

Application

Horan & Higgins LLP

608 WHITEHEAD STREET
KEY WEST, FLORIDA 33040

September 17, 2018

DAVID PAUL HORAN, P.A.*
CARA A. HIGGINS, P.A.**
DARREN M. HORAN, P.A.

(305) 294-4585
FAX (305) 294-7822
www.horanhiggins.com

*ALSO MEMBER COLORADO BAR
**ALSO MEMBER NEW JERSEY & PENNSYLVANIA BAR

Mr. Patrick Wright, Planning Director
City of Key West
1300 White Street
Key West, FL 33040

**RE: Variance request - Addendum
RE#00037230-000100**

Dear Mr. Wright,

Attached is an updated variance request from the Floodplain Ordinance code section 34-129 that was originally submitted on September 5, 2018. The purpose of the request is to allow temporary office trailers to remain on the site while the remodeling of existing structures is completed. The construction that is underway on this site is to repair damages caused by Hurricane Irma.

We acknowledge the increased risk to flood waters due to the trailers not being elevated above the floodplain, however, it is of economic necessity that the temporary trailers remain secured in place at their current location.

We appreciate your assistance. We hope you can support the request.

Sincerely yours,



DAVID PAUL HORAN
For the Firm

DPH:krh

Enclosures as Stated.



Application For Variance

City of Key West, Florida • Planning Department
1300 White Street • Key West, Florida 33040 • 305-809-3720 • www.cityofkeywest-fl.gov

~~RECEIVED~~
SEP 05 2018
BY: _____

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

~~RECEIVED~~
SEP 06 2018
BY: NLH

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 715 Seminole Ave
Zoning District: HMDR Real Estate (RE) #: 00037230-000100
Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative
Name: David Horan
Mailing Address: 608 Whitehead Street
City: Key West State: FL Zip: 33040
Home/Mobile Phone: NA Office: 305-294-4585 Fax: _____
Email: DPH@HORANHIGGINS.COM

PROPERTY OWNER: (if different than above)
Name: Nancy Vu c/o Park Intermediate Holdings, LLC
Mailing Address: 1600 Tyson Blvd., 7th Floor
City: Tysons State: VA Zip: 22102
Home/Mobile Phone: NA Office: 571-302-5581 Fax: _____
Email: nvu@pkhotelsandresorts.com

Description of Proposed Construction, Development, and Use: Manufactured structures:
Temporary office trailers used as administrative offices during construction and recovery
from damage of permanent structures on site caused by hurricane Irma.

List and describe the specific variance(s) being requested:
Variance to code section 34-136(2)(a) to allow trailers to be placed without permanent, reinforced foundations. And a variance
to code section 34-136(4)(a) to exempt the temporary trailers from the general elevation requirement such that the
bottom of the frame is at or above the applicable building code requirement for areas located within the AE8 & AE9 flood zone.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No
If yes, please describe and attach relevant documents: _____

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HMDR			
Flood Zone	AE8 & AE9 zone			
Size of Site	4,000 SF			
Height	30 ft.		No change	NA
Front Setback	10 ft.		No change	NA
Side Setback	5 ft.		No change	NA
Side Setback	5 ft.		No change	NA
Street Side Setback	7.5 ft.		No change	NA
Rear Setback	15 ft.		No change	NA
F.A.R	1.0 max		No change	NA
Building Coverage	40%		No change	NA
Impervious Surface	60%		No change	NA
Parking	1/300 SF		No change	NA
Handicap Parking	1		No change	NA
Bicycle Parking	25%		No change	NA
Open Space/ Landscaping	35%		No change	NA
Number and type of units	Office		No change	NA
Consumption Area or Number of seats	NA	NA	NA	NA

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

***Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Special conditions exist. Trailers are providing emergency administrative offices for displaced hotel staff while construction/repairs are completed due to hurricane Irma.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Conditions were not created by the applicant.

The conditions and circumstances are a result of a natural disaster and not due to the action or negligence of the applicant.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Special privileges will not be conferred upon the granting of the variance. The granting of the variance will allow next to normal business operations to continue by providing emergency office accommodations on a temporary basis while rebuilding occurs.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship conditions do exist. The literal interpretation of the land development regulations would inflict undue economic hardship on the client by regulating temporary construction based on requirements intended for permanent structures.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Only the minimum variance is being requested to allow offices to remain in their current temporary placement.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The approval of this variance will not be injurious to the public welfare and will be in harmony with the general intent and purpose of the LDRs.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses of other property is not considered as the basis for approval.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

**Addendum
Variance to the Floodplain Ordinance
Code Section 34-129
RE# 00037230-000100**

34-129(6) Considerations for issuance of variance. In reviewing requests for variances, the planning board shall consider all technical evaluations, all relevant factors, all other applicable provisions of the Florida Building Code, this ordinance, and the following:

- (a) The danger that materials and debris may be swept onto other lands resulting in further injury or damage;

Per attached plans, structures are secured in place to eliminate the danger that materials and debris may be swept onto other lands resulting in further injury or damage.

- (b) The danger to life and property due to flooding or erosion damage;

These are temporary trailers related to the reconstruction of the adjacent permanent structures. These are not residential units and will not be inhabited during a flood event. The danger to life and property due to flooding or erosion damage is minimal to nonexistent.

- (c) The susceptibility of the proposed development, including contents, to flood damage and the effect of such damage on current and future owners;

The temporary trailers have minimal susceptibility to flood damage due to their short temporal lifespan. Future owners of the property will not be affected.

- (d) The importance of the services provided by the proposed development to the community;

The availability of administrative offices in the close vicinity of the construction is of the utmost importance for the successful oversight of day-to-day operations. It is of economic necessity to maintain the structures on site.

- (e) The availability of alternate locations for the proposed development that are subject to lower risk of flooding or erosion;

This site is located in the AE 8 and AE 9 flood zones. The trailers were located in the AE 8 zone to the greatest extent possible. There are no other alternative locations, on site, for the structures which would be of lower risk to flooding or erosion.

- (f) The compatibility of the proposed development with existing and anticipated development;

The structures are not incompatible as a resource for temporary emergency offices.

- (g) The relationship of the proposed development to the comprehensive plan and floodplain management program for the area;

The development is consistent with the Comprehensive Plan. Policy 5-1.7.5 identifies the possible need of variances in the post-disaster redevelopment of structures and provides the City with the ability to evaluate the needs for such a variance.

- (h) The safety of access to the property in times of flooding for ordinary and emergency vehicles;

The proposed structures do not impede access to the property by ordinary or emergency vehicles.

- (i) The expected heights, velocity, duration, rate of rise and debris and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and

Wind/Seismic Analysis and load determinations are provided in attached documents.

- (j) The costs of providing governmental services during and after flood conditions including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, streets and bridges.

The owner acknowledges the risk due to the structures not being elevated to code requirement.

Determination of Compliance:

1. Failure to grant the variance would result in exceptional hardship due to the physical characteristics of the land that render the lot undevelopable; increased costs to satisfy the requirements or inconvenience do not constitute hardship;

Failure to grant the variance will result in economic hardship of the property owner who is taking action to recover from Hurricane Irma.

2. The granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, nor create nuisances, cause fraud on or victimization of the public or conflict with existing local laws and ordinances;

Granting this variance will not result in a threat to public safety or involve any expense by the public. Granting this variance will not result create a nuisance, cause fraud or victimize the public in any way. Granting this variance is in compliance with comprehensive plan policy 5-1.7.5.

3. The variance is the minimum necessary deviation from the requirements of this ordinance, considering the flood hazard, to afford relief;

For the reasons itemized above, the variance is the minimum necessary deviation from the requirements of this ordinance.

I, _____, agree that if the variance is granted, it shall be recorded in the office of the clerk of the court in such a manner that it appears in the chain of title of the affected parcel of land.

Signature

Date

Subscribed and sworn to (or affirmed) before me on _____ (date) by

_____ (name of affiant), he/she is personally known to me or has presented _____ as identification.

Notary's Signature and Seal

_____ Name of Acknowledger printed or stamped

_____ Title or Rank

_____ Commission Number, if any

Warranty Deed

Doc# 1633895 03/22/2007 12:21PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

RETURN TO:
FIDELITY NATIONAL TITLE
INSURANCE COMPANY
ATTN: JENNIE CLAYTON
5690 W. Cypress St., Ste A
Tampa, FL 33607
NAPS / FNT File No. ACC-Wyndham

03/22/2007 12:21PM
DEED DOC STAMP CL: PW \$28,000.00

Doc# 1633895
Bk# 2281 Pg# 1224

Prepared under local supervision by :
Alison Ando, Esq. @ Simpson Thacher & Bartlett LLP
425 Lexington Ave, NY, NY 10017

Limited Warranty Deed

THIS LIMITED WARRANTY DEED made this 31st day of December, 2005, between IHC Realty Partnership, L.P., a Delaware limited partnership (formerly known as Interstone Partners I, L.P., a Delaware limited partnership), c/o Blackstone Real Estate Acquisitions IV L.L.C., 345 Park Avenue, New York, New York 10154 ("Grantor") and BRE/FL Development Parcels L.L.C., a Delaware limited liability company, c/o Blackstone Real Estate Acquisitions IV L.L.C., 345 Park Avenue, New York, New York 10154 ("Grantee").

Witnesseth:

That the Grantor, in consideration of the sum of \$4,000,000 paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, does hereby grants, sells, conveys, transfers, assigns and warrants unto Grantee, its successors and assigns, all of its estate, right, title and interest in and to that certain plot, piece or parcel of land (together with the buildings and improvements thereon erected) described on Schedule A hereto (the "Premises").

Together with: all right, title and interest (if any) of Grantor in and to any streets and roads abutting the Premises to the center line thereof, as well as any gaps, strips or gores on, around or within the Premises;

Together with: all right, title and interest (if any) of Grantor in and to any hereditaments and appurtenances, and all of the estate and rights of Grantor.

To have and to hold the Premises herein conveyed unto the Grantee, its successors and assigns forever.

Grantor covenants with Grantee that (a) Grantor is lawfully seized of the fee simple title, (b) the fee simple title is free from all encumbrances, except those appearing in the existing Owner's Policy insuring the Grantor's fee simple title, (c) Grantor has a good right and lawful authority to sell and convey the fee simple title, (d) Grantor fully warrants the fee simple title to immediate Grantee only, and (e) Grantor will defend the fee simple title from all lawful claims of immediate Grantee only. The foregoing warranty is for the sole benefit of immediate Grantee only and shall not extend any successor grantee.

In witness whereof, the undersigned, by its duly elected officer(s) and pursuant to proper authority of its board of directors has duly executed, acknowledged and delivered this instrument as of the day and year first above written.

Grantor:

Doc# 1633895
Bk# 2281 Pg# 1225

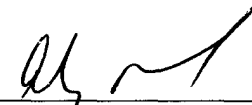
IHC Realty Partnership, L.P.

