## THE CITY OF KEY WEST PLANNING BOARD Staff Report



To: Chairman and Planning Board Members

From: Brendon Cunningham, Senior Planner

Through: Donald Leland Craig, AICP, Planning Director

Meeting Date: June 19, 2014

**Agenda Item:** Variance – 617 Grinnell Street (RE#00010940-000000, AK#1011231)

A request for a variance to side-yard setback requirements at property located in the HHDR zoning district per Sections 90-395, 122-28, 122-630(6)b. and of the Land Development Regulations of the Code of

Ordinances of the City of Key West.

**Request:** The applicant is requesting a variance to side-yard setback requirements

for the demolition and reconstruction of the existing building.

**Applicant:** Martin E. Higgins and Karen Schultz

**Property Owner:** Same

**Location:** 617 Grinnell Street (RE# 00010940-000000, AK# 1011231)

**Zoning:** Historic High Density Residential (HHDR) Zoning District



#### **Background:**

The property is comprised of a two-story house. During initial exploratory demolition, it was determined the structure was physically unsound. The applicant was faced with a renovation either through piece by piece replacement at great cost and potential danger with the onset of hurricane season or demolition and reconstruction. The Chief Building Official determined the building unsafe and destroyed by neglect. As such, the applicant is allowed to rebuild within the historic three-dimensional footprint of the original house per Section122-28. In addition, the applicant would like to add a dormer to the design of the house which is why a variance request has been submitted. The addition of a dormer breaks the 3-dimensional footprint otherwise protected.

Relevant HHDR Zoning District Dimensional Requirements: Section 122-630(6)b.					
Requirements	<b>Zoning Regulations</b>	<b>Existing Conditions</b>	<b>Proposed Changes</b>		
North-Side Setback	5'	3'5"	None		
South-Side Setback	5'	2'	None		

#### **Process:**

**Development Review Committee Meeting:** March 27, 2014 **Planning Board Meeting:** June 19, 2014

#### <u>Analysis – Evaluation for Compliance With The Land Development Regulations:</u>

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

The existing structure was nonconforming to building setback requirements. Legally nonconforming site characteristics are not exceptional in the City, and therefore do not by themselves generate the existence of special conditions or circumstances. However, the building was in severe decay and was ultimately deemed unsafe by the CBO.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The nonconforming aspects on the site are not created by the applicant. The building was legal non-conforming.

3. Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Allowing the new construction, as proposed, would not confer special privileges upon the applicant.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

The applicant would be not deprived of rights commonly enjoyed by other properties without the variance approval.

5. Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.

The variance requested is the minimum variance that will make possible the continued use of the land, building, or structure.

6. Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The granting of the variances does not appear to be injurious to the area involved or detrimental to the public interest.

7. Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing conforming or nonconforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

#### **Concurrency Facilities and Other Utilities or Service (Section 108-233):**

Based on comments received at the DRC, it does not appear that the requested variance will trigger any public facility capacity issues.

#### The Planning Board shall make factual findings regarding the following:

1. That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.

The standards established by Section 90-395 of the City Code have been met by the applicant for the granting of variances.

2. That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

The Planning Department has not received any public comment for the variance request as of the date of this report.

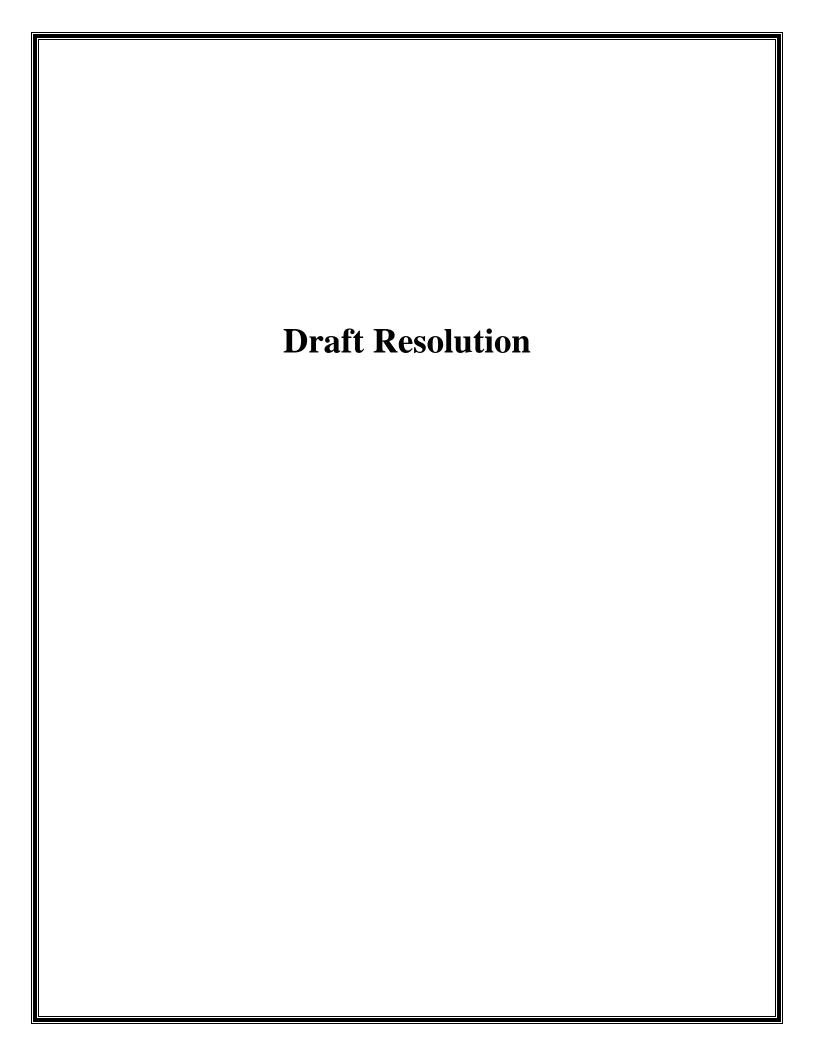
#### **RECOMMENDATION:**

Based on the criteria established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the request for variance be **denied.** 

However, if the Planning Board approves the requested variance, The Planning Department recommends the following conditions:

#### **General Conditions:**

- 1. The proposed development shall be consistent with the plans signed and sealed June 12, 2014 by William Rowan, Professional Architect; and
- 2. The applicant shall submit a request to amend the existing easement (City Commission Resolution 08-133) within 90 days from project completion.



#### PLANNING BOARD RESOLUTION NO. 2014-

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING VARIANCES TO SIDE-YARD SETBACKS ON PROPERTY LOCATED AT 617 GRINNELL STREET (RE#00010940-000000, AK#1011231) IN THE HISTORIC HIGH DENSITY RESIDENTIAL (HHDR) ZONING DISTRICT PURSUANT TO SECTIONS 90-395, 122-630(6)B. OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA.

**WHEREAS,** the applicant proposes to demolish and reconstruct the existing building on property located at 617 Grinnell Street (RE#00010940-000000, AK#1011231); and

**WHEREAS,** the existing structure is currently nonconforming to the minimum front, side and rear setbacks within the Historic High Density Residential (HHDR) Zoning District; and

WHEREAS, Section 122-630 of the Land Development Regulations (the "LDRs") of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City") provides that the minimum side yard setback is five (5) feet (or 10 percent of lot width to a maximum of 15 feet, whichever is greater) and the minimum rear yard setback is 20 feet; and

**WHEREAS**, the existing north side-yard setback is at 3'-5" and the south side-yard setback at 2'; and

WHEREAS, the applicant requests a variance to the minimum side-yard setbacks; and

**WHEREAS,** this matter came before the Planning Board at a duly noticed public hearing on June 19, 2014; and

WHEREAS, the Planning Board finds that special conditions and circumstances exist which

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Chairman
 Planning Director

are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

**WHEREAS,** the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

**WHEREAS,** the Planning Board finds that granting the variances requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

**WHEREAS,** the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variances; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the

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Chairma
 Planning Directo

variance application, and by addressing the objections expressed by these neighbors.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West,

Florida:

**Section 1**. That the above recitals are incorporated by reference as if fully set forth

herein.

**Section 2.** An approval by Resolution of the Key West Planning Board for variances to

demolish and reconstruct the existing building per the attached plans signed and sealed on June 12,

2014 by William Rowan, Registered Architect, on property located at 617 Grinnell Street

(RE#00010940-000000, AK#1011231) in the HHDR Zoning District pursuant to Sections 90-395,

122-630(6)b., 122-630(6)c. and 122-630(6)d. of the City of Key West Land Development

Regulations with the following conditions:

**General Conditions:** 

1. The proposed development shall be consistent with the plans signed and sealed June

12, 2014 by William Rowan, Professional Architect; and

2. The applicant shall submit a request to amend the existing easement (City

Commission Resolution 08-133) within 90 days from project completion.

**Section 3.** It is a condition of these variances that full, complete and final application for

all conditions of this approval for any use and occupancy for which these variances are wholly or

partly necessary, shall be submitted in their entirety within two years after the date hereof; and

further, that no application shall be made after expiration of the two-year period without the

applicant obtaining an extension from the Planning Board and demonstrating that no change of

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		_ Chairman
	Planni	ng Director

circumstances to the property or its underlying zoning has occurred.

**Section 4.** The failure to fully and completely apply the conditions of approval for

permits for use and occupancy pursuant to these variances in accordance with the terms of the

approval as described in Section 3 hereof, shall immediately operate to terminate these variances,

which variances shall be of no force or effect.

**Section 5.** These variances do not constitute a finding as to ownership or right to

possession of the property, and assumes, without finding, the correctness of applicant's assertion of

legal authority respecting the property.

**Section 6.** This Resolution shall go into effect immediately upon its passage and adoption

and authentication by the signatures of the presiding officer and the Clerk of the Commission.

**Section 7.** This Resolution is subject to appeal periods as provided by the City of Key

West Code of Ordinances (including the Land Development Regulations). After the City appeal

period has expired, this permit or development order will be rendered to the Florida Department of

Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not

effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and

applications attached to or incorporated by reference in this approval; that within the forty five (45)

day review period, the DEO can appeal the permit or development order to the Florida Land and

Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until

the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 19th day of June

2014.

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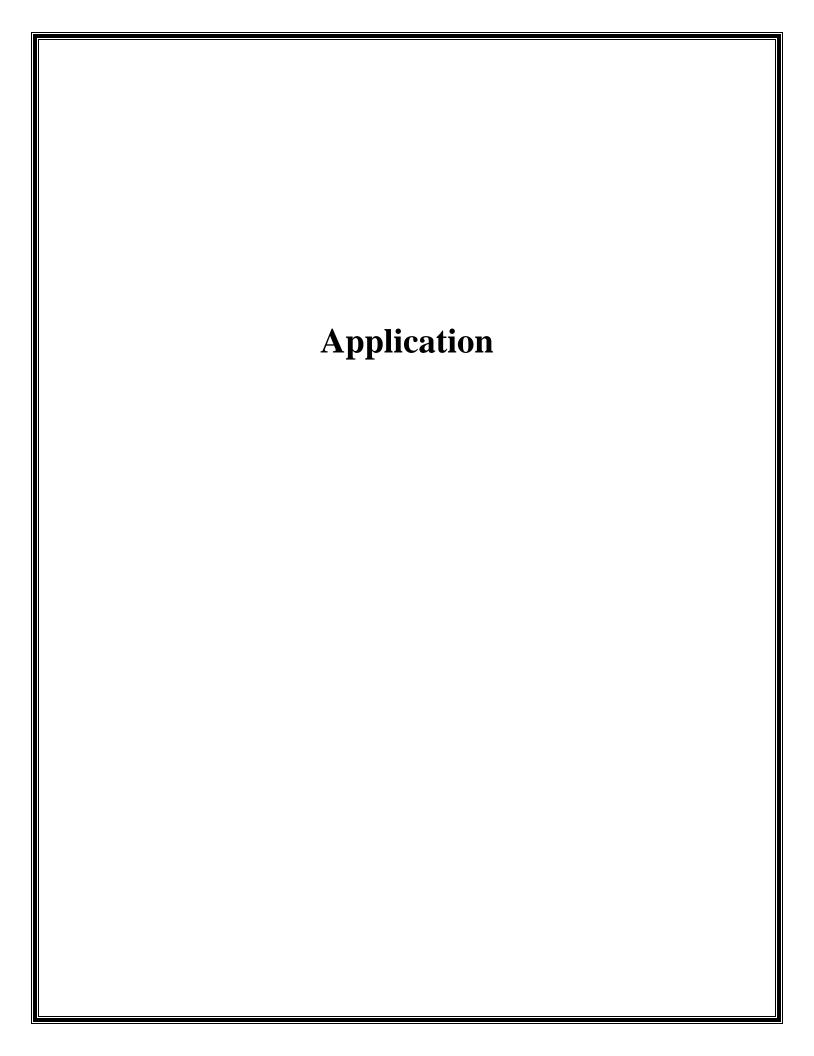
\_\_\_\_\_ Chairman
\_\_\_\_\_ Planning Director

## Authenticated by the Chairman of the Planning Board and the Planning Director;

Richard Klitenick, Planning Board Chairman	Da	
Attest:		
Donald Leland Craig, AICP, Planning Director	Date	
Filed with the Clerk:		
Cheryl Smith, City Clerk	Date	

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_	Chairmar
	Planning Director





#### Variance Application

Please completely fill out this application and attach all necessary documents. This will help our staff to process your request quickly and obtain necessary information without delay. If you have any questions please call 305-809-3720 to schedule an appointment with a Planner.

Please print or type a response to the following: Site Address 617 annell St. 1. Name of Applicant Warfin E. Higgins and Karen L. Schultz 2. Applicant is: Owner Authorized Representative 3. Address of Applicant 617 graneu St #3 4. 5. E-Mail Address marty. higgins @, silcotek. com 6. Name of Owner, if different than above 7. Address of Owner 8. 9. Phone # of Owner \_\_\_\_\_ 10. Email Address Zoning District of Parcel HHAR RE# 000 10940 - 000000 11. Description of Proposed Construction, Development, and Use Proposal will renovate 12. an original circa 1928 structure and additions located in the historic district and will demolish a portion of the current structure that does not conform to side yard setbacks. In order to make up for some of that lost living space, owners propose to modify existing roof line in List and describe the specific variance(s) being requested:

Keeping with Historic quidelines. Front setback: 2 ft (existing), 2 ft. (proposed) Side setbacks: 2ft. right side (existing), 2ft. (proposed)
-1.8 ft. left side (existing; structure encroaches



into alley), 3.5 ft. (proposed; will remove encroaching structure)

14. Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

	Site I	Data Table		
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HHDR			
Flood Zone	×			
Size of Site	2368 8.5.			
Height	30'	28	30	-
Front Setback	10'	2.	2	SETBACK
Side Setback w	5'	1.8' OVER	3:5"	SETBACK*
Side Setback E	5'	2	2	SETBACK
Street Side Setback	_	-	-	-
Rear Setback	20'	34'	34	NO CHANGE
F.A.R	~	~	-	-
Building Coverage	1184	1256/53%	946/48%	REDUCED
Impervious Surface	1480	1275/54%	995/42%	REDUCED
Parking	/ _		_	
Handicap Parking			_	-
Bicycle Parking	1000 - T			
Open Space/ Landscaping	18/475sf	890/37.5%	1100/50%	MEX PANORD
Number and type of units	1. 1			-=
Consumption Area or Number of seats		100 <del>  1</del> 00		* VARIANCE

15.	Is Subject Property located within the If Yes, attach HARC approval and approval		s V	No	
	Meeting Date Sept. 11, 2012	HARC Approval #	H12-	01-1227	



	work be within the dripline (canopy) of any tree on or off the property?
YES	NO
If yes, pr	ovide date of landscape approval, and attach a copy of such approval.
Regulation	ication is pursuant to Section 106-51 & 52 City of Key West Land Development.
of Ordina	olicant would like additional information, electronic version of the City's Code notes can be found either through <a href="https://www.keywestcity.com">www.keywestcity.com</a> , Planning Department or at <a href="https://www.municode.com">www.municode.com</a> . Once there, search Online Library/Florida/Key West/22.
the owne	ote, variance approvals are quasi-judicial hearings, and it is improper for r or signatory to speak to a Planning Board member or City Commissioner hearing.



#### Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

  The historic platted lot of record is the subject of special conditions and Circumstances peculiar to both the land and building. The lot is relatively narrow (25 ft) and is sub-standard under current code. The original circa 1928 structure, located in the historic district, cannot be situated on the site in any manner that will result in compliance, with the current side yard set backs.
- Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The conditions were not created by the applicant. The let is a historic platted lot of record, located in the historic district. The property is being renovated in accordance with HARC quide lines in keeping with the historic district and historic vernacular.

 Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

There are no special privileges conferred by the granting of the proposed variances. The proposed renovation will reduce lot area coverage (from 54% to 42%) will reduce the overall nonconformance, and is being developed to approximately 80% of allowed development potential.



4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship conditions exist both to the property owner and the Historic District. The historic plotted lot and structure pre-date current

District. The historic plotted lot and structure pre-date current planning setback regulations. Compliance with current regulations is not financially or physically feasible. If the proposed variances are not granted, the structure roofline configuration/design will continue to detract from the Historic District and historic vernacular.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

This request is for minimal variances. The variances allow for renovation of the structure to the extent necessary for proper and best utilization of the existing historic structure. The renovation will reduce the overall nonconformance and structure lot coverage.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The variances will not be injurious to the public welfare. Approval of the variance will benefit the public by renovating the structure to modern building and life-safety codes and will improve side alley access to adjacent properties.



7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses of other properties are not considered as the basis of this request. The applicant has designed the renovation to meet current setbacks whenever possible. The renovation will reduce the overall structure nonconformance while improving alley access.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

#### Dear Mr. Cunningham;

Thank you for your time and recommendations during our discussions with Enid last week. As discussed, we are submitting a request for variance relating to renovation of our property. Please accept the attached documents and application request for a variance to Section 122 for the property located at 617 Grinnell Street in the HHDR. The existing 1906 sq. ft. dwelling is located on a 2368 sq. ft. historic platted lot of record. According to the Monroe County Property Appraiser, the property was built in 1928, long before the adoption of the current city code which made this property nonconforming.

Karen and I plan to renovate and remodel the entire structure and make architecturally appropriate roof line modifications to the house in accordance with HARC guidelines. The renovation will in fact increase side yard setbacks wherever possible and will reduce building site coverage by 25%. Despite reducing the overall structure nonconformance, the reconstruction requires a variance to Section 122.

#### The variances requested are:

- Front setback: 2 ft existing, 2 ft proposed.
- · East side setback: 2 ft existing, 2 ft proposed.
- West side setback: -1ft 10in (encroaching in alley), 3ft 5in proposed (eliminate encroachment).

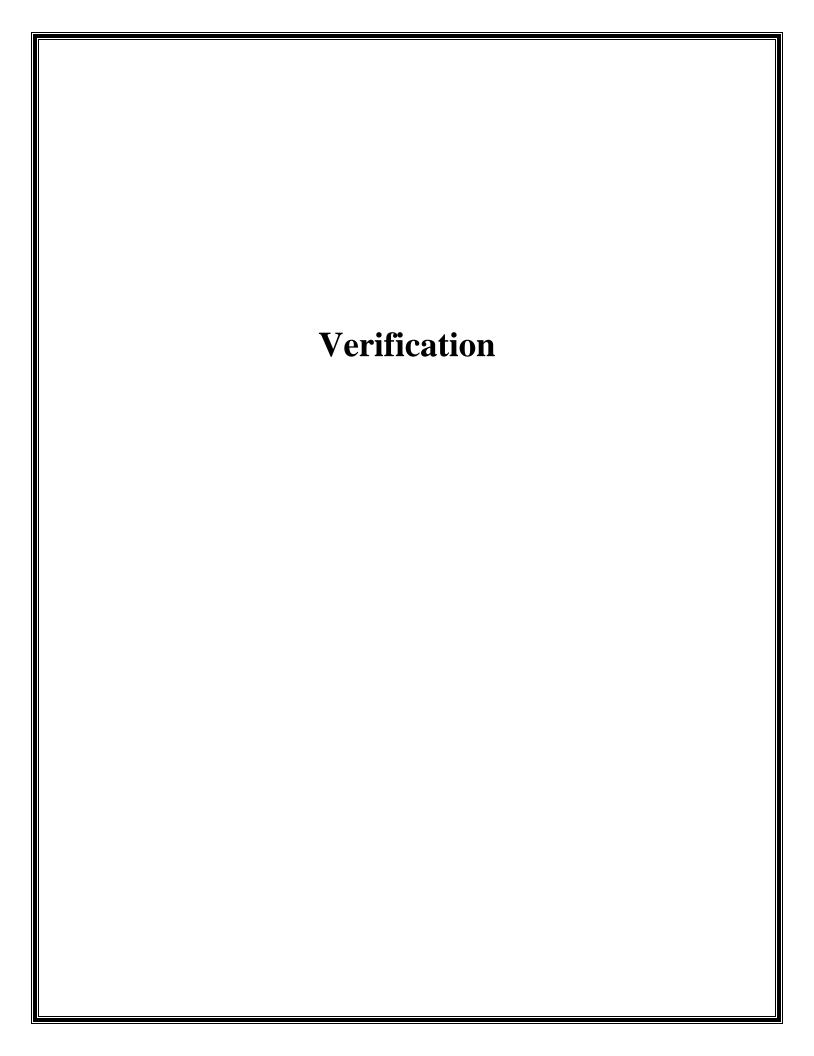
Please don't hesitate to call Karen or myself if you have questions or need additional information.

Thanks again for your help and consideration in this matter.

