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### **Staff Report for Item 11**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Kelly Perkins, MHP  
HARC Assistant Planner

**Meeting Date:** March 22, 2016

**Applicant:** Bender & Associates

**Application Number:** H16-01-0282

**Address:** #120 Margaret Street

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#### **Description of Work:**

Restoration to exterior concrete including removal and replacement of deteriorated concrete. Replace in kind.

#### **Site Facts:**

Thompson Fish House was constructed c.1918 as part of Thompson Fish Company and Thompson Ice Company. 1978, the one and a half story, concrete building with a gable roof underwent a major change to create a second story on the interior. The building is listed individually on the National Register of Historic Places, meaning HARC has jurisdiction of the exterior as well as the interior. When this resource was listed in 1994, its National Register nomination mentioned the deteriorating condition of the exterior concrete wall, due to rusted reinforcement and infiltration of salt water. In the early 2000s, a wall was constructed inside of the exterior concrete walls in an effort to help preserve the historic concrete wall. The construction of an interior wall without any water barrier between it and the softer historic concrete wall has led to further deterioration of the historic concrete. So much so, that the concrete needs to be replaced.

#### **Guidelines Cited in Review:**

Secretary of the Interior's Standards for Rehabilitation (pages 16-17), specifically standards 5 and 6.

Building Exteriors – Masonry (page 25), specifically 1, 4, and 5.

### **Staff Analysis**

This Certificate of Appropriateness proposes constructing new concrete exterior walls and removing the historic concrete walls, due to total material failure, in effort to resource the significant resource. Previous preservation acts have only led to more deterioration of the historic resource. The proposed plans will work to restore the concrete walls using horizontal board forms to create the original look of the concrete walls. The temporary wall panels will be removed.

The windows, roof on the north elevation, doors, shutters, and sliding door with its tracks and hardware will removed during construction, but will be reinstalled. The mechanical equipment, ice machines, and water heater will also be removed during construction and reinstalled.

### **Consistency with Guidelines**

It is staff's opinion that the proposed design is consistent with the Secretary of the Interior's Standards for Rehabilitation and the guidelines for masonry building exteriors. The new concrete walls will be of the same mixture, using horizontal board forms to create the look and technique of the original wall.

# APPLICATION

# COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



## City of Key West

3140 FLAGLER AVENUE  
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

[www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov)

|                    |         |                        |   |                |
|--------------------|---------|------------------------|---|----------------|
| HARC PERMIT NUMBER |         | BUILDING PERMIT NUMBER |   | INITIAL & DATE |
| FLOODPLAIN PERMIT  |         |                        |   | REVISION #     |
| FLOOD ZONE         | PANEL # | ELEV. L. FL.           | SUBSTANTIAL IMPROVEMENT<br>___ YES ___ NO ___ % |                |

ADDRESS OF PROPOSED PROJECT:

RE # OR ALTERNATE KEY:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

CONTRACTOR COMPANY NAME:

CONTRACTOR'S CONTACT PERSON:

ARCHITECT / ENGINEER'S NAME:

ARCHITECT / ENGINEER'S ADDRESS:

|  |  |              |                             |
|--|--|--------------|-----------------------------|
| Thompson Fish House, 120 Margaret Street, Key West, FL |  |              | # OF UNITS                  |
| 9073978  |  |              |                             |
| City of Key West                                       |  | PHONE NUMBER | 305-809-3803                |
| Karen Olson - Port Service Marina                      |  | EMAIL        | kolson@cityofkeywest-fl.gov |
| Key West, Florida 33040                                |  |              |                             |
|  |  | PHONE NUMBER |                             |
|  |  | EMAIL        |                             |
| Bert Bender  |  | PHONE NUMBER | 305-296-1347                |
| 410 Angela Street, Key West, FL 33040                  |  | EMAIL        | blbender@bellsouth.net      |

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING:  YES  NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:  ONE OR TWO FAMILY  MULTI-FAMILY  COMMERCIAL  NEW  REMODEL  
 CHANGE OF USE / OCCUPANCY  ADDITION  SIGNAGE  WITHIN FLOOD ZONE  
 DEMOLITION  SITE WORK  INTERIOR  EXTERIOR  AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

The work of this project is a restoration of the exterior concrete and includes the removal and replacement of deteriorated concrete and replacing in kind.

|  |  |
|--|--|
| I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT: |  |
| OWNER PRINT NAME:  | QUALIFIER PRINT NAME:  |
| OWNER SIGNATURE:   | QUALIFIER SIGNATURE:   |
| Notary Signature as to owner:  | Notary Signature as to qualifier:  |
| STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.                                       | STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____. |
| Personally known or produced _____ as identification.  | Personally known or produced _____ as identification.  |

**PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  6 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING  
 5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  BLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE  
 POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW

SQ. FT. OF EACH SIGN FACE: \_\_\_\_\_

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS  
 A / C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE  
 SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE \_\_\_\_\_ AMPS

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS

RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100  
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.  
**ATTENTION:** NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)  
 INDICATE TYPE OF CERTIFICATE. OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER

ADDITIONAL INFORMATION: \_\_\_\_\_

**PROJECT SPECIFICATIONS:** PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

| ARCHITECTURAL FEATURES TO BE ALTERED: | ORIGINAL MATERIAL: | PROPOSED MATERIAL:                         |
|---------------------------------------|--------------------|--|
| Exterior concrete Walls               | concrete           | concrete to match existing historic finish |
|                                       |                    |  |
|                                       |                    |  |
|                                       |                    |  |

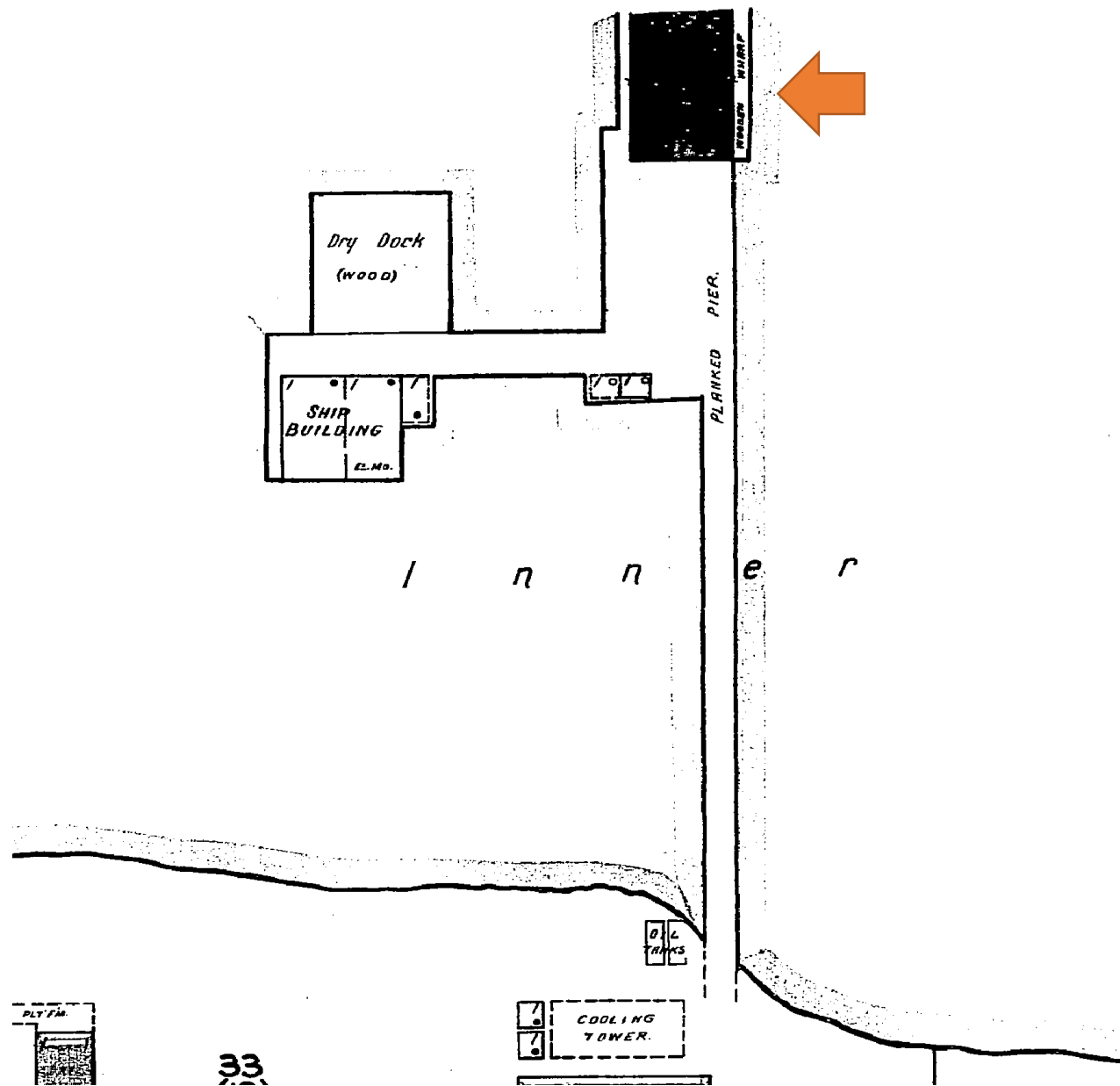
**DEMOLITION:** PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.  
 DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: \_\_\_\_\_

BUSINESS LICENSE # \_\_\_\_\_ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE \_\_\_\_\_

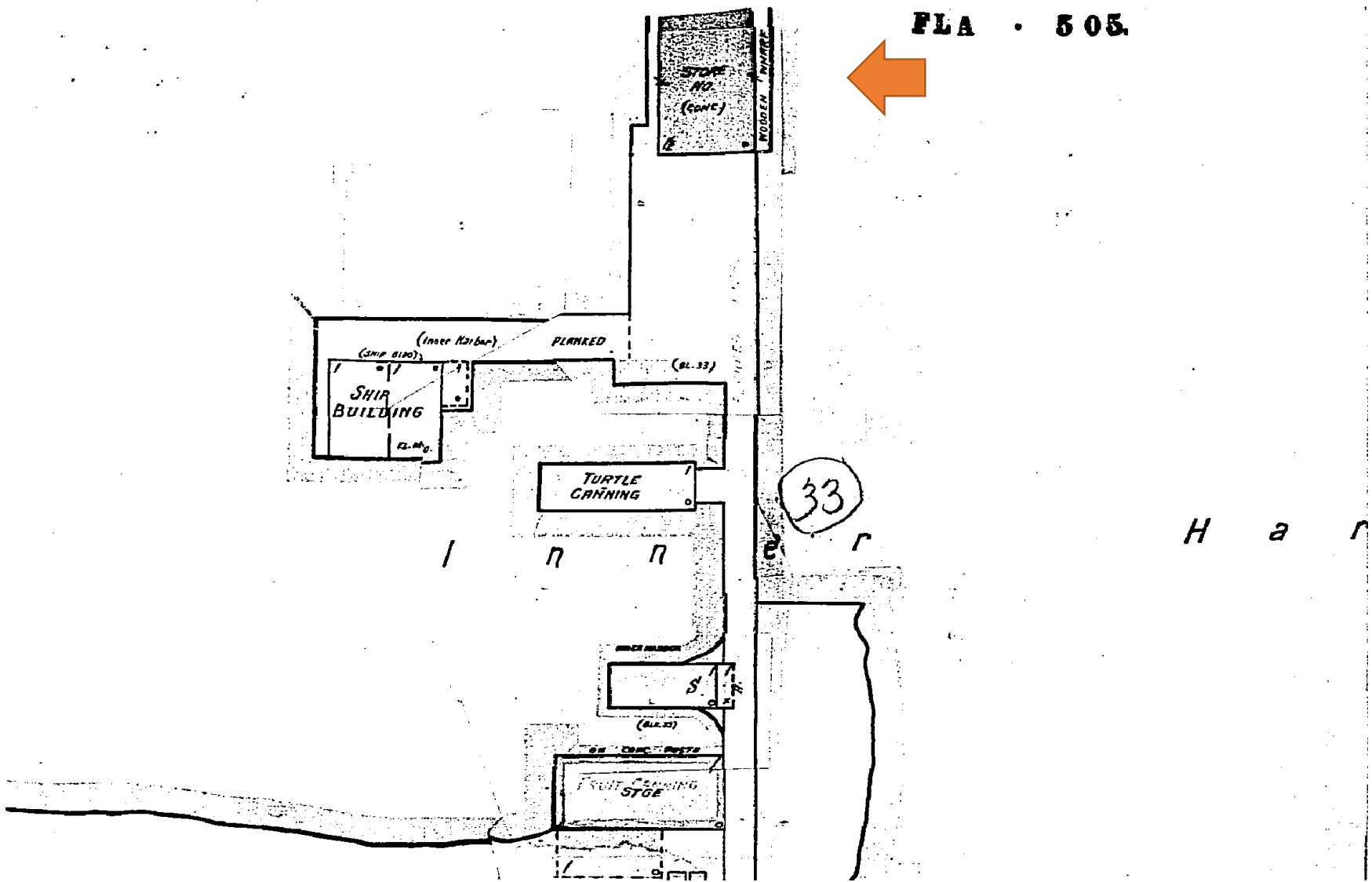


# SANBORN MAPS



1926 Sanborn Map

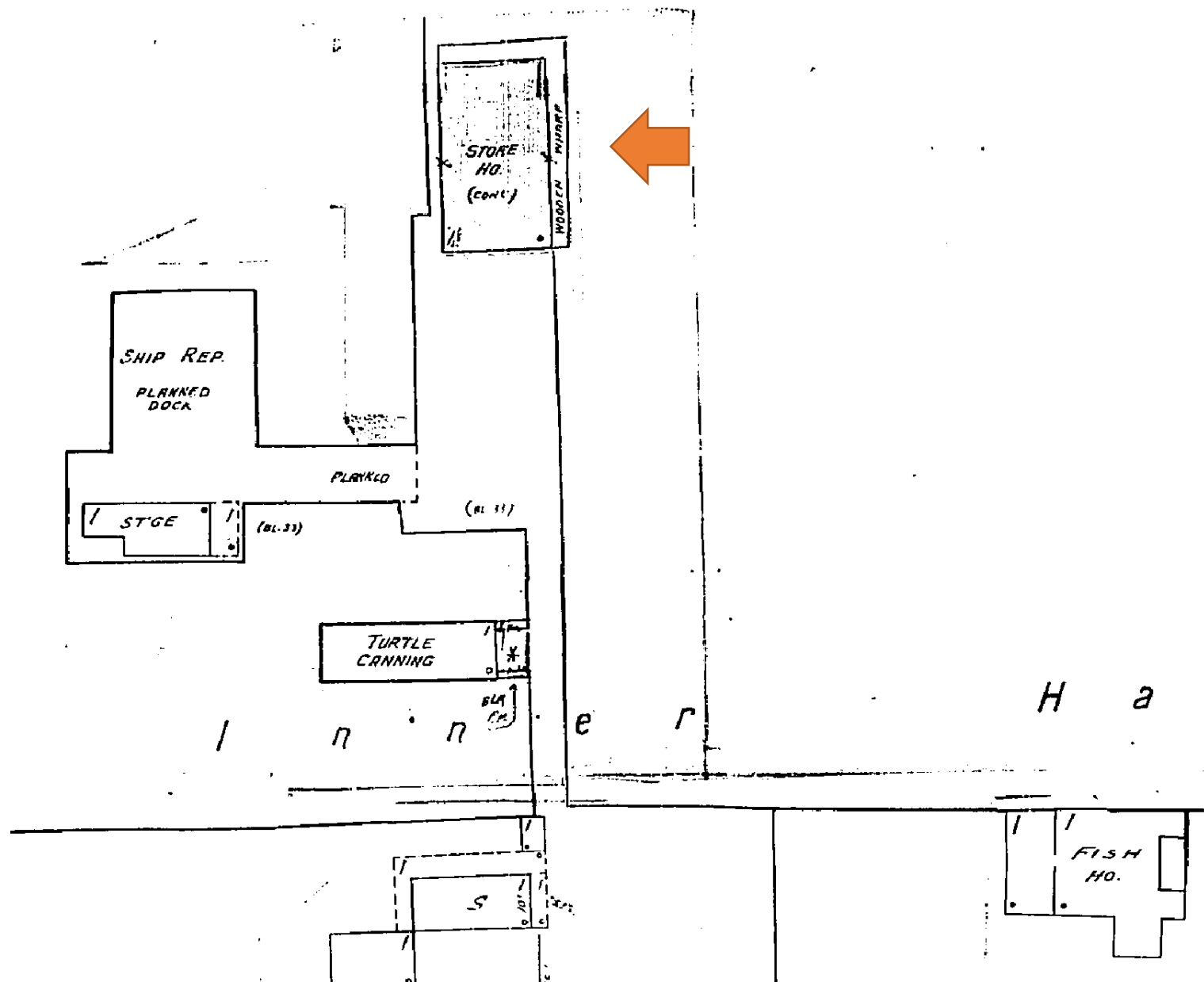




FLA . 505.



1948 Sanborn Map



1962 Sanborn Map

# PROJECT PHOTOS



Key West Bight, 1930. Thompson Fish House in background.  
Monroe County Public Library.



Key West Bight, c. 1950. Monroe County Public Library.





Thompson Fish House, c.1960. Monroe County Public Library.



Undated photograph. Monroe County Public Library.





Photo by Tom Hambright, 1991. Monroe County Public Library.



# PROPOSED DESIGN

# THOMPSON FISH HOUSE REPAIRS

## THE KEY WEST BIGHT MARINA

### KEY WEST FLORIDA

REVISIONS:

THOMPSON FISH HOUSE REPAIRS  
AT THE KEY WEST BIGHT MARINA  
KEY WEST, FLORIDA, 33040

|  |   |   |   |
|--|---|---|---|
| <p style="text-align: center;"><b>SITE MAP - KEY WEST</b></p> <p style="text-align: center;">SITE LOCATION<br/>THOMPSON FISH HOUSE REPAIRS - KEY WEST BIGHT</p> <p style="text-align: right;">Not to Scale</p> | <p style="text-align: center;"><b>PROJECT DIRECTORY</b></p> <p>THOMPSON FISH HOUSE REPAIRS</p> <p>ARCHITECT'S PROJECT No.: 1426A</p> <p>OWNER: PORT AND MARINE SERVICES<br/>Address: 120 MARGARET STREET<br/>KEY WEST, FL 33040<br/>Tel: 305-809-3803</p> <p>Representative: KAREN OLSON</p> <p>ARCHITECT: BENDER &amp; ASSOCIATES ARCHITECTS, P.A.<br/>Address: 410 ANGELA STREET, KEY WEST, FL 33040<br/>Tel: (305) 296-1347 Fax: (305) 296-2727<br/>E-mail: bbender@bellsouth.net</p> <p>Project Architect: Bert L. Bender (Principal-in-Charge)</p> | <p style="text-align: center;"><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida in the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:<br/>             FLORIDA BUILDING CODE - Building 2014 EDITION<br/>             FLORIDA BUILDING CODE - Existing 2014 EDITION<br/>             FLORIDA BUILDING CODE - Residential 2014 EDITION<br/>             FLORIDA BUILDING CODE - Plumbing 2014<br/>             FLORIDA BUILDING CODE - Fuel Gas 2014 EDITION<br/>             FLORIDA BUILDING CODE - Mechanical 2014 EDITION<br/>             NATIONAL ELECTRICAL CODE 2008 EDITION<br/>             NFPA 101 LIFE SAFETY CODE w/ Florida Modifications<br/>             2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION<br/>             NFPA 1 2006 EDITION<br/>             This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (guste).</li> <li>Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.</li> <li>Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.</li> <li>Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.</li> <li>Dimensions shall take precedence over scale.</li> <li>All new utilities shall be underground.</li> <li>Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.</li> <li>After completion of construction remove all debris and construction equipment. Restore site to original condition.</li> <li>Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.</li> <li>Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.</li> <li>Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</li> </ol> <p>61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.</p> <p>Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (i), 481.225(1)(a), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.</p> | <p style="text-align: center;"><b>SHEET INDEX</b></p> <p>A.0 SITE LOCATION MAP, SHEET INDEX, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODE, SYMBOLS LEGEND<br/>A.0.1 SURVEY</p> <p><b>ARCHITECTURAL:</b><br/>A1.0 EXISTING SITE PLAN<br/>A1.1 EXISTING FLOOR PLAN<br/>A2.0 EXISTING EXTERIOR ELEVATIONS<br/>A3.0 DEMO EXTERIOR ELEVATIONS<br/>A3.1 RESTORED EXTERIOR ELEVATIONS<br/>A8.0 HISTORIC PHOTO DETAILS<br/>A8.1 EXISTING PHOTO DETAILS</p> <p><b>STRUCTURAL:</b><br/>S1.1 FOUNDATION PLAN<br/>S1.2 EXISTING FIRST FLOOR AND EXISTING SECOND FLOOR/ROOF PLAN<br/>S2.1 SECTION<br/>S2.2 SECTION</p> |
|--|---|---|---|