By: IHC Realty Corporation, a Delaware corporation

By:


Name:

Title:



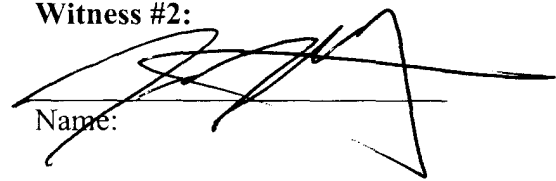
Anthony Besvich

Witness #1:



Name:

Witness #2:

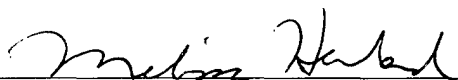


Name:

County of New York)
)
State of New York)

Doc# 1633895
Bk# 2281 Pg# 1226

On December 31, 2005, before me, the undersigned, a Notary Public in and for said State, personally appeared Anthony Beovich, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he / she / they executed the same in his / her / their capacity(ies), and that by his / her / their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument. Witness my hand and official seal.



Notary Public

MELISSA HERLAND
Notary Public, State of New York
No. 30-2814420
Qualified in Nassau County
Commission Expires 5-9-2007

Schedule A:

On the Island of Key West, Florida, being Lots 1 thru 10 inclusive, all being in Block 8 as shown on the Plat of the Key West Investment Company's Subdivision of Part of Tract Seventeen (17), duly recorded in Plat Book 1 at Page 69 of the Public Records of Monroe County, Florida.

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Business Entities

UCC or Tax Liens

Court Services

Additional Services

Park Intermediate Holdings LLC

General

SCC ID: T0666851
 Entity Type: Foreign Limited Liability Company
 Jurisdiction of Formation: DE
 Date of Formation/Registration: 8/18/2016
 Status: Active

Select an action

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- [File a registered office address change](#)
- [Resign as registered agent](#)
- [File a principal office address change](#)
- [Pay annual registration fee](#)
- [Order a certificate of fact of registration in Virginia](#)
- [Submit a PDF for processing \(What can I submit?\)](#)
- [View eFile transaction history](#)
- [Manage email notifications](#)

Principal Office

7930 JONES BRANCH DR
 MCLEAN VA22102

[New Search](#) [Home](#)

Registered Agent/Registered Office

CORPORATION SERVICE COMPANY
 100 SHOCKOE SLIP
 2ND FLOOR
 RICHMOND VA 23219
 RICHMOND CITY 216
 Status: Active
 Effective Date: 1/1/2018

Screen ID: e1000

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- Entity Copies/Certificates
- Entity FAQs

UCC or Tax Liens

Court Services

Additional Services

Park Hotels & Resorts Inc.

General

SCC ID: F0499196
 Entity Type: Foreign Corporation
 Jurisdiction of Formation: DE
 Date of Formation/Registration: 1/13/1986
 Status: Active
 Shares Authorized: 150000000

Select an action

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Principal Office

1600 TYSONS BLVD
 10TH FLOOR
 MCLEAN VA22102

Registered Agent/Registered Office

CORPORATION SERVICE COMPANY
 100 SHOCKOE SLIP
 2ND FLOOR
 RICHMOND VA 23219
 RICHMOND CITY 216
 Status: Active
 Effective Date: 1/1/2018

Screen ID: e1000

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Build #: 1.0.0.31267

Verification Form

Authorization Form

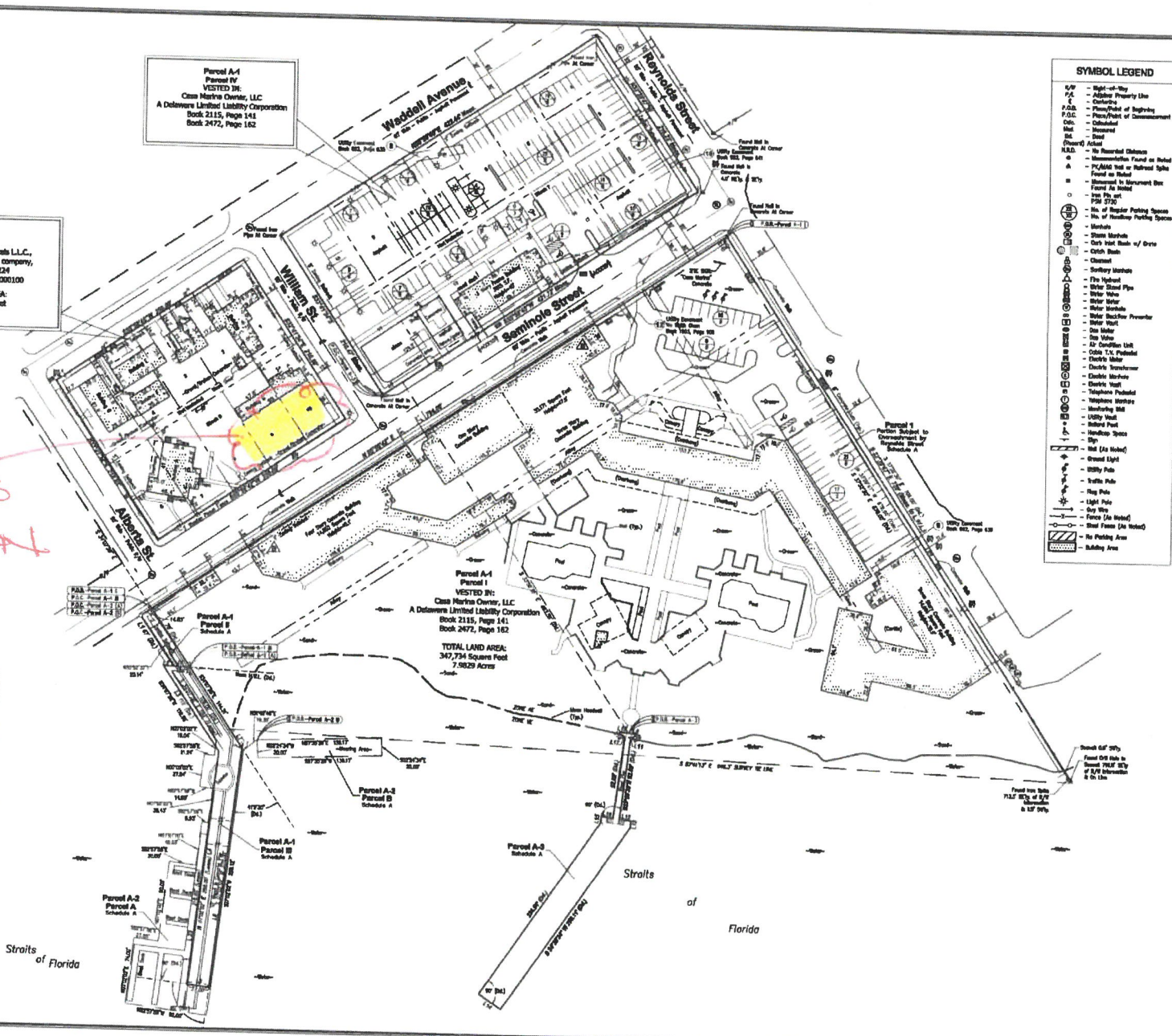
Site Plans

Parcel A-1
Parcel IV
VESTED IN:
Cass Marina Owner, LLC
A Delaware Limited Liability Corporation
Book 2115, Page 141
Book 2472, Page 162

VESTED IN:
BRE/FL Development Parcels LLC,
a Delaware limited liability company,
Book 2281, Page 1224
APN-0568 25 0003723000100
TOTAL LAND AREA:
52,625 Square Feet
1.209 Acres

TRAILERS
LOCATION

Lot	Area	Volume	Height	Notes
1	1.2	1.2	1.2	
2	1.2	1.2	1.2	
3	1.2	1.2	1.2	
4	1.2	1.2	1.2	
5	1.2	1.2	1.2	
6	1.2	1.2	1.2	
7	1.2	1.2	1.2	
8	1.2	1.2	1.2	
9	1.2	1.2	1.2	
10	1.2	1.2	1.2	
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46	1.2	1.2	1.2	
47	1.2	1.2	1.2	
48	1.2	1.2	1.2	
49	1.2	1.2	1.2	
50	1.2	1.2	1.2	



SYMBOL LEGEND

- Right-of-Way
- Adjacent Property Line
- Centerline
- Plan/Point of Beginning
- Plan/Point of Commencement
- Delinquent
- Unimproved
- Street
- Drain
- Power of Ejectment
- No Recordation
- Information Found as Noted
- PC/M&L Note or Reference Note
- Found as Noted
- Removal to Monument Box
- Found as Noted
- Iron Pin Set
- PSN 5720
- No. of Header Parking Spaces
- No. of Header Parking Spaces
- Manhole
- Storm Manhole
- Curb Inlet
- Curb Inlet
- Sanitary Manhole
- Fire Hydrant
- Water Stand Pipe
- Water Valve
- Water Meter
- Water Manhole
- Water Backflow Preventer
- Water Shut
- Gas Meter
- Gas Valve
- Gas Condition Unit
- Gas T.V. Piped
- Electric Meter
- Electric Transformer
- Electric Manhole
- Electric Vault
- Telephone Piped
- Telephone Manhole
- Monitoring Well
- Utility Vault
- Setback Foot
- Non-App. Space
- Shp
- Not (As Noted)
- Ground Light
- Utility Pole
- Traffic Pole
- Flag Pole
- Light Pole
- Gas Well
- Found (As Noted)
- Steel Frame (As Noted)
- No Parking Area
- Subsiding Area

millman
National Land Services
Transforming the Industry
Surveying
Zoning
Environmental
Real Support - Title Review
Millman Surveying, Inc.
Corporate Headquarters
4111 Bradley Circle NW
Canton, OH 44718
Phone: 800-820-1010
Fax: 330-342-0834
www.millmanland.com
landsurveyors@millmanland.com

BOUNDARY AND
ALTA/CGBM LAND TITLE
SURVEY PREPARED FOR:

**HILTON
WORLDWIDE**
7830 Jones Branch Drive
McLean, VA 22102

virtualsurveyor
for more information
visit <http://vms.com/25774136>

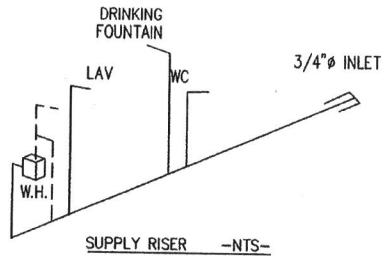
CASA MARINA RESORT
1500 Reynolds Street
City of Key West
County of Monroe
State of Florida

NORTH
GRAPHIC SCALE
0 50 100
1 INCH = 50 FT.

