

# APPLICATION

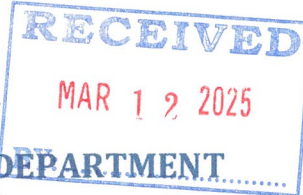


# DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov)



Fees listed below include a \$358.87 advertising/noticing fee and a \$127.63 fire review fee where applicable. Any Major or Minor Development Plan returned to the Planning Board after initial approval will require a new application fee equivalent to one-half of the current fee schedule

Development Plan and Conditional Use application fee schedule

Development Plan	
Minor Development Plan	
Within Historic District Total Application Fee	\$ 3,932.46
Outside Historic District Total Application Fee	\$ 3,166.69
Conditional Use Total Application Fee	\$ 1,403.91
Extension Total Application Fee	\$ 1,124.64
Major Development Plan Total Application Fee	\$ 5,208.74
Conditional Use Total Application Fee	\$ 1,403.91
Extension Total Application Fee	\$ 1,124.64
Administrative Modification Fee	\$ 926.10
Minor Modification Fee	\$ 1,765.38
Major Modification Fee	\$ 2,981.18
Conditional Use (not part of a development plan) Total Application Fee	\$ 3,677.20
Extension (not part of a development plan) Total Application Fee	\$ 1,124.64
Revision or Addition (not part of a development plan) Fee	\$ 2,801.75

**Applications will not be accepted unless complete**

Development Plan

Major \_\_\_\_\_

Minor \_\_\_\_\_

Conditional Use

X

Historic District

Yes \_\_\_\_\_

No \_\_\_\_\_

Please print or type:

- 1) Site Address: 1023, 1025 White Street, 1203 Virginia Street
- 2) Name of Applicant: The Montessori Children's School of Key West, Inc.; Evan Haskell, Board President;  
Richard M. Klitenick, PA.; Trepanier & Associates, Inc.
- 3) Applicant is:  
Property Owner: \_\_\_\_\_  
Authorized Representative: X  
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant: C/o Trepanier & Associates, 1421 First Street, KW, FL 33040
- 5) Applicant's Phone #: 305-293-8983 Email: owen@owentrepanier.com
- 6) Email Address: owen@owentrepanier.com
- 7) Name of Owner, if different than above: Lee H. Dunn, Inc., C/o Oropeza, Stones & Cardenas, Attorneys at Law
- 8) Address of Owner: 221 Simonton Street, Key West, Florida 33040

9) Owner Phone #: 305-294-0252 Email: greg@oropezastonescardenas.com

10) Zoning District of Parcel: HNC-1 RE# 00033820-000100

11) Is Subject Property located within the Historic District? Yes X No       

If Yes: Date of approval NA - No exterior changes proposed as part of this application

HARC approval # NA - No exterior changes proposed as part of this application

OR: Date of meeting NA - No exterior changes proposed as part of this application

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Convert existing nonresidential commercial floor area from retail to educational institution as an annex to the  
Montessori Children's School of Key West.

13) Has subject Property received any variance(s)? Yes        No X - None known at this time

If Yes: Date of approval NA Resolution # NA

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes        No X - None known at this time

If Yes, describe and attach relevant documents.

NA

A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.

B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).

C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

## Solutions Statement, Phasing, and Construction Management

### Solutions Statement

1023, 1025 White Street, 1203 Virginia Street currently contains 3,991 sq. ft. of nonresidential retail uses. This application proposes to convert this existing nonresidential floor area to educational use to allow the expansion of the Montessori Children's School of Key West. Drop off and pick up will remain in the existing locations at 1221 Varela Street.

There will be no impact changes to water pollution, stormwater runoff, potable water conservation, waste disposal, recycling, energy conservation, affordable housing, lighting or parking. There will be a significant reduction in evening and weekend noise and there will be a significant reduction in weekday, weekend and evening traffic.

Parking and Trip Generation:

Parking	Use	Intensity	Parking Requirement	Parking Demand (spaces)
Existing	Retail	3,991 sq. ft.	1 space/ 300 sq. ft.	13.3
Proposed	Education	66 seats	1 space/ 5 seats	13.2
<b>Change in Parking Demand</b>				<b>-0.1</b>

Trip Generation	Use	Intensity	Wkdy Trips	Wknd Trips
Existing	Retail (ITE Land Use 814)	Wkdy: 44.22 trips/ 1k sq. ft. Wknd: 31.23 trips/ 1k sq. ft.	176.48	124.63
Proposed	Middle School (ITE Land Use 522)	Wkdy: 13.78 trips/ 1k sq. ft. Wknd: Negligible	56.00	Negligible
<b>Change in Trip Generation</b>			<b>-120.48</b>	<b>-124.63</b>

### Phasing - Construction Management Plan and Inspection Schedule

This project will be two-phased. The school will commence renovations as soon after approval as possible. However, one existing tenant has a lease and intends to remain onsite through the end of the lease which runs to early 2026. At that time the school will take possession of that portion of the building and complete renovations.

Remainder of this page intentionally left blank





#### Phasing Schedule:

##### Phase 1:

- Commence Phase 1 renovations immediately upon approval.
- Completion is anticipated within approximately 1.5 years of commencement.

##### Phase 2:

- Commencing immediately following vacation by current tenant (approximately April 2026).
- Completion is anticipated within approximately 1.5 years of commencement.

#### Schedule of Inspections:

- Inspections shall comply with the city's adopted building codes.
- A new building permit must be obtained whenever:
  1. Construction does not commence within 90 days from the time the permit was released, unless otherwise extended;
  2. Construction activity is dormant for a period of six months or more, without extension;
  3. The qualifier fails to call for and achieve approved inspections within planned 120-day intervals as shall be evidenced in the construction schedule, unless otherwise extended;
  4. A new phase of a phased development commences.

- The applicant acknowledges that the applicant bears the burden of demonstrating that the construction activity is consistent with the approved plan and has occurred in a timely manner consistent with the approved construction management plan and inspection schedule.
- The applicant further acknowledges that, upon failure to meet the inspection schedule, the building permit shall expire. A new building permit shall be required in order to undertake construction activity on a site where a building permit has expired.

Timing of adjustments to construction management plan and schedule:

- The applicant bears the burden of keeping a construction management plan current and shall bring any event which may cause a delay in the permittee's compliance with the terms of this construction management plan and schedule to the attention of the chief building official.
- It is the applicant's burden to successfully negotiate and effectuate an adjustment to the construction management plan and schedule prior to a lapse in any scheduled inspection. Such lapse shall be defined as a failure to complete improvements consistent with the agreed upon construction and inspection schedule.

# MEMORANDUM

**Date:** 05/16/25  
**To:** Nicholas Perez-Alvarez  
**CC:** Katie Halloran, Planning Director  
**From:** Owen Trepanier  
**Re:** **1021-1025 White Street – Montessori Children’s School  
Conditional Use – Educational Institution**

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Thank you for your assistance in moving this project forward.

We propose the following post-DRC revisions:

- DRC Response
- Revised Solutions Statement, Phasing, and Construction Management
- Updated Plans

We anticipate this project will be heard by the Planning Board on June 18<sup>th</sup>, 2025.

# MEMORANDUM

**Date:** 05/16/25  
**To:** Mr. Nicholas Perez-Alvarez  
DRC Members  
**From:** Owen Trepanier  
**Re:** **Applicant Response to DRC Comments**



DRC Comment	Response	Status
Maximum 66-students permitted without requiring a parking variance	Parking is based on seats. The White Street campus will be limited to 66 seats.	Complete
Drop-off and Pick-up	Montessori has high parent participation and communication with a proven track record of controlling parent flow around campus.  The school uses a number of communication techniques (text messages, emails, in-person orientations, written policies and procedures) and will employ these systems to reinforce normal staggered pick-up/ drop-off times and traffic flow.  Homeroom attendance is and will be performed at the main campus prior to students moving inter-campus.	Complete
Intercampus Travel Plan	On 04/29/25 Planning, KWPD, Engineering, Multimodal and applicants met to review school zone and intercampus travel. Group determined the safest travel path and requested applicant to provide existing school zone map, with a suggested revision for the city's ongoing school zone engineering analysis currently underway. Provided to team on 05/13/25 (attached).	Complete
School Zone		Complete
Loading Zone	No changes to the existing loading zone is proposed.	Complete
Fire-Safety	Fire Marshal Site visit on 04/25/25 Gary's Plumbing & Fire, Inc. prepared plans and report (attached)	Complete
Trash and recycling	Coordinated with WM - Solid waste will be handled in the rear exterior of the structure. 1-yard container with recycling totters. Adjustments will be made as required.	Complete





- Existing School
- Proposed School
- Existing School Zone
- Proposed School Zone
- Intercampus Travel



# PROPERTY CARD

## Monroe County, FL

**\*\*PROPERTY RECORD CARD\*\*****Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

Parcel ID 00033820-000100  
 Account# 8594399  
 Property ID 8594399  
 Millage Group 10KW  
 Location Address 1021 WHITE St, KEY WEST  
 Legal Description KW PT OF TR 14 OR840-1942/43 OR1028-683/85C OR1028-688/90 OR1117-1379/81 OR1649-662/64P/R OR1657-2243/44  
 (Note: Not to be used on legal documents.)  
 Neighborhood 32080  
 Property Class RETAIL-MULTI TENANT (1101)  
 Subdivision  
 Sec/Twp/Rng 05/68/25  
 Affordable No  
 Housing

**Owner**

LEE H DUNN INC  
 PO Box 1846  
 Nantucket MA 02554

**Valuation**

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$386,099	\$377,231	\$388,838	\$388,838
+ Market Misc Value	\$1,060	\$1,060	\$1,060	\$1,060
+ Market Land Value	\$1,178,661	\$1,178,661	\$669,694	\$616,118
= Just Market Value	\$1,565,820	\$1,556,952	\$1,059,592	\$1,006,016
= Total Assessed Value	\$1,282,106	\$1,165,551	\$1,059,592	\$1,006,016
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,565,820	\$1,556,952	\$1,059,592	\$1,006,016

**Historical Assessments**

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,178,661	\$386,099	\$1,060	\$1,565,820	\$1,282,106	\$0	\$1,565,820	\$0
2023	\$1,178,661	\$377,231	\$1,060	\$1,556,952	\$1,165,551	\$0	\$1,556,952	\$0
2022	\$669,694	\$388,838	\$1,060	\$1,059,592	\$1,059,592	\$0	\$1,059,592	\$0
2021	\$616,118	\$388,838	\$1,060	\$1,006,016	\$1,006,016	\$0	\$1,006,016	\$0
2020	\$616,118	\$406,249	\$1,060	\$1,023,427	\$964,846	\$0	\$1,023,427	\$0
2019	\$706,223	\$406,249	\$1,060	\$1,113,532	\$877,133	\$0	\$1,113,532	\$0
2018	\$699,299	\$395,897	\$1,060	\$1,096,256	\$797,394	\$0	\$1,096,256	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
(1100)	4,775.00	Square Foot	61	75

## Buildings

Building ID	43832	Exterior Walls	C.B.S.
Style		Year Built	1947
Building Type	1 STY STORE-B / 11B	EffectiveYearBuilt	1996
Building Name		Foundation	
Gross Sq Ft	3991	Roof Type	
Finished Sq Ft	3991	Roof Coverage	
Stories	2 Floor	Flooring Type	
Condition	GOOD	Heating Type	
Perimeter	390	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	38	Grade	400
Interior Walls		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	3,991	3,991	0
<b>TOTAL</b>		<b>3,991</b>	<b>3,991</b>	<b>0</b>

## Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1979	1980	0 x 0	1	262 SF	2

## Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
8/17/2000	\$400,000	Warranty Deed		1649	0662	Q - Qualified	Improved		
9/1/1987	\$300,000	Warranty Deed		1028	688	Q - Qualified	Improved		
10/1/1981	\$200,000	Warranty Deed		840	1942	U - Unqualified	Vacant		

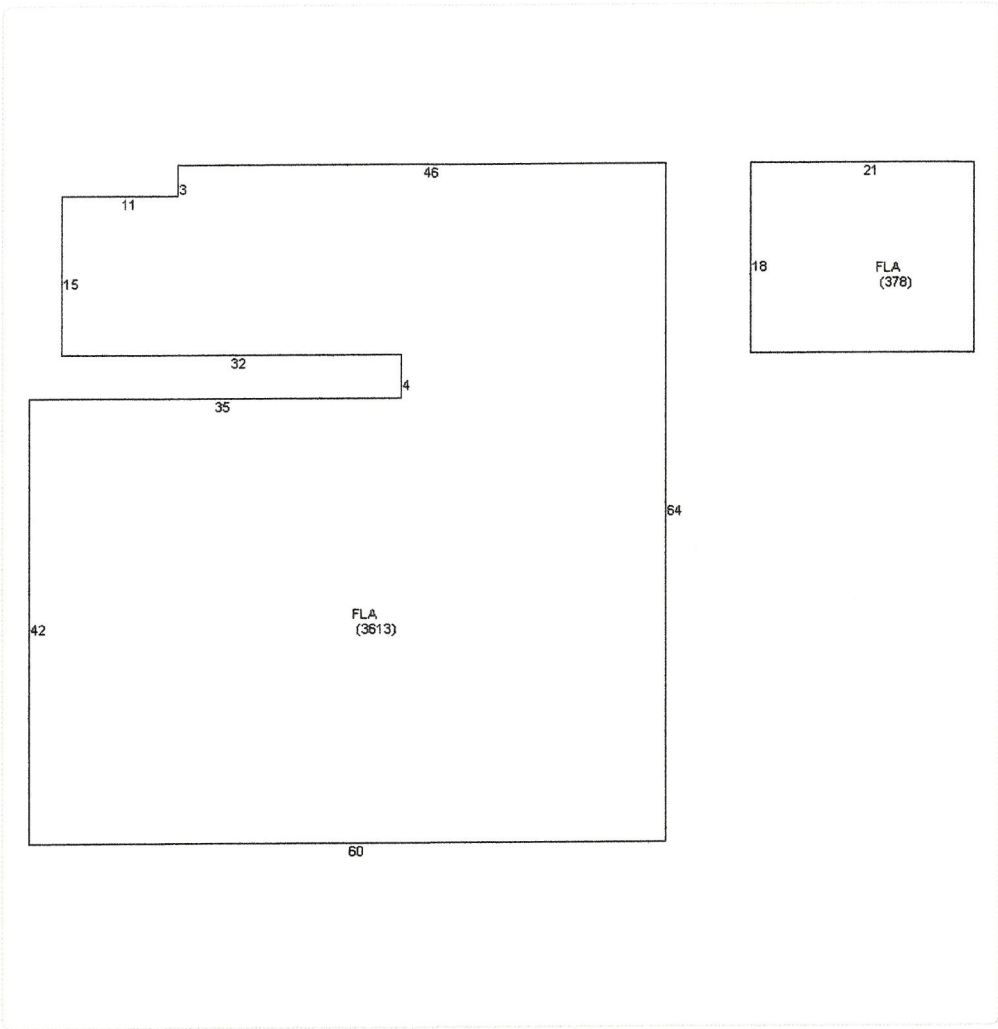
## Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
2024-1860	07/15/2024	Active	\$9,000	Commercial	to change out existing 3-ton system AIR HANDLER MODEL RH1pz3617stanja W/ CONDENSER MODEL RA14az36aj1na
HARC2019-0057	03/27/2019	Active	\$7,800	Commercial	PRIME & PAINT EXTERIOR OF BUILDING NAVAJO WHITE-OC-95 BENJAMIN MOORE PAINT. HARC INSPECTION REQUIRED
13-3004	07/17/2013	Completed	\$21,118	Commercial	INSTALL 3500SF OF 60MIL TPO SINGLE PLY ROOFING.
07-1648	04/04/2007	Completed	\$2,000	Commercial	REPLACE EXISTING ADA TOILET
06-2643	05/16/2006	Completed	\$16,000	Commercial	CONSTRUCT 44 LF DRYWALL PARTITION, INSTALL TILE, NEW ENTRANCE.
06-2805	05/11/2006	Completed	\$2,300	Commercial	UPDATE ELECTRIC
06-2815	05/04/2006	Completed	\$5,500	Commercial	INSTALL ONE 3-TON A/C
04-0770	03/17/2004	Completed	\$2,300	Commercial	INSTALL AWNINGS
01-0706	02/08/2001	Completed	\$2,000	Commercial	INSTALL 2 GANG METER
00-3315	10/12/2000	Completed	\$9,000	Commercial	35 SQS EPDM
00-3204	10/11/2000	Completed	\$1,000	Commercial	REPAINT BUILDING
00-3205	10/11/2000	Completed	\$3,000	Commercial	REPLACE STOREFRONT WINDOW
00-2979	09/21/2000	Completed	\$6,500	Commercial	REPLACE 4 TON AC
99-3787	11/16/1999	Completed	\$7,000	Commercial	NEW ROOF
99-1609	05/19/1999	Completed	\$3,300	Commercial	FABRICATE NEW AWNINGS
98-4005	12/29/1998	Completed	\$2,550	Commercial	PAINT EXTERIOR
96-3493	08/01/1996	Completed	\$1	Commercial	ROOFING
96-2949	07/01/1996	Completed	\$1,000	Commercial	REPAIRS
P95-4034	11/01/1995	Completed	\$900	Commercial	INSTALL SEWER LINE
B93-0497	02/01/1993	Completed	\$4,500	Commercial	ALTERATIONS

