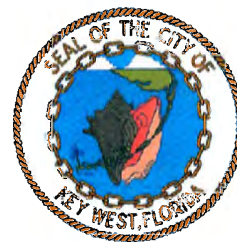


**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members

From: Brendon Cunningham, Senior Planner

Through: Donald Leland Craig, AICP, Planning Director 

Meeting Date: June 19, 2014

Agenda Item: **Variance – 617 Grinnell Street (RE#00010940-000000, AK#1011231)**
A request for a variance to side-yard setback requirements at property located in the HHDR zoning district per Sections 90-395, 122-28, 122-630(6)b. and of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Request: The applicant is requesting a variance to side-yard setback requirements for the demolition and reconstruction of the existing building.

Applicant: Martin E. Higgins and Karen Schultz

Property Owner: Same

Location: 617 Grinnell Street (RE# 00010940-000000, AK# 1011231)

Zoning: Historic High Density Residential (HHDR) Zoning District



Background:

The property is comprised of a two-story house. During initial exploratory demolition, it was determined the structure was physically unsound. The applicant was faced with a renovation either through piece by piece replacement at great cost and potential danger with the onset of hurricane season or demolition and reconstruction. The Chief Building Official determined the building unsafe and destroyed by neglect. As such, the applicant is allowed to rebuild within the historic three-dimensional footprint of the original house per Section 122-28. In addition, the applicant would like to add a dormer to the design of the house which is why a variance request has been submitted. The addition of a dormer breaks the 3-dimensional footprint otherwise protected.

Relevant HHDR Zoning District Dimensional Requirements: Section 122-630(6)b.			
Requirements	Zoning Regulations	Existing Conditions	Proposed Changes
North-Side Setback	5'	3'5"	None
South-Side Setback	5'	2'	None

Process:

Development Review Committee Meeting:

March 27, 2014

Planning Board Meeting:

June 19, 2014

Analysis – Evaluation for Compliance With The Land Development Regulations:

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The existing structure was nonconforming to building setback requirements. Legally nonconforming site characteristics are not exceptional in the City, and therefore do not by themselves generate the existence of special conditions or circumstances. However, the building was in severe decay and was ultimately deemed unsafe by the CBO.

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

The nonconforming aspects on the site are not created by the applicant. The building was legal non-conforming.

- 3. Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

Allowing the new construction, as proposed, would not confer special privileges upon the applicant.

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

The applicant would be not deprived of rights commonly enjoyed by other properties without the variance approval.

- 5. Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.**

The variance requested is the minimum variance that will make possible the continued use of the land, building, or structure.

- 6. Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

The granting of the variances does not appear to be injurious to the area involved or detrimental to the public interest.

- 7. Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

Existing conforming or nonconforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

Concurrency Facilities and Other Utilities or Service (Section 108-233):

Based on comments received at the DRC, it does not appear that the requested variance will trigger any public facility capacity issues.

The Planning Board shall make factual findings regarding the following:

- 1. That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.**

The standards established by Section 90-395 of the City Code have been met by the applicant for the granting of variances.

2. **That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

The Planning Department has not received any public comment for the variance request as of the date of this report.

RECOMMENDATION:

Based on the criteria established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the request for variance be **denied**.

However, if the Planning Board approves the requested variance, The Planning Department recommends the following conditions:

General Conditions:

1. The proposed development shall be consistent with the plans signed and sealed June 12, 2014 by William Rowan, Professional Architect; and
2. The applicant shall submit a request to amend the existing easement (City Commission Resolution 08-133) within 90 days from project completion.

Draft Resolution

**PLANNING BOARD
RESOLUTION NO. 2014-**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING VARIANCES TO SIDE-YARD SETBACKS ON PROPERTY LOCATED AT 617 GRINNELL STREET (RE#00010940-000000, AK#1011231) IN THE HISTORIC HIGH DENSITY RESIDENTIAL (HHDR) ZONING DISTRICT PURSUANT TO SECTIONS 90-395, 122-630(6)B. OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA.

WHEREAS, the applicant proposes to demolish and reconstruct the existing building on property located at 617 Grinnell Street (RE#00010940-000000, AK#1011231); and

WHEREAS, the existing structure is currently nonconforming to the minimum front, side and rear setbacks within the Historic High Density Residential (HHDR) Zoning District; and

WHEREAS, Section 122-630 of the Land Development Regulations (the "LDRs") of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City") provides that the minimum side yard setback is five (5) feet (or 10 percent of lot width to a maximum of 15 feet, whichever is greater) and the minimum rear yard setback is 20 feet; and

WHEREAS, the existing north side-yard setback is at 3'-5" and the south side-yard setback at 2'; and

WHEREAS, the applicant requests a variance to the minimum side-yard setbacks; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on June 19, 2014; and

WHEREAS, the Planning Board finds that special conditions and circumstances exist which

are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

WHEREAS, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

WHEREAS, the Planning Board finds that granting the variances requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

WHEREAS, the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variances; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or attempting to contact all noticed property owners who have objected to the

variance application, and by addressing the objections expressed by these neighbors.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. An approval by Resolution of the Key West Planning Board for variances to demolish and reconstruct the existing building per the attached plans signed and sealed on June 12, 2014 by William Rowan, Registered Architect, on property located at 617 Grinnell Street (RE#00010940-000000, AK#1011231) in the HHDR Zoning District pursuant to Sections 90-395, 122-630(6)b., 122-630(6)c. and 122-630(6)d. of the City of Key West Land Development Regulations with the following conditions:

General Conditions:

1. The proposed development shall be consistent with the plans signed and sealed June 12, 2014 by William Rowan, Professional Architect; and
2. The applicant shall submit a request to amend the existing easement (City Commission Resolution 08-133) within 90 days from project completion.

Section 3. It is a condition of these variances that full, complete and final application for all conditions of this approval for any use and occupancy for which these variances are wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of

circumstances to the property or its underlying zoning has occurred.

Section 4. The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate these variances, which variances shall be of no force or effect.

Section 5. These variances do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 6. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 7. This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 19th day of June 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director;

Richard Klitenick, Planning Board Chairman

Date

Attest:

Donald Leland Craig, AICP, Planning Director

Date

Filed with the Clerk:

Cheryl Smith, City Clerk

Date

_____ Chairman

_____ Planning Director

Application

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Variance Application

Please completely fill out this application and attach all necessary documents. This will help our staff to process your request quickly and obtain necessary information without delay. If you have any questions please call 305-809-3720 to schedule an appointment with a Planner.

Please print or type a response to the following:

1. Site Address 617 Ginnell St.
2. Name of Applicant Martin E. Higgins and Karen L. Schultz
3. Applicant is: Owner Authorized Representative
4. Address of Applicant 617 Ginnell St #3
Key West, FL 33040
5. Phone # of Applicant 814-883-7252 Mobile# _____
6. E-Mail Address marty.higgins@silcotek.com
7. Name of Owner, if different than above _____
8. Address of Owner _____
9. Phone # of Owner _____
10. Email Address _____
11. Zoning District of Parcel HHDR RE# 00010940-000000
12. Description of Proposed Construction, Development, and Use Proposal will renovate an original circa 1928 structure and additions located in the historic district and will demolish a portion of the current structure that does not conform to side yard setbacks. In order to make up for some of that lost living space, owners propose to modify existing roof line in keeping with historic guidelines.
13. List and describe the specific variance(s) being requested:
Front setback: 2 ft (existing), 2 ft. (proposed)
Side setbacks: 2 ft. right side (existing), 2 ft. (proposed)
-1.8 ft. left side (existing); structure encroaches

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into alley), 3.5 ft. (proposed; will remove
encroaching structure)

14. Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HNR			
Flood Zone	X			
Size of Site	2308 S.F.			
Height	30'	28'	30	—
Front Setback	10'	2'	2	SETBACK*
Side Setback W	5'	1.8' over	3'-5"	SETBACK*
Side Setback E	5'	2	2	SETBACK*
Street Side Setback	—	—	—	—
Rear Setback	20'	34'	34'	NO CHANGE
F.A.R	—	—	—	—
Building Coverage	1184	1256/53%	946/48%	REDUCED
Impervious Surface	1480	1275/54%	995/42%	REDUCED
Parking	—	—	—	—
Handicap Parking	—	—	—	—
Bicycle Parking	—	—	—	—
Open Space/ Landscaping	108/475 SF	890/37.5%	1100/50%	EXPANDED
Number and type of units	—	—	—	—
Consumption Area or Number of seats	—	—	—	—

* VARIANCE REQUEST

15. Is Subject Property located within the Historic District? Yes No
 If Yes, attach HARC approval and approved site plans

Meeting Date Sept. 11, 2012 HARC Approval # H12-01-1227

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(305) 809-3720



16. Are there any easements, deed restrictions or other encumbrances attached to the subject property? Yes _____ No If Yes, please describe and attach relevant documents

17. Will the work be within the dripline (canopy) of any tree on or off the property?

YES _____ NO

If yes, provide date of landscape approval, and attach a copy of such approval.

This application is pursuant to Section 106-51 & 52 City of Key West Land Development Regulations.

If the applicant would like additional information, electronic version of the City's Code of Ordinances can be found either through www.keywestcity.com, Planning Department archives or at www.municode.com. Once there, search Online Library/Florida/Key West/Chapter 122.

***Please note, variance approvals are quasi-judicial hearings, and it is improper for the owner or signatory to speak to a Planning Board member or City Commissioner about the hearing.**

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Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.
The historic platted lot of record is the subject of special conditions and circumstances peculiar to both the land and building. The lot is relatively narrow (25 ft) and is sub-standard under current code. The original circa 1928 structure, located in the historic district, cannot be situated on the site in any manner that will result in compliance with the current side yard setbacks.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The conditions were not created by the applicant. The lot is a historic platted lot of record, located in the historic district. The property is being renovated in accordance with HARC guidelines in keeping with the historic district and historic vernacular.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

There are no special privileges conferred by the granting of the proposed variances. The proposed renovation will reduce lot area coverage, (from 54% to 42%), will reduce the overall nonconformance, and is being developed to approximately 80% of allowed development potential.

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4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship conditions exist both to the property owner and the Historic District. The historic plotted lot and structure pre-date current planning setback regulations. Compliance with current regulations is not financially or physically feasible. If the proposed variances are not granted, the structure roofline configuration/design will continue to detract from the Historic District and historic vernacular.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

This request is for minimal variances. The variances allow for renovation of the structure to the extent necessary for proper and best utilization of the existing historic structure. The renovation will reduce the overall nonconformance and structure lot coverage.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The variances will not be injurious to the public welfare. Approval of the variance will benefit the public by renovating the structure to modern building and life-safety codes and will improve side alley access to adjacent properties.

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses of other properties are not considered as the basis of this request. The applicant has designed the renovation to meet current setbacks whenever possible. The renovation will reduce the overall structure nonconformance while improving alley access.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Dear Mr. Cunningham;

Thank you for your time and recommendations during our discussions with Enid last week. As discussed, we are submitting a request for variance relating to renovation of our property. Please accept the attached documents and application request for a variance to Section 122 for the property located at 617 Grinnell Street in the HHDR. The existing 1906 sq. ft. dwelling is located on a 2368 sq. ft. historic platted lot of record. According to the Monroe County Property Appraiser, the property was built in 1928, long before the adoption of the current city code which made this property nonconforming.

Karen and I plan to renovate and remodel the entire structure and make architecturally appropriate roof line modifications to the house in accordance with HARC guidelines. The renovation will in fact increase side yard setbacks wherever possible and will reduce building site coverage by 25%. Despite reducing the overall structure nonconformance, the reconstruction requires a variance to Section 122.

The variances requested are:

- Front setback: 2 ft existing, 2 ft proposed.
- East side setback: 2 ft existing, 2 ft proposed.
- West side setback: -1ft 10in (encroaching in alley), 3ft 5in proposed (eliminate encroachment).

Please don't hesitate to call Karen or myself if you have questions or need additional information.

Thanks again for your help and consideration in this matter.