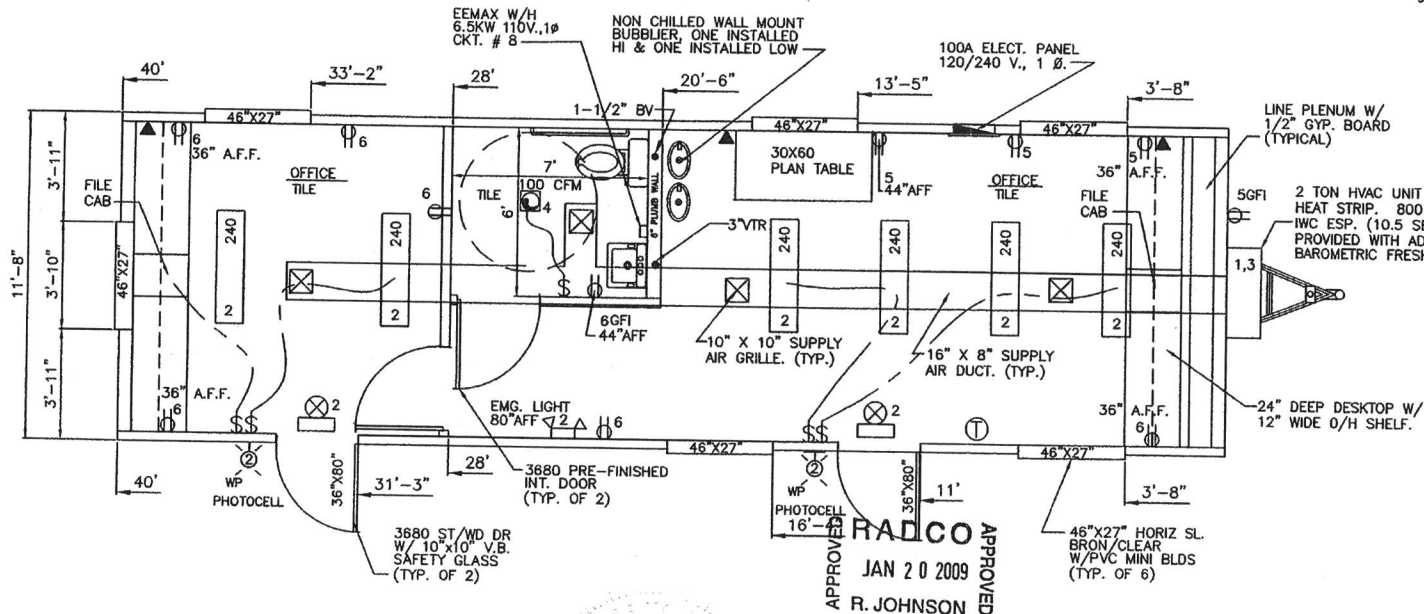
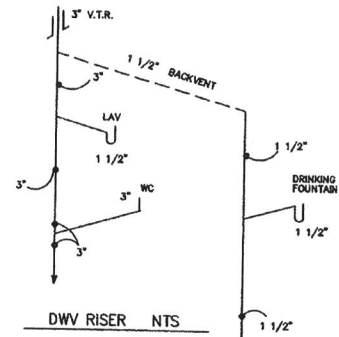
Surveyor's Seal
Sheet No. 2 of 2
MBI Project No. 36408 (30000)
P.M.: MR Drafter: APB



SUPPLY LINE SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 46 TO 60 PSI AT MAIN INLET AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
 --- OLD
 --- HOT
 ALL SUPPLY LINES SHALL BE 3/4", ALL STUB-UPS SHALL BE 1/2" UNLESS OTHERWISE SPECIFIED.



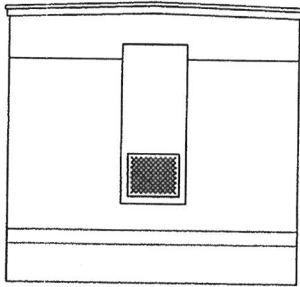
NOTE:
 WALL SHALL BE PROPERLY SCABBED WHERE THE WIDTH OF THE PLUMBING LINES PENETRATING THE TOP AND BOTTOM PLATES EXCEEDS ONE HALF PLATE WIDTH



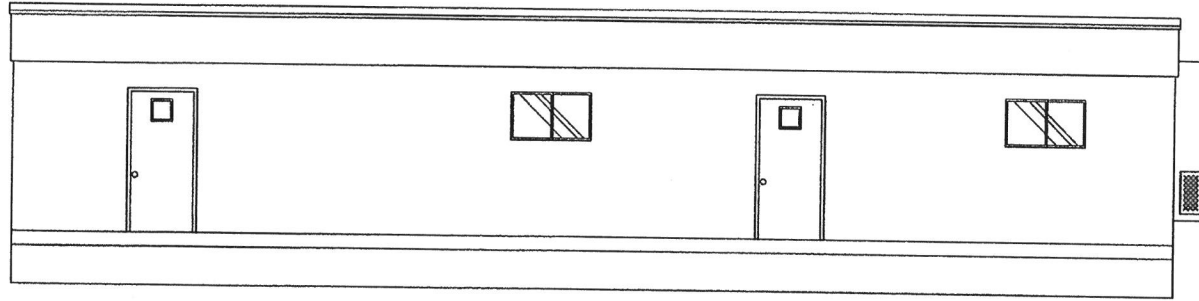
LISTING AGENCY APPROVAL
 THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURING BUILDING ACT OF 1978 AS AMENDED BY THE CODE AND ADHERE TO THE FOLLOWING CRITERIA:
 CONST TYPE V
 OCCUPANCY SO
 FLOOR 142 SQ. FT.
 WIND 0 PSF
 FIRE 0 PSF
 EXT. WALL 1
 ALL OTHERS 0
 OF FLOORS
 MANUFACTURED BY Southern
 PLAN NUMBER SM#15545-46
 APPROVAL DATE 01/20/09
 RADCO

APPROVED
 JAN 20 2009
 R. JOHNSON

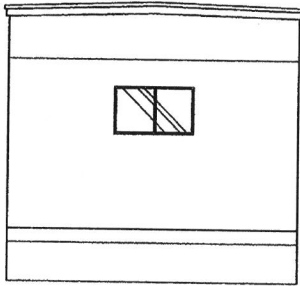
 Nader Tomasbi, P.E. 58665 Glenriver Drive Goshen, IN. 46528 JAN 19 2009	 Southeast Modular Manufacturing E. 2500 INDUSTRIAL STREET LEESBURG, FLORIDA 34748	 Southeast Modular Manufacturing 1619 SR 28 WEST ELLAVILLE, GA. 31806	REVISIONS: DATE: SCALE: AS NOTED CODES: SEE NOTES LABELS: RADCO, AL, GA, FL. STOCK 12 x 40 BUSINESS COVER SHEET	THIRD PARTY: RADCO 5456 CRENSHAW ST. TAMPA, FLORIDA 33634 813-243-0370 BY: RADCO# 181 SHEET 2 OF 4 JOB NO. SM#15545-46
	APPROVED JAN 20 2009 R. JOHNSON			SHEET 2 OF 4



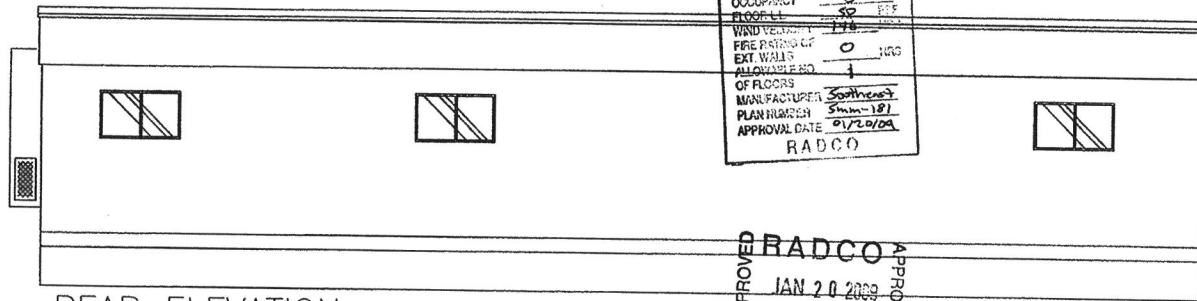
RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION

SCALE: nts

LISTING AGENCY APPROVAL
 THESE PRINTS COMPLY WITH THE
 FLORIDA BUILDING CODE AND
 ACT OF 1975 GOVT. STRUCTURE BUILDING
 AND ADHERE TO THE FOLLOWING
 CRITERIA
 CONST. TYPE V
 OCCUPANCY B
 FLOOR LL 50 FFS
 WIND VELOCITY 175
 FIRE RATING OF
 EXT. WALLS 0 HRS
 ALLOWABLE NO. 1
 OF FLOORS
 MANUFACTURED Southeast
 PLAN NUMBER SMM-181
 APPROVAL DATE 01/20/09
 RADCO

APPROVED
 RADCO
 JAN 20 2009
 R. JOHNSON

ELEVATION NOTES: TYPICAL
 SEE-CROSS SECTION FOR
 METHOD OF ROOF VENTILATION
 ACCESSIBLE RAMP(S), STAIR(S),
 AND HANDRAILS ARE TO BE
 INSTALLED, DESIGNED BY OTHERS,
 AND SUBJECT TO LOCAL JURISDICTION.
 FOUNDATION ENDS/ROOF
 (WHEN PROVIDED) MUST HAVE
 1 SQUARE FOOT PER 100 SQ. FT. AREA
 PER 1/100TH OF THE FLOOR AREA,
 AND AN 18" x 24" MINIMUM DRAIN
 SPACE ACCESS. SITE INSTALLED BY
 OTHERS SUBJECT TO LOCAL
 JURISDICTION.

Nader Tomasbi
 NADER TOMASBI, P.E.
 58665 Glenriver Drive
 Goshen, IN. 46528
 JAN 20 2009

**Southeast Modular
 Manufacturing**
 2500 INDUSTRIAL STREET
 LEESBURG, FLORIDA 34748

**Southeast Modular
 Manufacturing E.**
 1619 SR 26 WEST
 ELLAVILLE, GA. 31806

**Southeast Modular
 Manufacturing**
 1340 HWY 17 NORTH
 WAUCHULA, FL. 33873

REVISIONS:	THIRD PARTY: RADCO 3456 CRESHAW ST. TAMPA, FLORIDA 33634 813-243-0370
DATE:	
SCALE: AS NOTED	RADCO# 181
CODES: SEE NOTES	BY:
LABELS: RADCO, AL, GA, FL	SHEET
STOCK 12 x 40 BUSINESS	3 OF 4
COVER SHEET	JOB NO. SMM#15545-46

GENERAL CROSS-SECTION NOTES:

- UNLESS OTHERWISE SPECIFIED, ALL STEEL MUST COMPLY W/ ASTM A36. YIELD STRENGTH = 36 KSI.
- ALL LAG SCREWS MUST COMPLY W/ AHS/ ASME B18.2.1 F_y = 60 KSI MINIMUM.
- SEE FOUNDATION PLAN FOR PIER AND TIE-DOWN STRAPPING LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.

4.0 SQUARE FEET NET FREE AREA OF ATTIC VENTILATION TO BE PROVIDED BY GABLE AND/OR ROOF VENTS

SEE MECHANICAL NOTES & FLOOR PLAN FOR CEILING DUCT SPECIFICATIONS

RM MEMBER 2X4 SYP#2 MINIMUM (TOP & BOTTOM)

SEE APPROVED PACKAGE FOR CEILING TO WALL FASTENING REQUIREMENTS.

26 GA. X 1-1/2" STEEL STRAP FROM EACH TRUSS TO WALL STUD FASTENED W/ (3) 15 GA. X 1" STAPLES PER STRAP END (TYPICAL SIDEWALLS)
NOTE: TRUSSES WHICH DO NOT FALL DIRECTLY OVER WALL STUDS SHALL BE STRAPPED TO TOP PLATE AND TOP PLATE SHALL BE STRAPPED TO NEAREST ADJACENT STUD W/ EQUIVALENT FASTENING

CRIPPLE STUDS 2X4 SYP#2 @ 16" O.C.

