

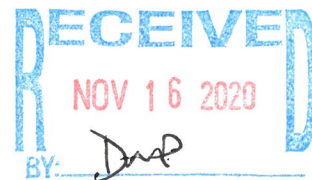
Application



Application for Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov



Application Fee: \$2,300.00 / After-the-Fact: \$4,300.00

(includes \$200.00 advertising/noticing fee and \$100.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 1108 Petronia St

Zoning District: HHDR

Real Estate (RE) #: 00058850-000000

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: GARY BURCHFIELD (GARY THE CARPENTER)

Mailing 800 SIMONTON STREET Address:

City: Key West State: FL, 33040 Zip:

Home/Mobile Phone: (305)-797-7778 Office: (305)-292-0261 Fax: _____

Email: GARYTHECARPENTER@HOTMAIL.COM

PROPERTY OWNER: (if different than above)

Name: PATRICIA GRAY

Mailing 1108 Petronia St Address:

City: KEY WEST State: FL, 33040 Zip:

Home/Mobile Phone: (772)-539-1630 Office: _____ Fax: _____

Email: MRSGRAY2@AOL.COM

Description of Proposed Construction, Development, and Use: Roof over porch.

List and describe the specific variance(s) being requested:

Increase in existing nonconformity for Required side setback: 5 ft. Existing Setback: 1.2 ft.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property?
 If yes, provide date of landscape approval, and attach a copy of such approval.

Yes No

Is this variance request for habitable space pursuant to Section 122-1078?

Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HHDR			
Flood Zone	X			
Size of Site	2,780 SQ.FT.			
Height	25+5 FT	NO CHANGE	NO CHANGE	NO
Front Setback	10FT	+/-9.6 FT	NO CHANGE	NO
Side Setback	5FT	+/-1.3 FT	NO CHANGE	NO
Side Setback	5FT	+/-1.2 FT	NO CHANGE	YES
Street Side Setback	N/A	N/A	N/A	NO
Rear Setback	20FT	+/-19.2 FT	NO CHANGE	NO
F.A.R	N/A	N/A	N/A	NO
Building Coverage	50%	53.83%	NO CHANGE	NO
Impervious Surface	60%	74.67%	NO CHANGE	NO
Parking	N/A	0	0	NO
Handicap Parking	N/A	N/A	N/A	NO
Bicycle Parking	N/A	N/A	N/A	NO
Open Space/ Landscaping	35%	19.63%	NO CHANGE	NO
Number and type of units	N/A	N/A	N/A	NO
Consumption Area or Number of seats	N/A	N/A	N/A	NO

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Special conditions exist. The existing building has a balcony and entryway on the upper lever
with inadequate coverage from sun and rain.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The existing house was constructed in 1938. Multiple alterations have been made by both
previous owners and the current owner. However the current owner has not created any
of the conditions or circumstances as a result of negligence or purposeful action.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Granting of the requested variance will not confer any special privileges to the applicant.

Similar conditions are common within the neighborhood and same zoning district and very
common throughout the city residential zoning districts

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship conditions exist by limiting the owner the ability to use her property to full potential.

Large number of houses in the same zoning district have covered and protected porches
on their property; which are essential to enjoy outdoor living in Key West.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Only the minimum varaiance is being requested. The proposed shed roof for porch is within
a footprint of existing elevated balcony. No overhang to further encroach into side setback is
proposed.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The proposed roof is not injurious to the public welfare. The proposed variance is consistent with the intended land use and will improve the quality of life of the Applicant. Roof will improve architectural appeal of streetscape.

The proposed variance does not negatively impact the both public interest or welfare.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

The existing nonconforming uses of other properties (if any) do not have any effects on this variance application.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department along with one (1) electronic copy of materials on a flash drive.

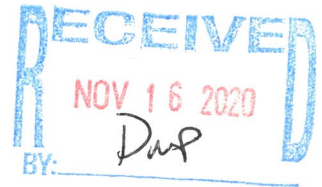
- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Monroe County Property record card
- Signed and sealed survey (Survey must be within 10 years from submittal of this application)
- Site plan (plans **MUST** be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan



Variance Information sheet

City of Key West, Florida • Planning Department

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(includes \$200.00 advertising/noticing fee and \$100.00 fire review fee)

Please read the following carefully before filling out the application

This application and all required attachments should be submitted to the City Planning Department at 1300 White Street.

Application Process

- After submittal, the application will be reviewed by Staff and additional modifications to the site plan may be necessary at that time.
- The applicant will be responsible for submitting a landscape approval letter from the Urban Forestry Program Manager and a Stormwater approval letter from the Director of Engineering.
- **When the application is determined to be complete**, it will be brought forth to the Planning Board. If the application is approved, there is a 30-day appeal period.
- After the 30-day appeal period, the application will be sent to the Department of Environmental Opportunity (DEO) for rendering. The rendering period is 45 days.

PLEASE NOTE:

- Owners and applicants are notified of their scheduled Planning Board hearing date.
- Attendance at the formal public hearing is mandatory.
- Notice of Public Meeting is published in the newspaper.
- Owners of property within 300 feet of the subject property or parcels are notified by mail.
- Notice of public hearing will be posted on the property and must be left up until after the hearing.

Please include the following with this application:

- ✓ 1. A **copy of the most recent recorded** warranty deed with the Book and Page numbers from the office of the Clerk of Circuit Court for Monroe County containing a legal description of the subject parcel. The application forms must be signed by all owners listed on the deed. For business/corporate ownership, please attach authorization for name of executive authorized to make the application.

✓
\$2,300.00
FROM
GTC

2. An application fee is determined according to the attached fee schedule. Make the check payable to the City of Key West and include the site address on the memo portion of the check. Be advised that upon review by the Planning Department, additional or fewer variances may be required necessitating a different fee. It is best to see a Planner before turning in the application.

- ✓ 3. A site plan or site plans (**plans MUST be signed and sealed by an Engineer or Architect**) of the subject site, indicating the following:
- a. **Existing and proposed** lot coverage including buildings, pools, spas, driveways and other walkways, patios, porches, covered areas and decks.
 - b. Location and identification/names of existing trees of 3.5 inches diameter or greater on the property or extending over the proposed work (including access routes and stormwater areas). Please provide photos.
 - c. All proposed changes to what exists, including those which make the variance(s) necessary.
 - d. Lot dimensions on all drawings and the distance from all property lines of all existing and proposed structures.
 - e. Dimensions (**existing and proposed**) of all the items in (a) above, including the height and number of stories of the structure.
 - f. Parking spaces and dimensions (**existing and proposed**).
 - g. Easements or other encumbrances on the property.
4. One copy of the most recent survey of the property.
5. Elevation drawings of proposed structures, indicating finished height above established grade as measured from crown of road.
6. Floor Plans of **existing and proposed** development.
7. Stormwater management plan.
8. PDF of entire application on Flash Drive
- seeger?

The attached Verification and Authorization Forms must be notarized. This can be done at City Hall or the Planning Department. Identification is required. An out-of-state notarization is acceptable, if necessary.

Make sure that the applicable application and authorization forms are signed by all people listed as owners on the recorded Warranty Deed.

Be advised that the City will not grant a variance unless the City Impact Fees of sewer and solid waste services are paid in full.

If you have any questions, please call the Planning Department. We will be happy to assist you in the application process.