Best regards;



Marty Higgins



Karen Schultz

Verification

**City of Key West
Planning Department**



Verification Form
(Where Owner is the applicant)

Martin E. Higgins and
I, Karen L. Schultz, being duly sworn, depose and say that I am the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

617 Grinnell St

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]
Signature of Owner

Subscribed and sworn to (or affirmed) before me on this 2/13/2014 by
date

Martin E. Higgins & Karen Schultz
Name of Owner

He/She is personally known to me or has presented Drivers Licenses as identification.

[Signature]
Notary's Signature and Seal



Tamara Hardy
Name of Acknowledger typed, printed or stamped

FF014619
Commission Number, if any

Deed

Prepared By and Return To:
Monica Hornyak
Keys Title and Abstract Company
631 Whitehead Street
Key West, Florida 33040

Grantee Name and S.S. #:
MARTIN E. HIGGINS

Grantee Name and S.S. #:
KAREN L. SCHULTZ

64416-00

MONROE COUNTY
OFFICIAL RECORDS

FILE #1166828
BK#1619 PG#1554

RCD Feb 25 2000 02:37PM
DANNY L KOLHAGE, CLERK

DEED DOC STAMPS 2345.00
02/25/2000 AP DEP CLK

Higgins

3 #

Space Above for Court House Use

This Indenture,

Whenever used herein, the term "party" shall include the heirs, personal representatives, successors and/or assigns of the respective parties hereto; the use of the singular number shall include the plural, and the plural the singular; the use of any gender shall include all genders; and if used, the term "note" shall include all the notes herein described if more than one

Made this 21 day of February, 2000 A.D.

Between

New York ALEXANDER W. BIDWELL and DOLORES ROSMINI BIDWELL, his wife, of the County of New York in the State of New York, party of the first part, and MARTIN E. HIGGINS and KAREN L. SCHULTZ, his wife, and whose address is: 726 Hillcrest Avenue, State College, PA 16803, of the County of Centre, in the State of PA, party of the second part,

Witnesseth, that the said party of the first part, for and in consideration of the sum of Ten and No/100ths (\$10.00) Dollars, and other valuable and good consideration to him in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said party of the second part his heirs and assigns forever, the following described land, situate lying and being in the County of Monroe, State of Florida, to wit:

SEE EXHIBIT "A" ATTACHED HERETO

Subject To: Taxes and assessments for the year 2000 and subsequent years.
Subject To: Limitations, conditions, restrictions and easements of record, if any.

Property Appraiser's Parcel Identification Number: 10940-000000
And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said party of the first part has hereunto set his hand and seal the day and the year above first written.

Signed, Sealed and Delivered in Our Presence:

AB Smith
Witness

HENRY B. TRATTNER
Printed Name

JOSE LIZ
Witness

Printed Name

Witness

Printed Name

Witness

Printed Name

Alexander W. Bidwell
ALEXANDER W. BIDWELL L.S.

_____ L.S.

Dolores Rosmini Bidwell
DOLORES ROSMINI BIDWELL

_____ L.S.

State of New York
County of Nassau

FILE #1166828
BK#1619 PG#1555

The foregoing instrument was acknowledged before me this 21 day of FEBRUARY, 2000, by ALEXANDER W. BIDWELL and DOLORES ROSMINI BIDWELL, who is personally known to me or who has produced NEW DRIVER as identification and who did (did not) take an oath.

[Signature]
Signature

Henry B. Trattner
Printed Name

Notary Public
Title

Serial#, if Any

HENRY B. TRATTNER
NOTARY PUBLIC, State of New York
No. TR-01-469385
Qualified in Nassau County
Certificate Filed in New York County
Commission Expires October 31, 2001

**arranty
Deed**

Survey

NORBY



& Associates, Inc.
Professional Land Surveyors

3104 Flagler Avenue

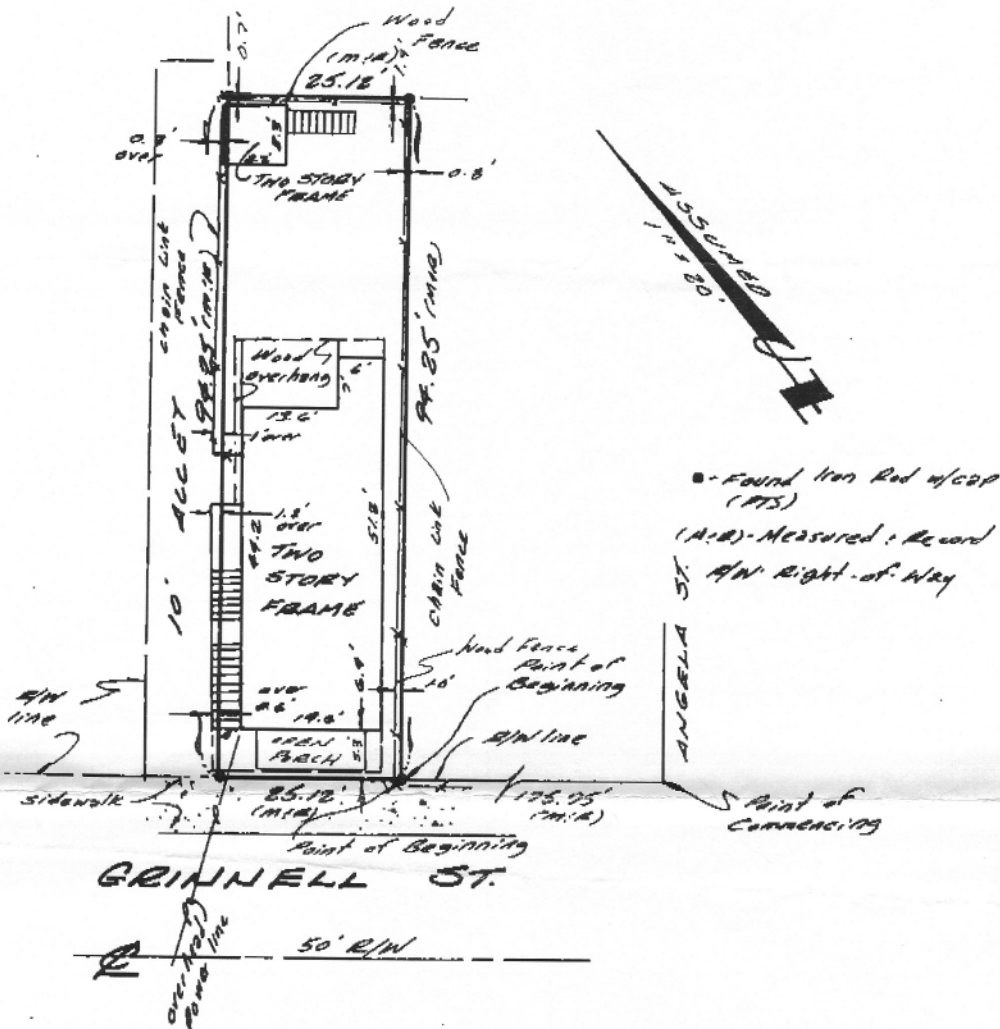
Key West, FL 33040

(305) 296-7422

FAX (305) 293-9924

Thomas A. Norby, PLS

Reg. No. 5234



NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
5. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
6. Street address: 617 Grinnell Street, Key West, FL 33040.
7. Date of field work: February 8, 2000.

BOUNDARY SURVEY OF: Known and designated on the map or plan of Key West as delineated by William A. Whitehead in February, 1829, as part of Lot numbered Four (4) in Square numbered Fifty-six (56), but better known as Lots One (1) according to a subdivision of Lots One and Four of said Square Fifty-six (56) recorded in Book "K", page 22, on March 8 A.D. 1880 and commencing at a point on Grinnell Street One Hundred and Seventy five feet nine inches (175' 9") from the corner of Angela Street and running thence along Grinnell Street in a N.W. direction Twenty five feet one and one-half inches (25' 1½"); thence at right angles in a N.E. direction Ninety-four feet three inches (94' 3"); thence at right angles in a S.E. direction Twenty-five feet one and one-half inches (25' 1½"); thence at right angles in a S.W. direction Ninety-four feet three inches (94' 3") back to the Place of Beginning.

BOUNDARY SURVEY FOR: Martin E. Higgins & Karen L. Schultz;
Sterling Bank, F.S.B., ISAOA, ATIMA;
Keys Title & Abstract Company;
Commonwealth Land Title Insurance Company;

NORBY & ASSOCIATES, INC.

February 8, 2000

Thomas A. Norby, PLS
Florida Reg. #5234

File No. 64054-99

Exhibit "A"

On the Island of Key West, Lot three (3), Square Fifty-Six (56), according to William A. Whitehead's Map of the Island of Key West, delineated in February 1829, and more particularly described as follow:

COMMENCING at a point One hundred and One (101) feet from the Northeasterly side of Grinnell Street on the dividing line of Lots Three (3) and Four (4) and running thereon Sixty (60) feet; thence at right angles in a Northwesterly direction Fifty (50) feet; thence at right angles in a Southeasterly direction Sixty (60) feet; thence at right angles in a Southeasterly direction and parallel with Grinnell Street Fifty (50) feet to the point of Beginning. TOGETHER with a non-exclusive easement for the right-of-way through a ten (10) foot alley leading to Grinnell Street, on the easterly side of the lot of land formerly belonging to John A. Roberts. *

ALSO;

A parcel of land on the Island of Key West, Monroe County, Florida, and being a part of Lot 3, Square 56, according to William Whitehead's map of the Island of Key West, delineated in February, 1829, being more particularly described as follows: COMMENCE at the intersection of the NE'yly right of way line of Grinnell Street with the dividing line of Lots 3 and 4 of said Square 56; thence run NE'yly along said dividing line, 161.0 feet; thence run at right angles in a NW'yly direction 50.0 feet to the Point of Beginning; thence continue NW'yly along the previously described line 1.6 feet to a point on an existing wood fence; thence run at right angles in a SW'yly direction along the SE'yly face of said wood fence, 61.8 feet to a point on an existing chain link fence; thence run at a right angle in a SE'yly direction 1.6 feet; thence run at right angles in a NE'yly direction 61.8 feet back to the said Point of Beginning.

LESS & EXCEPT;

A parcel of land on the Island of Key West, and known as a part of Lot 3, Square 56, according to W.A. Whitehead's Map delineated in February, A.D. 1829; said parcel being more particularly described as follows: COMMENCE at the intersection of the NE'yly right of way line of Grinnell Street with the dividing line of Lots 3 and 4 of said Square 56 and run thence NE'yly along the said dividing line for a distance of 161.0 feet; thence NW'yly and at right angles for a distance of 29 feet to the SE'yly face of an existing one story frame structure, said point being the Point of Beginning; thence continue NW'yly along the previously mentioned course for a distance of 21.8 feet to the NW'yly face of an overhang on said structure; thence SW'yly with a deflection angle of 90°15'46" to the left and along said overhang for a distance of 0.7 of a foot to the SW'yly face of said overhang; thence SE'yly and at right angles along the said overhang and face of said structure for a distance of 21.8 feet; thence NE'yly and at right for a distance of 0.6 of a foot back to the Point of Beginning.