|   |  |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
|---|--|-------------|------------------------|---------|-----|-----------------------|-----|--------------|-----|------------------|----|---------|------|----------|----|-----------|-----|--------------|----|------------------|-----|---------|-----|-----------------------|-----|---------|----|--------------|----|-------------|------|------------------|-----|---------|-----|------------------------|-----|-----------------------|-----|-------|-----|--------|----|----------------------|------|----------|----|-------|-----|--------|-----|-------------------|------|----------|---|-------------------|----|-----------|-----|------------|-----|--------|-------|------------------|-----|--------|-------|--------------|----|-----------------|----|--------------------|----|-----------|----|-----------------|------|----------|------|---------------|----|-------|---|---------|-----|---------|-----|------------------------|----|--------------|-----|------------------------|------|------------|------|----------|----|-----------------|----|------|------|------------|-----|--------------------|-----|----------|----|--------------|------|--|-----|---------|-----|------------------|--|--|-----|--------------|--|--|-----|--------|--|--|----|-------------------|--|--|-----|------------|--|--|-----|---------|--|--|----|-----------------|--|--|-----|---------|--|--|--|--|---|
| <p style="text-align: center;"><b>ABBREVIATIONS</b></p> <table style="width:100%; font-size: small;"> <tr><td>AB</td><td>ANCHOR BOLT</td><td>MIN</td><td>MINIMUM</td></tr> <tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr> <tr><td>BLKG</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>BUR</td><td>BILT UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr> <tr><td>CER</td><td>CERAMIC</td><td>PL</td><td>PROPETY LINE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr> <tr><td>CLG</td><td>CEILING</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr> <tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>PNL</td><td>PANEL</td></tr> <tr><td>COL</td><td>COLUMN</td><td>PT</td><td>CCA PRESSURE TREATED</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>PT</td><td>POINT</td></tr> <tr><td>DBL</td><td>DOUBLE</td><td>PVC</td><td>POLYVINYLCHLORIDE</td></tr> <tr><td>DIAG</td><td>DIAGONAL</td><td>R</td><td>RADIUS (OR) RISER</td></tr> <tr><td>DS</td><td>DOWNSPOUT</td><td>R/A</td><td>RETURN AIR</td></tr> <tr><td>DTL</td><td>DETAIL</td><td>REBAR</td><td>STEEL REINF. BAR</td></tr> <tr><td>DWR</td><td>DRAWER</td><td>REFR.</td><td>REFRIGERATOR</td></tr> <tr><td>EJ</td><td>EXPANSION JOINT</td><td>SF</td><td>SQUARE FOOT (FEET)</td></tr> <tr><td>EL</td><td>ELEVATION</td><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>ELEC</td><td>ELECTRIC</td><td>SPEC</td><td>SPECIFICATION</td></tr> <tr><td>EQ</td><td>EQUAL</td><td>T</td><td>TYPICAL</td></tr> <tr><td>EXH</td><td>EXHAUST</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>FV</td><td>FIELD VERIFY</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr> <tr><td>GALV</td><td>GALVANIZED</td><td>VERT</td><td>VERTICAL</td></tr> <tr><td>GI</td><td>GALVANIZED IRON</td><td>WD</td><td>WOOD</td></tr> <tr><td>HORZ</td><td>HORIZONTAL</td><td>WWF</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>HDW</td><td>HARDWARE</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td>HVAC</td><td>HEATING VENTILATING &amp; AIR CONDITIONING</td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>FOC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr> <tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr> <tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr> <tr><td>FE</td><td>FIRE EXTINGUISHER</td><td></td><td></td></tr> <tr><td>FND</td><td>FOUNDATION</td><td></td><td></td></tr> <tr><td>FTG</td><td>FOOTING</td><td></td><td></td></tr> <tr><td>ID</td><td>INSIDE DIAMETER</td><td></td><td></td></tr> <tr><td>MAX</td><td>MAXIMUM</td><td></td><td></td></tr> </table> | AB                                     | ANCHOR BOLT | MIN                    | MINIMUM | ABC | AGGREGATE BASE COURSE | NTS | NOT TO SCALE | A/C | AIR CONDITIONING | OA | OVERALL | BLKG | BLOCKING | OC | ON CENTER | BUR | BILT UP ROOF | OD | OUTSIDE DIAMETER | CAB | CABINET | PCF | POUNDS PER CUBIC FOOT | CER | CERAMIC | PL | PROPETY LINE | CL | CENTER LINE | PLAM | PLASTIC LAMINATE | CLG | CEILING | PLF | POUNDS PER LINEAL FOOT | CMU | CONCRETE MASONRY UNIT | PNL | PANEL | COL | COLUMN | PT | CCA PRESSURE TREATED | CONC | CONCRETE | PT | POINT | DBL | DOUBLE | PVC | POLYVINYLCHLORIDE | DIAG | DIAGONAL | R | RADIUS (OR) RISER | DS | DOWNSPOUT | R/A | RETURN AIR | DTL | DETAIL | REBAR | STEEL REINF. BAR | DWR | DRAWER | REFR. | REFRIGERATOR | EJ | EXPANSION JOINT | SF | SQUARE FOOT (FEET) | EL | ELEVATION | SS | STAINLESS STEEL | ELEC | ELECTRIC | SPEC | SPECIFICATION | EQ | EQUAL | T | TYPICAL | EXH | EXHAUST | UNO | UNLESS NOTED OTHERWISE | FV | FIELD VERIFY | VCT | VINYL COMPOSITION TILE | GALV | GALVANIZED | VERT | VERTICAL | GI | GALVANIZED IRON | WD | WOOD | HORZ | HORIZONTAL | WWF | WELDED WIRE FABRIC | HDW | HARDWARE | WH | WATER HEATER | HVAC | HEATING VENTILATING & AIR CONDITIONING | W/O | WITHOUT | FOC | FACE OF CONCRETE |  |  | FOS | FACE OF STUD |  |  | FIN | FINISH |  |  | FE | FIRE EXTINGUISHER |  |  | FND | FOUNDATION |  |  | FTG | FOOTING |  |  | ID | INSIDE DIAMETER |  |  | MAX | MAXIMUM |  |  | <p style="text-align: center;"><b>SYMBOLS LEGEND</b></p> <p style="text-align: center;"><b>NORTH ARROWS</b></p> <p style="text-align: center;"><b>BUILDING SECTION</b></p> <p style="text-align: center;"><b>WALL SECTION</b></p> <p style="text-align: center;"><b>CUT DETAIL INDICATOR</b></p> <p style="text-align: center;"><b>BLOWN-UP DETAIL INDICATOR</b></p> | <p style="text-align: center;"><b>CROSS SECTION</b></p> <p style="text-align: center;"><b>SECTION &amp; DETAIL DRWG. TITLES</b></p> <p style="text-align: center;"><b>WALL ELEVATION INDICATOR</b></p> <p style="text-align: center;"><b>ROOM NUMBER INDICATOR</b></p> <p style="text-align: center;"><b>DOOR OPENING INDICATOR</b></p> <p style="text-align: center;"><b>WINDOW INDICATOR</b></p> <p style="text-align: center;"><b>PARTITION/WALL TYPE INDICATOR</b></p> | <p style="text-align: center;"><b>MATERIAL DESIGNATIONS</b></p> <ul style="list-style-type: none"> <li>CONCRETE MASONRY UNITS IN PLAN</li> <li>CONC., STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN</li> <li>METAL IN ELEVATION</li> <li>METAL IN SECTION</li> <li>FINISH WOOD IN ELEV. &amp; IN SECTION</li> <li>DIMENSION LUMBER IN SECTION (CONTINUOUS)</li> <li>WOOD BLOCKING IN SECTION (DISCONTINUOUS)</li> <li>GYPSUM WALL BOARD IN SECTION (LARGE SCALE)</li> <li>EARTH, NATURAL SUBSTRATE</li> <li>GRAVEL, AGGREGATE BASE COURSE, FILL</li> <li>FIBERGLASS BATT INSULATION</li> <li>RIGID INSULATION</li> </ul> <p style="text-align: center;"><b>PARTITIONS &amp; WALLS</b></p> <ul style="list-style-type: none"> <li>CONCRETE MASONRY UNITS</li> <li>POURED CONCRETE</li> <li>WOOD FRAME</li> <li>METAL STUDS</li> <li>EXISTING CONSTRUCTION TO REMAIN</li> <li>EXISTING CONSTRUCTION TO BE DEMOLISHED</li> </ul> <p style="text-align: center;"><b>DESCRIPTION OF WORK:</b></p> <p>THE WORK OF THIS PROJECT IS A RESTORATION OF THE EXTERIOR CONCRETE AND INCLUDES THE REMOVAL AND REPLACEMENT OF DETERIORATED CONCRETE AND REPLACING IT IN KIND.</p> <p>FROM THE SECRETARY OF THE INTERIOR'S STANDARDS:</p> <p>RESTORATION IS DEFINED AS THE ACT OR PROCESS OF ACCURATELY DEPICTING THE FORM, FEATURES, AND CHARACTER OF A PROPERTY AS IT APPEARED AT A PARTICULAR PERIOD OF TIME BY MEANS OF THE REMOVAL OF FEATURES FROM OTHER PERIODS IN ITS HISTORY AND RECONSTRUCTION OF MISSING FEATURES FROM THE RESTORATION PERIOD. THE LIMITED AND SENSITIVE UPGRADING OF MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS AND OTHER CODE-REQUIRED WORK TO MAKE PROPERTIES FUNCTIONAL IS APPROPRIATE WITHIN A RESTORATION PROJECT.</p> |
| AB  | ANCHOR BOLT                            | MIN         | MINIMUM                |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| ABC   | AGGREGATE BASE COURSE                  | NTS         | NOT TO SCALE           |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| A/C   | AIR CONDITIONING                       | OA          | OVERALL                |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| BLKG  | BLOCKING                               | OC          | ON CENTER              |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| BUR   | BILT UP ROOF                           | OD          | OUTSIDE DIAMETER       |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| CAB   | CABINET                                | PCF         | POUNDS PER CUBIC FOOT  |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| CER   | CERAMIC                                | PL          | PROPETY LINE           |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| CL  | CENTER LINE                            | PLAM        | PLASTIC LAMINATE       |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| CLG   | CEILING                                | PLF         | POUNDS PER LINEAL FOOT |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| CMU   | CONCRETE MASONRY UNIT                  | PNL         | PANEL                  |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| COL   | COLUMN                                 | PT          | CCA PRESSURE TREATED   |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| CONC  | CONCRETE                               | PT          | POINT                  |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| DBL   | DOUBLE                                 | PVC         | POLYVINYLCHLORIDE      |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| DIAG  | DIAGONAL                               | R           | RADIUS (OR) RISER      |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| DS  | DOWNSPOUT                              | R/A         | RETURN AIR             |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| DTL   | DETAIL                                 | REBAR       | STEEL REINF. BAR       |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| DWR   | DRAWER                                 | REFR.       | REFRIGERATOR           |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| EJ  | EXPANSION JOINT                        | SF          | SQUARE FOOT (FEET)     |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| EL  | ELEVATION                              | SS          | STAINLESS STEEL        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| ELEC  | ELECTRIC                               | SPEC        | SPECIFICATION          |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| EQ  | EQUAL                                  | T           | TYPICAL                |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| EXH   | EXHAUST                                | UNO         | UNLESS NOTED OTHERWISE |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| FV  | FIELD VERIFY                           | VCT         | VINYL COMPOSITION TILE |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| GALV  | GALVANIZED                             | VERT        | VERTICAL               |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| GI  | GALVANIZED IRON                        | WD          | WOOD                   |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| HORZ  | HORIZONTAL                             | WWF         | WELDED WIRE FABRIC     |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| HDW   | HARDWARE                               | WH          | WATER HEATER           |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| HVAC  | HEATING VENTILATING & AIR CONDITIONING | W/O         | WITHOUT                |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| FOC   | FACE OF CONCRETE                       |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| FOS   | FACE OF STUD                           |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| FIN   | FINISH                                 |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| FE  | FIRE EXTINGUISHER                      |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| FND   | FOUNDATION                             |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| FTG   | FOOTING                                |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| ID  | INSIDE DIAMETER                        |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |
| MAX   | MAXIMUM                                |             |                        |         |     |                       |     |              |     |                  |    |         |      |          |    |           |     |              |    |                  |     |         |     |                       |     |         |    |              |    |             |      |                  |     |         |     |                        |     |                       |     |       |     |        |    |                      |      |          |    |       |     |        |     |                   |      |          |   |                   |    |           |     |            |     |        |       |                  |     |        |       |              |    |                 |    |                    |    |           |    |                 |      |          |      |               |    |       |   |         |     |         |     |                        |    |              |     |                        |      |            |      |          |    |                 |    |      |      |            |     |                    |     |          |    |              |      |  |     |         |     |                  |  |  |     |              |  |  |     |        |  |  |    |                   |  |  |     |            |  |  |     |         |  |  |    |                 |  |  |     |         |  |  |  |  |   |

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

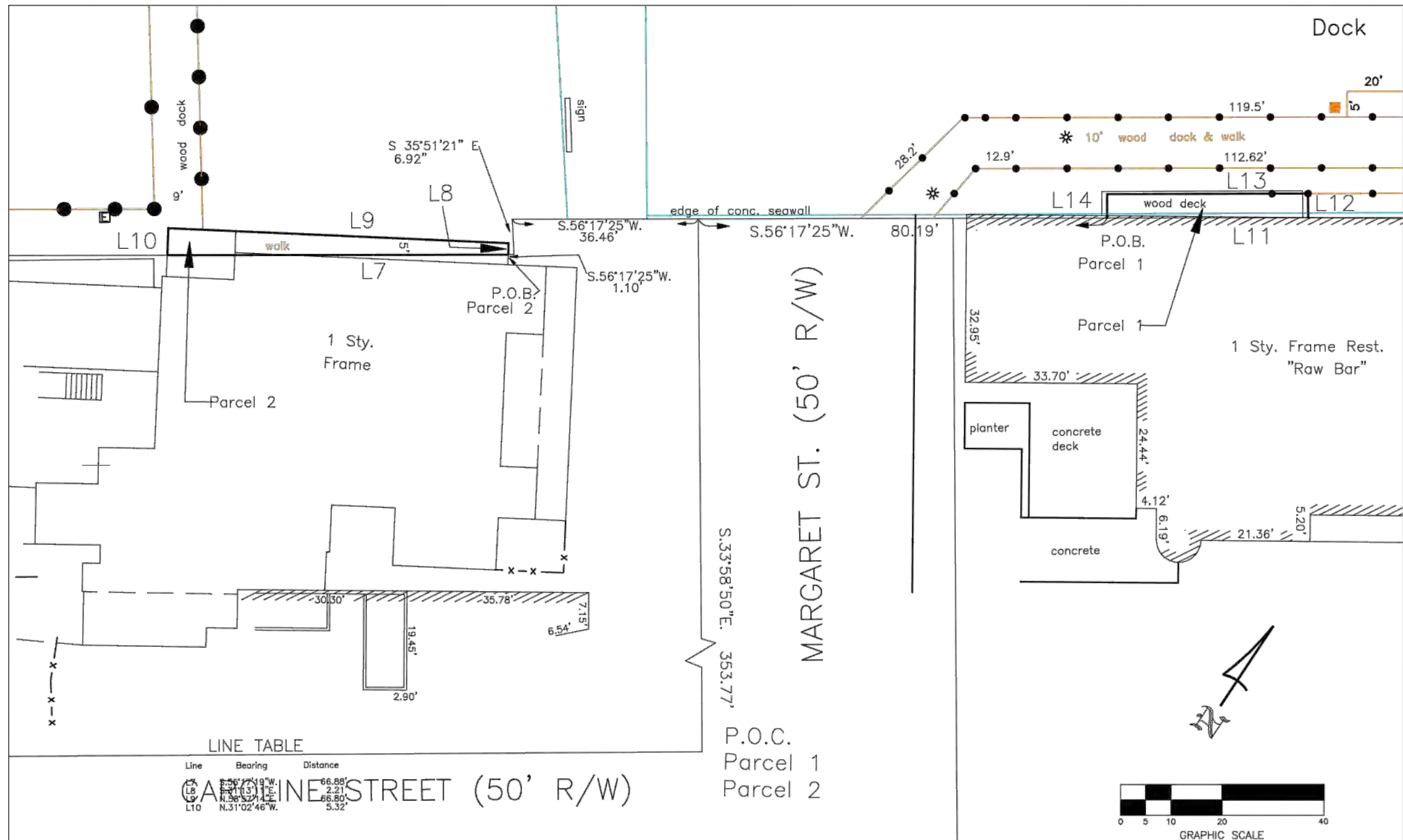
Bender & Associates  
ARCHITECTS  
P.A.

Project No.: 1426A  
SITE MAP  
PROJECT DIRECTORY  
GENERAL NOTES  
ABBREVIATIONS  
SHEET INDEX  
SYMBOL LEGEND  
Date: 10/08/15

A.0

1 OF 13





Parcel 1:  
Commence at the intersection of the Northwestern Right-of-Way Line of Caroline Street and the Southwesterly Right-of-Way Line of Margaret Street, thence N 33°58'50" W along the said Southwesterly Right-of-Way Line of Margaret Street for 353.77 feet; thence N 56°17'25" E for a distance of 80.19 feet to the Point of Beginning; thence continue N 56°17'25" E for a distance of 39.51 feet; thence N 33°42'27" W for a distance of 4.72 feet; thence S 56°17'33" W for a distance of 39.51 feet; thence S 33°42'27" E for a distance of 4.72 feet back to the Point of Beginning.  
Parcel contains 185 square feet, more or less.

Parcel 2:  
Commence at the intersection of the Northwestern Right-of-Way Line of Caroline Street and the Southwesterly Right-of-Way Line of Margaret Street, thence N 33°58'50" W along the said Southwesterly Right-of-Way Line of Margaret Street for 353.77 feet; thence S 56°17'25" W for a distance of 36.46 feet; thence S 35°51'21" E for a distance of 6.92 feet; thence S 56°17'19" W for a distance of 1.10 feet to the Point of Beginning; thence continue S 56°17'19" W for a distance of 66.88 feet; thence N 31°02'46" W for a distance of 5.32 feet; thence N 58°57'14" E for a distance of 66.80 feet; thence S 31°13'11" E for a distance of 2.21 feet back to the Point of Beginning.  
Parcel contains 251 square feet, more or less.

11 4/14/09 Correct L.D. fish house  
10 3/24/09 L.D. for Floating Dockmasters Office  
9 3/5/09 Fish House Legal revised

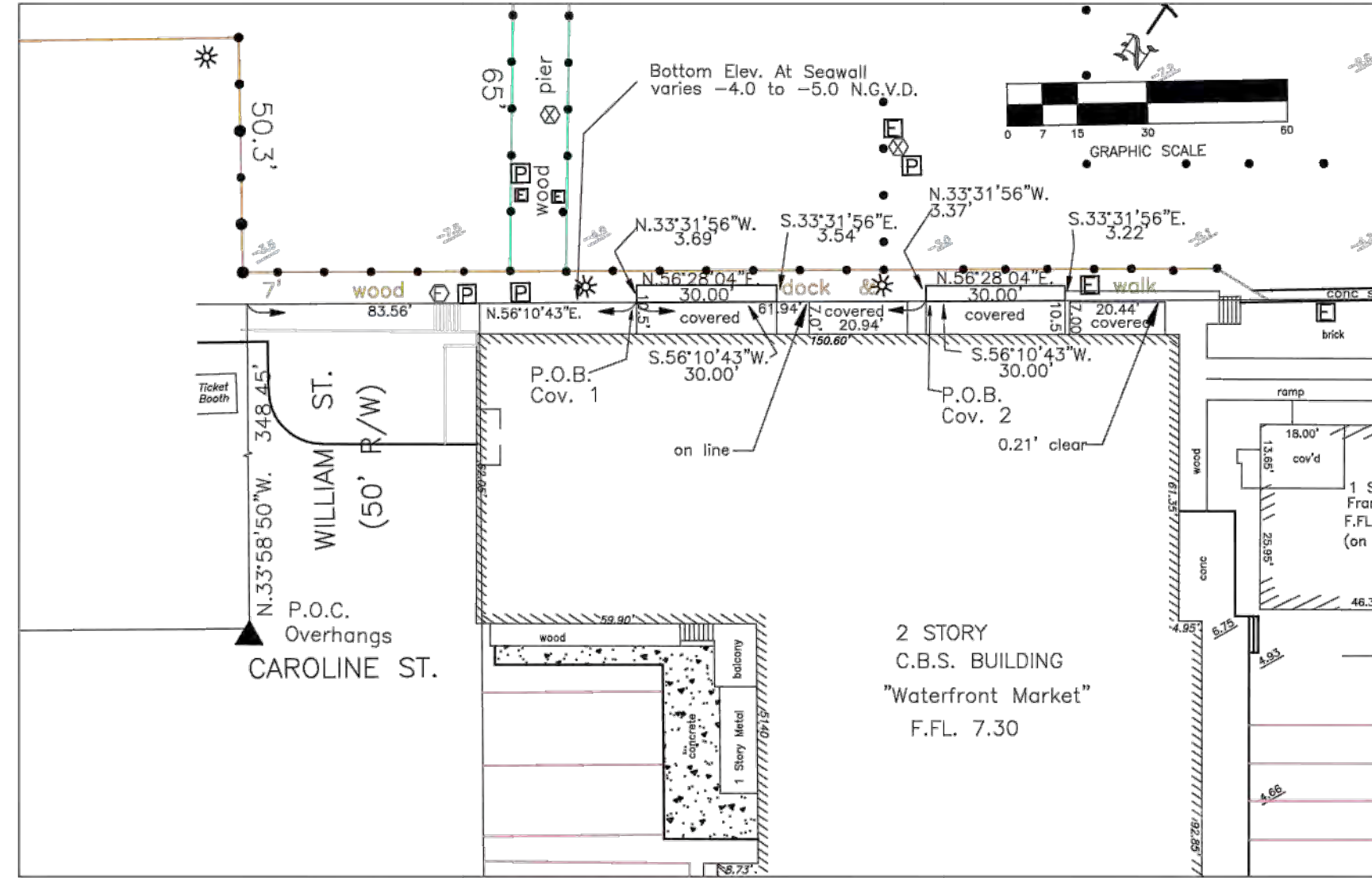
| No. | Date    | Remarks                       |
|-----|---------|-------------------------------|
| 1   | 3/21/07 | Updated, details              |
| 2   | 3/28/07 | Updated, details, legal       |
| 3   | 7/13/07 | Updated, details, legal       |
| 4   | 6/10/08 | Updated, legals               |
| 5   | 6/16/08 | Updated, legals               |
| 6   | 9/25/08 | Updated L.D. Cov'd. & Cannery |
| 7   | 1/06/09 | Typo's, Ice Machine           |
| 8   | 1/12/09 | Typo's, Ice Machine           |

Sheet Description:  
**PROPOSED IMPROVEMENTS**

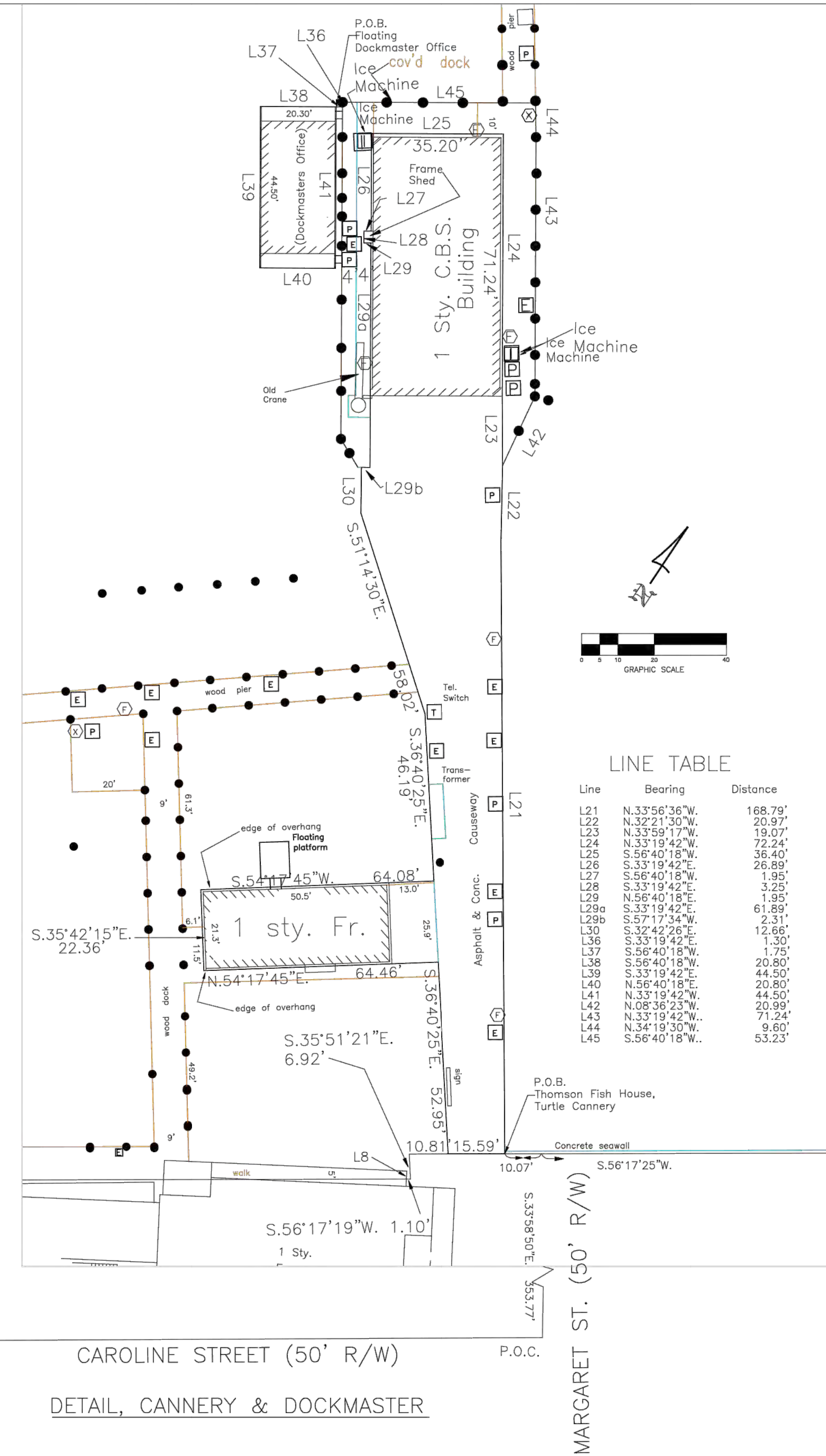
Legal Description: Thomson Fish House and Turtle Cannery  
(Prepared by undersigned)  
Commence at the intersection of the Northwestern Right-of-Way Line of Caroline Street and the Southwesterly Right-of-Way Line of Margaret Street, thence N 33°58'50" W along the said Southwesterly Right-of-Way Line of Margaret Street for 353.77 feet to the face of a concrete seawall; thence S 56°17'25" W along the face of the said concrete seawall for a distance of 10.07 feet to the edge of a concrete causeway and the Point of Beginning; thence N.33°56'36" W, along said concrete causeway, a distance of 168.79 feet; thence N.32°21'30" W, a distance of 20.97 feet; thence N 33°59'17" W for a distance of 19.07 feet; thence N 33°19'42" W for a distance of 72.24 feet; thence S 56°40'18" W for a distance of 36.40 feet; thence S 33°19'43" E for a distance of 26.89 feet; thence S 56°40'18" W for a distance of 1.95 feet; thence S 33°19'42" E for a distance of 3.25 feet; thence N 56°40'18" E for a distance of 1.95 feet; thence S 33°19'42" E for a distance of 61.89 feet; thence S 57°17'34" W for a distance of 2.31 feet; thence S.32°42'26" E, a distance of 12.66 feet; thence S.51°14'30" E, a distance of 58.02 feet; thence 36°40'25" E for a distance of 46.19 feet to the edge of a wood dock and an old Turtle Cannery; thence S.54°17'45" W, along said wood dock and a building overhang, a distance of 64.08 feet to the edge of a wood dock and building overhang; thence S 35°42'15" E along an old dock and building overhang a distance of 22.36 feet; thence N 54°17'45" E along an old wood dock and building overhang a distance of 64.46 feet to an asphalt and concrete causeway; thence S 36°40'25" E along the concrete causeway 52.95 feet; thence N 56°17'25" E along a concrete seawall for 15.59 feet to the Point of Beginning.  
Parcel contains 9184 square feet or 0.21 acres, more or less.