2X HEADER PER APPROVED STRUCTURAL PACKAGE

SILL PLATE 2X4 SYP#2

CRIPPLE STUDS 2X4 SYP#2 @ 16" O.C.

5/8" PLYWOOD STURD-I-FLOOR, EXP.-1, 20" O.C.

BOTTOM PLATE 2X4 SYP#2

26 GA. X 1-1/2" STEEL STRAP FROM WALL STUD TO FLOOR JOIST @ OPENING STUDS AND 15" O.C. W/ (3) 15 GA. X 1" STAPLES PER STRAP END (TYPICAL SIDEWALLS & ENDWALLS)

(2) 5/16" X 3" LAG SCREWS THROUGH FLANGE INTO JOIST @ EACH OUTRIGGER IN ADDITION, INSTALL (1) 5/16" X 3" LAG SCREW W/ FLANGE CLIP FROM I-BEAM TO EACH FLOOR JOIST (TYP.)

OUTRIGGER AND CROSSMEMBER SIZE AND SPACING PER APPROVED STRUCTURAL PACKAGE

I-BEAM - 12x11.8

TRUSSES #P701101 LISTED TRUSSES @ 24" O.C.
LISTED ROOF TRUSS DESIGN LOADS:
LIVE LOAD 30 PSF TOP CHORD
DEAD LOAD 10 PSF TOP CHORD
DEAD LOAD 10 PSF BOTTOM CHORD

ROOF COVERING OVER 5/8" O.S.B., RATED SHEATHING, MINIMUM EXP.-1, 24/16 - SEE ROOF SHEATHING DETAIL

EXTERIOR WALL FINISH

EXTERIOR WALL STRUCTURAL BRACING SIDEWALLS

BRACING INSTALLATION: STRUCTURAL SHEATHING SHALL CONSIST OF A 4 FOOT MINIMUM WIDTH SHEET EXTENDING CONTINUOUSLY FROM TOP TO BOTTOM PLATE W/ ALL SHEATHING EDGES EXTENDING 3/4" MINIMUM OVER 2" NOMINAL LUMBER OF THE SAME SIZE AND GRADE AS EXTERIOR WALL FRAMING. BRACING SHALL BE FULL COVERAGE.

BRACING MATERIAL: 5/8" APA RATED PLYWOOD FASTENED W/ 16 GA. X 1 1/4" STAPLES 3" O.C. ON EDGES AND 6" O.C. IN THE FIELD, OR USE THE SAME STRUCTURAL BRACING MATERIAL AND FASTENING METHOD AS SPECIFIED FOR ENDWALLS.

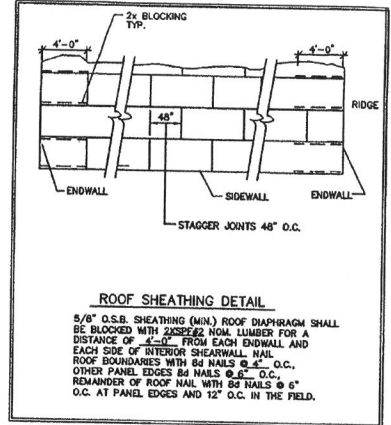
ENDWALLS: BRACING INSTALLATION: STRUCTURAL SHEATHING SHALL EXTEND CONTINUOUS FROM TOP OF TRUSS TOP CHORD TO 3/4" MINIMUM BELOW TOP OF RM JOIST W/ ALL SHEATHING EDGES SUPPORTED BY 2" NOMINAL LUMBER OF THE SAME SIZE AND GRADE AS EXTERIOR WALL FRAMING.

BRACING MATERIAL: 5/8" APA RATED SHEATHING, EXP.-1, EXP.-2, EXT. OR 7/16" APA RATED SIDING EXT. FASTENED W/ 8D COMMON OR GALV. BOX NAILS 4" O.C. EDGES AND 12" O.C. IN THE FIELD.

RM JOIST 2X6 SYP#2

FLOOR JOISTS 2x6 SYP#2 @ 16" O.C.

R-11 INSULATION



ROOF SHEATHING DETAIL

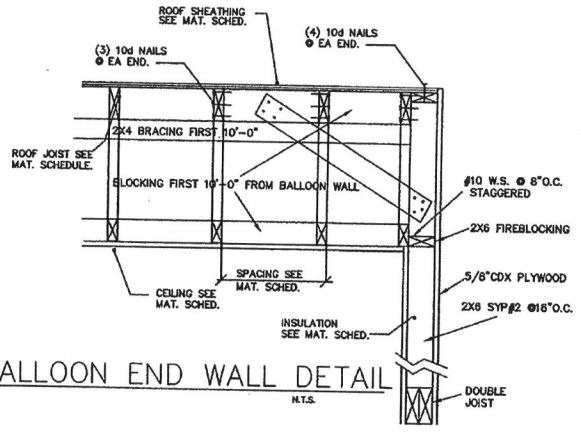
5/8" O.S.B. SHEATHING (MIN.) ROOF DIAPHRAGM SHALL BE BLOCKED WITH 2X6#2 NOM. LUMBER FOR A DISTANCE OF 4'-0" FROM EACH ENDWALL AND EACH SIDE OF INTERIOR SHEARWALL. NAILED ROOF BOUNDARIES WITH 8d NAILS @ 4" O.C., OTHER PANEL EDGES 8d NAILS @ 6" O.C., REMAINDER OF ROOF NAILED WITH 8d NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. IN THE FIELD.

LISTING AGENCY APPROVAL

THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CRITERIA:

CONST. TYPE	V
OCCUPANCY	B
FLOOR L.L.	50 PSF
WIND VELOCITY	146 MPH
FIRE RATING OF EXT. WALLS	0 HRS
ALLOWABLE NO. OF FLOORS	1
MANUFACTURER	Southeast
PLAN NUMBER	SM-187
APPROVAL DATE	01/20/09

RADCO



BALLOON END WALL DETAIL

APPROVED
R. JOHNSON
JAN 20 2009

INTERIOR FINISH MATERIAL:

CEILING - 1/2 INCH HIGH STRENGTH GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS. (SPRAY FINISH)

WALL - 1/2 INCH MEDIUM GYPSUM BOARD (VINYL COVERED COLOR FAN FINE)

FLOOR - AS NOTED ON PLAN

FLOOR TILE - COLOR #61639 FORTRESS WHITE

EXTERIOR FINISH MATERIAL:

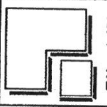
ROOF - 45 MIL BLACK RUBBER ROOF COVERING (EPDM) INSTALLED PER MANUFACTURER'S SPECIFICATIONS OVER 1/2" DENSDECK.

WALL - .019 ALUMIN. COLOR COOL WHITE (OVER AN APPROVED MOISTURE BARRIER).

TIRM - ALUMIN. COLOR DARK GREEN

FALSE HANDBAR - COLOR DARK GREEN

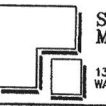
Nader Tomasbi, P.E.
58665 Glenriver Drive
Goshen, IN. 46528



Southeast Modular Manufacturing
2500 INDUSTRIAL STREET
LEESBURG, FLORIDA 34748



Southeast Modular Manufacturing E.
1619 SR 26 WEST
ELLAVILLE, GA. 31806



Southeast Modular Manufacturing
1340 HWY 17 NORTH
WAUCHULA, FL. 33873

REVISIONS:	THIRD PARTY: RADCO 5486 CRENSHAW ST. TAMPA, FLORIDA 33634 813-243-0370
DATE:	RADCO# 181
SCALE: AS NOTED	9"
CODES: SEE NOTES	
LABELS: RADCO, AL, GA, FL.	
STOCK 12 x 40 BUSINESS	SHEET
COVER SHEET	4 OF 4
JOB NO. SM#15645-46	

Florida Energy Efficiency Code For Building Construction
Florida Department of Community Affairs

EnergyGauge FLA/COM 2004 v3.00 -- Form 400A-2004

Method A: Whole Building Performance Method for Commercial Buildings

Effective December 8, 2006

PROJECT SUMMARY

Short Desc: SMM-181

Description: SMM-181

Owner: Southeast Modular Manufacturing, Inc.

Address1:

City: MIAMI

Address2: Enter Address here

State: FL

Zip: 0

Type: Office

Class: New Finished building

Jurisdiction: MIAMI, MIAMI-DADE COUNTY, FL (232400)

Cond Area: 467 SF

Cond & UnCond Area: 467 SF

No of Storeys: 1

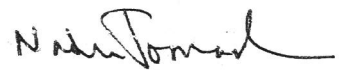
Area entered from Plans 0 SF

Permit No: 0

Max Tonnage 2

If different, write in: _____

APPROVED RADCO APPROVED
JAN 20 2009
R. JOHNSON



Compliance Summary

Component	Design	Criteria	Result
Gross Energy Use	806.0	851.1	PASSES
LIGHTING CONTROLS			PASSES
EXTERNAL LIGHTING			None Entered
HVAC SYSTEM			PASSES
PLANT			None Entered
WATER HEATING SYSTEMS			PASSES
PIPING SYSTEMS			None Entered
Met all required compliance from Check List?			Yes/No/NA

IMPORTANT NOTE: An input report of this design building must be submitted along with this Compliance Report.

APPROVED **RADCO** **APPROVED**
APPROVED **JAN 20 2009** **APPROVED**
APPROVED **R. JOHNSON** **APPROVED**

CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By: Nabe Johnson

Building Official: [Signature]

Date: 1-19-09
FL PE. # S6556

Reviewed By:
[Signature]
Robert A. Johnson
Florida Modular Plans Examiner
No. SMP - 000009

I certify that this building is in compliance with the FLorida Energy Efficiency Code

Owner Agent: _____

Date: _____

If Required by Florida law, I hereby certify (*) that the system design is in compliance with the FLorida Energy Efficiency Code

Architect: _____

Reg No: _____

Electrical Designer: _____

Reg No: _____

Lighting Designer: _____

Reg No: _____

Mechanical Designer: _____

Reg No: _____

Plumbing Designer: _____

Reg No: _____

(*) Signature is required where Florida Law requires design to be performed by registered design professionals. Typed names and registration numbers may be used where all relevant information is contained on signed/sealed plans.