Site Plans

HIGGINS RESIDENCE RENOVATIONS

617 GRINNELL STREET KEYWEST, FLORIDA

GENERAL NOTES

- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:
 - BUILDING: Florida Building Code, 2010 Edition.
 - ELECTRICAL: National Electric Code, 2010 edition.
 - PLUMBING: Florida Building Code (Plumbing), 2004 Edition.
 - MECHANICAL: Florida Building Code (Mechanical), 2009 Edition.
 - GAS: Liquefied Petroleum Gas Code, 2010 edition (NFPA 58).
- This project is designed in accordance with A.S.C.E. 7-05 to resist wind loads of 180 mph (gusts).
- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

SITE DATA

DESCRIPTION	ALLOWED	EXISTING	PROPOSED
ZONE	HHDR		
FLOOD	X		
LOT AREA	2368 SF		
BUILDING COVERAGE	50% / 1184 SF		
EXISTING BLDG A	1102 SF	50% / 1206 SF	
B	64		
C	1266 SF		
PROPOSED BLDG A	882 SF		40% / 2468 SF
B	64		
C	248 SF		
SETBACKS			
FRONT	10'	5'	2'
SIDE / SIDE	5'/5'	2.5'/2.5'	2.5'/2.5'
REAR	20'	32'	32'
IMPERVIOUS	50%	54% / 1278 SF	40% / 2468 SF
STORM DRAINAGE	100% / 276 SF	100% / 276 SF	100% / 276 SF

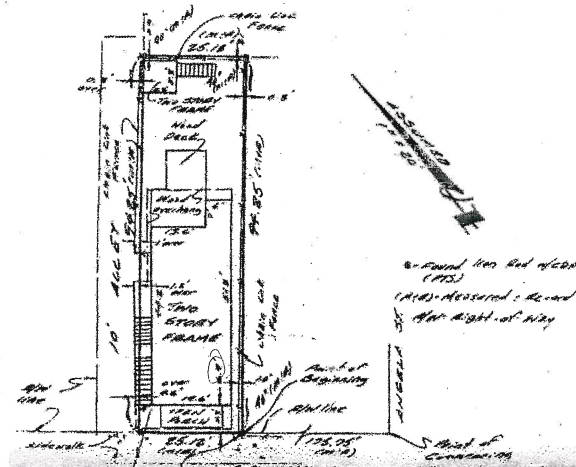
SHEET INDEX

SHEET No.	DESCRIPTION
C	COVER, SURVEY, NOTES, SITE / SHT INDEX, STATUTES
A1	* SITE PLAN FIRST / SECOND / THIRD FLOOR PLANS (EXISTING)
A2	* EXTERIOR ELEVATIONS (EXISTING)
A3	FIRST / SECOND / THIRD FLOOR PLANS, SCHEDULES (PROPOSED)
A4	EXTERIOR ELEVATIONS (PROPOSED)
A5	FOUNDATION, FIRST / SECOND / THIRD FLOOR FRAMES PLAN, STAIRS
A6	BUILDING CROSS SECTIONS
A7	INTERIOR ELEVATIONS
MP	MECH. / PLUMBING FLOOR PLANS, NOTES, FRAMES, SCHEDULES
E	ELECTRICAL PLANS, NOTES, SCHEDULES, DIAGRAMS
SI	STRUCTURAL NOTES
SP	SPECIFICATIONS

NORBY

& Associates, Inc.
Professional Land Surveyors
3104 Flamingo Avenue Key West, FL 33040

Thomas A. Norby, PLS
Reg. No. 51234



GRINNELL ST.

- NOTES:
- Flood Insurance Rate Map Zone: X; Community Panel #120168, 1716 G, dated 11-4-92.
 - Street address: 617 Grinnell Street, Key West, Florida.
 - Date of field work: February 2, 1994.

NON-CURRENT SURVEY OR: Known and designated on the map or plan of Key West as delineated by William A. Whitehead in February, 1929, as part of lot numbered Four (4) in Square number Fifty-six (56), but better known as lots one (1) according to a subdivision of lots one and four of said Square Fifty-six (56) recorded in Book 74, page 22, on March 8 A.D. 1880 and commencing at a point on Grinnell Street one hundred and seventy five feet nine inches (175' 9") from the course of Angela Street and running thence along Grinnell Street in a N.W. direction twenty five feet one and one-half inches (25' 1-1/2"); thence at right angles in a S.E. direction ninety-four feet three inches (94' 3"); thence at right angles in a S.E. direction twenty-five feet one and one-half inches (25' 1-1/2"); thence at right angles in a S.W. direction ninety-four feet three inches back to the Place of Beginning.

T HARRY CURTIS BY: Alexander & Dolores Bidwell; PirabhaiCoop Mortgage Corporation; Feldman & Koenig, P.A.; and Attorneys' Title Insurance Fund Inc.....

...that the survey delineated herein meets or exceeds the minimum technical standards as set forth by the Florida Board of Land Surveyors, pursuant to Section 472.027 of the Florida Statutes, and that there are no encroachments, above ground, other than those shown herein.

NORBY & ASSOCIATES, INC.
Thomas A. Norby, PLS
Florida Reg. #51234

FEBRUARY 2, 1994

HIGGINS RESIDENCE
NEW CONSTRUCTION
 617 GRINNELL STREET KEYWEST, FLORIDA

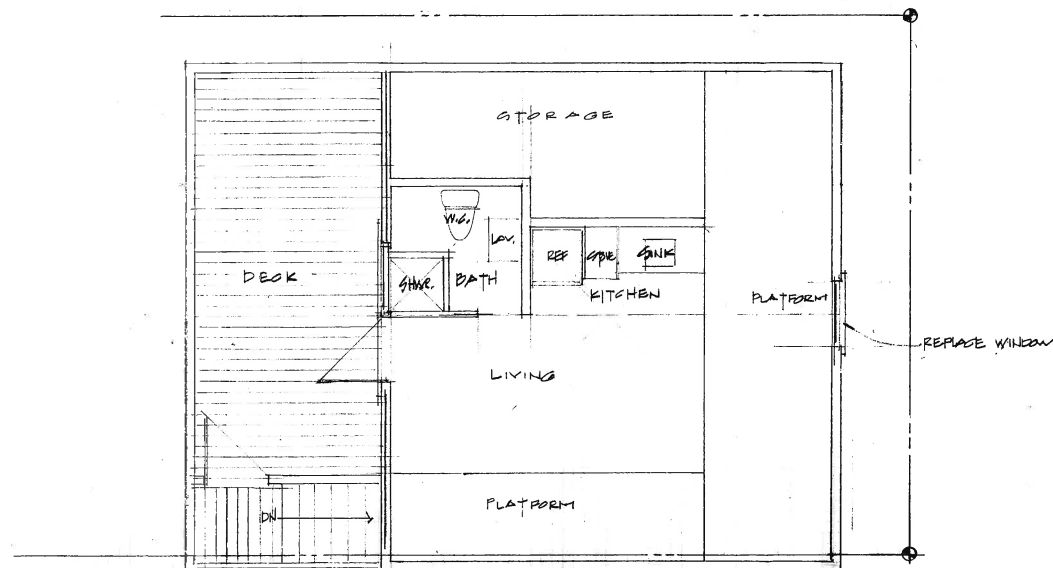
WILLIAM ROWAN
ARCHITECTURE
 KEYWEST, FLORIDA
 FLORIDA LICENSE #007751
 534 PERCON LANE
 305 256 3754

JOB NUMBER
1003

DATE
4.16.14
7.23.12

Florida Administrative Code

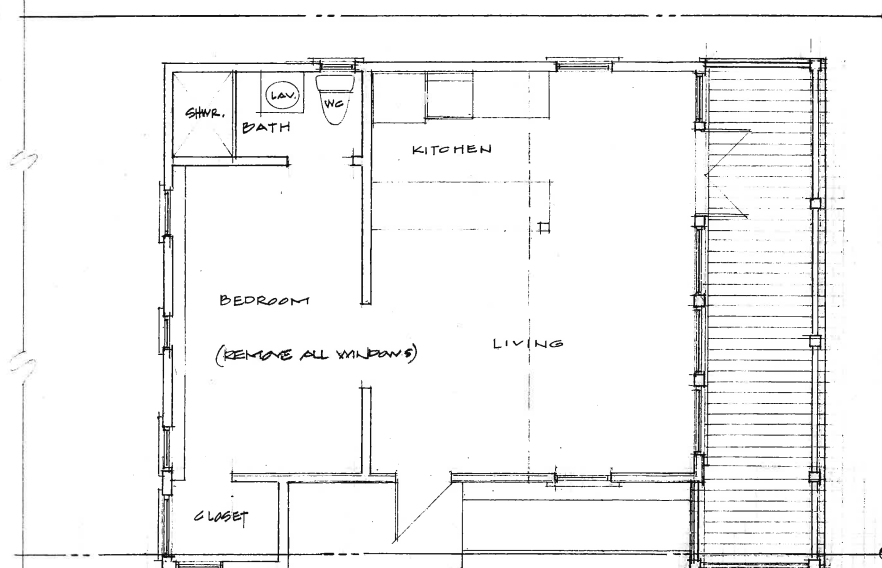
0161-16.000 WHEN SEAL MAY BE AFFIXED: The professional seal, signature and date of the architect shall appear on all architectural documents to be filed for public record and shall be considered to obligate the practitioner of the profession. A professional seal shall be required. Documents shall be signed personally and sealed by the responsible architect. Final Official record documents (not tracings, etc.) shall be as signed. The signing and sealing of the individual or sheets (if a identified all sheets) of drawings and specifications shall be considered adequate. Without such notes all sheets and pages shall be as signed (not sealed). An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specification, drawing, or other related document which was not prepared by him or under his responsible supervision or control as provided in Rule 61G1-23.001, F.A.C. An architect or interior designer shall not use his seal or do any other act to be considered as the responsible designer unless he is holding at the time a certificate of registration in the architectural profession.



THIRD FLOOR PLAN

SCALE 1/4" = 1'-0"

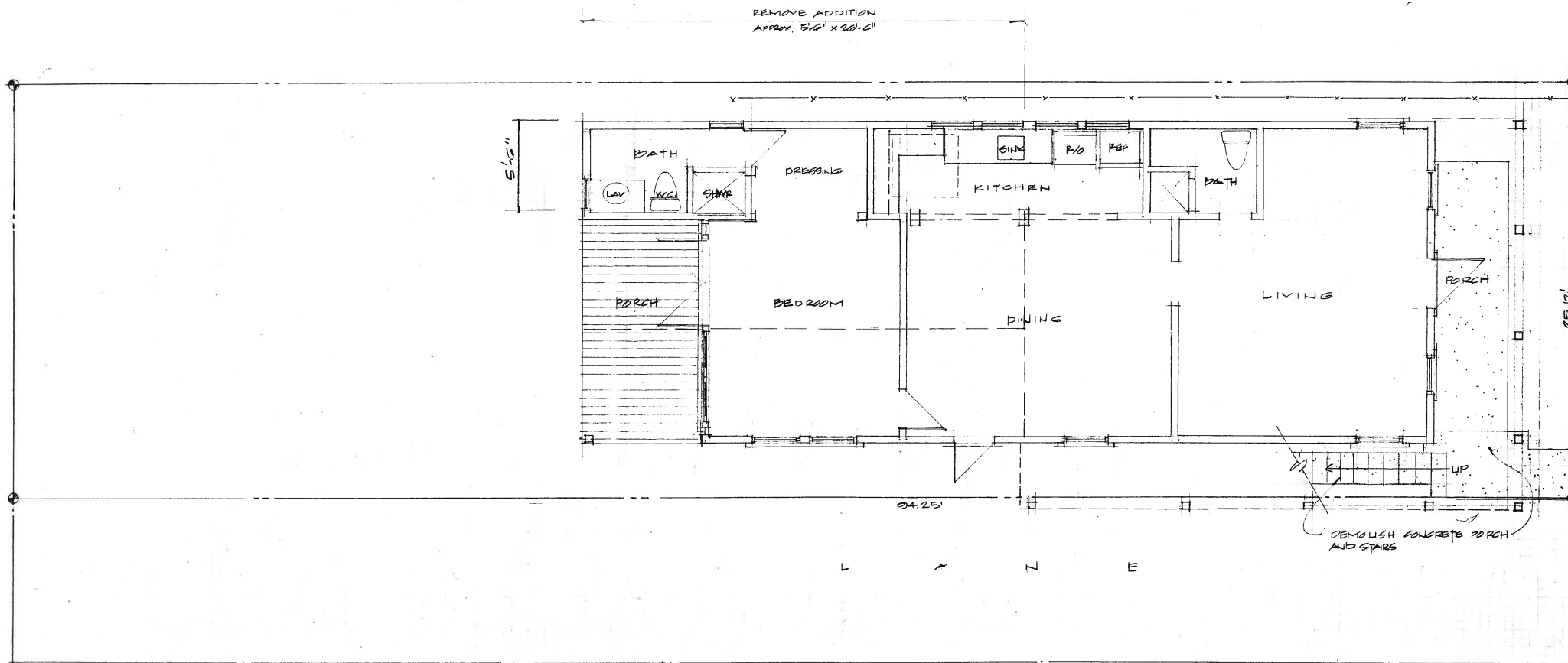
NOTE DEMO ENTIRE INTERIOR WALLS/FIXTURES



SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

NOTE: DEMO ENTIRE INTERIOR WALLS AND FIXTURES



FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

TRUE NORTH



T
S
L
L
W
Z
Z
-
L
S

NOTE:
 DEMOLITION SCOPE
 ENTIRE STRUCTURE

WILLIAM ROWAN
 ARCHITECTURE
 KEY WEST, FLORIDA
 FLORIDA LICENSE AR-001751

521 PEACOCK LANE
 305 292 3784

JOB NUMBER
 1003

DATE
 4.16.14
 7.21.12

A1

2 OF 11

EXISTING

HIGGINS/SCHULTZ RESIDENCE
NEW CONSTRUCTION
617 GRINNELL KEY WEST, FLORIDA

SEAL

SEAL

WILLIAM ROWAN
ARCHITECTURE
321 PEACOCK LANE
305.296.5784
KEY WEST, FLORIDA
FLORIDA LICENSE #AK-001751

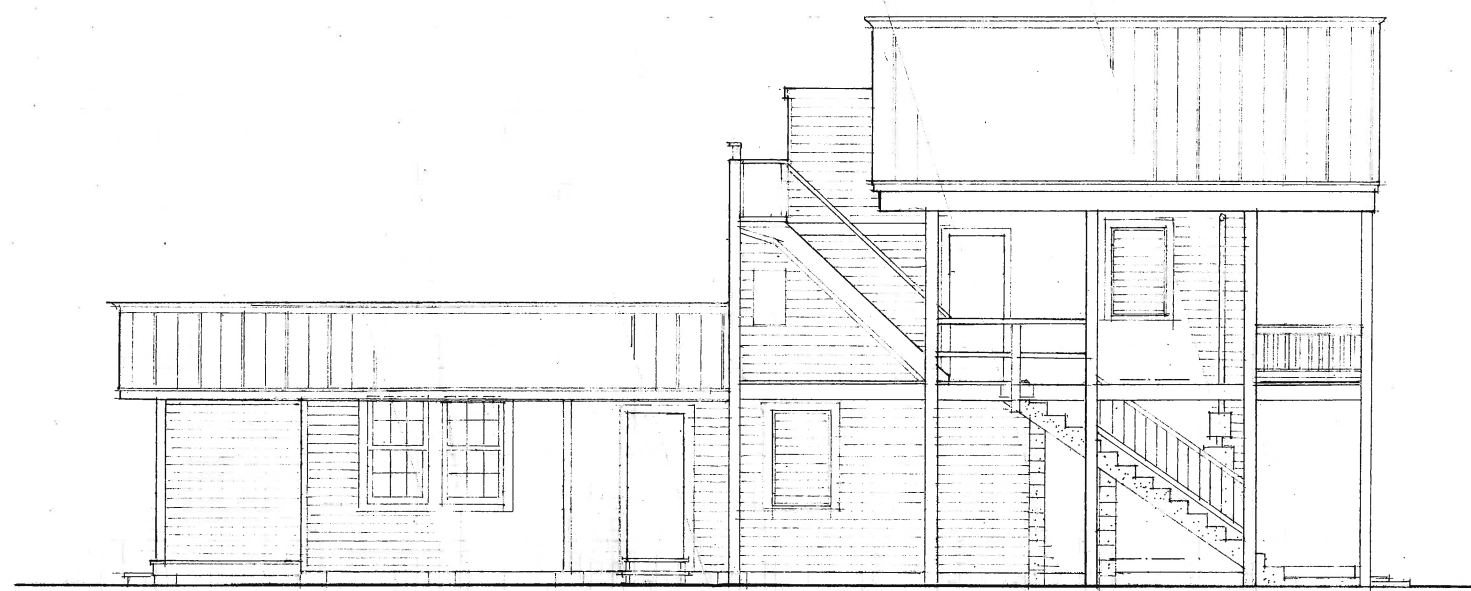
JOB NUMBER
1009

4.16.14
DATE 7.21.12

A2
3 OF 11



EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION

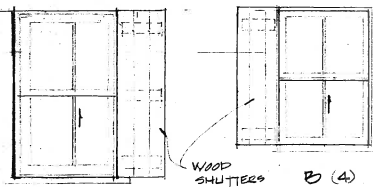


EXISTING SOUTH ELEVATION

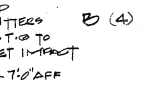
NOTE:
DEMOLITION ESCAPE
ENTIRE STRUCTURE

EXISTING

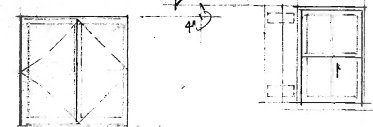
WINDOW TYPES



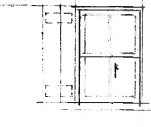
A (7)



B (4)



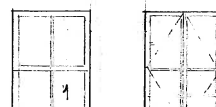
C* (1)



D (1)



E* (2)



F* (2)



G* (2)

* IMPACT GLASS
() NUMBER OF UNITS

WINDOW SCHEDULE							
MARK	SIZE		MFR.	CATALOG NO.	MATERIAL	FINISH	REMARKS
	WIDTH	HEIGHT					
A	2'-0"	5'-2"	FLORIDA'S BEST		WOOD		DOUBLE HUNG
B	2'-0"	4'-2"			WOOD		" "
C	3'-0"	3'-4"					SWING IMPACT
D	2'-0"	3'-0"					" "
E	3'-0"	1'-2"					AWNING IMPACT
F	2'-4"	3'-0"					DOUBLE HUNG IMPACT
G	2'-4"	3'-0"					SWING IMPACT

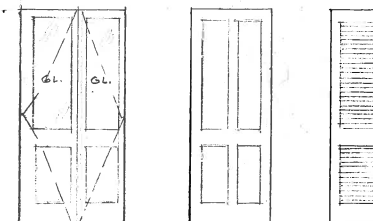
MFR. - FLORIDA'S BEST OR EQUAL

WIND PRESSURE COMPONENTS						
MARK	DESCRIPTION	EFFECTIVE WIND AREA	ZONE	PRESSURE REQUIRED	PRESSURE PROPOSED	NO. N.O.A. DATE
3			4			
4						
C						
D						
E						
F						
G						

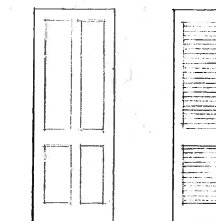
DOOR SCHEDULE										
NO.	TYPE	SIZE			MATERIAL	FINISH	GLAZING	FRAMES		REMARKS
		W.	H.	T.				MATERIAL	FINISH	
1	C	3'-0"	6'-8"	1'-3/4"	WOOD	NAT'L				MADE BY DECORA CUSTOM W/ WOOD SHUTTERS
2	II	2'-0"	6'-8"	1'-3/8"	"	PAINT				FRENCH DOORS W/ WOOD SHUTTERS
3	V	3'-0"	6'-8"	1'-3/4"	ALUM.	FACT.	IMPACT	ALUM.	FACTORY	3 SLIDES W/ POCKET
4	V									
5	H	2'-0"	6'-8"	1'-3/8"						
6	II	2'-0"								
7	II	2'-0"								
8	II	2'-4"								POCKET
9	III	2'-0"								POCKET
10	I	3'-0"	6'-8"	1'-3/4"						FRENCH (1 LT. EA.) W/ HURRICANE SHUTTER
11	I	3'-0"	6'-8"	1'-3/4"						
12	H	2'-0"								POCKET
13	2'	2'-0"								R-1 FOLD
14	II	3'-0"								BIARN DOOR
15	I	3'-0"		1'-3/8"						FRENCH DOOR
16	IV	3'-0"	4'-0"							PLYND. W/ GYP. BD
17	I	3'-0"	6'-8"	1'-3/4"						FRENCH (1 LT. EA.) W/ HURRICANE SHUTTER