Best regards;

Marty Higgins

Karen Schultz



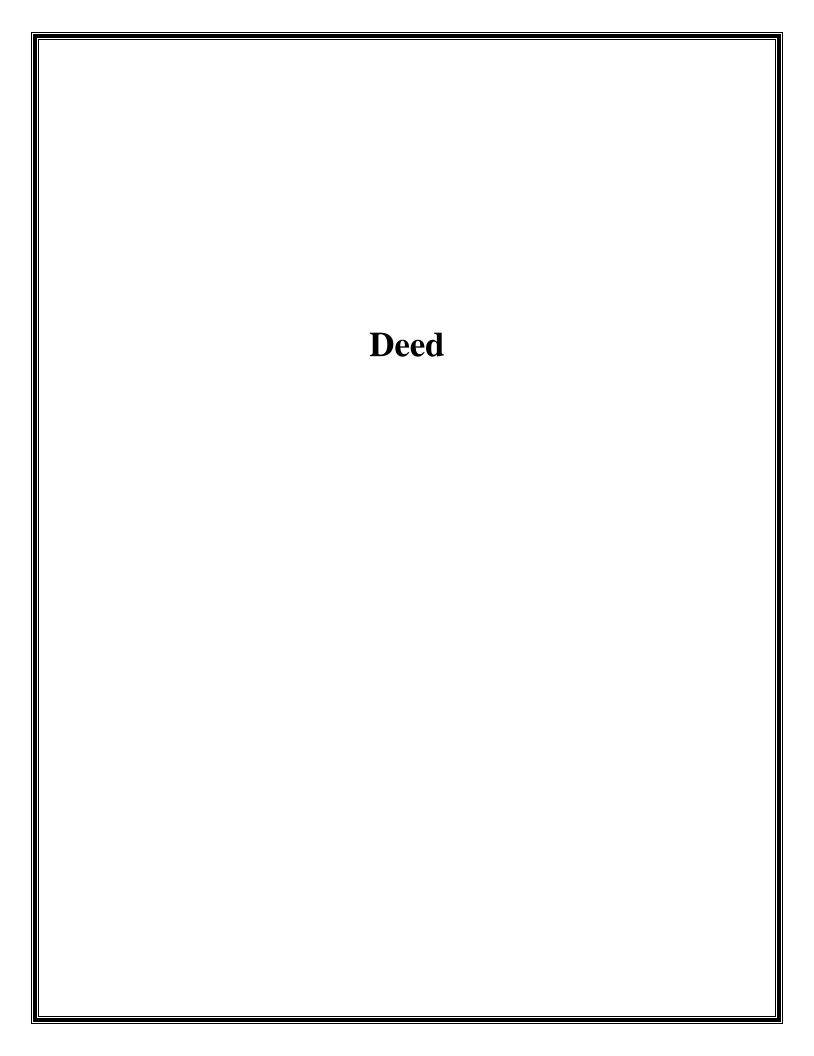
## City of Key West Planning Department



### **Verification Form**

(Where Owner is the applicant)

Land and a second and a second as a second
bject property
ans and any other attached data which make up the owledge and belief. In the event the City or the rein which proves to be untrue or incorrect, any subject to revocation.
s 2/13/2014 by
rivers Licenses as identification.
TAMARA HARDY
My Comm. Expires May 5, 2017 Commission # FF 014619



Prepared By and Return To:	OFFICIAL RECORDS	W7
Monica Hornyak Keys Title and Abstract Company 631 Whitehead Street	FILE #1166828 BK#1619 PG#1554	1.991
Key West, Florida 33040 Grantee Name and S.S. #:	RCD Feb 25 2000 02:37PM DANNY L KOLHAGE, CLERK	*
MARTIN E. HIGGINS	DEED DOC STAMPS 2345.00 02/25/2000 PDEP CLK	3 *
Grantee Name and S.S. #;  KAREN L. SCHULTZ	02/25/2000 DEP CLK	
64416-00		
	Space Above for Court House Use	
This Indenture,		
Wherever used herein the term to the term	tatives, successors and/or assigns of the respective parties hereto; the use of the y gender shall include all genders; and if used, the term "note" shall include all the	
	of February, 2000 A.D.	
Hillicrest Avenue, State College, PA 16803, of the County of	SMINI BIDWELL, his wife, of the County of Hew Jakin the NS and KAREN L. SCHULTZ, his wife, and whose address is: 726	
and other valuable and good specific street, for and in	n consideration of the sum of Ten and No/100ths (\$10.00) Dollars, if by the said party of the second part, the receipt whereaf	
**SEE EXHIBIT "A" ATTACHED HERETO**		
Subject To: Taxes and assessments for the year 2000 and Limitations, conditions, restrictions and easen	nents of record, if any.	
In witness Whereof, the said party of the first part has been	he title to said land, and will defend the same against the lauful	
Signent Sealed and Delivered in Our Presence:	2	
Witness B. TRATTURA	ALEXANDER W. BIDWELL L.S.	
Printed Name		
JOSE LIZ Printed Name	L.s.	
Witness	DOLORES ROSMAN BIDWELL	
Printed Name		
Witness	L.S.	
Printed Name		

State of Men for County of New Jul

FILE #1166828 BK#1619 PG#1555

The foregoing instrument was acknowledged before me this 2 day of FRAMPY, 45 by ALEXANDER W. BIDWELL and DOLORES ROSMINI BIDWELL, who is personally known to me or who has produced TYXI DELECTION as identification and who did (did not) take an oath.

Igrature

rinted Name

J.

Serial#, If Any

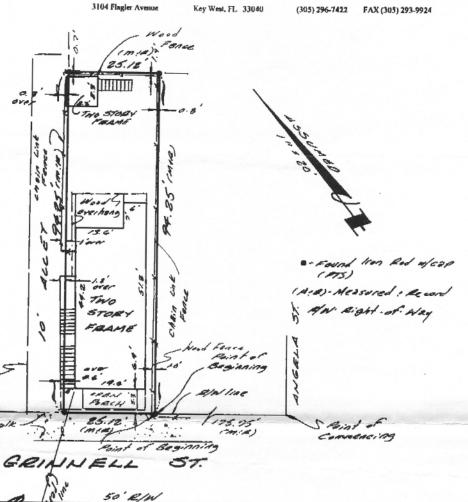
HENRY B. TRATTNER
NOTARY PUBLIC, State of New York
No. TR-01-4889385
Qualified in Nassau County
Certificate Filed in New York County
Commission Expires October 31, 20 0 /

arranty Deed





Thomas A. Norby, PLS Reg. No. 5234



NOTES:

- The legal description shown hereon was furnished by the client or their agent.
- Underground foundations and utilities were not located.
  All angles are 90° (Measured & Record) unless otherwise noted.
  This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
  Lands shown hereon were not abstracted for rights-of-way,
- easements, ownership, or other instruments of record. Street address: 617 Grinnell Street, Key West, FL 33040. Date of field work: February 8, 2000.

BOUNDARY SURVEY OF: Known and designated on the map or plan of Key West as delineated by William A. Whitehead in February, 1829, as part of Lot numbered Four (4) in Square numbered Fifty-six (56), but better known as Lots One (1) according to a subdivision of Lots One and Four of said Square Fifty-six (56) recorded in Book "K", page 22, on March 8 A.D. 1880 and commencing at a point on Grinnell Street One Hundred and Seventy five feet nine inches (175'9") from the corner of Angela Street and running thence along Grinnell Street in a N.W. direction Twenty five feet one and one-half inches (25' 1½"); thence at right angles in a N.E. direction Ninety-four feet three inches (94' 3"); thence at right angles in a S.E. direction Twenty-five feet one and one-half inches (25' 1½"); thence at right angles in a S.W. direction Ninety-four feet three inches (94' 3")

BOUNDARY SURVEY FOR: Martin E. Higgins & Karen L. Schultz; Sterling Bank, F.S.B., ISAOA, ATIMA; Keys Title & Abstract Company; Commonwealth Land Title Insurance Company;

> ASSOCIATES, INC. Phomas A Norby, P. Florida Reg. #5234

February 8, 2000

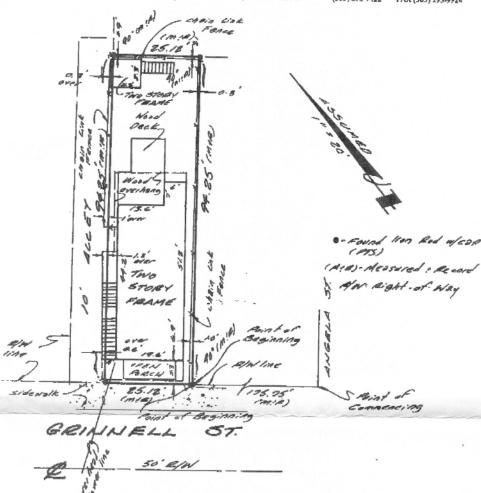
NORBY

Associates, Inc.
Ptofessional Land Surveyors

Thomas A. Norby, PLS Reg. No. 5234

3104 Fingler Avenue Key West, FL 33040

(305) 296-7422 FAX (305) 293-9924



NOTES:

 Flood Insurance Rate Map Zone: X; Community Panel #120168, 1716 G, dated 11.4-92

Street address: 617 Grinnell Street, Key West, Florida.

Date of field work: February 2, 1994.

BOUNDARY SURVRY OF: Known and designated on the map or plan of Key West as delineated by William A. Whitehead in February, 1829, as part of lot numbered Four (4) in Square number Fifty-six (56), but better known as lots One (1) according to a subdivision of Lots One and Four of said Square Fifty-six (56) recorded in Book "K", page 22, on March 8 A.D. 1880 and commencing at a point on Grinnell Street one hundred and seventy five feet nine inches (175'9") from the corner of Angela Street and running thence along Grinnell Street in a N.W. Direction Twenty five feet one and one-half inches (25'  $1-\frac{1}{2}$ "); thence at right angles in a N.E. direction Ninety-four feet three inches (94' 3"); thence at right angles in a S.E. direction Twenty-five feet one and one-half inches (25'  $1-\frac{1}{2}$ "); thence at right angles in a S.W. direction Ninety-four feet three inches back to the Place of Beginning.

I REREBY CERTIFY to:

Alexander & Dolores Bidwell; FirstBanCorp Mortgage Corporation; Feldman & Koenig, P.A.; and Attorneys' Title Insurance Fund Inc.....

...that the survey delineated hereon meets or exceeds the minimum technical standards as set forth by the Florida Board of Land Surveyors, pursuant to Section 472.027 of the Florida Statutes, and that there are no encroachments, above ground, other than those shown hereon.

NORBY & ASSOCIATES, INC.

Thomas A. Norby, PLS Florida Reg. #5234

February 2, 1994

#### FILE #1126260 BK#1578 PG#1121

File No. 64054-99

#### Exhibit "A"

On the Island of Key West, Lot three (3), Square Fifty-Six (56), according to William A. Whitehead's Map of the Island of Key West, delineated in February 1829, and more particularly described as follow:

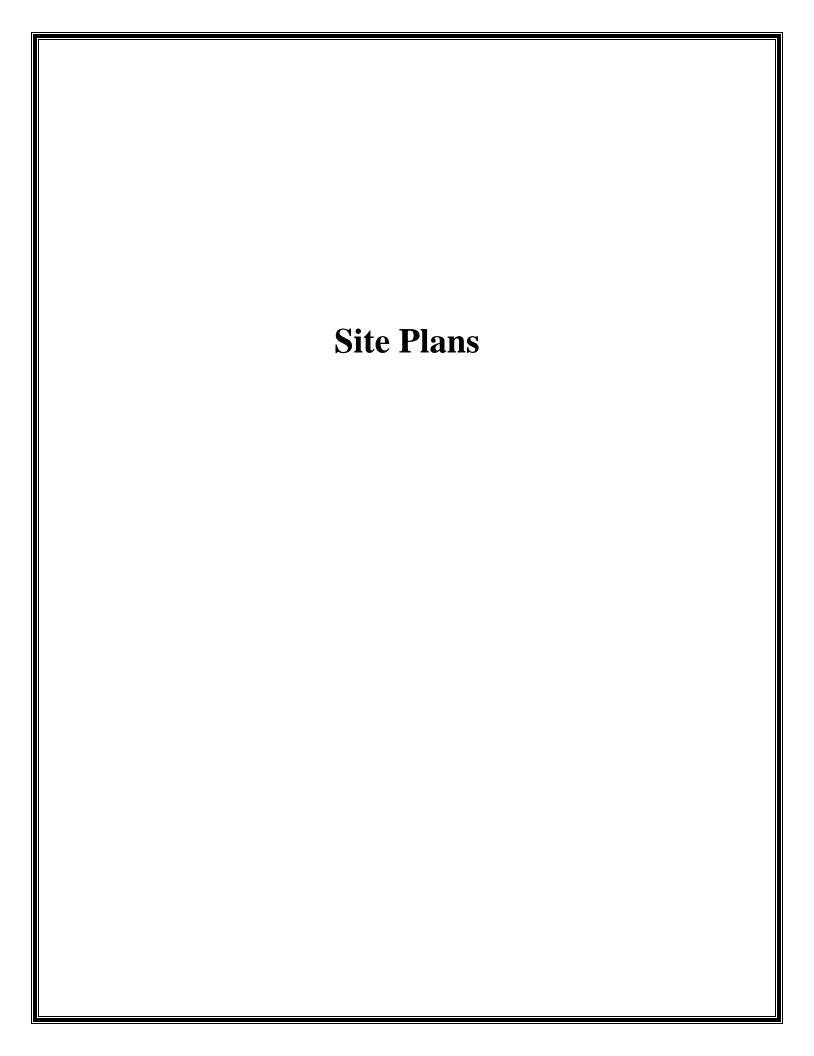
COMMENCING at a point One hundred and One (101) feet from the Northeasterly side of Grinnell Street on the dividing line of Lots Three (3) and Four (4) and running thereon Sixty (60) feet; thence at right angles in a Northwesterly direction Fifty (50) feet; thence at right angles in a Southeasterly direction Sixty (60) feet; thence at right angles in a Southeasterly direction and parallel with Grinnell Street Fifty (50) feet to the point of Beginning. TOGETHER with a non-exclusive easement for the right-of-way through a ten (10) foot alley leading to Grinnell Street, on the easterly side of the lot of land formerly belonging to John A. Roberts.



ALSO; A parcel of land on the Island of Key West, Monroe County, Florida, and being a part of Lot 3, Square 56, according to William Whitehead's map of the Island of Key West, delineated in February, 1829, being more particularly described as follows: COMMENCE at the intersection of the NE'ly right of way line of Grinnell Street with the dividing line of Lots NE'ly right of way line of Grinnell Street with the dividing line of Lots 3 and 4 of said Square 56; thence run NE'ly along said dividing line, 161.0 feet; thence run at right angles in a NW'ly direction 50.0 feet to the Point of Beginning; thence continue NW'ly along the previously described line 1.6 feet to a point on an existing wood fence; thence run at right angles in a SW'ly direction along the SE'ly face of said wood fence, 61.8 feet to a point on an existing chain link fence; thence run at a right angle in a SE'ly direction 1.6 feet; thence run at right angles in a NE'ly direction 61.8 feet back to the said Point of Beginning. in a NE'ly direction 61.8 feet back to the said Point of Beginning.

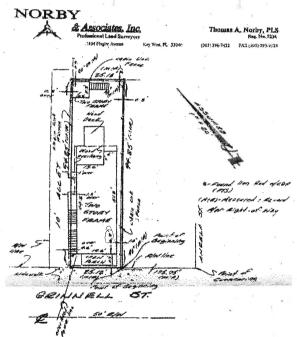
LESS & EXCEPT; A parcel of land on the Island of Key West, and known as a part of Lot 3, Square 56, according to W.A. Whitehead's Map delineated in February, A.D. 1829; said parcel being more particularly described as follows: COMMENCE at the intersection of the NE'ly right of way line of Grinnell Street with the dividing line of Lots 3 and 4 of said Square 56 and run thence NE'ly along the said dividing line for a distance of 161.0 feet; thence NW'ly and at right angles for a distance of 29 feet to the SE'ly thence NW'ly and at right angles for a distance of 29 feet to the SE'ly face of an existing one story frame structure, said point being the Point of Beginning; thence continue NW'ly along the previously mentioned course for a distance of 21.8 feet to the NW'ly face of an overhang on said structure; thence SW'ly with a deflection angle of 90°15'46" to the left and along said overhang for a distance of 0.7 of a foot to the SW'ly face of said overhang; thence SE'ly and at right angles along the said overhang and face of said structure for a distance of 21.8 feet; thence NE'ly and at right for a distance of 0.6 of a foot back to the Point of Beginning.

> MONROE COUNTY OFFICTAL RECORDS



# HIGGINS RESIDENCE RENOVATIONS

617 GRINNELL STREET KEYWEST, FLORIDA



N. Ploud insurance Rate Sap Sone: X; Community Pagel #120168, 1716 S, dated 11-4-92.

ROBERT RUNNEY OF: Known and designated on the map or plan of Key Mee as delinested by Milliam A. Whitehead in February, 1829, as part of Lo mussioned Four (4) in Square nucker likely at (5), but better known a lots one (1) according to a subdividing of Lots one and Your of said Square nuckers (16). recorded in teach February 1992, and the said Square Comment (16) recorded in the contract of Lots of the said Square Comment (175'9") from the Corner of Angela Stream and Funda Keence along Writinglia Stream as a M. W. Direction Twenty five feet on and one-half inches [25' 1-4'); thence are right angles in a M.S. direction Twenty-five feet one one one-half inches (25' 1-4'); the contract of the con

T REASEN CERTIFY

Alexander & Dolores Ridwall; FirstBantory Hortgage Corporation: Feldman & Roenig, P.A.; and Attorneys' Title Insurance Fund Inc

... that the survey delineated berson meets or exceeds the minimum technical attendants as not forth by the Florida Board of Land Surveyors, pursue to Section 475.027 of the Florida Statutes, and that there are exceeding the survey or or the Florida Statutes, and that there are

Jahren 2 1054



#### GENERAL NOTE

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida in the City of Key Mest, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:

ultDING: Florida Building Code, 2010 Edition.

LECTRICAL: National Electric Code, 2010 edition
Florida Building Code (Plumping), 2004 Edition

This project is designed in accordance with A.S.C.E. 7-05 to resist wind loads of 180 mph (gusts).

- Prior to submitting a bid, verify all existing conditions and dimensions on the
- 3. Contours and/or existing grades shown are approximate, Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debries will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
   Drawings and specifications are complementary. Refer to all sheets a drawings and applicable sections of the specifications for interfaces of drawings and applicable sections.
- 8. After completion of construction remove all debris and construction equipm
- Restore site to original condition.

  9. Notify owner of any possible artifacts uncovered during site arading and
- Furnish a receptacle on site to contain construction debris and maintain the s
- 11. Comply with all requirements for selective demolition as specified, shown

DESCRIPTION		ALLOWED	EXISTING	PROPOSIS
ZONE		HHOR		
FLOOD .		- ×	- No. 1	
LOT AREA		2368 SF		
BUILDING GOVER	oæ€	E0:6/11845	<b>,</b>	
EXISTING BLOS. A	1 02 SF.		55%/12565	75
	<u>64</u> 12565F			
PROPOSED BLOG A	882 S.F.			400/246
<b>b</b>	940 SF.			
se enaks	FRONT	10	2	2
1	SIDE/ SIDE	5/5	2,5/5.5	2,5/2,5
	REAR	20'	32	22'
IMPERVIOUS		60%	54%/12.75 55	4214995

	SHEET! INDEX
SHEET NO.	DESCRIPTION
E	COVER, GURVEY, NOTES, SITE / SHT INCES X, STATUTES
AI	* SITE PLAN PIRET / SECOND/ THIRD PLAN (EXISTING)
AZ	* EXTERIOR ELEVATIONS (EVISTING)
AB	FIRST/SECOND/THIRD FIR PLANS, SOHEDULES (PROFINELL
A4	EXTÉRIOR ELEVATIONS (PROPOSED)
AS	FOUNDATION, FREST/SECONICY THREE FUR FRAMING FLAN, STORES
AB	BUILDING CROSS SECTIONS
A7	INTEROR ELEVATORIS
MP	MECH. / PHIMBING FLR. PLANE, NOTES, DIAGRAND, SCHOOL
E	ELECTRIAL PLANS NOTES SCHEOULES DESERVES
<b>\$</b> 1	STELLEGIL HOTES
SP	SPECIFICATIONS

Florida Administrative Code
of 61-16.000 WIED SEAL NOT BE AFFRED. The personal soluof 61-16.000 WIED SEAL NOT BE AFFRED. The personal solufield from the second of the construct of coding in the construction. Find of coding in the time a section in the coding in the time a section in the coding in the time a section in the coding in the time as section in the coding in the coding in the time as section in the coding in the coding in the time as section in the coding in the coding in the time as section in the coding in the coding in the time as section in the coding in

HIGGINS RESIDENCE
NEW CONSTRUCTION
617 GRINNELL STREET KEYWEST, FLORIDA

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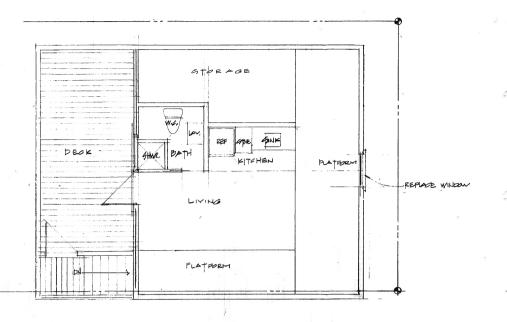
R G W A N TURE KRYWBY HORIDA

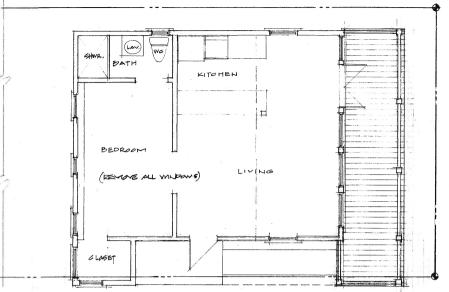
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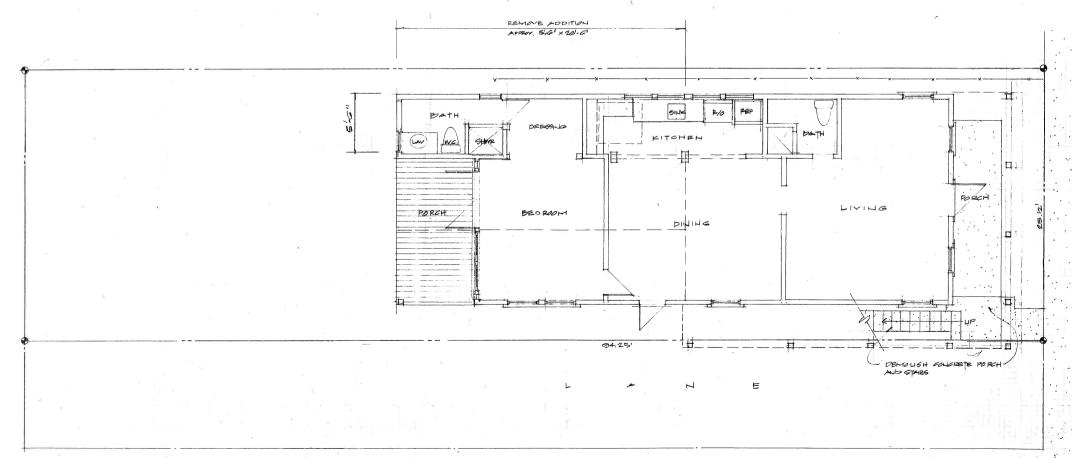