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JAN 20 2009
R. JOHNSON

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

Whole Building Compliance

	Design	Reference
Total	<i>94.63</i>	<i>100.00</i>
	<i>\$806</i>	<i>\$851</i>
ELECTRICITY(MBtu/k Wh/\$)	<i>94.63</i>	<i>100.00</i>
	<i>16516</i>	<i>17440</i>
	<i>\$806</i>	<i>\$851</i>
AREA LIGHTS	<i>8.22</i>	<i>9.06</i>
	<i>1433</i>	<i>1572</i>
	<i>\$70</i>	<i>\$77</i>
MISC EQUIPMT	<i>5.87</i>	<i>5.87</i>
	<i>1026</i>	<i>1026</i>
	<i>\$50</i>	<i>\$50</i>
PUMPS & MISC	<i>2</i>	<i>3</i>
	<i>\$0</i>	<i>\$0</i>
SPACE COOL	<i>20.30</i>	<i>17.28</i>
	<i>3542</i>	<i>3014</i>
	<i>\$173</i>	<i>\$147</i>
VENT FANS	<i>60.23</i>	<i>67.79</i>
	<i>10513</i>	<i>11825</i>
	<i>\$513</i>	<i>\$577</i>

Credits & Penalties (if any): Modified Points: = 94.64

PASSES

External Lighting Compliance

Description	Category	Allowance (W/Unit)	Area or Length (Sqft or ft)	ELPA (W)	CLP (W)
<div style="display: flex; justify-content: space-between;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">APPROVED</div> <div style="text-align: center;"> <p>RADCO</p> <p>IAN 20 2009</p> <p>R. JOHNSON</p> </div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">APPROVED</div> </div>					
					None

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

Lighting Controls Compliance

Acronym	Ashrae ID	Description	Area (sq.ft)	No. of Tasks	Design CP	Min CP	Compliance
Pr0Zo1Spl	17	Office - Enclosed	467	1	4	1	PASSES

PASSES

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

System Report Compliance

Pr0Sy1 System 1 Constant Volume Air Cooled Single Package System < 65000 Btu/hr No. of Units 1

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Cooled < 65000 Btu/h Cooling Capacity		13.00	13.00	8.00		PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES

PASSES

Plant Compliance

Description	Installed No	Size	Design Eff	Min Eff	Design IPLV	Min IPLV	Category	Compliance

None

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 R. JOHNSON

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

Water Heater Compliance

Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss	Compliance
Water Heater 2	Electric heat pump water heater	All ratings	1.00	0.92			PASSES

PASSES

Piping System Compliance

Category	Pipe Dia [inches]	Is Runout?	Operating Temp [F]	Ins Cond [Btu-in/hr .SF.F]	Ins Thick [in]	Req Ins Thick [in]	Compliance
None							

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Infiltration	406.1	Infiltration Criteria have been met	<input type="checkbox"/>
System	407.1	HVAC Load sizing has been performed	<input type="checkbox"/>
Ventilation	409.1	Ventilation criteria have been met	<input type="checkbox"/>
ADS	410.1	Duct sizing and Design have been performed	<input type="checkbox"/>
T & B	410.1	Testing and Balancing will be performed	<input type="checkbox"/>
Motors	414.1	Motor efficiency criteria have been met	<input type="checkbox"/>
Lighting	415.1	Lighting criteria have been met	<input type="checkbox"/>
O & M	402.1	Operation/maintenance manual will be provided to owner	<input type="checkbox"/>
Roof/Ceil	404.1	R- for Roof Deck with supply plenums beneath it	<input type="checkbox"/>
Report	101	Input Report Print-Out from EnergyGauge FlaCom attached?	<input type="checkbox"/>

APPROVED
 RADCOM
 JAN 20 2009
 R. JOHNSON

Additional Information

qPublic.net Monroe County, FL

Summary

Parcel ID 00037230-000100
 Account # 8735669
 Property ID 8735669
 Millage Group 10KW
 Location 715 SEMINOLE Ave., KEY WEST
 Address
 Legal KW KW INVESTMENT CO SUB PB1-69 ALL SQUARE 8 OR954-1008
 Description OR1033-742/747 OR1436-761/764 OR1440-106/109-C OR2281-1224/27
 (Note: Not to be used on legal documents)
 Neighborhood 32100
 Property Class STORE COMBO (1200)
 Subdivision Key West Investment Co's Sub
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

BRE/FL DEVELOPMENT LLC
 C/O BLACKSTONE REAL ESTATE ACQUISITIONS IV LLC
 345 Park Ave
 New York NY 10154

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$1,424,080	\$1,440,585	\$1,345,134	\$1,397,782
+ Market Misc Value	\$13,918	\$14,104	\$14,475	\$12,739
+ Market Land Value	\$1,653,225	\$1,653,225	\$1,653,577	\$1,594,935
= Just Market Value	\$3,091,223	\$3,107,914	\$3,013,186	\$3,005,456
= Total Assessed Value	\$3,091,223	\$3,107,914	\$3,013,186	\$3,005,456
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$3,091,223	\$3,107,914	\$3,013,186	\$3,005,456

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	52,500.00	Square Foot	250	210

Commercial Buildings

Style 1 STY STORE-B / 11B
 Gross Sq Ft 5,055
 Finished Sq Ft 2,442
 Perimeter 0
 Stories 1
 Interior Walls
 Exterior Walls AVE WOOD SIDING
 Quality 400 ()
 Roof Type
 Roof Material
 Exterior Wall1 AVE WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1948
 Year Remodeled
 Effective Year Built 1989
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FHS	FINISH HALF ST	2,132	0	0
FLA	FLOOR LIV AREA	2,442	2,442	0
OUU	OP PR UNFIN UL	119	0	0
OPF	OP PRCH FIN LL	362	0	0
TOTAL		5,055	2,442	0

Style M.F. - R2 / R2
 Gross Sq Ft 4,395
 Finished Sq Ft 1,888
 Perimiter 0
 Stories 1
 Interior Walls WALL BD/WD WAL
 Exterior Walls WD FRAME
 Quality 450 ()
 Roof Type IRR/CUSTOM
 Roof Material METAL
 Exterior Wall1 WD FRAME
 Exterior Wall2
 Foundation CONCR FTR
 Interior Finish WALL BD/WD WAL
 Ground Floor Area
 Floor Cover CONC S/B GRND
 Full Bathrooms 2
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1958
 Year Remodeled
 Effective Year Built 1965
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	88	0	0
FLA	FLOOR LIV AREA	1,888	1,888	0
GBF	GAR FIN BLOCK	335	0	0
PTO	PATIO	2,084	0	0
TOTAL		4,395	1,888	0

Style S.F.R. - R1 / R1
 Gross Sq Ft 1,486
 Finished Sq Ft 1,075
 Perimiter 0
 Stories 1
 Interior Walls WD PANL/CUSTOM
 Exterior Walls C.B.S.
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material ASPHALT SHINGL
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONCRETE SLAB
 Interior Finish WD PANL/CUSTOM
 Ground Floor Area
 Floor Cover CONC ABOVE GRD
 Full Bathrooms 1
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1948
 Year Remodeled
 Effective Year Built 1984
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	CARPORT FIN	220	0	0
FLA	FLOOR LIV AREA	1,075	1,075	0
OPF	OP PRCH FIN LL	47	0	0
PTO	PATIO	144	0	0
TOTAL		1,486	1,075	0

Style M.F. - R4 / R4
 Gross Sq Ft 4,101
 Finished Sq Ft 3,296
 Perimiter 0
 Stories 2
 Interior Walls PLYWOOD PANEL
 Exterior Walls C.B.S.
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material CONC/CLAY TILE
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONCR FTR
 Interior Finish PLYWOOD PANEL
 Ground Floor Area
 Floor Cover CONC ABOVE GRD
 Full Bathrooms 8

Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1953
 Year Remodeled
 Effective Year Built 1998

Condition				
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	3,296	3,296	0
OPF	OP PRCH FIN LL	341	0	0
OUF	OP PRCH FIN UL	464	0	0
TOTAL		4,101	3,296	0

Style M.F. - R3 / R3
 Gross Sq Ft 950
 Finished Sq Ft 836
 Perimeter 0
 Stories 1
 Interior Walls PLYWOOD PANEL
 Exterior Walls C.B.S.
 Quality 450 ()
 Roof Type FLAT OR SHED
 Roof Material TAR & GRAVEL
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONCR FTR
 Interior Finish PLYWOOD PANEL
 Ground Floor Area
 Floor Cover CONC ABOVE GRD
 Full Bathrooms 3
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1948
 Year Remodeled
 Effective Year Built 1995

Condition				
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	836	836	0
OPF	OP PRCH FIN LL	114	0	0
TOTAL		950	836	0

Style M.F. - R4 / R4
 Gross Sq Ft 3,610
 Finished Sq Ft 2,850
 Perimeter 0
 Stories 2
 Interior Walls PLYWOOD PANEL
 Exterior Walls C.B.S.
 Quality 450 ()
 Roof Type GABLE/HIP
 Roof Material CONC/CLAY TILE
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation CONCR FTR
 Interior Finish PLYWOOD PANEL
 Ground Floor Area
 Floor Cover CONC ABOVE GRD
 Full Bathrooms 8
 Half Bathrooms 0
 Heating Type NONE with 0% NONE
 Year Built 1953
 Year Remodeled
 Effective Year Built 1995

Condition				
Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	2,850	2,850	0
OPF	OP PRCH FIN LL	380	0	0
OUF	OP PRCH FIN UL	380	0	0
TOTAL		3,610	2,850	0

Style M.F. - R4 / R4
 Gross Sq Ft 1,732
 Finished Sq Ft 1,392
 Perimeter 0
 Stories 1
 Interior Walls WALL BD/WD WAL
 Exterior Walls ABOVE AVERAGE WOOD

Quality	450 ()
Roof Type	GABLE/HIP
Roof Material	METAL
Exterior Wall1	ABOVE AVERAGE WOOD
Exterior Wall2	
Foundation	CONCR FTR
Interior Finish	WALL BD/WD WAL
Ground Floor Area	
Floor Cover	CONC S/B GRND
Full Bathrooms	4
Half Bathrooms	0
Heating Type	NONE with 0% NONE
Year Built	1948
Year Remodeled	
Effective Year Built	1984

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,392	1,392	0
OPF	OP PRCH FIN LL	188	0	0
SBU	UTIL UNFIN BLK	152	0	0
TOTAL		1,732	1,392	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
PATIO	1957	1958	1	1636 SF	2
TILE PATIO	1957	1958	1	30 SF	1
CH LINK FENCE	1957	1958	1	420 SF	1
FENCES	1957	1958	1	704 SF	4
UTILITY BLDG	1959	1960	1	120 SF	3
FENCES	2000	2001	1	1068 SF	2
FENCES	2000	2001	1	192 SF	2