Warranty Deed

1108 PETRONIA

Prepared by and return to:

Susan Mary Cardenas

Stones & Cardenas

221 Simonton Street

Key West, FL 33040

File Number: 11-076-Vittek

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 6th day of May, 2011 between Patrick C. Vittek, a single man whose post office address is 68 Martha Avenue, San Francisco, CA 94131, grantor, and Robert M. Gray and Patricia L. Gray, husband and wife whose post office address is 1108 Petronia Street, Key West, FL 33040, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida to-wit:

On the Island of Key West, known as Part of Lot Seven (7) in Square Number Four (4), or Tract Number Six (6), according to a subdivision of said Tract made by Thomas J. Ashe - commencing at a point Thirty (30) feet from the corner of Petronia and Ashe Streets, and running thence along Petronia Street in a southwesterly direction Thirty (30) feet; thence at right angles in a southeasterly direction and parallel with Ashe Street Ninety-two (92) feet and Eight (8) inches; thence at right angles northeasterly and parallel with Petronia Street Thirty (30) feet; thence at right angles and parallel with Ashe Street northwesterly Ninety-two (92) feet and Eight (8) inches back to the place of beginning

Parcel Identification Number: 00022380-000000

Subject to taxes for 2011 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2011.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Margot Castro
Witness Name: MARGOT CASTRO

Anthony Montero
Witness Name: Anthony Montero

Patrick C. Vittek (Seal)
Patrick C. Vittek

State of California
County of San Francisco

The foregoing instrument was acknowledged before me this 2nd day of May, 2011 by Patrick C. Vittek, who is personally known or has produced a driver's license as identification.

[Notary Seal]



Anthony Montero
Notary Public

Printed Name: Anthony Montero

My Commission Expires: Aug. 13, 2011

ACKNOWLEDGMENT

State of California
County of San Francisco)

On April 28, 2011 before me, Anthony Montero, Notary Public
(insert name and title of the officer)

personally appeared Patrick C. Vittek
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing
paragraph is true and correct.

WITNESS my hand and official seal.

Signature *Anthony Montero* (Seal)



Verification Form

City of Key West
Planning Department



Verification Form
(Where Applicant is an entity)

I, GARY BURCHFIELD in my capacity as owner
(print name) (print position; president, managing member)

of GARY THE CARPENTER CONSTRUCTION + ROOFING
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1108 PETRONIA ST, KEY WEST, FL 33040
Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

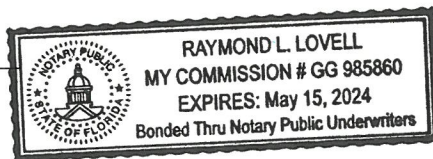
[Signature]
Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this 10/27/2020 by
date

GARY BURCHFIELD
Name of Applicant

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal



Raymond L Lovell
Name of Acknowledger typed, printed or stamped

May 15, 2024
Commission Number, if any

Authorization Form

City of Key West
Planning Department



Authorization Form
(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

* I, PATRICIA L. GRAY authorize
Please Print Name(s) of Owner(s) as appears on the deed

GARY BURCHFIELD (GARY THE CARPENTER)
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this 6/4/2020
Date

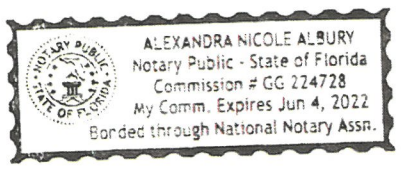
X by [Signature]
Name of Owner

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal

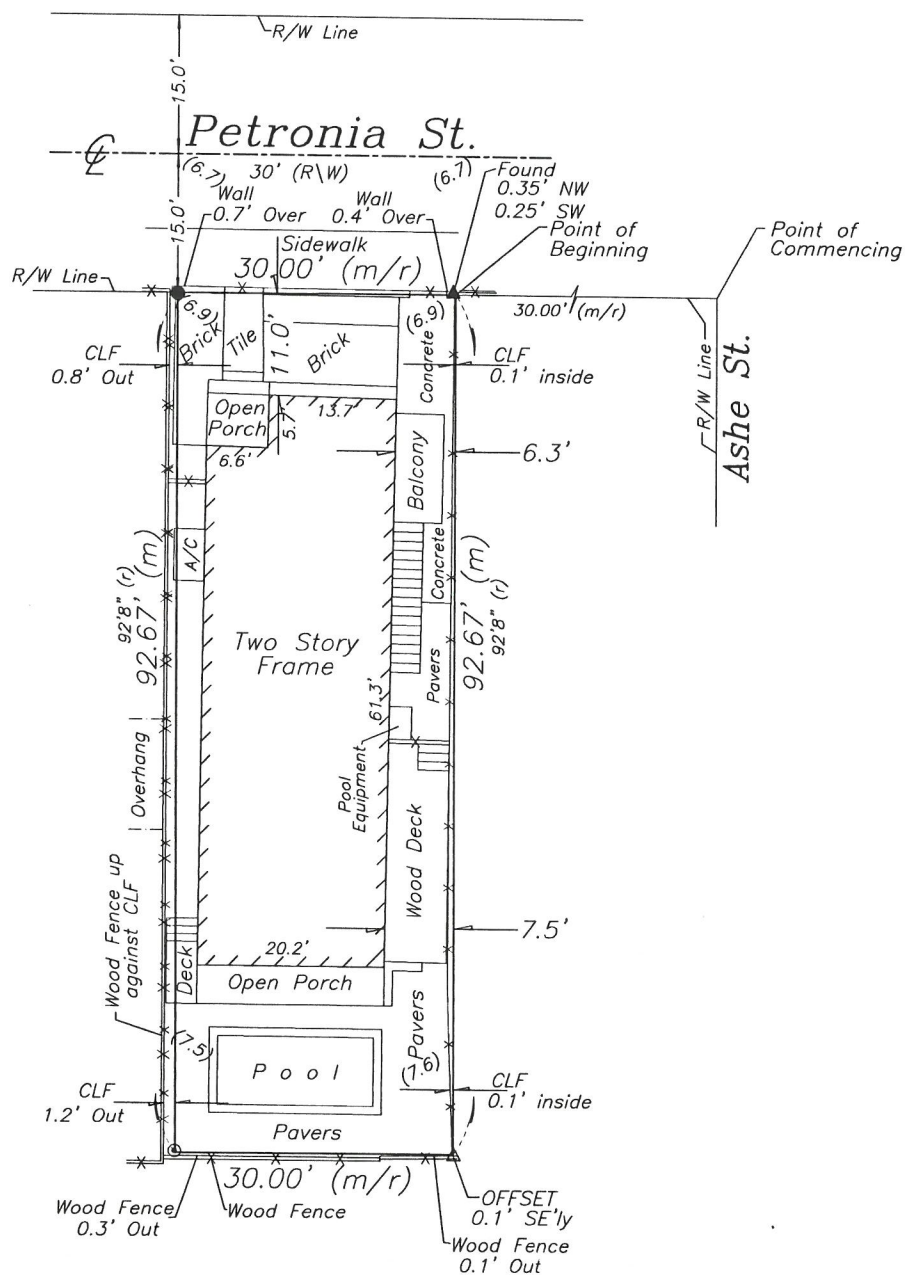
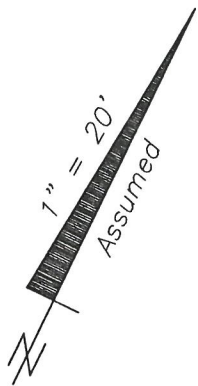
Alexandra Albury
Name of Acknowledger typed, printed or stamped

June 4, 2022
Commission Number, if any



Site Plans

Boundary Survey Map of part of Lot 7, Square 4, Tract 6, Island of Key West



LEGEND

- ⊙ Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found Concrete Nail (No ID)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines
- (6.5) Spot Elevation (Typical)

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1108 Petronia Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: April 15, 2011 and October 12, 2020
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. Elevations are shown in parenthesis and refer to Mean Sea Level, N.G.V.D. 1929 Datum.
12. Benchmark utilized: BASIC

BOUNDARY SURVEY OF: On the Island of Key West, known as Part of Lot Seven (7) in Square Number Four (4), or Tract Number Six (6), according to a subdivision of said Tract made by Thomas J. Ashe - commencing at a point Thirty (30) feet from the corner of Petronia and Ashe Streets, and running thence along Petronia Street in a southwesterly direction Thirty (30) feet; thence at right angles in a southeasterly direction and parallel with Ashe Street Ninety-two (92) feet and Eight (8) inches; thence at right angles northeasterly and parallel with Petronia Street Thirty (30) feet; thence at right angles and parallel with Ashe Street northwesterly Ninety-two (92) feet and Eight (8) inches back to the place of beginning.