## THIRD FLOOR PLAN

NOTE DEMO ENTIRE INTERIOR (WALLS / FINTURES

## SECOND FLOOR PLAN

HOTE: DEMO ENTIRE INTERIOR WALLS AND FIXTURES



FIRST FLOOR PLAN

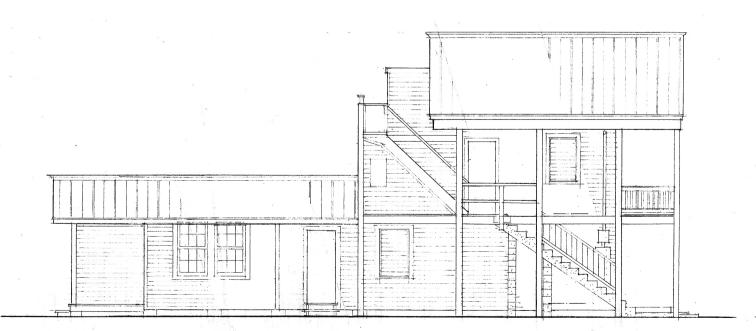


HOLE: DEMOUTION SOURCE ENTIRE STRUCTURE

EXISTING

HIGGINS RESIDENCE NEW CONSTRUCTION 617 GRINNELL STREET KEYWEST, FLORIDA WILLIAM ROWAN јов ћильек (*003*) 4.16.14 DAJE 7. 21.12 A1 2 OF 11

## EXISTING NORTH ELEVATION



**EXISTING WEST ELEVATION** 



EXISTING SOUTH ELEVATION

NOTE: DEMOLITIAN ECODE ENTIRE STRUCTURE

EXISTING

**A2** 

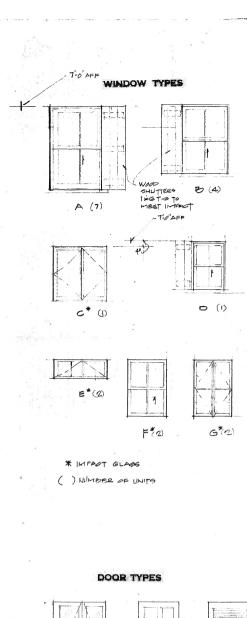
JOB NUMBER

4.16.14 DATE 7.21.12

KEY WEST, FLORIDA FLORIDA LICENSE AR-0017751

WILLIAM ROWAN

HIGGINS/SCHULTZ RESIDENCE NEW CONSTRUCTION 617 GRINNELL KEYWEST, FLORIDA



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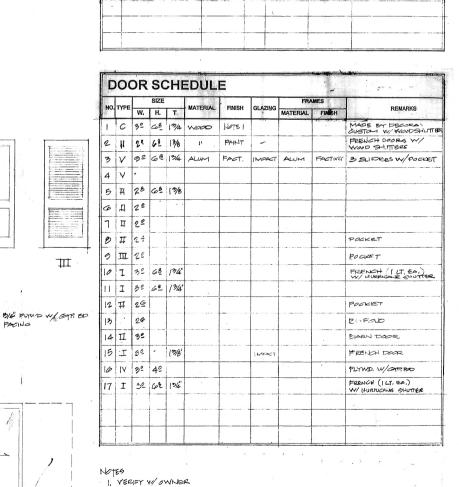
IMPOCT

#

POCKET WALL

IV

 $\mathbf{z}^*$ 



WINDOW SCHEDULE

A 219 52

4.3

34

30

30

MFR. - FLORIDGE BEST OR EQUAL

B 25

C 32

G 24

D

DE

20

30

24 39

MFR.

CATALOG NO. MATERIAL

WOOD

WOOD

WIND PRESSURE COMPONENTS

EFFECTIVE ZONE PRESSURE REQUIRED

4

FINISH

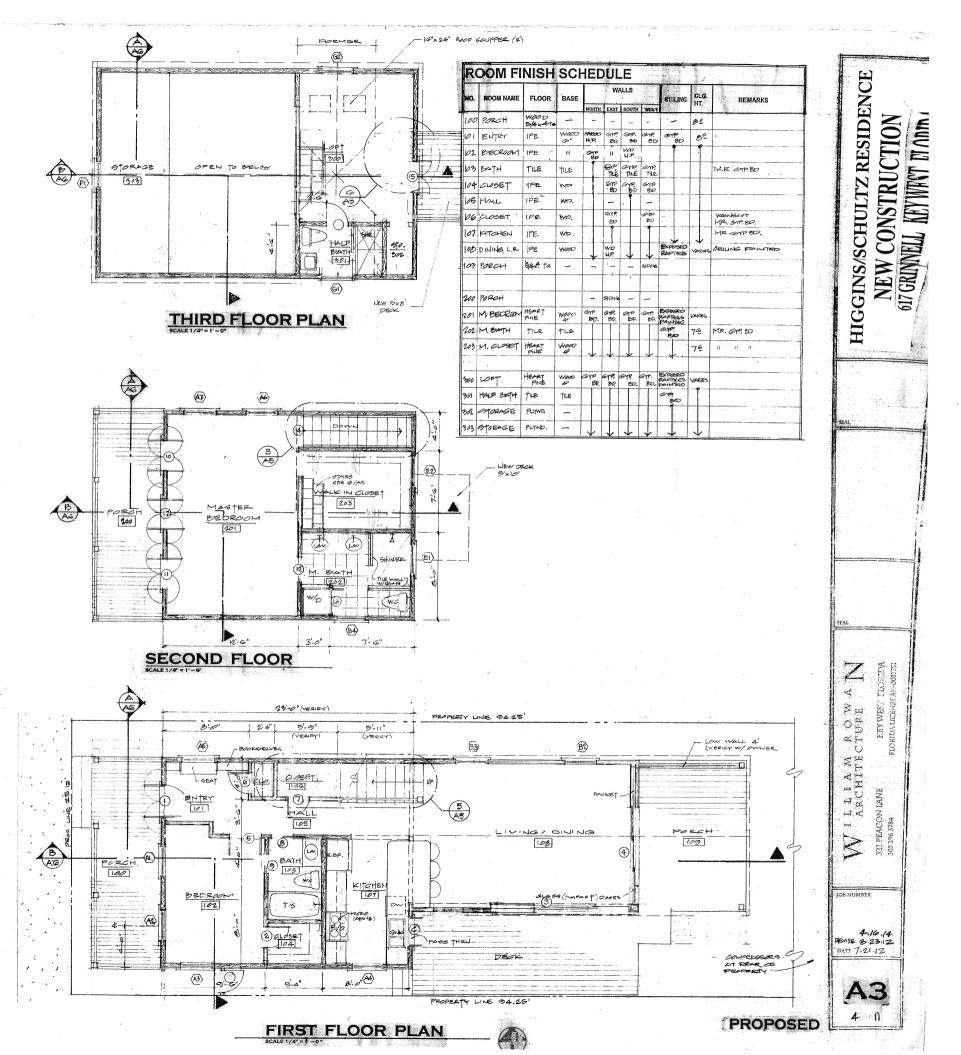
COURLE HUNG

OWING IMPACT

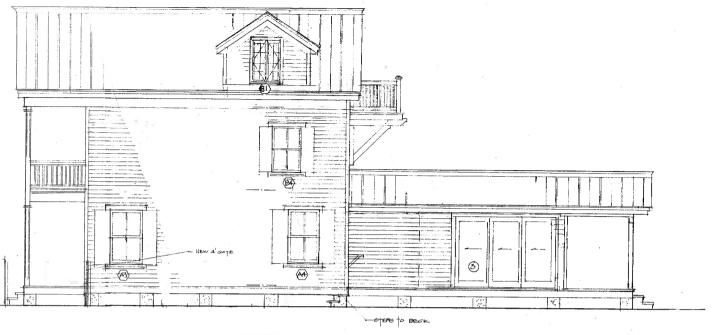
AWNING IMPACT

SMING IMPACT

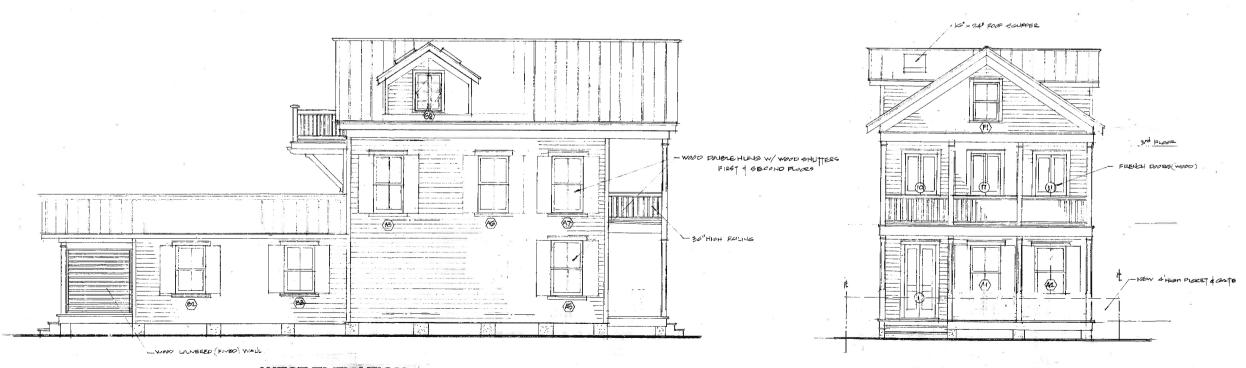
DOUBLE HUNG IMPACT







**EAST ELEVATION** 



WEST ELEVATION

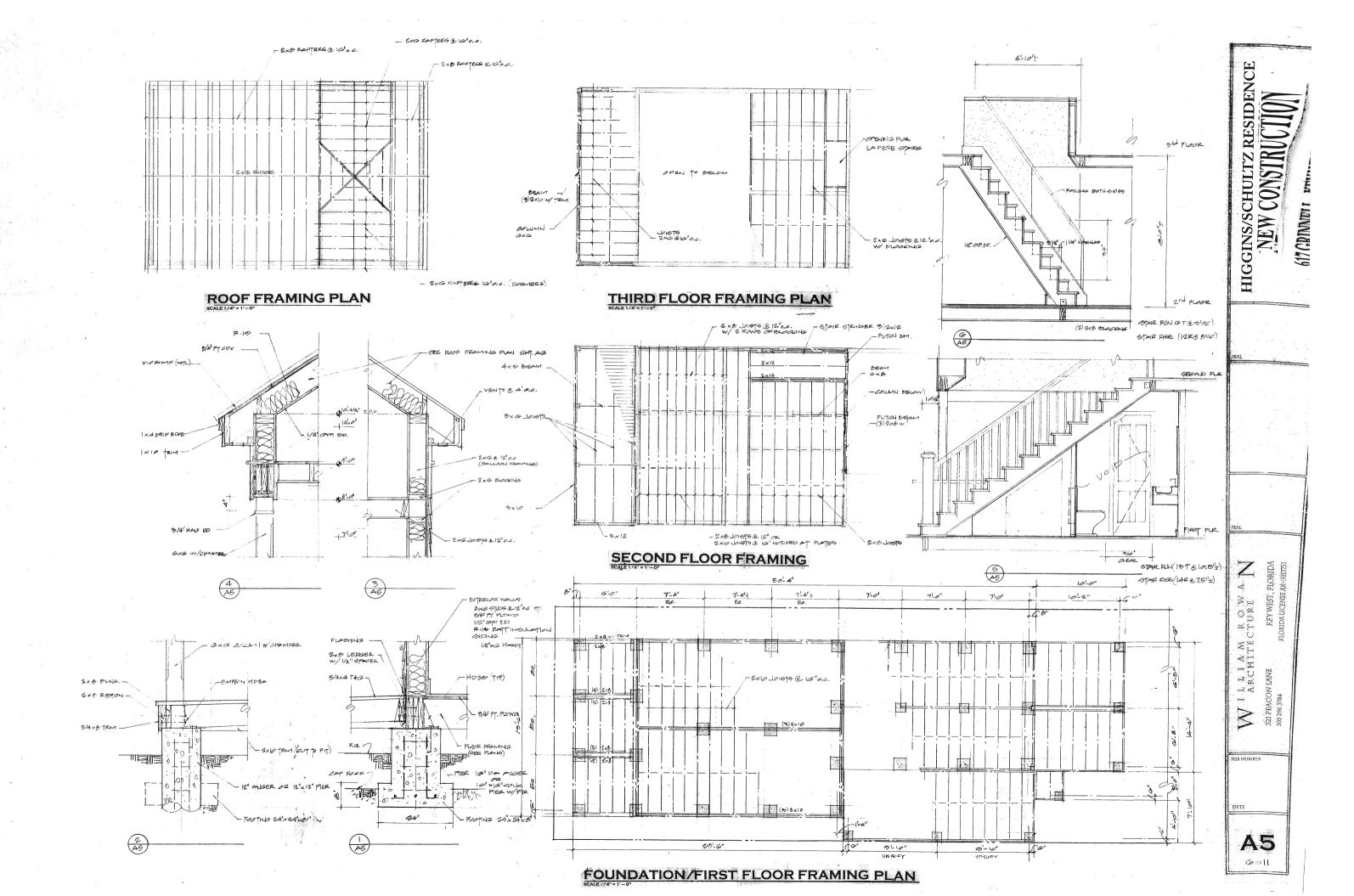
SOUTH ELEVATION

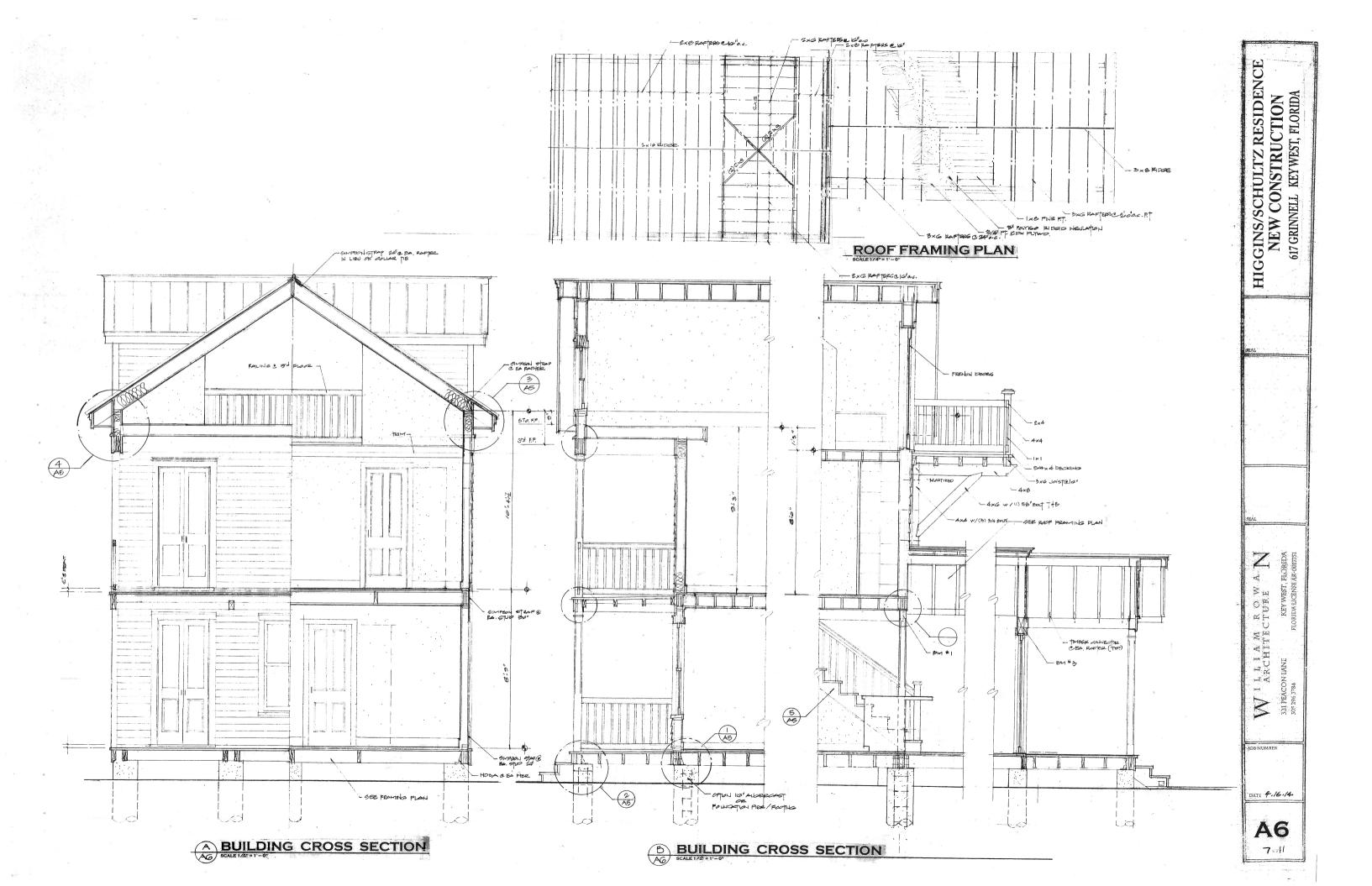
HIGGINS/SCHULTZ RESIDENCE NEW CONSTRUCTION ATTOMBET :

WILLIAM ROWA N

OB NUMBER 4.16.14 Pense 8.23.12 Date 7.21.12

**A4** 5 11





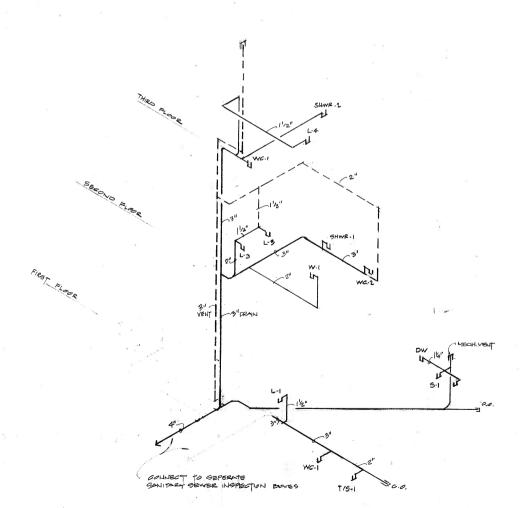
#### MECHANICAL GENERAL NOTES

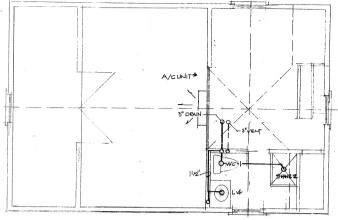
- LEUSTING CONDITIONS MODIFIED ARE TAKEN FROM DISTING CONSTRUCTION DOORIENTS, VARIOUS SURVEYS, AND FIELD INVESTIGATIONS. INVESTIGATION OF THE CONSTRUCTION OF THE MODIFIED AND OR DISTING, HAY NOT BE LOCATED PACIFIC AS SIGNED ON THE DRAHINGS. COORDINATE HITH FIELD CONDITIONS TO VERRY POACT LOCATIONS OF PIPMS, DUCK AND EQUIPMENT, COORDINATE HITH MORK OF O'THER TRADES SO THAT RESPONSE OF PIPMS, DUCK THE REPORT AND ELECTRICAL MOST BUE ANYORD. THE ANYOR HAVE TO EXCENSIVE THE MOST WILL NOT SE.
- 2. CONTRACTOR SHALL VISIT AND CAREFULLY EVANINE THOSE PORTIONS OF THE BUILDING AFFECTED BY THIS MORK BEFORE SUPPHTHAY PROPOSALE SO AS TO BECOME FAMILIAR WITH DISTING CONTROLS AND DIFFICULTIES THAT HILL AFFECT DECENTION OF MARK. SUPPLISION OF A PROPOSAL HILL BY CONSTRUED AS EVIDINCE THAT SUCH DAVINATION HAS BEEN HADE AND LATER CLAIRS FOR LADOR, SCHIPPINT OR HATFERLA BEQUINED BECURED OF DIFFILLATIES DECONTRESS ON ILL NOT BE
- PROVIDE LABOR, INSTELLAS, TOOLS, EQUIPHINT AND DEVICES NECESSARY TO PROVIDE A COMPLETI
  AND OPERATIONAL SYSTEM IN ACCORDANCE HITH THE INTEST OF THE CONTRACT DRAWINGS AND
  SPECIFICATION. FULLY TEST, BALANCE, CLEAN AND LEAVE SYSTEMS IN A COMPLETE AND
  SPECIFICATION. STATEMENT OF THE CONTRACT OR THE CONTRACT THE CONTRACT O
- 4. THESE DRAININGS ARE DIAGRAFTANTE ONLY AND DO NOT SHOR ALL OFFSETS, BENDS, ELBOWG, OR THERE SPECIALS ELBOTHS THAT THAY DE REQUIRED FOR PROPER INSTALLATION OF THE MORK, SUCH HORK SHALL BE FIELD VERNING AND CAREFULLY COORDINATED WITH ALL BUILDING TRADES AT THE SITE BY THE CONTROLLED.
- PROTECT SURROUNDING UTILITIES, MALLS, FLOORS AND CEILINGS FROM DAYINGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAYINGED DURING CONSTRUCTION.
- PROVIDE CONCRETE AND OTHER MATERIALS FOR HALL AND CEILING REPAIR AND OTHER GENERAL MORK AS REQUIRED FOR PROPER INSTALLATION OF MEGHANICAL SYSTEMS. ALL REPAIRS SHALL MATERIAL EXPERIENCE.
- EXPOSED DUCT, PIPINK AND INSULATION SHALL BE PAINTED TO MATCH BACKGROUND SURFACES S
  AS INDICATED. PROFEE IN PROBABILIAL ROOMS. COORDINATE REQUIREMENTS WITH BUILDING OWNER.
- ALL HATERIALS AND EQUIPIENT SHALL BE NOW AND SHALL BE VLL. LISTED MERRÉ APPLICABLE, INSTALL IN ACCORDANCE MITH HANDACTUREN'S PRINTED INSTALLATION INSTRUCTIONS MITH ADEQUATE ACCESS FOR PAINTENANCE. INSTALLATION OF NON EQUIPMENT SHALL NOT INTERFERE WITH REQUIRED INCOMING CLEARACES FOR DISTING BUSINFIENT.
- 9. PROVIDE HORK IN ACCORDANCE HITH HIT STANDARD HELANICAL CODE, HITS STANDARD PURPOIN CODE, HIT STANDARD RISE PROTECTION CODE, HIT STANDARD BAS CODE, HIT FAIRING DEBROY EFFICIENCY CODE, AND OTHER LOCAL CODES AND STANDARDS AS ENFORCED. COORDINATE HITH LOCAL CODE AUTHORITIES TO DETERMINE EXACT REQUIREMENTS.
- LOCAL CODE AUTHORITIES TO DETERMINE EXACT REQUIREMENTS.

