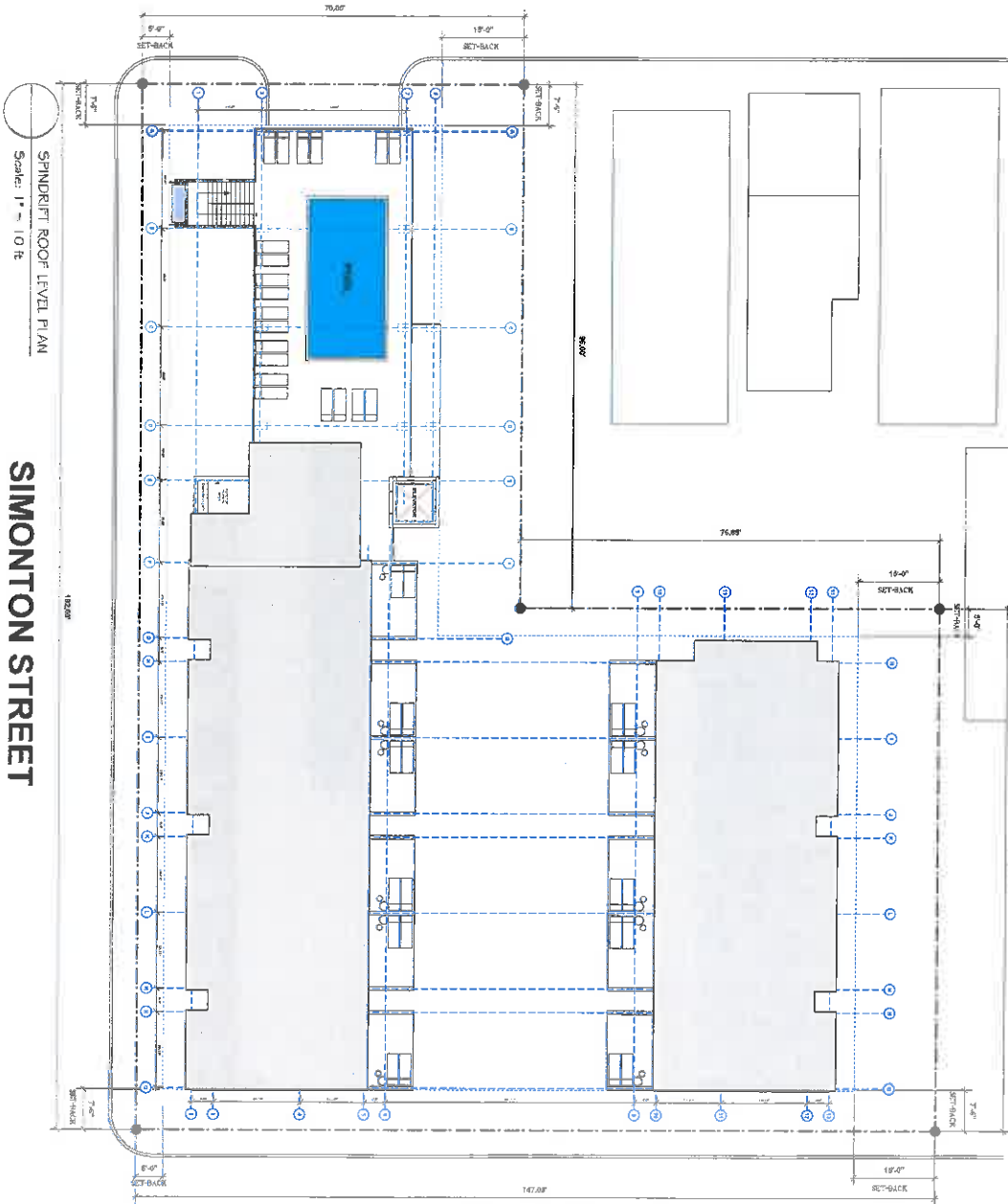
DATE:
 10/21/19

SCALE:
 1" = 10'

PROJECT:
 SPINDRIFT HOTEL

Contractor to verify all information & dimensions in field prior to start of construction and shall notify Peter Pike Architect of any discrepancies.