NOTES
1. VERIFY W/ OWNER

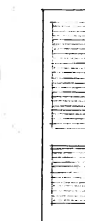
DOOR TYPES



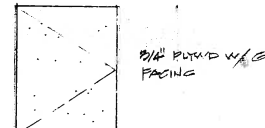
I



II



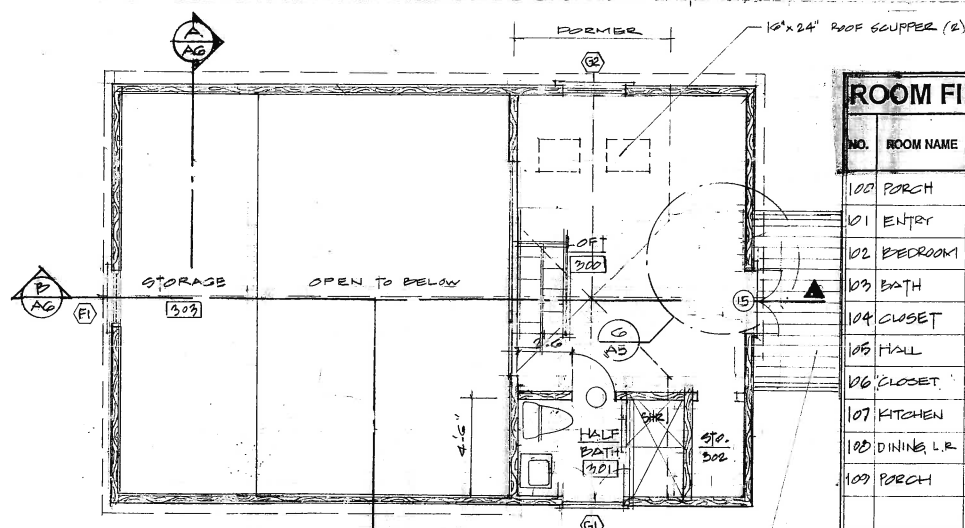
III



IV

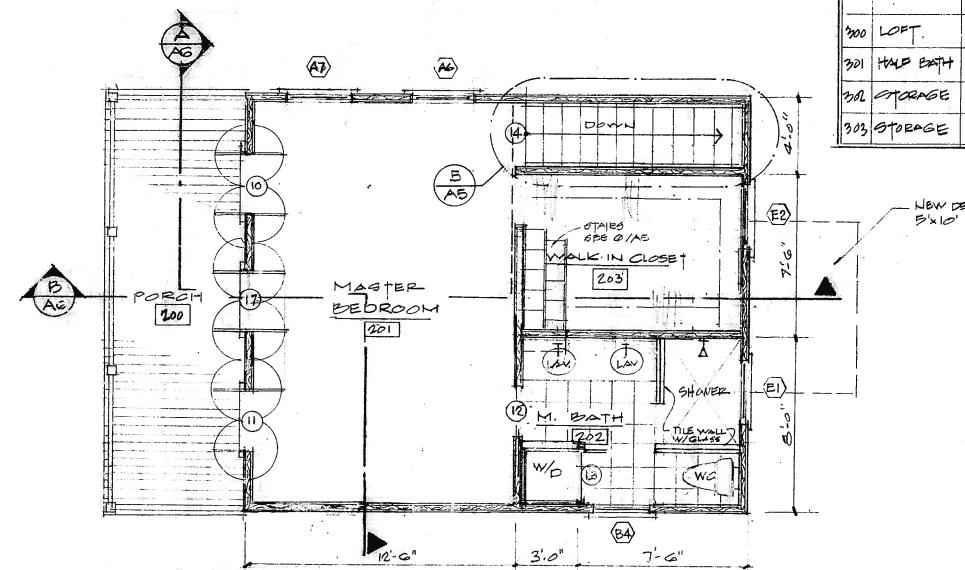
2 1/2" PLYND. W/ GYP. BD
PACING

POCKET WALL

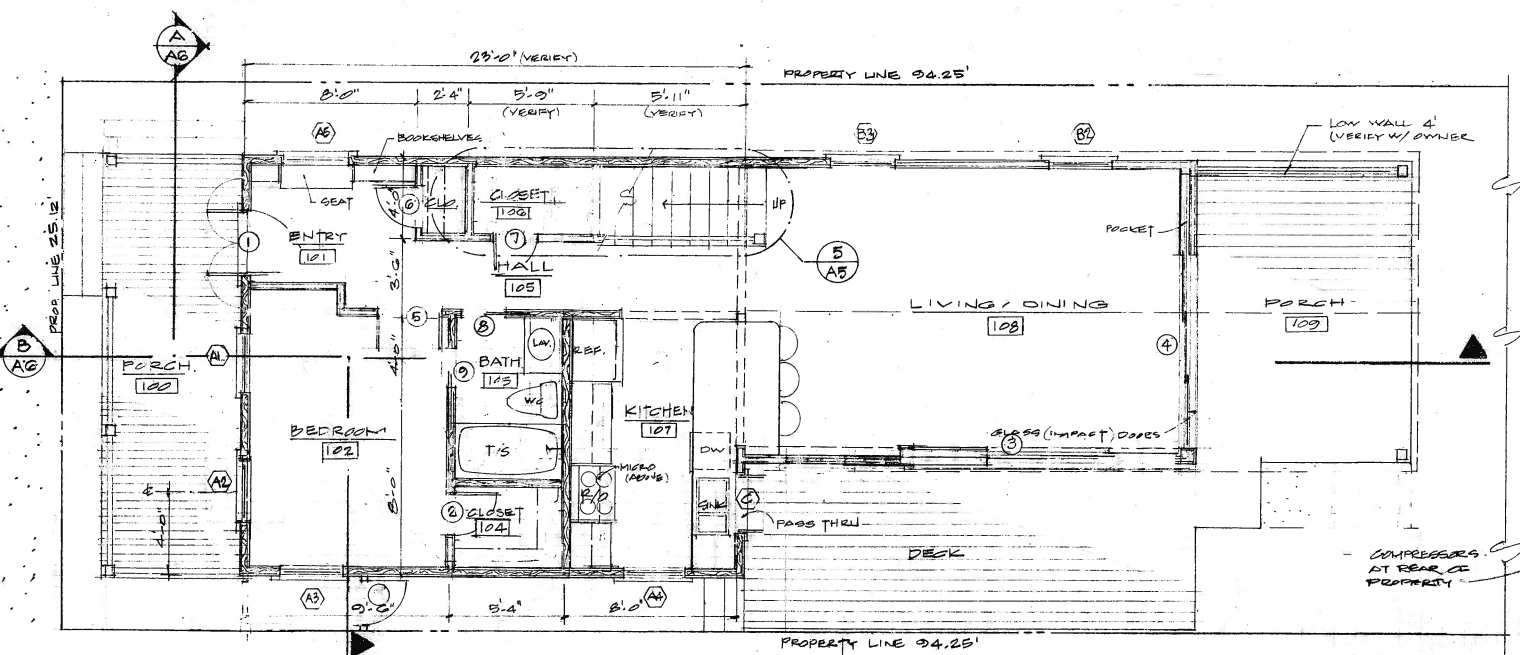


THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

ROOM FINISH SCHEDULE										
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HT.	REMARKS
				NORTH	EAST	SOUTH	WEST			
100	PORCH		WOOD S4S4TA	-	-	-	-	-	8'-2"	
101	ENTRY	IFE	WOOD 2"	WOOD H.F.	GYP. BD	GYP. BD	GYP. BD	GYP. BD	8'-2"	
102	BEDROOM	IFE	"	"	GYP. BD	GYP. BD	GYP. BD	GYP. BD	8'-2"	
103	BATH	TILE	TILE	"	"	"	"	"	"	M.R. GYP. BD
104	CLOSET	IFE	WD	"	"	"	"	"	"	
105	HALL	IFE	W.D.	"	"	"	"	"	"	
106	CLOSET	IFE	WD.	"	"	"	"	"	"	WANGSOT M.R. GYP. BD.
107	KITCHEN	IFE	WD.	"	"	"	"	"	"	M.R. GYP. BD.
108	DINING L.R.	IFE	WOOD	WD HP	"	"	"	"	"	EXPOSED RAFTERS VARIES CEILING PAINTED
109	PORCH	BAK TA	-	-	-	-	-	-	-	
200	PORCH		-	SILOH	-	-	-	-	-	
201	M. BEDROOM	HEART FINE	WOOD 4"	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	8'-2"	VARIES
202	M. BATH	TILE	TILE	"	"	"	"	"	7'-2"	M.R. GYP. BD
203	M. CLOSET	HEART FINE	WOOD 4"	"	"	"	"	"	7'-2"	" " "
300	LOFT	HEART FINE	WOOD 4"	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	GYP. BD.	8'-2"	VARIES
301	HALF BATH	TILE	TILE	"	"	"	"	"	"	
302	STORAGE	PLYND.	-	-	-	-	-	-	"	
303	STORAGE	PLYND.	-	-	-	-	-	-	"	



SECOND FLOOR
SCALE 1/4" = 1'-0"



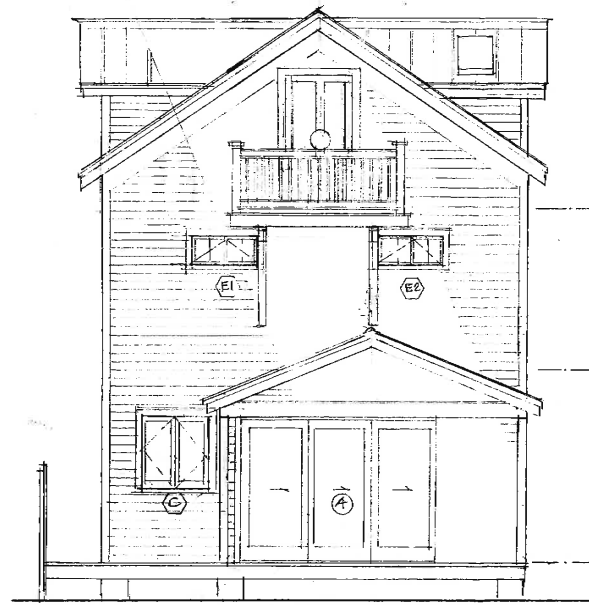
FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

HIGGINS/SCHULTZ RESIDENCE
NEW CONSTRUCTION
617 GRINNELL KEYWAY TAMPA

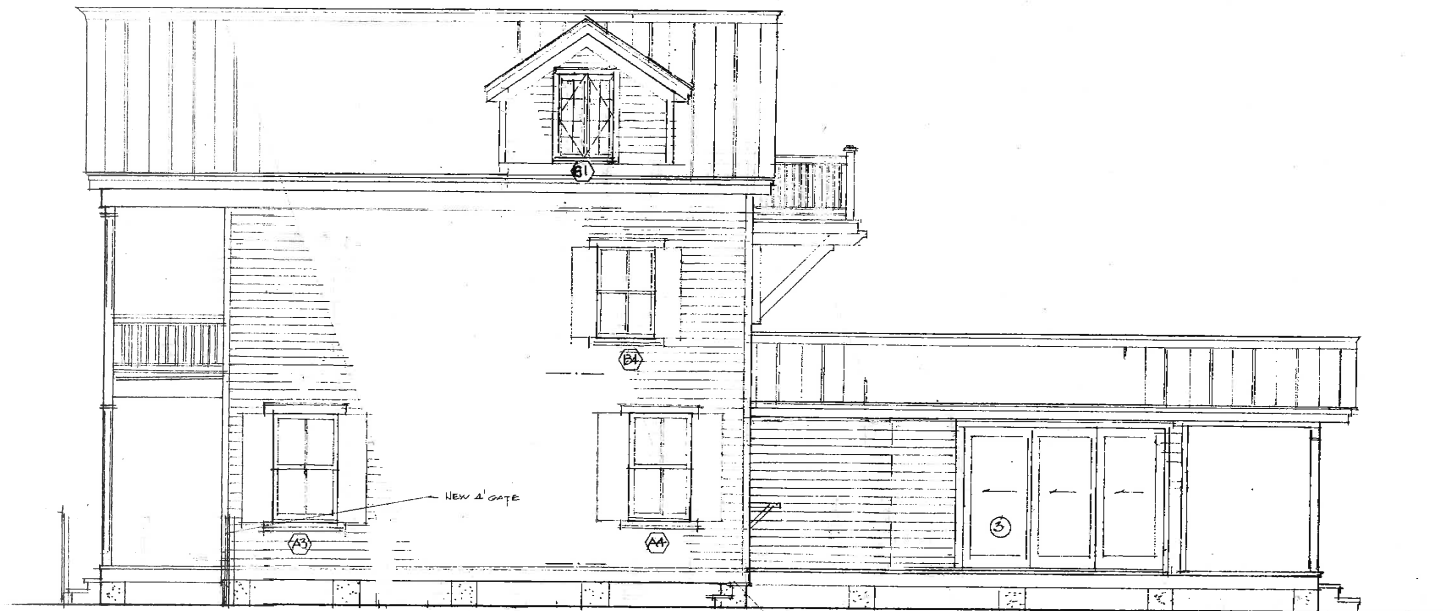
WILLIAM ROWAN ARCHITECTURE
 KEYWEST, FLORIDA
 FLORIDA LICENSE # 001753
 301 PEACOCK LANE
 305 296 3784

JOB NUMBER
 4-16-14
 REVISION 23-12
 DATE 7-21-12
A3
 4 11

PROPOSED



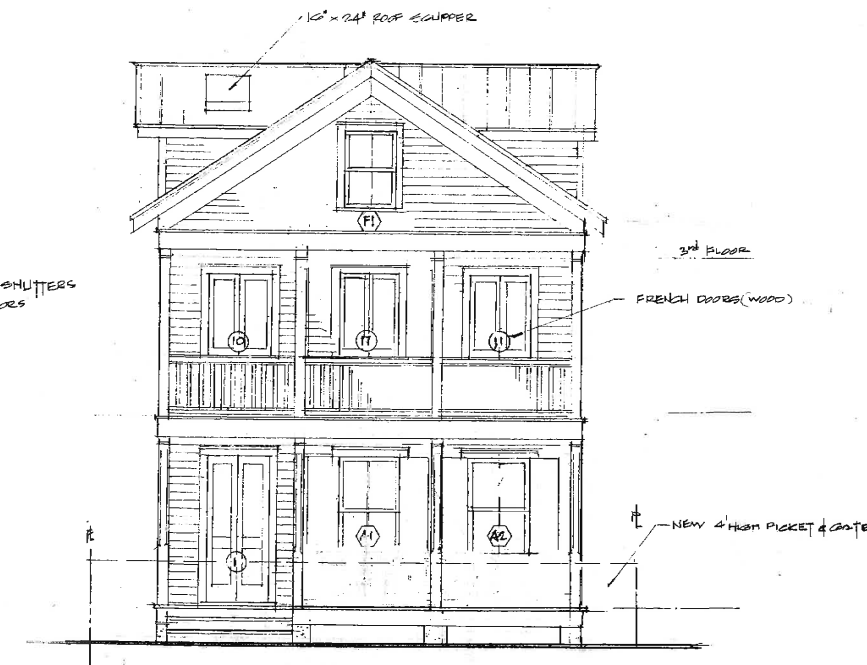
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