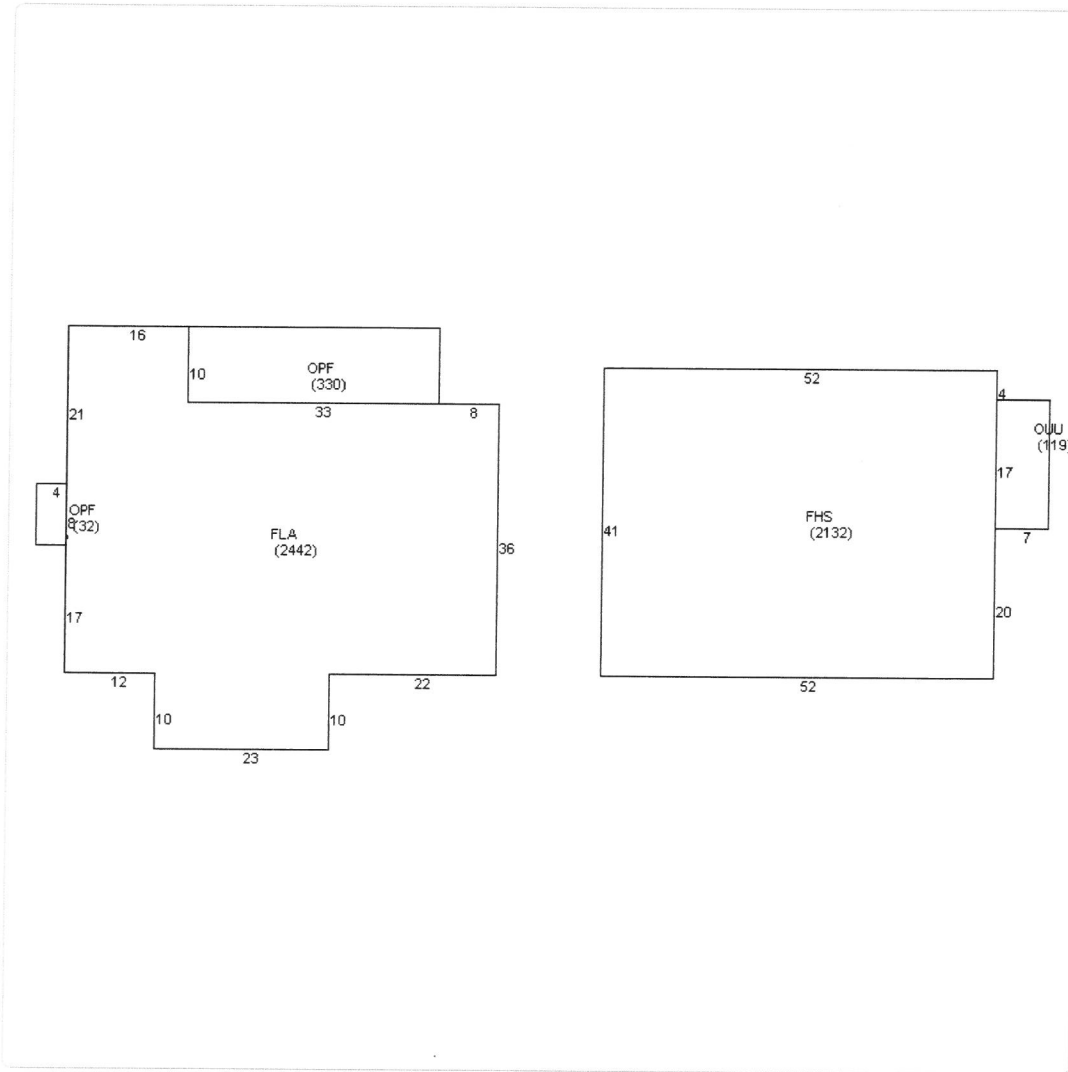
Sales

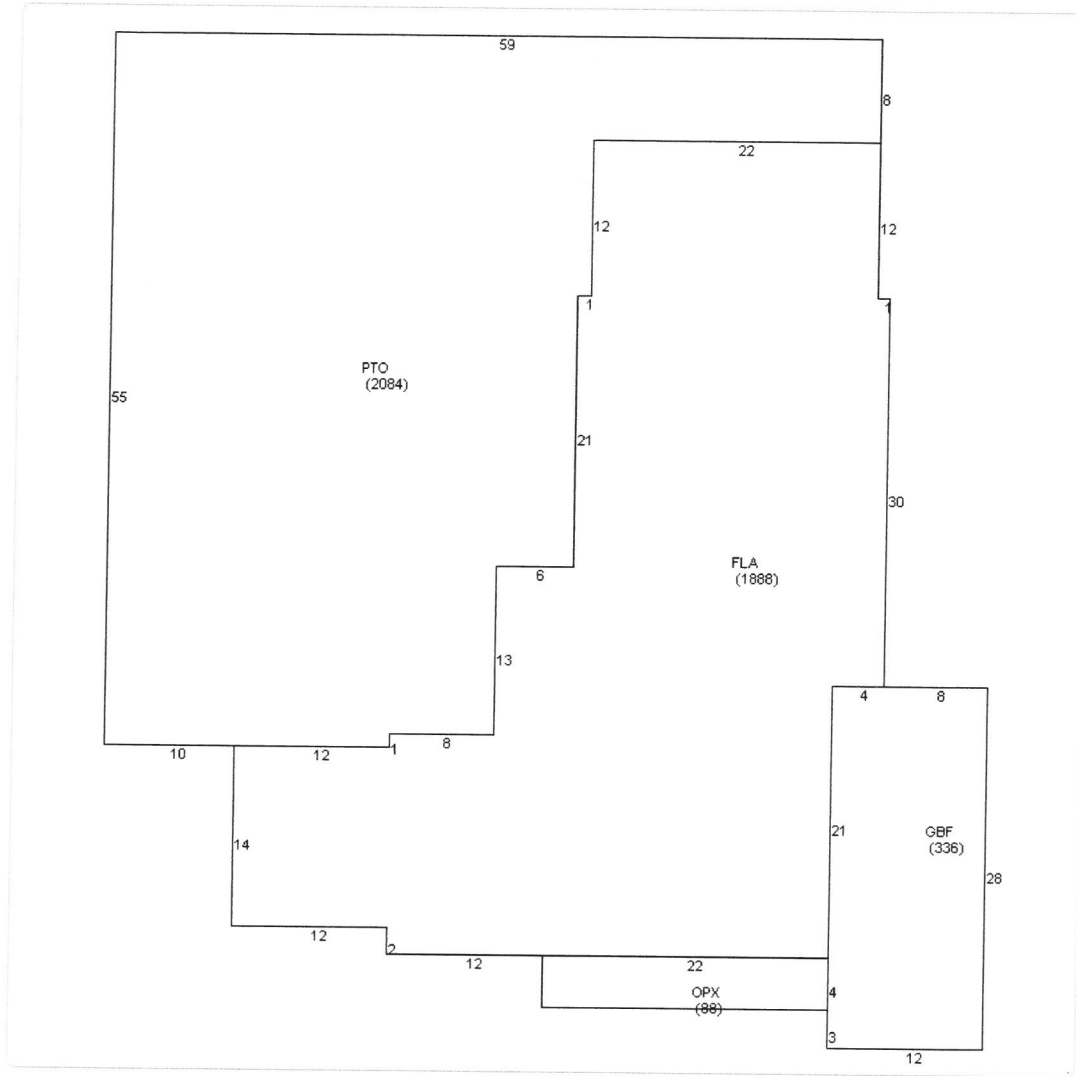
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/31/2005	\$4,000,000	Warranty Deed		2281	1224	W - Unqualified	Improved
12/1/1996	\$1,566,400	Warranty Deed		1436	0761	Q - Qualified	Improved
11/1/1987	\$100,000	Warranty Deed		1033	742	U - Unqualified	Improved