UNITED STREET



SIMONTON STREET

LOUISA STREET

PC
 10211A
 CW
 10211-14

PETER M. PIKE FLA. REGISTRATION # AR0016198

SHEET #
A-5

DRAWING TITLE:
 ROOF LEVEL PLAN

PROJECT:
 SPINDRIFT HOTEL
 1212 SIMONTON STREET
 KEY WEST, FL 3304C



471 US HIGHWAY 1
 SUITE 101
 KEY WEST, FLA. 33041
 305-296-1692



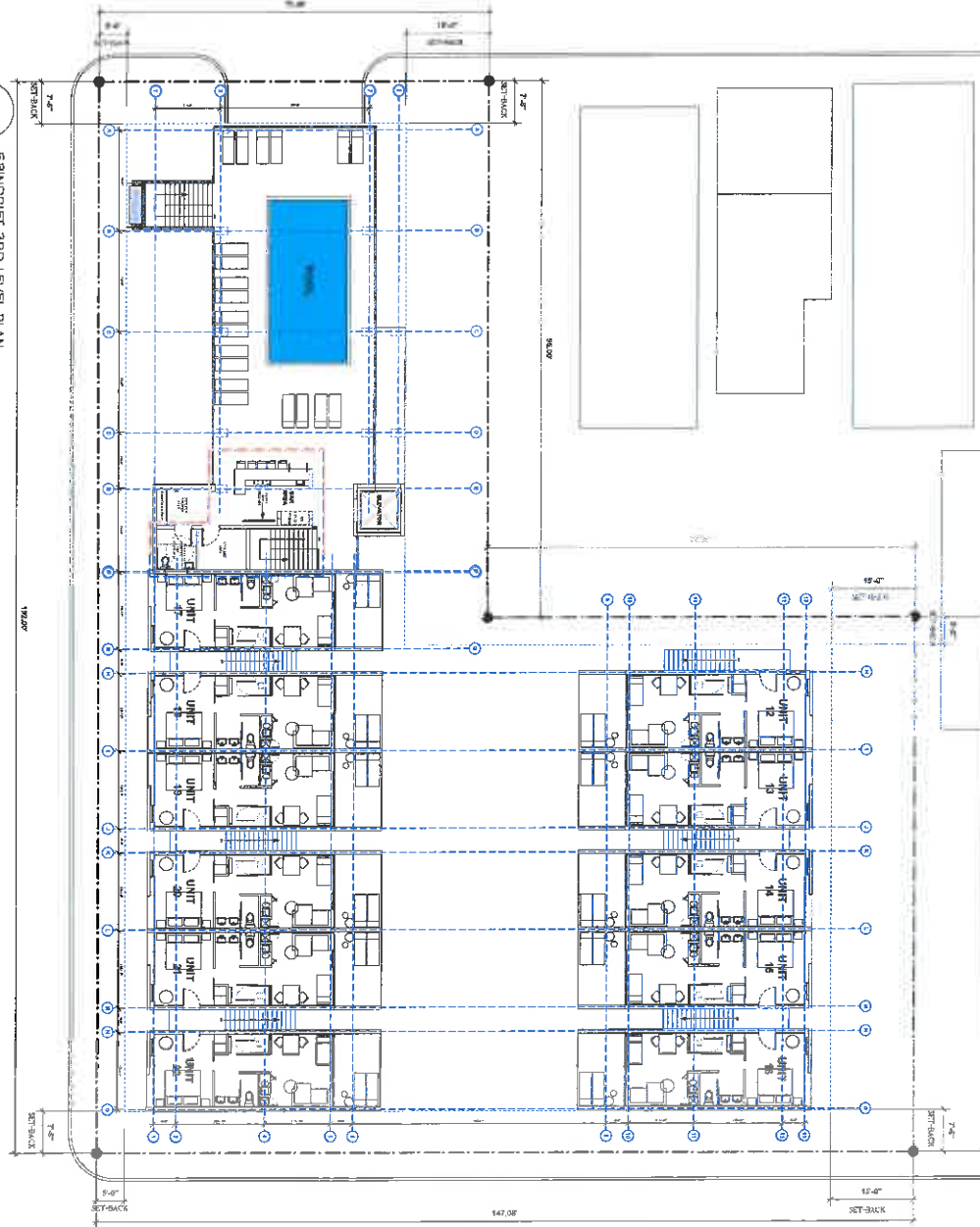
DATE	DESCRIPTION

Contractor to verify all information & dimensions in field prior to start of construction and check with Peter Pike Architect of any discrepancies.

