



**Historic Architectural Review Commission
Staff Report for Item 5**

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kelly Perkins, MHP
HARC Assistant Planner

Meeting Date: April 24, 2018

Applicant: Lindholm Construction

Application Number: 18-0484

Address: #1122 Watson Street

Description of Work:

Replace metal shingle roof with metal v-crimp panels.

Site Facts:

The structure at 1122 Watson Street is listed as a contributing structure in the survey. The survey states that the building was constructed in 1948, and the Property Appraiser's states that the rear building was constructed in 1926. There is no rear building in the 1926 Sanborn map. The 1892 Sanborn map, and every following Sanborn map until 1962, shows a two-story structure with a one-story in the rear. There also was a one-story front porch that spanned the width of the structure. The 1962 Sanborn map shows a new two-story cbs structure that is a store with a two-story structure attached to the rear. After overlaying the 1962 Sanborn map with the 1892 Sanborn map, the two buildings' footprint are identical. The 1965 photograph shows the building in the rear, a two-story frame vernacular structure with a newer second story addition over an older one-story addition. Staff believes that this structure was the 19th century structure that fronted Watson Street and was relocated to the rear.

Guidelines Cited in Review:

Secretary of the Interior's Standards for Rehabilitation (pages 16-17), specifically Standards 2, 5, and 6.

Roofs (15-16) of the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings.

Roofing (page 26), specifically guidelines 1 and 4.

Additions, Alterations, and New Construction (page 36-38a), specifically guidelines 1.

Preservation Brief 4: Roofing for Historic Buildings.

<https://www.nps.gov/tps/how-to-preserve/briefs/4-roofing.htm>

Staff Analysis

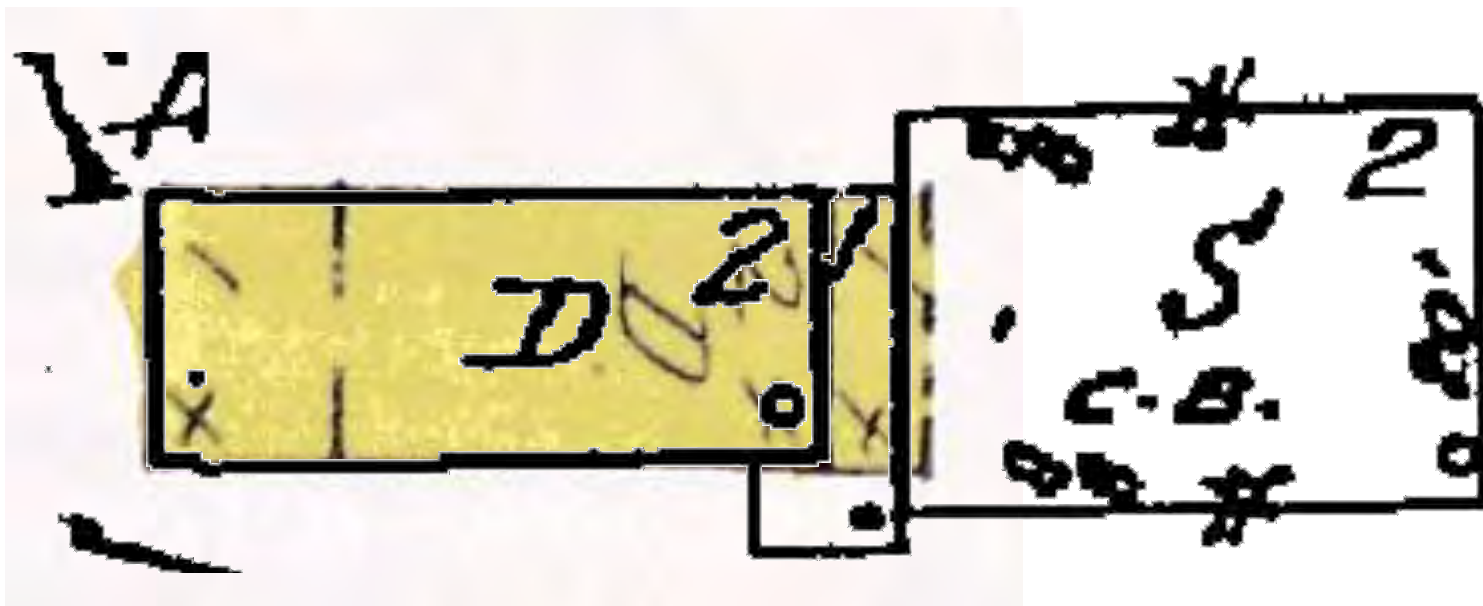
This Certificate of Appropriateness proposes the removal of the existing metal shingle roof on the two connected buildings and replacing them with v-crimp.