## View Tax Info

[View Taxes for this Parcel](#)

## Sketches (click to enlarge)



Photos



## Map



## TRIM Notice

[2024 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#) | [GDPR Privacy Notice](#)  
Last Data Upload: 2/8/2025, 1:25:25 AM

[Contact Us](#)

Developed by  
 **SCHNEIDER**  
GEOSPATIAL



# **AUTHORIZATION FORM**



**City of Key West  
Planning Department**

**Authorization Form**  
*(Where Owner is a Business Entity)*

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Lee H. Dunn as  
*Please Print Name of person with authority to execute documents on behalf of entity*

President of Lee H. Dunn, Inc.  
*Name of office (President, Managing Member) Name of owner from deed*

authorize The Montessori Children's School of Key West, Inc.; Trepanier & Associates, Inc.; Richard M. Klitenick, PA.; Evan Haskell, Board President  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

Lee H. Dunn  
*Signature of person with authority to execute documents on behalf of entity owner*

Subscribed and sworn to (or affirmed) before me on this 2/27/2025  
*Date*

by LEE H. DUNN  
*Name of person with authority to execute documents on behalf of entity owner*

He/She is personally known to me or has presented MA ID 566149994 EX - 5/28 as identification.

Brianne K. Snyder  
*Notary's Signature and Seal*

Brianne K. Snyder  
*Name of Acknowledger typed, printed or stamped*

Commission Number, if any



**BRIENNE K. SNYDER**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
July 26, 2030

**VERIFICATION  
FORM**

Montesari



**City of Key West  
Planning Department  
Verification Form**  
(Where Applicant is an entity)

I, Owen Trepanier, in my capacity as President  
(print name) (print position; president, managing member)  
of Trepanier & Associates, Inc.  
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1023, 1025 White Street, 1203 Virginia Street

*Street address of subject property*

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

A handwritten signature in black ink, appearing to read "Owen Trepanier", is written over a horizontal line.

*Signature of Applicant*

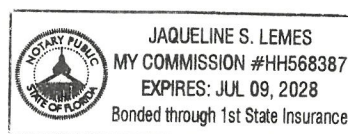
Subscribed and sworn to (or affirmed) before me on this March 12, 2025 by  
date

Owen Trepanier  
*Name of Applicant*

He/She is personally known to me or has presented as identification.

A handwritten signature in black ink, appearing to read "Jaqueline S. Lemes", is written over a horizontal line.  
*Notary's Signature and Seal*

Jaqueline S. Lemes  
*Name of Acknowledger typed, printed or stamped*



*Commission Number, if any*

# **SUNBIZ INFORMATION**





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Foreign Profit Corporation

LEE H. DUNN, INC.

### Filing Information

**Document Number** F00000004607

**FEI/EIN Number** 04-2707062

**Date Filed** 08/10/2000

**State** MA

**Status** ACTIVE

### Principal Address

74 MILLBROOK RD  
NANTUCKET, MA 02554

### Mailing Address

BOX 1846  
NANTUCKET, MA 02554

Changed: 10/31/2001

### Registered Agent Name & Address

DUNN, LEE  
701 FLORIDA ST  
KEY WEST, FL 33040

Name Changed: 01/18/2005

Address Changed: 01/18/2005

### Officer/Director Detail

#### **Name & Address**

Title PSTD

DUNN, LEE H  
74 MILLBROOK RD  
NANTUCKET, MA 02554

### Annual Reports

Report Year	Filed Date
2023	01/24/2023

2024 03/23/2024

2025 02/08/2025

**Document Images**

<a href="#">02/08/2025 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/23/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/24/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/24/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/09/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/13/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/02/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/22/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/10/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
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<a href="#">01/08/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/09/2013 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/14/2012 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/04/2011 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/09/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/25/2009 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/10/2008 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/12/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/20/2006 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/18/2005 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/07/2004 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/23/2003 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/24/2002 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">10/31/2001 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">08/10/2000 -- Foreign Profit</a>	<a href="#">View image in PDF format</a>

**DEED**

OCT 12 '00 10:26 FR SPOTTSWOOD SPOTTSWOOD305 292 1982 TO 19784336261

P.02/02

MONROE COUNTY  
OFFICIAL RECORDSFILE #1203299  
BK#1657 PG#2243This Document Prepared By and Return to:  
JOHN M. SPOTTSWOOD, JR., ESQ.  
SPOTTSWOOD, SPOTTSWOOD & SPOTTSWOOD  
500 FLEMING STREET  
KEY WEST, FL 33040RCD Oct 16 2000 11:28AM  
DANNY L KOLHAGE, CLERKDEED DOC STAMPS 0.70  
10/16/2000 FP DEF CLK

Parcel ID Number:

**Warranty Deed**This Indenture, Made this 12<sup>th</sup> day of October, 2000 A.D. Between  
EXCHANGE AUTHORITY, LLP, a Massachusetts limited liability  
partnership, as Trustee of the Dunn Inc. 2000 Exchange Trust  
of the County of MIDDLESEX, State of Massachusetts, grantor, and  
LEE H. DUNN, INC., a Florida corporation,whose address is: 74 Millbrook Road, Nantucket, MA 02554of the County of \_\_\_\_\_, State of Massachusetts, grantee.Witnesseth that the GRANTOR, for and in consideration of the sum of  
-----TEN DOLLARS (\$10)----- DOLLARS.  
and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has  
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,  
lying and being in the County of Monroe State of Florida to wit:**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.****Subject to conditions, limitations, restrictions and easements of  
record and taxes for the year 2000 and subsequent years.**

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

EXCHANGE AUTHORITY, LLP, a Massachusetts limited  
liability partnership, as Trustee of the Dunn Inc.  
2000 Exchange Trust,Nancy E. Nogi  
Printed Name: Nancy E. Nogi  
WitnessEdmund F. Nogi  
Printed Name: Edmund F. Nogi  
WitnessBy: John K. Kimball (Seal)  
JOHN K. KIMBALL  
Managing Partner  
P.O. Address:  
21 HEALD STREET  
PEPPERELL, MA. 01463STATE OF MASSACHUSETTS  
COUNTY OF MIDDLESEXThe foregoing instrument was acknowledged before me this \_\_\_\_\_ day of October, 2000 by  
JOHN K. KIMBALL, Managing Partner of EXCHANGE AUTHORITY, LLP, a  
Massachusetts limited liability partnership, as Trustee of the Dunn  
Inc. 2000 Exchange Trust  
he is personally known to me or he has produced his \_\_\_\_\_ as identificationDebra B. Woolcott  
Printed Name: Debra B. Woolcott  
Notary Public  
My Commission Expires:DEBORA B. WOOLCOTT  
Notary Public  
My Commission Expires June 14, 2007

00-12669-JR

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\*\* TOTAL PAGE.02 \*\*

**Exhibit "A"**  
**Legal Description****FILE #1203299**  
**BK#1657 PG#2244**

On the Island of Key West, Monroe County, Florida and known on William A. Whitehead's Map of said Island delineated in February, A.D. 1829 as part of Tract 14, but better known and described as a part of the Northwest 1/3 of said Tract 14 and is described by metes and bounds as follows: Begin at the intersection of the Easterly right-of-way boundary line of White Street and the Northerly right-of-way boundary line of Virginia Street and thence run Northwesterly along the said right-of-way boundary line of White Street a distance of 61.67 feet to a point; thence perpendicular to White Street in a Northeasterly direction 73.68 feet to a point; thence run parallel with White Street in a Southeasterly direction a distance of 40.17 feet to the face of an existing wooden fence; then perpendicular to White Street in a Northeasterly direction along the said wooden fence a distance of 7.09 feet to a point; thence in a Southeasterly direction with a deflection angle to the right of 71°25'00" a distance of 22.69 feet to a point on the said right-of-way boundary line of Virginia Street; thence in a Southwesterly direction along the said right-of-way boundary line of Virginia Street a distance of 88.00 feet, back to the Point of Beginning.

**MONROE COUNTY**  
**OFFICIAL RECORDS**



# **SURVEY**

BEARING BASE:  
ALL BEARINGS ARE BASED  
ON N 15°00'00"W ASSUMED  
ALONG THE CENTERLINE OF  
WHITE STREET.

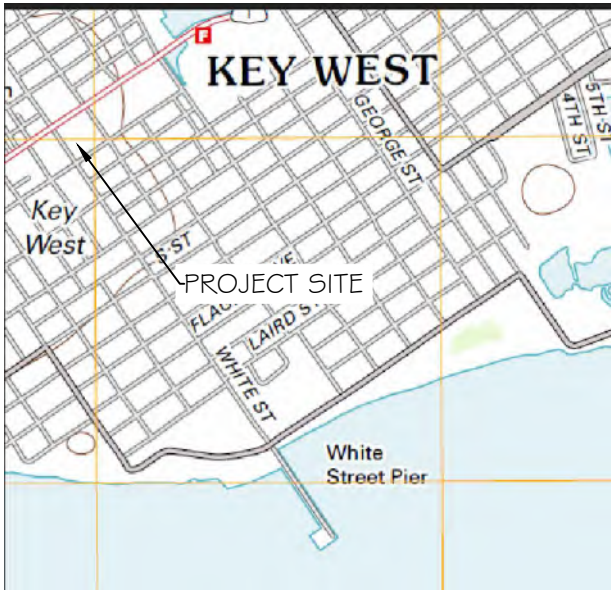
ALL ANGLES DEPICTED  
ARE 90 DEGREES UNLESS  
OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN  
U.S. SURVEY FEET

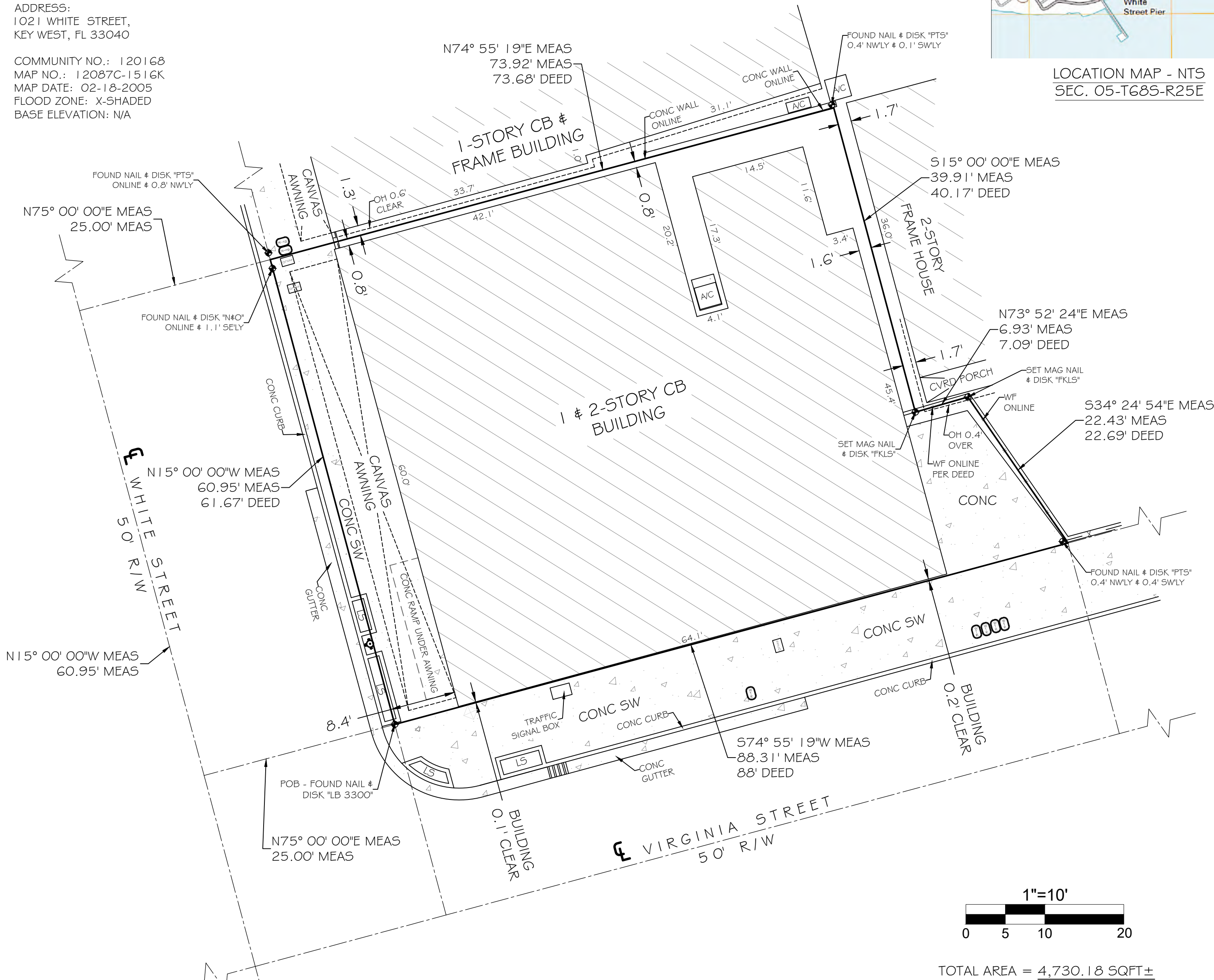
ADDRESS:  
1021 WHITE STREET,  
KEY WEST, FL 33040

COMMUNITY NO.: 120168  
MAP NO.: 12087C-1516K  
MAP DATE: 02-18-2005  
FLOOD ZONE: X-SHADED  
BASE ELEVATION: N/A

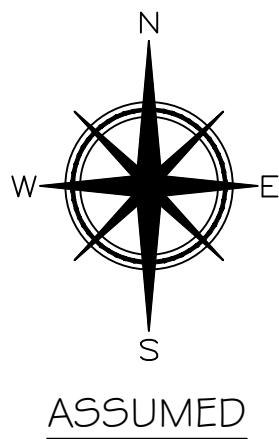
# MAP OF BOUNDARY SURVEY



LOCATION MAP - NTS  
SEC. 05-T685-R25E



TOTAL AREA = 4,730.18 SQFT ±



## LEGEND

- - WATER METER
- - SANITARY SEWER CLEAN OUT
- - MAILBOX
- - WOOD POWER POLE
- - CONCRETE POWER POLE

## NOTES:

- THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.
- THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.