Legal Description: Floating Dockmaster Office  
(Prepared by undersigned)  
Commence at the intersection of the Northwestern Right-of-Way Line of Caroline Street and the Southwesterly Right-of-Way Line of Margaret Street, thence N 33°58'50" W along the said Southwesterly Right-of-Way Line of Margaret Street for 353.77 feet; thence S 56°17'25" W for a distance of 10.07 feet to the edge of a concrete causeway; thence N.33°56'36" W, along said concrete causeway, a distance of 168.79 feet; thence N.32°21'30" W, a distance of 20.97 feet to the edge of a wooden dock; thence N.08°36'23" W, along said wooden dock, a distance of 20.99 feet; thence N.33°19'42" W, a distance of 71.24 feet; thence N.34°19'30" W, a distance of 9.60 feet; thence S.56°40'18" W, a distance of 53.23 feet to the edge of a wooden dock; thence S.33°19'42" E, along said wooden dock, a distance of 1.30 feet; thence S.56°40'18" E, a distance of 1.75 feet to the edge of the Dockmaster's Office and the Point of Beginning; thence following the edge of said Dock Master's Office for the following four terms; thence S.56°40'18" W, for a distance of 20.80 feet; thence S.33°19'42" E, for a distance of 44.50 feet; thence N.56°40'18" E, for a distance of 20.80 feet; thence N.33°19'42" W, for a distance of 44.50 feet back to the Point of Beginning.  
Parcel contains 925 square feet, or 0.02 acres, more or less.

Legal Description: Covered Area 2:  
(Prepared by undersigned)  
Commence at the intersection of the Northwestern Right-of-Way Line of Caroline Street and the Southwesterly Right-of-Way Line of William Street, thence N 33°58'50" W along the said Southwesterly Right-of-Way Line of William Street for 348.45 feet to the face of a concrete seawall; thence N 56°10'43" E along the concrete seawall for a distance of 83.56 feet to the Point of Beginning; thence N 33°31'56" W for 3.69 feet; thence N 56°28'04" E for 30.00 feet; thence S 33°31'56" E for 3.54 feet; thence S 56°10'43" W for 30.00 feet to the Point of Beginning.  
Parcel contains 108.35 square feet more or less.



DETAIL COVERED AREA



DETAIL, CANNERY & DOCKMASTER

Project:  
**KEY WEST BIGHT**

**FREDERICK H. HILDEBRANDT**  
Engineer Planner Surveyor  
3152 Northside Drive, Key West, Florida 33040  
(305) 293-0466 Fax. (305) 293-0237  
fhildeb1@bellsouth.net

Date: 7/13/06  
Designed: F.H.H.  
Drawn: F.H.H.  
Checked: F.H.H.  
Job. No. 06-387  
Sheet No. 2 of 2

**THOMPSON FISH HOUSE REPAIRS**  
AT THE KEY WEST BIGHT MARINA  
KEY WEST, FLORIDA, 33040

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AA0002022

**Bender & Associates**  
**ARCHITECTS**  
p.c.

Project No: 1426A  
SURVEY  
Date: 10/08/15

**A0.1**  
2 OF 13



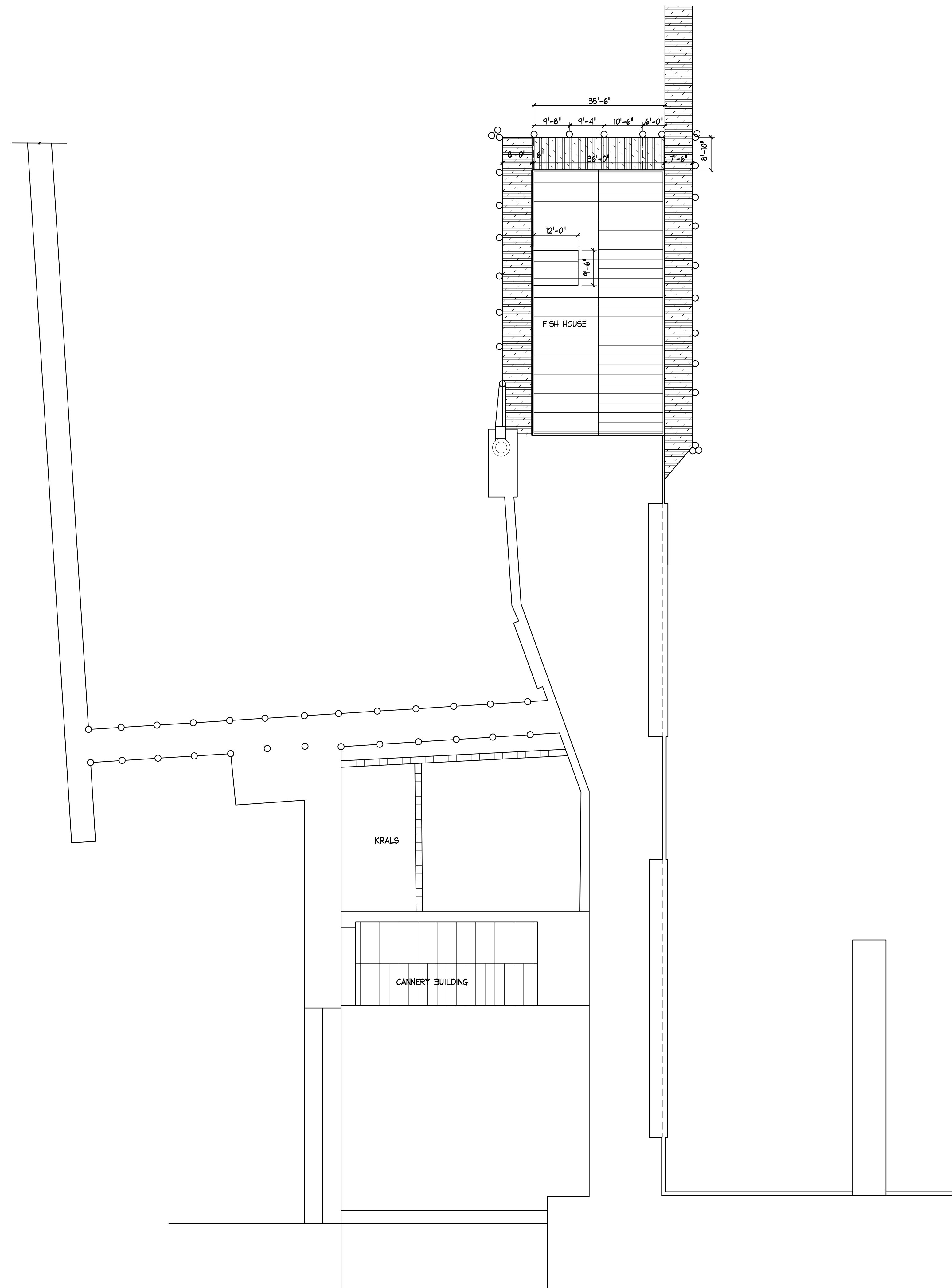
P R E S E R V A T I O N   N O T E S

PRESERVATION NOTES:

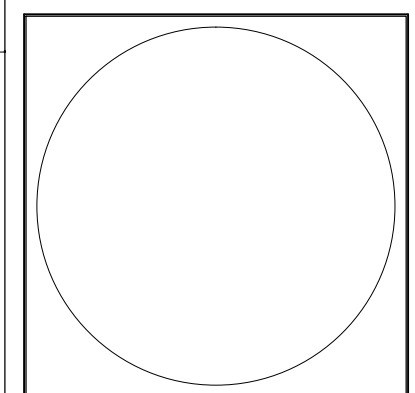
1. MATCH ORIGINAL HISTORIC MATERIAL, TEXTURES AND FINISHES. THE ARCHITECT WILL BE THE SOLE JUDGE AS TO WHAT CONSTITUTES AN APPROPRIATE MATCH.
2. REMOVE ALL AREAS IDENTIFIED BY THE ARCHITECT AS INAPPROPRIATE OR NOT MATCHING THE ADJACENT HISTORIC FABRIC.
3. TAKE ALL APPROPRIATE MEASURES NECESSARY TO CORRECT INFERIOR WORK AS IDENTIFIED BY THE ARCHITECT. PROTECT HISTORIC FABRIC DURING ALL OPERATIONS. NO HISTORIC MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT PRIOR APPROVAL OF ARCHITECT. THE ARCHITECT RESERVES THE RIGHT TO HAVE INDIVIDUAL WORKMEN REMOVED FROM INDIVIDUAL ACTIVITIES OR THE PROJECT ENTIRELY, IF IN THE ARCHITECT'S JUDGEMENT, THE QUALITY OF WORK BEING PERFORMED IS INAPPROPRIATE, INFERIOR, OR DETRIMENTAL TO HISTORIC MATERIALS.
5. REFER TO PHOTOGRAPHIC DETAILS IN THE SPECIFICATIONS FOR ADDITIONAL HISTORIC PRESERVATION INFORMATION AND PROJECT REQUIREMENTS.
6. ALL WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION, AS ADMINISTERED BY THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORIC RESOURCES.
7. DUE TO THE SENSITIVE HISTORIC NATURE OF THIS PROJECT, GENERAL CONTRACTORS AND CERTAIN TRADES MUST MEET PREQUALIFICATION REQUIREMENTS. REFER TO SUPPLEMENTARY GENERAL CONDITIONS, SECTION 02200.
8. HISTORIC FINISHES AND FURRING MAY BE INTACT UNDER CONTEMPORARY FINISHES. CONSULT ARCHITECT BEFORE REMOVAL OF QUESTIONABLE HISTORIC OR NON-HISTORIC MATERIAL. WHERE THE TERM 'RESTORE' IS USED THROUGHOUT THESE DOCUMENTS, THE INTENT IS TO RETURN AN ITEM, FINISH, OR MATERIAL TO ITS HISTORIC CONFIGURATION AND/OR CONDITION. THE LEAST INTRUSIVE METHOD REQUIRED SHOULD BE USED FIRST: CLEAN, PATCH, OR REPLACE USING AN IN-KIND MATERIAL, I.E. BRONZE FOR BRONZE, CONCRETE FOR CONCRETE, CORAL STONE FOR CORAL STONE, ETC. COORDINATE ALL REQUIREMENTS FOR 'RESTORATION' WITH ARCHITECT.

THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION:

- (a) The following Standards for Rehabilitation are the criteria used to determine if a rehabilitation project qualifies as a certified rehabilitation. The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located.
- (b) The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. (The application of these Standards to rehabilitation projects is to be the same as under the previous version so that a project previously acceptable would continue to be acceptable under these Standards.)
- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
  - (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
  - (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
  - (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
  - (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
  - (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
  - (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
  - (8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
  - (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
  - (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- (c) The quality of materials and craftsmanship used in a rehabilitation project must be commensurate with the quality of materials and craftsmanship of the historic building in question. Certain treatments, if improperly applied, or certain materials by their physical properties, may cause or accelerate physical deterioration of historic buildings. Inappropriate physical treatments include, but are not limited to: improper repointing techniques; improper exterior masonry cleaning methods; or improper introduction of insulation where damage to historic fabric would result. In almost all situations, use of these materials and treatments will result in denial of certification. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will result in denial of certification. For further information on appropriate and inappropriate rehabilitation treatments, owners are to consult the Guidelines for Rehabilitating Historic Buildings published by the NPS. "Preservation Briefs" and additional technical information to help property owners formulate plans for the rehabilitation, preservation, and continued use of historic properties consistent with the intent of the Secretary's Standards for Rehabilitation are available from the SHPOs and NPS regional offices. Owners are responsible for procuring this material as part of property planning for a certified rehabilitation.



**THOMPSON FISH HOUSE REPAIRS**  
 AT THE KEY WEST BIGHT MARINA  
 KEY WEST, FLORIDA, 33040



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 Facsimile (305) 296-2727  
 Florida License AAC002022

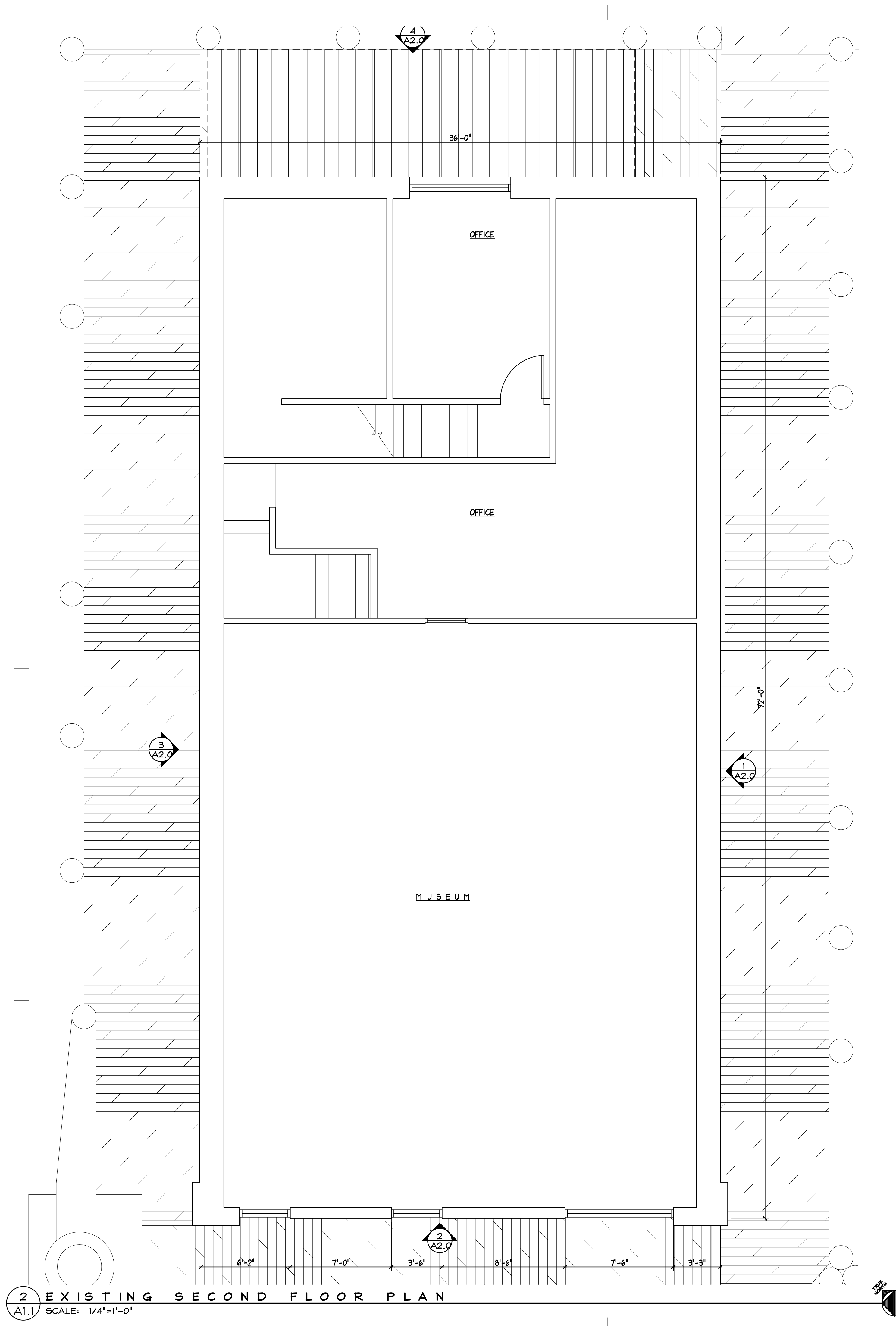
*Bender & Associates*  
**ARCHITECTS**  
 p.a.

Project No: 1426A  
 EXISTING SITE PLAN  
 Date: 10/08/15

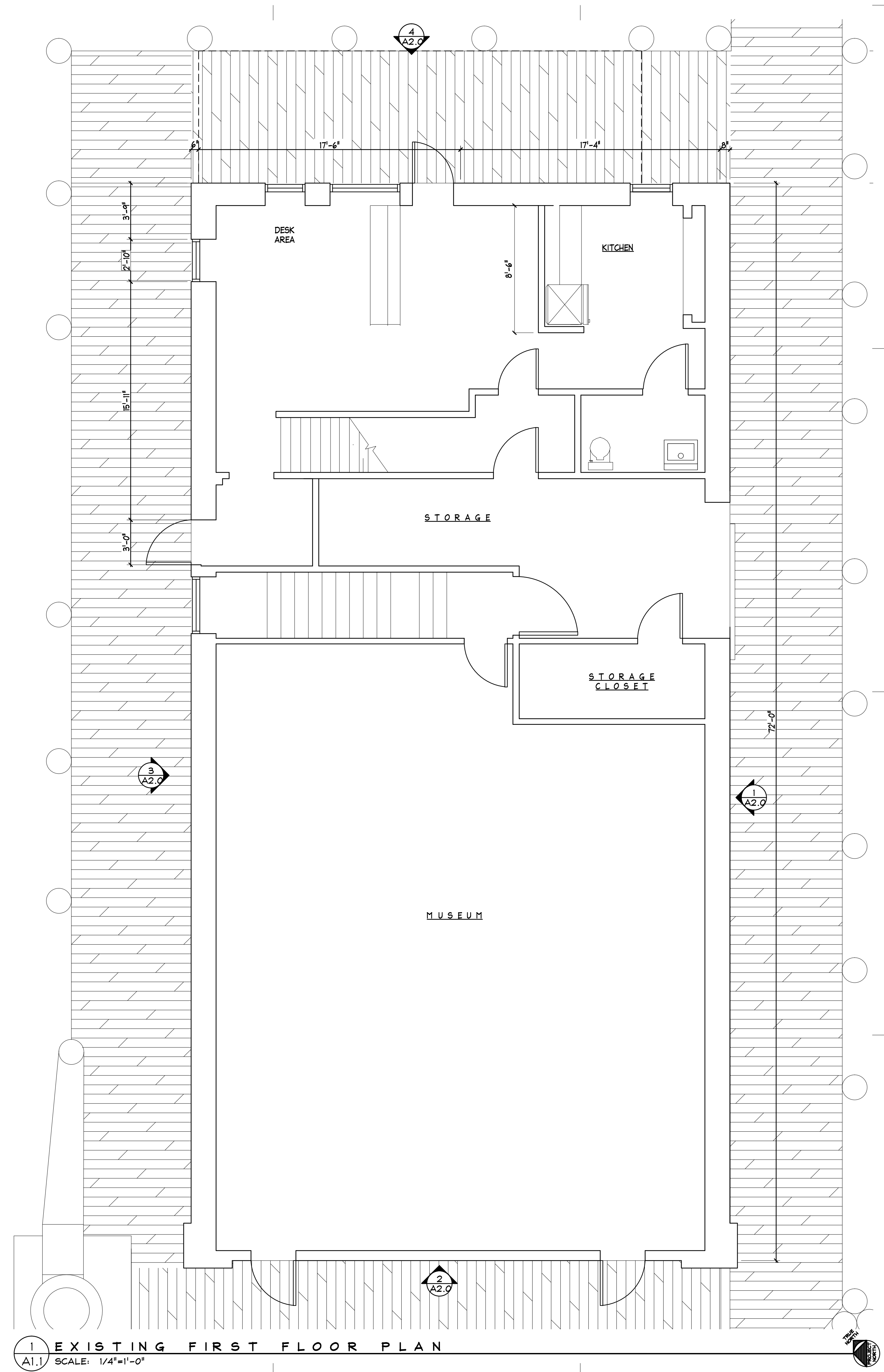
**A1.0**  
 3 OF 13

1 EXISTING SITE PLAN  
 A1.0 SCALE: 1/16"=1'-0"



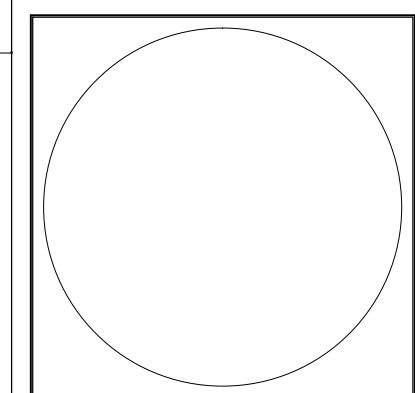


2 EXISTING SECOND FLOOR PLAN  
 A1.1 SCALE: 1/4"=1'-0"



1 EXISTING FIRST FLOOR PLAN  
 A1.1 SCALE: 1/4"=1'-0"

THOMPSON FISH HOUSE REPAIRS  
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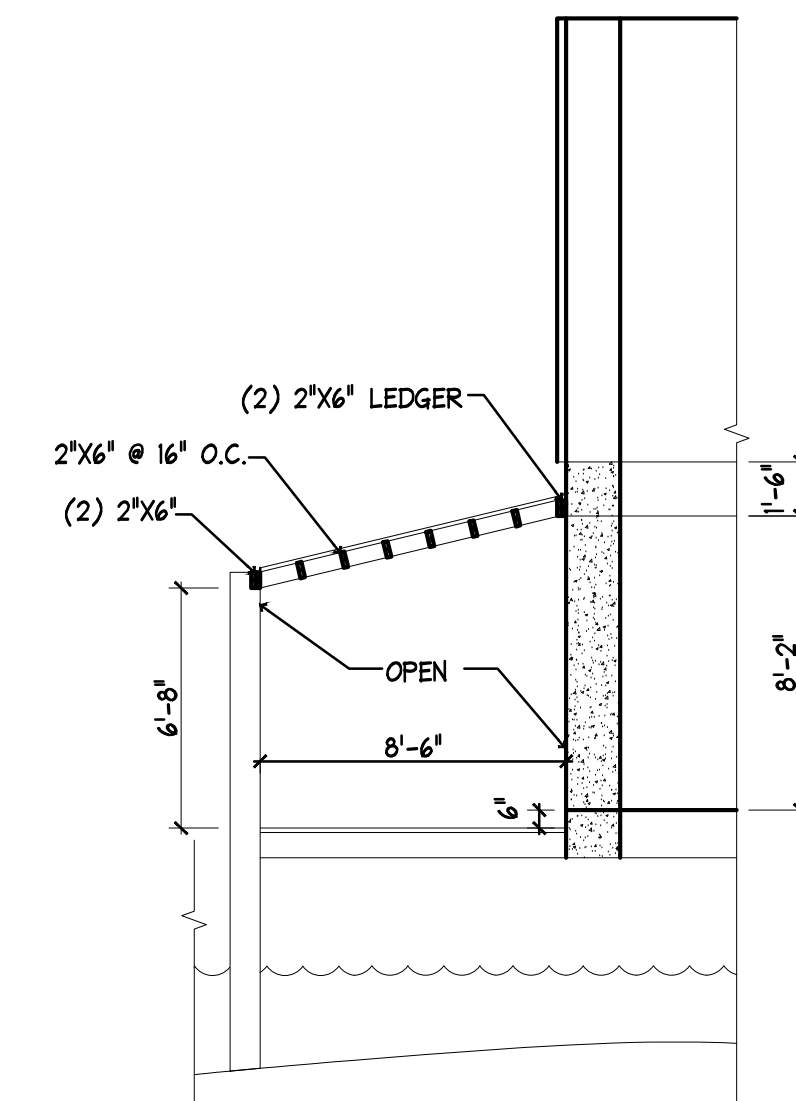
Bender & Associates  
 ARCHITECTS  
 p.c.