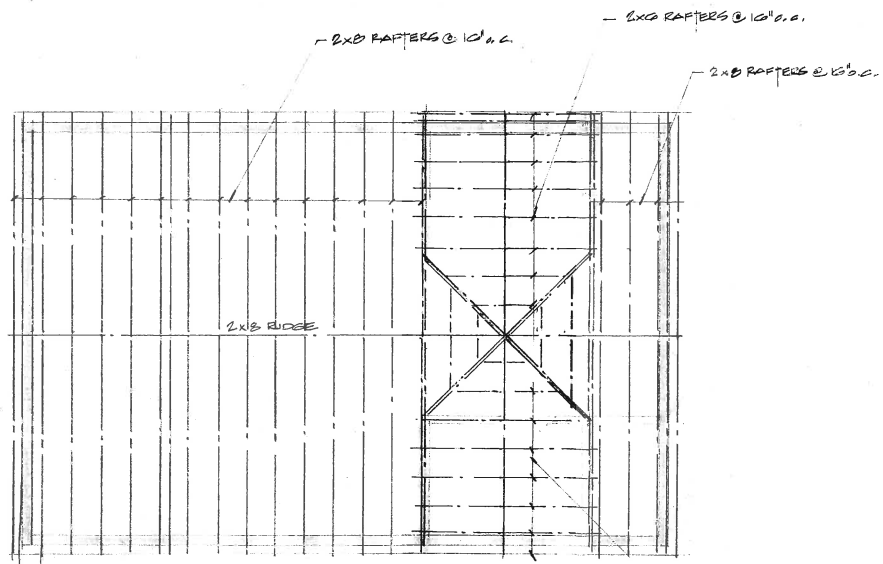
PROPOSED

HIGGINS/SCHULTZ RESIDENCE
NEW CONSTRUCTION

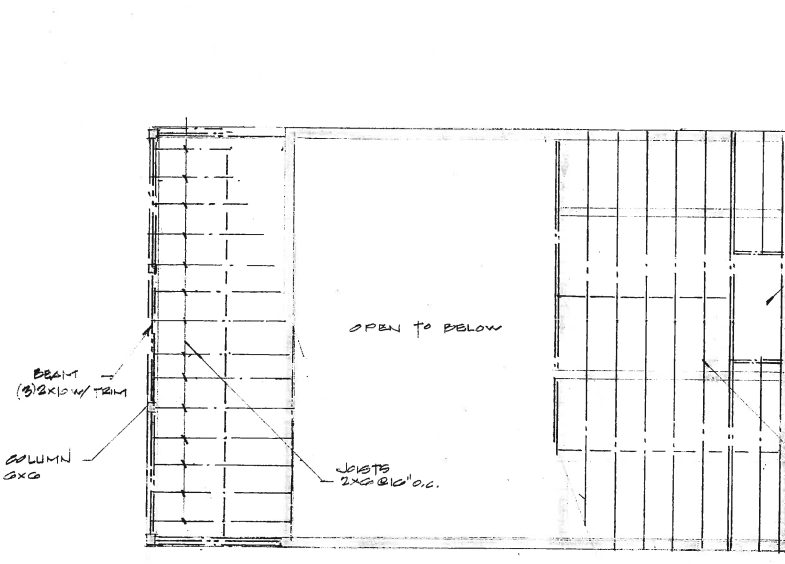
WILLIAM ROWAN
ARCHITECTURE
321 PEACOCK LANE
306.296.3754
KY WEST, FLORIDA
FLORIDA LICENSE #FC-001751

JOB NUMBER
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4-16-14
REVISE 8-09-12
DATE 7-21-12

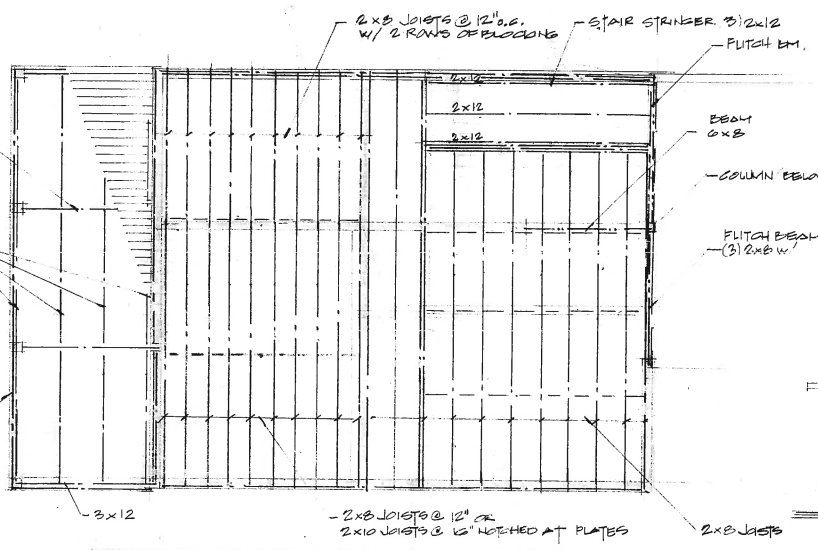
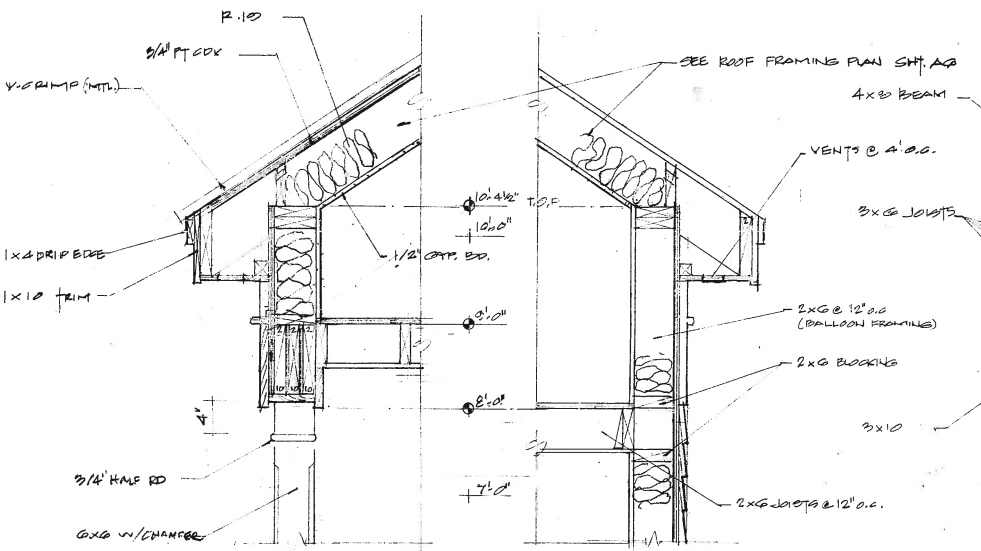
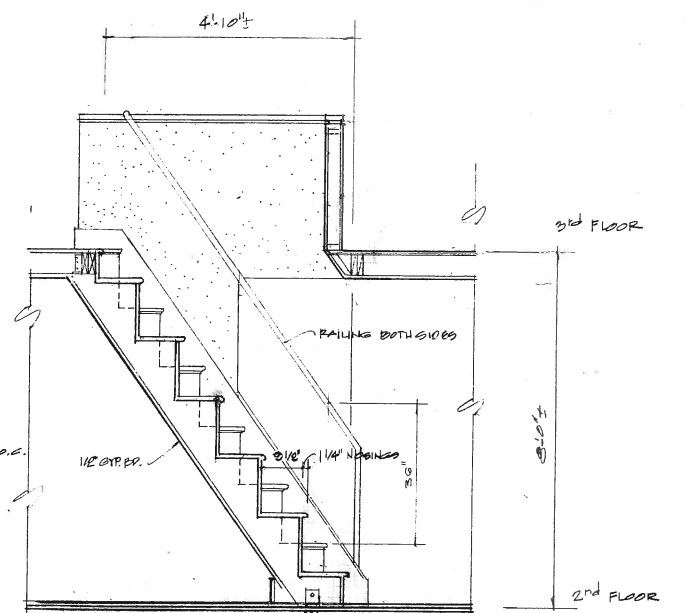
A4
5-11



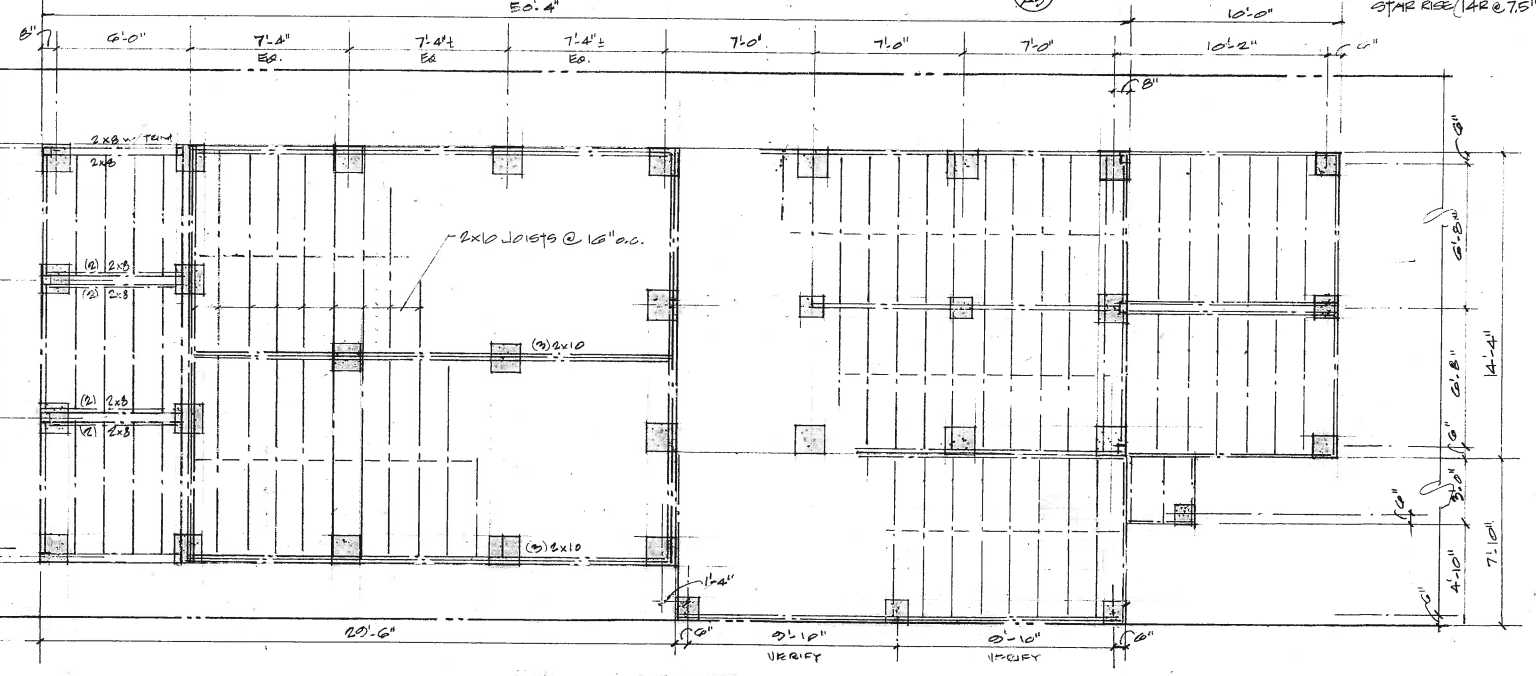
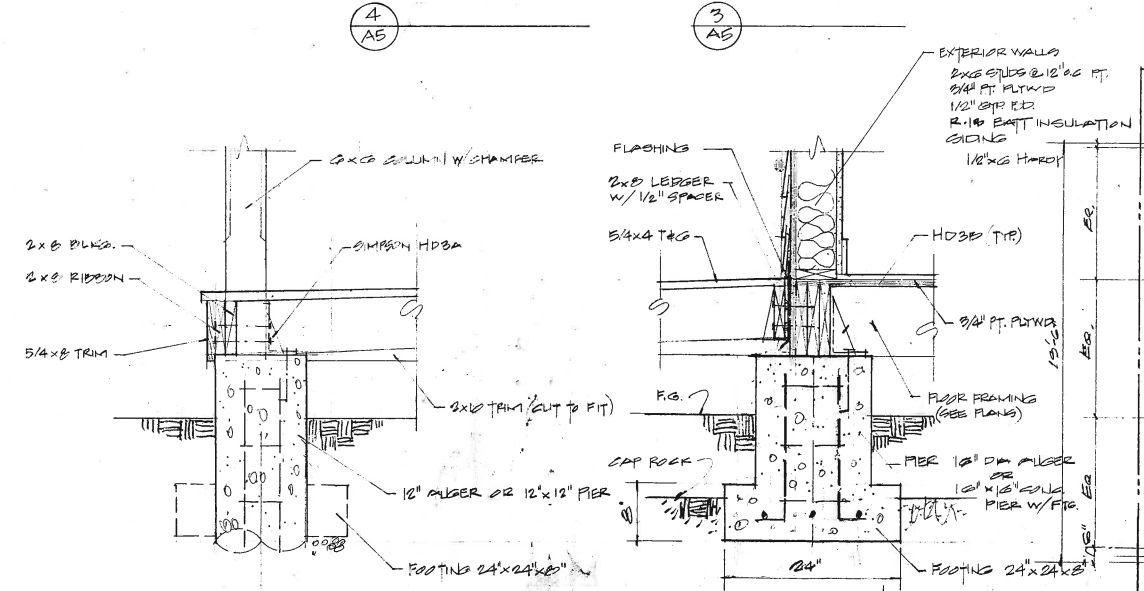
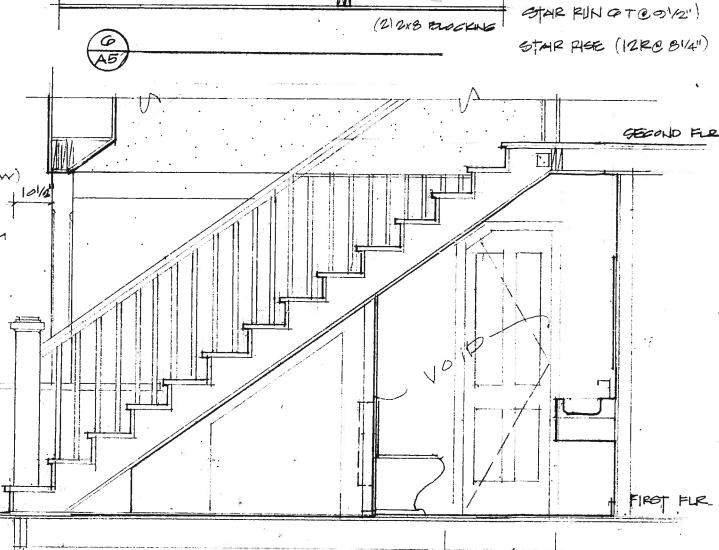
ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