  PRODUIDE ALL SUIDELEMENTARY STEEL AND ECHINATIVES FOR SUPPORTS AND BRACING OF ALL H
- II. THIS CONTRACTOR SHALL ARRANGE FOR AND PAY FOR NECESSARY PERMITS, INSPECTIONS, ETC.
- 2. TEST AND BALANCE SYSTEMS PER NEBS OR AABC. SUBMIT TEST AND BALANCE REPORT IN
- B. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LANS, CODES ORDINANCES OF THE CITY, COUNT
- M. REGISTERS SHALL BE EQUAL TO 'KREUGER'. COLOR-SHALL BE WHITE.
- 5. THE CONTRACTION SHALL HAVE THE OPTION OF USING SHEET HETAL DUCTHORK CALL DUCTHORK SHALL BE RISHLATED. PERCENTED USINFORK HALL NOT BE ALLOHED. EXCEPT FOR ATTACHMENT OF REGISTERS THAT CANNOT BE ACCOMMONATED BY RIGHD DUCTS. RAUSHALL NOT EXCEPT (A) FIFT ANIBPER PLYINE DUCT IS USED.

#### PLUMBING GENERAL NOTES:

- UTILITIES AND SERVICES BIDCATED ARE TAKEN FROM VARIUS OLD AND NEM SURVEYS, AS-BUILT RECORDS AND FIELD INVESTIGATIONS, UNIFOREED CADDITIONS PROBUBLY EDST AND IN-HORC HAY NOT BE FIELD LOCATED EXACTLY AS SHOWN ON DRAININGS. CODERATION WITH OTHER TRADES IN ROUTING, AS DETERMINED DURNEL CONSTRUCTION WILL BE RECESSARY.
- FIELD VERIFY EXISTING INSTALLATIONS. MODIFY EXISTING PLUMBING SYSTEMS, MINCH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW MORK.
- NOTIFT OWNER AT LEAST 24 HOURS PRIOR TO INTERRUPTING EXISTING SERVICE, SCHEDULE DISCONNECTION AND TIE-INS TO INMITIZE DISCUPTION OF SERVICES. SERVICES ARE NOT TO BE LEFT DISCUPTED DURING NON-NORMAL CONTRACTOR HORKING HOURS.
- PLANS ARE NOT COMPLETELY TO SCALE. PIPE ROUTING SHOWN IS SCHEMATIC AND IS NOT INTEDDED TO INDICATE EACH ROUTING AND ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO HANTAIN CLEARANCES. VERIFY STRUCTURAL, INCIDANCIAL AND ELECTRICAL
- CONCEAL PIPING ABOYE CEILINGS, WITHIN WALLS OR CHASES EXCEPT AS SPECIFICALLY NOTED.
- 6. SLEEVE AND FIRE STOP PENETRATIONS OF RATED HALLS, FLOORS, CEILING AND ROOFS.
- PROVIDE ACCESS PANELS TO ALL VALVES AND WATER HAMMER ARRESTERS LOCATED WITHIN CHASES OR NON-ACCESSIBLE CEILINGS, REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
- COLD WATER PIPING SHALL BE TYPE "L" COPPER PIPE WITH SOLDERED (95/5) JOINTS.
- SCHEDULE 40 PVC PIPE 4 FITTINGS: ASTM D2645-85. JOINTS: ASTM D2855-83, SOLVENT HELD.
- IS EXPOSED TO VIEW,
- SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
- 13. PROVIDE, WHEN REQUIRED BY CODE, AN AIR GAP SERVING INDIVIDUAL FIXTURES. DEVICE
- H. SIZE AND LOCATION OF ANY PROMPTS CLEANING CHAIL OF ALL ACCORDANCE WITH THE
- 6. ALL HALL MOUNTED LAVATORIES AND HAND WASHING FACILITIES SHALL BE ATTACHED TO A FLOOR MOUNTED CARRIER DESIGNED TO WITHSTAND A VERTICAL LOAD OF 250 POUNDS ON THE FRONT OF
- N. PLUTBURG CONTRACTOR SHALL PROVIDE SANITARY MASTE, VENT, DONESTIC HATER, ETC., ROUGH-M AND HAVE RIMAL CONNECTIONS (INCLUDING SUPPLYING ABOVER RESTALLING ALL RECESSARY RELAYED STOPS, VALVES, TRAYS, ETC. AND TAKE READY FOR USE) TO ALL CARPITIENT MEMBERS PRINSIPED
- IT. INSULATE HOT AND COLD WATER PIPING WITH PACTORY FORMED, FIRERGLASS PIPE INSULATION





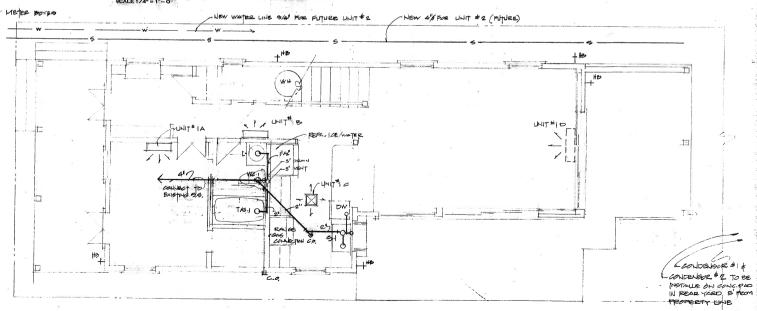
### THIRD FLOOR PLAN

MARK	FIXTURE	MANUFACTURER	MODEL	FFFTIN	GS .	DEMARKS	
		T	NO.	MANUFACTURES	MODEL NO.	REMARKS	-
9-1	SINK						
<b>L</b> 1	LAVATORY				2		
L-2	LOVATORY						
L·3	LAVATORY			_	WHER		
L-4	LAVAFORT	. 11		DBY			
WC-1	WATER CLOSET		ابر	ECTEDBYO			
W€-2	WATER CLOSET	-01	JE SE				
T/6·1	TUB/SHOWER	10					
SHUR-1	GHOWER						
W-1	Washer						
DW-I	DISH WAGHER				12		
						, 1	
							50

No.			
	The state of the s		
Approximation of the second			
		1 1 2 1 1 1 2 1 1 1 1 2 1 1 1 1 1 1 1 1	vent -3"deam
		LINIT "3A (180VE)	-3"DRAN 3"
The state of the s			EXHAUST 3'
The Control of the Co		· · · · · · · · · · · · · · · · · · ·	2" H W6.2
<b>811</b>	35		1

DESCRIPTION	MFR.	MODEL	DIMENSIONS				
			W	Н	D	MAT'L	LOCATION
UNIT 1 COMPEESSOR	MITSUBISH	MUZ-FEDO					GIDE / REAR
1 TI NU H\4		MG.A09,1244					FIRST FLP. ELEDROOM
UNIT 18 SOMPRESSOR		M×7 4836NA					SIDE / REAR
UNIT 16		MEZ-FEOD 12HA	1				DINING/LIVING
,							,
JUIT 10		5LZ-KA09					KITCHEN
ンマエ	_	M62-F809					HALLYMAY
JUIT COMPOSASOR		MXZ 2B20HA					
JHIT		MSZ-KADO					

### SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLUMBING MECHANICAL HIGGINS/SCHULTZ RESIDENCE NEW CONSTRUCTION 617 GRINNELL KEYWEST, FLORIDA

W I I I I A M R C W A K
SZI PEACONIANE KEWEST, FLOREDA
S02 296, 5784 HORIDALIGNSE AR-OUTSI.

DATE 4-16.14

MP

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PA	NEL	_M	P PHASE WIF	RE_	5	. \	/OL	TAC	SE 20/20 MAIN AMPE	RAG	E 2	00£
LC	CAT	ION	HALLWAL MO	UN	NTING REGESSED BUS AMPEI							04
CT#	KVA o A	KVA ø C	DESCRIPTION	POLE	AIC	PHASE	POLE	AIC	DESCRIPTION	KVA e A	KVA o C	ст
1	15	_	LIGHTING 1ST.	1	20		ι	20	tower	1:8		2
3	L	1.5	LIGHTING 2nd	1	20	L	1	20	POWER	1	1.8	4
5	1.5		LIGHTING 3rd	1	20	L	1	20	Power	18	·	6
7		15	LIGHTING KITCHA	41	20		1	20	POWER KITCHEN		1.3	8
9	1.2		FANS 12 FLOOR	11	20	Ш	1	20	PEFRICO	18		10
11		1.2	FANS 214 FLOOR	1	20	Ш	Ŀ	20	MICRO		.8	12
13	1.0		A/O UNIT 1 A	1	30	Ц	2	/	RANGE/OVEN	25		14
15		1.0	NO WIT. IB	1	30	Ŀ	Z	50	/		2.5	16
-	1.0		A/G UNIT.IC	1	90	Ц	1	20	PISH WASHER	1.0		18
19		1.0	A/C UNIT ID	1	30	Ц	1	10	WAGHER	١.	:8	20
-	2.5		CONDENSOR CIPIT 1	2	$\square$		2	/	DRYER	1.5		22
23		1.5		K	40	Ц	Z	50			15	24
-	1.0		A/G UNIT 20	1	30		ı	20	OUTDOOR LIGHTING	15		26
27	_	1.0	A/C UNIT 25	1	30		ı	20	outdoor power		1,8	28
	25		CONDENGOR WHIT 2	2	$\angle$		2		WATER HEATER	2.5		30
31	_	2.5	·	И	40			DO			25	32
33	_	_					1	20	GARRAGE DISPUSAL			34
35	_	_				_						36
37		_				_I						38
39		_				J		$\Box$				40
-	KV/											
	Total	KVA										- 1
-	Am,											ı

- ELECTRICAL NOTES

  1. All electrical work shall be performed in accordance with the National Electrical Code, Standard Building Code and/or any local codes and ordinances.

  2. The Electrical Contractor shall refer to the Architectural plans for exact location of all equipment. Contractor shall not socie plans.

  3. It is not the intent of these plans to show every and all details of construction. The Electrical Contractor shall furnish and install all items as to provide a complete electrical installation with all expinement in proper working order.

  The shall be electrical installation with all expinement in proper working order.

  What is the contractor shall be responsible for the full coordination of his work with that off the electrical modes and that all expensions of the electrical work and material shall be workmanishe manner.

  3. It shall be understood but all the electrical contractor and in a first electrical work and material shall be workmanishe manner.

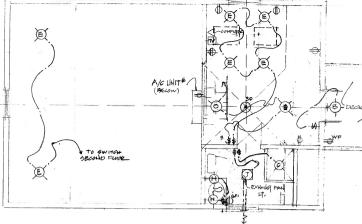
  4. If electrical work and material shall be an electrical contractor.

  5. All pones shall have typewritten directories indicating all circuits.

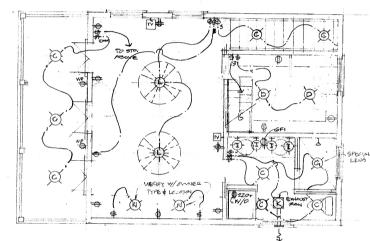
  6. Lighting futures including lamps shall be provided and installed by the Electrical Contractor.

  6. All electrical contractors and plans shall be cooner except or indicated. Were shall be 12.
- Lighting fixtures including lamps shall be provided and installed by the Electrica Controctor.

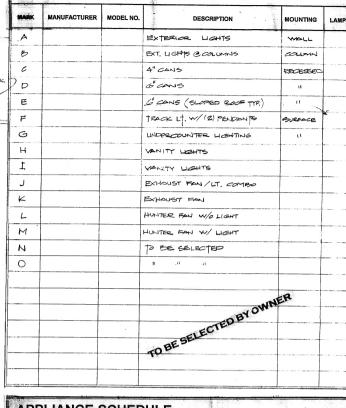
  All wires and cobles shall be copper except as indicated. Wires shall be #12 minimum size (control wiring shall be #14 ANG). Wire sizes #10 and smaller shall be #18 solid. Wire sizes #8 and larger shall be #18 solid. Wire sizes #8 and larger shall be #18 solid. Wire sizes #8 and larger shall be #18 solid. Wire sizes #8 and larger shall be #18 solid. Wire sizes #8 and larger shall be #18 solid. Solid shall provide temporary power for all trades. Contractor shall install lighting fixtures provided by others. All copper work pre- shall be electrical bonded and grounded. Bedance loads in accordance with good construction practices. The Electrical Contractor shall be responsible for verifying adequate circuitry and breaker sizes which are required by this Contract. The Contractor shall finally and install approved hard—wired snake detectors in accordance with the responsements of the building department howing jurisdiction over the project.



## THIRD FLOOR PLAN

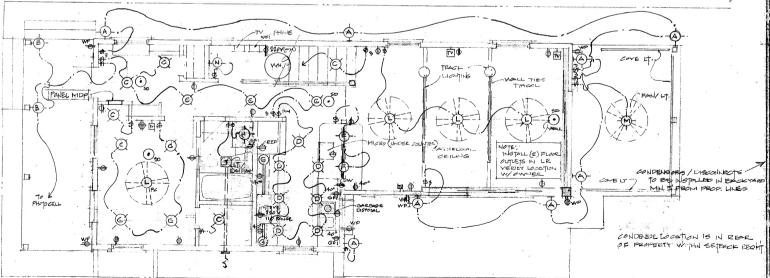


SECOND FLOOR PLAN



**ELECTRICAL FIXTURE SCHEDULE** 

				F	1.18	20,0	\$ http://doi.org/10.1001/10.1001/10.1001/10.1001/10.1001/10.1001/10.1001/10.1001/10.1001/10.1001/10.1001/10.10		-
K .	APPLIANCE	MFR.	MODEL	H	W		COLOR	REMARKS	
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FIRST FLOOR PLAN

ELECTRICAL

¥

HIGGINS/SCHULTZ RESIDENCE NEW CONSTRUCTION 617 GRINNELL KEYWEST, FLORIDA

LLIAM ROW ARCHITECTUR 321 PEACON 305 296 3784

É 3 OF 11

DATE 4.16.14

PROJECT NO :

DATE: 4.16.14

300.17 PIPES OR CONDUITS PLACED IN SLABS SHALL NOT HAVE AN OUTSIDE DIMATER LARGE THAN 1.75 THE SLAB THEORIESS AND SHALL NOT BE SENDED TO THE SHALL NOT BE SHALL NOT BE PLACED IN CONCRETE AND COROLUTS SHALL CONDUITS OF CONTROL OF THE PLACED IN STAB WITHIN 12 OF COLUMN FACE OR FACE OF BEARING WALL NO CODULTS MAY BE PLACED IN STATEMENT SHADS. THE FROM OF SHOP DAWNING AND OTHER SIGNITIAS FOR THE PROJECT IS FOR CONFINANCE WITH THE DESIGN COMENT AND THE REPORT OF THE OWNEROW THE THE CONTRACT DOCUMENTS COMMENTS READYING THESE SHORTED IN THE CONTRACT DOCUMENTS COMMENTS AND COMPUNCT WITH THE CONTRACT DOCUMENTS CONTRACTOR THE CONTRACT DOCUMENTS.

THE CONTRACTOR THE CONTRACT DOCUMENTS THE CONTRACT DOCUMENTS.

AND SATISFACTORY MANNER, THESE FOR PERFORMEN HIS WORK IN A SAFE 610.5 ALL BOLTS SHALL BE 5/8-INCH DIAMETER ASTM A307 UNLESS OTHERWISE NOTED WITH 2 WASHERS PER BOLT UNLESS OTHERWISE NOTED. 300.18 PRIOR TO PLACING CONCRETE, THE CONTRACTOR SHALL SUBMIT FOR REVIEW BY STRUCTURAL ENGINEER A CONCRETE POUR SCHEDULE SHOWING LOCATION OF ALL PROPOSED CONSTRUCTION JOINTS. 610.7 NO CUTS, HOLES, OR COPES REQUIRED FOR OTHER TRADES IN STRUCTURAL WOOD FRAMING WILL BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL OF ENGINEER AND ARCHITECT. CONCRETE SLABS ON GRADE HAVE BEEN DESIGNED TO BEAR ON COMPACTED SUBGRADE SOILS OR PROPERLY COMPACTED FILL. A GEOTECHNICAL ENGINEER 350.1 ALL ADHESIVE STUD ANCHORS SHALL BE "HILTI HIT-HY 150 ADHESIVE CONCRETE ANCHORS" AS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC. (OR EQUAL). 350.2 ALL EXPANSION STUD ANCHORS SHALL BE "HILTI KWIK-BOLT H EXPANSION CONCRETE ANCHORS" AS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC. (OR EQUAL). 610.10 ALL "PARALLAM PSL" LUMBER SHALL CONFORM TO THE MOST CURRENT SPECIFICATION OF THE AMERICAN PLYWOOD ASSOCIATION WITH AT LEAST THE FOLLOWING MINIMUM DESIGN STRESSES: 2,900 PSL PSL (SHEAR) 220 PSL 220 PSL 2,900 PSI 290 PSI 2,000.000 PSI 350.4 THE "KWIK-BOLT II EXPANSION ANCHORS" STUD SHALL CONFORM TO ASTM A510 OR ASTM A108 STEEL AND THE NUT SHALL CONFORM TO ASTM A563, GRADE A. 350.8 ALL STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH THE "LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (1993 EDITION, AS REVISED) OF THE ALSC. 350.7 GRADE OF STEEL
(1) STEEL TUBES (HSS SHAPES) ASTM A500, GRADE 8
(2) ANGLES AND PLATES ASTM A50 610.13 ALL PARALLAM BEAM ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH HANGERS AS MANUFACTURED BY SUMPSON STRONG-TIE, UNITED STEEL PRODUCTS COMPANY, OR WITH APPROVED SUBSTRUCES WITH WORKING LOAD CAPACITIES COLUMLENT TO THE "SUMPSON" SERIES HANGERS SPECIFIC. 350.8 GALVANIZED STRUCTURAL STEEL
(1) STRUCTURAL SHAPES AND RODS ASTM A123
(2) BOLTS, FASTENERS AND HARDWARE ASTM A153 350.9 ALL BOLTS SHALL BE ASTM A325, 3/4-INCH DIAMETER, UNLESS NOTED OTHERWISE. 610.14 PROVIDE END.--COAT SEALING TO END AND CROSS CUTS AFTER CUTTING TO FINAL LENGTH FOR ALL PARALLAN BEAMS. 610.16 ALL MULTIPLE 2X MEMBERS SHALL BE FASTENED TOGETHER WITH 100 NAILS AT 6° ON CENTER, ALTERNATE TOP AND BOTTOM UNLESS OTHERMISE NOTED. 350.11 ALL BEAN TO COLUMN CONNECTIONS SHALL BE DESIGNED FOR GENERAL STATE OF THE PERSONNE SHALL BE DESIGNED FOR FOR ONE HALF THE UNIFORM LOAD CAPACITY OF THE MEMBER IN ACCORDANCE WITH JASS SPECIFICATIONS, BUT NOT 610.17 PROVIDE DOUBLE JOISTS OR SOUD BLOCKING AT  $24^{\circ}$  On CENTER UNDER ALL PARTITIONS. COMPRESSION).
THE EFFECTS OF CONCENTRATED LOADS OCCURRING CLOSE TO THE ENDS OF THE BEAMS. 610.19 ALL LUMBER SHALL BE FIRE-RETARDANT TREATED LUMBER PRESSURE MERICANMONIED TO COMPLY WITH AMERICAN WOOD PRESERVERS' ASSOCIATION (AWPA) C 20 FOR INTERIOR TYPE A TREATMENT, 610.21 ALL WOOD JOST, HEADER, OR BEAM ENDS WHICH FRAME INTO BEAMS SHALL STATEMENT OF THE POLICIONING JOST HAMBERS, AS MANUFACTIVED BY SAMPSON STRING THE POLICIONING WORKING LOND CHAPTER WITH APPROXISED SUBSTITUTES WITH HE FOLLOWING WORKING LOND CHAPTER WITH APPROXISED FLOOR (UPLIFT) LOND SINESON STRINGS FLOOR (UPLIFT) LOND SINESON STATEMENT OF THE POLICIONING WORKING LOND CHAPTER FLOOR (UPLIFT) LOND SINESON STRINGS OF CAPACITY CAPA 390.13 ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S 80 SHALL ANTICIPATE THE USE OF THOSE SECRETION DETAILS SHOWN ON THE OPARMINGS. THE CONTRACTOR SERSIONISHEE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSED. 2X6 LUS28 830 LBS. (1,115 LBS.)
2X10 SWR/L210 1.330 LBS. (1,250 LBS.)
2X12 LUS210 -3 1,275 LBS. 1,785 LBS 3 < X 9 1/4 PARALLAM HU612 1,850 LBS. 5 1/4 X 11 1/4 PARALLAM HU612 2,850 LBS. MAX 350.15 ALL STRUCTINAL STEEL WORK DUEST FORTING OF MUBBERS TO STEED FROM THE MOST OF REPRESONAL NAME. BY SHOP PARKED WITH PAINT CONFORMING TO STEEL STRUCTURES PARKED COUNCIL (SSPC) PAINT 25. STEEL STRUCTURES PARKED COUNCIL (SSPC) PAINT 35. STEEL GUIDE NO. 7.0.0. CLEAN STEEL SCHOOL DE FEEL PAINTED AFTER WILDING-PAGE ADDITIONAL AREAS SHALL BE FEEL PAINTED AFTER WILDING-PAGE ADDITIONAL AREAS SHALL BE FEEL PAINTED AFTER WILDING-PAGE ADDITIONAL AREAS 510.22 ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL HOWEVER, THE CONTRACTOR'S BE SHALL MITTERPACE OF CASES PARK AND THE PRODUCT OF THE CONTRACTOR'S BE SHALL MITTERPACE DETAILS SHOWN ON THE DRAWNOS. THE CONTRACTOR'S RESPONSIBLE FOR THE DESCON OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES.

390.16 BOLT AND WELD TESTING:

a. ALL SHOP AND FIELD BOLTS SHALL BE TESTED PER
A.S.C. RECUMENTS.

b. STATE SHALL SHALL INSPECTED.

c. TEN PERCENT OF ALL WILDS AT BEAM AND GIRDLE
SHAPE CONNECTIONS SHALL BE RANDOMLY
RESPECTED BY MAGNETIC PARTICLE METHOD.

HOSPICATED BY MAGNETIC PARTICLE METHOD.