Project No: 1426A  
 EXISTING FLOOR PLANS  
 Date: 10/06/15

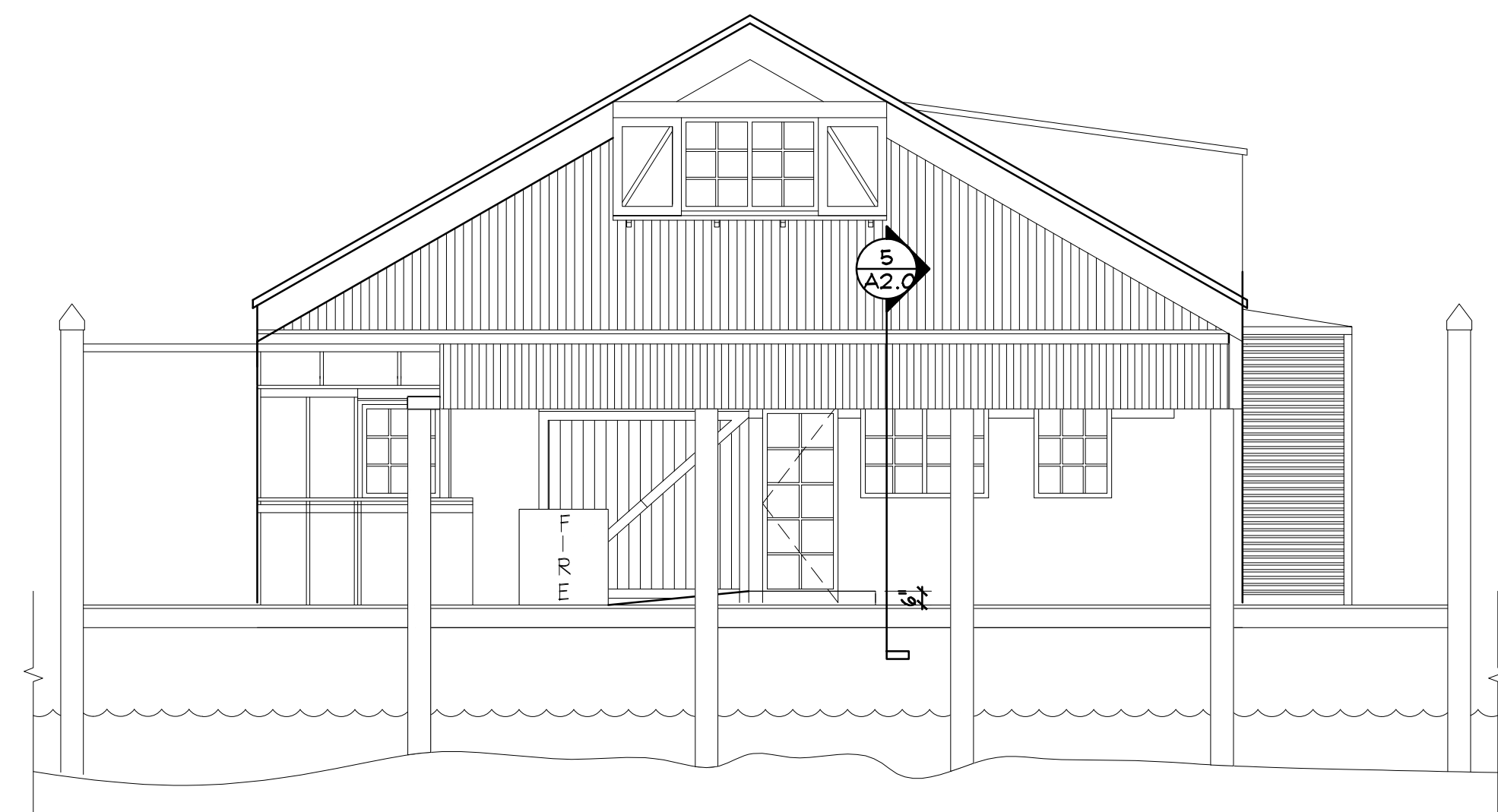
A1.1  
 4 OF 13

**RESTORATION NOTES:**

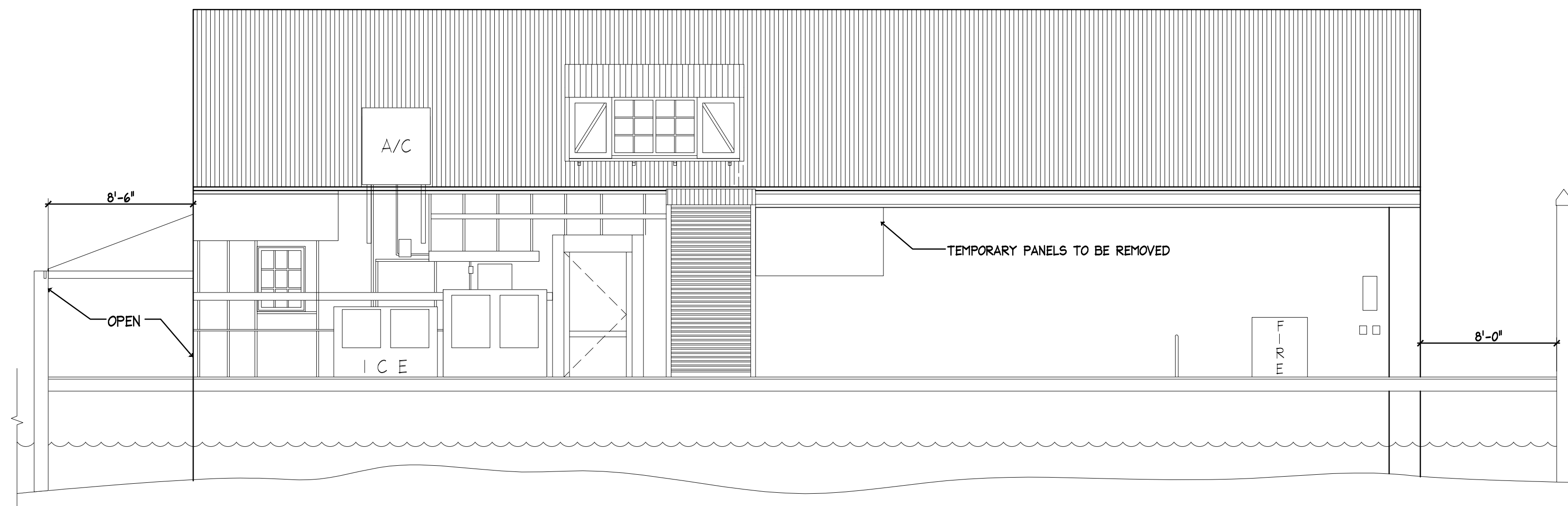
1. THE INTENT OF THIS PROJECT IS TO RESTORE THE EXTERIOR CONCRETE TO REPLICATE THE ORIGINAL HISTORIC CONCRETE FINISH TO THE GREATEST EXTENT POSSIBLE.
2. THE WORK OF THIS PROJECT INCLUDES REMOVAL OF PLYWOOD AND OTHER WOOD BRACES AND SHORING, REMOVAL OF DETERIORATED CONCRETE AS SPECIFIED AND DETAILED.
3. PRIOR TO COMMENCING THE WORK, REVIEW THE EXISTING CONDITIONS ON THE SITE WITH THE ARCHITECT TO ESTABLISH A REPAIR METHODOLOGY THAT WILL RESULT IN MINIMAL DISRUPTION OF ON GOING ACTIVITIES. FOLLOWING REMOVAL OF SHORING, BRACING AND PLYWOOD COVERS, SCHEDULE A MEETING ON SITE WITH THE ARCHITECT TO CONFIRM HISTORIC PATTERNS.
4. EXISTING WINDOWS AND DOORS WILL REMAIN. PROTECT AS REQUIRED.
5. PROVIDE BARRICADES AND SIGNAGE AS REQUIRED TO PROTECT THE PUBLIC, CITY EMPLOYEES AND WORKERS.
6. IT IS ANTICIPATED THAT EQUIPMENT WILL NEED TO BE TEMPORARILY REMOVED OR RELOCATED TO FACILITATE THE WORK MAINTAIN ELECTRICAL SERVICE SO THAT THE DOCK MASTERS OFFICE WILL REMAIN OPERATIONAL. COORDINATE A REQUIRED CLOSURE TIME AND DATES FOR THE MUSEUM WITH THE OWNER.



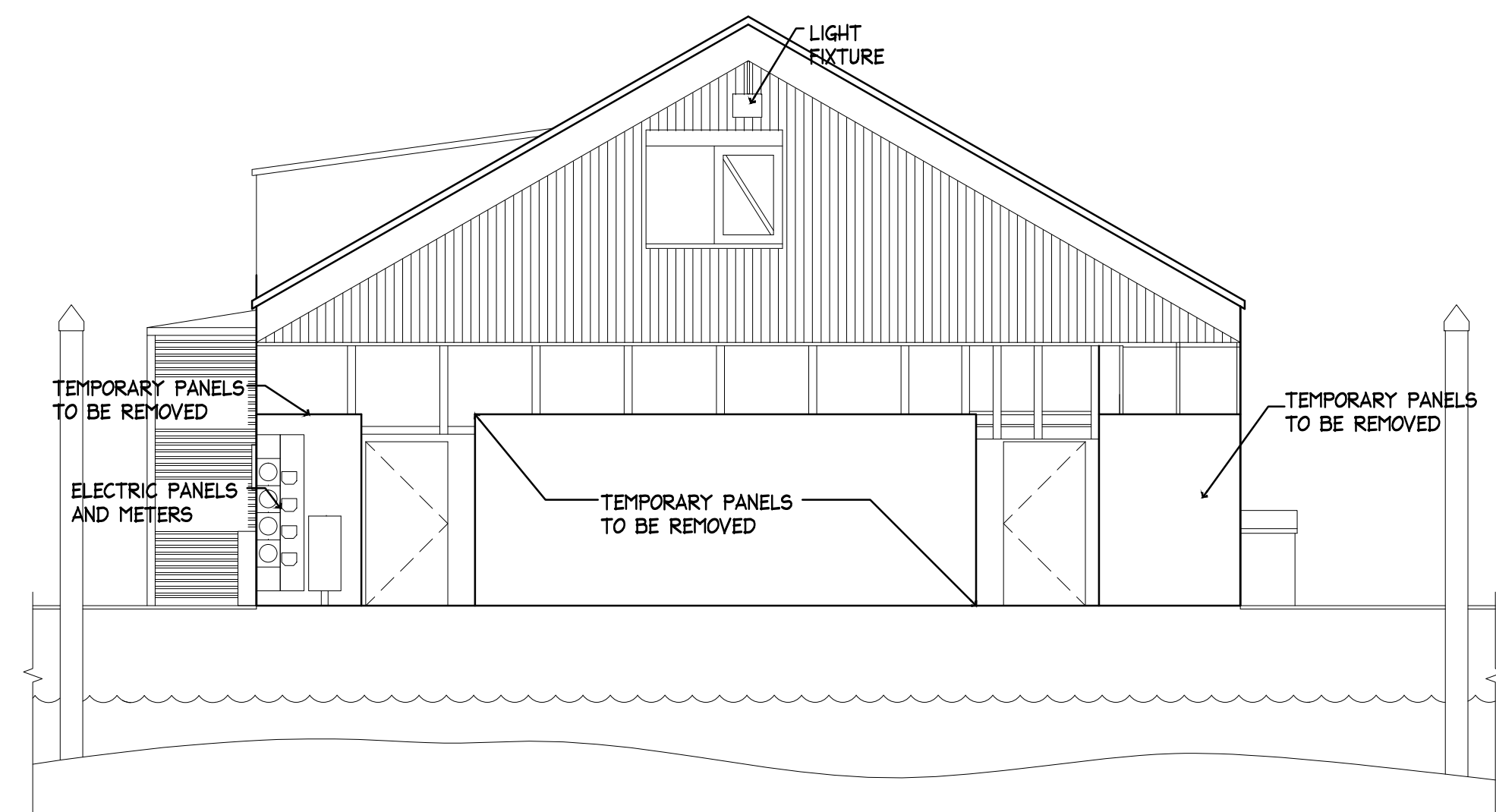
**5 SECTION OF PORCH ROOF**  
SCALE: 3/16"=1'-0"



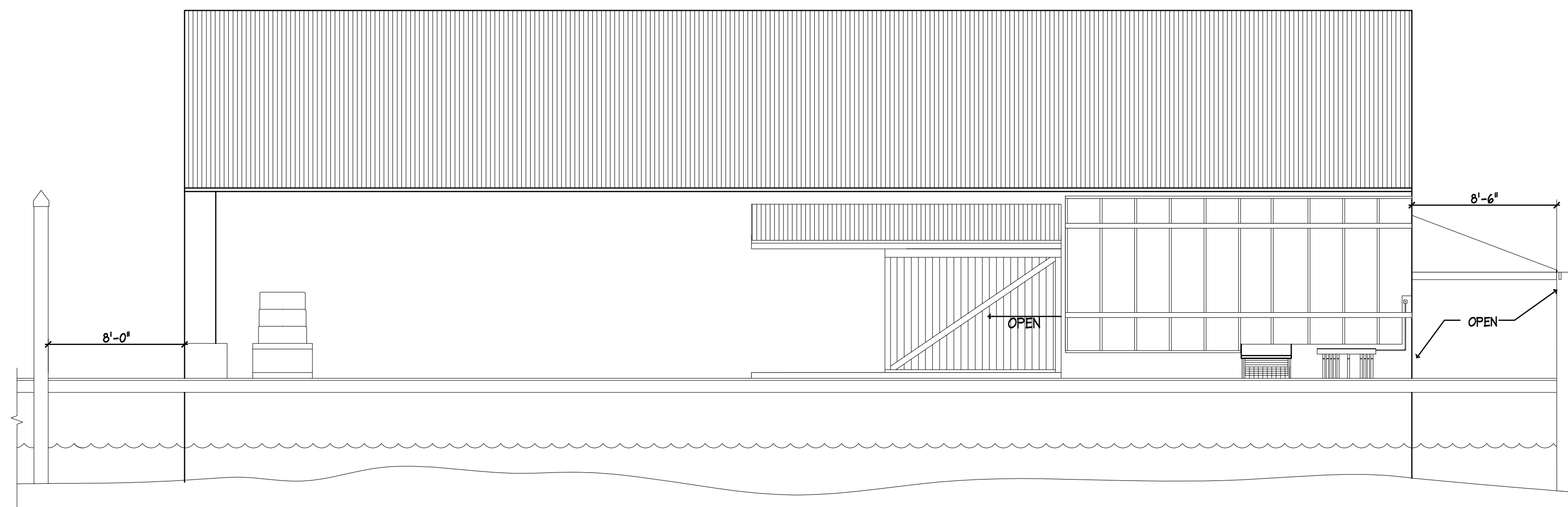
**4 EXISTING NORTH ELEVATION**  
SCALE: 3/16"=1'-0"



**3 EXISTING WEST ELEVATION**  
SCALE: 3/16"=1'-0"



**2 EXISTING SOUTH ELEVATION**  
SCALE: 3/16"=1'-0"



**1 EXISTING EAST ELEVATION**  
SCALE: 3/16"=1'-0"

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**ARCHITECTS**  
p. a.

Project No: 1426A  
EXISTING EXTERIOR ELEVATIONS  
Date: 10/08/15

**A2.0**  
5 OF 13

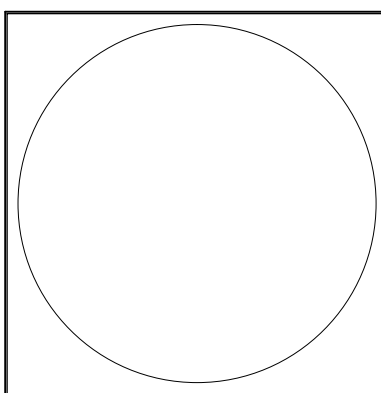
**RESTORATION NOTES:**

1. PRIOR TO THE START OF CONSTRUCTION, COORDINATE ALL WORK SCHEDULES WITH THE OWNER AND ARCHITECT TO MINIMIZE DISRUPTION OF DOCK SERVICES.
2. CO-ORDINATE TEMPORARY RELOCATION OF ELECTRICAL SERVICES AND OTHER UTILITIES WITH THE APPROPRIATE UTILITY, THE OWNER AND THE ARCHITECT.
3. SEE STRUCTURAL SHEETS FOR CONCRETE DEMOLITION AND RESTORATION INFORMATION.

**RESTORATION NOTES:**

1. THE INTENT OF THIS PROJECT IS TO RESTORE THE EXTERIOR CONCRETE TO REPLICATE THE ORIGINAL HISTORIC CONCRETE FINISH TO THE GREATEST EXTENT POSSIBLE.
2. THE WORK OF THIS PROJECT INCLUDES REMOVAL OF PLYWOOD AND OTHER WOOD BRACES AND SHORING, REMOVAL OF DETERIORATED CONCRETE AS SPECIFIED AND DETAILED.
3. PRIOR TO COMMENCING THE WORK, REVIEW THE DEMO CONDITIONS ON THE SITE WITH THE ARCHITECT TO ESTABLISH A REPAIR METHODOLOGY THAT WILL RESULT IN MINIMAL DISRUPTION OF ON GOING ACTIVITIES. FOLLOWING REMOVAL OF SHORING, BRACING AND PLYWOOD COVERS, SCHEDULE A MEETING ON SITE WITH THE ARCHITECT TO CONFIRM HISTORIC PATTERNS.
4. EXISTING WINDOWS AND DOORS WILL REMAIN. PROTECT AS REQUIRED.
5. PROVIDE BARRICADES AND SIGNAGE AS REQUIRED TO PROTECT THE PUBLIC, CITY EMPLOYEES AND WORKERS.
6. IT IS ANTICIPATED THAT EQUIPMENT WILL NEED TO BE TEMPORARILY REMOVED OR RELOCATED TO FACILITATE THE WORK MAINTAIN ELECTRICAL SERVICE SO THAT THE DOCK MASTERS OFFICE WILL REMAIN OPERATIONAL. COORDINATE A REQUIRED CLOSURE TIME AND DATES FOR THE MUSEUM WITH THE OWNER.

**THOMPSON FISH HOUSE REPAIRS**  
 AT THE KEY WEST BIGHT MARINA  
 KEY WEST, FLORIDA, 33040

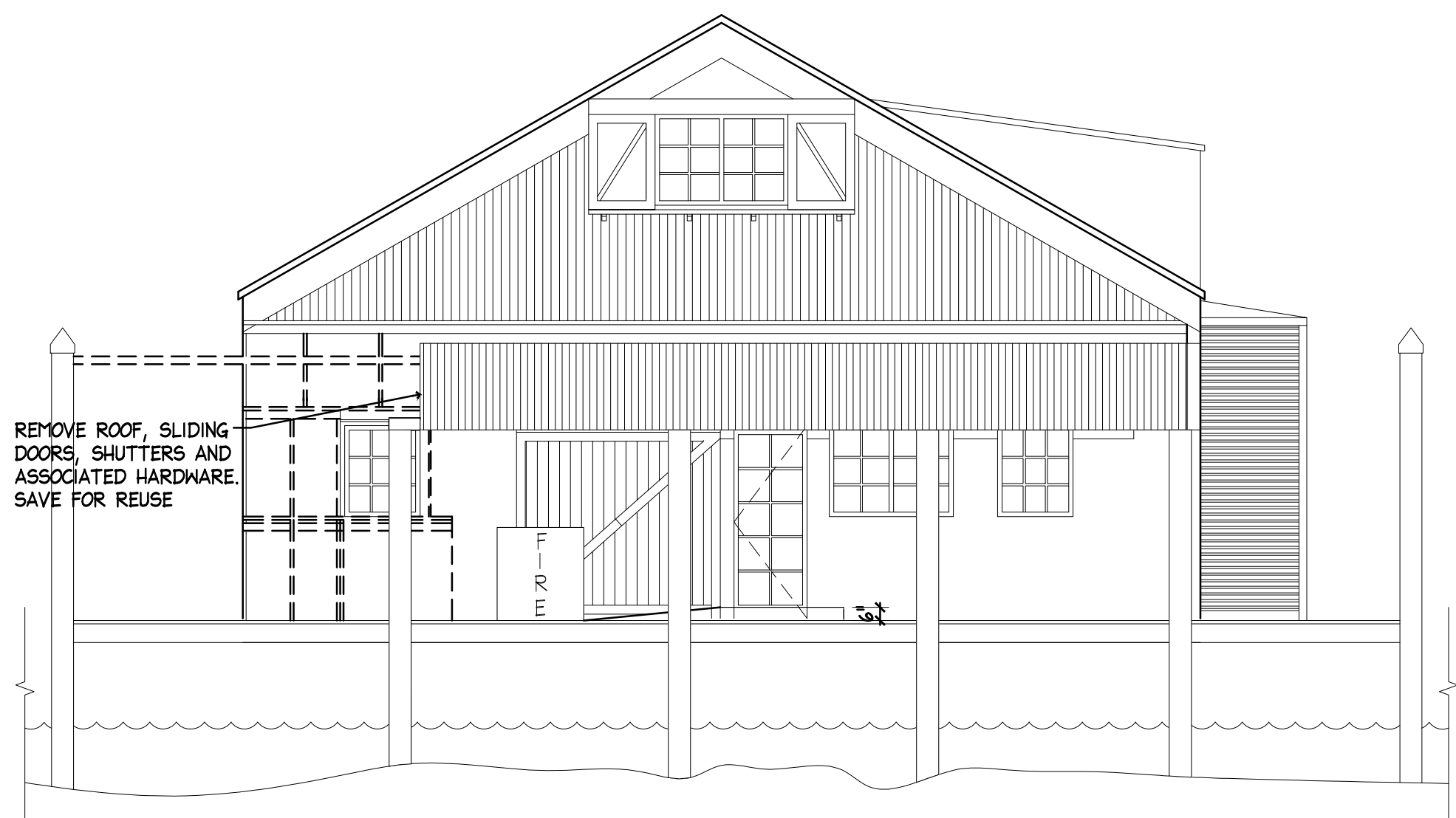


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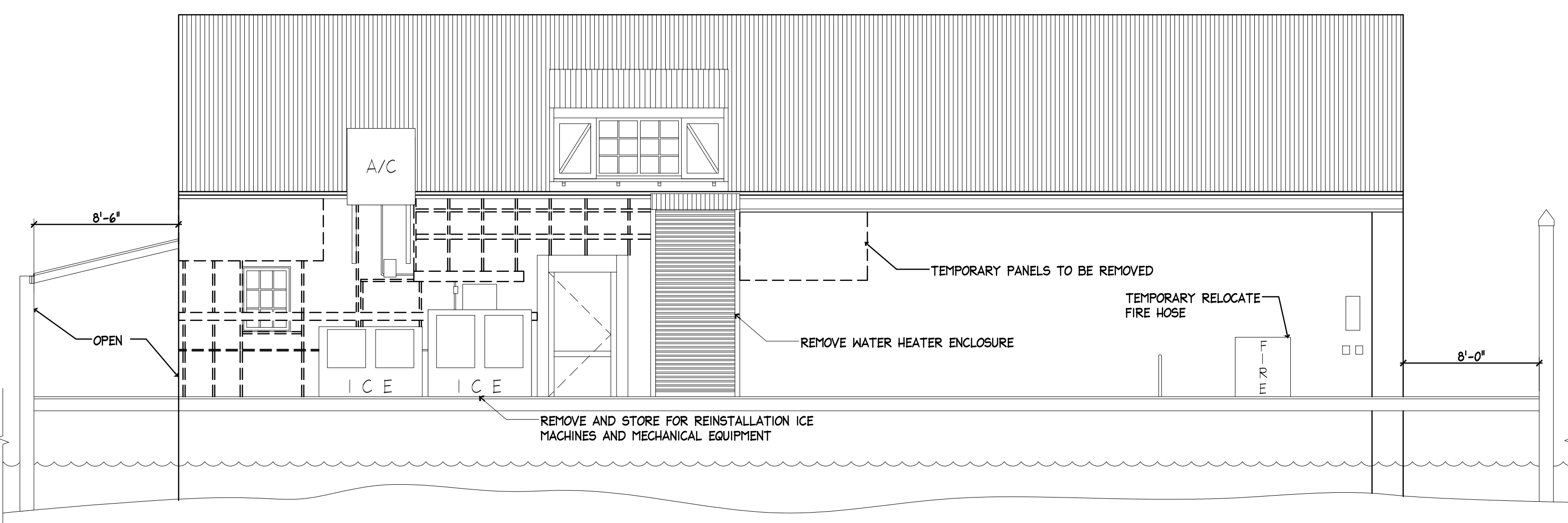
*Bender & Associates*  
**ARCHITECTS**  
 p.c.