Consistency with Guidelines

1. Our guidelines state, “The form and configuration of a roof must not be altered in pitch, design, *materials*, or shape unless the resulting changes would return the roof to a verifiable and appropriate historical form.” The use of v-crimp would alter the materials. Also our guidelines state that a structure “shall not be altered and/or expanded in such a manner that its essential character-defining features are disguised or concealed.” The roof is a character-defining feature of this building, and the metal shingles are an important component of the roof and its appearance.
2. The Secretary of the Interior’s Standards for Rehabilitation state, “The historic character of a property should be retained and preserved.” Standard 5 states, “Distinctive features...that characterize a historic property shall be preserved.” Standard 6 dictates that “the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials.” Metal shingles are still readily available.
3. The Secretary of the Interior’s Guidelines for Rehabilitating Historic Buildings say, “Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the roof or that is physically or chemically incompatible” is not recommended. The guidelines also state that “introducing a new roof feature that is incompatible in size, scale, material, and color” is not recommended.
4. Preservation Brief 4: Roofing states, “In a rehabilitation project, there may be valid reasons for replacing the roof with a material other than the original. The historic roofing may no longer be available, or the cost of obtaining specially fabricated materials may be prohibitive. But the decision to use an alternative material should be weighed carefully against the primary concern to keep the historic character of the building. If the roof is flat and is not visible from any elevation of the building, and if there are advantages to substituting a modern built-up composition roof for what might have been a flat metal roof, then it may make better economic and construction sense to use a modern roofing method. *But if the roof is readily visible, the alternative material should match as closely as possible the scale, texture, and coloration of the historic roofing material.*”

It is staff’s opinion that proposed change of roofing materials for this structure is inconsistent with the guidelines, the Secretary’s Standards for Rehabilitation, The Secretary of the Interior’s

Guidelines for Rehabilitating Historic Buildings, and Preservation Brief 4. The change from metal shingles to v-crimp will alter the character of the building.



Watson Street

1962 Sanborn map for 1122 Watson St overlaid on the 1892 Sanborn map. The building outline matches exactly, suggesting that the rear building is the original structure of 1122 Watson and was relocated to the rear and the front porch was demolished.

APPLICATION

**COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND MARC
\$50.00 APPLICATION FEE NON-REFUNDABLE**



City of Key West

1300 WHITE STREET
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

BLDG@CITYOFKEYWEST-FL.GOV

HARC PERMIT NUMBER		BUILDING PERMIT NUMBER <i>18-484</i>		INITIAL & DATE
FLOODPLAIN PERMIT		ZONING		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT YES <input type="checkbox"/> NO <input type="checkbox"/> %	

ADDRESS OF PROPOSED PROJECT:

1122 Watson St

OF UNITS

RE # OR ALTERNATE KEY:

00031840-000000

NAME ON DEED:

Key West Treasure Exhibit INC

PHONE NUMBER

305-294-6995

OWNER'S MAILING ADDRESS:

200 Greene St Key West Fl. 33040

EMAIL

Atocha3@bellsouth.net

CONTRACTOR COMPANY NAME:

Lindholm Construction LLC

PHONE NUMBER

305-952-5730

CONTRACTOR'S CONTACT PERSON:

Rich Lindholm

EMAIL

info@ricklindholm.com

ARCHITECT / ENGINEER'S NAME:

PHONE NUMBER

ARCHITECT / ENGINEER'S ADDRESS:

EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L, LABOR & PROFIT:

\$ 10,500

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

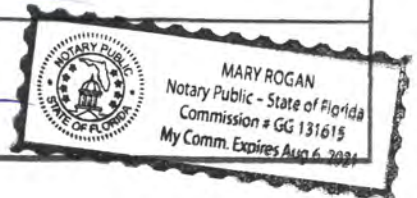
DETAILED Project Description...(The applicant further hereby acknowledges that the scope of work as described shall be the scope of work that is considered by the City. Should further action be taken by the City for exceeding the scope of the description of work as described herein versus the scope of work shown on the plans or other documents submitted with the application, the aforementioned description of work shall be controlling.)

We will tear off existing roof, we will install Polyglass Peel & Stick and we will install 5-Vcrimp metal

2130 SQ FT

Hurricane Damage

Printed name of property owner or licensed contractor. <i>Rich Lindholm</i>	Signature. <i>[Signature]</i>
Notary Signature as to applicant. State of Florida, County of Monroe, Sworn to and subscribed before me. <i>[Signature]</i>	
Personally known or produced	as identification.



Oper: KEYWVXC Type: BP Drawer: 1
Date: 3/16/18 50 Receipt no: 10105
2018 484
PT * BUILDING PERMITS-NEW
1.00 \$350.00
Trans number: 3124256
CK CHECK 6015 \$350.00
Trans date: 3/16/18 Time: 13:17:46

Page 1 of 3

Oper: KEYWVXC Type: BP Drawer: 1
Date: 2/05/18 50 Receipt no: 7434
2018 484
PT * BUILDING PERMITS-NEW
1.00 \$100.00
Trans number: 3122626
CK CHECK 7562 \$250.00
Trans date: 2/05/18 Time: 14:57:27

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURES ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC
PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.

ROOFING: NEW ROOF OVER TEAR OFF REPAIR AWNING

5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE

POLE WALL PROJECTING AWNING HANGING WINDOW

SQ. FT. OF EACH SIGN FACE: _____

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS

A/C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE

SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.

ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofwest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:			HARC STAFF OR COMMISSION REVIEW				
<input type="checkbox"/> APPROVED		<input type="checkbox"/> NOT APPROVED		<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION		<input type="checkbox"/> TABLED FOR ADD'L. INFO.	
HARC MEETING DATE:		HARC MEETING DATE:		HARC MEETING DATE:			
REASONS OR CONDITIONS:							
STAFF REVIEW COMMENTS:							
HARC PLANNER SIGNATURE AND DATE:				HARC CHAIRPERSON SIGNATURE AND DATE:			

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

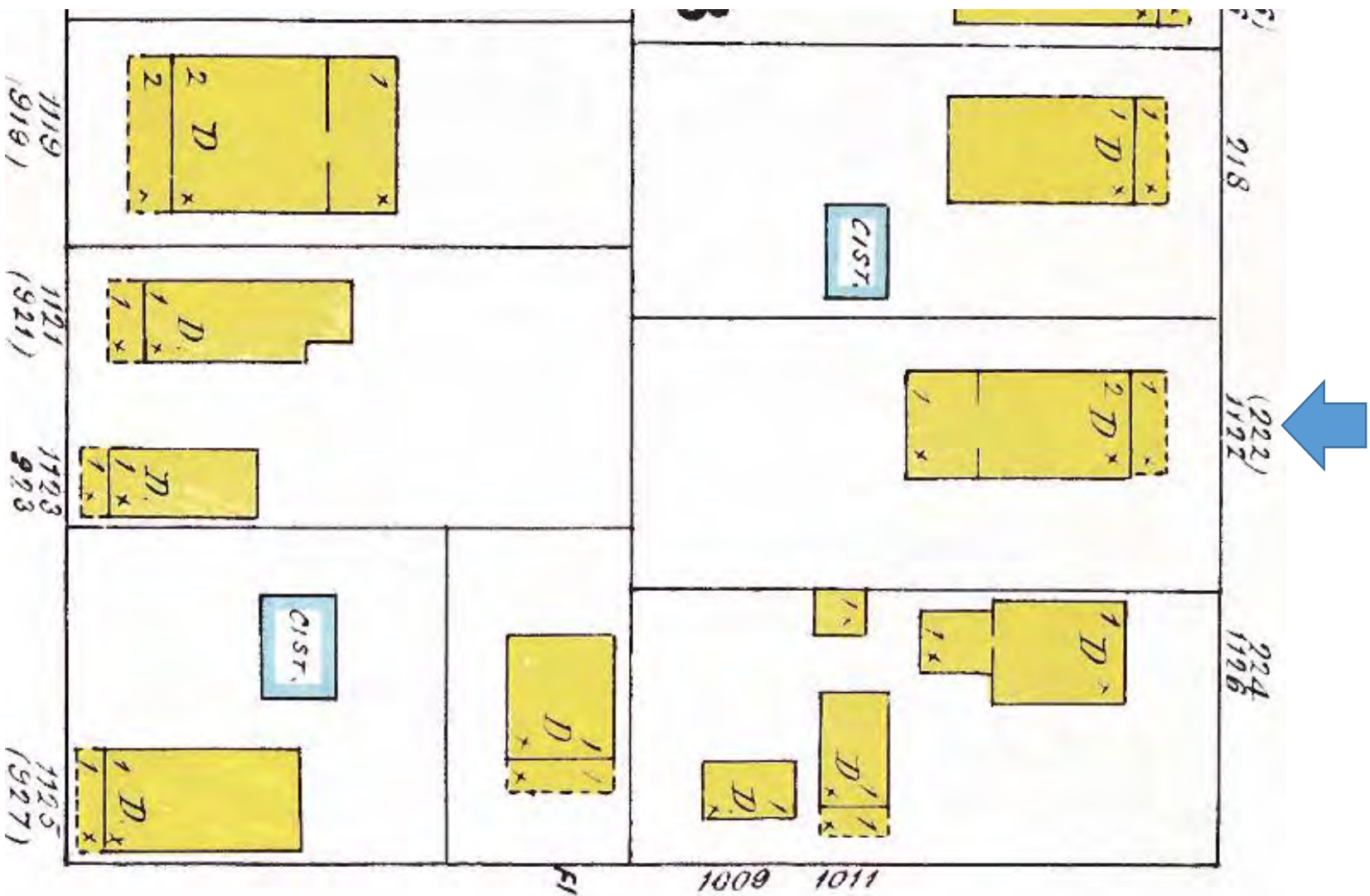
FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T. AGENCIES, AND OTHER PARTIES ARE THE APPLICANT'S RESPONSIBILITY.