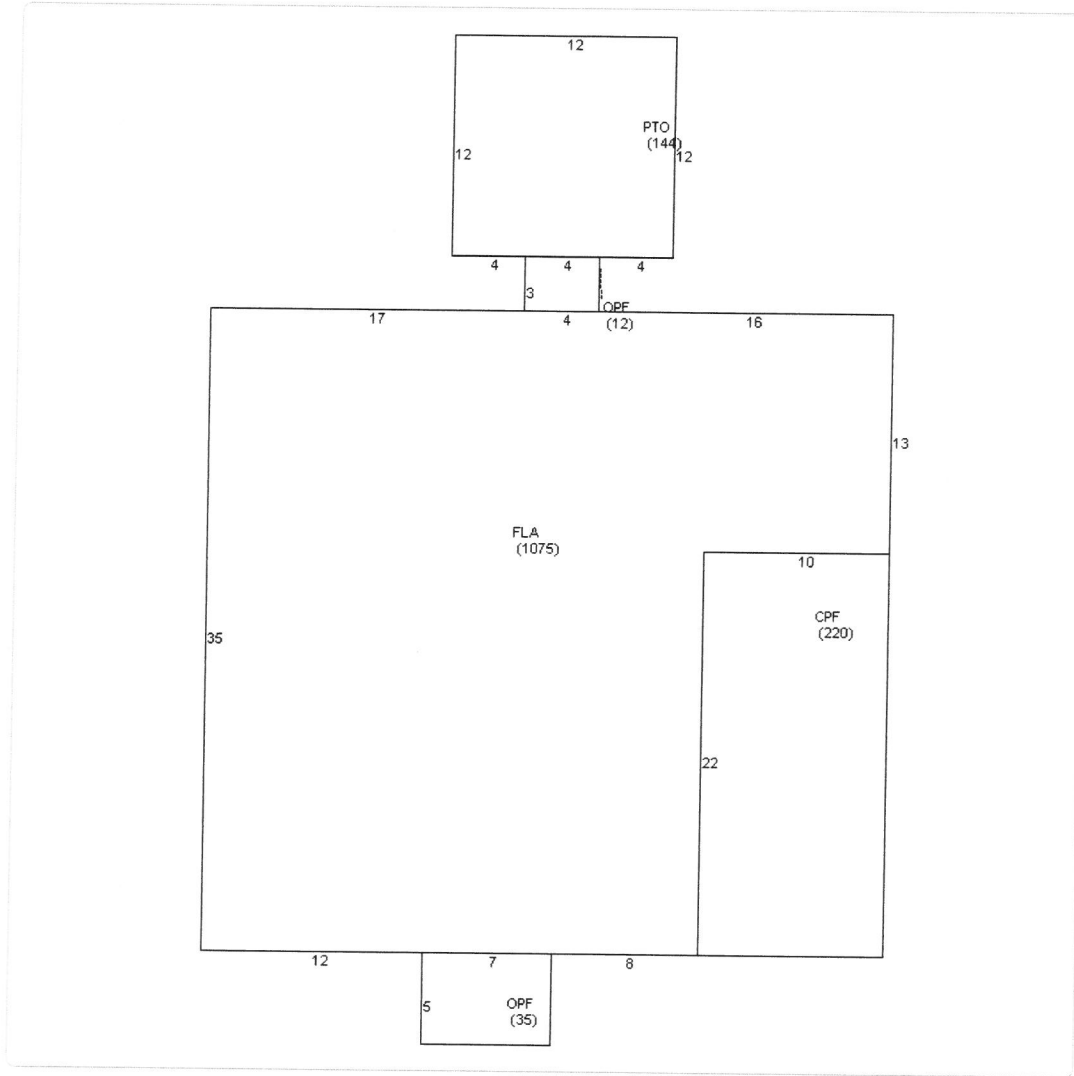
Permits

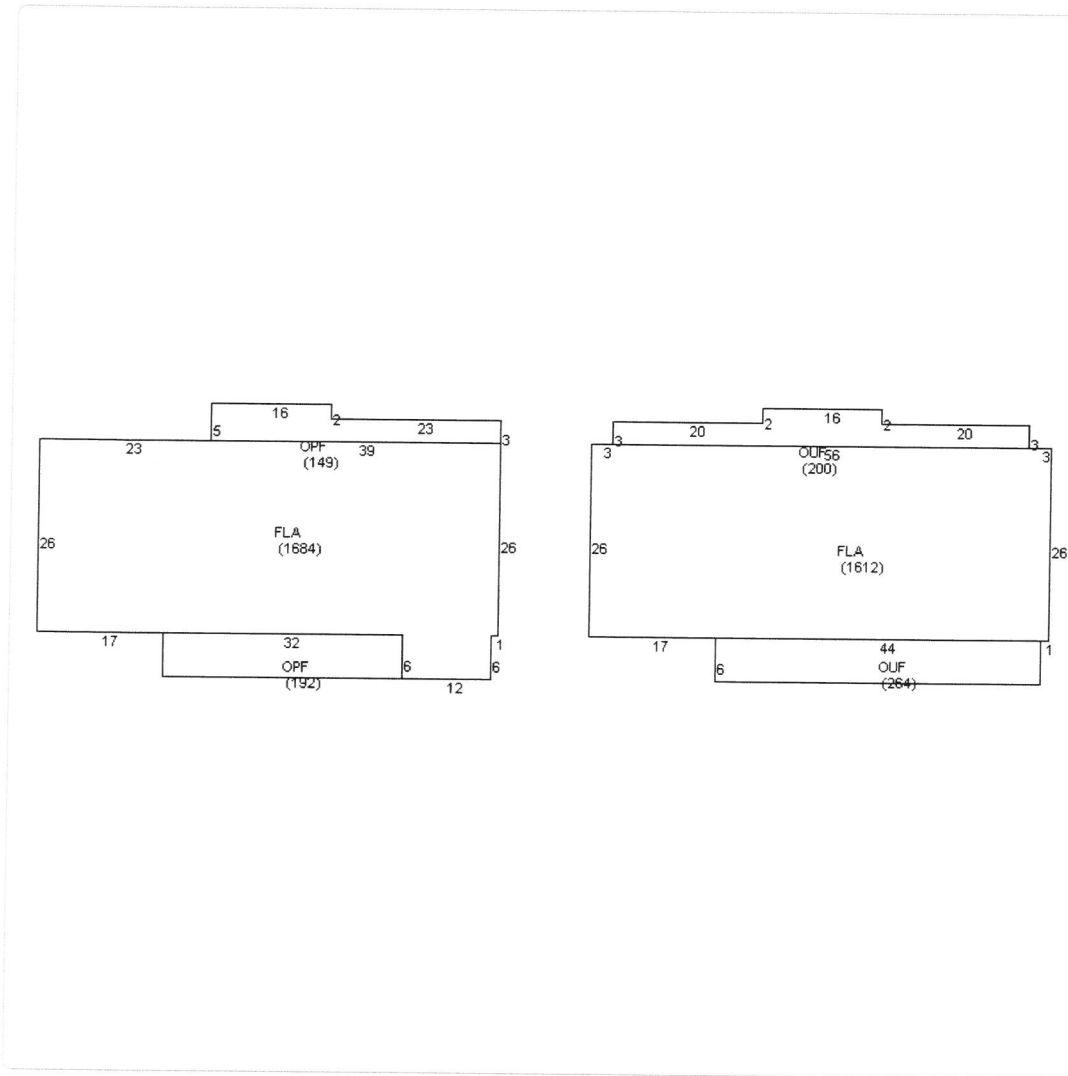
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
07-3998	8/15/2007		\$100	Commercial	
07-0374	1/26/2007		\$308,000	Commercial	REVISIONS FOR EXTERIOR STEPS,RAMPS & DUCT WORK
06-4050	1/17/2007		\$3,125,000	Commercial	ELECTRICAL RENOVATION AND UP-GRADE-1200AMP SERVICE
06-6543	12/11/2006		\$2,400	Commercial	RENOVATE 3-STORY BUILDING & LANDSCAPE,10,845 SF
06-6544	12/11/2006		\$4,500	Commercial	DEMO PERMITAND INSTALL ONE 200AMP FOR TEMPORARY
06-6542	12/6/2006		\$5,000	Commercial	DEMO & DISCONNECT EXISTING PLUMBING FIXTURES & MANIFOLDS
05-4766	10/31/2005		\$500	Commercial	INTERIOR DEMOLITION ONLY
03-1311	4/22/2003	10/26/2004	\$1,000	Commercial	HURRICANE DANAGE EMERGENCY REPAIRS TO ELECTRIC SERVICE
03-1029	3/25/2003	10/26/2004	\$7,877	Commercial	SEWER LATERAL
03-0219	2/7/2003	10/26/2004	\$12,500	Commercial	ROOFING
03-0219	2/3/2003	10/26/2004	\$8,500	Commercial	REPLACE WALKWAY
02-3107	11/14/2002	12/31/2002	\$1,200	Commercial	SMOKE DETECTORS
99-2960	11/4/2000	12/31/2000	\$15,000	Commercial	REPLACE SEWER LINE
00-3440	10/16/2000	12/31/2000	\$6,000	Commercial	ELECTRICAL
00-0014	2/7/2000	12/31/2000	\$2,200	Commercial	UPDATE SERVICE
99-4017	12/21/1999	12/31/2000	\$2,500	Commercial	PICKET FENCE
99-2956	11/4/1999	12/31/2000	\$5,000	Commercial	CHAIN LINK FENCE
99-2959	11/4/1999	12/31/2000	\$20,500	Commercial	ELECTRICAL
99-2880	11/3/1999	12/31/2000	\$7,000	Commercial	ELECTRICAL
99-2956	9/13/1999	12/31/2000	\$5,000	Commercial	SIGNS
99-1146	4/6/1999	12/31/2000	\$500	Commercial	REPAIRS
98-4021	12/22/1998	12/31/2000	\$500	Commercial	REPAIR METAL ROOF
9800202	7/10/1998	12/31/1998	\$2,000	Commercial	REPAIR METAL FLASHING
98-1601	6/4/1998	12/31/1998	\$7,000	Commercial	REPAINT ROOF
9800764	3/1/1998	12/31/1998	\$3,000	Commercial	REPLACE 1 400 A SERVICE
B94-1499	5/1/1994	11/1/1994	\$2,500	Commercial	REPLACE 2 SQS ROOF
					EXTERIOR REPAIRS

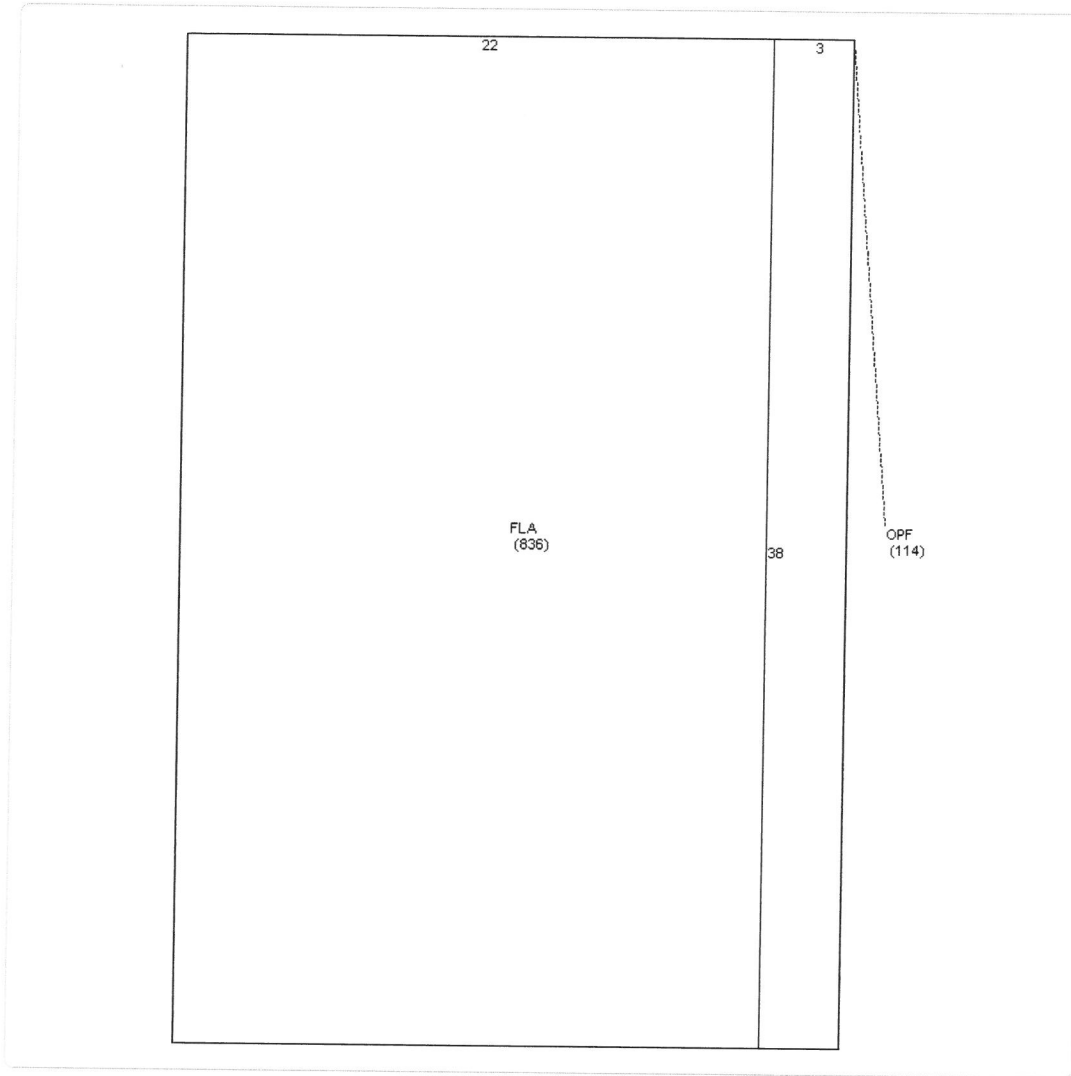
Sketches (click to enlarge)