GOVERNMENT OF THE PROPOSITION OF ROT
PASS AND ON TRINSHED WILD PROPOSITION,
WELDS SHALL HAVE ULTRASOME INSPECTION,

COLUMN MOMENT CONNECTIONS SHALL HAVE
ULTRASOME INSPECTION, COMPLYING WITH ASTM

EIGHT. 610.1 ALL STRUCTURAL LUMBER SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION. 810.4 STRUCTURAL STEEL PLATES, ANGLES, ETC., SHALL BE ASTM A38. CONTRACTOR TO SUBMIT SHOP DRAWINGS ON ALL MISCELLANEOUS METALS FOR REVIEW BY STRUCTURAL ENGINEER. 610.8 ONE ROW OF BRIDGING SHALL BE PROVIDED AT CENTER LINE OF JOIST SPAN OR AS INDICATED ON THE DRAWINGS. 610.12 ALL SIDE LOADED PARALLAM BEANS OR COLUMNS SHALL BE SOUD AND SHALL NOT BE COMPOSED OF MUTTIPLE PLES. TOP LOADED PARALLAM EAVING SHALL BEANS AND SHALLE PLANTED FOR SOME OF MUTTIPLE PLES OF 1-3/4 MICH THICK MEMBERS AND SHALL BE NALED BY MINIMUM OF TWO DINES OF 164 MAILS AT 12 MICHES ON CENTER AND GLUED TOOCTHER WITH AN EXTERIOR THYE ADMESTICE.

815.2 ALL LUMBER SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBING STANDARD" AND WITH THE APPLICABLE RULE OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARD. EACH PECC OF LUMBER BE FACTORY MARKED WITH GROUD STAMP OF INSPECTION AGENCY EMDEROMS COMPLIANCE WITH GROUDER RULE REQUIRELESTS. 620.1 ALL STRUCTURAL LUMBER SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES," ATC-117, OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND "STRUCTURAL GLUED LAMINATED TIMBER", ANSI/AITC A 190.1, LATEST EDITIONS. 620.3 ALL GLU-LAM TIMBER SIMLL BE AS A MINIMUM 20F-V5, SP/SP, SOUTHERN AND SHALL HAVE AT LEAST THE POLLOWING MINIMUM ALLOWABLE DESIGN STRESSES AND MODULES OF ELASTICITY:

0. FD. (ECKNONIC, POSITIVE AND NEGATIVE)

1. FC. (STEAR)

1. FC. (COMPRESSION)

1. 450 PSI
1. 1050 f. Fc. (TENSION FACE) g. Fc. (COMPRESSION FACE) 620.4 STRUCTURAL STEEL PLATES, ANGLES, ETC., SHALL BE ASTM A36. 620.5 ALL BOLTS SHALL BE 3/4-INCH DIAMETER ASTM A307 UNLESS OTHERWISE NOTED, WITH 2 WASHERS PER BOLT UNLESS OTHERWISE NOTED, 620.6 ALL ADHESMES SHALL COMPLY WITH AMS/AITC A190.1 "WET-LUSE" TYPE.

620.7 ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE
SUBMITTED TO THE REPORTECT FOR REPORT WATO APPROXIMATION OF THE
ARCHITECT SHALL BE THE SOLD JUDGE OF ACCEPTANCE AND THE
CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIED DETAILS
SHOWN ON THE DRAWMINS. THE CONTRACTOR IS RESPONSIBLE FOR THE
DEBON OF SUCH ALTERNATE DETAILS WHICH HE PROPOSSIS. 620.9 PROVIDE END-COAT SEALING TO END AND CROSS CUTS AFTER CUTTING TO FINAL LENGTH. 620.10 PRIOR TO FABRICATION AND ERECTION, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PREPARED, SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE OF FLORIDA 830.1 ALL PLYWOOD SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATION AND SUPPLEMENTS OF THE AMERICAN PLYYOOD ASSOCIATION (APA). 830.2 EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE TRADEMARK OF THE APA AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE APA PERFORMANCE STANDARDS. 630.3 PANEL THICKNESS, GRADE AND SPAN RATING SHALL BE EQUAL TO THAT SHOWN ON THE DRAWNOS. THE CENTER-TO-CENTER SPACING IN NCHES SHALL NOT EXCED THE SPAN RATING STRAPED ON THE PANELS. INSTALLATION OF THE PANELS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF ARE

630.7 ALLOWABLE SHEAR CAPACITIES OF FRAMED FLOOR DIMPHRAGMS SHEATHED WITH PLYMOOD PANELS SHALL BE BASED ON THE VALUES PROVIDED IN THE APA PANEL THICKNESS, GRADE AND HAILING SCHEDULE DESIGN TABLES.

830.9 ALL WALL SHEATHING SHALL BE 1/2-INCH "APA RATED SHEATHING", 32/16 SHAN RATING, UNLESS NOTED OTHERWISE, INSTALL WITH LONG DIMENSION OF PAMEL, ROCKOS THREE OR MOME SUPPORTS. ALL SHEAR CAPACITIES OF FRANKED SHEAR MALLS SHEARLED WITH PLYWOOD PAMELS SHALL BE BASED ON THE VALUES PROVIDED IN THE APA PAMEL THICHMESS, CRADE AND MALING SCHEDULE DESIGN TABLES.

SPLICES IN REINFORCEMENT, WHERE PERMITTED, SHALL BE AS FOLLOWS:
WELDED WIRE MESH
AL OTHERS
CLASS "B" TENSION, CASE "1" MINIMUM,
UNLESS OTHERWISE NOTED 300.8 CLASS "9" CASE "1" TENSION SPLICES IN INCHES, SHALL BE AS FOLLOWS: 5000 PSI AD00 PSI ALL TOP PSI 300.9 SPLICES IN TOP REINFORCEMENT SHALL BE MADE AT MIDSPAN. SPLICES IN BOTTOM REINFORCEMENT SHALL BE OVER SUPPORTS UNLESS NOTED OTHERWISE. 300.10 TOP BARS IN BEAMS SHALL TERMINATE IN A CLASS "B" TENSION SPLICE OR HOOK AT DISCONTINUOUS END. 300.12 ALL REINFORCING SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACEMENT OF CONCRETE. REINFORCING SUPPORTE FOR ALL EPOSED CONCRETE SHALL BE GALVANIZED WITH PLASTIC CONTEINER. ALL WELDED WIRE MESH SHALL BE CHAIRED IN ACCORDANCE WITH THE 2004 FBC. 610 STRUCTURAL LUMBER

300.13 ALL TIES SHALL HAVE 135 DEGREE HODKS.

300.14 PROVIDE 1/2" PRE-MOLDED EXPANSION MATERIAL WHERE SLAB ON GRADE IS POURED AROUND COLUMNS AND AGAINST WALLS UNLESS OTHERWISE SHOWN ON DRAWINGS. 300.15 CONSTRUCTION JOINTS FOR SLABS ON GRADE SHALL BE SPACED NO MORE THAN 16"-0" ON CENTER PANELS SHALL BE AS SOUARE AS POSSIBLE WITH A LENGTH TO WITH RATIO NOT TO EXCEED 1.5.

300.18 CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL SLOTS, PIPE SLEEVES, ETC., AS REQUIRED FOR MECHANICAL TRADES BEFORE CONCRETE IS PLACED, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING LOCATIONS FOR ALL SLAB OPENINGS FOR REVIEW BY STRUCTURAL PENGHEET.

GENERAL NOTES

120.1

120.3

120.4

200.1

300.4

DESIGN CRITERIA

DESIGN BUILDING CODE: 2010 FLORIDA BUILDING CODE

SHALL BE REQUIRED TO VERIFY THAT THE COMPACTED FILL MEETS THE REQUIREMENTS TO SUPPORT THE PROPOSED SLAB ON GRADE.

FOUNDATIONS HAVE BEEN DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH CRITERIA ESTABLISHED IN THE GEOTECHNICAL REPORT PER 200.1

PRODUCTION PILE WORK SHALL PROCEED ONLY AFTER SUCCESSFUL LOAD TESTING OF ONE TEST PILE BY AN APPROVED TESTING COMPANY. THE CONTRACTOR SHALL PAY FOR ALL LOAD TESTS.

THE AUGER GROUT INJECTED PILE CONTRACTOR SHALL SUBMIT EVIDENCE TO THE ENGINEER THAT HE HAS BEEN ENGAGED IN THE SUCCESSFUL INSTALLATION OF AUGER GROUT INJECTED PILES FOR AT LEAST FIVE YEARS.

MINIMUM F'C REQUIRED AT 28 DAYS:

D. PLE CAPS

D. SLAES ON GRADE

MIN. f'C = 4000 PSI

D. SLAES ON GRADE

MIN. f'C = 4000 PSI

D. SLAES ON GRADE

MIN. f'C = 4000 PSI

D. COLUMB, With 2 – 1/2 CALLOM SO F'C = 5000 PSI

CORROSION INHIBITOR PER CY

F'C = 5000 PSI

0.45

 $\vdash$ 

**S1** 

All work shall be in strict conformity with the Florida Building Code, latest edition, and with all applicable laws, codes, and ardinances of the City, County, State, utility companies and any other governing agencies.

3. The Contract work includes all material, equipment, tools, labor and services necessary for the completion of the project. The Owner has the right to, and expects all work to be completed as expeditiously as quality workmanship shall allow:

4. The Contractor shall procure and pay for all necessary building permits and for inspection services of local authorities where required by law. Meter and impact fees will be paid by the Quner.

5. Notify all utility companies prior to excavation for location of underground utilities, and/or protection or removal of overhead power lines and poles.

6. Provide sofety barricades, signals, fences, etc., as required for the safe execution of the work and compliance with

7. The observation of the Contract work shall be done by the person listed in the Contract agreement as the Architect. In the case that no observation by the Architect is provided in the Contract, the functions of the Architect, wherever called for in the Specifications, shall be exercised by the Owner.

8. The Contractor shall provide a temporary installation of electric service if such service is not available on site.

Water service shall be provided for during construction by the Owner, when existing maters are to be used

 Moterials and Labor
 Submit samples to the Architect for approval of color where required.
 All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades. "3.3 Where brand names or manufacturers names appear, they are used to establish a quality of material and/or process. Substitutions will be approved by the Architect if, in his judament, they constitute an eaud material or

process.

9.4 All trades shall guarantee all work to be free of defects in materials or workmanship for a period of one (1)
were from the data of find acceptance.

9.5 Apply, install, cornect, erect, clean, condition, and use all manufactured articles in accordance with the manufacturer's instructions and as shown on the drawings. Provide Owner with all georantees and maintenance manufal for all applicances and pieces of equipment installed as a part of the work.

10. Performance 10.1 By submitting a bid, the bidder agrees and warrants that he has examined the drawings and specifications and found that they are adequate for the proper completion of the project.
10.2 No claims for any extra charges will be allowed because of alleged impossibilities due to inadequate drawings or

specifications.

10.3 The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated flems. Any recessory adjustments between field measurements and drawings shall be made as per the decision of

11. Payments ii.i. Immediately ofter execution of the Contract, the Contractor shall submit for approval a breakdown of theii. Formers

II.I Immediately ofter execution of the Contract, the Contractor shall submit for approval a breakdown of the
Contract sum.

II.2 Unless explicitly stipulated differently in the Contract Agreement, the Contractor shall receive payments monthly,
based on the work completed and the evaluation in accordance with the approved breakdown.

12. Insurance
12.1 The Contractor shall carry Northern's Compensation Insurance to the extent required by low and shall maintain such insurance in full force during the entire time of this contract.
12.2 The Contractor shall carry comprehensive General and Automotive Liability Insurance of \$100,000 to \$300,000 (minimum) and Property Damage Insurance of \$50,000 (minimum).

. Completion 3.1 All work shall be substantially completed at a time stipulated in the Contract Agreement or in time extended

The position is a secondary completed at a time supported in the contract Agreement or in time extended for justificiate delays, if any,

13.2 A building or any other work shall be considered substantially completed when ninety-five percent (45%) of the work is done and the building is ready for occupancy or the premises for use.

DIVISION 2 - SITE WORK

1. Scope: Demolition, excovation, filling and back filling, base course for building slabs and sidewalks, finish grading,

2. Related Work Specified Elsewhere: Concrete, masonry, moisture protection.

Demolition:
 I Demolition will be as indicated on the drawings.
 Removal and replacement of power poles and/or equipment will be by the appropriate utility companies. Notify utility company at the start of construction of need to remove or relocate.

4. Exconation:
4.1 Exconate for footings, slobs, etc. as indicated on the drawings and as required for completion of the project.
4.2 All work shall be done in a safe and cautious manner in order to avoid accidents and property damage. The Controctor shall repair or replace property damaged during this or any other phose of the work.

5. Filling and Bockfilling.
5.I Filling and Bockfilling.
6.I Fill coll areas as indicated on the derings or an excession for the morth.
6.2 Bockfill against foundations and alce degas with notive sails free of arganic material or debris. Care thall be taken not to damage underproofing membranes, insulation, foundation, etc.
6.3 Utility transfers shall be proper uidth for lying pipe. Avoid sharp bracks or changes in direction. Unstable sail shall be removed and replaced with approved material.
6.4 Compact Id backfill to 45s of existing mandram density in 12\* litts.
6.5 Excavated material not suitable or required for back filling shall be redistributed on site or removed, as directed by the Architect.

Bockfilling for Slabs and Malks:
 Aggregate base material of 1° or less in size uniformly distributed with coarse and fines. Aggregate base shall conform to the following requirements:

Sieve Size 

6.2 All aggregate base courses shall be 4° minimum thickness unless otherwise specified

6.3 Provide 4s aggregate base course under all concrete slabs on grade.

7. Finish Grading:
7.1 Slope all grades away from the buildings.
7.2 All graded areas to be graded in uniform slopes, free from ridges and mounds.

7.2 All graded areas to be graded in uniform slopes, free from ridges and mounds.

8. Asphalt concrete paring.

8.1 Type 5-3 caphalt per D.OT. specifications.

8.2 Provide compacted base as appropriate to site and local conditions; Linne Rock or other D.O.T. acceptable moterial compacted to 95% of ASTH D-1557.

DIVISION 3 - CONCRETE

1. Scope: Complete installation of plain and reinforced concrete work of the entire project including foundations, unails, slabs on grade, precast floor joists, and other concrete work to complete the project as shown on drawings and colled for in these specifications. Furnishing and installing all reinforcing steel, welded wire fabric, dowels, ties, onchors, etc. as indicated an drawings and otherwise regired by the work. Installing items built into concrete but furnished by others. Installing items necessary to fasten and hold reinforcement in place.

2. Related Work Specified Elsewhere: Furnishing attachments for other work placed in concrete, waterproofing.

3. Description: Concrete shall consist of Portland cement, fine and coarse aggregate, proportioned and mixed, reinforced, placed and finished as indicated and specified. Concrete strength + 4,000 P.S.I. @ 28 days. Max. slump = 5° footings and 6° for slabs any gode. Maximum slump for structural columns, beams and slabs shall be 4°. Transit mixed concrete per ASTM C-94.

J Portland cement - ASTM C-150

41. Pertiland cernent. – ASTM C-150
A2 Reinforcing steel – ASTM A-15
43. Pelatided wire fabric – ASTM A-15
43. Pelatided wire fabric – ASTM A-15
43. Pelatided wire fabric – ASTM A-15
44. Coarse aggregate shall be colon arushed stane or natural gravel conforming to ASTM C-33, and not larger than
1/4 for slabs or 1 1/2° for foundations. Nacimum size for reinforcing steel or between reinforcing and forms.
45 Fine aggregate shall be worthed natural sand, without clay comment, of strong sharp particles.
46 Pictor shall be potable.
47 Accessaries shall be not dispead galvanized bar supports, etc. manufactured for use in concrete.

4.6 Noter shall be potable.
4.7 Accessories shall be het dipped galvanized bor supports, etc. manufactured for use in concrete.
4.8 Joint filler shall be pre-moded expansion joint filler, 1/2¹ thick, unless otherwise stated on the drawings, exphalt impregrated fibers conforming to ASTM D-994.

5.1 Material and workmanship shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318).
5.2 Do not use deteriorated or damaged material for concrete.
5.3 No admixtures shall be used without prior approval of the Architect.
5.4 Technically vinited all concrete in place with experienced workmen.

5.5 Cure slabs with an approved liquid curing compound and sealing agent, applied in accordance with the

5.5 OVE stars with an approved liquid criming compound and sealing agent, applied in accordance with the manufacturer's recommendation of pours shall be so shoulded and completed so that no unsets structural conditions or unslightly finish will result. Schoduling and location of pours shall be brought to the attention of the Architect, at least 24 hours prior to placing concrete. Inspection of reinfecting in place, forms, compacted base, etc., will be made by the Architect prior any concrete pour. No concrete shall be poured without the Architect's inspection and approval.

5.6.I Soffit beams shall be as shown and detailed on Drawings. Pare bottom portion prior to setting precost concrete floor joiets. After joists are in place, pour upper portion of soffit beam at the same time the floor slob is poured. At the Contractor's option, the bottom soffit beams may be precast if wilde x 9 1/27 deep beams at interior locations and 14° x 9 1/27 deep soffit beams at exterior perimeter locations. All beams shall be installed per manufacturer's procommendation.

nearing locations and 18 % 10.2 deep sorth occurs as exercise particles reconstructions. On the commendations, 5.7 Concrete shall be delivered to the place of pouring by trucks or carts and poured through troughs or chutes.

5.8 Familishing and placement of reinforcing steet shall comply with current ACI standards. Reinforcing steet shall be avoided.

5.8 Familishing and placement of reinforcing steet shall comply with current ACI standards. Reinforcing steet shall be accurately placed in accordance with related drawings and security tled in its precise position at all points where the bars arose so as to preclude shifting during the placing of concrete. Bars shall be deformed in accordance with ASTM

A-305.

5.9 Precast-prestressed concrete floor joists where shown on Drawings to be 8.1 (8" deep) as manufactured by

Structural Prestressed Industries, Inc.; phane (305) 556-6699.

5.10 Where so indicated on the drawings, provide a moisture barrier consisting of:
a. Four inches of clean dry sand, evenly spread as a cushion.
b. "Visqueen" or egoid 6 mill thick plastic sheathing, with all joints taped and seeded.
c. Two inches of clean dry sand, evenly spread on top of the installed plastic electhric

6. Concrete Finishes:
6.1 Finished floor slab surfaces shall be plane surfaces as shown on the drawings. Where drains occur slope floor evenly to drains.
6.2 Interior slabs shall be screeded with a straight edge, floated to the required level, and steel troweled to a smooth hard finish. Exterior slabs shall be brown finished.
6.3 Concrete Floors shall be checked for tremess with an 8 foot straight edge. Any deviation from the line of the straight edge by more than 1/4" shall be repaired in a manner satisfactory to the Architect.

7. After construction is completed, thoroughly clean all exposed floors with soap and water.

8. Control joints shall be formed as indicated on drawings, or formed with metal keyway to remain in the slab. 9. Precost, prestressed floor joints

DIVISION 4 - MASONRY

1. Scope: Farmish and install all labor, materials, equipment and service necessary to complete all masonry work as indicated on secretified

2. Related Work Specified Elsewhere: Masonry wall insulating fill, face caulking of control joints.

3. Materials: Concrete masonry units shall conform to ASTM C-90, Grade U-1, F' m = 1350 P.S.I.

3.I Masonry units shall be 8' x 8' x 16' hollow unit masonry, 16' x 8' x 16' column block, and as shown on the

drawings.
3.2 Trussed or ladder type horizontal joint reinforcement equal to Dur-O-Hall.
3.3 Mortor shall be type 5, 1800 P.S.I. minimum compressive strength.

3.5 instant shall be type 5, 1800 P.S.I. minimum compressive strength.

4. Construction and Markmonship:
4.1 The work shall be slove by experienced mechanics, skilled in their trade, in a first class manner.
4.2 The Contractor is flower population for against a substantial part of the compression of the specifications. He shall correct different shall be supposed to the Architect.
4.3 Transport and hardied all mesorry units in such morner respected white highers and breakage. Protect all mesorry from inclement weather effects and beary and innecessary traffic protection of the shall be a foliated or otherwise defectative units in the wall where expected to view. Remove and replace defective units, whether defective, chipped, or broken before or after setting.
4.5 All joint shall be as included and drawings, straight, true, and uniform in thisdness to course vertically to 8°.
4.6 All mesorry shall be running band unless indicated otherwise.
4.7 Provide all openings in mesorry walls where registed or indicated. Build in all items as required for a complete job; including (but not limited to) reinforcing steel, boths, anchors, conduits and piping.
4.9 Install herizontal joint reinforcement in well joints at 15° on center vertically.

DIVISION 5 - STRUCTURAL AND MISCELLANEOUS STEEL:

1. Scope: Furnish and install all steel lintels, clip angles, anchor boilts and other steel litems as indicated on drawings

2. Related Work Specified Elsewhere: Reinforcing Ster

3. General Requirements:
3.1 Structural Steel - ASTM A-36
3.2 Structural Bolt - ASTM A-36
3.2 Structural Bolt - ASTM A-305
3.3 Anchor Bolts - ASTM A-307
3.4 Any ueding shall be performed by certified welders.
3.5 All steel items shall be fort dip galavanized, prior to delivery to the site, or stainless steel.
3.5 All steel stems shall be properly diginad, planno, level and true, and shall be in the precise location as indicated on the

DIVISION 6 - CARPENTRY AND MILLMORK:

1. Scope: All rough and firitin carpentry work and milliwork as indicated an drawings and specified. The installation of all rough and firitin hardware, shelving and trim, hangers and all material necessary to complete all the firaming and finish work as shown. Install all blocking, firestops, backing, bridging, etc., for the proper installation of all applied items.

2. Related Work Specified Elsewhere: Toilet room accessories, specialties, finishes.

2. Related Work Specified Elsewhere: Toilet room accessories, specialties, finishes.

3. Intetralis:
3. Protection against decay and termities: All wood in this section shall be a naturally durable species resistant to termities or pressure treated. Even when not specifically indicated on the drawings, all framing lumber, sheething, facalos, cosings, and any other lumber used on the exterior of the building shall be pressure treated an naturally decay resistant. Lumber used for framing, plates, etc., on the interior shall also meet this requirement.

3.1 Air dry of all dimension and board lumber to machinum IRV moisture content. All lumber to bear association mark, grade, and mill mark per NCLB rules.

3.2 All ploits, cupola and domerner rafters, ledgers and beams to be pressure treated Southern yellow pine #I dense. All repetitive framing members and joints shall be minimum 1200 P.S.I. stress graded lumber, ofter pressure treated.

3.1 Since in roof rafters and beams where shoun shall be minimum 1200 P.S.I. stress graded lumber, ofter pressure treated.

3.5 Statis ploiting and Pic CDP. P.T. (Under shound) in manufertured by Truss-Nielt Haarillan. Nicrolan members to be pressure treated.