## CERTIFIED TO -

The Montessori Children's School of Key West, Inc.,  
a Florida not-for-profit corporation;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.  
THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

BFP = BACK-FLOW PREVENTER	GYW = GUY WIRE	POC = POINT OF COMMENCEMENT
BO = BLOW-OUT	HB = HOSE BIB	PRC = POINT OF REVERSE CURVE
C 4 G = 2" CONCRETE CURB & GUTTER	IP = IRON PIPE	PRM = PERMANENT REFERENCE MONUMENT
CB = CONCRETE BLOCK	IR = IRON ROD	
CBW = CONCRETE BLOCK WALL	L = ARC LENGTH	PT = POINT OF TANGENT
CL = CENTERLINE	LS = LANDSCAPING	R = RADIUS
CLF = CHAINLINK FENCE	MB = MAILBOX	R/W = RIGHT OF WAY LINE
CM = CONCRETE MONUMENT	MEAS = MEASURED	SSCO = SANITARY SEWER CLEAN-OUT
CONC = CONCRETE	MF = METAL FENCE	SW = SIDE WALK
CPP = CONCRETE POWER POLE	MHWL = MEAN HIGH WATER LINE	TBM = TEMPORARY BENCHMARK
CVRD = COVERED	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)	TOB = TOP OF BANK
DELT = CENTRAL ANGLE	NTS = NOT TO SCALE	TOS = TOP OF SLOPE
DEASE = DRAINAGE EASEMENT	OH = ROOF OVERHANG	TS = TRAFFIC SIGN
EL = ELEVATION	OHV = OVERHEAD WIRES	TYP = TYPICAL
ENCL = ENCLOSURE	PC = POINT OF CURVE	UE = UTILITY EASEMENT
EP = EDGE OF PAVEMENT	PCC = POINT OF COMPOUND CURVE	WD = WOOD DECK
FF = FINISHED FLOOR ELEVATION	PCF = PERMANENT CONTROL POINT	WF = WOOD FENCE
FI = FIRE HYDRANT	PK = PARKER KALON NAIL	WL = WOOD LANDING
FI = FENCE INSIDE	POB = POINT OF BEGINNING	WM = WATER METER
FND = FOUND	PI = POINT OF INTERSECTION	WPP = WOOD POWER POLE
FO = FENCE OUTSIDE		WRACK LINE = LINE OF DEBRIS ON SHORE
FOL = FENCE ON LINE		WV = WATER VALVE

## LEGAL DESCRIPTION -

On the Island of Key West, Monroe County, Florida and known on William A. Whitehead's Map of said Island delineated in February, A.D. 1829 as part of Tract 14, but better known and described as a part of the Northwest  $\frac{1}{3}$  of said Tract 14 and is described by metes and bounds as follows: Begin at the intersection of the Easterly right-of-way boundary line of White Street and the Northerly right-of-way boundary line of Virginia Street and thence run Northwesterly along the said right-of-way boundary line of White Street a distance of 61.67 feet to a point; thence perpendicular to White Street in a Northeasterly direction 73.68 feet to a point; thence run parallel with White Street in a Southeasterly direction a distance of 40.17 feet to the face of an existing wooden fence; thence perpendicular to White Street in a Northeasterly direction along the said wooden fence a distance of 7.09 feet to a point; thence in a Southeasterly direction with a deflection angle to the right of 71°25'00" a distance of 22.69 feet to a point on the said right -of-way boundary line of Virginia Street; thence in a Southwesterly direction along the said right -of-way boundary line of Virginia Street a distance of 88.00 feet, back to the Point of beginning.

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY, THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE: 1"=10'  
FIELD WORK DATE: 02/28/2025  
MAP DATE: 03/04/2025  
REVISION DATE: XXXXXXXX  
SHEET: 1 OF 1  
DRAWN BY: IDG  
JOB NO.: 25-040

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER

SIGNED: ERIC A. ISAACS, F.S.M. #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847



FLORIDA KEYS  
LAND SURVEYING  
21460 OVERSEAS HWY, SUITE 4  
CUDJOE KEY, FL 33042  
PHONE: (305) 394-3690  
FAX: (305) 509-7373  
EMAIL: FKL5email@Gmail.com

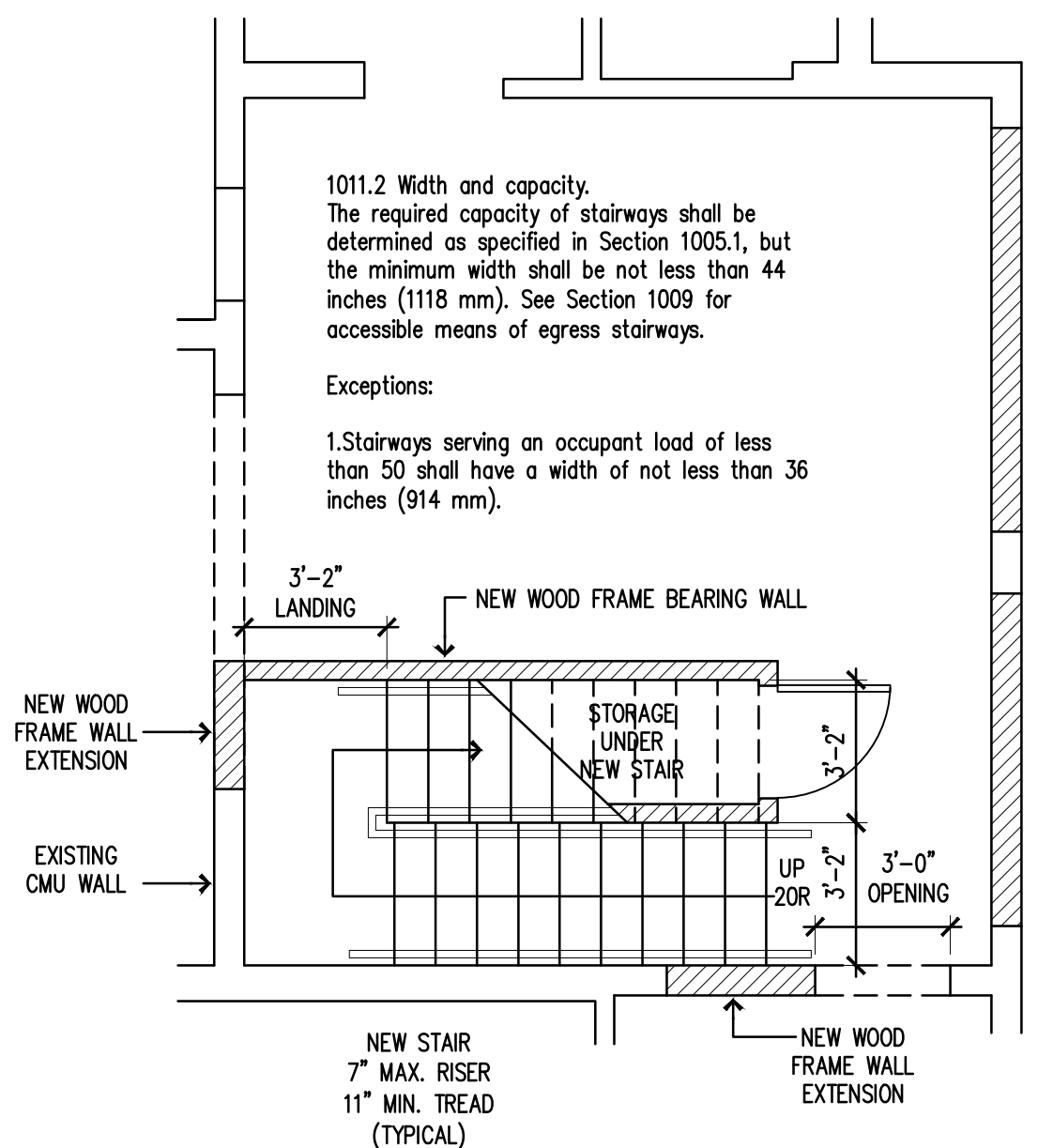
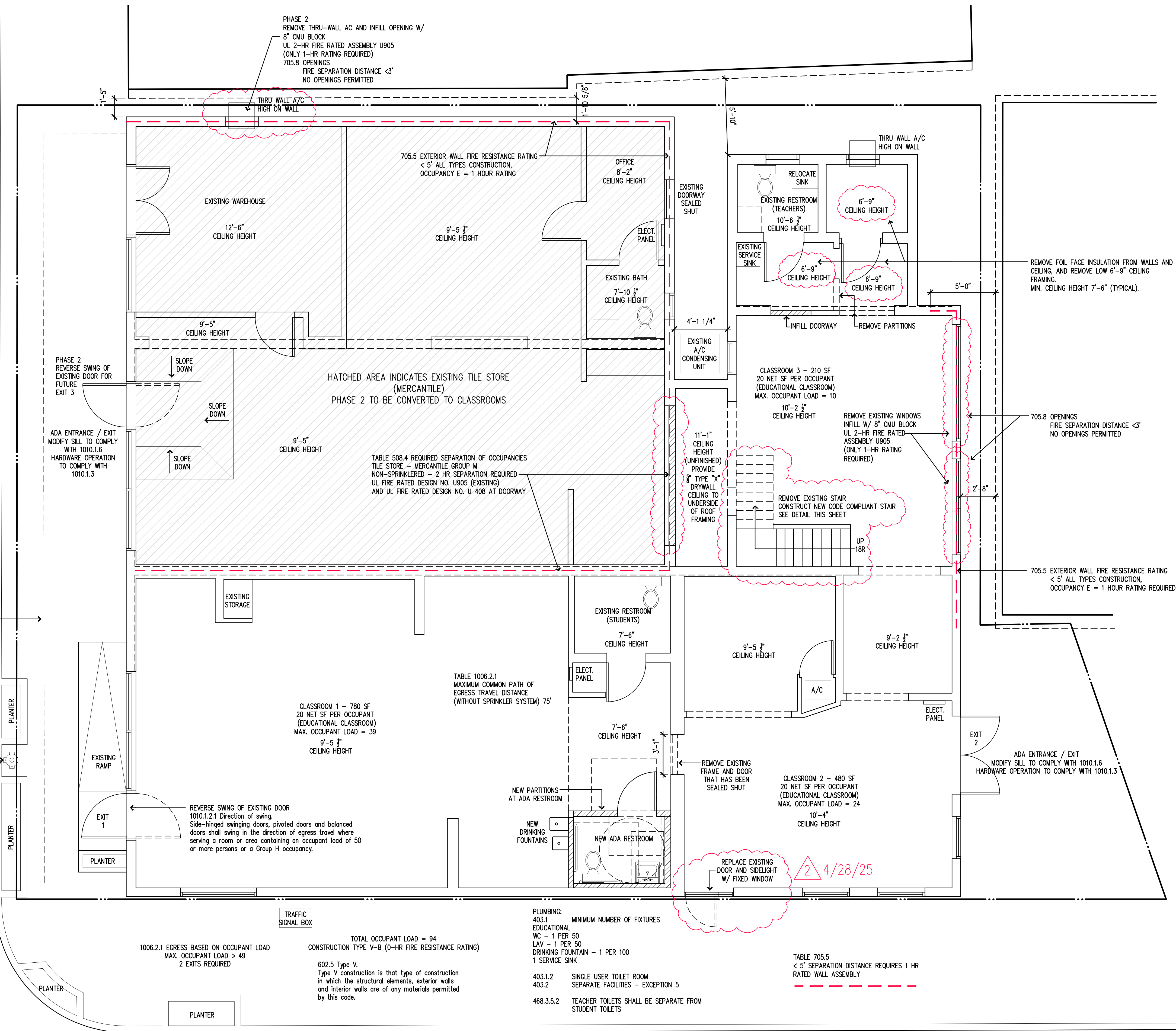
# **SITE PLAN**



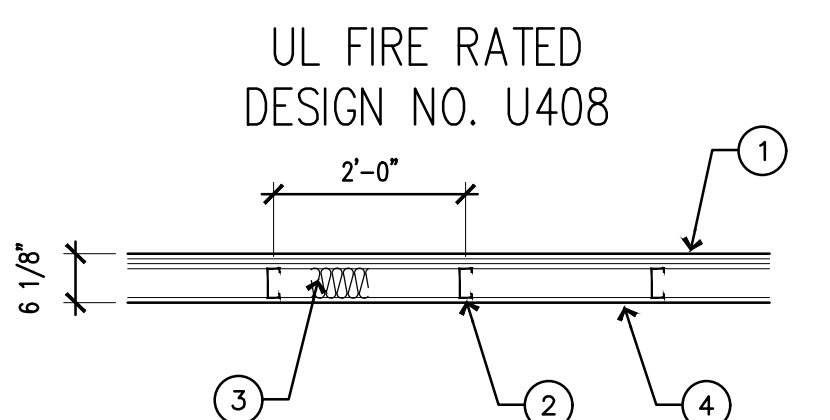
WHITE STREET

OUTLINE OF  
EXISTING  
CANVAS AWNING

FIRE  
HYDRANT

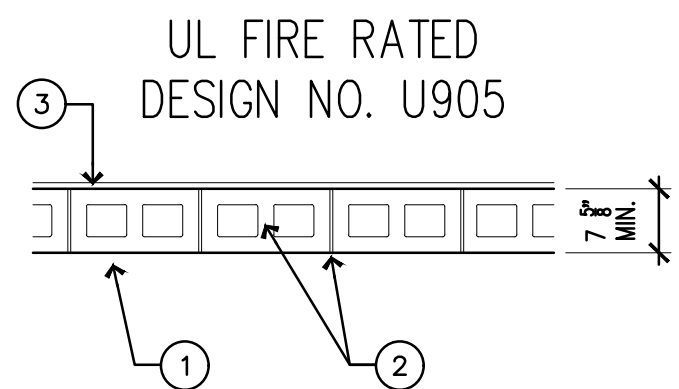


PROPOSED NEW STAIR  
1/4"=1'-0"



NONBEARING WALL RATING - 2 HR.

- THREE LAYERS 5/8" SHEETROCK GYPSUM PANEL (UL TYPE SCX)
- 3-5/8" STEEL STUDS, E020 (0.018"), 24" O.C.
- 3-1/2" FIBERGLASS INSULATION
- ONE LAYER 5/8" SHEETROCK GYPSUM PANEL (UL TYPE SCX)



BEARING / NONBEARING WALL RATING - 2 HR.

- CONCRETE BLOCKS - NOMINAL 6 BY 8 BY 16 IN., HOLLOW OR SOLID.
- CLASSIFICATION D-2 (2 HR)
- MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8" IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME). VERTICAL JOINTS STAGGERED.
- PORTLAND CEMENT STUCCO OR GYPSUM PLASTER - IF USED, ADD 1/2 HOUR TO CLASSIFICATION. ATTACHED TO CONCRETE BLOCKS (ITEM 1).