UNITED STREET

SPINDRIFT 3RD LEVEL PLAN
Scale: 1" = 10'-0"

SIMONTON STREET



LOUISA STREET

Handwritten notes:
11-12-11
10-10-11
10-11-11

PETER M. PIKE FLA. REGISTRATION # AR0015198

SHEET # A-4	DRAWING TITLE:	PROJECT:
	3RD LEVEL PLAN	SPINDRIFT HOTEL 1212 SIMONTON STREET KEY WEST, FL 33040

REVISIONS: NO. DATE DRAWN: TCM CHECKED: HMP UNIT: GSA/SL/LA

González Architects
Hospitality

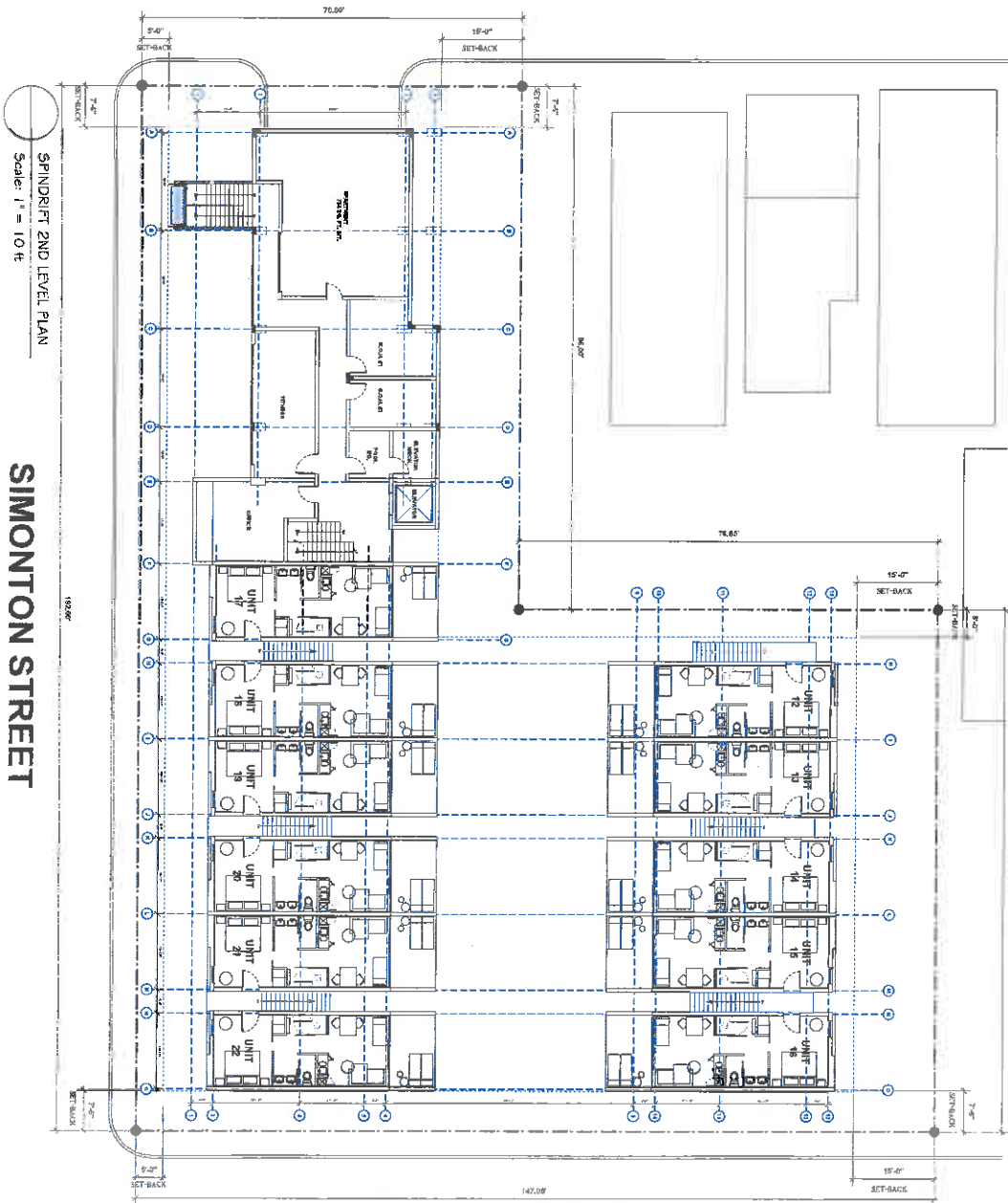
471 US HIGHWAY 1
SUITE 101
KEY WEST, FLA. 33040
305-296-1692