Project No: 1426A  
 DEMO EXTERIOR ELEVATIONS  
 Date: 10/08/15

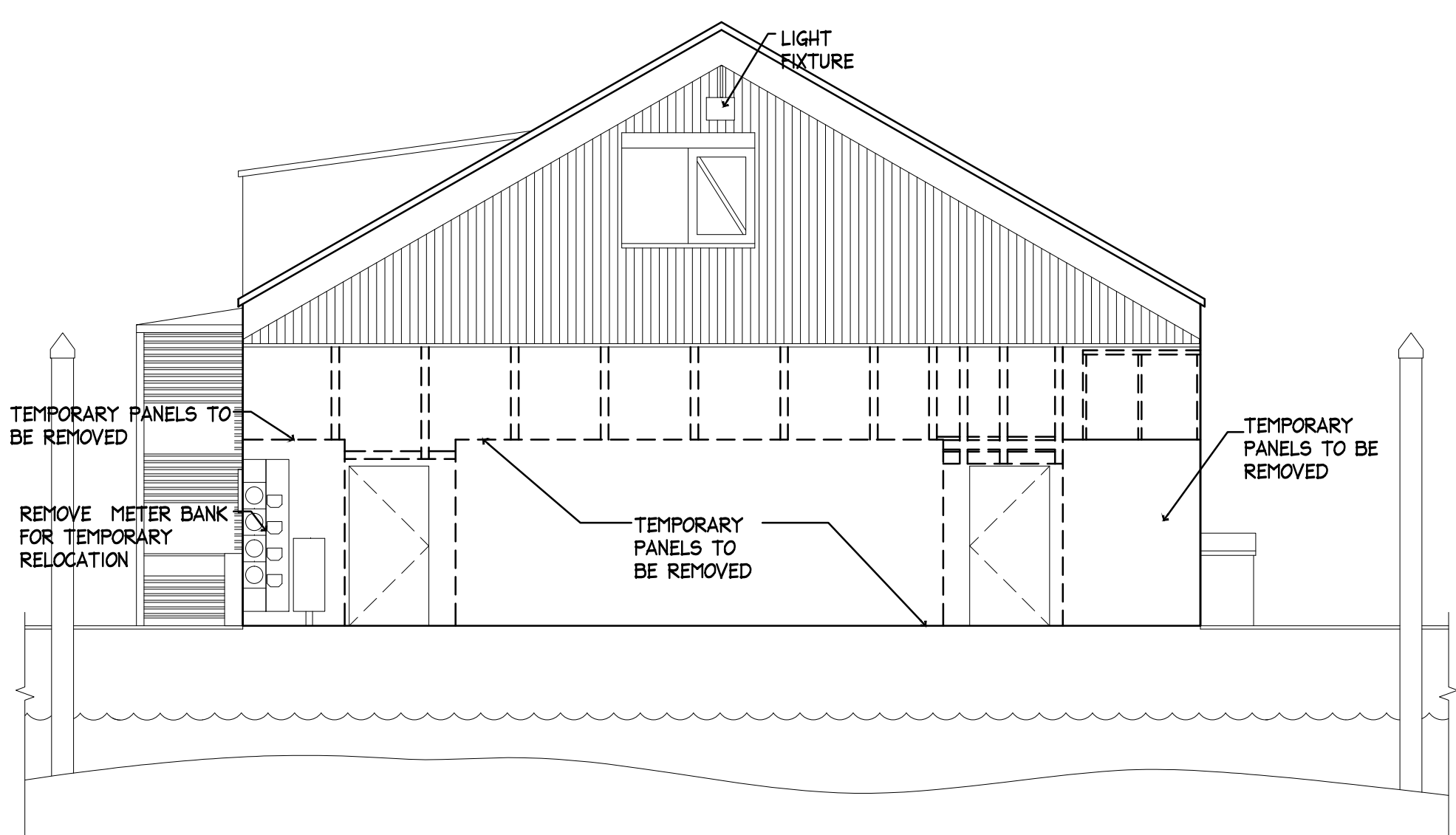
**A3.0**  
 6 OF 13



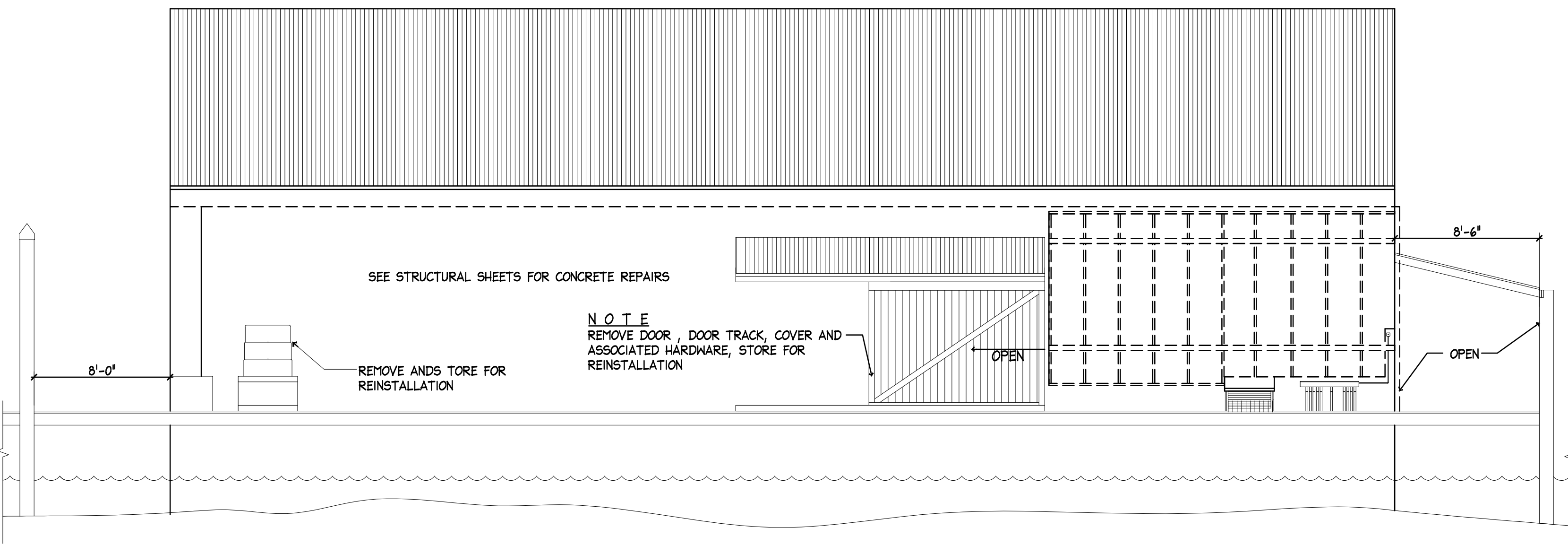
**4 DEMO NORTH ELEVATION**  
 A3.0 SCALE: 3/16"=1'-0"



**3 DEMO WEST ELEVATION**  
 A3.0 SCALE: 3/16"=1'-0"



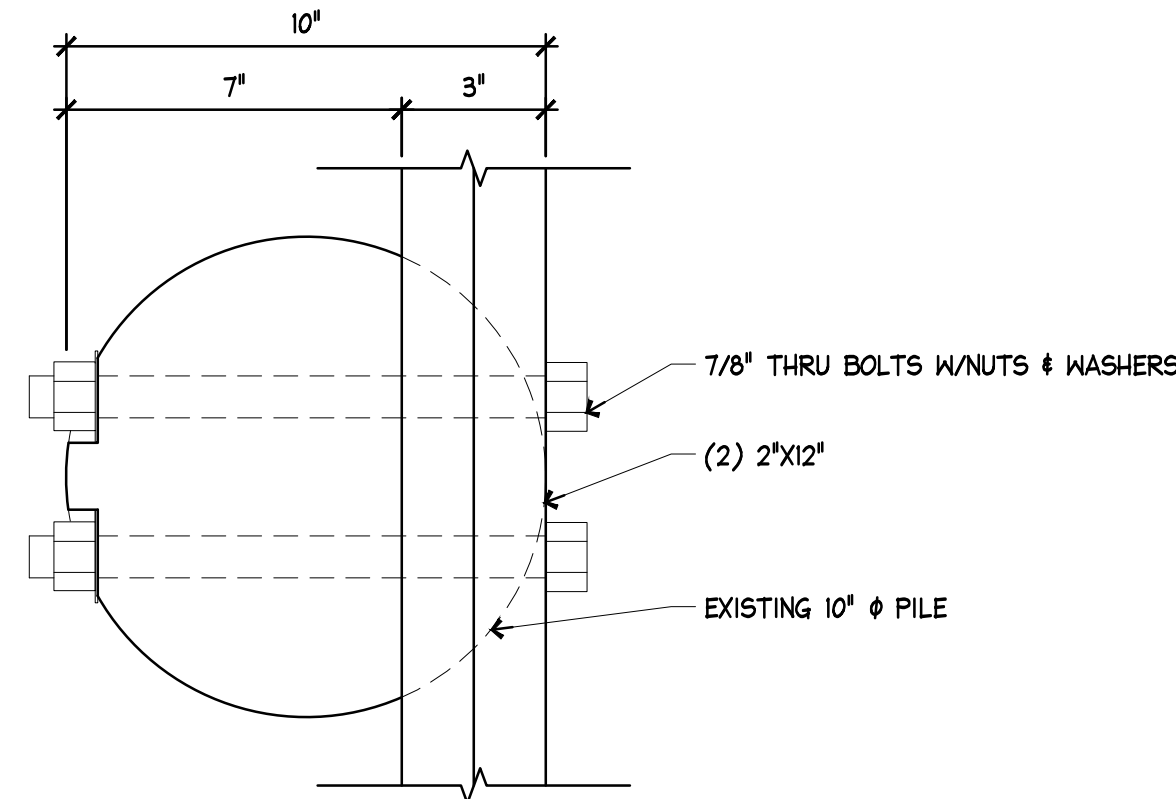
**2 DEMO SOUTH ELEVATION**  
 A3.0 SCALE: 3/16"=1'-0"



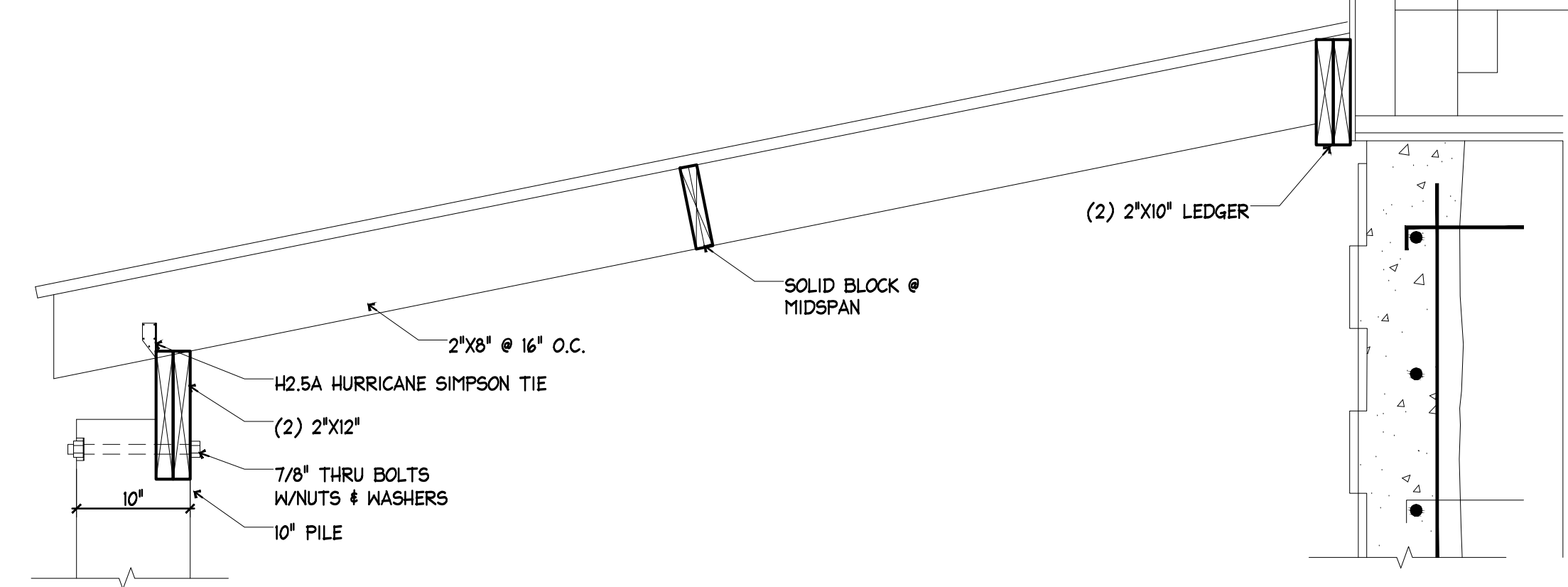
**1 DEMO EAST ELEVATION**  
 A3.0 SCALE: 3/16"=1'-0"

**RESTORATION NOTES:**

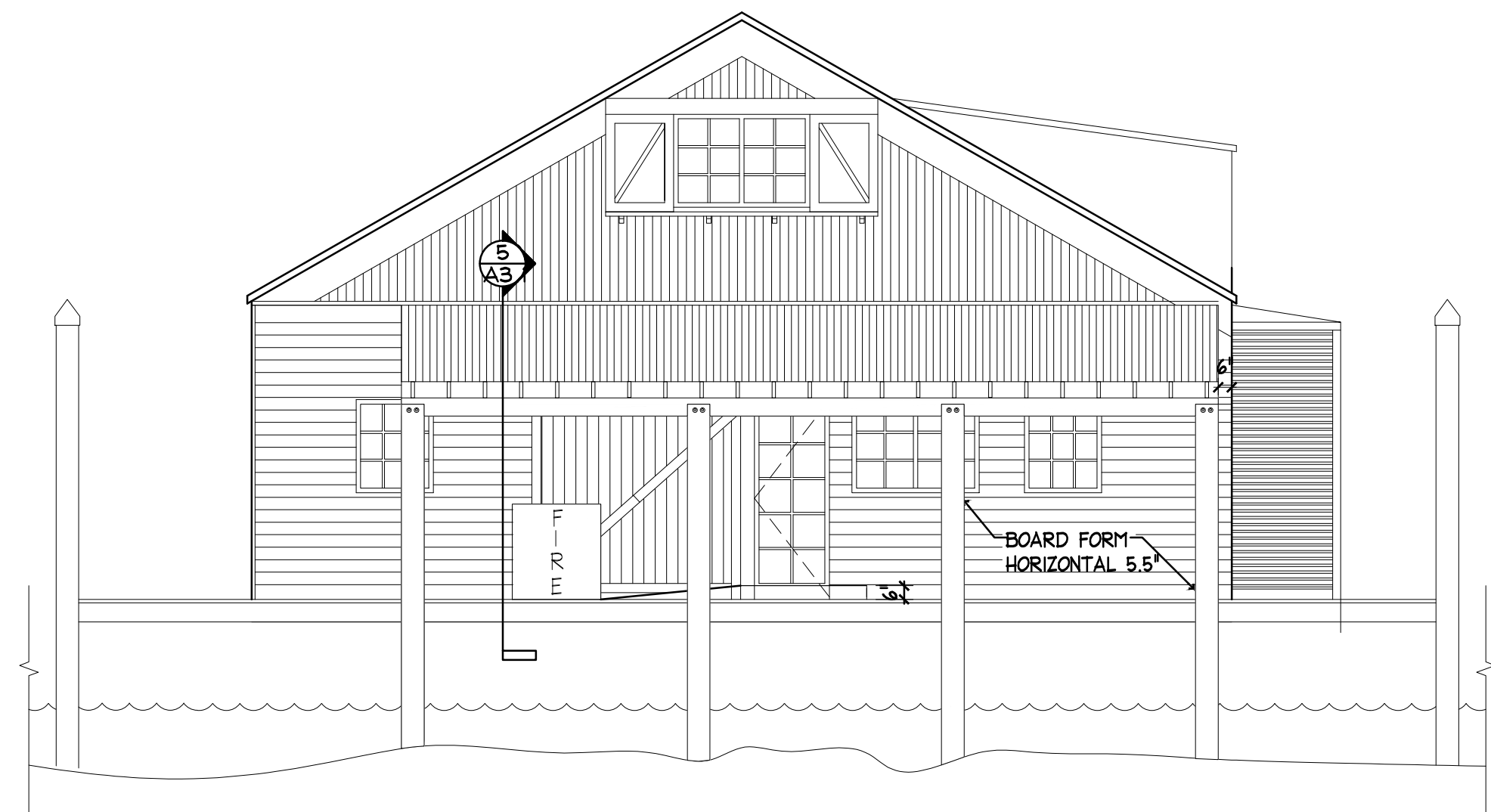
1. THE INTENT OF THIS PROJECT IS TO RESTORE THE EXTERIOR CONCRETE TO REPLICATE THE ORIGINAL HISTORIC CONCRETE FINISH TO THE GREATEST EXTENT POSSIBLE.
2. THE WORK OF THIS PROJECT INCLUDES REMOVAL OF PLYWOOD AND OTHER WOOD BRACES AND SHORING, REMOVAL OF DETERIORATED CONCRETE AS SPECIFIED AND DETAILED.
3. PRIOR TO COMMENCING THE WORK, REVIEW THE RESTORED CONDITIONS ON THE SITE WITH THE ARCHITECT TO ESTABLISH A REPAIR METHODOLOGY THAT WILL RESULT IN MINIMAL DISRUPTION OF ON GOING ACTIVITIES. FOLLOWING REMOVAL OF SHORING, BRACING AND PLYWOOD COVERS, SCHEDULE A MEETING ON SITE WITH THE ARCHITECT TO CONFIRM HISTORIC PATTERNS.
4. EXISTING WINDOWS AND DOORS WILL REMAIN. PROTECT AS REQUIRED.
5. PROVIDE BARRICADES AND SIGNAGE AS REQUIRED TO PROTECT THE PUBLIC, CITY EMPLOYEES AND WORKERS.
6. IT IS ANTICIPATED THAT EQUIPMENT WILL NEED TO BE TEMPORARILY REMOVED OR RELOCATED TO FACILITATE THE WORK MAINTAIN ELECTRICAL SERVICE SO THAT THE DOCK MASTERS OFFICE WILL REMAIN OPERATIONAL. COORDINATE A REQUIRED CLOSURE TIME AND DATES FOR THE MUSEUM WITH THE OWNER.



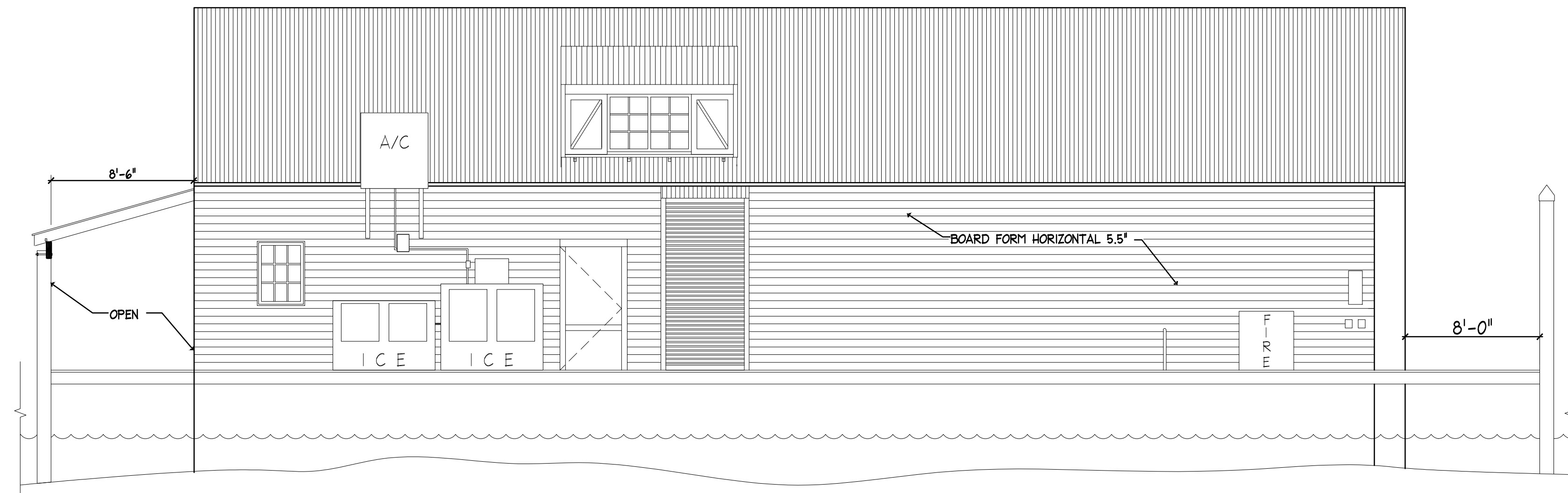
**6 SECTION OF ROOF PILE**  
A3.1 SCALE: 3/16"=1'-0"



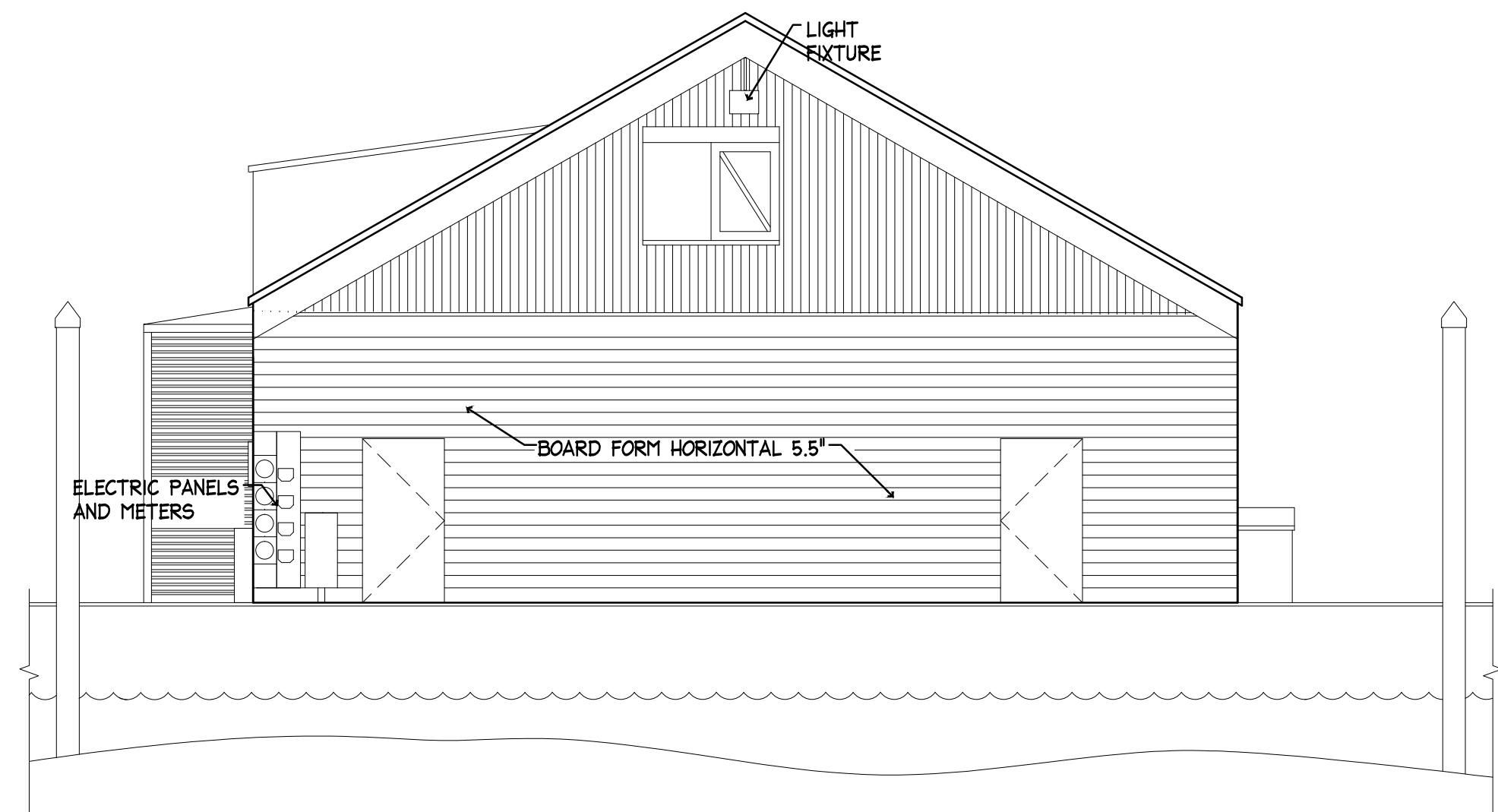
**5 SECTION OF NEW PORCH ROOF**  
A3.1 SCALE: 1"=1'-0"