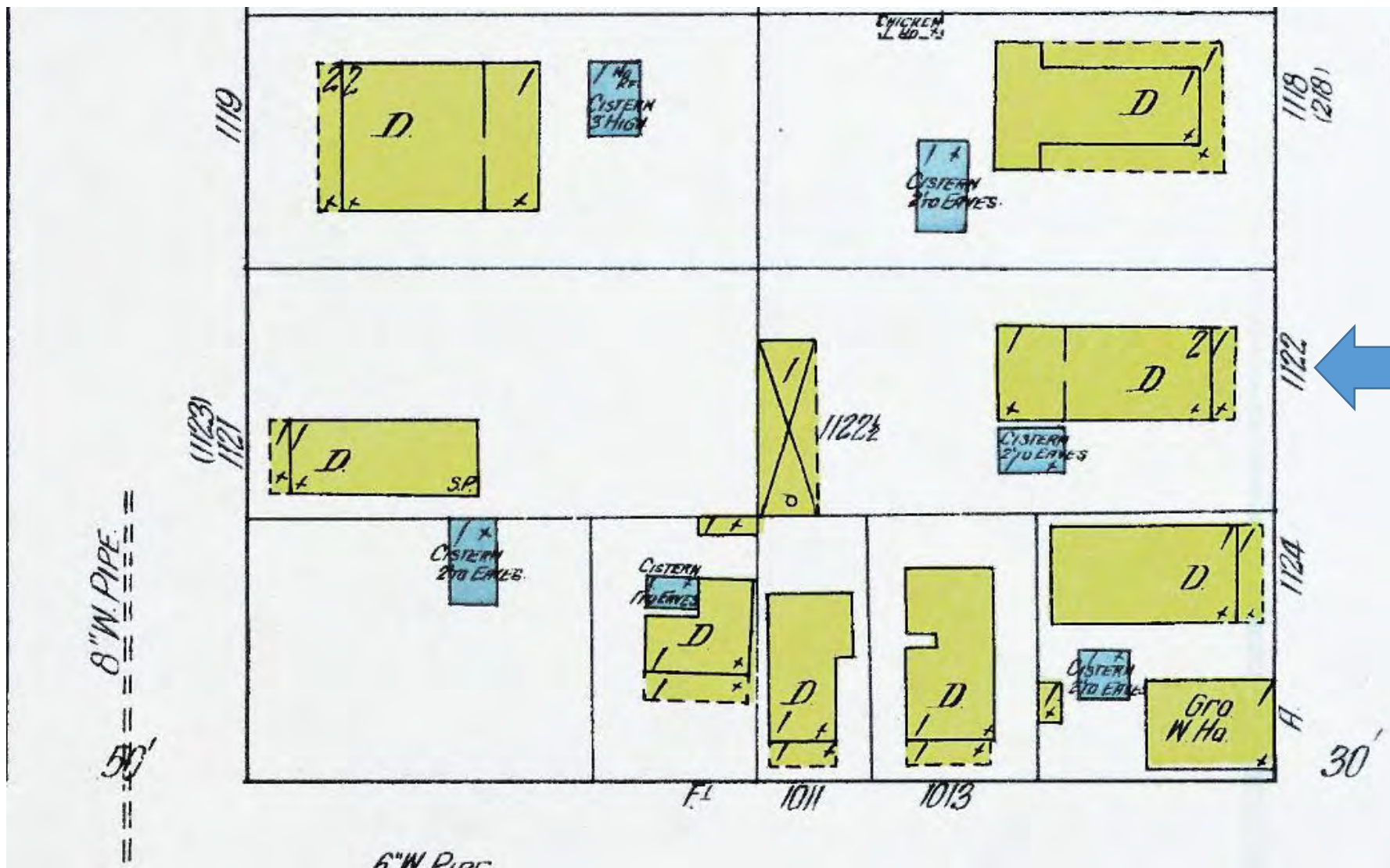
SANBORN MAPS



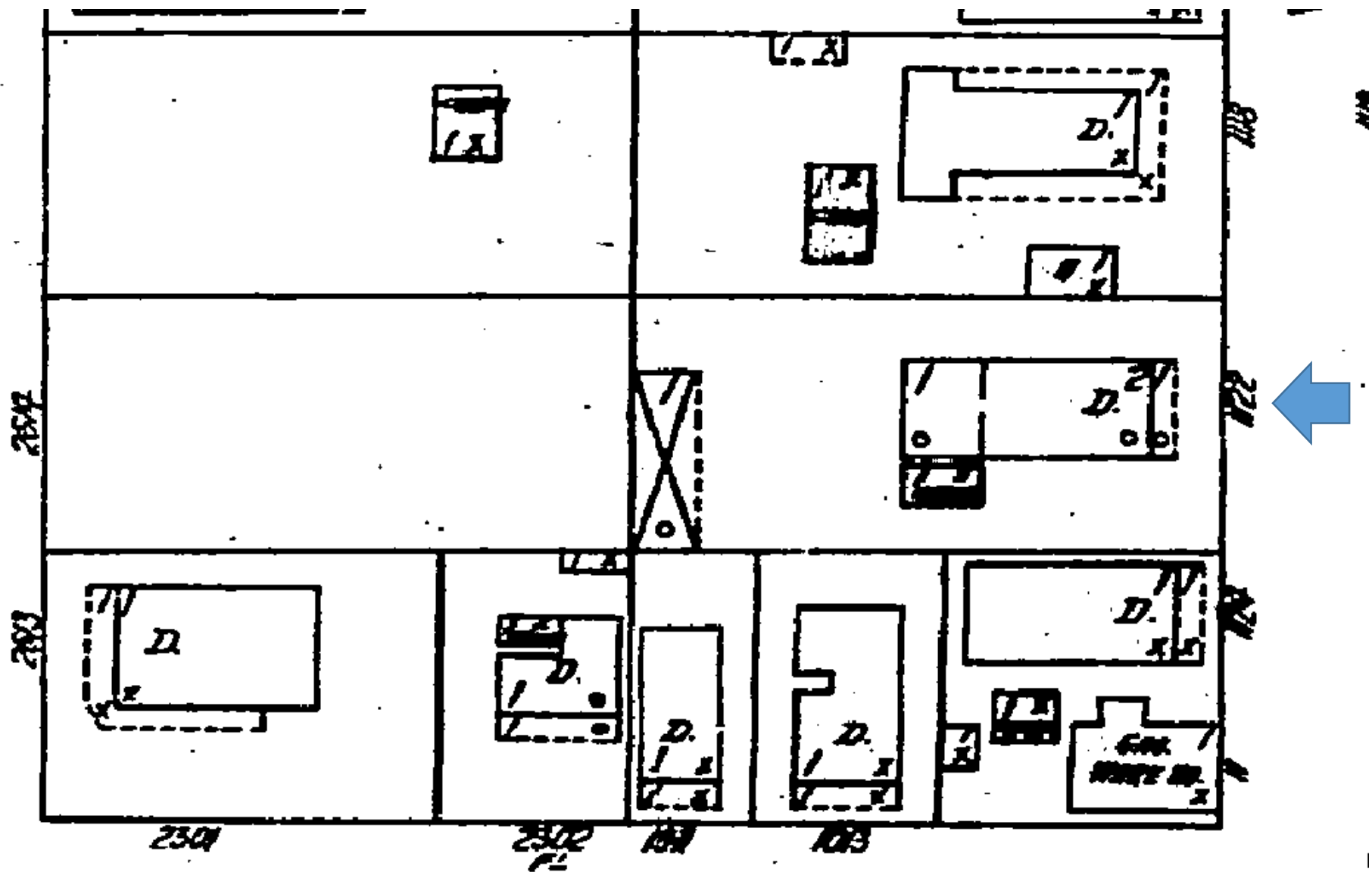
1892 Sanborn Map



1899 Sanborn Map

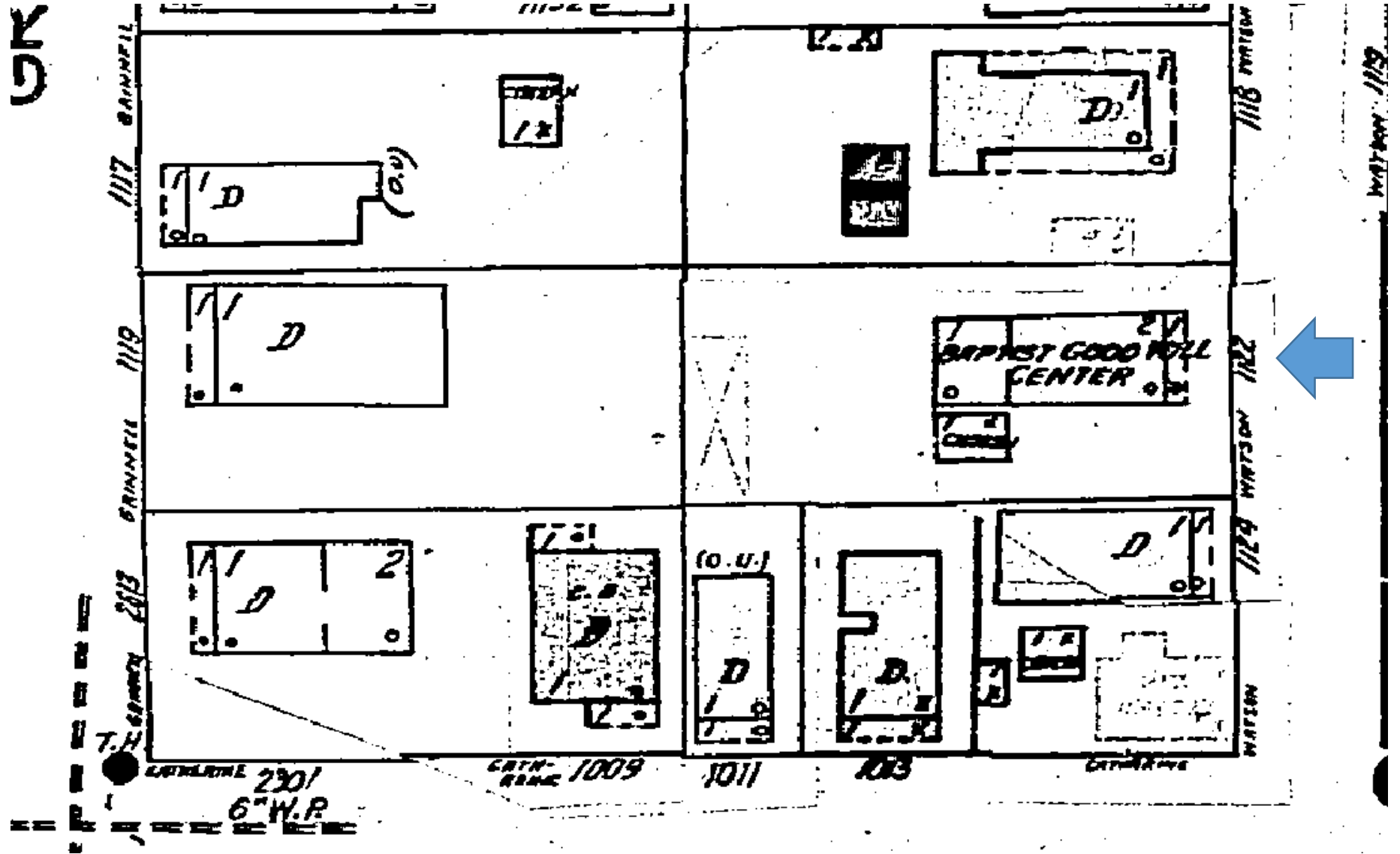


1912 Sanborn Map

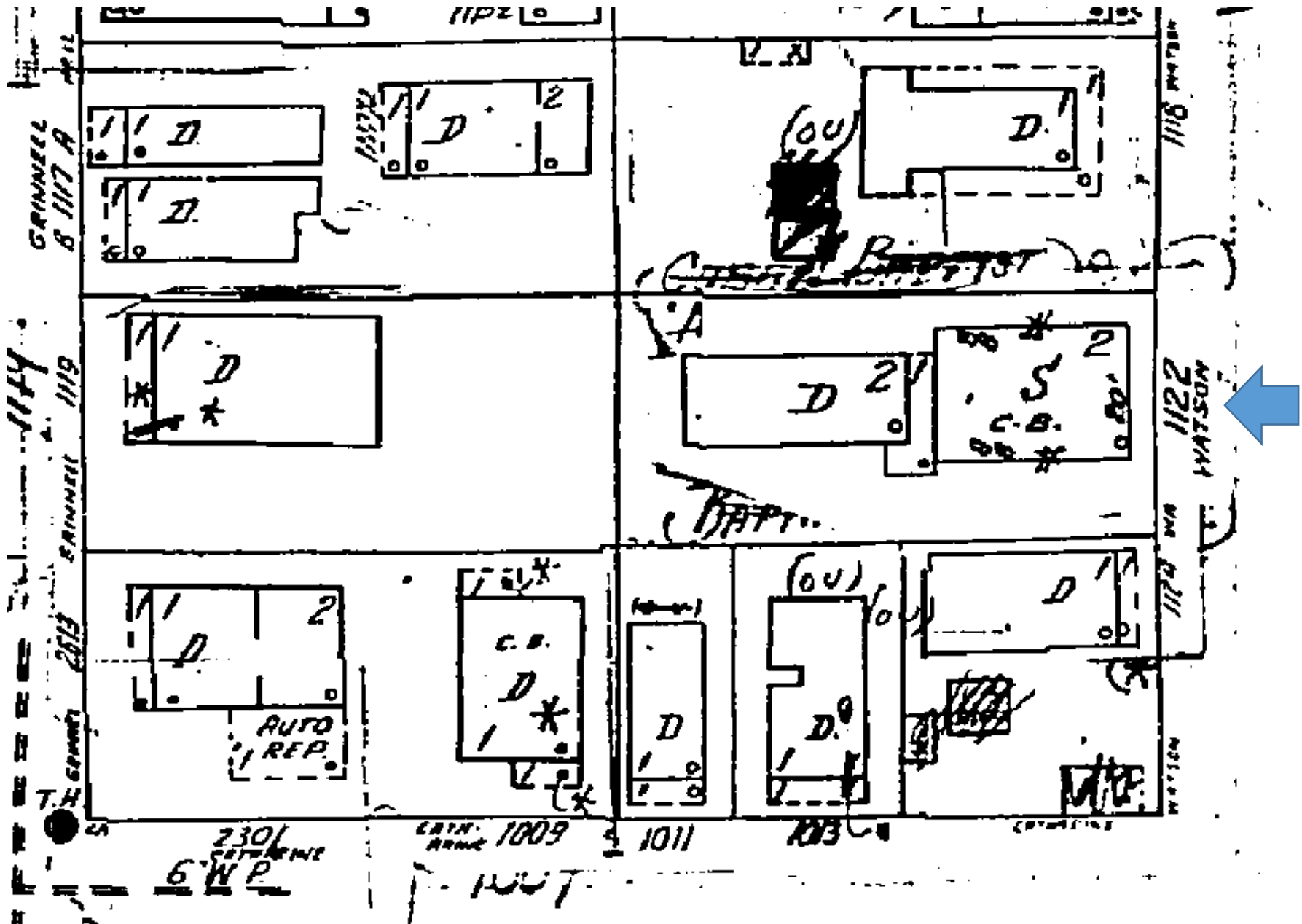


1926 Sanborn Map

OK



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



Google Aerial



Property Appraiser's Photograph, c.1965. Monroe County Public Library.



Property Appraiser's Photograph, c.1965. Monroe County Public Library.



1122

NO PARKING





NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., April 24, 2018 at Key West City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

REPLACE METAL SHINGLE ROOF WITH METAL V-CRIMP PANELS FOR #1122 WATSON STREET

Applicant – Lindholm Construction

Application #18-0484

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00031840-000000
 Account # 1032620
 Property ID 1032620
 Millage Group 10KW
 Location Address 1122 WATSON St , KEY WEST
 Legal Description KW G G WATSON SUB I-209 LOT 11 SQR 6 TR 13 OR86-431 OR1412-2248/49Q/C OR1693-504(LG)
 (Note: Not to be used on legal documents)
 Neighborhood 6096
 Property Class MULTI FAMILY LESS THAN 10 UNITS (0800)
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

KEY WEST TREASURE EXHIBIT INC
 200 Greene St
 Key West FL 33040

Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$552,807	\$473,085	\$474,093	\$479,949
+ Market Misc Value	\$1,828	\$1,828	\$1,590	\$1,474
+ Market Land Value	\$374,918	\$555,279	\$491,131	\$296,474
= Just Market Value	\$929,553	\$1,030,192	\$966,814	\$777,897
= Total Assessed Value	\$929,553	\$874,789	\$795,263	\$722,967
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$929,553	\$1,030,192	\$966,814	\$777,897