BOUNDARY SURVEY FOR: Robert M. Gray and Patricia L. Gray;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

April 15, 2011
Updated 10/13/20 & add elevations

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

CONSTRUCTION PLANS FOR 1108 PETRONIA ST

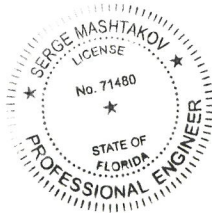
SITE LOCATION



LOCATION MAP:

PROJECT LOCATION:
1108 PERTRONIA ST,
KEY WEST, FL 33040

CLIENT:
GARY THE CARPENTER
CONSTRUCTION, INC



THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

Digitally signed by
Serge Mashtakov P.E.
71480 State of
Florida
Date: 2020.06.04
16:55:03 -04'00'

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV	BY	DATE
STATUS	FINAL	



ARTIBUS DESIGN
3710N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: GARY THE CARPENTER
CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

SITE: 1108 PETRONIA ST
KEY WEST, FL 33040

TITLE: COVER

<small>SCALE AS SHOWN</small>	<small>DATE</small> 06.04.20	<small>DRAWN BY</small> MNS	<small>CHECKED BY</small> SAM
<small>PROJECT NO:</small> 2005-11	<small>DRAWING NO:</small> G-100	<small>REVISION</small>	<small>REVISION</small> 1

GENERAL REQUIREMENTS:

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS AND REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA:

1. APPLICABLE BUILDING CODE: FBC 6TH EDITION (2017)
 2. APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-10
FLOOR LIVE LOAD: 40 PSF
ROOF LIVE LOAD: 20 PSF (300 LB CONC.)
BASIC WIND SPEED: 180 MPH
EXPOSURE: D
STRUCTURAL CATEGORY: II
- ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 1.6

3. ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION
FLOOD ZONE: X

SOILS AND FOUNDATIONS:

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 3,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT.

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

AUBERCASIT PILES

1. AUBERCASIT PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
2. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. REINFORCEMENT SHALL BE FOUR (4) #5 REBAR VERTICALLY WITH #3 STIRRUPS AT 12" O.C. CONTRACTOR SHALL USE PLASTIC CHAIRS OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

CONCRETE:

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
 2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
 3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
 4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
 5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY.
- THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME.
MINIMUM SAMPLING FREQUENCY:
- A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
 - B) EVERY 50 CUBIC YARDS;
 - C) EVERY 2000 SQ.FT. OF SLAB AREA.

ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS. LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED & SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE B.2.2 OR IN SECTION B.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT:

1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
* ADD ALTERNATE REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

ALUMINUM COMPONENTS:

1. TYPE 6061-T6 ALUMINUM.
2. MIG WELD ALL JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
3. ALL ALUMINUM IN CONTACT WITH CONCRETE, PT WOOD, DISSIMILAR METALS AND OTHER CORROSIVE MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.

HARDWARE:

1. HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER:

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHER PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWWA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 6TH EDITION (2017). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACP APPROVED TREATED.
6. SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 8D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 2005 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING:

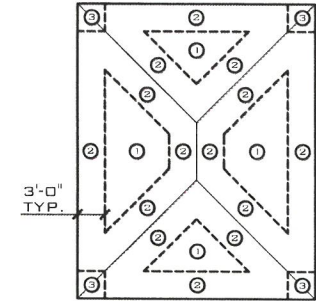
1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10) EXPOSED STEEL.
2. ALL SURFACES SHALL BE PRIMED WITH POLYAMINE EPOXY - ONE COAT (8.0 MILS DFT).
3. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
4. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
5. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.
6. COLORS SHALL MATCH EXISTING OR TO BE SELECTED BY THE OWNER.
7. 2 COATS OF "SUMTER COATINGS" UNIVERSAL PRIMER (6.0 MILS DFT) OR APPROVED EQUAL.

REINFORCED MASONRY (CMU):

1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'm) BE 2000 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBAR @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

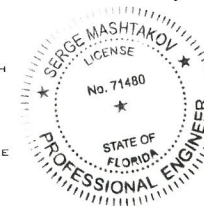
WINDOWS & DOORS:

1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)



ROOF WIND PRESSURES DIAGRAM
SCALE: NTS

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P.E. 71480 State of Florida
Date: 2020.06.04
16:55:18 -04'00'

SENGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

DATE: 2020.06.04
STATUS: FINAL

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: GARY THE CARPENTER
CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

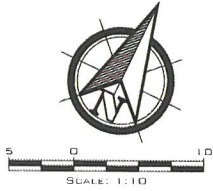
SITE: 1108 PETRONIA ST
KEY WEST, FL 33040

TITLE: NOTES

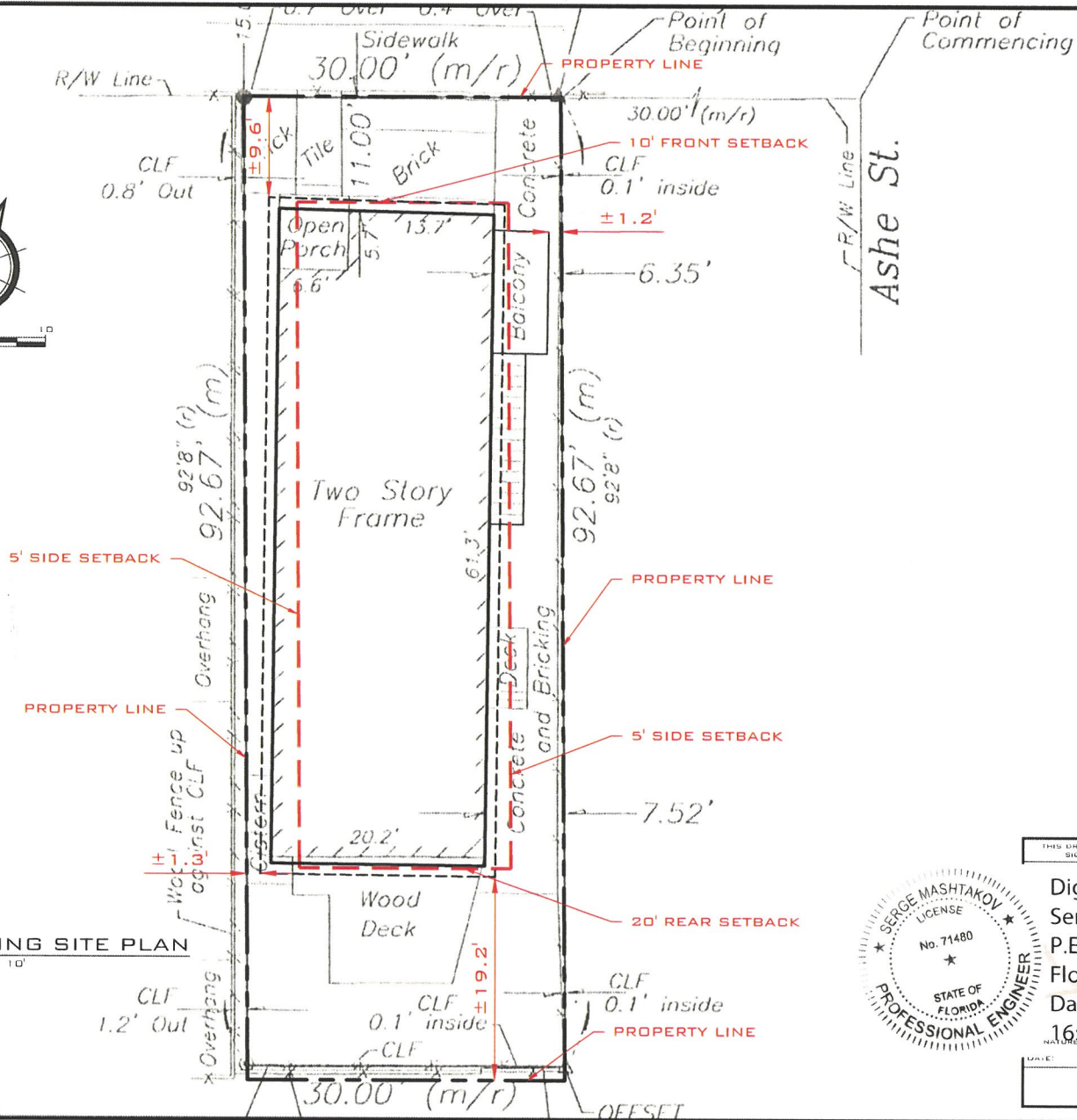
SCALE AT TITLE AS SHOWN	DATE: 06/04/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 2005-11	DRAWING NO: 6-101	REVISION: 1	