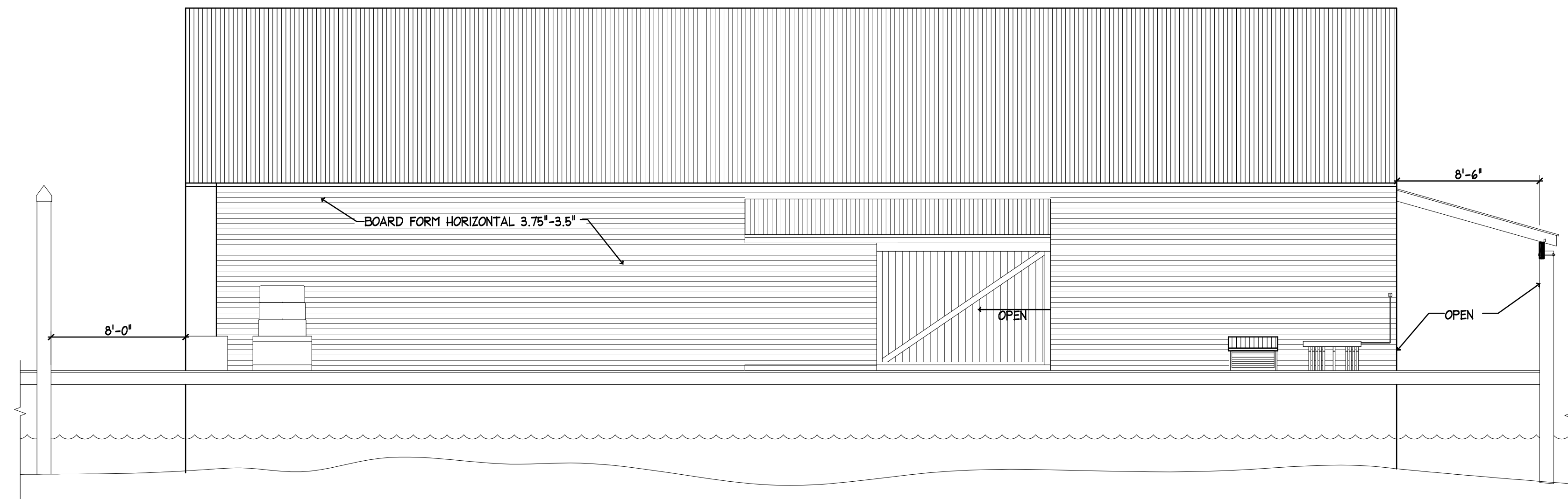
**4 RESTORED NORTH ELEVATION**  
A3.1 SCALE: 3/16"=1'-0"



**3 RESTORED WEST ELEVATION**  
A3.1 SCALE: 3/16"=1'-0"



**2 RESTORED SOUTH ELEVATION**  
A3.1 SCALE: 3/16"=1'-0"



**1 RESTORED EAST ELEVATION**  
A3.1 SCALE: 3/16"=1'-0"

**THOMPSON FISH HOUSE REPAIRS**  
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*Bender & Associates*  
**ARCHITECTS**  
p.a.

Project No: 1426A  
RESTORED EXTERIOR ELEVATIONS  
Date: 10/08/15

**A3.1**



**RESTORATION NOTES:**

1. THE INTENT OF THIS PROJECT IS TO RESTORE THE EXTERIOR CONCRETE TO REPLICATE THE ORIGINAL HISTORIC CONCRETE FINISH TO THE GREATEST EXTENT POSSIBLE.
2. HISTORIC PHOTO NUMBERS 1 AND 4 SERVE AS THE "BASIS OF DESIGN". THESE PHOTOS DATE FROM THE HISTORIC PERIOD OF CONCERN.
3. THE WORK OF THIS PROJECT INCLUDES REMOVAL OF PLYWOOD AND OTHER WOOD BRACES AND SHORING, REMOVAL OF DETERIORATED CONCRETE AS SPECIFIED AND DETAILED.
4. PRIOR TO COMMENCING THE WORK, REVIEW THE EXISTING CONDITIONS ON THE SITE WITH THE ARCHITECT TO ESTABLISH A REPAIR METHODOLOGY THAT WILL RESULT IN MINIMAL DISRUPTION OF ON GOING ACTIVITIES. FOLLOWING REMOVAL OF SHORING, BRACING AND PLYWOOD COVERS, SCHEDULE A MEETING ON SITE WITH THE ARCHITECT TO CONFIRM HISTORIC PATTERNS.
5. REPLACEMENT CONCRETE WILL BE BOARD FORMED TO MATCH HISTORIC FINISHES. ANTICIPATE THAT SEVERAL DIFFERENT CONFIGURATIONS WILL BE USED.
6. EXISTING WINDOWS AND DOORS WILL REMAIN. PROTECT AS REQUIRED.
7. PROVIDE BARRICADES AND SIGNAGE AS REQUIRED TO PROTECT THE PUBLIC, CITY EMPLOYEES AND WORKERS.
8. IT IS ANTICIPATED THAT EQUIPMENT WILL NEED TO BE TEMPORARILY REMOVED OR RELOCATED TO FACILITATE THE WORK. MAINTAIN ELECTRICAL SERVICE SO THAT THE DOCK MASTERS OFFICE WILL REMAIN OPERATIONAL. COORDINATE A REQUIRED CLOSURE TIME AND DATES FOR THE MUSEUM WITH THE OWNER.



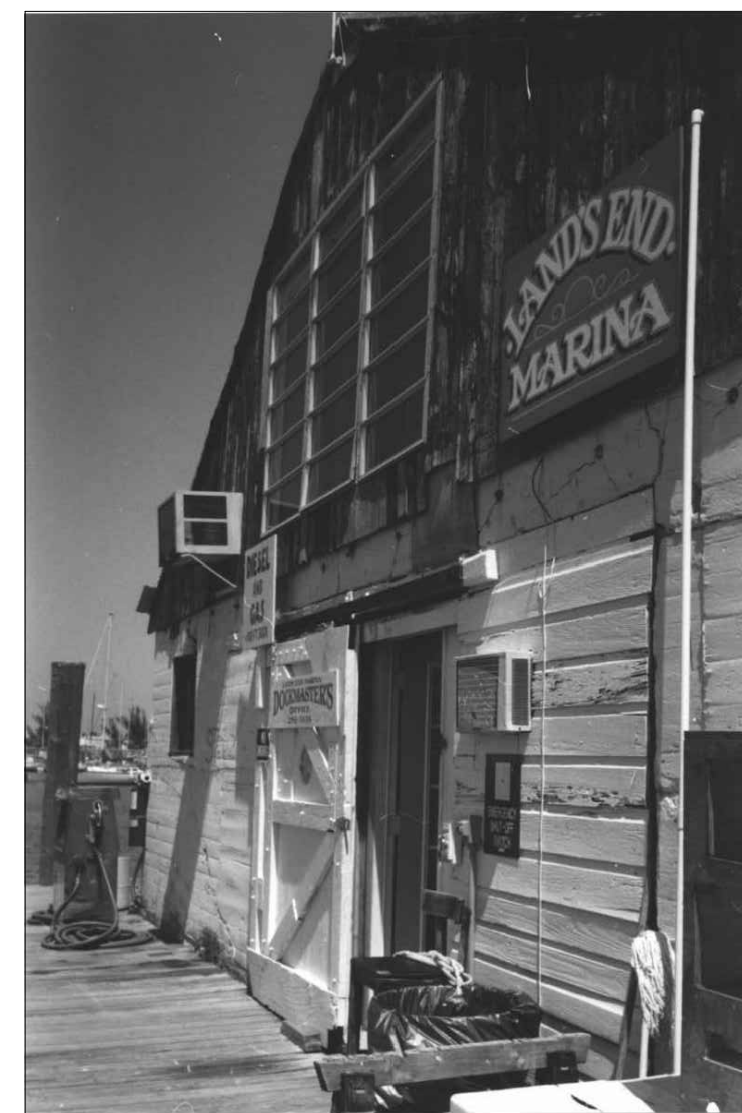
8 HISTORIC PHOTO DETAIL - 8 CIRCA 2000  
A8.0 SCALE: N.T.S.



7 HISTORIC PHOTO DETAIL - 7 CIRCA 1991  
A8.0 SCALE: N.T.S.



6 HISTORIC PHOTO DETAIL - 6  
A8.0 SCALE: N.T.S.



5 HISTORIC PHOTO DETAIL - 5  
A8.0 SCALE: N.T.S.



4 HISTORIC PHOTO DETAIL - 4  
A8.0 SCALE: N.T.S.



3 HISTORIC PHOTO DETAIL - 3  
A8.0 SCALE: N.T.S.

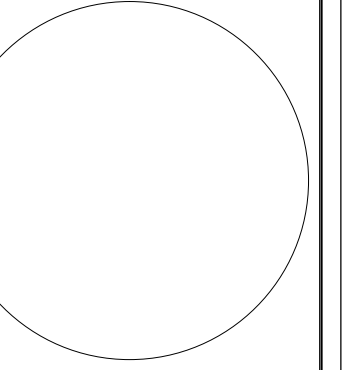


2 HISTORIC PHOTO DETAIL - 2 CIRCA 1960  
A8.0 SCALE: N.T.S.



1 HISTORIC PHOTO DETAIL - 1  
A8.0 SCALE: N.T.S.

**THOMPSON FISH HOUSE REPAIRS**  
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**ARCHITECTS**  
p.c.

Project No: 1426A  
HISTORIC PHOTO  
DETAILS  
Date: 10/06/15





9 PHOTO DETAIL - 9  
A8.1 SCALE: N.T.S.

REMOVE SHORING AND BRACING.  
COORDINATE TEMPORARY RELOCATION OF EQUIPMENT  
TRASH CONTAINERS, ICE BOXES AND SIMILAR ITEMS  
WITH THE DOCK MASTER.

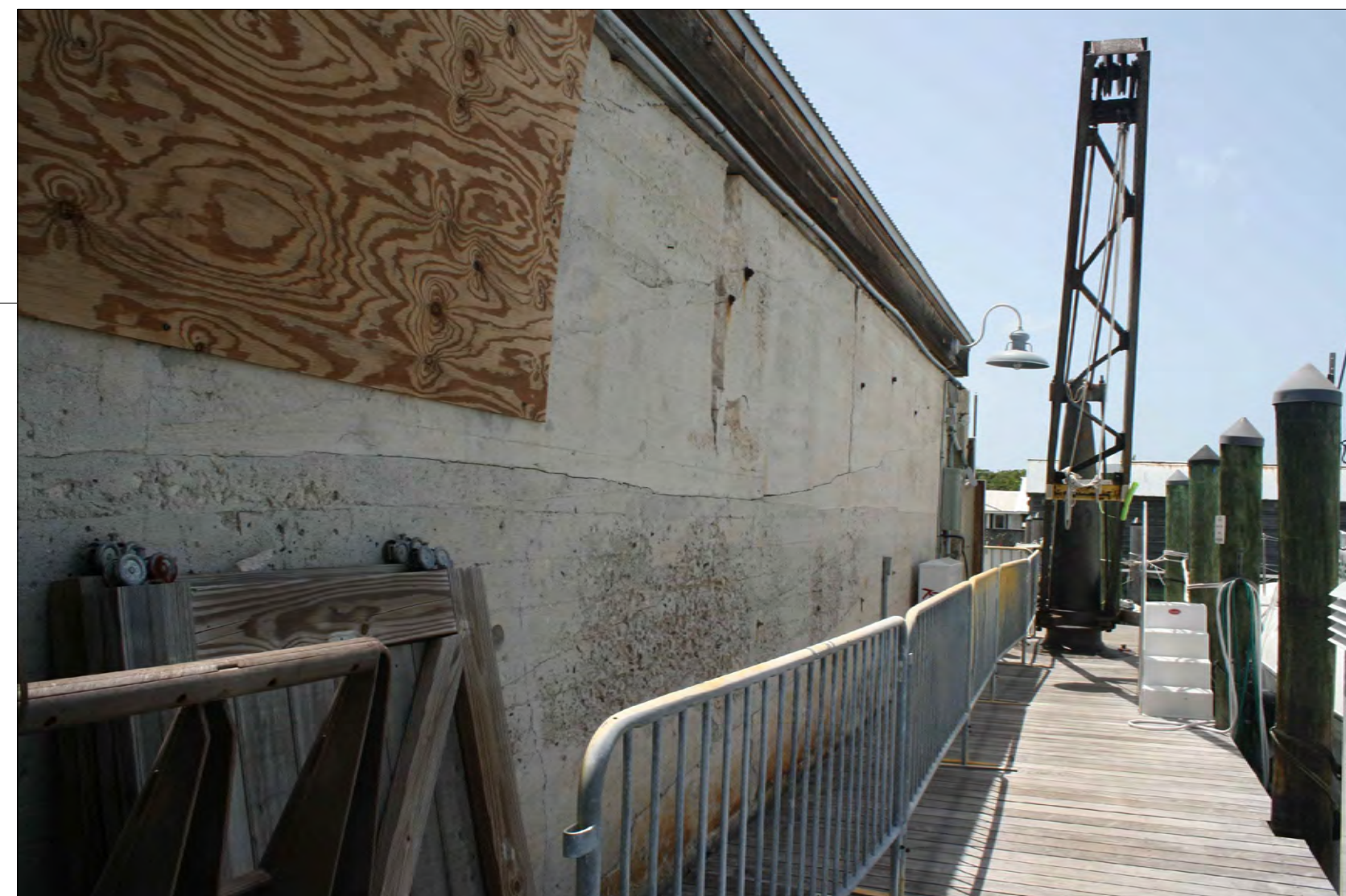


8 PHOTO DETAIL - 8  
A8.1 SCALE: N.T.S.

EXISTING DETERIORATED CONCRETE TO BE REMOVED  
DOCUMENT EXISTING FINISHES AND FEATURES PRIOR  
TO REMOVAL



7 PHOTO DETAIL - 7  
A8.1 SCALE: N.T.S.



6 PHOTO DETAIL - 6  
A8.1 SCALE: N.T.S.

5 PHOTO DETAIL - 5  
A8.1 SCALE: N.T.S.



4 PHOTO DETAIL - 4  
A8.1 SCALE: N.T.S.



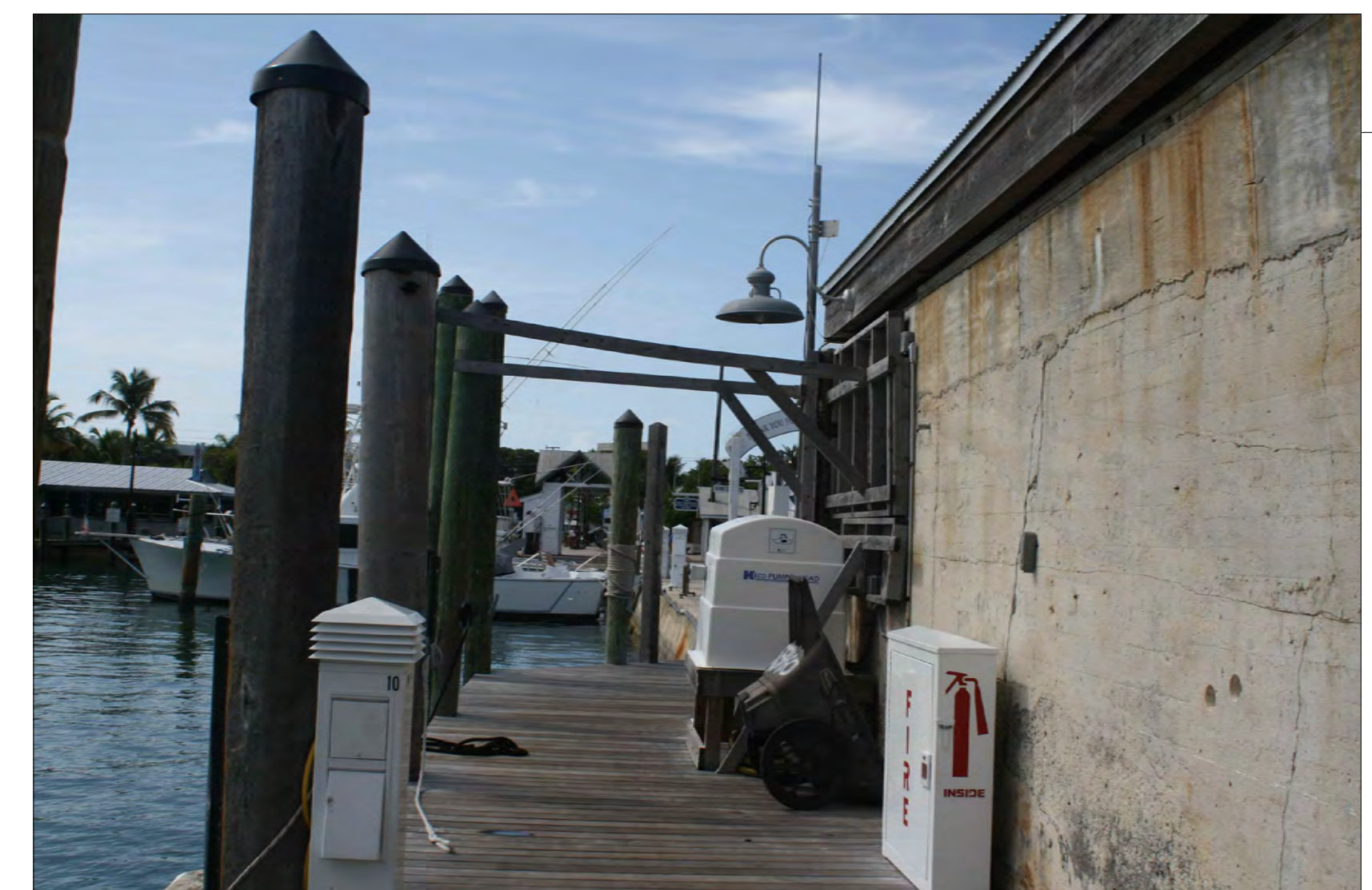
3 PHOTO DETAIL - 3  
A8.1 SCALE: N.T.S.

REMOVE AND RELOCATE CONDENSING UNITS, WATER  
HEATERS, ICE BOXES AND SIMILAR ITEMS AS  
REQUIRED.



2 PHOTO DETAIL - 2  
A8.1 SCALE: N.T.S.

COORDINATE PROTECTION OF METERS, S.E.S. AND  
DROP WITH KEYS ENERGY SERVICES AND THE DOCK  
MASTER.  
MAINTAIN FULL ELECTRICAL SERVICE FOR THE  
DURATION OF THE PROJECT.



1 PHOTO DETAIL - 1  
A8.1 SCALE: N.T.S.

THOMPSON FISH HOUSE REPAIRS  
AT THE KEY WEST BIGHT MARINA  
KEY WEST, FLORIDA, 33040

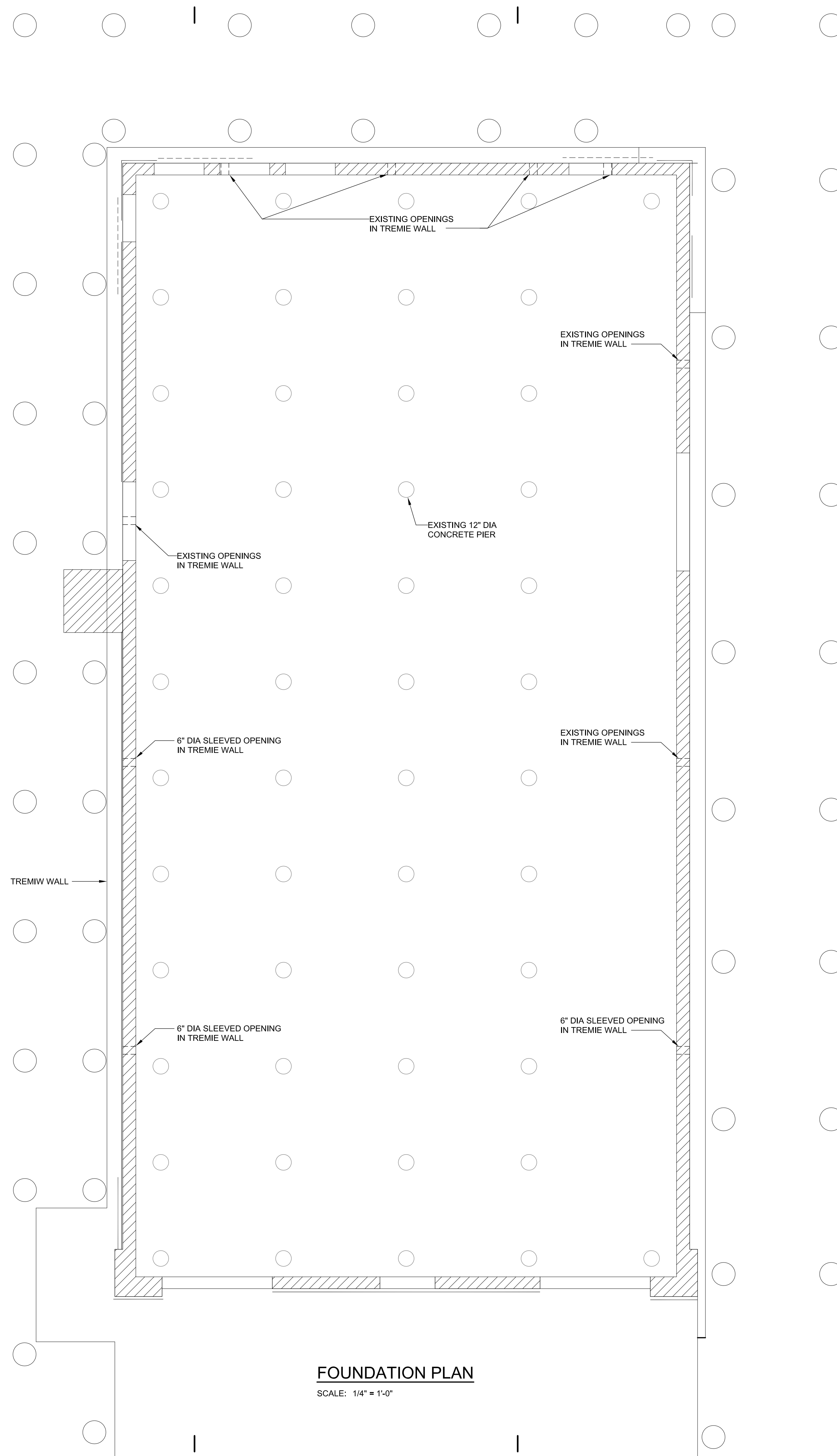
410 Angela Street  
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ARCHITECTS  
p.a.

Project No: 1426A  
PHOTO DETAILS  
Date: 10/06/15

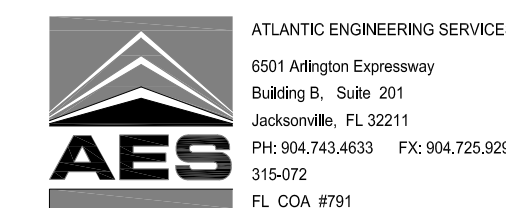
A8.1  
9 OF 13





**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"



**THOMPSON FISH HOUSE REPAIRS**  
AT THE KEY WEST BIGHT MARINA  
KEY WEST, FLORIDA, 33040

MARK J KEISTER PE 37435

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*Bender & Associates*  
**ARCHITECTS** p.a.