Montessori Children's School  
1021-1025 White Street  
Key West, Florida 33040

M. Stratton Architecture  
3801 Flagler Ave.  
Key West, Florida 33040  
305.923.9670  
Matthew@MStrattonArchitecture.com

M. Stratton  
ARCHITECTURE

Date 4.14.25

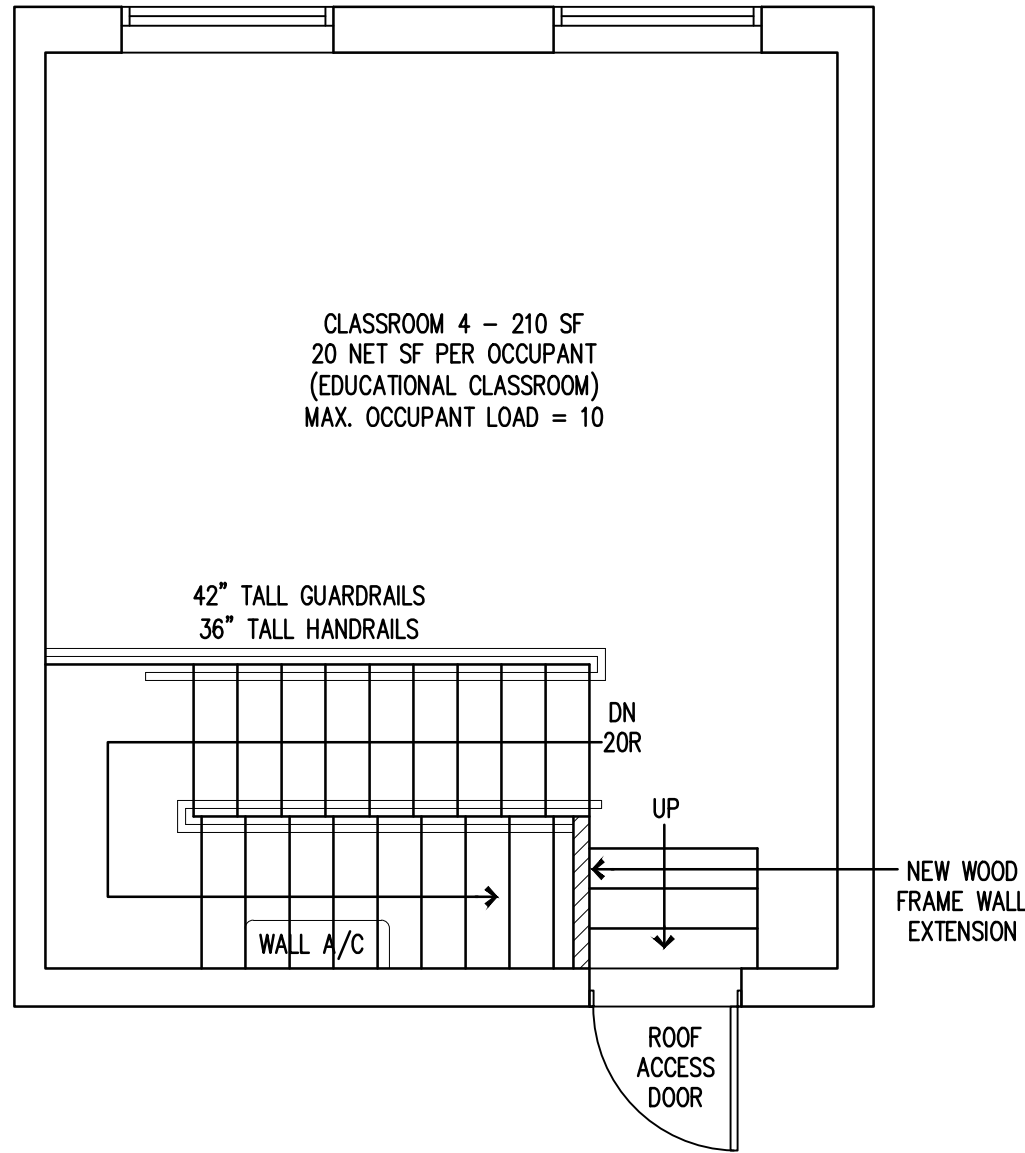
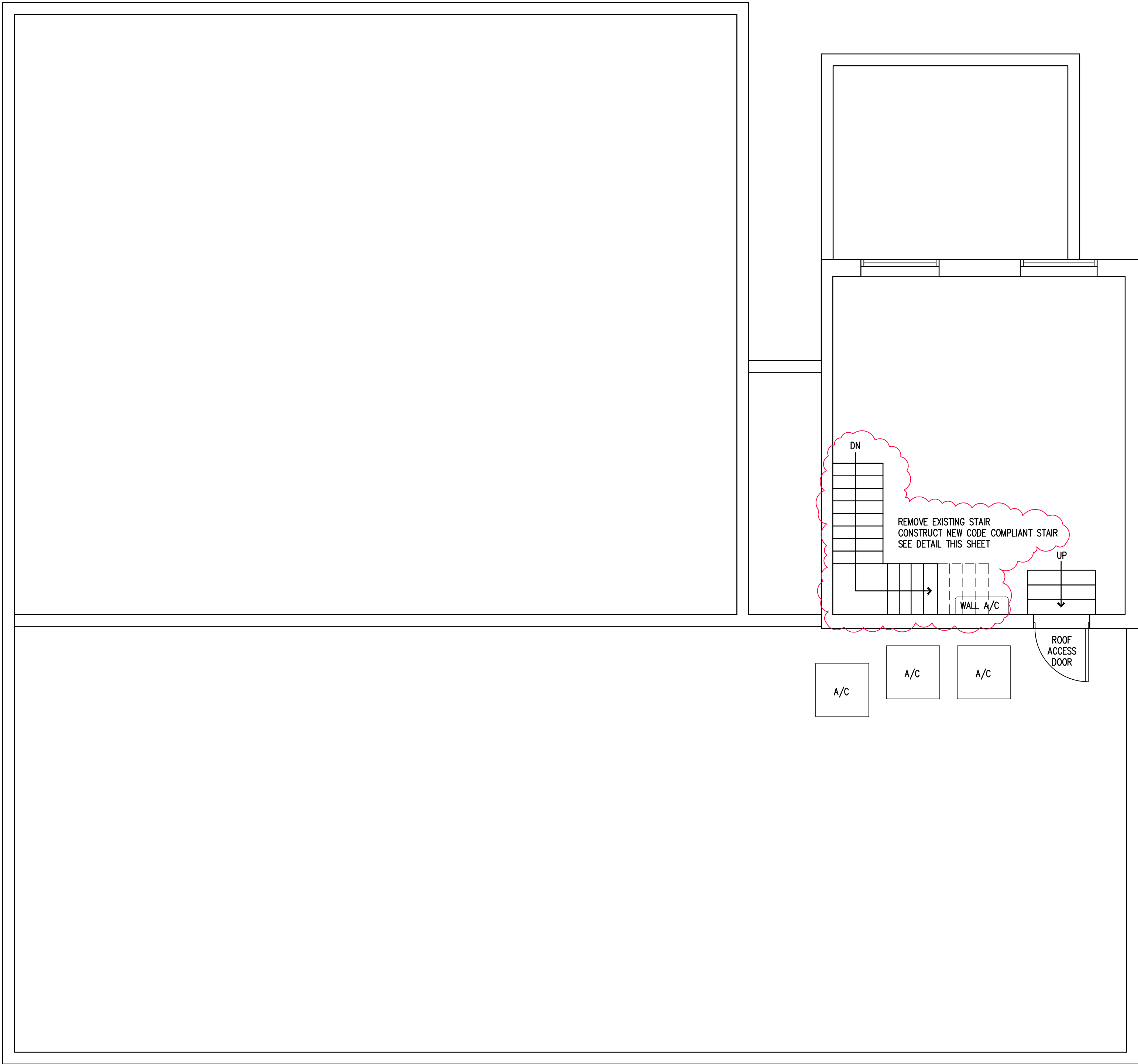
Project #

A-1

VIRGINIA STREET

SITE PLAN / FIRST FLOOR PLAN

1/4"=1'-0"



PROPOSED SECOND FLOOR PLAN  
WITH NEW STAIR CONFIGURATION  
1/4"=1'-0"

**Montessori Children's School**  
**1021-1025 White Street**  
Key West, Florida 33040

M. Stratton Architecture  
3801 Flagler Ave.  
Key West, Florida 33040  
305.923.9670  
Matthew@MStrattonArchitecture.com