PARTIALLY ENCLOSED - BUILDING PORCH

WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)						
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT ²	MAX P, PSF	MIN P, PSF	
ZONE 1	1	1	1	138-42	-74.58	
ZONE 2	1	1	1	138-42	-83.62	
ZONE 3	1	1	1	138-42	-105.22	
ZONE 4	1	1	1	N.A.	N.A.	
ZONE 5	1	1	1	N.A.	N.A.	



EXISTING SITE PLAN
SCALE: 1" = 10'

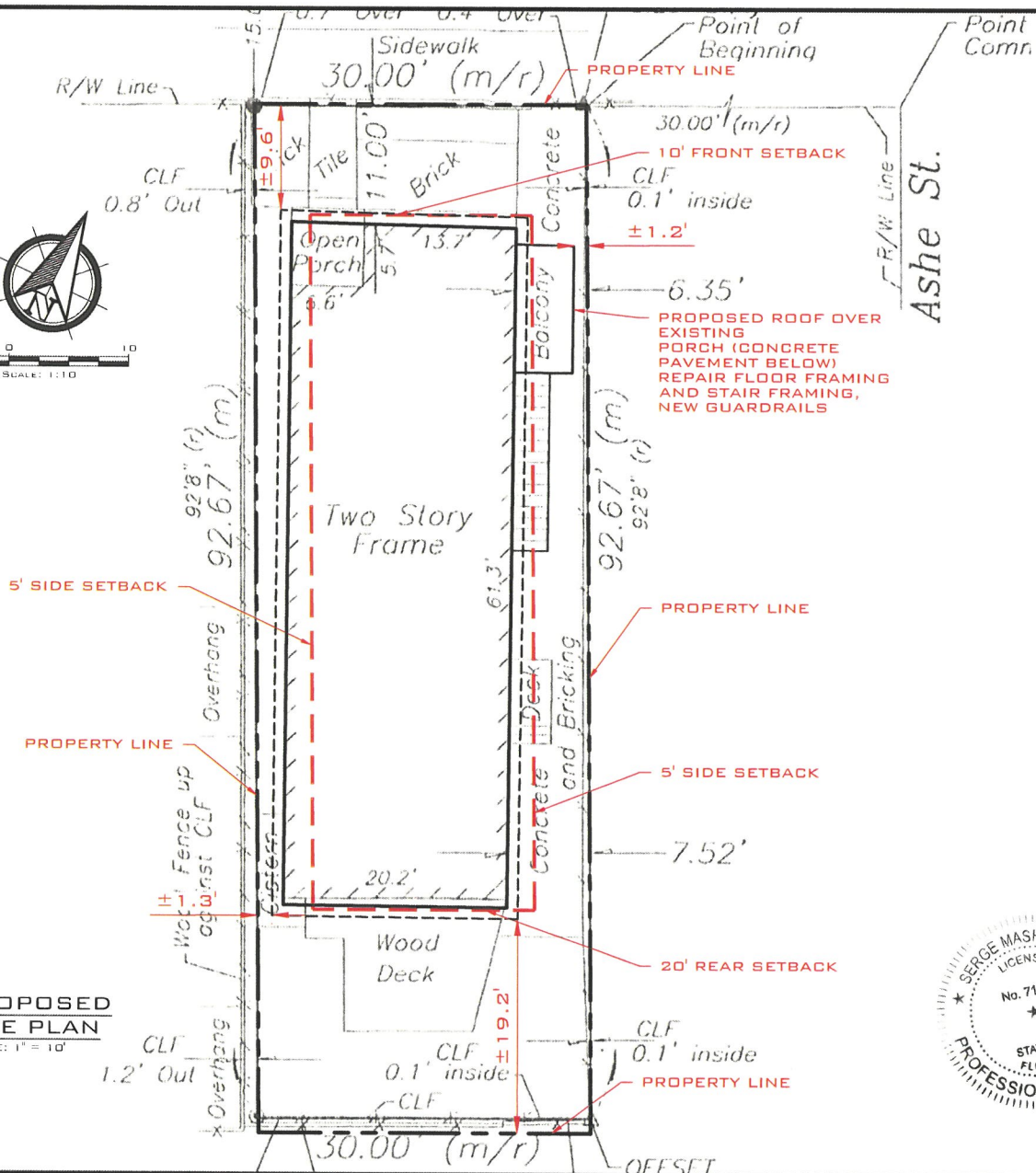
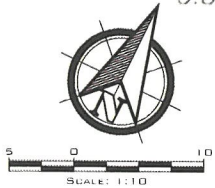


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Serge Mashtakov
P.E. 71480 State of
Florida
Date: 2020.06.04
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DATE: SERGE MASHTAKOV
AS SHOWN 05/27/20
PROJECT NO: 2005-11
DRAWN: MNS
CHECKED: SAM
DESIGNED: SAM

REV	DATE	BY	DATE
STATUS	FINAL		
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ARTIBUS DESIGN 3710 N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835			
CLIENT	GARY THE CARPENTER CONSTRUCTION, INC		
PROJECT	1108 PETRONIA ST		
SITE	1108 PETRONIA ST KEY WEST, FL 33040		
TITLE	EXISTING SITE PLAN		
DATE AT 11:17	DATE	DRAWN	CHECKED
AS SHOWN	05/27/20	MNS	SAM
2005-11	C-101		1



SITE DATA:

TOTAL SITE AREA: ± 2,780.05 SQ. FT

LAND USE: HHDR

FLOOD ZONE: X

SETBACKS

FRONT:
 REQUIRED: 10 FT
 EXISTING: ± 9.6 FT
 PROPOSED: NO CHANGE

SIDE:
 REQUIRED: 5 FT
 EXISTING: ± 1.3 FT
 PROPOSED: NO CHANGE

SIDE:
 REQUIRED: 5 FT
 EXISTING: ± 1.2 FT
 PROPOSED: NO CHANGE
INCREASE OF NONCONFORMITY

REAR (SHORELINE):
 REQUIRED: 20 FT
 EXISTING: ± 19.2 FT
 PROPOSED: NO CHANGE

MAXIMUM IMPERVIOUS SURFACE RATIO:

REQUIRED: 60% (1,668.0 SQ. FT.)
 EXISTING: 74.67% (± 2,075.9 SQ. FT.)
 PROPOSED: NO CHANGE

MAXIMUM BUILDING COVERAGE:

REQUIRED: 50% (1,390.0 SQ. FT.)
 EXISTING: 53.83% (± 1,496.7 SQ. FT.)
 PROPOSED: NO CHANGE

OPEN SPACE MINIMUM:

REQUIRED: 35% (973.0 SQ. FT.)
 EXISTING: 19.63% (± 545.7 SQ. FT.)
 PROPOSED: NO CHANGE

MAXIMUM HEIGHT: 30 FT

PROPOSED SITE PLAN
 SCALE: 1" = 10'



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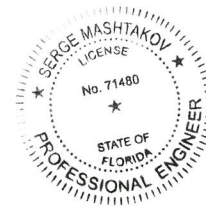
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 P.E. 71480 State of Florida
 Date: 2020.06.04 16:55:44 -04'00'

DATE: 2020.06.04
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 71480

DATE: 2020.06.04	BY: MASHTAKOV	DATE: 2020.06.04	BY: MASHTAKOV
REVISION: FINAL			
ARTIBUS DESIGN ENGINEERING AND PLANNING			
ARTIBUS DESIGN 3710 N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835			
CLIENT: GARY THE CARPENTER CONSTRUCTION, INC			
PROJECT: 1108 PETRONIA ST			
SITE: 1108 PETRONIA ST KEY WEST, FL 33040			
TITLE: PROPOSED SITE PLAN			
DATE: 2020-11	DESIGN: G-102	REVISION: 1	



EXISTING FRONT ELEVATION
SCALE: 3/8" = 1'-0"



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71480 State of Florida
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DATE: PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

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CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

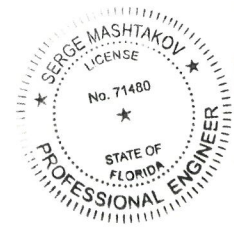
NOTE: 1108 PETRONIA ST
KEY WEST, FL 33040

TITLE: EXISTING FRONT ELEVATION

DATE	BY	CHKD	DRWN	ENTR'D
2005-11	AS SHOWN	06.04.20	MNS	SAM
	PROJECT NO	DRAWING NO	REVISION	
	2005-11	A-101	1	



PROPOSED FRONT ELEVATION
SCALE: 3/8" = 1'-0"



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P.E. 71480 State of
Florida
Date: 2020.06.04
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SEGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

DATE	2020.06.04	BY	SEGE MASHTAKOV	NO.	71480
STATUS	FINAL				



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CA # 30835

CLIENT: **GARY THE CARPENTER CONSTRUCTION, INC**

PROJECT: **1108 PETRONIA ST**

SITE: **1108 PETRONIA ST
KEY WEST, FL 33040**

TITLE: **PROPOSED FRONT ELEVATION**

DATE AT TEST	ISSN	DRAWN	CHECKED
AS SHOWN	06.04.20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2005-11	A-102	1	



EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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Date: 2020.06.04
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STATE OF FLORIDA
LICENSE NO 71480

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CA # 30835

CLIENT: GARY THE CARPENTER
CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

SITE: 1108 PETRONIA ST
KEY WEST, FL 33040

TITLE: EXISTING LEFT ELEVATION

DATE AT 1/4"	DATE	DRAWN	CHECKED
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PROJECT NO:	DRAWING NO:	REVISION:	
2005-11	A-103	1	



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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71480 State of
Florida
Date: 2020.06.04
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DATE: SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

NEW OR CORRECTED: DATE:
STATUS: FINAL



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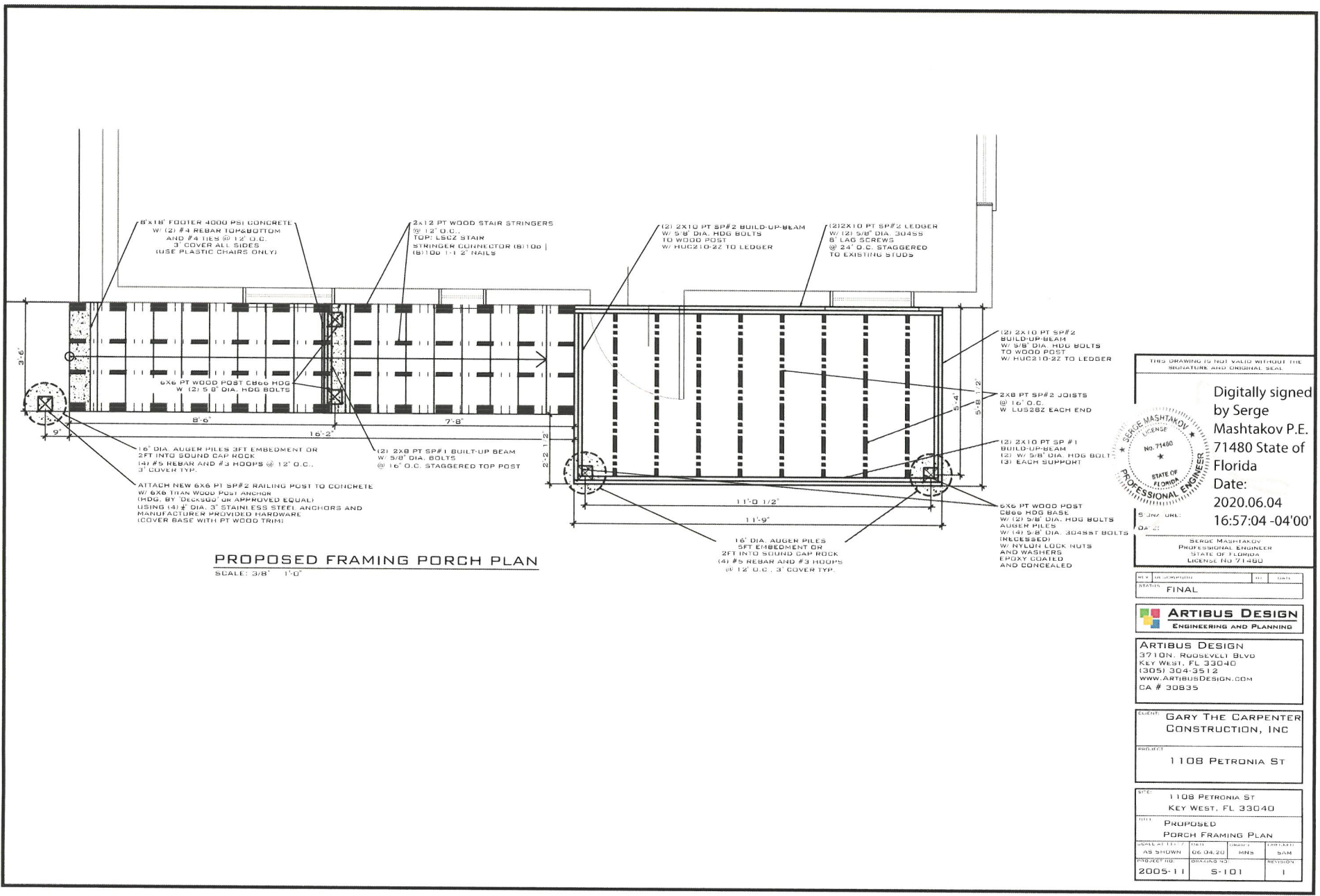
CHECKED: GARY THE CARPENTER
CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

DATE: 1108 PETRONIA ST
KEY WEST, FL 33040

TITLE: PROPOSED LEFT ELEVATION

DATE AT 11:17	DATE	DRAWN BY	DESIGNED BY
AS SHOWN	06.04.20	MNS	SAM
REVISIONS	DATE	BY	REVISION
2005-11	A-104		1



8'x18' FOOTER 4000 PSI CONCRETE
W/ (2) #4 REBAR TOP & BOTTOM
AND #4 TIES @ 12" O.C.
3" COVER ALL SIDES
(USE PLASTIC CHAIRS ONLY)

2x12 PT WOOD STAIR STRINGERS
@ 12" O.C.
TOP: LSGZ STAIN
STRINGER CONNECTOR (B1100)
(B1100 1-1/2" NAILS)