THIRD FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



SECOND FLOOR FRAMING
SCALE 1/4" = 1'-0"



FOUNDATION/FIRST FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

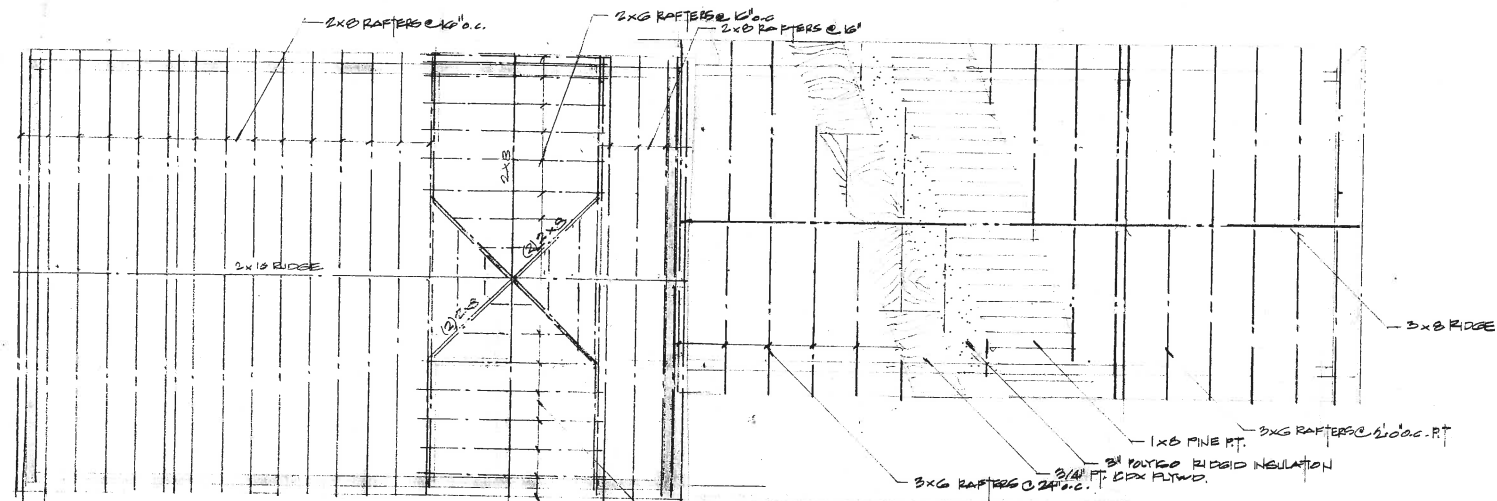
HIGGINS/SCHULTZ RESIDENCE
NEW CONSTRUCTION
 617 CRINNETT BLVD.

WILLIAM ROWAN ARCHITECTURE
 KEY WEST, FLORIDA
 521 PEACOCK LANE
 305 296 7884
 FLORIDA LICENSE # 001751

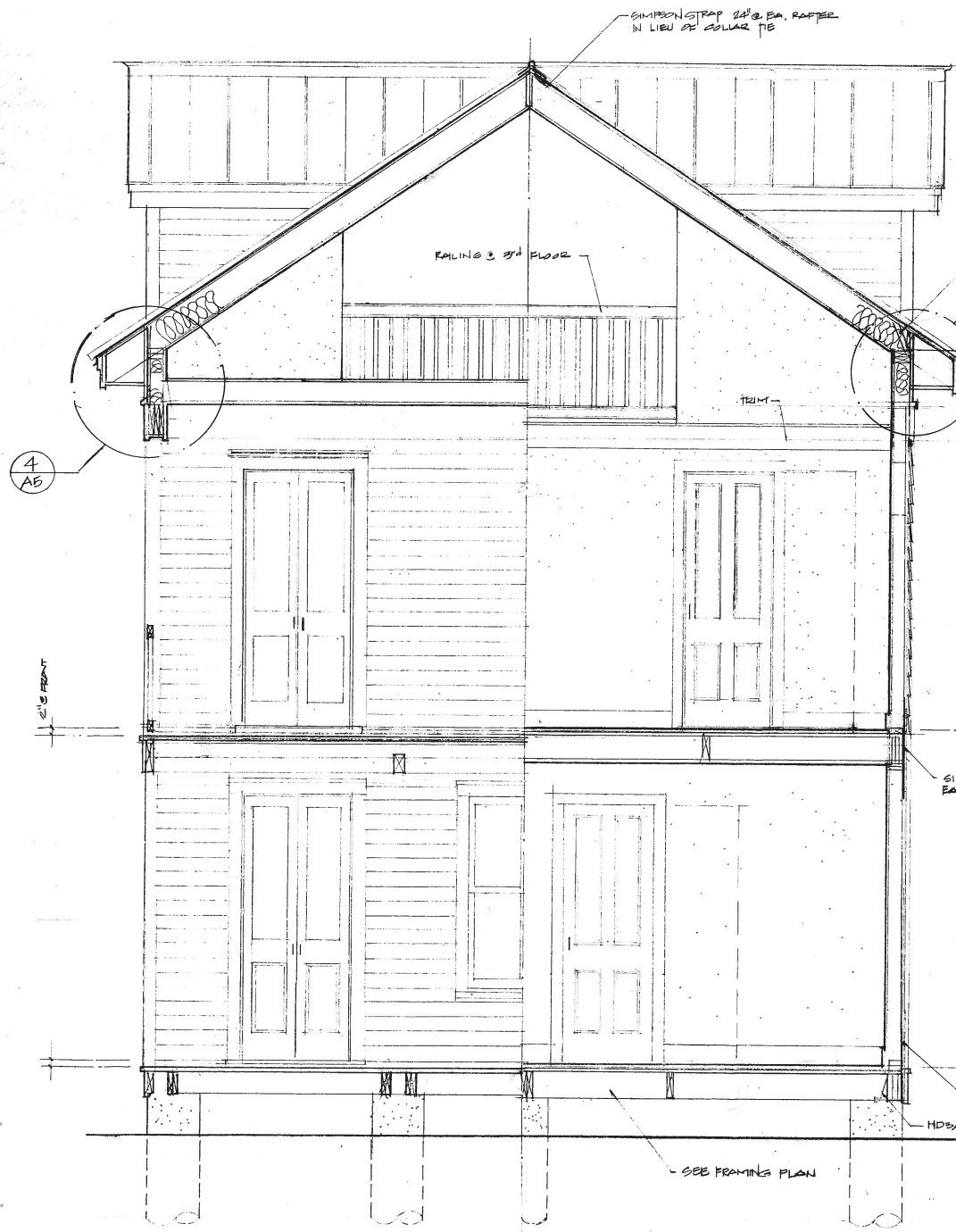
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A5

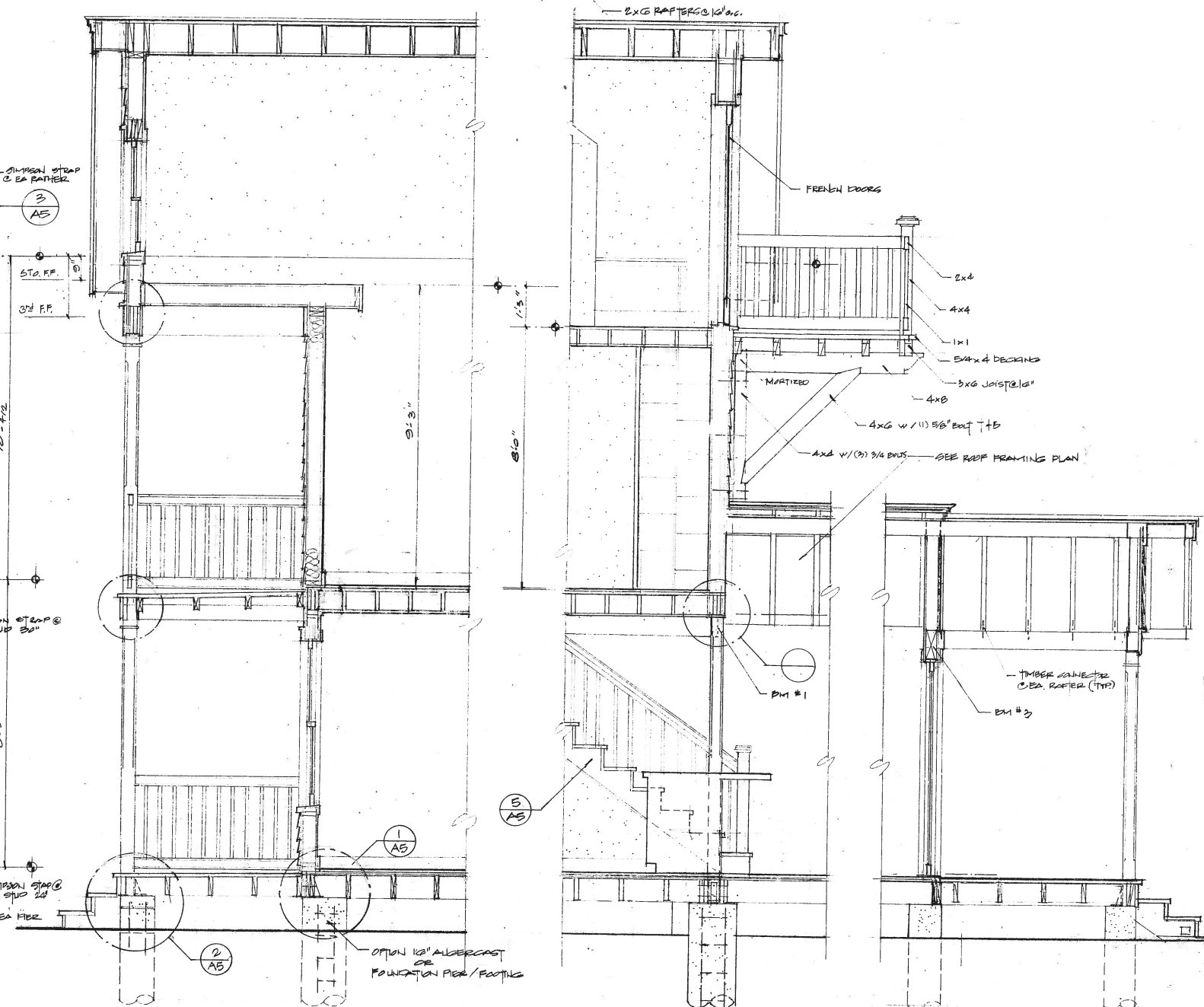
0 of 11



ROOF FRAMING PLAN
 SCALE 1/4" = 1'-0"