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (080D)	5,678.00	Square Foot	52.3	108.5

Buildings

Building ID 2500
 Style 2 STORY ON GRADE
 Building Type S.F.R. - R1 / R1
 Gross Sq Ft 2520
 Finished Sq Ft 2520
 Stories 2 Floor
 Condition AVERAGE
 Perimeter 288
 Functional Obs 0
 Economic Obs 0
 Depreciation % 30
 Interior Walls DRYWALL
 Exterior Walls C.B.S.
 Year Built 1948
 EffectiveYearBuilt 1996
 Foundation CONCR FTR
 Roof Type GABLE/HIP
 Roof Coverage METAL
 Flooring Type CONC ABOVE GRD
 Heating Type FCD/AIR DUCTED with 0% NONE
 Bedrooms 3
 Full Bathrooms 1
 Half Bathrooms 0
 Grade 550
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	2,520	2,520	0
TOTAL		2,520	2,520	0

Building ID 2501
 Style 2 STORY ON GRADE
 Exterior Walls ABOVE AVERAGE WOOD
 Year Built 1928

Building Type M.F. - R2 / R2
Gross Sq Ft 2724
Finished Sq Ft 1840
Stories 2 Floor
Condition AVERAGE
Perimeter 264
Functional Obs 0
Economic Obs 0
Depreciation % 30
Interior Walls WALL BD/WD WAL

EffectiveYearBuilt 1996
Foundation WD CONC PADS
Roof Type GABLE/HIP
Roof Coverage METAL
Flooring Type CONC S/B GRND
Heating Type FCD/AIR DUCTED with 0% NONE
Bedrooms 2
Full Bathrooms 3
Half Bathrooms 0
Grade 550
Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,840	1,840	0
OOU	OP PR UNFIN UL	108	0	0
OPF	OP PRCH FIN LL	764	0	0
OUF	OP PRCH FIN UL	12	0	0
TOTAL		2,724	1,840	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CH LINK FENCE	1964	1965	1	1184 SF	1
PATIO	1984	1985	1	192 SF	2