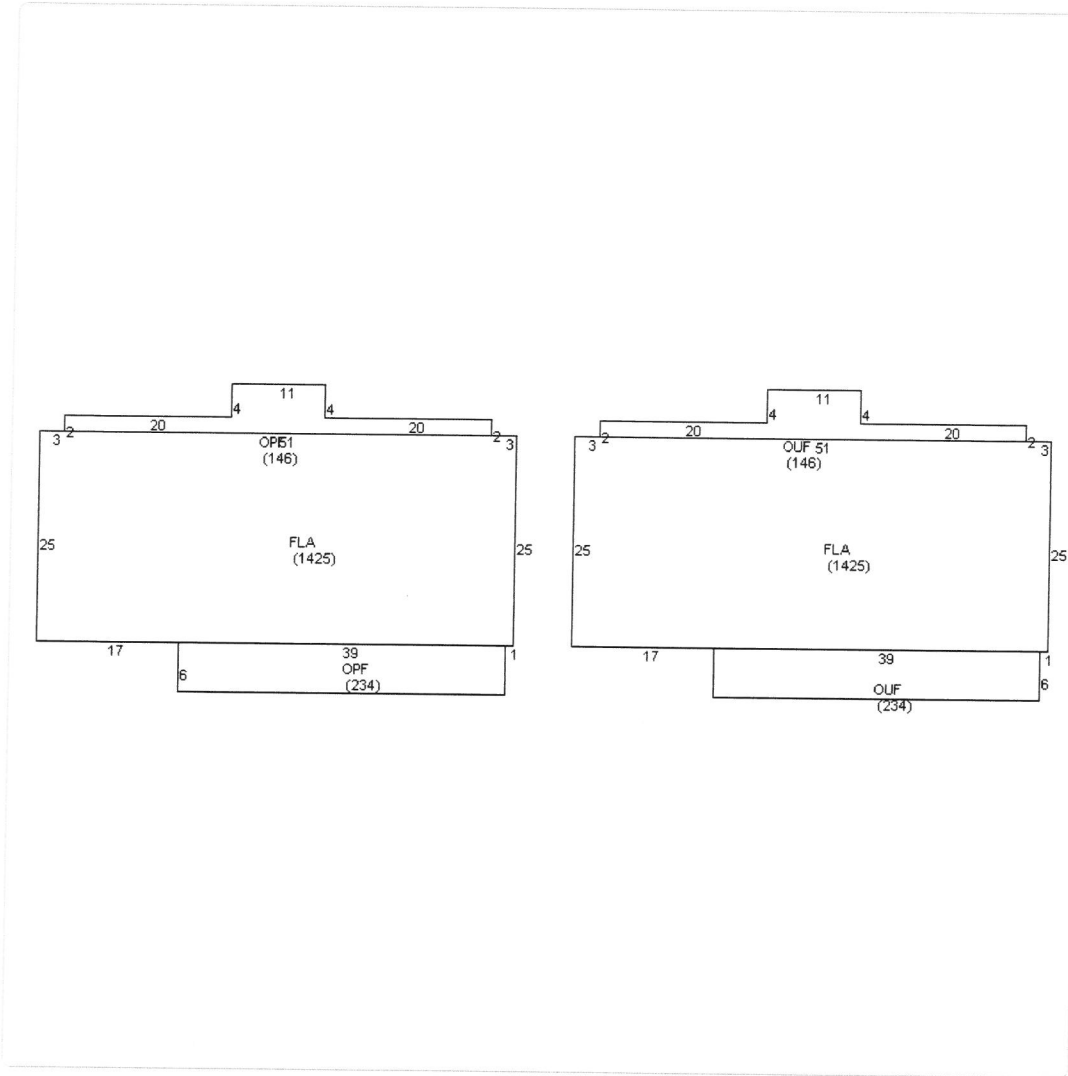


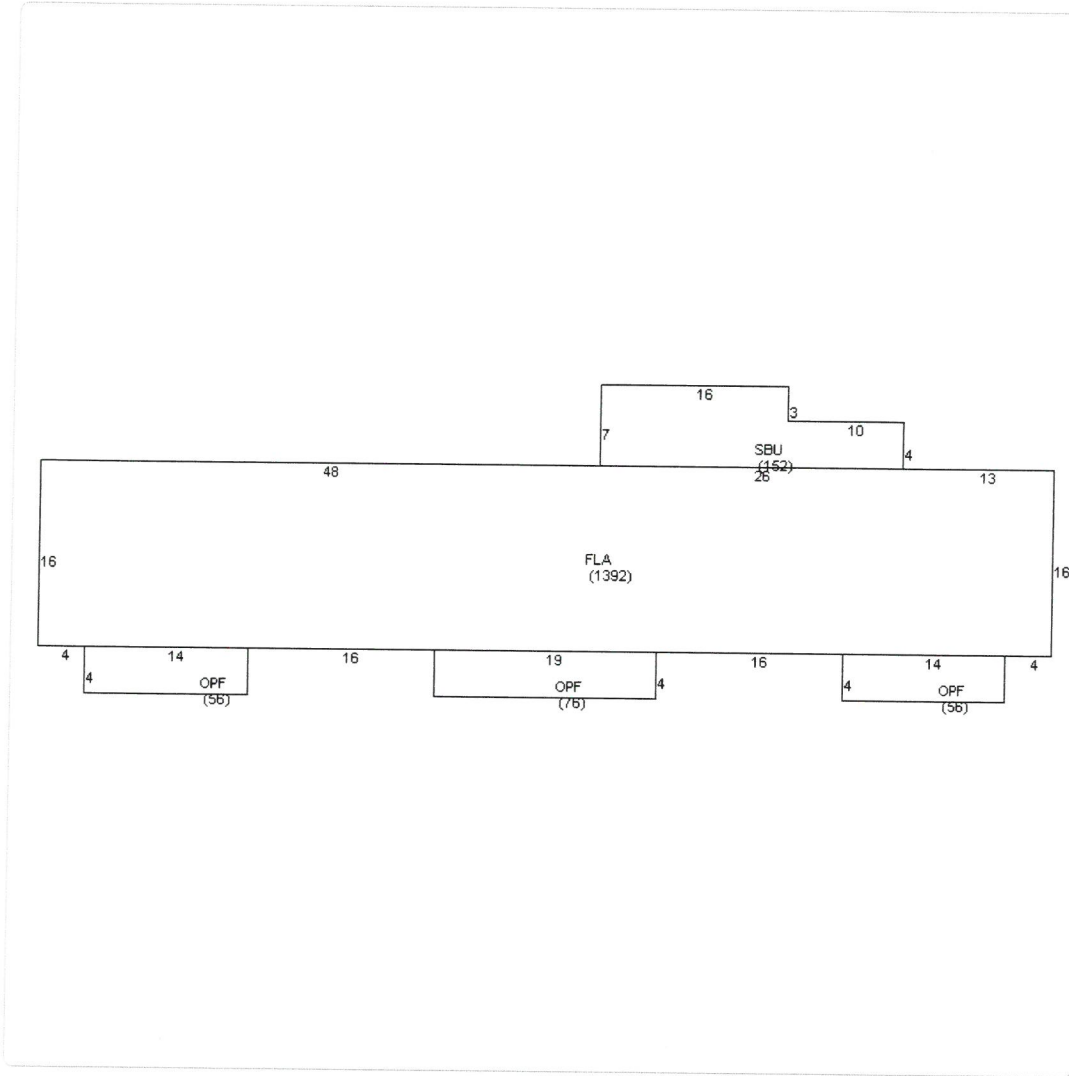












Photos



Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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Florida Energy Efficiency Code For Building Construction
Florida Department of Community Affairs
EnergyGauge FLA/COM 2004 v3.00 -- Form 400A-2004
Method A: Whole Building Performance Method for Commercial Buildings
Effective December 8, 2006

PROJECT SUMMARY

Short Desc: SMM-181	Description: SMM-181
Owner: Southeast Modular Manufacturing, Inc.	
Address1:	City: MIAMI
Address2: Enter Address here	State: FL
	Zip: 0
Type: Office	Class: New Finished building
Jurisdiction: MIAMI, MIAMI-DADE COUNTY, FL (232400)	
Cond Area: 467 SF	Cond & UnCond Area: 467 SF
No of Storeys: 1	Area entered from Plans: 0 SF
Permit No: 0	Max Tonnage: 2
	If different, write in: _____

APPROVED RADCO APPROVED
JAN 20 2009
R. JOHNSON

N. Johnson

Compliance Summary

Component	Design	Criteria	Result
Gross Energy Use	806.0	851.1	PASSES
LIGHTING CONTROLS			PASSES
EXTERNAL LIGHTING			None Entered
HVAC SYSTEM			PASSES
PLANT			None Entered
WATER HEATING SYSTEMS			PASSES
PIPING SYSTEMS			None Entered
Met all required compliance from Check List?			Yes/No/NA

IMPORTANT NOTE: An input report of this design building must be submitted along with this Compliance Report.

APPROVED RADCO APPROVED
JAN 20 2009
R. JOHNSON

CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By: Naku Thomas

Building Official: Robert A. Johnson
Reviewed By: Robert A. Johnson
Florida Modular Plans Examiner
No. SMP-0000029

Date: 1-19-09
FL PE. #56556

I certify that this building is in compliance with the Florida Energy Efficiency Code

Owner Agent: _____

Date: _____

If Required by Florida law, I hereby certify (*) that the system design is in compliance with the Florida Energy Efficiency Code

Architect: _____

Reg No: _____

Electrical Designer: _____

Reg No: _____

Lighting Designer: _____

Reg No: _____

Mechanical Designer: _____

Reg No: _____

Plumbing Designer: _____

Reg No: _____

(*) Signature is required where Florida Law requires design to be performed by registered design professionals. Typed names and registration numbers may be used where all relevant information is contained on signed/sealed plans.

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Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

Whole Building Compliance

	Design	Reference
Total	94.63	100.00
	\$806	\$851
ELECTRICITY(MBtu/k Wh/\$)	94.63	100.00
	16516	17440
	\$806	\$851
AREA LIGHTS	8.22	9.06
	1433	1572
	\$70	\$77
MISC EQUIPMT	5.87	5.87
	1026	1026
	\$50	\$50
PUMPS & MISC	2	3
	\$0	\$0
SPACE COOL	20.30	17.28
	3542	3014
	\$173	\$147
VENT FANS	60.23	67.79
	10513	11825
	\$513	\$577

Credits & Penalties (if any): Modified Points: = 94.64

PASSES

External Lighting Compliance

Description	Category	Allowance (W/Unit)	Area or Length or No. of Units (Sqft or ft)	ELPA (W)	CLP (W)
APPROVED RADCO APPROVED IAN 2 11 2009 R. JOHNSON					
					None

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

Lighting Controls Compliance

Acronym	Ashrae ID	Description	Area (sq.ft)	No. of Tasks	Design CP	Min CP	Compliance
Pr0Zo1Sp1	17	Office - Enclosed	467	1	4	1	PASSES

PASSES

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

System Report Compliance

Pr0Sy1	System 1	Constant Volume Air Cooled Single Package System < 65000 Btu/hr	No. of Units	1
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Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Cooled < 65000 Btu/h Cooling Capacity		13.00	13.00	8.00		PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES

PASSES

Plant Compliance

Description	Installed No	Size	Design Eff	Min Eff	Design IPLV	Min IPLV	Category	Compliance

None

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 JAN 20 2009
 R. JOHNSON

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

Water Heater Compliance

Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss	Compliance
Water Heater 2	Electric heat pump water heater	All ratings	1.00	0.92			PASSES
							PASSES

Piping System Compliance

Category	Pipe Dia [inches]	Is Runout?	Operating Temp [F]	Ins Cond [Btu-in/hr .SF.F]	Ins Thick [in]	Req Ins Thick [in]	Compliance
							None

Project: SMM-181
 Title: SMM-181
 Type: Office
 (WEA File: Miami.tmy)

Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Infiltration	406.1	Infiltration Criteria have been met	<input type="checkbox"/>
System	407.1	HVAC Load sizing has been performed	<input type="checkbox"/>
Ventilation	409.1	Ventilation criteria have been met	<input type="checkbox"/>
ADS	410.1	Duct sizing and Design have been performed	<input type="checkbox"/>
T & B	410.1	Testing and Balancing will be performed	<input type="checkbox"/>
Motors	414.1	Motor efficiency criteria have been met	<input type="checkbox"/>
Lighting	415.1	Lighting criteria have been met	<input type="checkbox"/>
O & M	402A	Operation/maintenance manual will be provided to owner	<input type="checkbox"/>
Roof/Ceil	404.1	Report for Roof Deck with supply plenums beneath it	<input type="checkbox"/>
Report	101	Input Report Print-Out from EnergyGauge FlaCom attached?	<input type="checkbox"/>

APPROVED
RADCO
PERMITTED
JAN 20 2009
R. JOHNSON