*M. Stratton*  
ARCHITECTURE

Date4.14.25

Project #

A-2

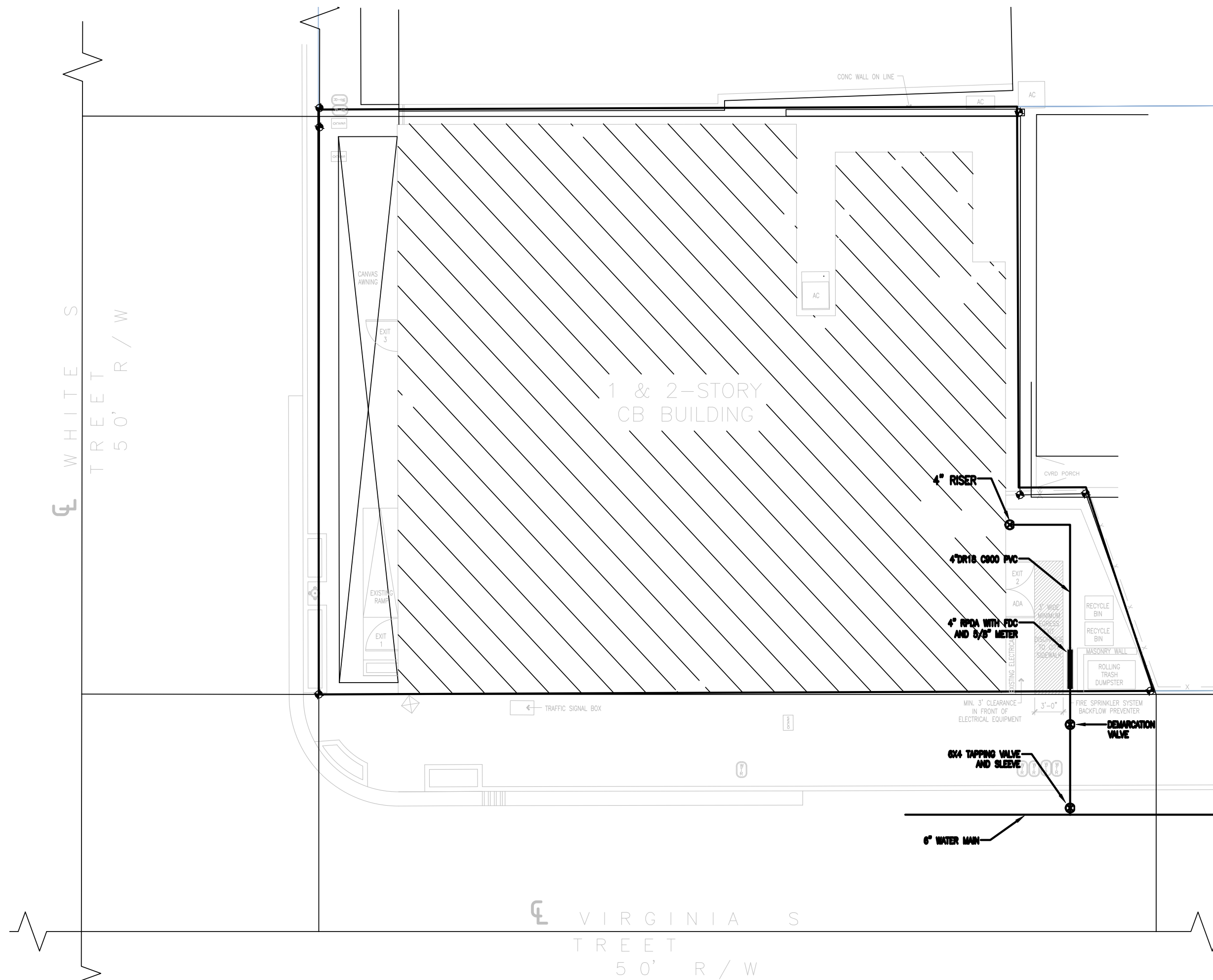


FIRE  
HYDRANT


$$1/4'' = 1' - 0''$$

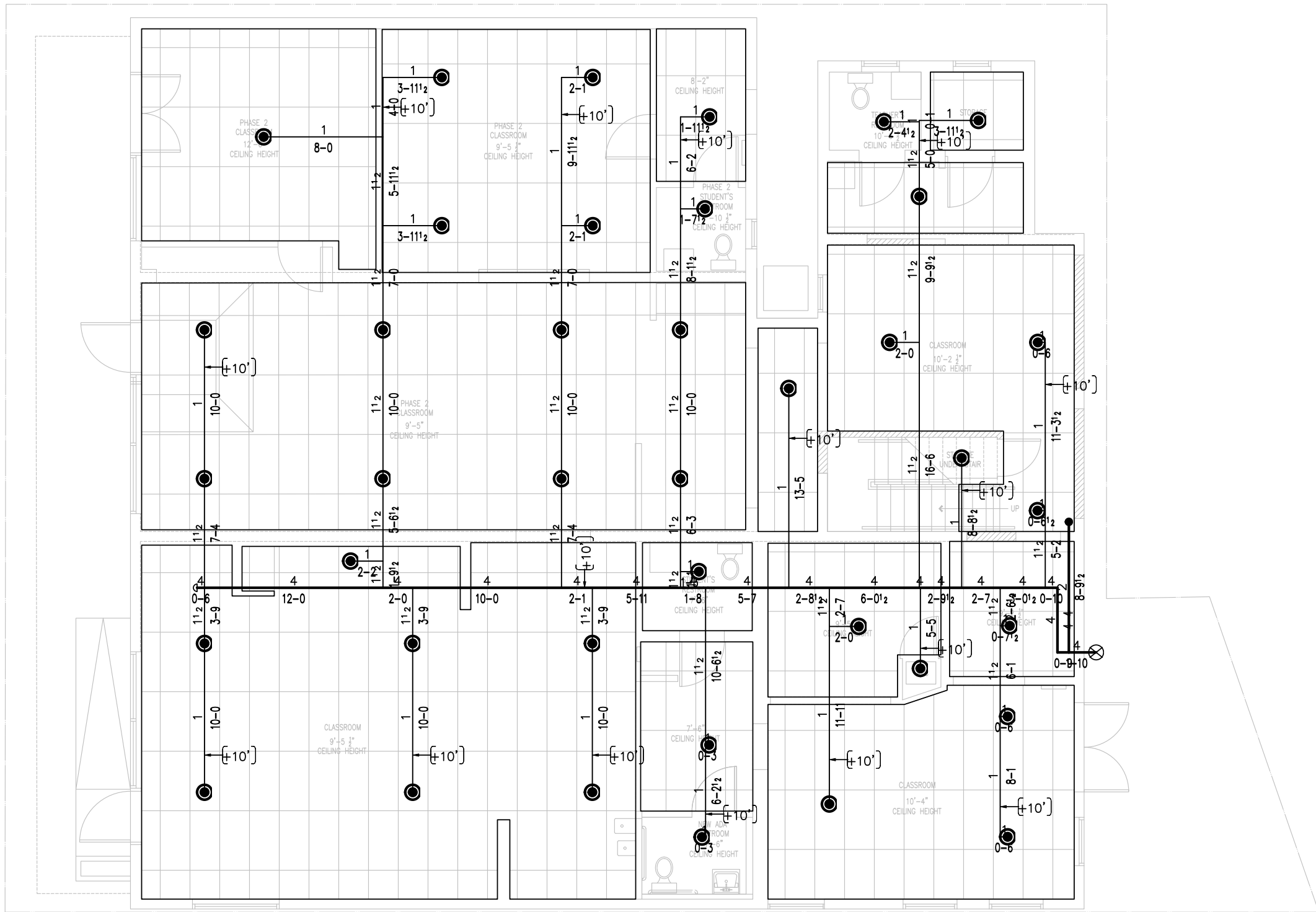
$$\frac{1}{4}'' = 1' - 0''$$

**A-3**



SITE FIRE PROTECTION PLAN

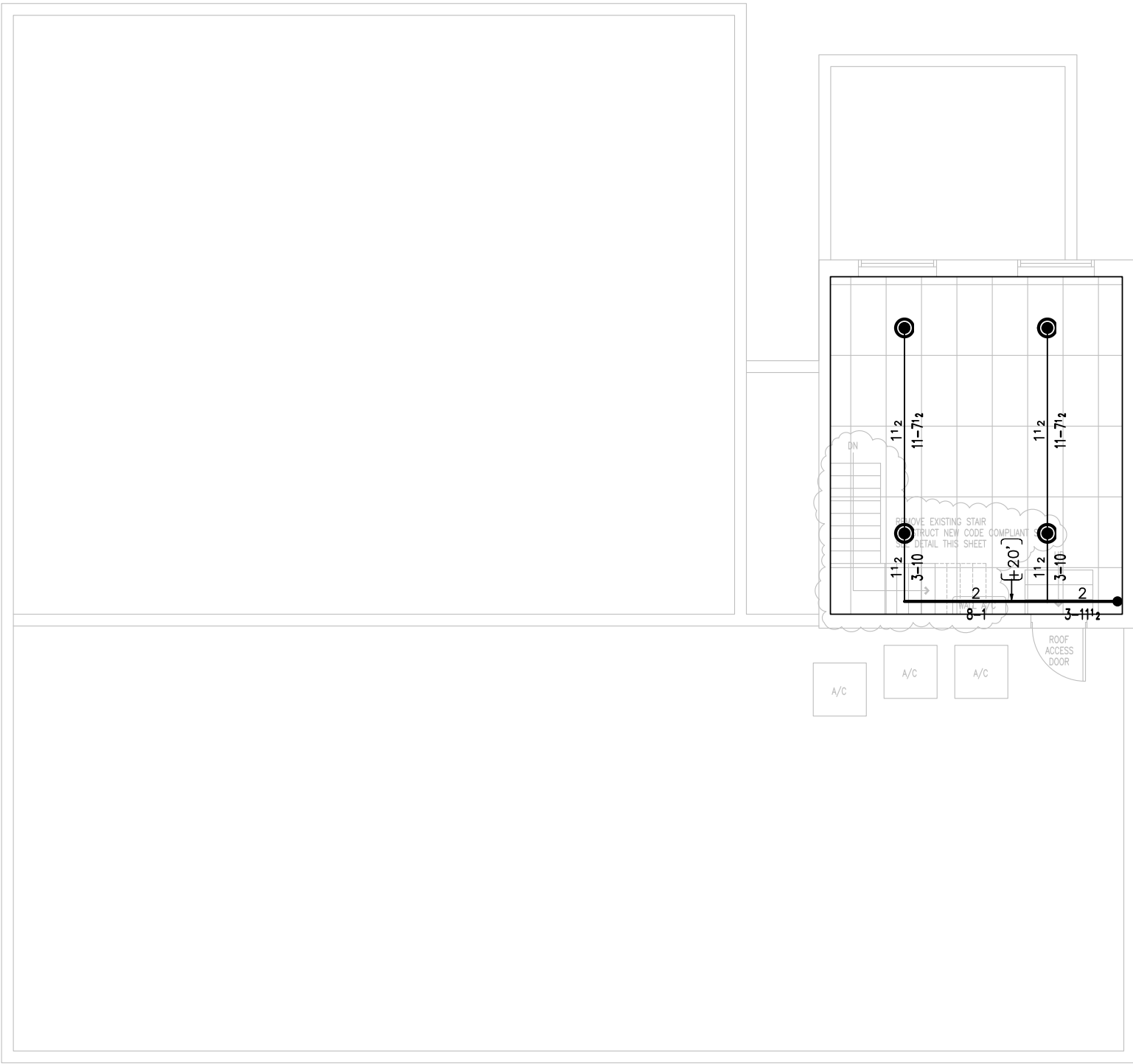
1"=10'



1ST FLR FIRE PROTECTION PLAN

1/8"=1'-0"

SYM	CNT	POSITION	FINISH	TEMP	K	NPT	SIN	MFG.	MODEL#
●	43	PEND	WHITE	155	5.60	1/2"	TY3231	Tyco	TY-FRB



2ND FLR FIRE PROTECTION PLAN

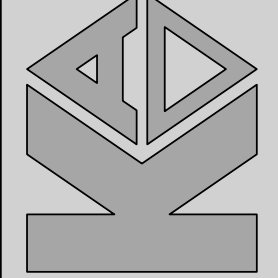
1/8"=1'-0"

Sheet Description:  
FIRE PROTECTION  
PLANS

Sheet No.:

FP1

KAD ENGINEERING  
& CONSULTING, LLC  
14934 SKIPJACK LOOP  
BRADENTON, FL 34202  
PHONE: (941) 545-6407



THIS ITEM HAS BEEN DIGITALLY SIGNED & SEALED BY KENNETH A. GONCALVES, P.E. 61865 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE UNRELIABLE. AUTHENTICATION CODE MUST BE DERIVED ON ANY ELECTRONIC COPIES.

GARY'S PLUMBING & FIRE INC  
6409 2ND TERRACE WEST SUITE 1  
KEY WEST, FLORIDA 33040

GARY'S  
PLUMBING  
& FIRE  
296-6013  
6409 2nd Terr.