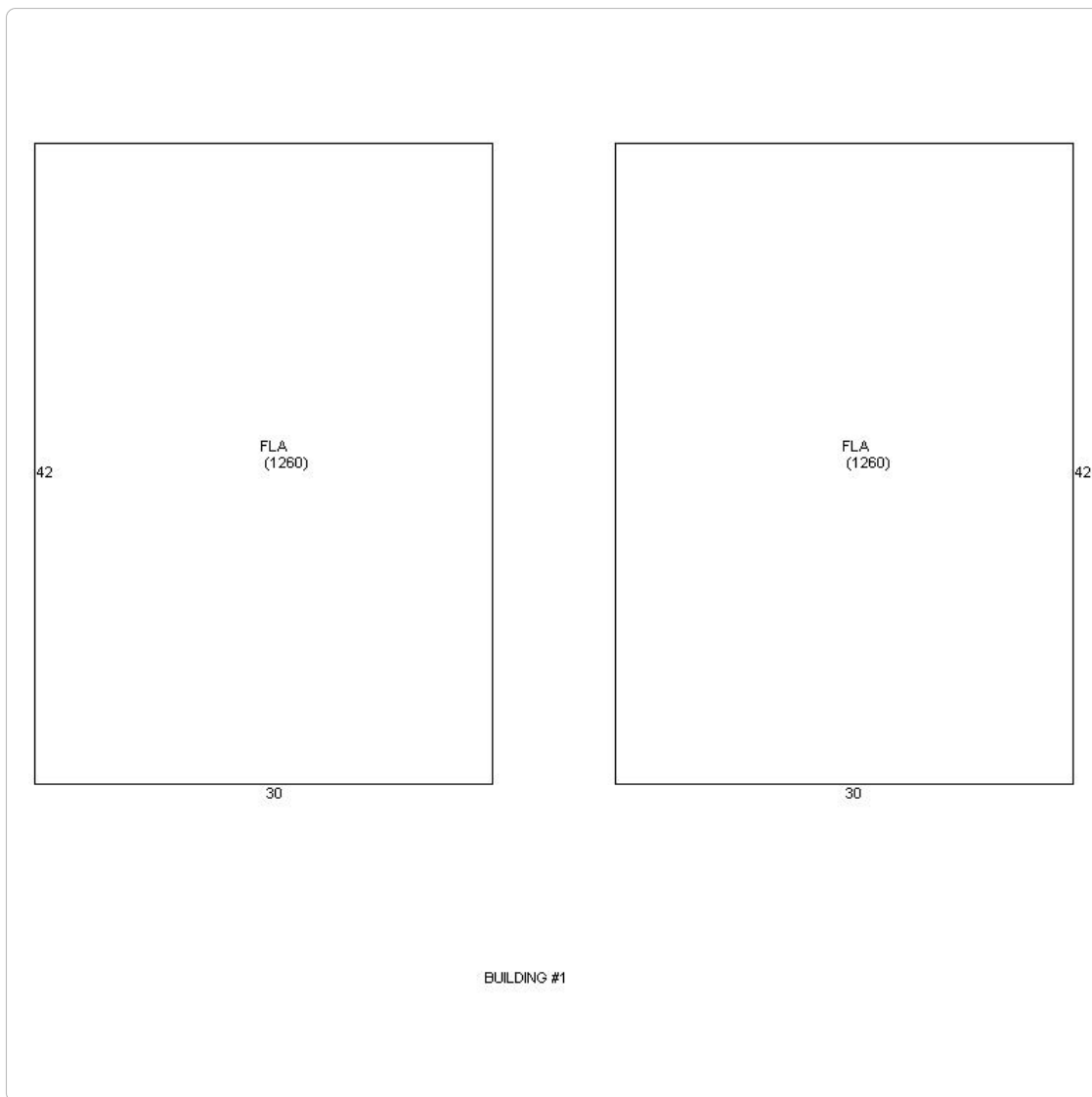
Sales

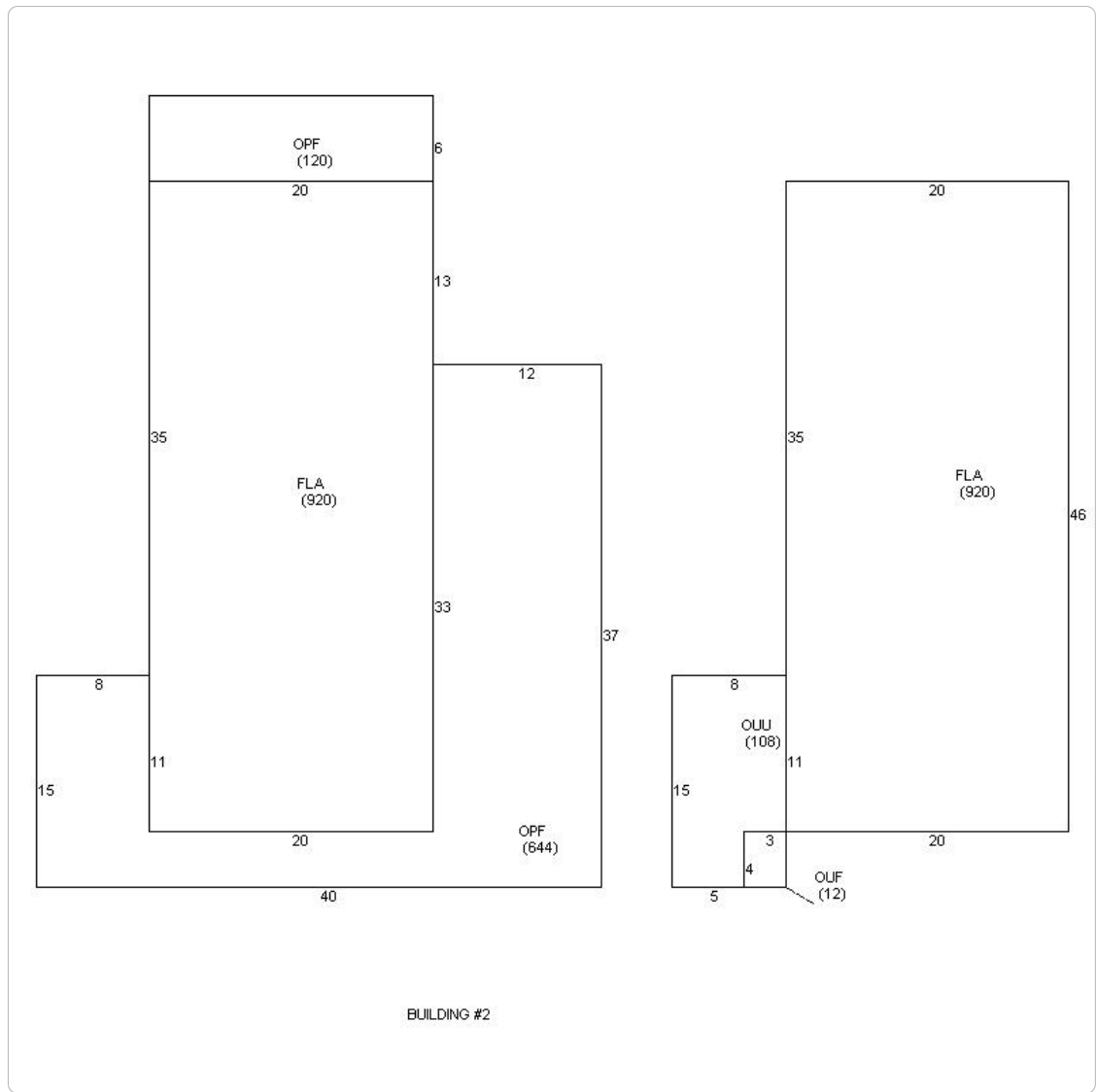
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
5/2/2001	\$525,000	Warranty Deed		1693	0504	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
11-3699	10/7/2011	4/8/2012	\$31,500		REPLACE WINDOWS W WOOD WINDOWS , REPAIR DAMAGED WOOD AROUND HOUSE REPAINT HOSUE INSTALL SHUTTLES
03-2910	9/11/2003	11/22/2004	\$3,000		FOOTERS
0102890	8/22/2001	12/26/2001	\$3,500	Residential	CENTRAL AC
E951291	4/1/1995	7/1/1995	\$200		MINIMUM ELECTRIC

Sketches (click to enlarge)





Photos



Map



No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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