(2) 2x10 PT SP#2 BUILD-UP BEAM
W/ 5/8" DIA. HDG BOLTS
TO WOOD POST
W/ HUC210-22 TO LEDGER

(2) 2x10 PT SP#2 LEDGER
W/ (2) 5/8" DIA. 304SS
8" LAG SCREWS
@ 24" O.C. STAGGERED
TO EXISTING STUDS

(2) 2x10 PT SP#2
BUILD-UP BEAM
W/ 5/8" DIA. HDG BOLTS
TO WOOD POST
W/ HUC210-22 TO LEDGER

2x8 PT SP#2 JOISTS
@ 16" O.C.
W/ LUS262 EACH END

(2) 2x10 PT SP #1
BUILD-UP BEAM
(2) W/ 5/8" DIA. HDG BOLT
(3) EACH SUPPORT

6x6 PT WOOD POST
CBS& HDG BASE
W/ (2) 5/8" DIA. HDG BOLTS
AUGER PILES
W/ (4) 5/8" DIA. 304SS BOLTS
(NECESSED)
W/ NYLON LOCK NUTS
AND WASHERS
EPOXY GRADED
AND CONCEALED

16" DIA. AUGER PILES 3FT EMBEDMENT OR
2FT INTO SOUND CAP ROCK
(4) #5 REBAR AND #3 HOOPS @ 12" O.C.,
3" COVER TYP.

(2) 2x8 PT SP#1 BUILT-UP BEAM
W/ 5/8" DIA. BOLTS
@ 16" O.C. STAGGERED TOP POST

ATTACH NEW 6x6 PT SP#2 RAILING POST TO CONCRETE
W/ 6x6 TITAN WOOD POST ANCHOR
(HDG. BY DECKING OR APPROVED EQUAL)
USING (4) 2" DIA. 3" STAINLESS STEEL ANCHORS AND
MANUFACTURER PROVIDED HARDWARE
(COVER BASE WITH PT WOOD TRIM)

16" DIA. AUGER PILES
3FT EMBEDMENT OR
2FT INTO SOUND CAP ROCK
(4) #5 REBAR AND #3 HOOPS
@ 12" O.C., 3" COVER TYP.

PROPOSED FRAMING PORCH PLAN
SCALE: 3/8" = 1'-0"

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by Serge
Mashtakov P.E.
71480 State of
Florida
Date:
2020.06.04
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STATE OF FLORIDA
PROFESSIONAL ENGINEER
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

STATUS: FINAL

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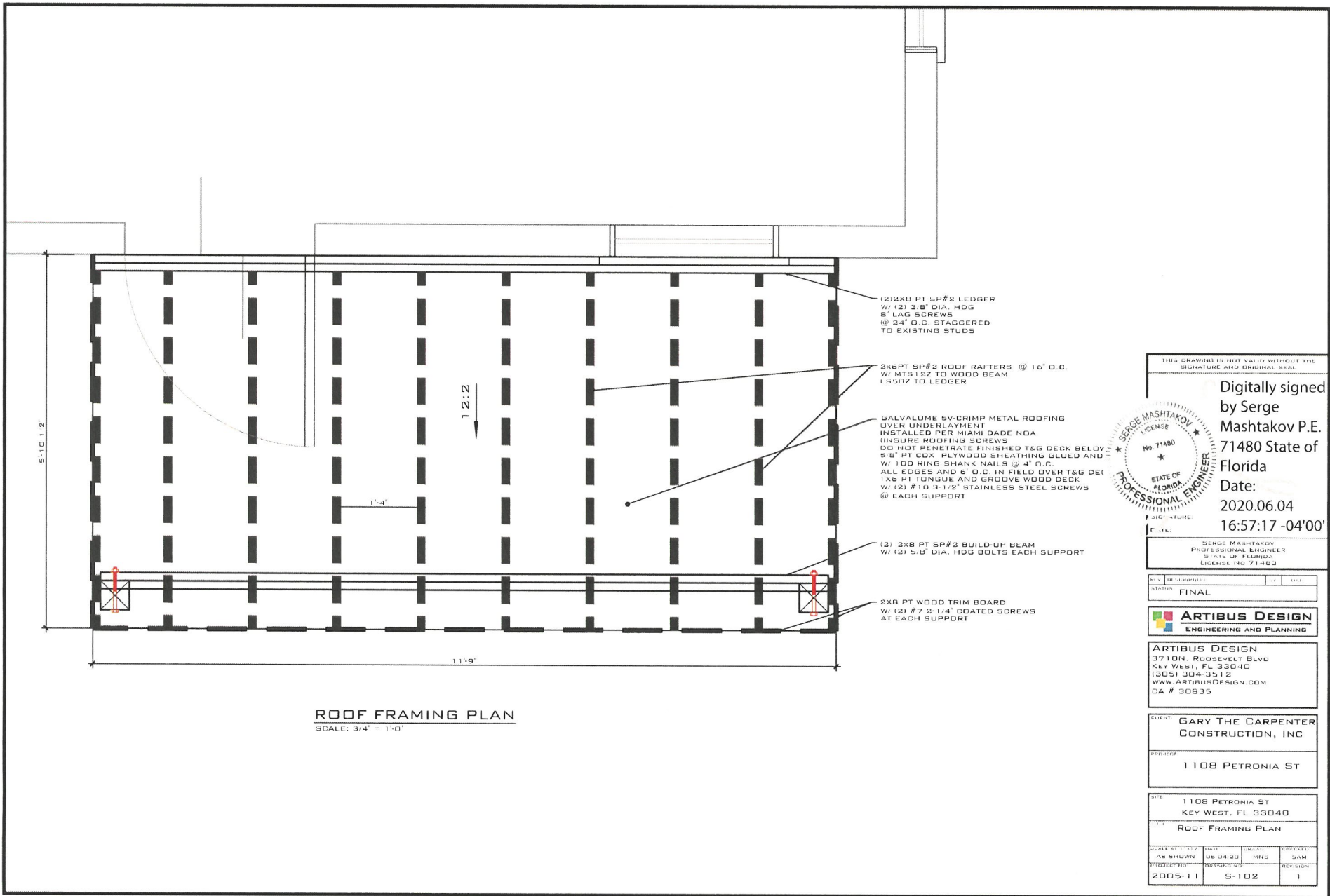
CLIENT: GARY THE CARPENTER
CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

SITE: 1108 PETRONIA ST
KEY WEST, FL 33040

TITLE: PROPOSED
PORCH FRAMING PLAN

SCALE AT 11' x 17'	DATE	DRAWN	CHECKED
AS SHOWN	06.04.20	MNS	SAM
PROJECT NO.	DRAWING NO.	REVISION	
2005-11	S-101	1	



ROOF FRAMING PLAN
SCALE: 3/4" = 1'-0"

- (2) 2x8 PT SP#2 LEDGER
W/ (2) 3/8" DIA. HDG
8" LAG SCREWS
@ 24" O.C. STAGGERED
TO EXISTING STUDS
- 2x6PT SP#2 ROOF RAFTERS @ 16" O.C.
W/ MTS 1/2" TO WOOD BEAM
L550Z TO LEDGER
- GALVALUME 5V-CRIMP METAL ROOFING
OVER UNDERLAYMENT
INSTALLED PER MIAMI-DADE NDA
(INSURE ROOFING SCREWS
DO NOT PENETRATE FINISHED T&G DECK BELOW
5/8" PT CDX PLYWOOD SHEATHING GLOED AND
W/ 10D RING SHANK NAILS @ 4" O.C.
ALL EDGES AND 6" O.C. IN FIELD OVER T&G DECK
1X6 PT TONGUE AND GROOVE WOOD DECK
W/ (2) #10 3-1/2" STAINLESS STEEL SCREWS
@ EACH SUPPORT
- (2) 2x8 PT SP#2 BUILD-UP BEAM
W/ (2) 5/8" DIA. HDG BOLTS EACH SUPPORT
- 2X8 PT WOOD TRIM BOARD
W/ (2) #7 2-1/4" COATED SCREWS
AT EACH SUPPORT