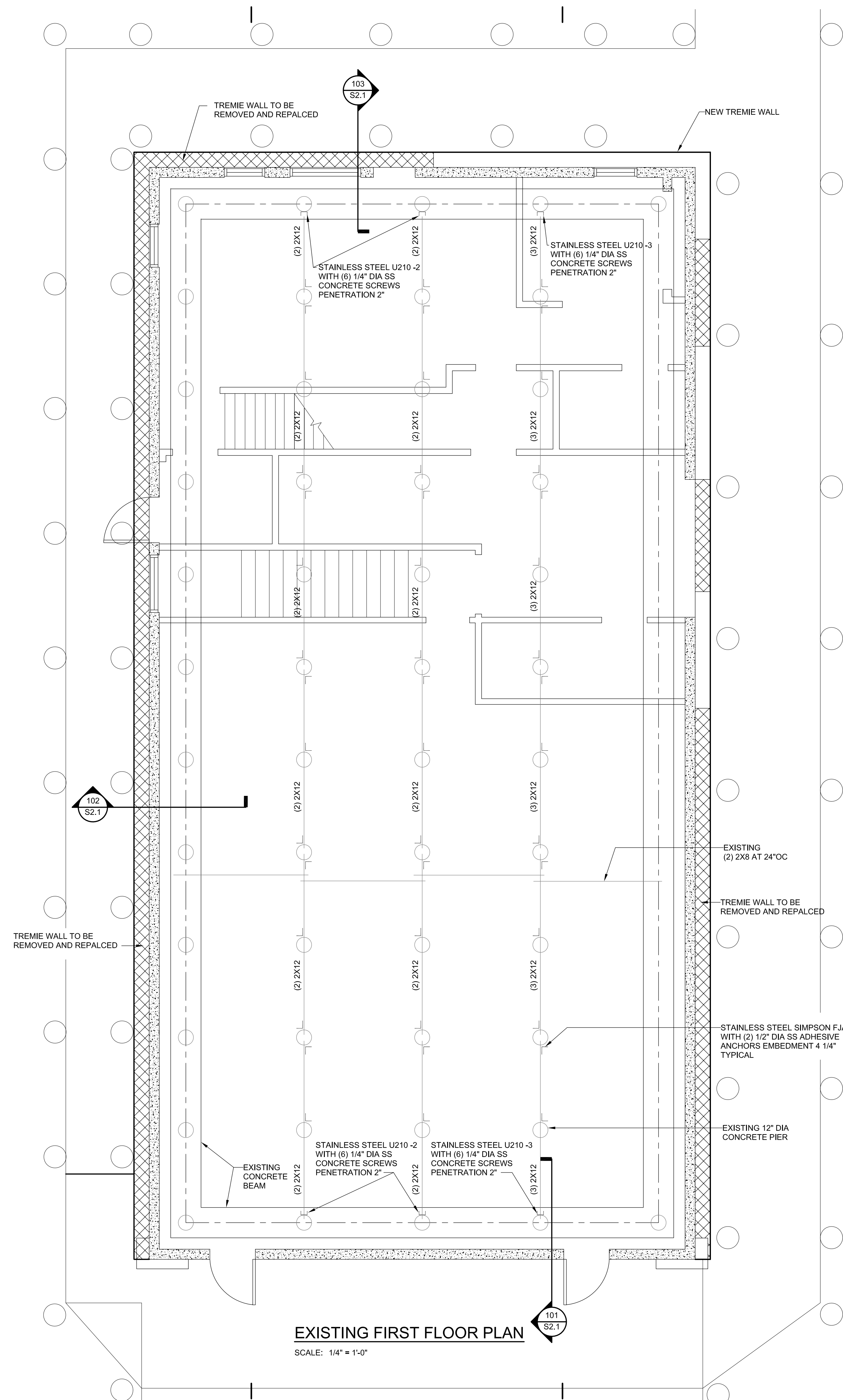
Project No: 1426A

FOUNDATION PLAN

Date: 09/04/15

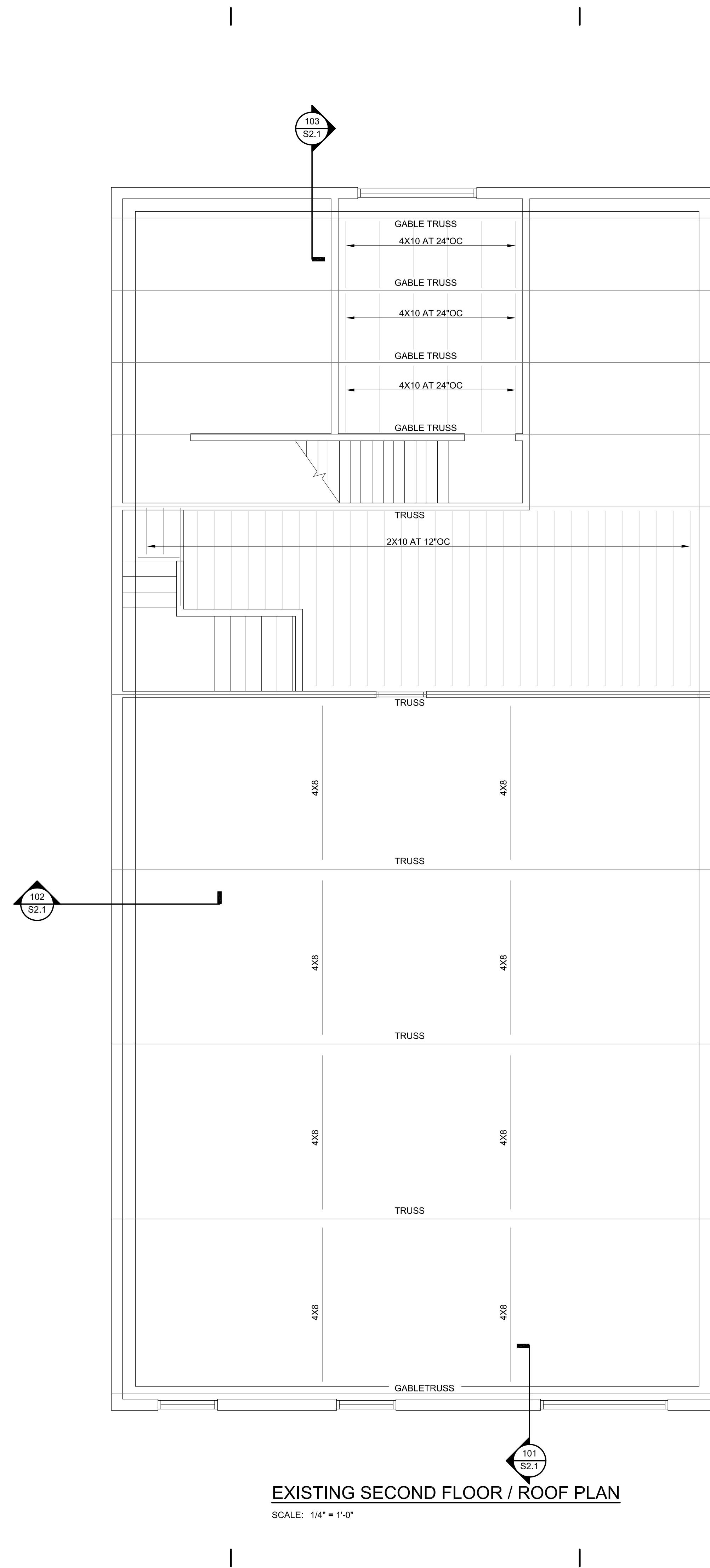
**S1.1**  
10 OF 13

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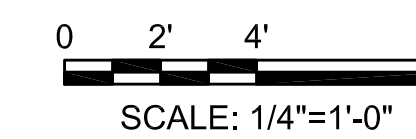
**EXISTING FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**EXISTING SECOND FLOOR / ROOF PLAN**

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



**THOMPSON FISH HOUSE REPAIRS**  
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**ARCHITECTS**  
p.a.

Project No: 1426A

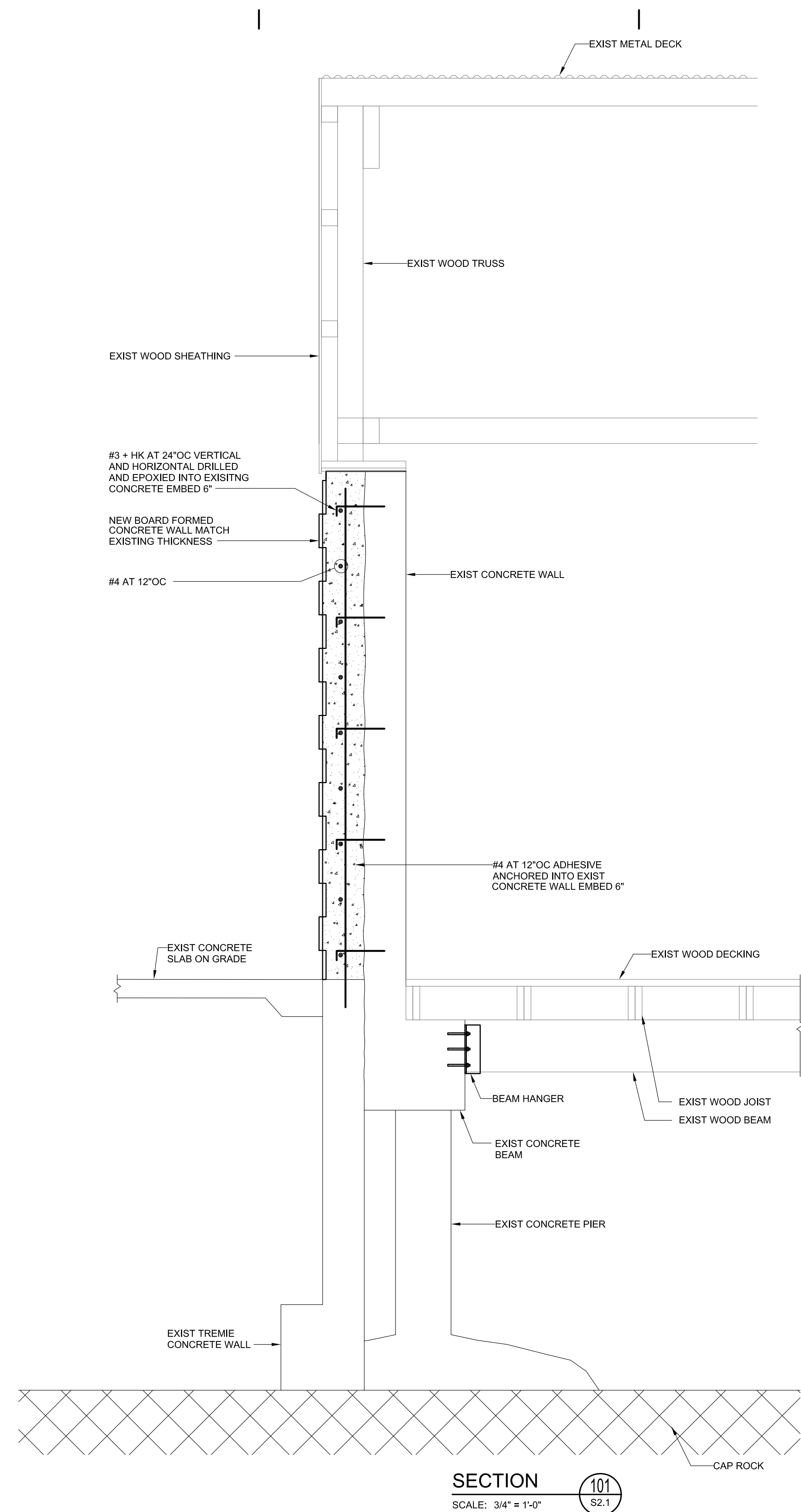
EXISTING FIRST FLOOR AND EXISTING SECOND FLOOR / ROOF PLAN

Date: 09/04/15

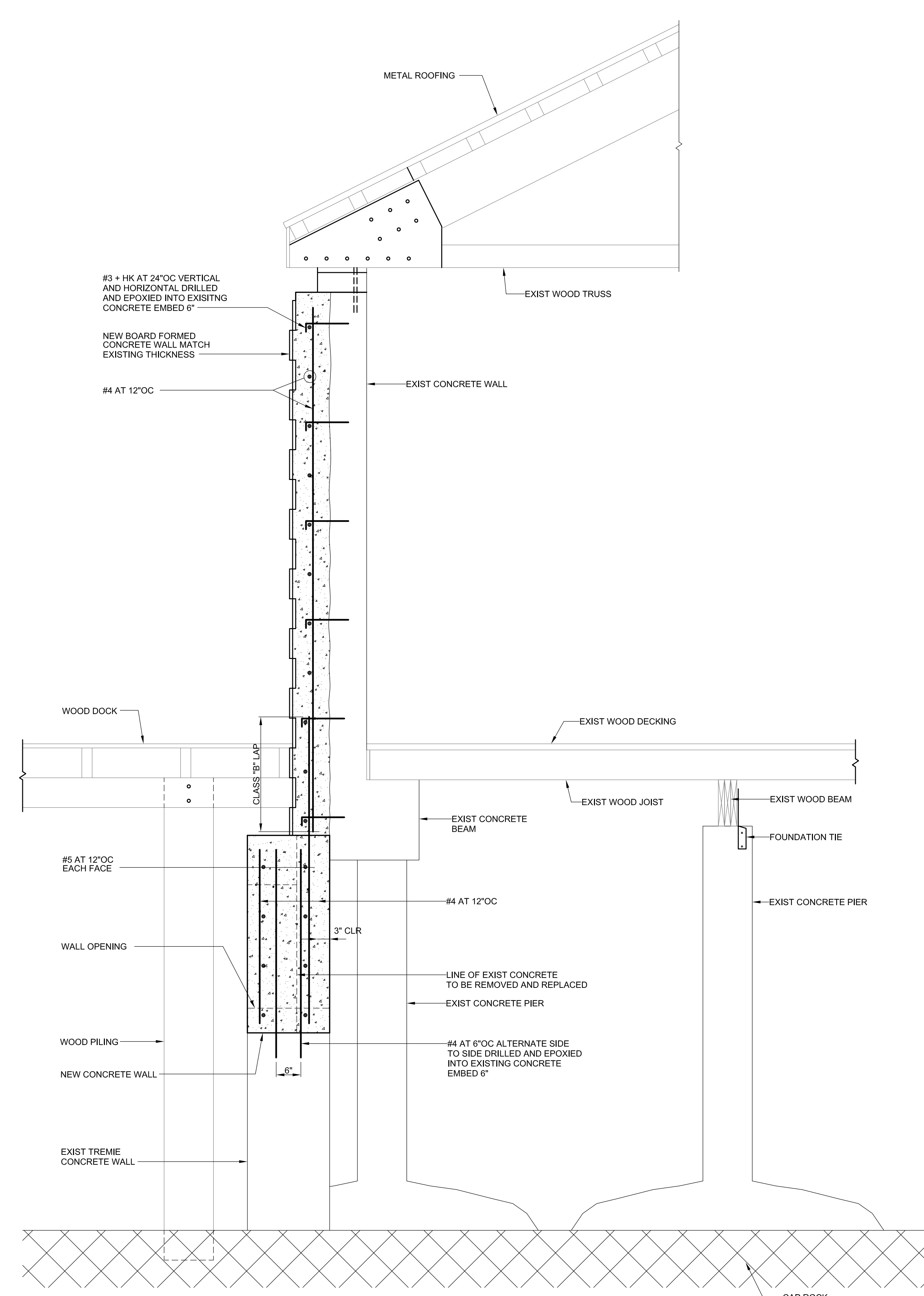
**S1.2**

11 OF 13

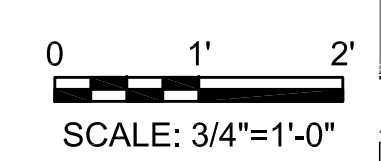
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SECTION 101  
SCALE: 3/4" = 1'-0"



SECTION 102  
SCALE: 3/4" = 1'-0"



THOMPSON FISH HOUSE REPAIRS

AT THE KEY WEST BIGHT MARINA  
KEY WEST, FLORIDA, 33040

MARK J KEISTER PE 37435

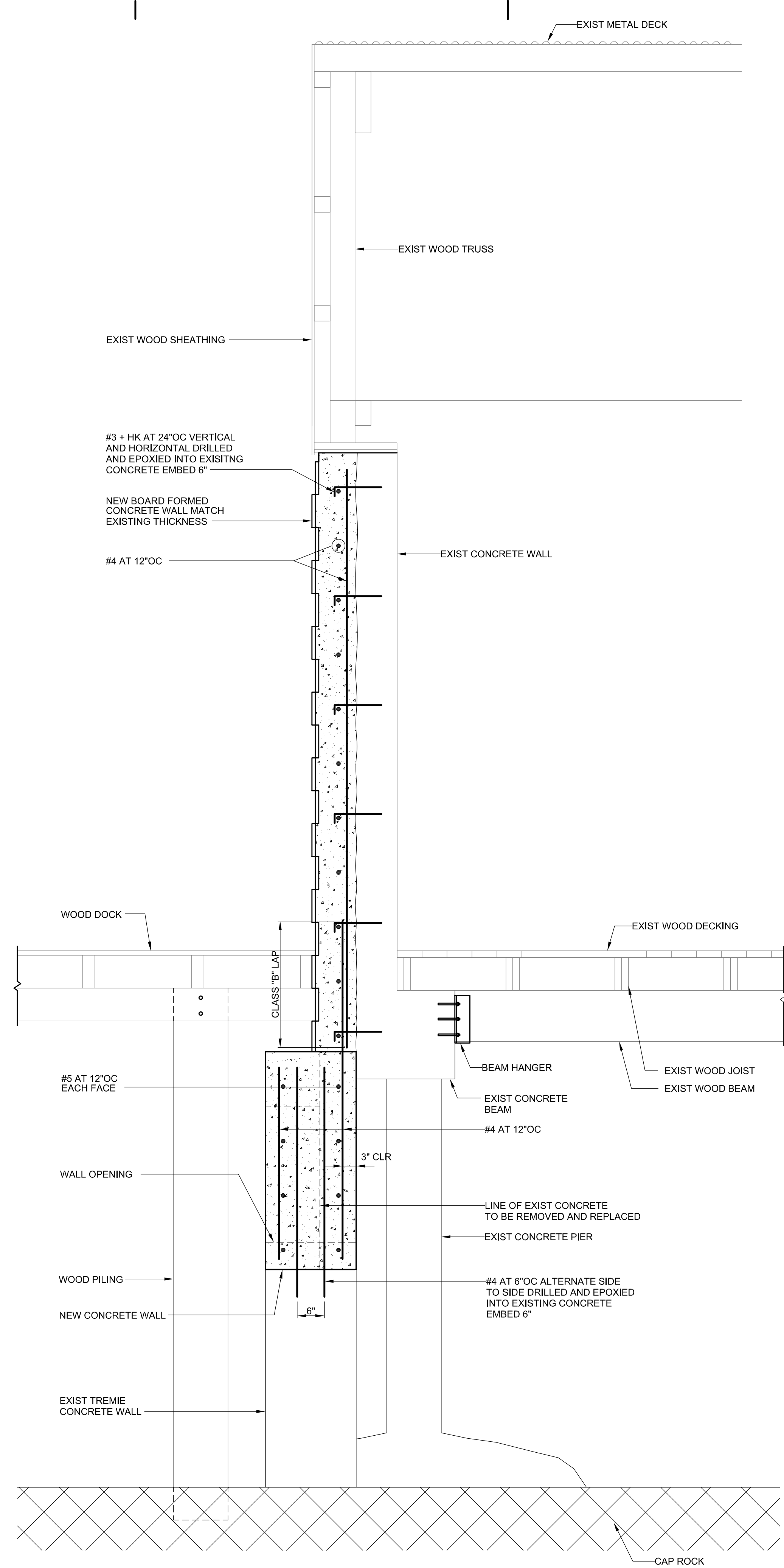
410 Angela Street  
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Bender & Associates  
ARCHITECTS p.a.

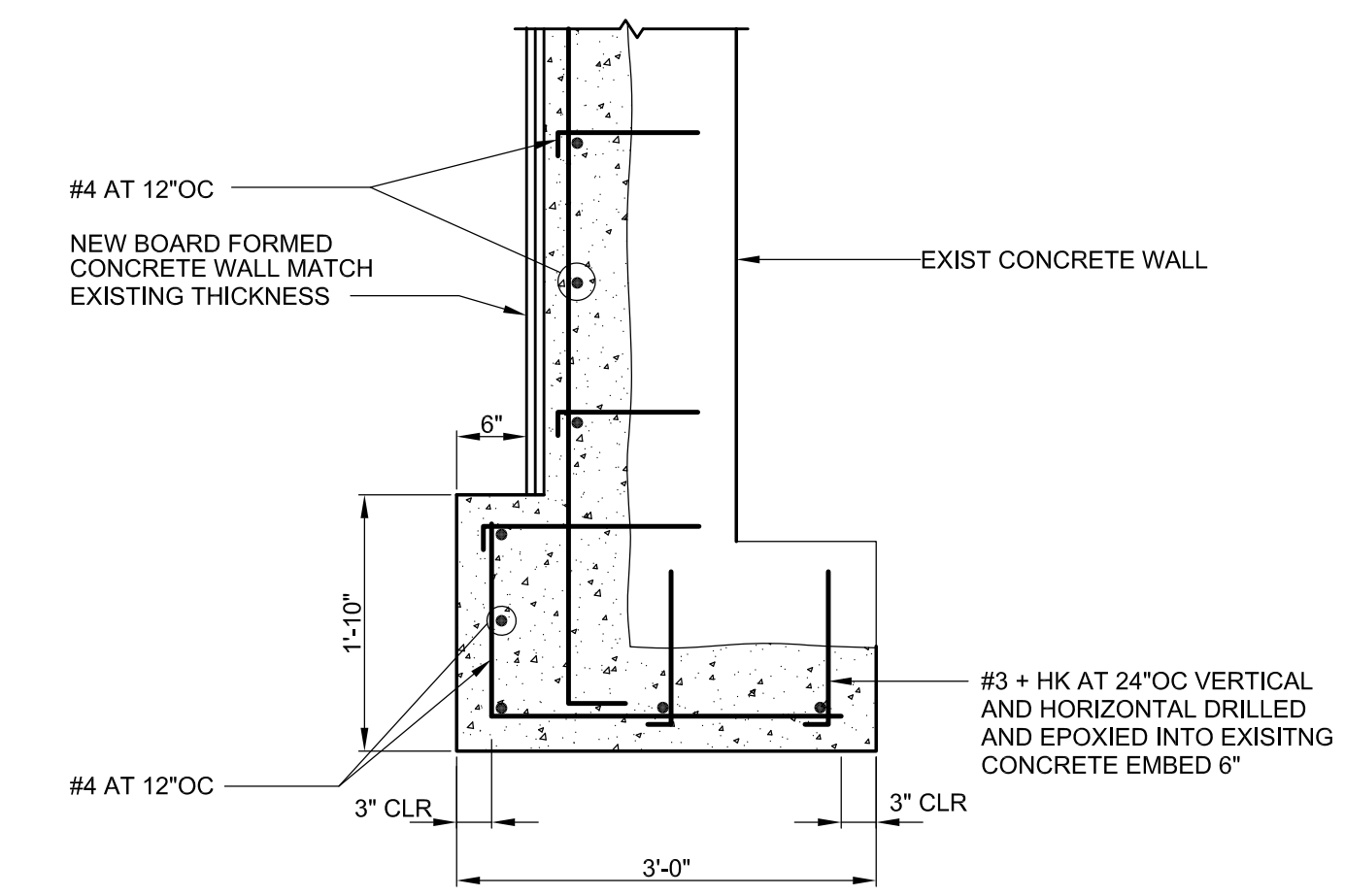
Project No: 1426A  
SECTIONS  
Date: 09/04/15