3.5 Statis ploiting and Pic CDP. P.T. (Under standard stings), 3.44 CDP. P.T. (Under stucco)

3.6 Roof sheathing 3.74 C-DX exterior APA P.T. plywood, 3.6 Roof sheathing 3.74 C-DX exterior APA P.T. plywood.

3.7 Siding #2 pine 1/2" x x x y pressure treated and kind rided.

3.8 Exterior trim: 5.74 P.T. Southern Yellow Pine, unless otherwise noted.

3.9 Interior trim: clear for or a called for on the drawings noted.

3.10 Shelving may be 3.74 sylvacod with a 1/8" x 3/4" hardwood glued and noiled to ends and edges exposed to view with a 1/8" x 3/4" hardwood glued and noiled to ends and edges exposed to view with a 1/8" x 3/4" hardwood glued and noiled to ends and edges exposed to view with a 1/8" x 3/4" hardwood glued and noiled to ends and edges exposed to view with a 1/8" x 3/4" hardwood glued and noiled to ends and edges expose

4. Construction and Merkmanship:

4. Construction and Merkmanship:
4.1 All work shall be braced, plumbed and leveled. All joints shall be true and tight. A sufficient number of nails, sereus, and boths shall be used to insure the rigidity of the construction.

4.2 All milliwark shall be carefully erected with tight fitting joints, carefully cut and secured. Exposed nails shall be set and puttled. All work shall be throughly cleaned and sanded to receive finish.

4.3 All corpentry work shall conform to Chapter 17 of the Standard Bolling Code, latest edition.

4.4 Provide grounds, stripping, farring, etc., to receive finish maderials as regired.

4.5 Provide Arbaniga es all blocking at center line of all firming members over eight feet in length.

4.6 Install all plywood with edges over framing members. Nail plywood siding at 6° O.C. at edges and 12° O.C. at intermediate framing members. Stagger plywood joints.

DIVISION 7 - MOISTURE PROTECTION
1. Scope: Roofing, sheet metal, caulking, insulation.

2. Related Work Specified Elsewhere: Concrete, masonry, filling and backfilling, doors and windows

Materials:
 If the Contractor shall submit samples of materials for approval to the Architect as called for.

3.2 All materials shall be delivered bearing the maulicularies name and brand.
3.3 All single ply mentioner profing shall be of the same manufacturer's Single ply roof shall be as manufactured by Fibertite, or equal single-ply membrane, with a minimum 10 year warranty.
3.4 All flashing, counter-flashing, reglets, etc., shall be galvalume with factory applied point, or stainless steel where shown on drawings. All flashing, drips, etc., as detailed.

3.5 Subgrade waterproofing shall be black asphaltic emulsion painted onto walls, two coats minimum, as shown on

drawings.

3.6 Casilising or scalant shall be DAP Gold Label Butyl-Flex casilising compound or egoal. In no case shall casilising or scalant, be less than is required for its intended use. Submit manufacturer's data to the Architect when requested. Colors to method adjacent construction.

3.7 Both insulation shall be minimum R-19 (or as called for in the drawings) at ceilings and R-11 at walls or minimum R-19.

3.7 Batt hesistain shall be minimum R-19 (or as called for in the drawings) at ceilings and R-II at walls or vertical planes (except as shown on Drawings). Mosarry fill insolation, when reagined, shall be Vermicultie, Perlite, or equit Jim. R-5. All Batt insulations shall have a vapor barrier on one side, applied to the room side of unais or ceilings. Rigid insulation shall be equal to: Celotex Brand Polylacopramatic closed cell from insul with aluminum toil facing on one side. Thickness as called for an drawings.

3.8 All I'v' arring metal reofing shall be 26' wide panels for placement 24' O.C., with "galvature" coating, 26 gauge steel with a 5-V profile. Place reofing over a membrane complying with ASTM D 2626, Type I, 30 ib. Provide all accessories: galvanized clips, anchors and other materials required for a complete and weather-tight installation. Miner Pletal reofing is shown on the drawings "to motch existing", furnish a sample of the proposed product to the Architect for approval.

product to the Architect for approval.

3.9 Nihrer metal shingle roofing is called for, provide "Galvalume" shingles, 30 gauge minimum with patterns as selected by the Architect.

elected by the Architect. 3.10 Where modified bituminous or "built-up" roofing is called for or otherwise required, use siplost 2030 CBH system

3.10 Niere modified bituminous or "built-up" roofing is called for or otherwise required, use siplast 2030 CBH system or approved each of the control of the

5. General Requirements:5.1 Furnish and install all work for this section as indicated.5.2 Furnish and install flashing wherever indicated on drawings and wherever required to maintain the integrity of the

roof.

5.3 Firmish and install caulking wherever indicated and as required for weather tight seal,
5.4 After completing the roofing installation, the roofing and sheet metal contractor shall remove all excess
materials and all trash and debris caused by his work.
5.5 The roofing subcontractor shall inspect all unork in place for compatibility with specified roofing systems and
materials, and for any defects of the deck, and state his findings to the Architect.
5.6 Roofing systems shall use the products of the same manufacturer unless specifically allowed by the roofing
manufacturer in writing.

DIVISION & - DOORS, HINDOMS AND GLAZING, HARDMARE

1. Scope: Furnish and install all doors, windows, glass and glasting, hardware, frames and miscellaneous items as required for a complete project, os indicated and rawings, specified or otherwise necessitated by the work.

2 Related Work Specified elsewhere: Cavillina

Doors and Frames:
 Head doors shall be hollow core, or solid core, or panel, as indicated on drawings, of sizes and types us

indicated frames shall be pine or Douglas fir, appearance grade, as detailed.

3.2 blood frames shall be pine or Douglas fir, appearance grade, as detailed.

3.3 blollou metal doors and frames shall be the product of one manufacturer, or gauges sufficient for its intended use with all components hat dip galvanized.

4. Piriobus

4. All unindows in exterior wells to be as shown on the window schedule. All windows to be wood units, manifectured by Plavin Nindows and Doors, types as shown.

4.1 Finish All windows to hear foctory applied primer on activative and interior. Point as per Division 9-Finishes.

4.1.2 Finish All windows, accept as related fibergless screene in alternium frame with white finish.

4.1.3 Gainary, All windows, accept as rebunn, shall be furnished with deer single glazing. Nindows IP to be furnished with clear impact resistant glazing.

4.2 Roof windows, where shown on Drawings, shall be "Velue", Style FSII2.

4.2.1 Finish Finish shall be standard Kynar 500 resis finish.

4.2.2 Glazing Standard deer, temperal, insulating glass.

4.2.3 Finisher Frevide 22 Gauge Type ENL Cambri-Risching.

5. Glass and Glazing:
5.1 All Fixed glass frames shall be as detailed.
5.2 All Fixed glass frames shall be as indicated an drawings, 1/4" min., to withstand impact and wind loads shown on the drawings, but in no cone less than required by code.
5.3 Chapter 24 of the Florida Building Code, 2001 edition, shall be the minimum requirement for glass and glazing.
6.5 All Fixed Superiories between drawings, specifications, or the code appear, the Contractor shall adhere to the most

Where discrepancies between drawings, specifications, or the code appear, the Contractor shall adhere to the most stringent regiments.

5.4 Chapter 16 of the Finda Bullding Code, 2001 edition, shall be the governing standard for wind and immost loading of glass, glading and all related components. Where discrepancies between drawings, specifications, or the code appear, the contractor shall adhere to the most stringent regimenent.

5.5 Impact resistant glading may be laminated glass or lexan, unless specifically detailed or otherwise required by other provisions or the documents.

6. Finish Hardware

6. Finish Hardware.
6. I Provide hardware in all cases adequate for the service to which it will be subjected in the course of normal wage. Unless otherwise noted herein, all locks shall be keyed as directed by the Quner.
6.2 Submit comples of hardware inferies to the Architect for selection when requested in the drawings.
6.3 in the obserce of a hardware schedule, the Contract shall include a bid allowance for the purchase of hardware learns of for all openings.
6.4 Install all hardware and related items required for a complete and functioning system.
6.5 For each of the regimed items of finish hardware, provide from the specified manufacturer or from one of the indicated acceptable substitutes.

Stanley, Taco, National McKinney or Equal Schlage None Norton Sargent LON or Norton S Rixson None Sargent Von Duprin Pernko Reese B Duilders Brass Trimco, Ives

Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

General Requirements:
 1. Provide P.T. wood thresholds for exterior doors, as detailed, or premanufactured units when hardware schedules.

7.1 Provise F.1. used urrestations for execute account of the provision of

glass.
7.4 Protect all aluminum frames and glass from damage. The general Contractor shall be responsible for the removal of protective materials and cleaning with water, or water with soap or household detergent. The general Contractor shall be held responsible for damage resulting from use of other cleaning materials. Finish Hardware Schedule:
 A. Finnish the hardware groups in the amounts indicated on the drawings.

DIVISION 9 - FINISHES 1. Scope: Furnish and install all gypsum drywoll at partitions and ceilings, pointing and ceramic tile as indicated an drawings or specified.

2. Related Work Specified Elsewhere: Carpentry, Plastic Laminate

2. Related Work Specified Elsewhere: Carpentry, Plastic Laminate
3. Materials, Construction and Workmanship.
3.1 Gypsum board shall be 5/8\* type "V" toped and finished. Gypsum board shall have finish facing to receive point.
3.1.1 Gypsum board shall be 5/8\* type "V" toped and finished. Gypsum board shall have finish facing to receive point.
3.1.2 In court resistant agreement of the point of the control of th

3.2.6 All ceramic tile substrate shall be cementitious backer board, Wanderboard or equal.

3 Painting:
3.3.1.Nork covered in this section includes:

a. Paintina all interior surfaces as called for in the finish schedule

b. Painting all exterior clapboard, trim and soffits.
c. Painting all done, unindous and trim.
d. Frishing used flooring uith wethers finish.
e. Painting activaring uith a discussion of any other exposed metal surfaces.
f. Painting all interior milliwork.
g. Painting and finishing any other work reapiring finishing, but left unfinished by other people.
g. Painting and finishing any other work reapiring finishing, but left unfinished by other people.
g. Painting and finishing any other work reapiring finishing, but left unfinished by other people.
g. Painting and finishing any other work reapiring finishing, but left unfinished by other people.
g. Painting and finishing any other work reapiring. Drum-Edwards, Deer-O, or Pittsburgh Paints. Subjects on armadiscured by Orlympic, U.S. Pipused and Modellite.
g. J. Plant as reapired, lay drop cloths, and generally protect all adjacent surfaces. Properly protect or remove light finitives. Indiance, etc., during painting.

Topcoat (2) Coats. Eggshell finish: Regal Aquavelvet Latex (319). Semi-gloss finish: Regal Aquaglow (333).

3.3.3 Mask as required, toy drop cloths, and generally protect all adjacent surfaces. Proprietures, hardware, etc., during printing.
3.3.4 Finish tops, bottoms and edges of doors the same as door faces.
3.3.5 Interior is or painting and finishing are based on products of the Benjamin Moore Co Exterior trim 4 wood siding to be painted:
Primer (1) Cool Moore's Latex Exterior Primer (102)
Topocats (2) Cools Mooregiou Latex House and Trim Point (096) Exterior trim \$ wood siding to be stained:
Solid (2) Coats Moorewood Vinyl-Acrylic Latex Stain (089)

erni-Transparent (2) Coats Moorewood Semitransparent stain and wood preservative. (081)

Interior Drywall:
Primer (1) Coat Moore's QD Primeseal (201-00)

Interior millwork (to be painted): Primer (1) Coat, Moore's alkyd enamel underbody (217-00) Topcoat (2) Coats. Impervo high gloss enamel (133)

Interior Wood flooring: Stain Benuood polyurethane (flat: 424, Low luster: 435, gloss: 428)

Exterior Stucco: Primer (1) Coat Moorcraft ext. Block Filler (173-01) Topcoats (2) Coats Mooreglow Latex House and Trim Paint (096)

Golvanized metal: Ospho treatment Primer invocald Retard-x Rust inhibitive primer (162) Topcoot (2) Coote Mooreglow Latex House and Trim Paint (0%)

3.3.6 Undercosts and Thinners:
 1. Provide undercost point produced by the same manifacturer and use only as the finish paint.
 2. Use only the thinners recommended by the paint manufacturer and use only to the recommended limits.
 3. Insofar as practicable, use undercost, finish cost and thinner materials as parts of a unified system of paint finish.

3. Insofar as practicable, use undercost, finish cost and thinner moterials as parts of a unified system of point finish.
3.3.7 Acceptance of bases: The Pointing Contractor shall be responsible for the finish of his work and shall not start pointing until the surfaces are in proper condition to receive point. If the Contractor considers my surfaces unsatisfied to a degree that they cannot be corrected by scraping or sanding, he shall report this to the Architect or the Quere before applying and considerate on acceptance of the surfaces.
3.3.5 Preparation of surfaces: Prepare used surfaces by sealing all hosts with 60 30 host sealer. Putly nailholes, accuracts, and betainshes and sand rough arcas before applying accord acod or paint. Clean aily or greapy surfaces. Remove rust by scraping or sanding.
3.3.9 All surfaces to be painted must be free of dirt and dust before painting.
3.3.9 All surfaces to be painted must be free of dirt and dust before applying acceptance without runs. Colors shall be assetted by the Architect or the Quere, and shall conform to the approved sample.
3.3.1 Natifiates and imperfections shall be neathly puttied after the first cost. Putty shall be colored to match the color of the surface to which it is applied.
3.3.2 Enzymels, vernishes and exterior oil points shall be allowed to dry at least 48 hours between costs. Interior points shall be applied in the following number of costs:
(See scholde dowe)

3-3.15 Fairs stall be apprised in the following instruct or course:
(See schedule dovice)
3.3.14 Unitaries shall be applied in the following manner:
Wood flooring - Stain (color to be approved by Quiner)
Scaler and three coats of unitaries.

3.4 Vinyl Tile: (when called for on the drawings)
3.41 Vinyl tile shall be Kentile Architectural Series, 12\* x 12\* x 17\*, or equal. Color as selected by the Architect.
Solvmit samples for approof. Approved equal manufacturers for vinyl tile are: Arrock Floor Products, Congoleum,
Flinkote, GAF or Armstrong.
3.42 When called for on the drawings, rubber base shall be 4' high, color as selected by the Architect.
3.43 All tile shall be installed in accordance with the manufacturer's recommendations, using an adhesive recommen
for the particular liour condition.
3.44 After the floor is laid and prior to final acceptance, the floor shall be cleaned, waxed and machine buffed.

3.5.1 Compets to select the compet where shown on the Room Finish Schedule. 3.5.2 Include a Unit Price Allowance in the Contract of \$28/ square yard. 3.6. Acoustic title ceilines.

3.6 Acoustic tite ceilings.
3.6.1 Firmish and install acoustic tile ceiling systems as indicated on the drawings.
3.6.2 Install all systems in strict compliance with the manufacturers printed recommendations.
DISION 10 - SPECIALTIES
1. Scope: Furnish and install all toilet room accessories, hardware, etc., as indicated or specified.

2. Related Work Specified Elsewhere: Carpentry, Gypsum Drywall, Tile

Noterials:
 Total room accessories shall be as called for an the drawings. When such items are not shown, they shall be familiated by the Currer and installed by the Centractor.

DIVISION IS - MECHANICAL AND PLUMBING Scope: Furnish all labor, materials, tools, transportation, services, etc., as required for complete installation of all mechanical and plumbing work as indicated an drawings, specified or otherwise necessitated by the work, for the

1. Soppe: Firmish all lower, moterials, tools, transportation, services, etc., as required for complete installation of all mechanical and plumbles, moterials, tools, transportation, services, etc., as required for complete installation of all mechanical and plumbles, and plumbles of the project of the complete in of the project of the complete in of the project o

DIVISION IO - ELECTRICA.

1. Scope: Firmish, install and connect complete electrical systems as shown on the drawings, specified or otherwise nocessitated by the work, clustering, but not necessarily limited to: electrical service entrance and metering, complete electric distribution systems for lighting the content of the systems and the systems of the systems of the systems of the systems of the systems. Proceedings of the systems of t

4.General Requirements:
4.1 All outlets shall be grounded
4.2 All work shall be concealed 4.General Requi

All granuling shall be in accordance with the National Electric Code.

Lighting fixtures, capipment, etc., shall be as scheduled or otherwise indicated on the drawings.

The Contractor shall guarantee the entire installation (except large) for a period of one (1) year from the date of

4.5 The Contractor shall garantee the entire installation (except lamps) for a period of one (1) year from the open or final acceptance.

4.6 Internals and eguipment shall comply with the applicable current standards of Underwriters Laboratories Inc.: Pareles Sagare 10 or eguip panels with right enclosure when used outdoors.

Romes 12-2 with ground and plastic fiberglass bases are permitted, inless otherwise specified on the drawings. Feeders to be (2) 100 THM W (1) THM in 2' conduit.

Conduit to be P.V.C. provide stub only.

Wiring devices shall be Laviton, residential grade white, or approved equal.

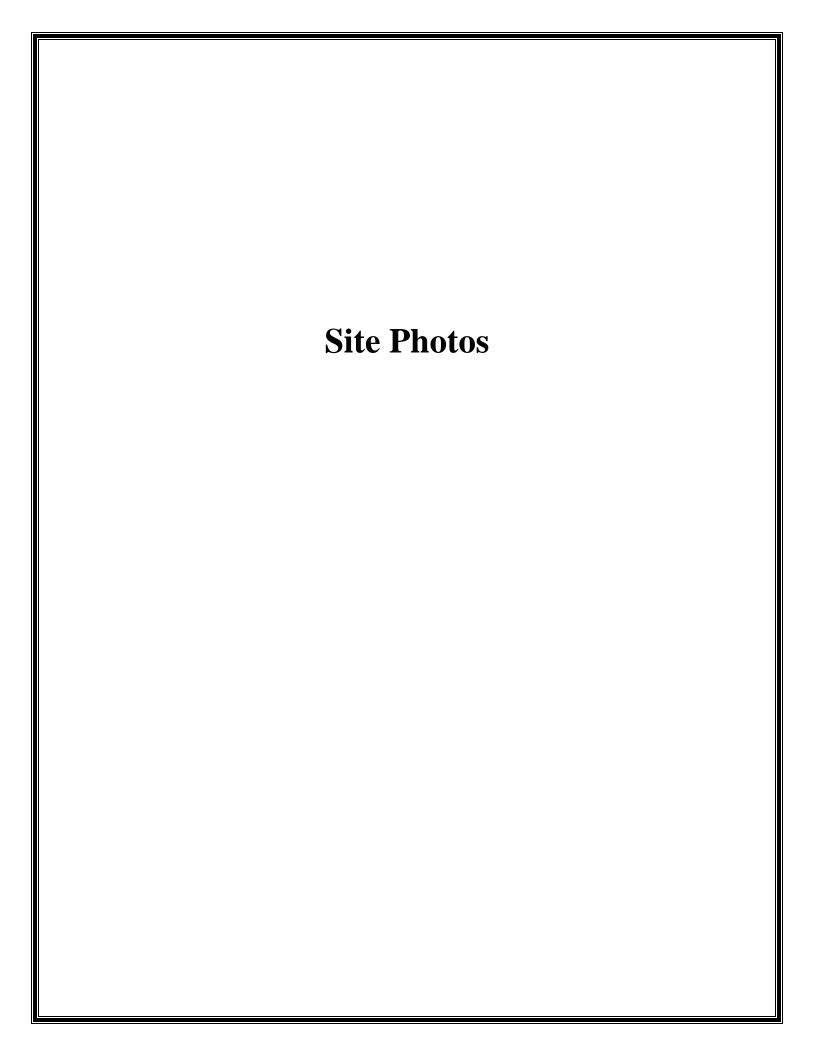
4.7 Contractor shall Furnish lighting fistures and firms in Contract, as called for on the fixture schedule shown on the Drawings. In the obserce of a fixture schedule, fixtures will be as selected by the Guner and paid by the Ouner as a negatified extra to the Contract. The Contractor is the Contractor of the Contract

CTION SIDEN ONSTRU RE S ZIS U. NEW 617 GRINNELL J ≱⊞ 0 2 ΑH U ZH H L L I A ARCHI 321 PEACON 305 296 3784 1730

DATE 10.10.07

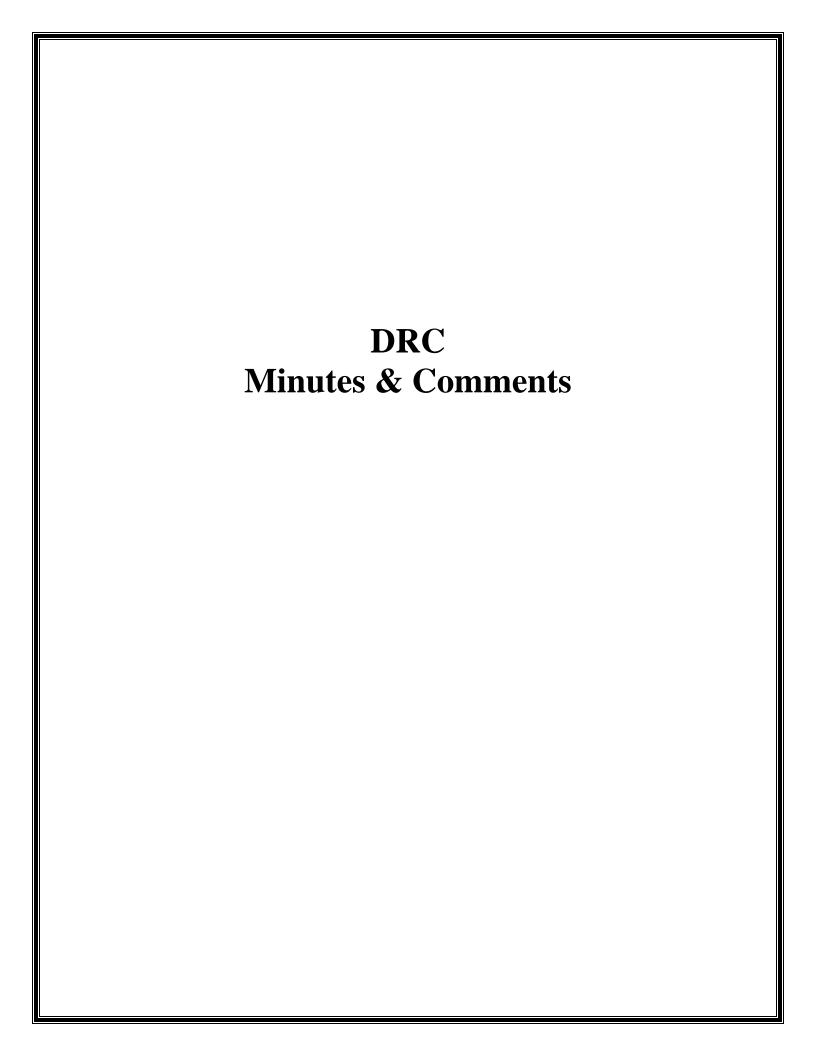
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## Minutes of the Development Review Committee

## Approved April 24, 2014

Ms. DeMaria stated that the project has already been reviewed by the Tree Commission for removal of trees and clearing of upland areas of the property. Landscape plan must include all required replacements as per approved tree removal permit. Have no objections to requested landscape waiver (108-413) due to required wetland conservation easement.