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Mashtakov P.E.
71480 State of
Florida
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PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

NO.	DESCRIPTION	REV.	DATE
	FINAL		



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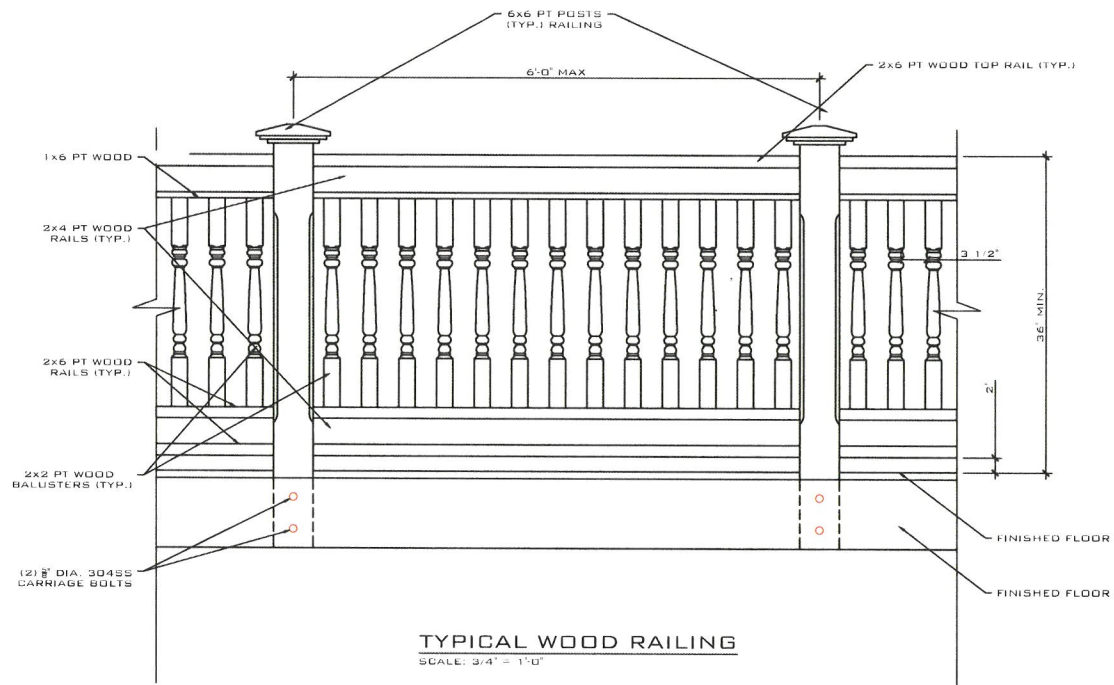
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CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

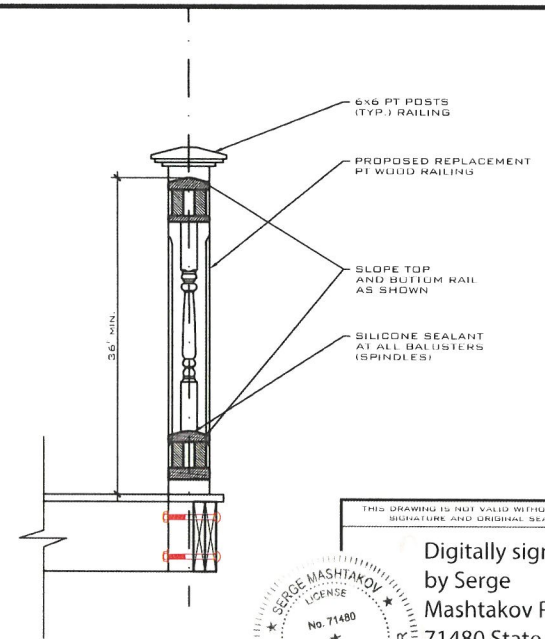
SITE: 1108 PETRONIA ST
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TITLE: ROOF FRAMING PLAN

DATE	BY	CHKD	APP'D	REVISED
2005-11	AS SHOWN	UB	OR 20	MNS
				SAM
				REVISION



TYPICAL WOOD RAILING
SCALE: 3/4" = 1'-0"



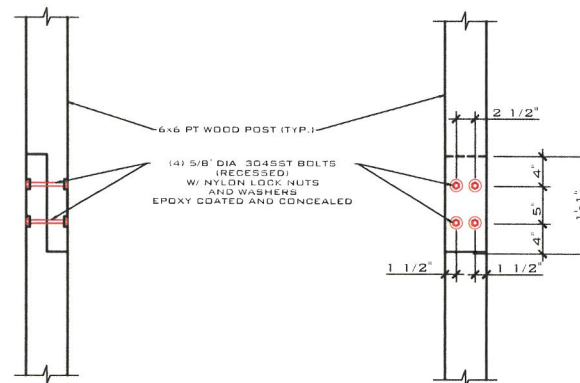
TYPICAL WOOD RAIL SECTION
SCALE: 3/4" = 1'-0"

MINIMUM FASTENERS REQUIREMENTS:

1. TOP RAIL TO POSTS - (4) #10x3" SST DECK SCREWS EACH POST;
2. HORIZONTAL RAILS - (4) #10x3" SST DECK SCREWS EACH END, (2) EACH FACE;
3. VERTICAL BALUSTERS - (2) #10x3" SST DECK SCREWS EACH END, EACH FACE;

NOTE:

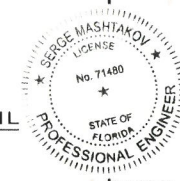
1. PREDRILL HOLES ON END CONNECTIONS TO AVOID SPLITTING.
2. AFTER INSTALLATION USE A SILICON SEALANT AROUND ALL SPINDLES.
3. ALL LUMBER SHALL BE PRESSURE-TREATED (PT) UC4A GRADE PER AWWA STANDARDS.



TYPICAL POST SPLICE
SCALE: 3/4" = 1'-0"

FRONT VIEW
SCALE: 3/4" = 1'-0"

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71480 State of
Florida
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DATE:
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

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KEY WEST, FL 33040
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CA # 30835

CLIENT: GARY THE CARPENTER
CONSTRUCTION, INC

PROJECT: 1108 PETRONIA ST

DATE: 1108 PETRONIA ST
KEY WEST, FL 33040

TITLE: TYPICAL POST SPLICE
TYPICAL RAILING SECTION

SCALE	DATE	DRAWN	CHECKED
AS SHOWN	06.04.20	MNS	SAM
PROJECT NO.			REVISED
2005-11		S-103	1

Site Visit













Additional Information



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00022380-000000
 Account# 1023167
 Property ID 1023167
 Millage Group 10KW
 Location 1108 PETRONIA St, KEY WEST
 Address
 Legal SQR 4 PT LT 7 KEY WEST TR 6 OR255-68/69 OR1251-293/94 OR2463-922/23
 Description OR2516-1737/39
 (Note: Not to be used on legal documents.)
 Neighborhood 6103
 Property Class MULTI FAMILY LESS THAN 10 UNITS (0800)
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

GRAY ROBERT M
 1108 Petronia St
 Key West FL 33040

GRAY PATRICIA L
 1108 Petronia St
 Key West FL 33040

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$330,299	\$330,299	\$265,676	\$272,856
+ Market Misc Value	\$17,953	\$18,393	\$18,835	\$19,275
+ Market Land Value	\$430,295	\$417,660	\$470,307	\$470,307
= Just Market Value	\$778,547	\$766,352	\$754,818	\$762,438
= Total Assessed Value	\$404,544	\$396,140	\$387,567	\$372,802
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$379,544	\$371,140	\$364,112	\$359,118