S2.1  
12 OF 13

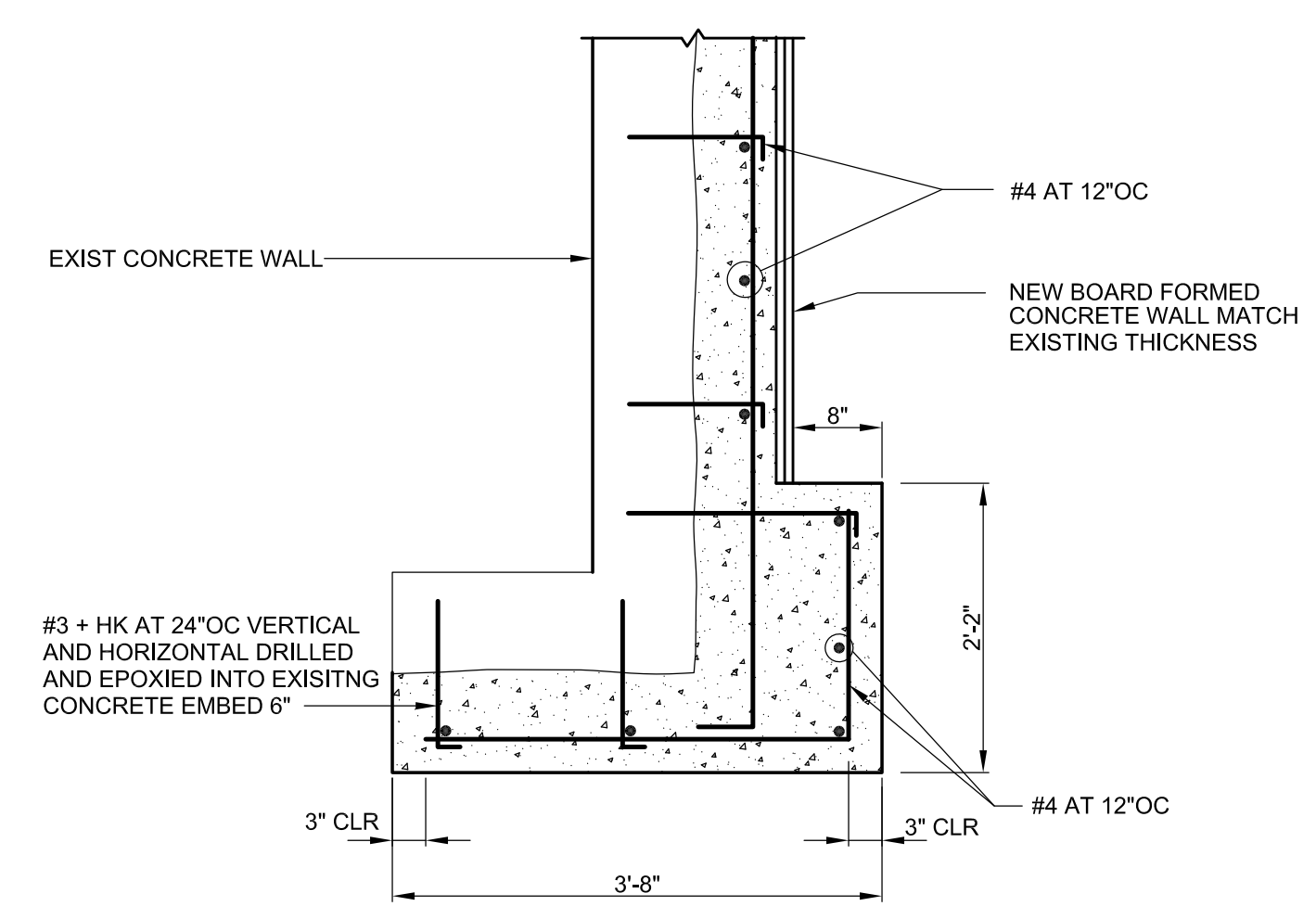
P:\AES - Thompson Fish House Repairs\1426A\1426A\_S2.1.dwg  
 PLOT DATE: 09/04/15 10:00:00 AM  
 PLOT BY: J. KEISTER



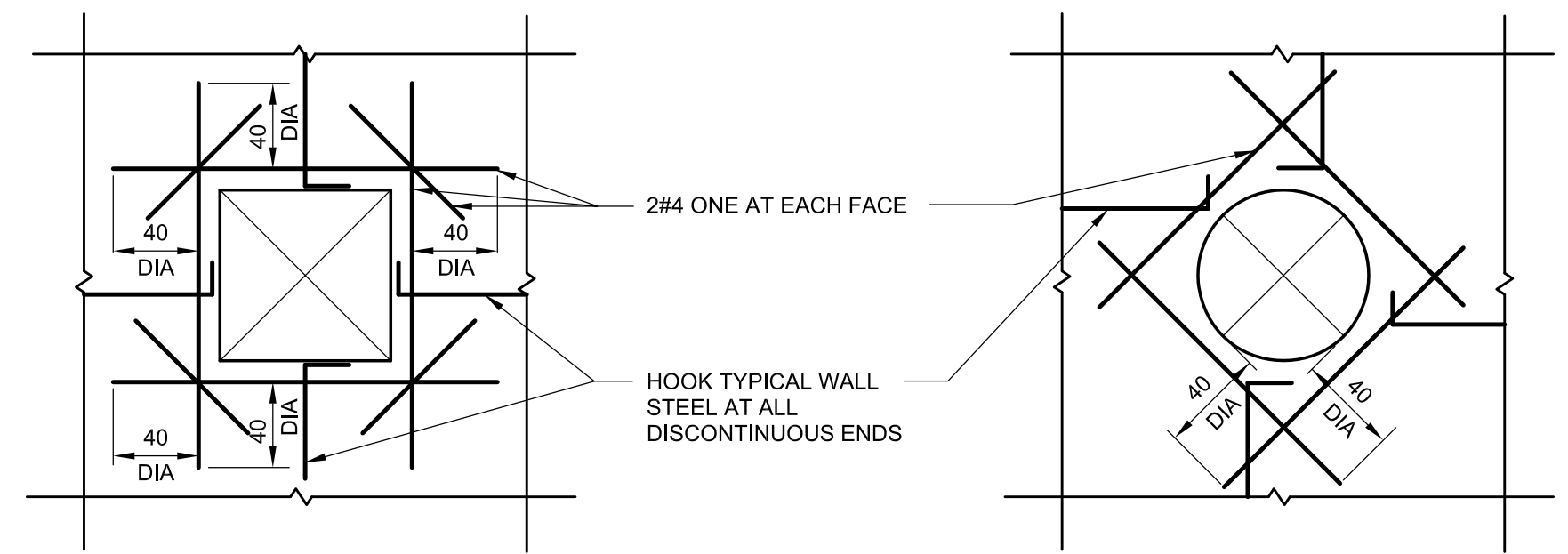
**SECTION**  
SCALE: 3/4" = 1'-0"  
**103**  
**S2.2**



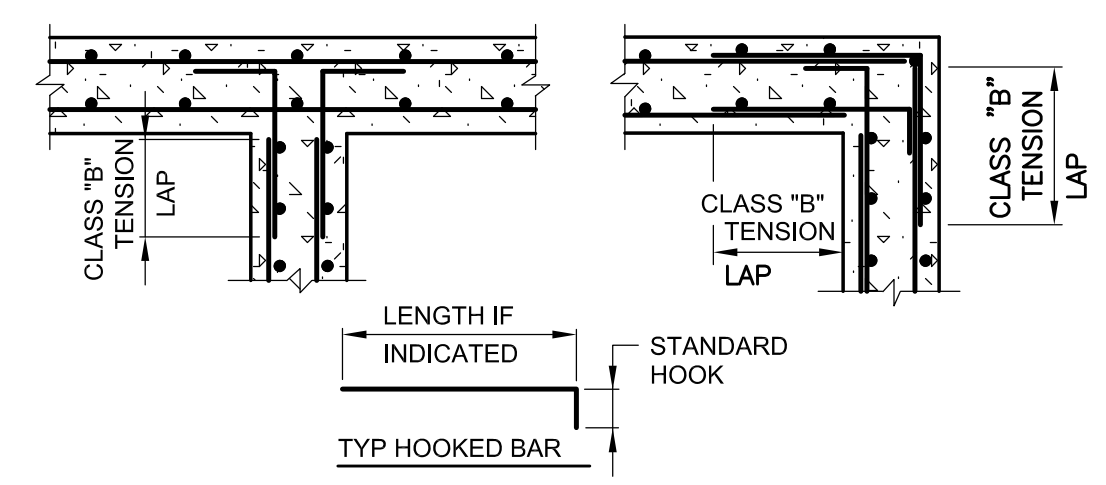
**DETAIL A**  
SCALE: 3/4" = 1'-0"  
**S2.2**



**DETAIL B**  
SCALE: 3/4" = 1'-0"  
**S2.2**



**TYPICAL REINFORCEMENT AROUND OPENINGS IN CONCRETE WALLS**



**TYPICAL WALL INTERSECTION DETAIL**

**THOMPSON FISH HOUSE REPAIRS**  
AT THE KEY WEST BIGHT MARINA  
KEY WEST, FLORIDA, 33040

MARK J KEISTER PE 37435

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

**Bender & Associates**  
**ARCHITECTS**  
p.a.

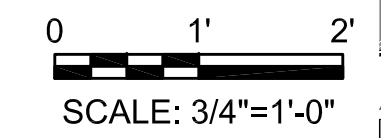
Project No: 1426A

SECTIONS

Date: 09/04/15

**S2.2**

13 OF 13



# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., March 22, 2016 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**RESTORATION OF EXTERIOR CONCRETE  
INCLUDING THE REMOVAL AND  
REPLACEMENT OF DETERIORATED CONCRETE.  
REPLACE IN KIND.**

**FOR- #120 MARGARET STREET**

**Applicant – Bender & Associates**

**Application #H16-01-0282**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



# PROPERTY APPRAISER INFORMATION



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

## Property Record Card -

**Maps are now launching the new map application version.**

**Alternate Key: 9073978 Parcel ID: 00072082-004700**

### Ownership Details

**Mailing Address:**

CITY OF KEY WEST  
P O BOX 1409  
KEY WEST, FL 33040

### Property Details

**PC Code:** 89 - MUNICIPAL OTHER THAN (PC/LIST)

**Millage Group:** 12KW

**Affordable Housing:** No

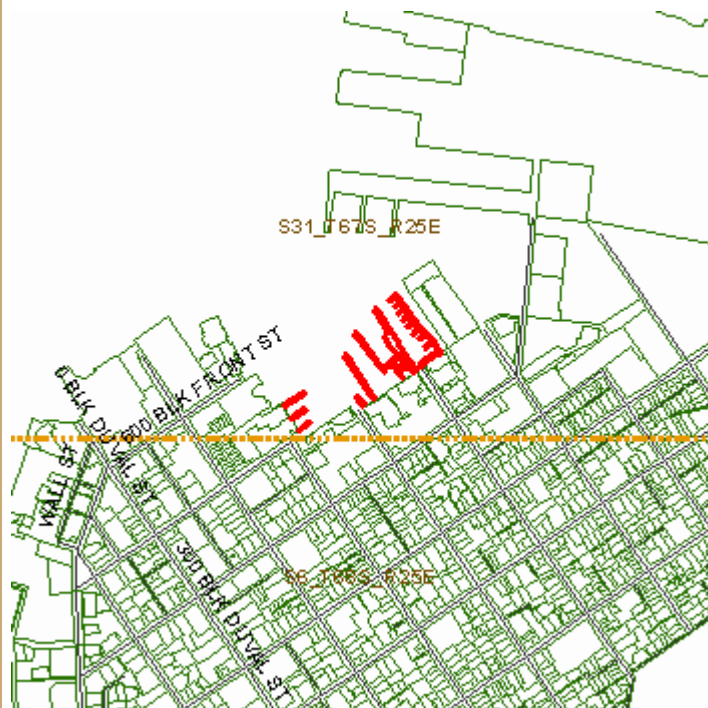
**Section-Township-Range:** 31-67-25

**Property Location:** 120 MARGARET ST UNIT: 101 KEY WEST

120 MARGARET ST UNIT: 102 KEY WEST

**Legal Description:** SUBMERGED LANDS (A/K/A LEASED BAY BTM/DOCKS WITHIN KEY WEST BIGHT) OR1424-992/999

**Click Map Image to open interactive viewer**





### Exemptions

| Exemption            | Amount     |
|----------------------|------------|
| 15 - MUNICIPAL LANDS | 933,090.00 |

### Land Details

| Land Use Code            | Frontage | Depth | Land Area |
|--------------------------|----------|-------|-----------|
| 100E - COMMERCIAL EXEMPT | 0        | 0     | 1.00 LT   |

### Building Summary

**Number of Buildings:** 2  
**Number of Commercial Buildings:** 2  
**Total Living Area:** 3535  
**Year Built:** 1938

### Building 1 Details

|                         |                       |                              |
|-------------------------|-----------------------|------------------------------|
| <b>Building Type</b>    | <b>Condition</b> P    | <b>Quality Grade</b> 300     |
| <b>Effective Age</b> 35 | <b>Perimeter</b> 212  | <b>Depreciation %</b> 45     |
| <b>Year Built</b> 1938  | <b>Special Arch</b> 0 | <b>Grnd Floor Area</b> 2,485 |
| <b>Functional Obs</b> 0 | <b>Economic Obs</b> 0 |                              |

**Inclusions:**

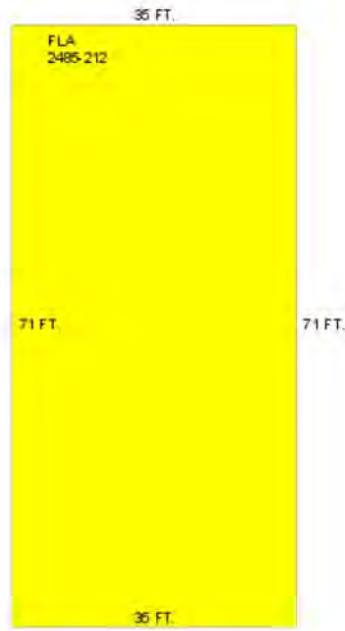
|                   |                   |                   |
|-------------------|-------------------|-------------------|
| <b>Roof Type</b>  | <b>Roof Cover</b> | <b>Foundation</b> |
| Heat 1            | Heat 2            | <b>Bedrooms</b> 0 |
| <b>Heat Src 1</b> | <b>Heat Src 2</b> |                   |

**Extra Features:**

|                     |                           |
|---------------------|---------------------------|
| <b>2 Fix Bath</b> 0 | <b>Vacuum</b> 0           |
| <b>3 Fix Bath</b> 0 | <b>Garbage Disposal</b> 0 |
| <b>4 Fix Bath</b> 0 | <b>Compactor</b> 0        |
| <b>5 Fix Bath</b> 0 | <b>Security</b> 0         |

6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 3

Intercom 0  
 Fireplaces 0  
 Dishwasher 0



**Sections:**

| Nbr | Type | Ext Wall | # Stories | Year Built | Attic | A/C | Basement % | Finished Basement % | Area  |
|-----|------|----------|-----------|------------|-------|-----|------------|---------------------|-------|
| 1   | FLA  |          | 1         | 1992       |       |     |            |                     | 2,485 |

**Interior Finish:**

| Section Nbr | Interior Finish Nbr | Type          | Area % | Sprinkler | A/C |
|-------------|---------------------|---------------|--------|-----------|-----|
|             | 16864               | 1 STY STORE-B | 100    | N         | N   |

**Exterior Wall:**

| Interior Finish Nbr | Type          | Area % |
|---------------------|---------------|--------|
| 5849                | REIN CONCRETE | 100    |

**Building 2 Details**

**Building Type**  
 Effective Age 14  
 Year Built 1998  
 Functional Obs 0

**Condition E**  
 Perimeter 142  
 Special Arch 0  
 Economic Obs 0

**Quality Grade 350**  
 Depreciation % 18  
 Grnd Floor Area 1,050

**Inclusions:**

**Roof Type**  
 Heat 1  
 Heat Src 1

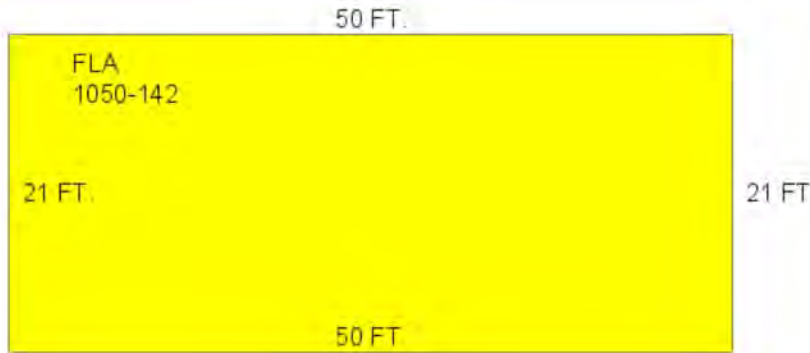
**Roof Cover**  
 Heat 2  
 Heat Src 2

**Foundation**  
 Bedrooms 0

**Extra Features:**

2 Fix Bath 0  
 3 Fix Bath 0  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 0

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 0  
 Intercom 0  
 Fireplaces 0  
 Dishwasher 0



**Sections:**

| Nbr | Type | Ext Wall | # Stories | Year Built | Attic | A/C | Basement % | Finished Basement % | Area  |
|-----|------|----------|-----------|------------|-------|-----|------------|---------------------|-------|
| 1   | FLA  |          | 1         | 1998       |       |     |            |                     | 1,050 |

**Interior Finish:**

| Section Nbr | Interior Finish Nbr | Type          | Area % | Sprinkler | A/C |
|-------------|---------------------|---------------|--------|-----------|-----|
|             | 16865               | 1 STY STORE-A | 100    | Y         | Y   |

**Exterior Wall:**

| Interior Finish Nbr | Type   | Area % |
|---------------------|--------|--------|
| 5850                | C.B.S. | 100    |

**Misc Improvement Details**

| Nbr | Type           | # Units  | Length | Width | Year Built | Roll Year | Grade | Life |
|-----|----------------|----------|--------|-------|------------|-----------|-------|------|
| 1   | DK4:WOOD DOCKS | 1,120 SF | 140    | 8     | 1995       | 1996      | 5     | 40   |
| 2   | DK4:WOOD DOCKS | 800 SF   | 8      | 100   | 1995       | 1996      | 5     | 40   |
| 3   | DK4:WOOD DOCKS | 624 SF   | 8      | 78    | 1995       | 1996      | 5     | 40   |
| 4   | DK4:WOOD DOCKS | 780 SF   | 12     | 65    | 1975       | 1976      | 5     | 40   |

|    |                    |          |     |     |      |      |   |    |
|----|--------------------|----------|-----|-----|------|------|---|----|
| 5  | DK4:WOOD DOCKS     | 2,472 SF | 8   | 309 | 1975 | 1976 | 5 | 40 |
| 6  | DK4:WOOD DOCKS     | 2,400 SF | 8   | 300 | 1975 | 1976 | 5 | 40 |
| 7  | DK4:WOOD DOCKS     | 472 SF   | 59  | 8   | 1975 | 1976 | 5 | 40 |
| 8  | DK4:WOOD DOCKS     | 528 SF   | 8   | 66  | 1975 | 1976 | 5 | 40 |
| 9  | DK4:WOOD DOCKS     | 272 SF   | 16  | 17  | 1995 | 1996 | 5 | 40 |
| 10 | DK4:WOOD DOCKS     | 1,080 SF | 9   | 120 | 1975 | 1976 | 5 | 40 |
| 11 | DK4:WOOD DOCKS     | 1,800 SF | 30  | 60  | 1998 | 1999 | 5 | 40 |
| 12 | DK4:WOOD DOCKS     | 2,368 SF | 148 | 16  | 1995 | 1996 | 5 | 40 |
| 13 | DK2:CON DKS/CONPIL | 5,307 SF | 0   | 0   | 1938 | 1939 | 5 | 60 |
| 14 | DK4:WOOD DOCKS     | 1,552 SF | 0   | 0   | 1995 | 1996 | 5 | 40 |
| 15 | DK4:WOOD DOCKS     | 5,542 SF | 0   | 0   | 1995 | 1996 | 5 | 40 |

## Appraiser Notes

SUBMERGED LANDS ARE OWNED BY THE BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA AND LEASED TO THE CITY OF KEY WEST FOR THEIR DOCKS. LAND WILL REMAIN EXEMPT AND DOCKS WILL BE ASSESSED UNDER THIS PARCEL ACCOUNT NUMBER. IN PRIOR YEARS THE DOCKS WERE ASSESSED TO THE UPLAND PARCELS (RE 72082-003800, -003900, -004200,-004300, -004400 & -004500. LG BLDG NO 1 - OLD FISH HOUSE BLDG NO 2 - TURTLE CANNERY MUSEUM

KEYED IN MUNICIPAL EXEMPTION FOR THE 2007 TAX ROLL DUE TO LITIGATION WITH THE CITY OF ISLAMORADA CONCERNING CITY OWNED MARINA PARCELS BEING TAX EXEMPT

## Building Permits

| Bldg Number | Date Issued | Date Completed | Amount | Description | Notes  |
|-------------|-------------|----------------|--------|-------------|--|
| 11-705      | 03/09/2011  |                | 1,200  | Commercial  | INSTALL ONE 100 AMP PANEL, 2 LIGHTS, 2 SWITCHES, AND 4 OUTLETS.  |
| 09-3225     | 09/22/2009  |                | 2,000  | Commercial  | INSTALL LOW VOLTAGE WIRING AND DEVICES FOR PHONE AND COMPUTER NETWORKING IN PROPOSED RENOVATION.   |
| 09-2920     | 09/14/2009  |                | 24,000 | Commercial  | RELOCATE EXISTING PANEL TO NEW LOCATION; PROVIDE SERVICE TO AND CONNECT ONE DUCTLESS A/C; PROVIDE SERVICE TO AND CONNECT ONE WASTEWATER PUMP; PROVIDE SERVICE TO AND INSTALL LIGHTING AND RECEPTABLES PER PLANS. |
| 09-2900     | 09/14/2009  |                | 85,000 | Commercial  | CONSTRUCTION 2ND FLOOR DOCKMASTER'S OFFICE AND FIRST FLOOR RESERVATION AREA. INSTALLATION OF CABINETS, FLOORING, WALLS, ETC. INSTALLATION OF WINDOWS/SHUTTERS, DOORS, FINIHS WALLS.                              |
| 09-2302     | 07/30/2009  |                | 775    | Commercial  | INSTALL SECURITY SYSTEM. 2 MOTION DETECTORS, 5 DOORS.  |
| 09-2921     | 09/14/2009  |                | 7,880  | Commercial  | INSTALL TRIZONE DUCTLESS MINI SPLIT HEAT PUMP  |
| 09-2922     | 09/14/2009  |                | 15,500 | Commercial  | ROUGH AND SET 1 TOILET, 1 LAV, 1 KITCHEN SINK, 1 WATER HEATER, AND 1 SUMP PUMP. TIE INTO EXISTING PLUMBING.  |

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

| Roll Year | Total Bldg Value | Total Misc Improvement Value | Total Land Value | Total Just (Market) Value | Total Assessed Value | School Exempt Value | School Taxable Value |
|-----------|------------------|------------------------------|------------------|---------------------------|----------------------|---------------------|----------------------|
|-----------|------------------|------------------------------|------------------|---------------------------|----------------------|---------------------|----------------------|

|             |         |         |   |         |         |         |         |
|-------------|---------|---------|---|---------|---------|---------|---------|
| <b>2015</b> | 295,139 | 564,424 | 1 | 859,564 | 859,564 | 859,564 | 0       |
| <b>2014</b> | 295,139 | 524,795 | 1 | 819,935 | 819,935 | 819,935 | 0       |
| <b>2013</b> | 298,104 | 540,564 | 1 | 838,669 | 838,669 | 838,669 | 0       |
| <b>2012</b> | 298,104 | 552,248 | 1 | 850,353 | 850,353 | 850,353 | 0       |
| <b>2011</b> | 308,189 | 568,017 | 1 | 876,207 | 876,207 | 876,207 | 0       |
| <b>2010</b> | 308,189 | 579,699 | 1 | 887,889 | 887,889 | 887,889 | 0       |
| <b>2009</b> | 319,611 | 595,467 | 2 | 915,080 | 915,080 | 915,080 | 0       |
| <b>2008</b> | 319,611 | 607,152 | 2 | 926,765 | 926,765 | 926,765 | 0       |
| <b>2007</b> | 215,640 | 96,587  | 2 | 312,229 | 312,229 | 312,229 | 0       |
| <b>2006</b> | 215,640 | 488,157 | 1 | 703,798 | 703,798 | 0       | 703,798 |
| <b>2005</b> | 223,021 | 500,288 | 1 | 723,310 | 723,310 | 0       | 723,310 |
| <b>2004</b> | 223,016 | 509,274 | 1 | 732,291 | 732,291 | 0       | 732,291 |

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 143,583 times.

Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176