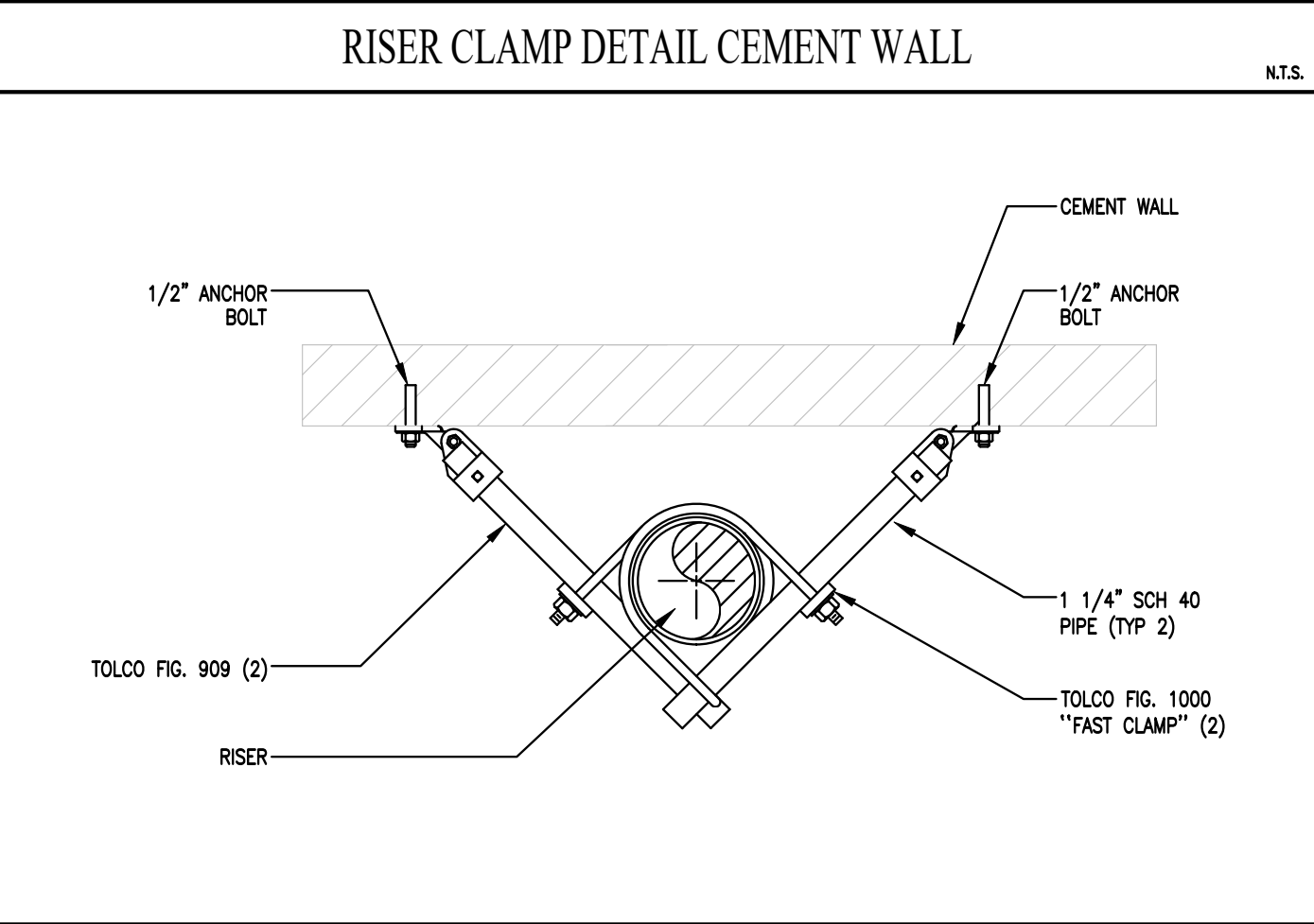
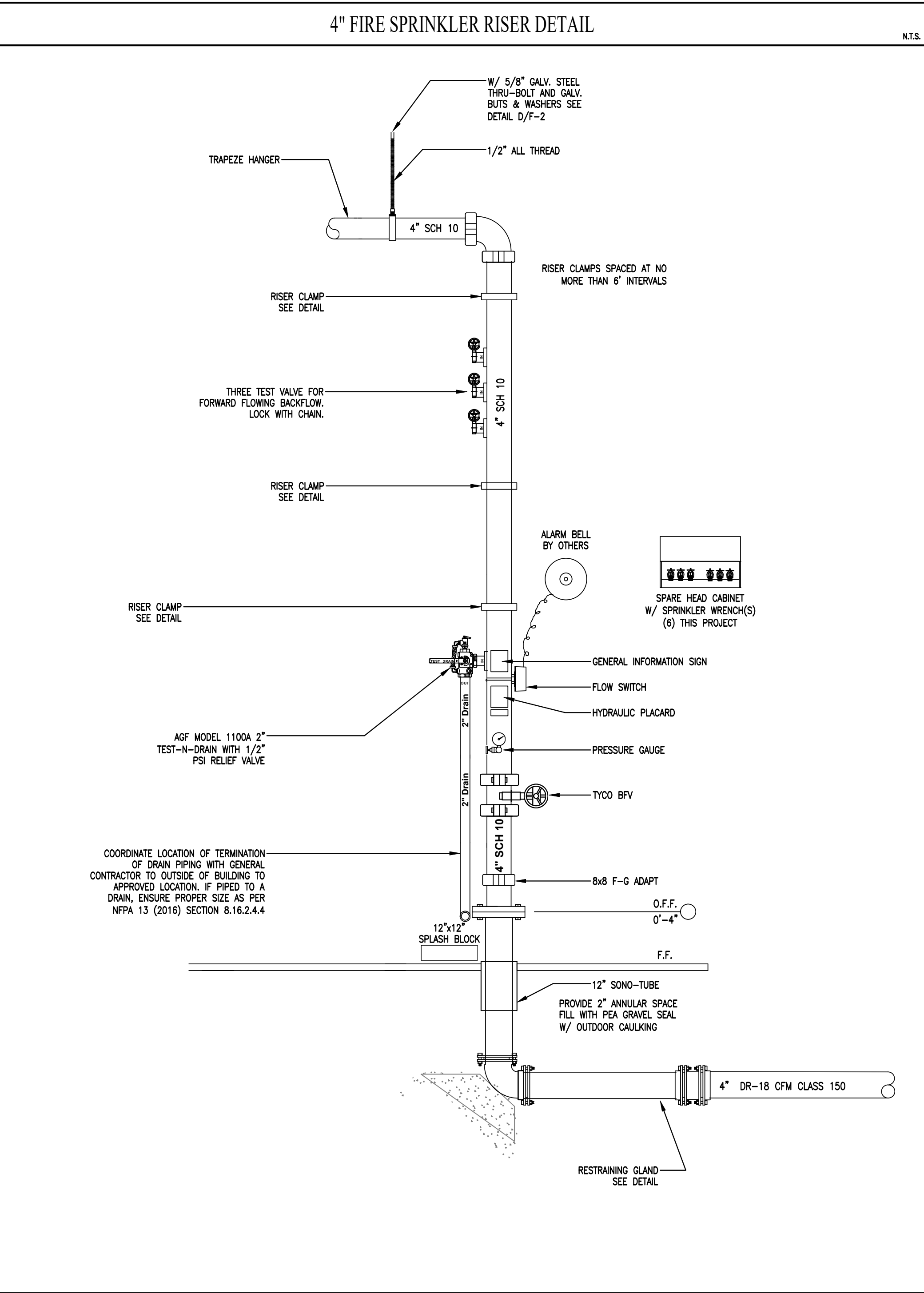
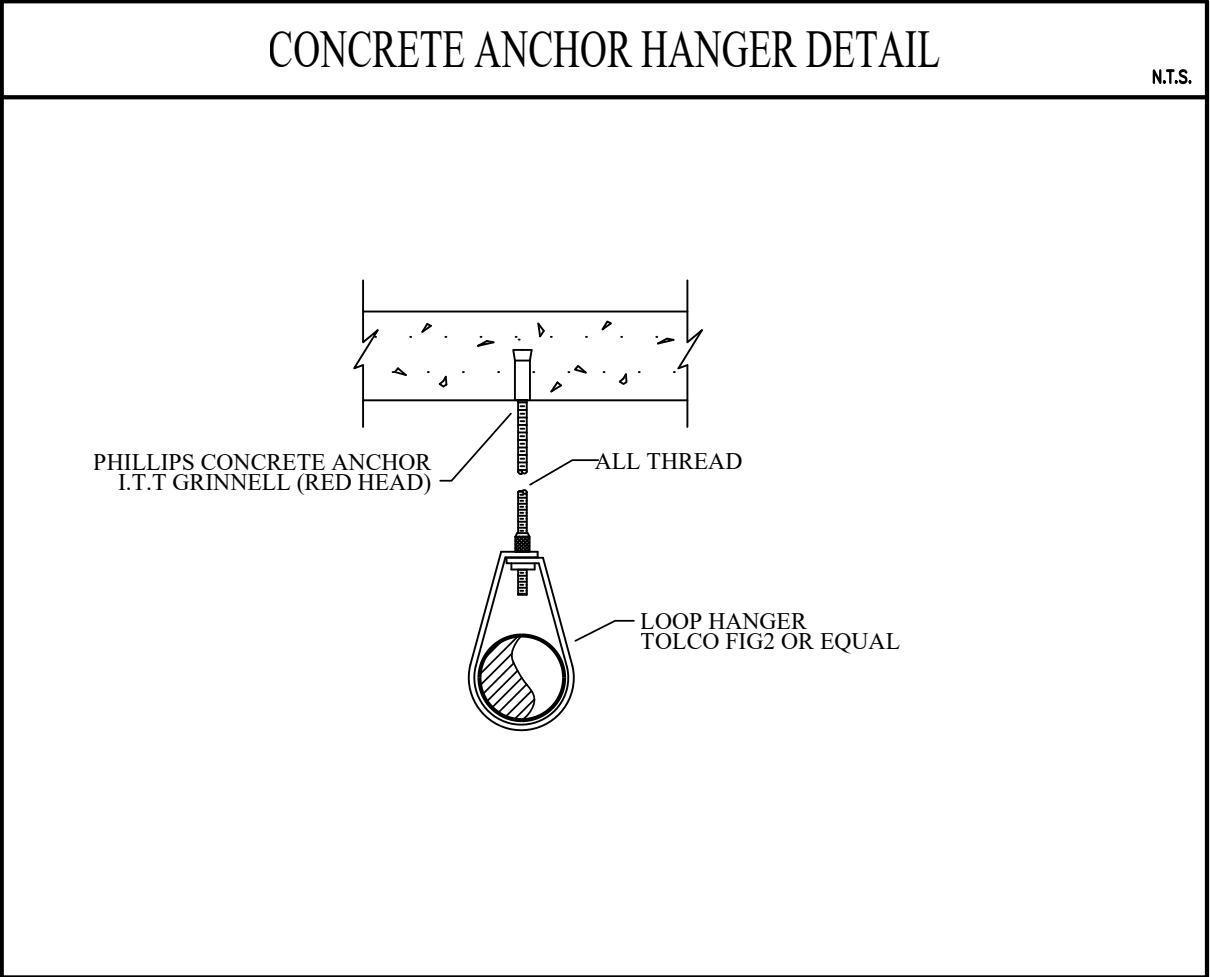
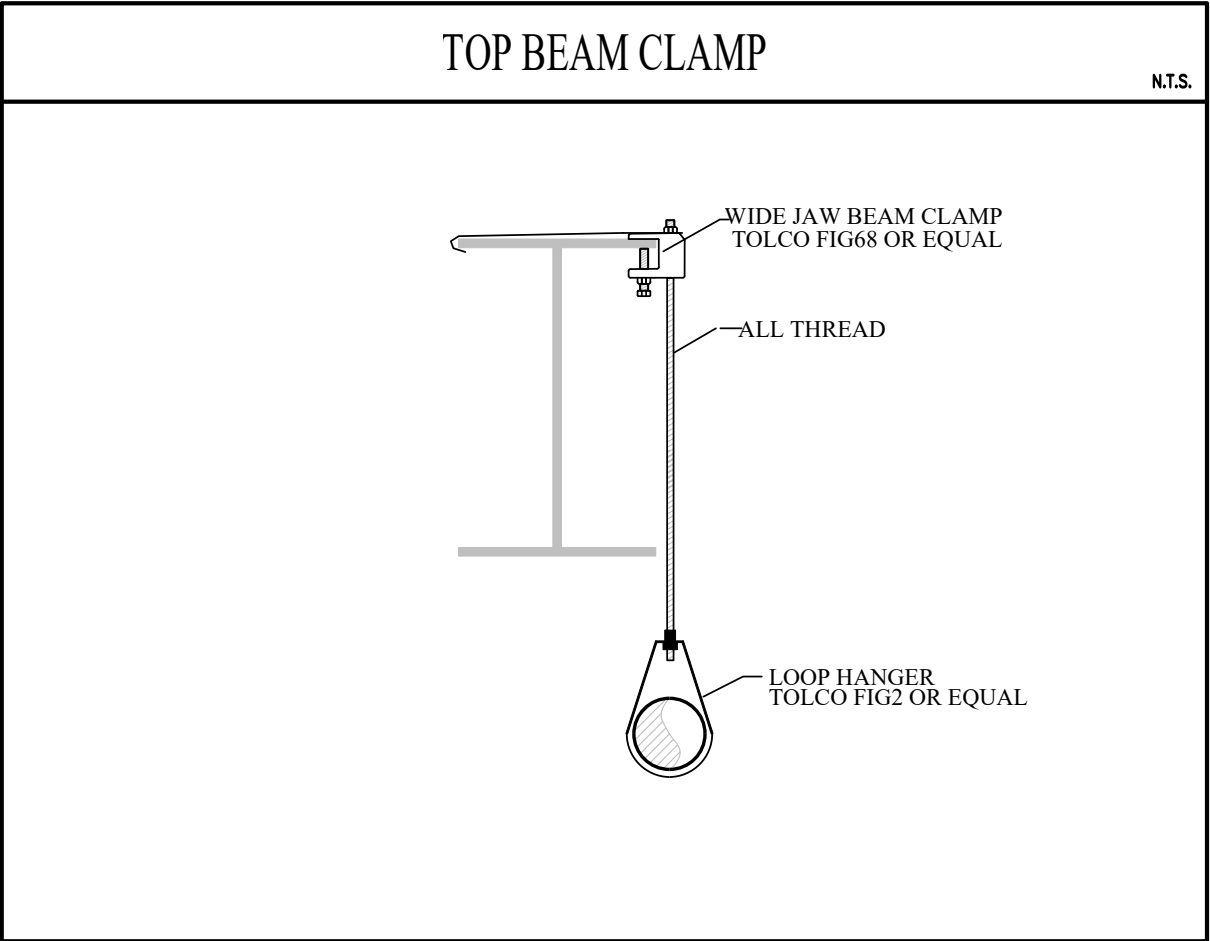
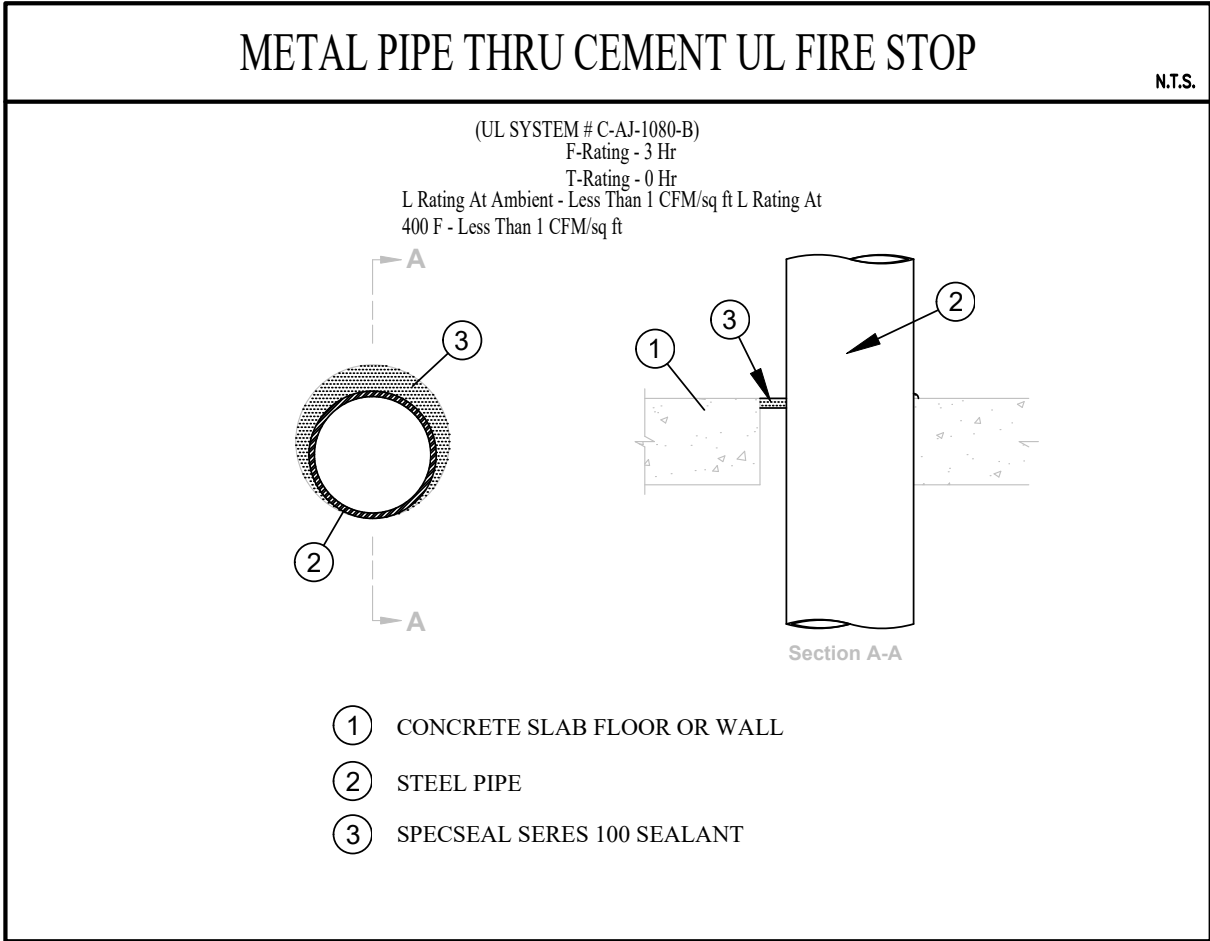
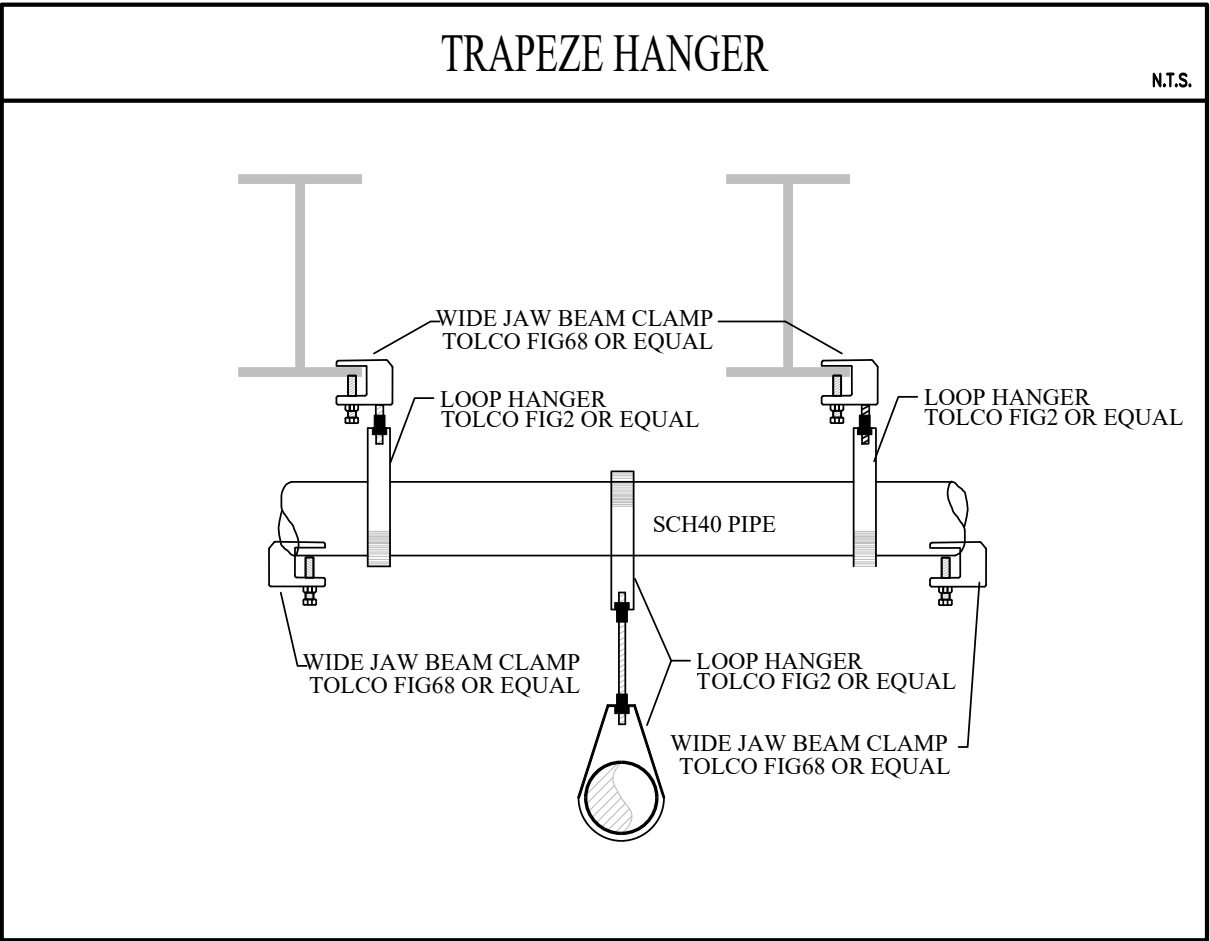
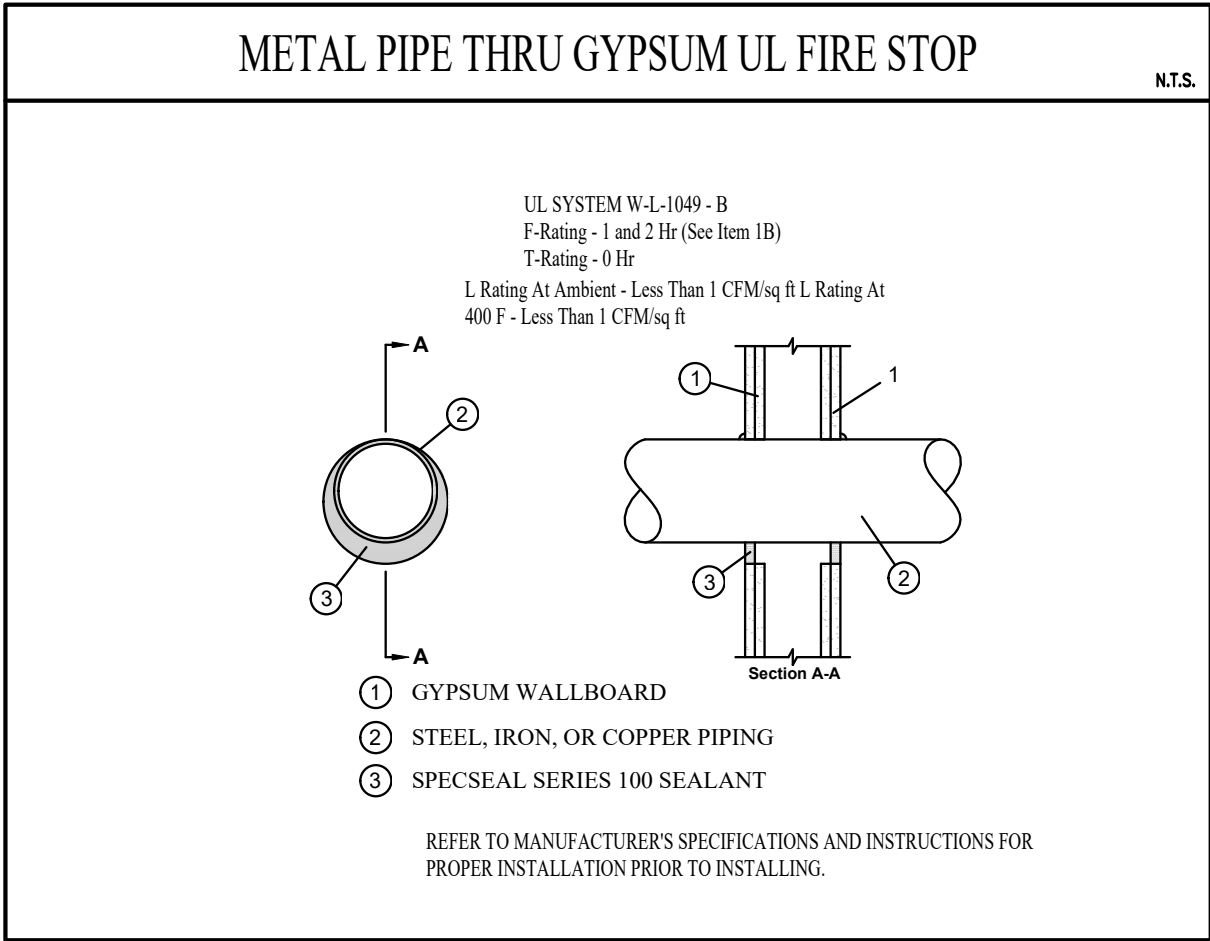
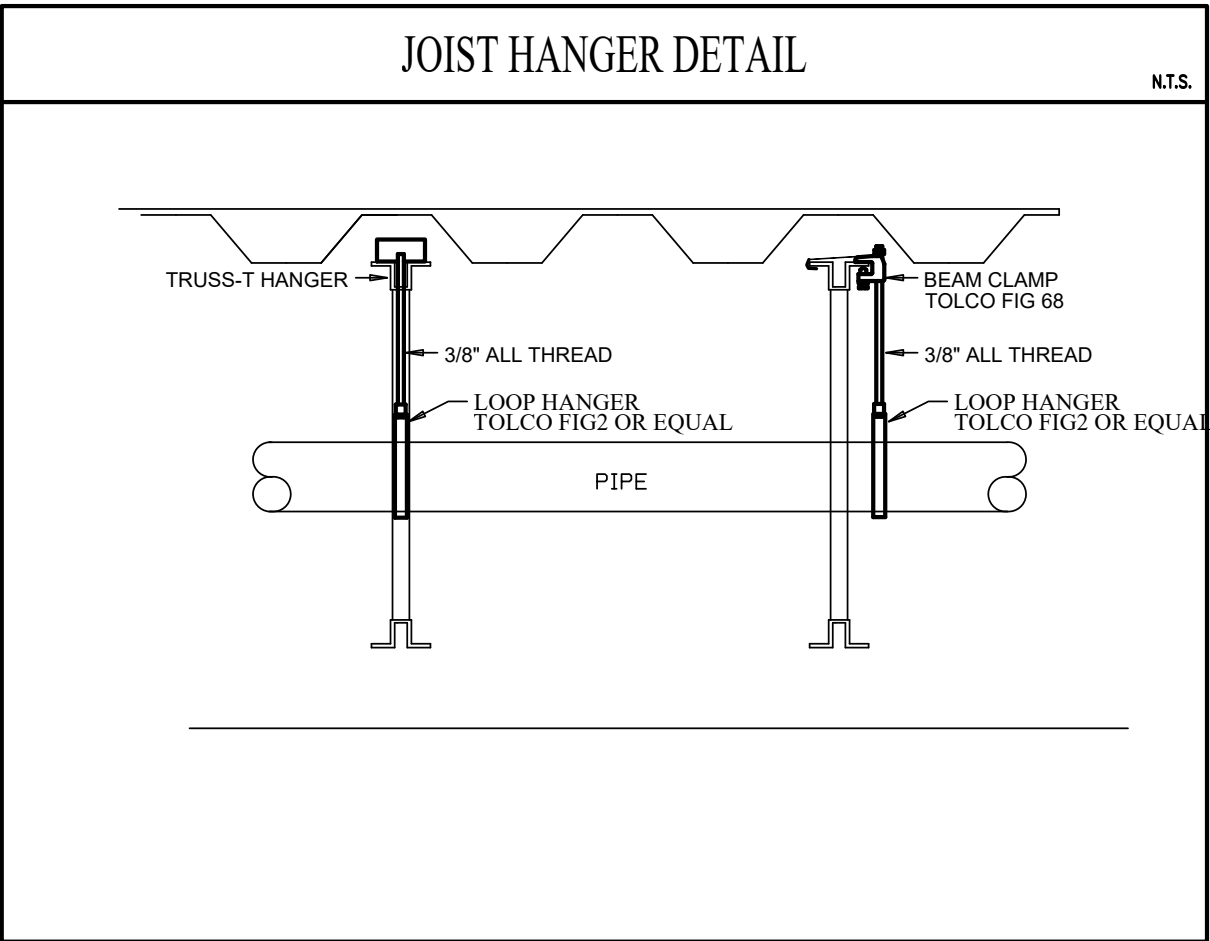
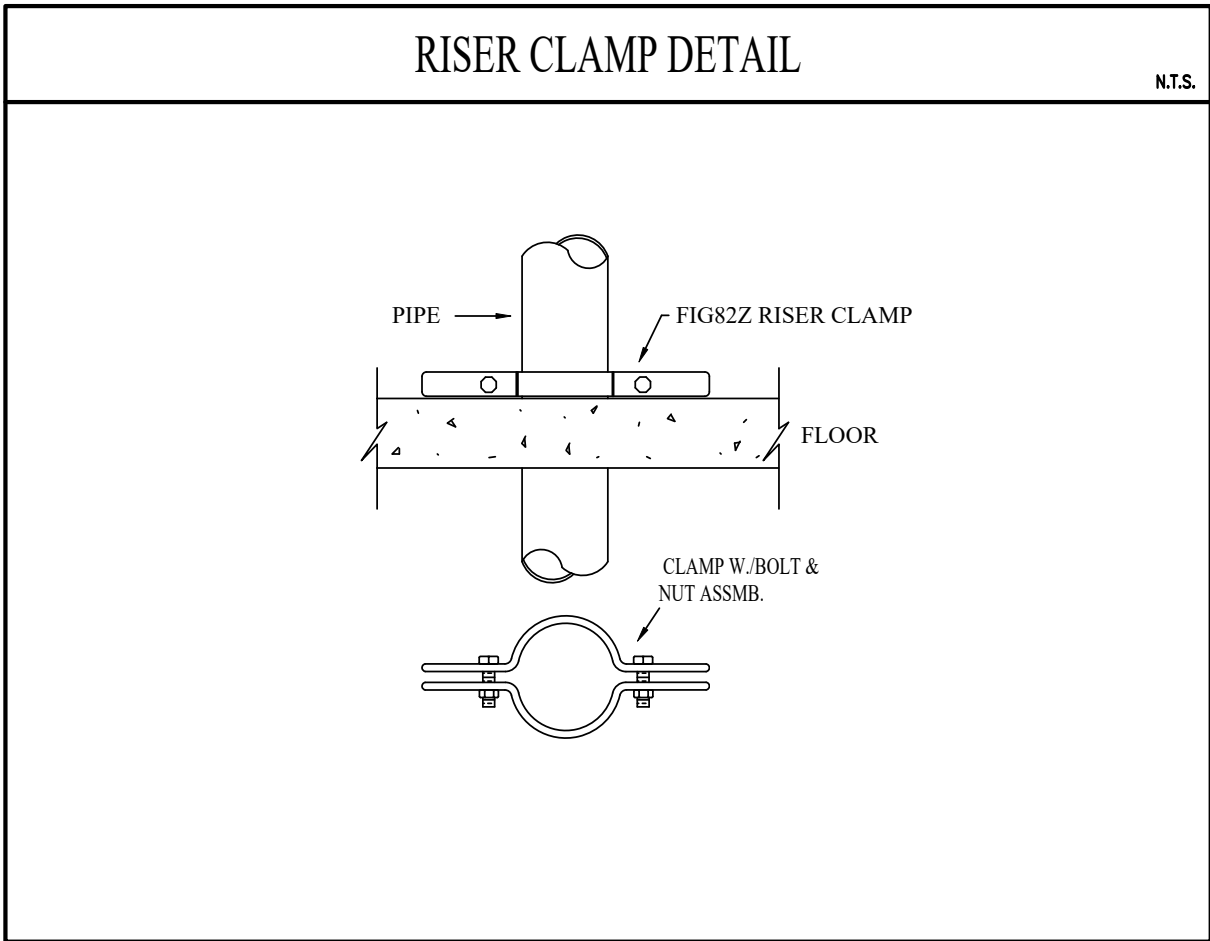
Montessori School  
1021 White St  
Key West, Florida