#### **POLICE DEPARTMENT:**

No comments.

#### HARC PLANNER:

No comments.

#### PLANNING DIRECTOR:

Mr. Craig stated prior to going to Planning Board, that the applicant have their engineer verify and certify that there will be no traffic interference with the flow of traffic on Flagler Ave. Mr. Craig wanted to make the applicant aware of some of the issues concerning the dock.

#### **ENGINEERING:**

Ms. Ignaffo stated that the survey shows disturbed salt marsh wetlands along the Flagler Avenue property line, in an area designated for the proposed stormwater management system and landscape planting. Impacting wetland areas will require a permitted wetland mitigation plan, or possibly obtain transfer of permit authorization from SFWMD. Alternately, proposed plans could be adjusted to accommodate the wetlands.

#### FIRE DEPARTMENT:

Mr. Barroso stated to maintain 5 ft. setbacks free & clear of any obstructions for accessibility. The Flagler St. emergency access gate if it remains emergency access only will need to be a minimum of 20 ft. If the emergency access gate becomes open for 2 way traffic for the residents, it will need to be wider than proposed. Applicant needs to have their engineer look at making a recommendation on the final dimensions.

3. Variance – 617 Grinnell Street (RE # 00010940-000000; AK # 1011231) – A request for variances to minimum front and side-yard setbacks in order to renovate an existing building on property located within the HHDR zoning district pursuant to Section 122-630(6)a.&b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Mr. Cunningham gave members an overview of the variance request.

The applicant, Mr. Marty Higgins gave members an overview of the variance request

#### **DRC Member Comments:**

#### **ART IN PUBLIC PLACES:**

No comments.

#### **URBAN FORESTRY MANAGER:**

## Minutes of the Development Review Committee

## Approved April 24, 2014

Ms. DeMaria reminded property owners of the requirement to protect any trees near and within the project area during construction/demolition. Trees located within the work area that may need to be removed or trimmed may require permits from the Tree Commission.

#### POLICE DEPARTMENT:

No comments.

#### HARC PLANNER:

Ms. Torregrosa stated that this project already went in front of HARC; approved in September of 2012. She explained the HARC approval time length and if the two years expires before building permits are pulled, an extension would be required.

#### PLANNING DIRECTOR:

Mr. Craig stated that it may be necessary to amend the original easement to recognize the removal of the larger encroachment. It would need to be discussed with staff and legal.

#### **ENGINEERING:**

No comments.

#### FIRE DEPARTMENT:

Mr. Barroso stated that the owner is cleaning up an existing setback problem with the side setback. Providing an improvement for accessibility for emergency responders

Will need to maintain proposed new setbacks throughout the property free & clear of any obstructions as per plans. No other fire concerns at this time.

4. Transient License Transfer - 807 Washington Street, Unit 102 (RE#00037807-000102; AK#9090034) to 1224 Duval Street (RE#00028970-000000; AK#1029751) — A request for a Transient License Transfer of one license from property located in the HMDR zoning district to property located in the HRCC-3 zoning district per Section 122-1339 (b) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Mr. Cunningham gave members an overview of the transient license transfer request.

The applicant, Mr. Patrick Flanigan of Smith Oropeza, P.L. gave members an overview of the transient license transfer request

#### **DRC Member Comments:**

#### **ART IN PUBLIC PLACES:**

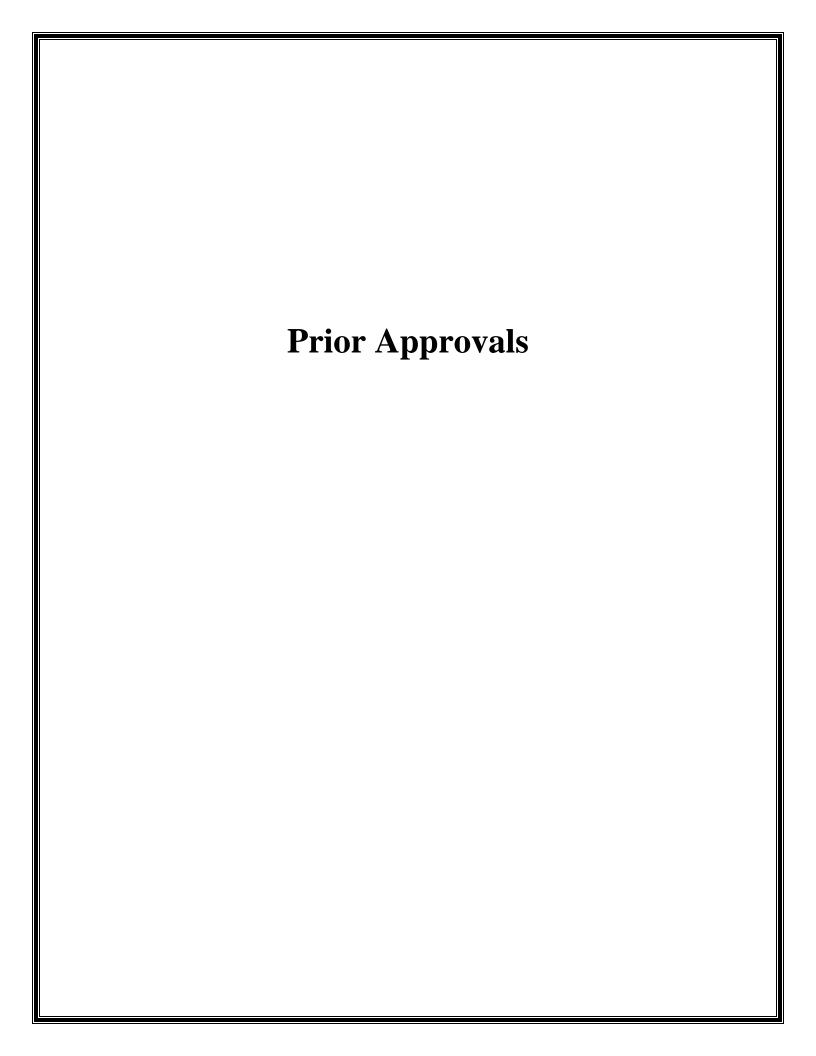
No comments.

#### **URBAN FORESTRY MANAGER:**

No comments.

#### **POLICE DEPARTMENT:**

No comments.



#### ADDRESS: 617 GRINNELL STREET

RESOLUTION NO. \_\_\_\_\_08-133

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF KEY WEST, FLORIDA, GRANTING AN EASEMENT TO MARTIN E. HIGGINS AND KAREN L. SCHULTZ FOR ENCROACHMENTS UPON CITY PROPERTY ADJACENT TO THE PROPERTY LOCATED AT 617 GRINNELL STREET; PROVIDING FOR AN EFFECTIVE DATE

\$1000.00

BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF KEY WEST, FLORIDA, AS FOLLOWS:

<u>Section 1</u>: That easements are hereby granted in accordance with the attached Easement Agreement.

Section 2: That this Resolution shall go into effect immediately upon its passage and adoption and authentication by the signature of the presiding officer and the Clerk of the Commission.

Passed and adopted by the City Commission at a meeting held this \_\_\_\_\_ day of \_\_\_\_\_, 2008.

Authenticated by the presiding officer and Clerk of the Commission on  $_{\underline{\phantom{0}}}$  , 2008.

Filed with the Clerk May 7, 2008

MORGAN MCPHERSON, MAYOR

ATTEST:

CHERYL SMITH( CITY CLERK

## EASEMENT AGREEMENT

Prepared by: City of Key West Clerk's Office 525 Angela Street Key West, FL 33040

THIS AGREEMENT made this <u>06th</u> day of <u>May</u>, 2008, between the City of Key West, Florida (hereinafter Grantor) and Martin E. Higgins and Karen L. Schultz, owners of property located at 617 Grinnell Street (hereinafter the Grantee).

#### RECITALS

Grantee is owner of the property known as 617 Grinnell Street, Key West, Florida, including a building that encroaches onto the Grantor's right-of-way. Specifically, the Grantee's residential building encroaches for a length of approximately 37 feet, and a width of 2 feet, and the rear building at the left side of the property encroaches for a length of 9.83 feet in length by 1.24 feet onto a 10-feet-wide public alleyway, according to a survey by J. Lynn O'Flynn, Inc. dated February 7, 2008, (copy attached hereto). This encroachment impedes marketability of the property.

## I. CONVEYANCE OF EASEMENT

The Grantor hereby agrees to grant and convey to Grantee an easement for building encroachments, at the property located at 617 Grinnell Street, as more specifically described in the attached survey. The easement shall pertain to the building encroachments herein described, and not to any other encroachment. The grant of

this easement is conditioned upon the following: (1) Grantee shall demonstrate to the Grantor's Chief Building Official and Fire Marshal, as required, that gutters and any other building safety requirements including egress are being met, and that fire safety requirements are being met; and (2) there shall be no additional construction related to this encroachment.

#### II. CONSIDERATION

Grantee agrees to pay to Grantor a processing fee in the amount of \$1,000.00, together with all sums and fees for city sewer, city garbage, if unpaid; otherwise to promptly bring the property and all uses thereof into full compliance with all city and state laws and regulations, if it is not now in full compliance. Grantee further agrees to pay Grantor an annual rental fee for this easement in the total amount of \$300.00, payable annually on the anniversary date of the execution of this Easement Agreement, to the City of Key West. Failure to pay such rental shall constitute grounds for the Grantor to terminate the easement.

## III. EASEMENT TERMINATION

Grantee agrees that the improvement located on the Easement shall not be enlarged or expanded.

Grantee shall have the right to repair, maintain and replace the improvement in the ordinary course of maintenance and/or in the event the improvement is destroyed by fire, hurricane or other such cause. In the event Grantor determines that retaking this property is necessary for a public purpose, then Grantor may terminate this easement and reclaim the property without compensation to Grantee.

This easement shall be considered a covenant that runs with the land and shall be binding upon and inure to the benefit of the parties hereto, their heirs, successors and assigns.

IN WITNESS WHEREOF, the parties have executed this easement the date above written.

ATTEST:	CITY OF KEY WEST
Cheryl SMITH CITY CLERK	JAMES K. SCHOLL, CITY MANAGER
STATE OF FLORIDA ) COUNTY OF MONROE )	
of the City of Key West or	ent was acknowledged before me this 8 2008 by JAMES K. SCHOLL, City Manager n behalf of the City who is personally as produced
ANGELAM. BUDDE Commission DD 778811 Expires April 8, 2012 State the Thyrite increase descent vites	Notary Public State of Florida
.1	i seed of Liolida

My commission expires:  $\frac{4|8|2012}{}$ 

Martin E. Higgins

(e 2 Ludy

Karen L Schultz

Doc# 1699691 Bk# 2366 Pg# 2342

STATE OF FLORIDA COUNTY OF MONROE ) Pennsylvani ) Centr

The foregoing instrument was acknowledged before me this 19th day of \_\_\_\_\_\_\_\_\_, 2008, by Martin E. Higgins and Karen L. Schultz, who are personally known to me or who have produced \_\_\_\_\_\_\_\_ as identification.

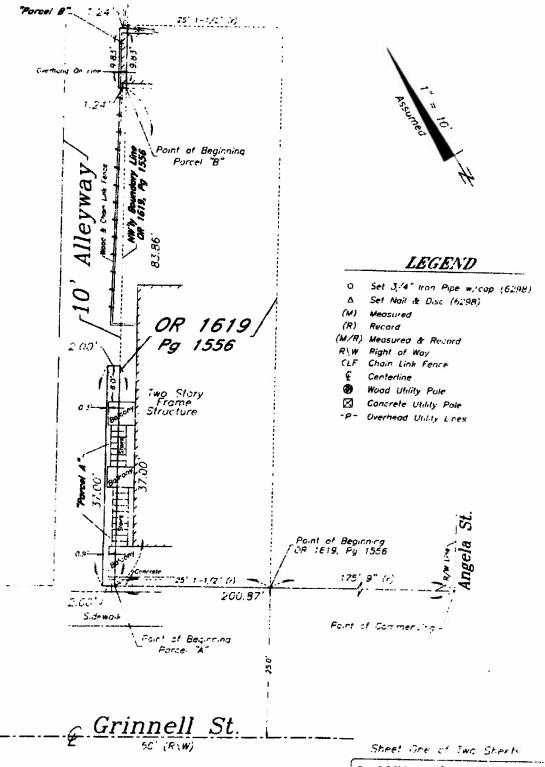
My commission expires: August 2, 2010

Notary Public
State of Florida Pennsufrance

NOTARIAL SEAL
JENNIFER L KITCHEN
Notary Public
BELLEFONTE BOROUGH, CENTRE COUNTY
My Commission Expires Aug 2, 2010

Bk# 23

Specific Purpose Survey Map to illustrate legal descriptions authored by the undersigned of part of Lots 3 \$ 4, Square 56, of Wm. A. Whitehead's map of the Island of Key West



NGTE: This Survey Map is not full and complete without the attached Survey Report J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
PSN 66288

## Specific Purpose Survey Map to illustrate legal descriptions authored by the undersigned of part of Lots 3 \$ 4, Square 56, of Wm. A. Whitehead's map of the Island of Key West

#### NOTES

The legal descriptions shown hereon were authored by the undersigned

Underground foundations and utilities were not located

3 All angles are 90" (Measured & Record) unless otherwise noted 4. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper

5 Lands shown hereon were not abstracted for rights-of-way, easements, ownership. or other instruments of record

6. North Arrow is assumed and based on the legal description

This survey is not assignable.

Date of field work Januray 24, 2008.

9. Ownership of fences is undeterminable, unless otherwise noted.

10 Adjoiners are not furnished.

11 The Survey Report is not full and complete without the attached Survey Map

DESCRIPTION: "PARCEL A" A parcel of land on the Island of Key West and designated on the map or plat of Key West as delineated by Wilham A. Whitehead in February, 1829, as part of lots numbered Three (3) and Four (4) in Square number Fifty-six (56), said parcel heing more particularly described my metes and bounds as follows: COMMENCE at the intersection of the NE'ly right of way line of Grinnell Street with the NW'ly right of way line of Angela Street and run thence NW'ly along the NE'ly right of way line of the said Grinnell Street for a distance of 200.87 feet to the Point of Beginning, said point being the SW'ly corner of lands described in Official Records Book 1619, Page 1556 as recorded in the Public Records of Monroe County, Florida, thence at right angles in a NE'ly direction along the NW'ly boundary line of the said lands described in Official Records Book 1619, Page 1556, for a distance of 37.00 feet, thence at right angles in a NW ly direction 2.00 feet, thence at right angles in a SW'ly direction 37 00 feet to the said NE'ly right of way line of Grinnell Street, thence at right angles in SE'ly direction along the said NE'ly right of way line of Grinnell Street for a distance of 2.00 feet back to the Point of Beginning

"PARCEL B" A parcel of land on the Island of Key West and designated on the map or plat of Key West as delineated by William A. Whitehead in February, 1829, as part of lots numbered Three (3) and Four (4) in Square number Fifty-six (56), and being more particularly described my metes and bounds as follows: COMMENCE at the intersection of the NE'ly right of way line Grinnell Street with the NW'ly right of way line of Angela Street and run thence NW'ly along the NE'ly right of way line of the said Grinnell Street for a distance of 200.87 feet, said point being the SW'ly corner of lands described in Official Records Book 1619, Page 1556 as recorded in the Public Records of Monroe County, Florida; thence at right angles in a NE'ly direction along the NW'ly boundary line of the said lands described Official Records Book 1619. Page 1556, for a distance of 83.86 feet to the SW'ly face of an overhung on an existing structure, said point being the Point of Beginning of the parcel of land being described herein; thence continue in a NE'ly direction along the NW'ly boundary line of the said lands described in Official Records Book 1819. Page 1556, for a distance of 9.83 feet to the NE'ly face of an overhang on the said existing structure, thence at right angles in a NW'ly direction along the NE'ly face said overhang for a distance of 1.24 feet to the NW ly corner of the said everhang, thence at right angles in a SW ly direction along the NW ly face of the said overhang for a distance of 9.83 feet to the SW'ly corner of the said overhang thence at right angles in a SE'ly direction along the SW'ly face of the said overhang for a distance of 124 feet back to the Point of Beginning

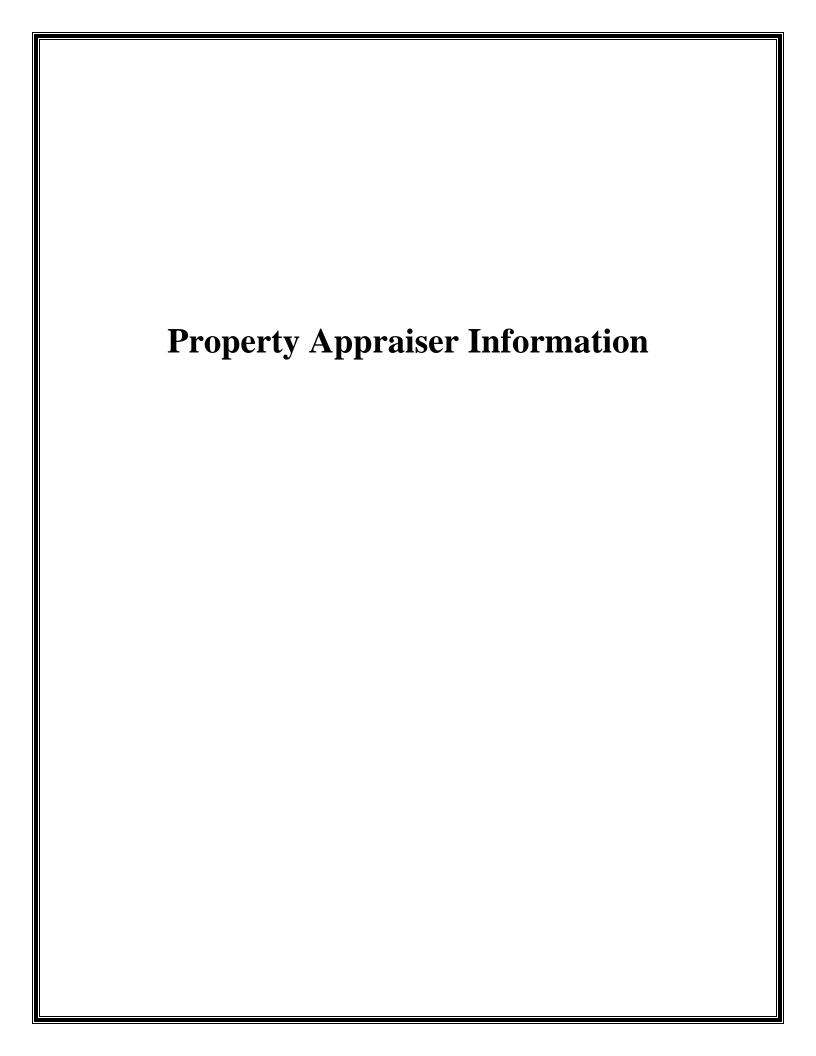
DESCRIPTION FOR: Martin Higgins & Karen Schultz,

LYNN O'FLYNN INC

Lynn O'Flynn, PSM Florida Reg #6298

Sheet Two of Two Shoots

February 7, 2008





Key West (305) 292-3420 Marathon (305) 289-2550 Plantation Key (305) 852-7130

# **Property Record Card -**

Website tested on IE8,

Maps are now launching the new map application version flash J투9. & Firefox. 10.3 or higher

**Alternate Key: 1011231 Parcel ID: 00010940-000000** 

## **Ownership Details**

Mailing Address:

HIGGINS MARTIN E 24 53RD ST

SEA ISLE CITY, NJ 08243-1644

All Owners:

HIGGINS MARTIN E , SCHULTZ KAREN L H/W

#### Property Details

PC Code: 08 - MULTI FAMILY LESS THAN 10UNITS

Millage Group: 10KW Affordable No Housing:

**Property** Location: 617 GRINNELL ST KEY WEST

Legal KW PT LOT 4 SQR 56 OR187-609/10 OR194-565/66 OR429-270/71 OR597-42 OR636-270 OR658-832 Description: OR759-1270Q OR894-1334 OR909-2381 OR1065-1530/31Q/C OR1065-1532/1533 OR1292-2151/52

OR1619-1554/56 OR2366-2338/2344(RES NO 08-133)



## **Land Details**

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	25	94	2,364.00 SF

## **Building Summary**

Number of Buildings: 1 Number of Commercial Buildings: 0 Total Living Area: 1426 Year Built: 1928

## **Building 1 Details**

Building Type R3 Condition G Quality Grade 550
Effective Age 25 Perimeter 238 Depreciation % 32
Year Built 1928 Special Arch 0 Grnd Floor Area 1,426
Functional Obs 0 Economic Obs 0

Inclusions: R3 includes 3 3-fixture baths and 3 kitchens.