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (080D)	2,780.00	Square Foot	30	92.7

Buildings

Building ID 1709
 Style 2 STORY ELEV FOUNDATION
 Building Type M.F. - R2 / R2
 Gross Sq Ft 2000
 Finished Sq Ft 1869
 Stories 2 Floor
 Condition AVERAGE
 Perimeter 270
 Functional Obs 0
 Economic Obs 0
 Depreciation % 8
 Interior Walls WALL BD/WD WAL

Exterior Walls ABOVE AVERAGE WOOD
 Year Built 1938
 EffectiveYearBuilt 2010
 Foundation WD CONC PADS
 Roof Type GABLE/HIP
 Roof Coverage METAL
 Flooring Type SFT/HD WD
 Heating Type FCD/AIR DUCTED with 0% NONE
 Bedrooms 3
 Full Bathrooms 3
 Half Bathrooms 0
 Grade 550
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	49	0	0
FLA	FLOOR LIV AREA	1,869	1,869	0
OUU	OP PR UNFIN UL	40	0	0
OUF	OP PRCH FIN UL	42	0	0
TOTAL		2,000	1,869	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1964	1965	1	120 SF	5
CONC PATIO	1964	1965	1	124 SF	2
RES POOL	2012	2013	1	112 SF	5
FENCES	2012	2013	1	180 SF	2
WOOD DECK	2012	2013	1	280 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
5/2/2011	\$300,000	Warranty Deed		2516	1737	01 - Qualified	Improved
4/21/2010	\$100	Quit Claim Deed		2463	922	11 - Unqualified	Improved
2/1/1993	\$125,000	Warranty Deed		1251	293	Q - Qualified	Improved

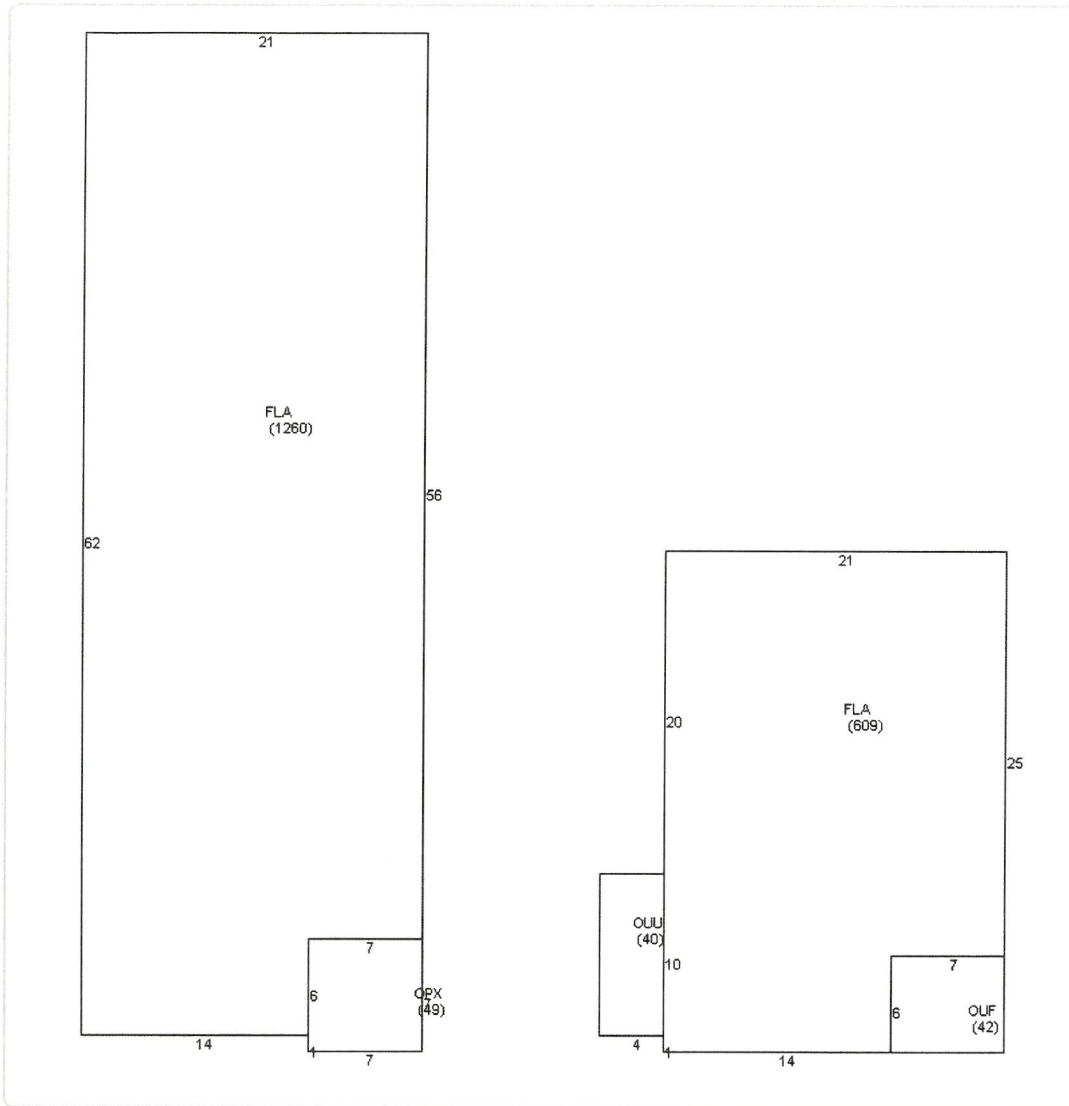
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18-3110	7/19/2018	3/18/2019	\$15,000		REPLACE ALL KITCHEN CABINETS AND COUNTER TOPS
14-0262	2/12/2014	12/2/2014	\$9,000		TEAR OFF METAL SHINGLES INSTALL PLYWOOD INSTALL VIC METAL SHINGLES
12-2820	8/6/2012	1/30/2013	\$24,000	Residential	INSTALL NEW 49 L.F. RESIDENTIAL SWIMMING POOL. POOL \$23,250, SAFETY NEW 750. ON REAR JUST FOR POOL. POOL NEEDS TO MEET SETBACKS. POOL EQUIPMENT NEEDS TO MEET SETBACKS.
12-1475	4/25/2012	1/30/2013	\$4,000		INSTALL 800sf VCRIMP
12-0477	2/22/2012	1/30/2013	\$50,006		DEMO REAR FLAT ROOF EXTEND EXISTING SAWTOOTH ROOF 6'. CONSTRUCT NEW GABLE ROOF
11-2187	7/5/2011	11/13/2011	\$2,100		RUN CIRCUIT FOR INDUSTRIAL WATER HEATER, WIRE EXISTING LIVING ROOM, BED ROOM, INSTALL 6 CAN LIGHTS, RUN NEW CIRCUIT FOR EXISTING BATHROOM/BEDROOM TRIM OUT 14 OUTLETS
11-1718	5/26/2011	11/13/2011	\$17,395		COMPLETE LAP SIDING 120sf, PAINT EXTERIOR TO MATCH. INSTALL NEW FRONT DOOR, COMPLETE INTERIOR RENOVATIONS, FRAMING, DRYWALL & TRIM
05-0426	2/15/2005	11/23/2005	\$900		RED TAG PERMIT(DEMO UTILITY SHED BUIL WITHOUT A PERMIT.)
95/3241	10/3/1995	9/27/1997	\$3,250	Residential	DAMAGE REPAIR
95-3228	9/28/1995	9/27/1997	\$5,000		PLUMBING
95-3239	9/28/1995	9/27/1997	\$640		ELECTRICAL

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Sketches (click to enlarge)



Photos



Map



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2020 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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