PERMIT  
SET  
DWN BY: KAG  
SCALE: AS NOTED  
DATE: 05/09/25  
DWG: KAG



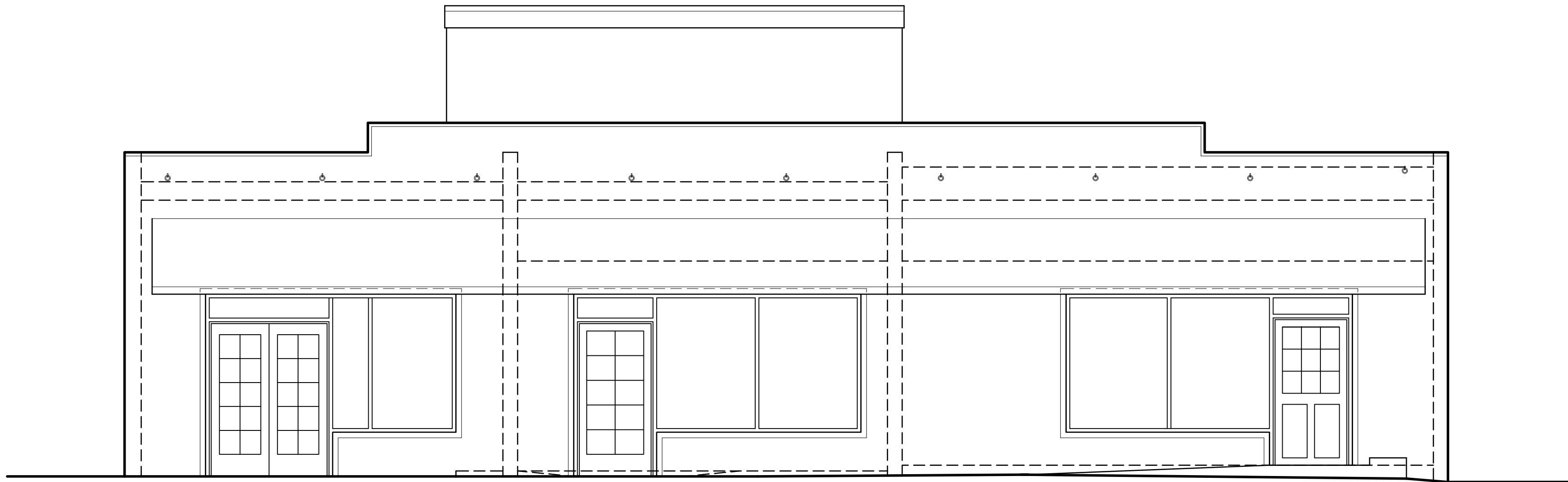






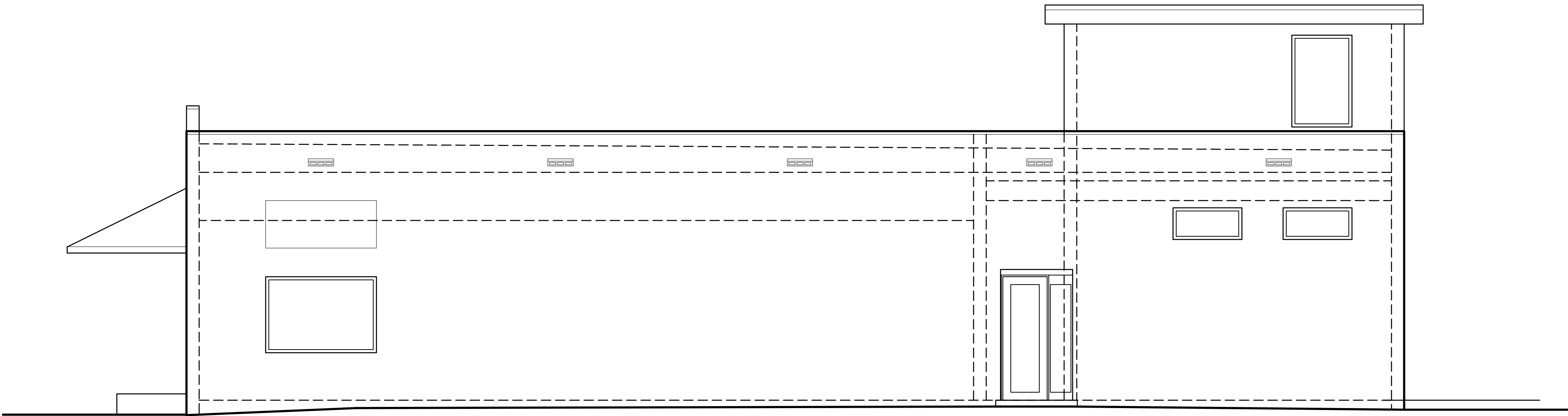
FIRE PROTECTION NOTES & SPECIFICATIONS			
GENERAL			
<p>1. REQUIREMENTS FOR WATER BASED FIRE PROTECTION SYSTEM FOR MONTESSORI SCHOOL</p> <p>TYPE OF BUILDING - TYPE IIB CONSTRUCTION CEMENT WALLS WITH NON-COMBUSTIBLE METAL TRUSS ROOF. SEE STRUCTURAL DRAWINGS FOR SPECIFIC CONSTRUCTION LOCATION TYPE &amp; MATERIALS. STRUCTURE SHALL BE DETERMINED BY STRUCTURAL ENGINEER PRIOR TO INSTALLING THAT IT IS CAPABLE TO CARRY THE LOAD OF THE SPRINKLER SYSTEM.</p> <p>AREA OF BUILDING - 3800SQFT TWO STORIES WITH MEZZANINE</p> <p>BUILDING OCCUPANCY - BUILDING IS EDUCATIONAL "E".</p> <p>2. SYSTEM DESIGN</p> <p>2.1. SYSTEM TO BE AUTOMATIC WET PIPE SPRINKLER SYSTEM</p> <p>2.2. MINIMUM REQUIREMENTS PER 61G15 SEE ENGINEER OF RECORD'S PLANS</p> <p>2.2.1. POINT OF SERVICE IS WHERE THE FIRE SEPARATES FROM THE DOMESTIC WATER SERVICE AS SHOWN ON THE PLAN.</p> <p>2.2.2. SYSTEM SHALL BE DESIGNED TO CONFORM WITH NFPA 13 (2019) &amp; NFPA 24 (2016).</p> <p>2.2.3. EDUCATIONAL OCCUPANCY LIGHT HAZARD 0.10 GPM/SQFT. STORAGE AND MECHANICAL ROOMS SHALL BE ORDINARY I HAZARD 0.15 GPM/SQFT.</p> <p>2.2.4. WET SYSTEM, 0.10GPM/SQFT MAX SPACING 225SQFT SEE HEAD LEGEND FOR TEMP RATINGS.</p> <p>2.2.5. SEE SITE PLAN FOR MAIN LOCATION &amp; SIZE. MAIN WATER SUPPLY IS A CIRCULATING LOOP TYPE SYSTEM. AS THIS IS A PUBLIC MAIN WATER IS A RELIABLE SOURCE.</p> <p>2.2.6. HYDRAULIC DATA - 48 PSI STATIC, 41 PSI @ 914 GPM FLOW FROM HYDRANT (SEE SITE PLAN FOR HYDRANT TEST LOCATION), CONTRACTOR TO PROVIDE NEW FLOW TEST</p> <p>2.2.7. SEE RISER DETAIL FOR ALARM REQUIREMENTS. ALARM CONNECTIONS ARE NOT UNDER THE SCOPE OF THIS WORK.</p> <p>2.2.8. MICROBIAL INDUCED CORROSION WILL NOT BE A FACTOR FOR THIS SYSTEM.</p> <p>2.2.9. BACKFLOW PREVENTER IS EXISTING REDUCED PRESSURE BACKFLOW ASSEMBLY</p> <p>2.2.10. SITE PIPING SHOWN FOR INFORMATIONAL PURPOSES AND MINIMUM DESIGN STANDARDS. FINAL COORDINATION WITH CIVIL ENGINEER'S SHALL BE THE RESPONSIBILITY OF THE SITE FIRE PROTECTION CONTRACTOR.</p> <p>2.2.11. A FIRE PUMP IS NOT REQUIRED FOR THIS PROJECT</p> <p>2.2.12. A WATER STORAGE TANK IS NOT REQUIRED FOR THIS PROJECT</p> <p>2.2.13. OWNER SHALL BE PROVIDED BY THE FIRE PROTECTION CONTRACTOR A CERTIFICATE CONCERNING LIMITATIONS ON STORAGE FOR STORAGE AREAS. THIS LETTER SHALL INCLUDE THE TYPES OF MATERIALS THAT CAN BE STORED &amp; AT WHAT HEIGHT. ENGINEER OF RECORD SHALL BE PROVIDED WITH A COPY OF THIS LETTER AT THE COMPLETION OF THE PROJECT &amp; PRIOR TO CO. STORAGE SHALL NOT EXCEED 12' FOR CLASS I-IV COMMODITIES</p> <p>3. N/A</p> <p>4. THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. FIRE SPRINKLER CONTRACTOR TO PROVIDE A COMPLETE SET OF SHOP DRAWINGS INCLUDING ALL HYDRAULIC CALCULATIONS FOR SUBMISSION TO THE EOR.</p> <p>5. SPRINKLER TEMPERATURE RATINGS SHALL BE 155° HEADS FOR CONDITIONED SPACES &amp; 200° FOR NON-CONDITIONED SPACES.</p> <p>6. FIRE SPRINKLER ALARM SYSTEM SHALL BE DESIGNED, INSTALLED &amp; PERMITTED BY OTHERS, &amp; IS NOT IN THE SCOPE OF WORK. FLOW DETECTOR &amp; TAMPER RESISTANT VALVES WILL BE SUPPLIED &amp; INSTALLED BY FIRE SPRINKLER CONTRACTOR &amp; WIRED BY ALARM CONTRACTOR.</p> <p>7. SPRINKLER SYSTEM SHALL BE SINGLE ZONE (SEE RISER DETAIL)</p> <p>8. FIRE SPRINKLER PIPING SHALL BE AS FOLLOWS:</p> <p>8.1. SITE PIPING DR18 C900 PVC FOR PIPING UPSTREAM OF RISER. DR14 C900 FOR FIRE DEPARTMENT CONNECTION LINE</p> <p>8.2. PIPING SHALL BE SCHEDULE 40 FOR PIPING 2" &amp; LESS, &amp; SCH 10 PIPING FOR PIPING GREATER THAN 2". EXTERIOR PIPING SHALL BE GALVANIZED.</p> <p>8.3. NOT USED</p> <p>9. HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13 CHAPTER 6.</p> <p>10. ACCEPTANCE TEST IN ACCORDANCE WITH NFPA 13 (2019) CHAPTER (6).</p>			
SHOP DRAWINGS			
<p>1. DRAWINGS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED TO BE INSTALLED FROM. FIRE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A FULLY COORDINATE SHOP DRAWING WITH ALL OTHER DISCIPLINES. FAILURE TO COORDINATE SHALL NOT RESULT IN A CHANGE ORDER TO THE OWNER.</p> <p>2. FIRE SPRINKLER CONTRACTOR SHALL OBTAIN A NEW FLOW TEST FROM FKAA AND UTILIZE FOR FINAL HYDRAULIC CALCULATIONS.</p> <p>3. FINAL PIPE SIZING AND NUMBER OF HEADS SHALL BE DETERMINED BY THE FIRE SPRINKLER SHOP DRAWINGS.</p>			