AA ARCHITECTS
ARCHITECTS

REVISIONS:	DATE

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UNITED STREET



SPINDRIFT 2ND LEVEL PLAN
Scale: 1" = 10' 0"

SIMONTON STREET

LOUISA STREET

PETER M. PIKE FLA. REGISTRATION # AR0015198

PROJECT
A-3

DATE: 12/13
DRAWING TITLE: 2ND LEVEL PLAN

PROJECT: SPINDRIFT HOTEL
1212 SIMONTON STREET
KEY WEST, FL 33040

González Architects
Hospitality

471 US HIGHWAY 1
SUITE 101
KEY WEST, FLA. 33041
305-296-1692



NO.	DATE	DESCRIPTION
1	12/13	ISSUED FOR PERMIT

QC
10/21/14
10/21/14



Visibility Triangle
 Sec. 1721-14(2)(g)
 No structures, fences, parking, or signs shall be located within the visibility triangle between the right-of-way between the right-of-way of 2 1/2' and 10 ft above the average grade within a triangle bounded by the curves between points on each such grading 20' feet from the intersection of such curvatures or extension thereof.

SPINDRIFT GRADE LEVEL PLAN
 Scale: 1" = 10 ft

SIMONTON STREET

Visibility Triangle
 No structures, fences, parking, or signs shall be located within the visibility triangle between the right-of-way between the right-of-way of 2 1/2' and 10 ft above the average grade within a triangle bounded by the curves between points on each such grading 20' feet from the intersection of such curvatures or extension thereof.

Handwritten: 10/21/10
 10-24-10

DATE: 10/21/10
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 05/18/11

DRAWING TITLE:
 SITE PLAN
 GRADE LEVEL PLAN

PROJECT:
 SPINDRIFT HOTEL
 1212 SIMONTON STREET
 KEY WEST, FL 33040



471 US HIGHWAY 1
 SUITE 101
 KEY WEST, FLA. 33040
 305-296-1692

NO.	DATE	DESCRIPTION

PETER W. PIKE FLA. REGISTRATION # AR0015198

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ARCHITECTURAL ELEVATION

"The Spindrift"