Roof Type GABLE/HIP Roof Cover METAL Foundation WD CONC PADS
Heat 1 NONE Heat 2 NONE Bedrooms 3
Heat Src 1 NONE Heat Src 2 NONE

**Extra Features:** 

 2 Fix Bath
 0
 Vacuum
 0

 3 Fix Bath
 0
 Garbage Disposal
 0

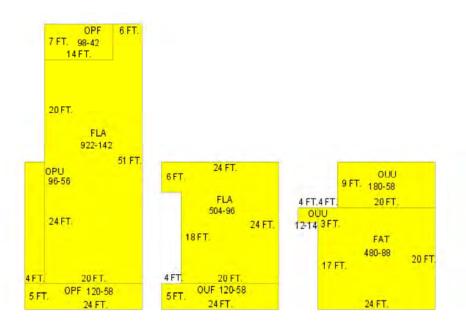
 4 Fix Bath
 0
 Compactor
 0

 5 Fix Bath
 0
 Security
 0

 6 Fix Bath
 0
 Intercom
 0

 7 Fix Bath
 0
 Fireplaces
 0

 Extra Fix
 3
 Dishwasher
 0



#### Sections:

Nbr Type		Ext Wall	# Stories	Year Built	Attic A/C		Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1990	N	N	0.00	0.00	922
2	OPF		1	1990	N	N	0.00	0.00	120
3	OPU		1	1990	Ν	Ν	0.00	0.00	96
4	OPF		1	1990	N	N	0.00	0.00	98

5	FLA	12:ABOVE AVERAGE WOOD	1	1990	N	N	0.00	0.00	504
6	OUF		1	1990	N	N	0.00	0.00	120
7	FAT	12:ABOVE AVERAGE WOOD	1	1990	N	N	0.00	0.00	480
8	OUU		1	1990	Ν	Ν	0.00	0.00	12
9	OUU		1	1990	Ν	N	0.00	0.00	180

## **Misc Improvement Details**

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
2	UB2:UTILITY BLDG	128 SF	0	0	1979	1980	3	50
3	CL2:CH LINK FENCE	196 SF	0	0	1964	1965	1	30

## **Appraiser Notes**

2014-05-02 IMPROVEMENT 100% DEMOLISHED.DKRAUSE

1995 DOR SALE PARCEL TPP AK-8809948.

OR2366-2338/2344(RES NO 08-133) EASEMENT FOR ENCROACHMENT ON CITY OF KEY WEST'S RIGHT OF WAY

## **Building Permits**

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
14- 0768	04/15/2014	05/02/2014	20,000		COMPLETE DEMO OF STRUCTURE, PURSUANT TO CBO DETERMINATION OF UNSAFE STRUCTURE, NO HARC APPROVAL
00- 0725	03/21/2000	07/26/2000	3,500	Residential	12 SQS V-CRIMP
02- 1434	06/03/2002	09/04/2002	3,200	Residential	NEW 200AMP SERVICE
03- 2044	06/16/2003	09/15/2003	2,450	Residential	REPAINTED EOTERIOR HOUSE
06- 4815	08/15/2006	10/04/2006	2,400	Residential	REPAIR 600SF OF ROTTED SIDING AND PAINT

## **Parcel Value History**

Certified Roll Values.

View Taxes for this Parcel.

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	174,693	1,161	156,577	332,431	289,517	0	332,431
2012	177,224	1,161	84,813	263,198	263,198	0	263,198
2011	177,224	1,161	117,433	295,818	290,867	0	295,818
2010	179,756	1,161	83,508	264,425	264,425	0	264,425
2009	200,316	1,212	235,723	437,251	437,251	0	437,251

2008	217,673	1,263	236,400	455,336	455,336	0	455,336
2007	252,119	1,064	390,060	643,243	643,243	0	643,243
2006	441,937	1,105	224,580	667,622	667,622	0	667,622
2005	461,799	1,146	177,300	640,245	640,245	0	640,245
2004	271,056	1,187	165,480	437,723	437,723	0	437,723
2003	237,986	1,228	82,740	321,954	321,954	0	321,954
2002	261,707	1,269	70,920	333,896	333,896	0	333,896
2001	225,267	1,310	70,920	297,497	297,497	0	297,497
2000	234,209	3,486	44,916	282,612	282,612	0	282,612
1999	237,525	10,745	44,916	293,186	293,186	0	293,186
1998	179,359	8,052	44,916	232,327	232,327	0	232,327
1997	162,675	7,527	40,188	210,390	210,390	0	210,390
1996	107,259	5,365	40,188	152,812	152,812	0	152,812
1995	97,725	4,938	40,188	142,851	142,851	0	142,851
1994	78,938	4,543	40,188	123,669	123,669	0	123,669
1993	83,465	4,670	40,188	128,322	128,322	0	128,322
1992	103,973	4,795	40,188	148,956	148,956	0	148,956
1991	103,973	4,921	40,188	149,083	149,083	0	149,083
1990	103,206	5,048	31,323	139,577	139,577	0	139,577
1989	93,824	4,704	30,732	129,260	129,260	0	129,260
1988	24,700	2,470	27,186	54,356	54,356	25,000	29,356
1987	24,391	2,470	16,193	43,054	43,054	25,000	18,054
1986	24,528	2,470	15,602	42,600	42,600	25,000	17,600
1985	23,784	2,470	9,565	35,819	35,819	25,000	10,819
1984	22,218	2,470	9,565	34,253	34,253	0	34,253
1983	22,218	2,470	9,565	34,253	34,253	25,000	9,253
1982	22,652	2,470	9,565	34,687	34,687	25,000	9,687

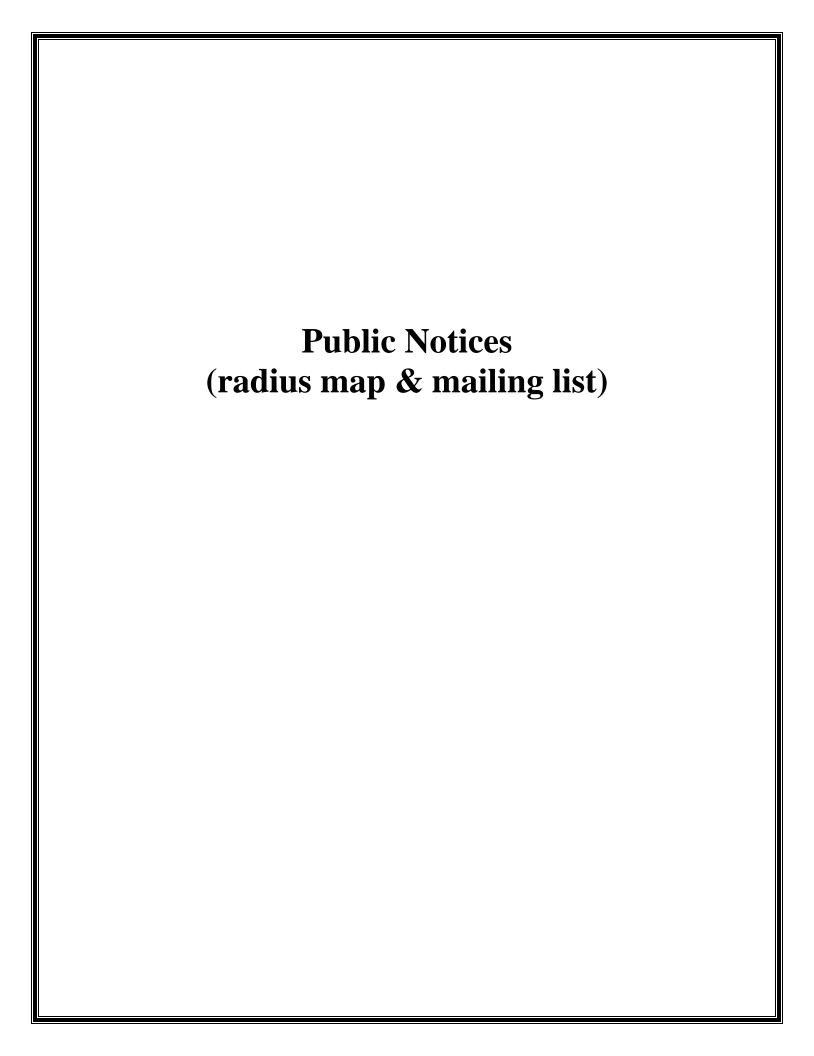
## **Parcel Sales History**

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
2/21/2000	1619 / 1554	335,000	WD	Q
2/1/1994	1292 / 2151	195,000	WD	Q
5/1/1988	1065 / 1532	150,000	WD	<u>Q</u>
2/1/1975	759 / 1270	13,500	00	Q.

This page has been visited 26,646 times.

Monroe County Monroe County Property Appraiser Scott P. Russell, CFA P.O. Box 1176 Key West, FL 33041-1176



The Key West Planning Board will hold a public hearing <u>at 6:00 PM on June 19, 2014 at Old City Hall, 510 Greene Street</u>, Key West, Florida, (behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Variance – 617 Grinnell Street (RE # 00010940-000000; AK # 1011231) – A request for variances to minimum front and side yard setbacks in order to renovate an existing building on property located within the Historic High Density Residential (HHDR) Zoning District pursuant to Section 122-630(6)a. & b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

The public may examine the application during regular office hours, Monday through Friday between 8:00 AM and 5:00 PM, at the City of Key West Planning Department, located in Habana Plaza at 3140 Flagler Avenue. The application may also be examined online at www.keywestcity.com. Written responses must be submitted before the hearing to the contact person below.

**Contact:** Brendon Cunningham, Senior Planner II, bcunning@keywestcity.com; 305-809-3724 Planning Department: Fax: 305-809-3978; Mail: PO Box 1409, Key West FL 33041-1409

THIS NOTICE CANNOT BE REMOVED FROM THE SITE UNTIL AFTER PLANNING BOARD DETERMINATION.

#### YOU ARE A PROPERTY OWNER WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will hold a Public Hearing to consider the following request:

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Applicant: Martin E. Higgins & Karen L. Schultz Owner: Martin E. Higgins & Karen L. Schultz

**Project Locations:** 617 Grinnell Street (RE # 00010940-000000; AK # 1011231)

**Date of Hearing:** Thursday, June 19, 2014 **Time of Hearing:** 6:00 PM

**Location of Hearing:** Old City Hall, 510 Greene Street, City Commission Chambers

Interested parties may appear at the public hearing and be heard with respect to the application. Packets can be viewed online, the Friday before the meeting at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

**Please provide written comments to:** Brendon Cunningham, Senior Planner II, bcunning@keywestcity.com; 305-809-3724 Planning Department: Fax: 305-809-3978; Mail: PO Box 1409, Key West FL 33041-1409

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

**ADA Assistance:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

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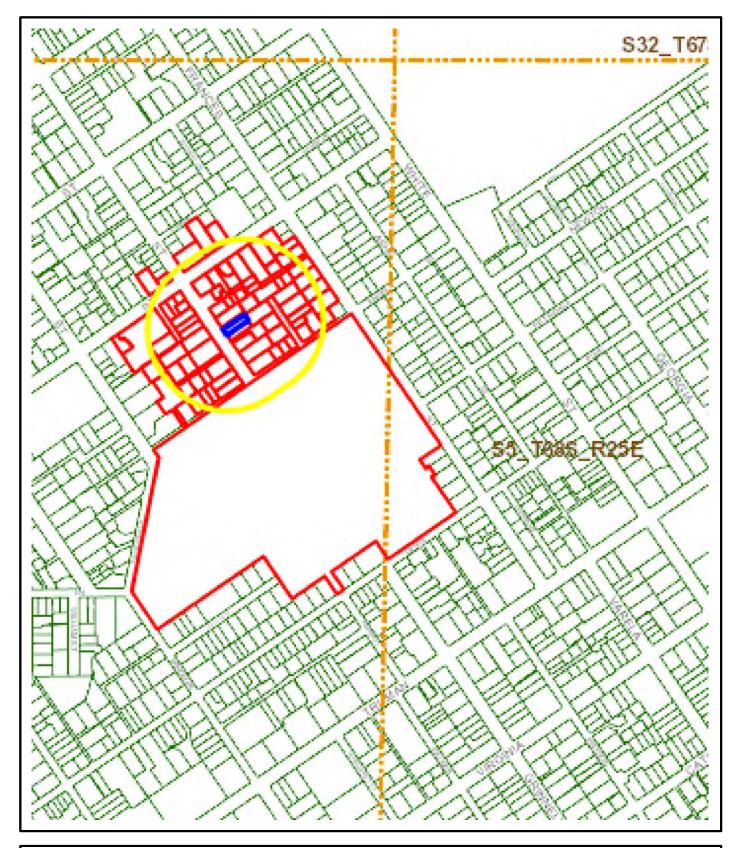
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# Monroe County, Florida 617 Grinnell

**2** 

Printed:Jun 10, 2014

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarante its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



## 300' Radius Noticing List Generated 6/10/14

OWNER1	OWNER2	ADDRESS	CITY	STATE	ZIP	COUNTRY
1 SIEMINSKI DAVID THOMAS		616 FRANCES ST	KEY WEST	FL	33040-7181	
2 ROSS ELIZABETH		1015 FLEMING ST	KEY WEST	FL	33040-6962	
3 VETTER JANE A		624 FRANCES ST	KEY WEST	FL	33040-7181	
4 MOSCHEL MICHAEL L REVOCABLE TRUST 8/17/2001		618 CATHOLIC LN	KEY WEST	FL	33040-7116	
5 ESPOSITO KENNETH E AND SUSAN		4 CATHOLIC LN	KEY WEST	FL	33040-7116	
6 KILGORE KATHRYN	C/O C A CHIANESE	72 VAN SANT DR	HAMILTON SQUA	NJ	08690-2518	
7 LONERGAN MICHAEL		623 GRINNELL ST	KEY WEST	FL	33040-7128	
8 GINSBERG PETER M LIVING TRUST 12/28/1994		610 GRIFFIN LN	KEY WEST	FL	33040-7126	
9 CROWLEY KAREN		616 CANFIELD LN	KEY WEST	FL	33040-7115	
10 HARTWELL JOHN G		1017 ANGELA ST	KEY WEST	FL	33040-7168	
11 THE UTILITY BOARD OF THE CITY OF KEY WEST		1001 JAMES ST	KEY WEST	FL	33040-6935	
12 NOEL ANNE MARIE		5 CATHOLIC LN	KEY WEST	FL	33040-7116	
13 MURPHY WILLIAM F		1024 SOUTHARD S	KEY WEST	FL	33040-7145	
14 GREGORY ANTHONY		614 ROBERTS LN	KEY WEST	FL	33040-7138	
15 MIDSON CARL		1014 SOUTHARD S	KEY WEST	FL	33040-7145	
16 ROMANO DEBORAH J		1012 SOUTHARD S	KEY WEST	FL	33040-7145	
17 LASKOW MARK J AND LISA C		161 S PENN RD	STAHLSTOWN	PA	15687-1285	
18 EMMET LUCINDA B TRUST		1020 SOUTHARD S	KEY WEST	FL	33040-7145	
19 MURRAY GAIL W		1004 SOUTHARD S	KEY WEST	FL	33040-7145	
20 WHELAN PETER A		626 CANFIELD LN	KEY WEST	FL	33040-7115	
21 SAVINI LEWIS REVOCABLE TRUST		1013 SOUTHARD S	KEY WEST	FL	33040-7144	
22 BARRY SCOTT B		923 ANGELA ST	KEY WEST	FL	33040-7106	
23 BRENT MARGARET G		1985 MADISON AVE	MEMPHIS	TN	38104-2791	
24 REAVES SHIRLEY R		608 FRANCES ST	KEY WEST	FL	33040-7123	
25 BORCH FREDERIC LOUIS III AND JANET ANN		1647 OXFORD RD	CHARLOTTESVIL	.VA	22903-1329	
26 PATRI MARY DENISE AND THOMAS JUDE JR		183 BURNT PINE D	INAPLES	FL	34119-9751	
27 1015 ANGELA ST LLC		143 BULL CREEK R	ASHEVILLE	NC	28805-8701	
28 HUMES ELIZABETH HERSHEY REVOCABLE TRUST 1/3	31/2001	427 EAGLE RD	WAYNE	PA	19087-3249	
29 KLINGER HARVEY		PO BOX 189	CARVERSVILLE	PA	18913-0189	
30 BARON AUDREY E TRUST FOR MINORS	C/O BARON ELLIOT T	F 205 TOBACCO FAR	CHAPEL HILL	NC	27516-8420	
31 LIGGETT ANNETTE M		606 FRANCES ST	KEY WEST	FL	33040-7123	
32 GINSBERG PETER M		619 CANFIELD LN	KEY WEST	FL	33040-7115	
33 DELLAPASTA GABRIEL AND LYNN		26964 SOUTHWOO	OLMSTED TWP	ОН	44138-1157	
34 PAEZ HERIBERTO SR AND CARIDAD		27180 ANGELFISH	SUMMERLAND KI	FL	33042-5305	

## 300' Radius Noticing List Generated 6/10/14

OWNER1	OWNER2	ADDRESS	CITY	STATE	ZIP	COUNTRY
35 HUMES ELIZABETH HERSHEY REVOCABLE TRUST 1/3	31/2001	427 EAGLE RD	WAYNE	PA	19087-3249	
36 SYMONS DAVID		921 ANGELA ST	KEY WEST	FL	33040-7106	
37 GUARINIELLO TRACI DILL		PSC 817 BOX 51	FPO	AE	09622-0001	
38 BILSA INTERNATIONAL LLC		17 RUE DUPHOT	PARIS		75001	FRANCE
39 SUN STATE CHILL LLC		7601 NE SPANISH	IBOCA RATON	FL	33487-1715	
40 MOSCHEL MICHAEL L		618 CATHOLIC LN	KEY WEST	FL	33040-7116	
41 SCHWARZ PETER M TRUST 5/24/2004		2281 S SHORE DR	MACATAWA	MI	49434-9800	
42 DELONGCHAMP CINDY W	C/O MONTGOMERY A	l 421 AIR BASE BLVI	MONTGOMERY	AL	36108-2201	
43 RUCHMAN NEAL		1001 SOUTHARD S	KEY WEST	FL	33040-7144	
44 LAMACCHIA MICHAEL CHARLES AND THERESA		1912 HIGHLAND DE	BEDFORD	TX	76021-6170	
45 CAMPBELL SUSAN J		1021 ANGELA ST D	KEY WEST	FL	33040-7168	
46 AVILA BARBARA THERESA		522 WHITE ST	KEY WEST	FL	33040-7170	
47 BANK OF NEW YORK MELLON	C/O ALDRIDGE / CON	N 1615 S CONGRESS	DELRAY BEACH	FL	33445-6326	
48 WETZEL JOHN		621 CATHOLIC LN	KEY WEST	FL	33040-7116	
49 LUNN PATRICK C		1320 SAN REMO A	CORAL GABLES	FL	33146-3122	
50 INFANTE ETTORE F		621 GRINNELL ST	KEY WEST	FL	33040-7128	
51 BARNETT MARILYN		918 SOUTHARD ST	KEY WEST	FL	33040-7185	
52 MATHEWS HARRY AND MARIE		619 GRINNELL ST	KEY WEST	FL	33040-7128	
53 COTE MICHELE P		626 GRINNELL ST	KEY WEST	FL	33040-7177	
54 HIGGINS MARTIN E		24 53RD ST	SEA ISLE CITY	NJ	08243-1644	
55 SPROGELL CAROLYN A		622 GRINNELL ST	KEY WEST	FL	33040-7177	
56 ANDERSON JESSE KURTZ		612 GRIFFIN LN	KEY WEST	FL	33040-7126	
57 POOLE MARY FORSYTH		157 EAST RD	WEST STOCKBR	IMA	01266-9729	
58 MARIO CHRISTOPHER B 2011 TWTY YR QUAL PER RE	S TR	PO BOX 445	CHATHAM	NJ	07928-0445	
59 SOUTHARD SQUARE CONDOMINIUM		908-918 SOUTHAR	KEY WEST	FL	33040	
60 WINSTON JONES H		P O BOX 534	<b>BLOWING ROCK</b>	NC	28605	
61 MACONAUGHEY KIRK D AND DEBRA A		PO BOX 420243	SUMMERLAND K	l FL	33042-0243	
62 LEPINE MICHAEL		607 GRINNELL ST	KEY WEST	FL	33040-7128	
63 NYGREN J HAMILTON AND MARGARET A		918 SOUTHARD ST	KEY WEST	FL	33040-7190	
64 VELLOFF STEVEN M		611 GRINNELL ST	KEY WEST	FL	33040-7194	
65 GILBERT CHRISTINE M		918 SOUTHARD ST	KEY WEST	FL	33040-7185	
66 BALLANTINE BARBARA		4202 COVENTRY G	BUFFALO	NY	14221-7237	
67 KRUGLICK BRUCE A		1305 N LAKE SHOR	RSARASOTA	FL	34231-3439	
68 CURRY JOHN PATRICK		1501 OCEAN AVE U	JASBURY PARK	NJ	07712-9307	

## 300' Radius Noticing List Generated 6/10/14

OWNER1	OWNER2	ADDRESS	CITY	STATE	ZIP	COUNTRY
69 HALEY STEVE AND LYNDA		605 SEA GROVE A	\ CAPE MAY	NJ	08204	
70 VAVRINA CHARLENE Y		PO BOX 623	BERRYVILLE	VA	22611	
71 HOLE JAMES WESTON		3307 N 2ND ST	HARRISBURG	PA	17110-1402	
72 WINTER GLENN M & TOOL THERESA A R/S		2 TROON CT	MOORESTOWN	NJ	08057	
73 BARNETT MARK		3111 NW 18TH PL	GAINESVILLE	FL	32605	
74 HEMMEL DAVID L		PO BOX 4255	KEY WEST	FL	33041-4255	
75 STROH THOMAS N		PO BOX 674	KEY WEST	FL	33041-0674	
76 KNUTH JEFFREY J		30551 CHARDON F	WILLOUGHBY HI	LOH	44094-8329	
77 SIBLEY GAIL M AND JOHN G		918 SOUTHARD ST	KEY WEST	FL	33040-7191	
78 EARDLEY CHARLES B REV TR DTD 4/8/08		16860 DRIFTWOOI	SUGARLOAF KE	Y FL	33042	
79 BLINCKMANN HAYS T AND JAN		611 GRINNELL ST	KEY WEST	FL	33040-7194	
80 KIRWIN FRANCIS T AND PEGGY A		614 GRINNELL ST	KEY WEST	FL	33040-7129	
81 FERRARA ANNE F		6 PURITAN AVE	MOUNT SINAI	NY	11766-2510	
82 PALMER JEFFREY L AND PATRICIA C		1025 ROBERTS LN	KEY WEST	FL	33040-7138	
83 KILGORE KATHRYN	C/O C A CHIANESE	72 VAN SANT DR	HAMILTON SQUA	NJ	08690-2518	
84 MATHEWS HARRY AND MARIE		619 GRINNELL ST	KEY WEST	FL	33040-7128	
85 RIDDLES ANDREW M		10 EVERGREEN P	KWESTPORT	CT	06880-2530	
86 GOLDFARB JASON		1 ODONNELL RD	MIDDLETOWN	RI	02842-5941	
87 FLANIGAN JOHN F AND JANET R		436 OYSTER RD	NORTH PALM BE	.FL	33408-4326	
88 FISHER LIBBY L		608 ROBERTS LN	KEY WEST	FL	33040-7138	
89 COGGINS THOMAS M III		605 2ND AVE	MARMORA	NJ	08223-1710	
90 BJORKLUND LAURIE NAN		1006 SOUTHARD S	KEY WEST	FL	33040-7145	
91 ATKINSON BROOKE S REVOCABLE TRUST		57 GRAND MERIDI	ECHESTERFIELD	MO	63005-4974	
92 DESROSIERS DONALD R		392 THAMES ST	NEWPORT	RI	02840-6604	