PERMIT SET	46	AS NOTED	05/09/25	46
DWN BY:	46	SCALE:	DATE:	DWG:
Montessori School				
6409 2ND TERRACE WEST SUITE 1 KEY WEST, FLORIDA 33040				
GARY'S PLUMBING & FIRE INC 296-6013 6409 2nd Terr.				
THIS ITEM HAS BEEN DIGITALLY SIGNED & SEALED BY KENNETH A. GONZ, P.E. 61855 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE UNRELIABLE. AUTHENTICATION CODE MUST BE DERIVED ON ANY ELECTRONIC COPIES.				
KAD ENGINEERING & CONSULTING, LLC 14934 SKIPJACK LOOP BRADENTON, FL 34202 PHONE: (941) 545-6407				
Sheet Description: FIRE PROTECTION NOTES AND DETAILS				
Sheet No.: FP3				



WEST ELEVATION – FACING WHITE STREET

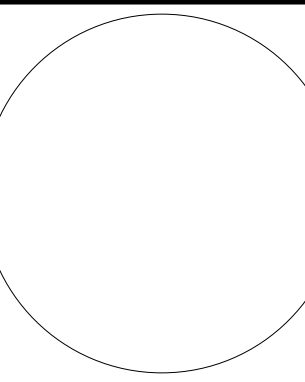
1/4"=1'-0"



SOUTH ELEVATION – FACING VIRGINIA STREET

1/4"=1'-0"

Montessori Children's School  
**1021-1025 White Street**  
Key West, Florida 33040



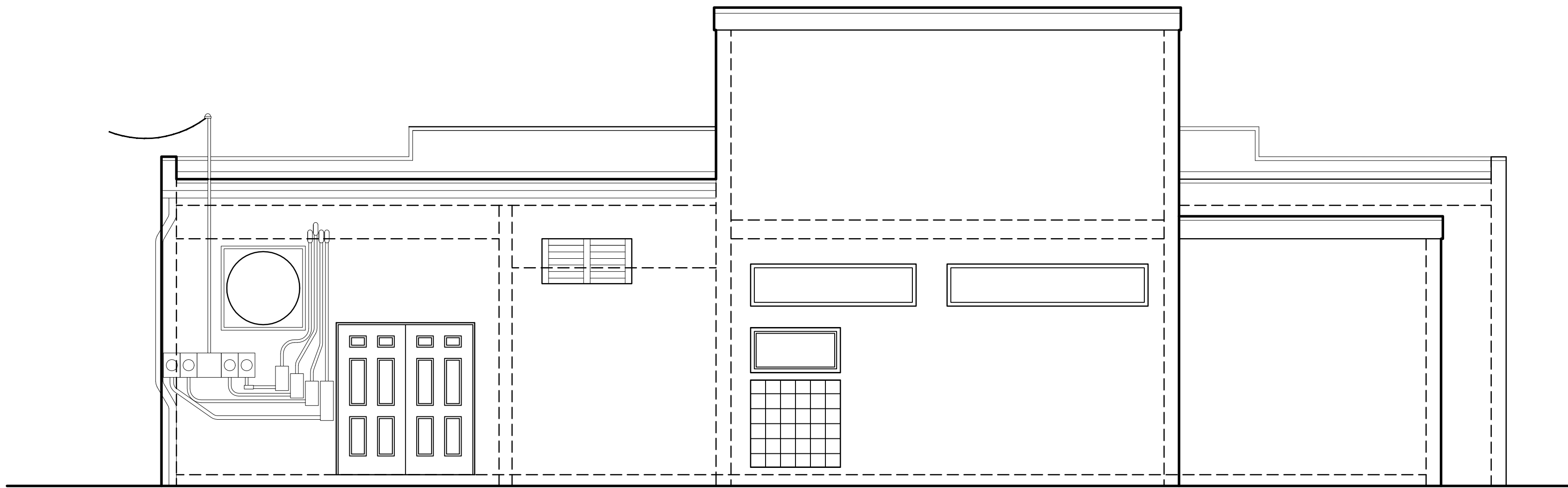
M. Stratton Architecture  
3801 Flagler Ave.  
Key West, Florida 33040  
305.923.9670  
Matthew@MStrattonArchitecture.com



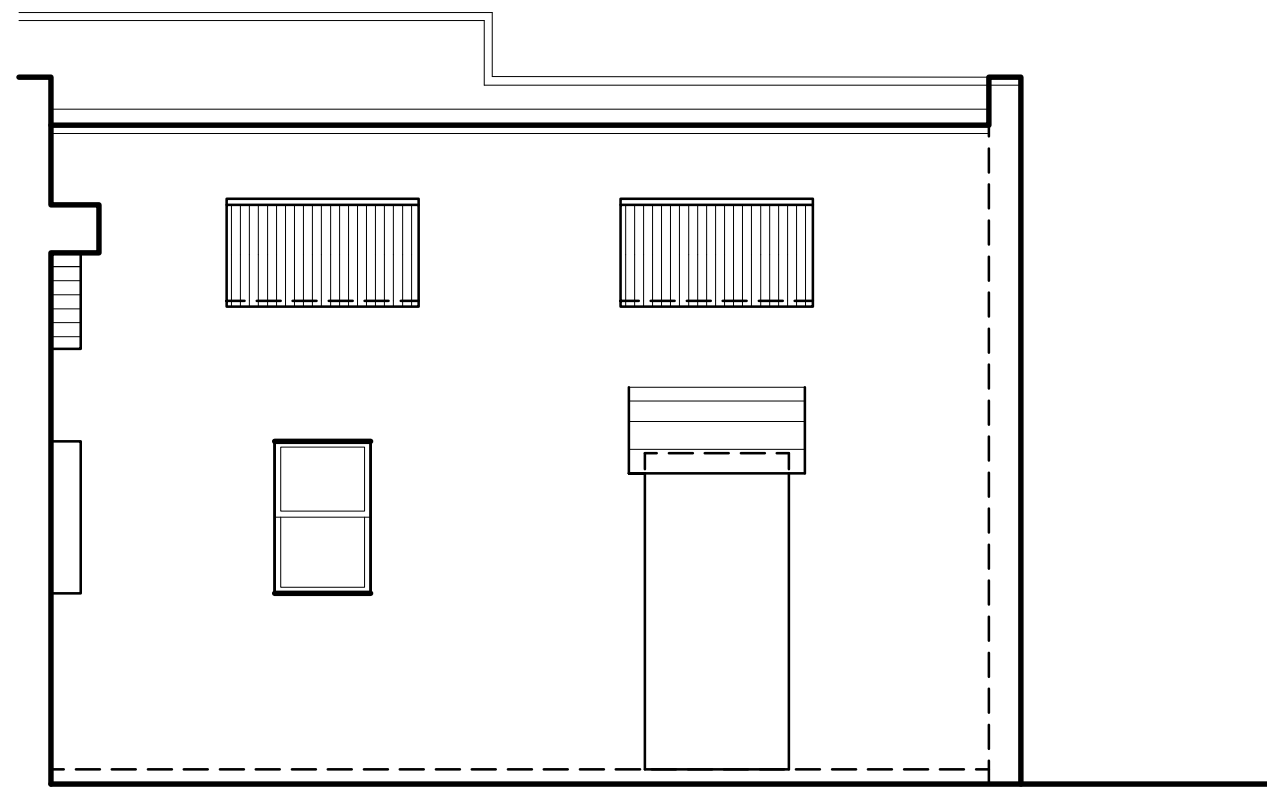
Date 4.14.25

Project #

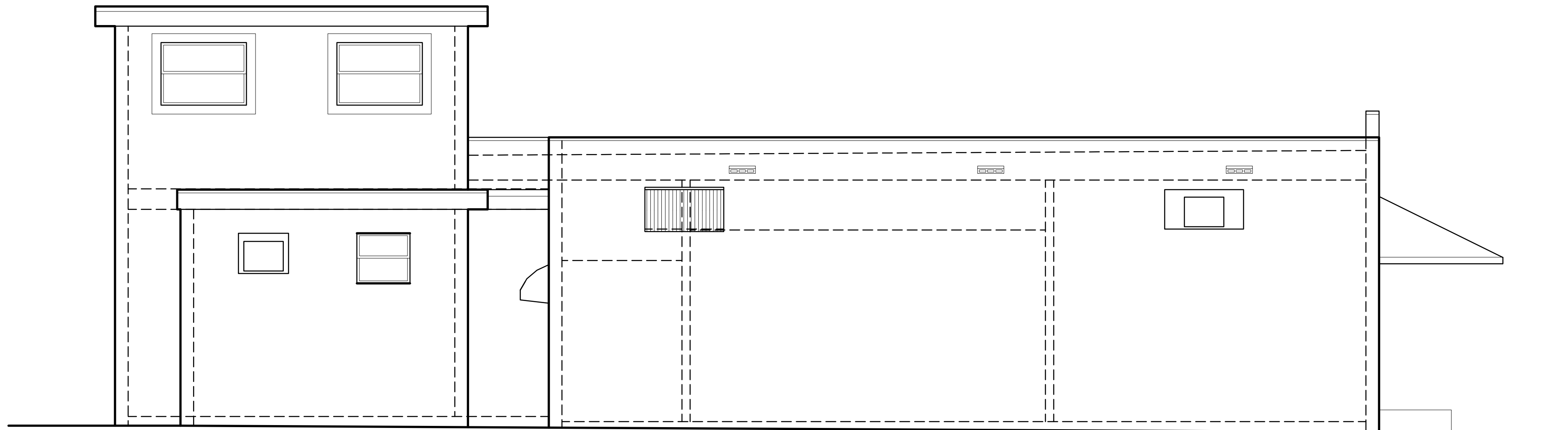
A-4



EAST ELEVATION – REAR  
1/4"=1'-0"



PARTIAL EAST ELEVATION – REAR  
1/4"=1'-0"



NORTH ELEVATION – SIDE FACING ALLEY  
1/4"=1'-0"

Montessori Children's School  
1021-1025 White Street  
Key West, Florida 33040

M. Stratton Architecture  
3801 Flagler Ave.  
Key West, Florida 33040  
305.923.9670  
Matthew@MStrattonArchitecture.com



Date 4.14.25

Project #

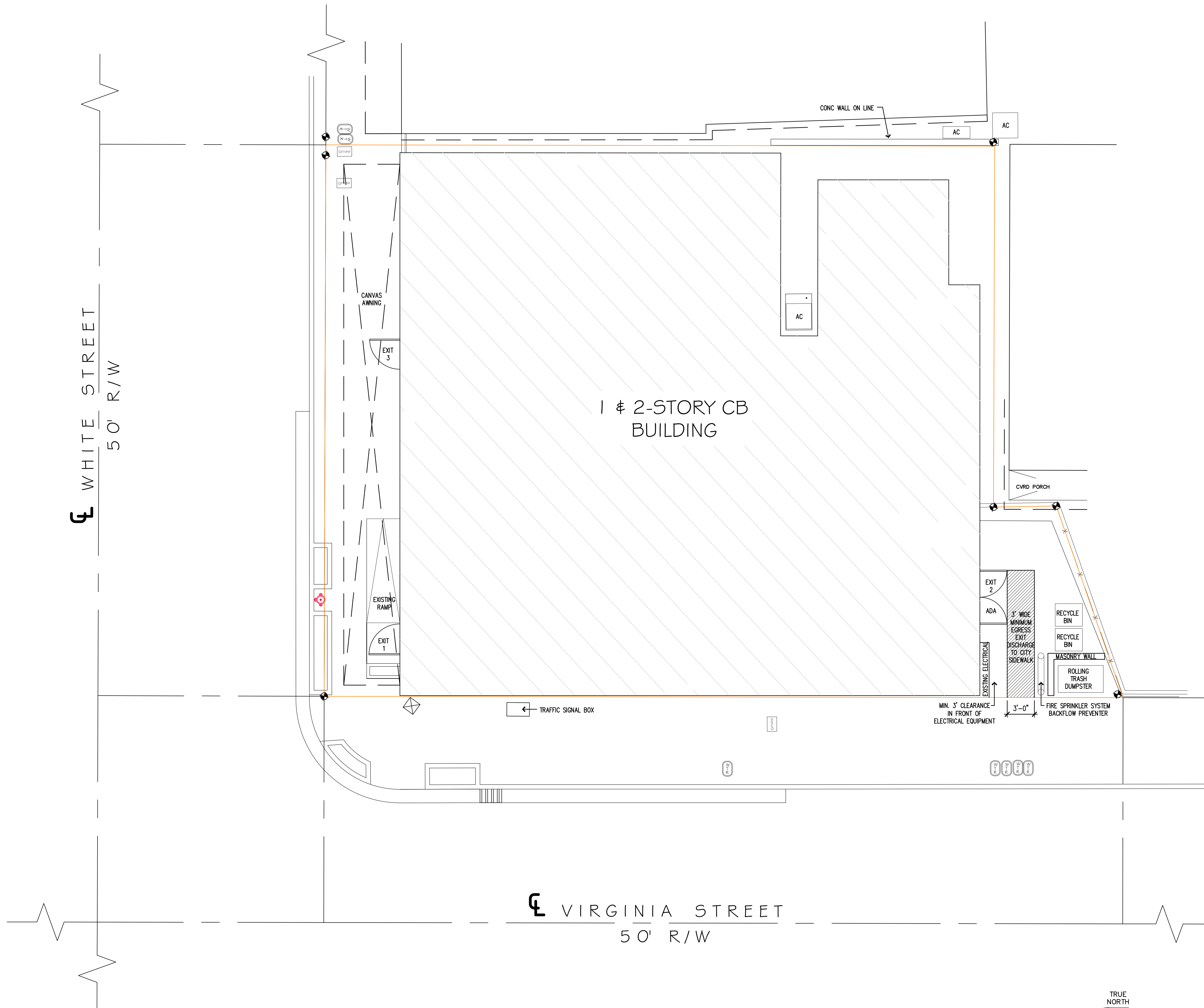
A-5





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SITE PLAN  
3/16"=1'-0"



Montessori Children's School  
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Date 4.28.25

Project #