PROPOSED HOTEL

AT 1212 SIMOMONTON STREET

ARCHITECTS : PETER PIKE & ASSOCIATES
471 US HIGHWAY 1, KEY WEST, FLORIDA 305-296-1692

ARCHITECTS : GONZALEZ ARCHITECTS HOSPITALITY
14 NE 1ST AVE., SUITE 500, MIAMI, FLORIDA 305-485-4216



SITE DATA

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HMC-1	HMC-1	HMC-1	CONFORMS
SITE AREA	20,887 SQ. FT.	4,000 SQ. FT. MIN	20,887 SQ. FT.	CONFORMS
MINIMUM WIDTH	+40' (VARIABLE)	40 FT	+42' (VARIABLE)	CONFORMS
MINIMUM DEPTH	+100' (VARIABLE)	100 FT	+107' (VARIABLE)	CONFORMS
IMPERVIOUS RATIO		60% (12,014 SQ. FT.)	12,081 SQ. FT.	CONFORMS
BUILDING COVERAGE		65% (13,649 SQ. FT.)	9,946 SQ. FT.	CONFORMS
SETBACKS		6' REQUIRED	6'	CONFORMS
FRONT (SIMOMONTON)		15' REQUIRED	15'	CONFORMS
REAR		7.5' REQUIRED	7.5'	CONFORMS
SIDE (LOUISA)		7.5' REQUIRED	7.5'	CONFORMS
SIDE (UNITS)		7.5' REQUIRED	7.5'	CONFORMS
BUILDING HEIGHT		35 MAXIMUM	35'	CONFORMS
F. A. R.		1.0	.89	CONFORMS
DENSITY		14 DU/ACRE	EXISTING TO REMAIN	CONFORMS

TOTAL PLOT AREA = 20,887 SQ. FT.

F.A.R.

AREAS USED FOR F.A.R. CALCULATION	GRADE LEVEL	2ND LEVEL	3RD LEVEL
LANDS	4782	6688	
LOBBY	232		
ELEVATOR	34	54	54
OFFICE		202	
ROCK		310	
POOL / SPA AREA		380	2081
MECHANICAL			
POOL EQUIPMENT		58	



SEE SHEET A-2 FOR ENLARGED SITE PLAN



SPINDRIFT HOTEL

1212 SIMOMONTON STREET
KEY WEST, FLA.

ARCHITECT : PETER PIKE & ASSOCIATES

471 US HIGHWAY 1, KEY WEST FLORIDA 305-296-1692
P.P.A.R.C.H.I.T.E.C.T.S@A.O.L.C.O.M - 3.E.T.H.@P.I.K.E.A.R.C.H.I.T.E.C.T.S.C.O.M



A COLLABORATED DESIGN
PIKE AND GONZALEZ

GENERAL CONTRACTOR: GARCIA USA CONSTRUCTION, INC. 1200 S. MILITARY TRAIL, SUITE 100, MIAMI, FL 33133
GENERAL CONTRACTOR: GARCIA USA CONSTRUCTION, INC. 1200 S. MILITARY TRAIL, SUITE 100, MIAMI, FL 33133
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ARCHITECT: PETER PIKE & ASSOCIATES
471 US HIGHWAY 1, KEY WEST, FLORIDA 305-296-1692
P.P.A.R.C.H.I.T.E.C.T.S@A.O.L.C.O.M - 3.E.T.H.@P.I.K.E.A.R.C.H.I.T.E.C.T.S.C.O.M

CONSULTING ENGINEER/ARCHITECT: GONZALEZ ARCHITECTS HOSPITALITY
14 NE 1ST STREET, SUITE 500, MIAMI, FL 33132
305-485-4216
GONZALEZ.A.R.C.H.I.T.E.C.T.S@A.O.L.C.O.M - 3.E.T.H.@P.I.K.E.A.R.C.H.I.T.E.C.T.S.C.O.M

QC
10214
10/24/14

PETER M. PIKE FLA. REGISTRATION # AR00015198

DRAWING TITLE:
SITE DATA

DATE: 06.11.14

PROJECT:
SPINDRIFT HOTEL
1212 SIMOMONTON STREET
KEY WEST, FL 33040

ARCHITECTS:
Gonzalez Architects
Hospitality

471 US HIGHWAY 1
SUITE 101
KEY WEST, FLA. 33040
305-296-1692

REGISTERED PROFESSIONAL ARCHITECT
PETER PIKE
1212 SIMOMONTON STREET
KEY WEST, FLORIDA 33040
305-296-1692
P.P.A.R.C.H.I.T.E.C.T.S@A.O.L.C.O.M

REGISTERED PROFESSIONAL ARCHITECT
GONZALEZ ARCHITECTS HOSPITALITY
14 NE 1ST STREET, SUITE 500
MIAMI, FLORIDA 33132
305-485-4216
GONZALEZ.A.R.C.H.I.T.E.C.T.S@A.O.L.C.O.M

DATE: 06.11.14

PROJECT: SPINDRIFT HOTEL
1212 SIMOMONTON STREET
KEY WEST, FL 33040

Consultor to verify all information & dimensions in field prior to start of construction and shall notify Peter Pike Architect of any discrepancies.