A BUILDING CROSS SECTION
 SCALE 1/2" = 1'-0"



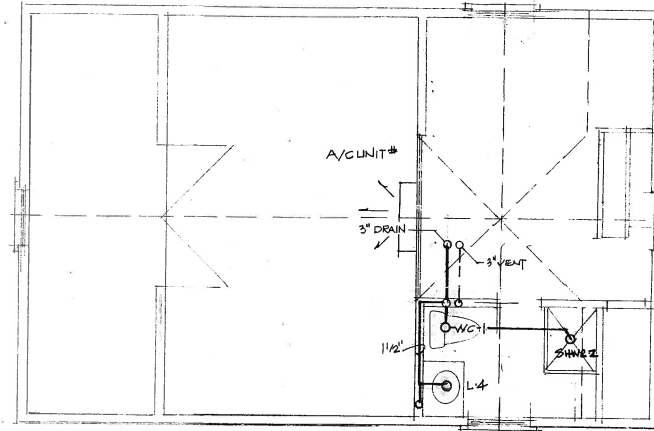
B BUILDING CROSS SECTION
 SCALE 1/2" = 1'-0"

MECHANICAL GENERAL NOTES:

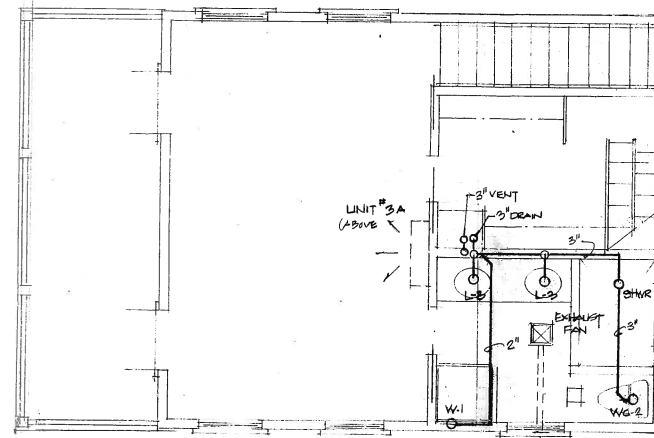
- EXISTING CONDITIONS INDICATED ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, VARIOUS SURVEYS, AND FIELD INVESTIGATIONS. UNFORESEEN CONDITIONS PROBABLY EXIST AND NEW WORK MAY BE FIELD LOCATED EXACTLY AS SHOWN ON DRAWINGS. COOPERATION WITH OTHER TRADES IN ROUTING, AS DETERMINED DURING CONSTRUCTION WILL BE NECESSARY.
- FIELD VERIFY EXISTING INSTALLATIONS. MODIFY EXISTING PLUMBING SYSTEMS, WHICH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW WORK.
- NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO INTERRUPTING EXISTING SERVICE. SCHEDULE DISCONNECTION AND TIE-INS TO MINIMIZE DISRUPTION OF SERVICES. SERVICES ARE NOT TO BE LEFT DISRUPTED DURING NON-NORMAL CONTRACTOR WORKING HOURS.
- PLANS ARE NOT COMPLETELY TO SCALE. PIPE ROUTING SHOWN IS SCHEMATIC AND IS NOT INTENDED TO INDICATE EXACT ROUTING AND ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES. VERIFY STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATION AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID INTERFERENCES.
- CONCEAL PIPING ABOVE CEILINGS, WITHIN WALLS OR CHASES EXCEPT AS SPECIFICALLY NOTED.
- SLEEVE AND FIRE STOP PENETRATIONS OF RATED WALLS, FLOORS, CEILING AND ROOFS.
- PROVIDE ACCESS PANELS TO ALL VALVES AND WATER HAMMER ARRESTERS LOCATED WITHIN CHASES OR NON-ACCESSIBLE CEILINGS. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
- COLD WATER PIPING SHALL BE TYPE "L" COPPER PIPE WITH SOLDERED (95/5) JOINTS.
- SCHEDULE 40 PVC PIPE & FITTINGS: ASTM D2665-86 JOINTS: ASTM D2855-83, SOLVENT WELD.
- ESCUTCHEONS SHALL BE PROVIDED FOR ALL PIPING THRU WALLS, FLOORS AND CEILINGS WHERE PIPE IS EXPOSED TO VIEW.
- SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND FINISHING HEIGHTS.
- PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAIN TRAP SEALS.
- PROVIDE, WHEN REQUIRED BY CODE, AN AIR GAP SERVING INDIVIDUAL FIXTURES, DEVICES, APPLIANCES AND APPARATUS.
- SIZE AND LOCATION OF ANY REQUIRED CLEANOUTS SHALL BE IN ACCORDANCE WITH THE SICC STANDARD PLUMBING CODE AND ALL JURISDICTION REGULATIONS.
- ALL WALL MOUNTED LAVATORIES AND HAND WASHING FACILITIES SHALL BE ATTACHED TO A FLOOR FINISHED GABER DESIGNED TO WITHSTAND A VERTICAL LOAD OF 250 POUNDS ON THE FRONT OF THE FIXTURE.
- PLUMBING CONTRACTOR SHALL PROVIDE SANITARY WASTE, VENT, DOMESTIC WATER, ETC. ROUGH-IN AND MAKE FINAL CONNECTIONS (INCLUDING SUPPLYING AND/OR INSTALLING ALL NECESSARY RELATED STOPS, VALVES, TRAPS, ETC. AND MAKE READY FOR USE) TO ALL EQUIPMENT WHETHER FURNISHED BY THIS CONTRACTOR OR FURNISHED BY OTHERS.
- INSULATE HOT AND COLD WATER PIPING WITH FACTORY FORMED, FIBERGLASS PIPE INSULATION FACTORY JACKETED SYSTEM 1" THICK EQUAL TO OHNE-CORNING FIBERGLASS 26/ALVSL.

PLUMBING GENERAL NOTES:

- EXISTING CONDITIONS INDICATED ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, VARIOUS SURVEYS, AND FIELD INVESTIGATIONS. UNFORESEEN CONDITIONS PROBABLY EXIST AND NEW WORK MAY BE FIELD LOCATED EXACTLY AS SHOWN ON DRAWINGS. COOPERATION WITH OTHER TRADES IN ROUTING, AS DETERMINED DURING CONSTRUCTION WILL BE NECESSARY.
- FIELD VERIFY EXISTING INSTALLATIONS. MODIFY EXISTING PLUMBING SYSTEMS, WHICH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW WORK.
- NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO INTERRUPTING EXISTING SERVICE. SCHEDULE DISCONNECTION AND TIE-INS TO MINIMIZE DISRUPTION OF SERVICES. SERVICES ARE NOT TO BE LEFT DISRUPTED DURING NON-NORMAL CONTRACTOR WORKING HOURS.
- PLANS ARE NOT COMPLETELY TO SCALE. PIPE ROUTING SHOWN IS SCHEMATIC AND IS NOT INTENDED TO INDICATE EXACT ROUTING AND ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES. VERIFY STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATION AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID INTERFERENCES.
- CONCEAL PIPING ABOVE CEILINGS, WITHIN WALLS OR CHASES EXCEPT AS SPECIFICALLY NOTED.
- SLEEVE AND FIRE STOP PENETRATIONS OF RATED WALLS, FLOORS, CEILING AND ROOFS.
- PROVIDE ACCESS PANELS TO ALL VALVES AND WATER HAMMER ARRESTERS LOCATED WITHIN CHASES OR NON-ACCESSIBLE CEILINGS. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
- COLD WATER PIPING SHALL BE TYPE "L" COPPER PIPE WITH SOLDERED (95/5) JOINTS.
- SCHEDULE 40 PVC PIPE & FITTINGS: ASTM D2665-86 JOINTS: ASTM D2855-83, SOLVENT WELD.
- ESCUTCHEONS SHALL BE PROVIDED FOR ALL PIPING THRU WALLS, FLOORS AND CEILINGS WHERE PIPE IS EXPOSED TO VIEW.
- SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND FINISHING HEIGHTS.
- PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAIN TRAP SEALS.
- PROVIDE, WHEN REQUIRED BY CODE, AN AIR GAP SERVING INDIVIDUAL FIXTURES, DEVICES, APPLIANCES AND APPARATUS.
- SIZE AND LOCATION OF ANY REQUIRED CLEANOUTS SHALL BE IN ACCORDANCE WITH THE SICC STANDARD PLUMBING CODE AND ALL JURISDICTION REGULATIONS.
- ALL WALL MOUNTED LAVATORIES AND HAND WASHING FACILITIES SHALL BE ATTACHED TO A FLOOR FINISHED GABER DESIGNED TO WITHSTAND A VERTICAL LOAD OF 250 POUNDS ON THE FRONT OF THE FIXTURE.
- PLUMBING CONTRACTOR SHALL PROVIDE SANITARY WASTE, VENT, DOMESTIC WATER, ETC. ROUGH-IN AND MAKE FINAL CONNECTIONS (INCLUDING SUPPLYING AND/OR INSTALLING ALL NECESSARY RELATED STOPS, VALVES, TRAPS, ETC. AND MAKE READY FOR USE) TO ALL EQUIPMENT WHETHER FURNISHED BY THIS CONTRACTOR OR FURNISHED BY OTHERS.
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THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

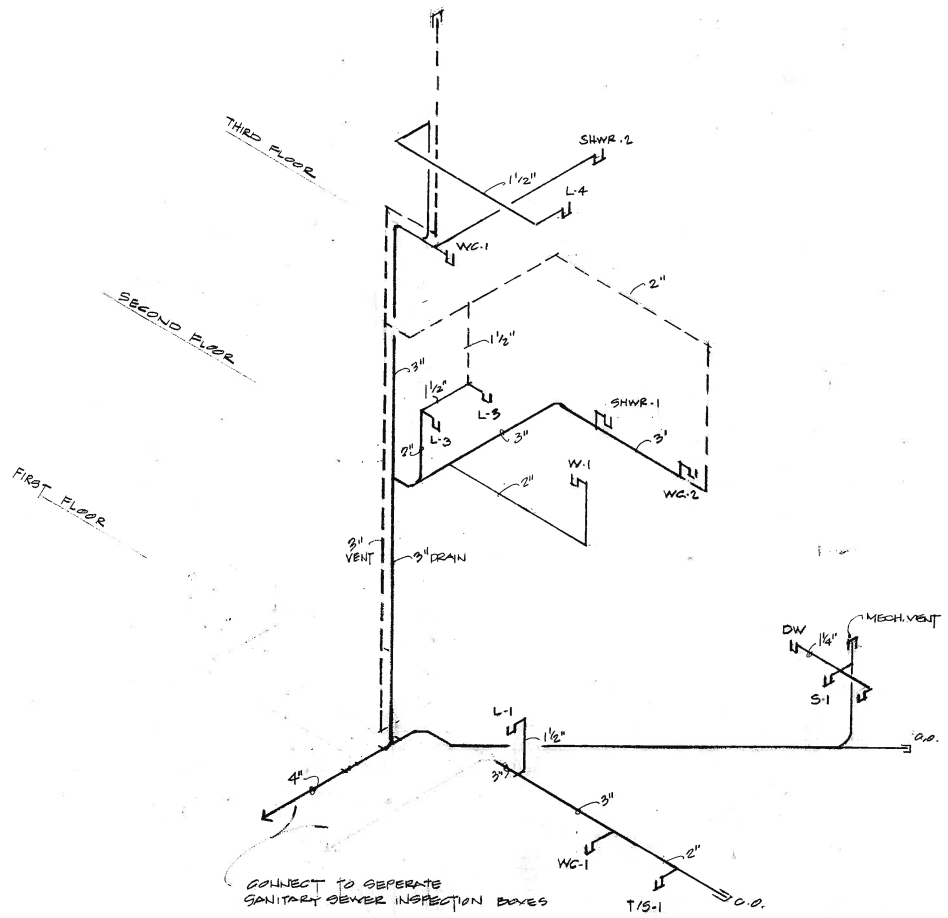


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

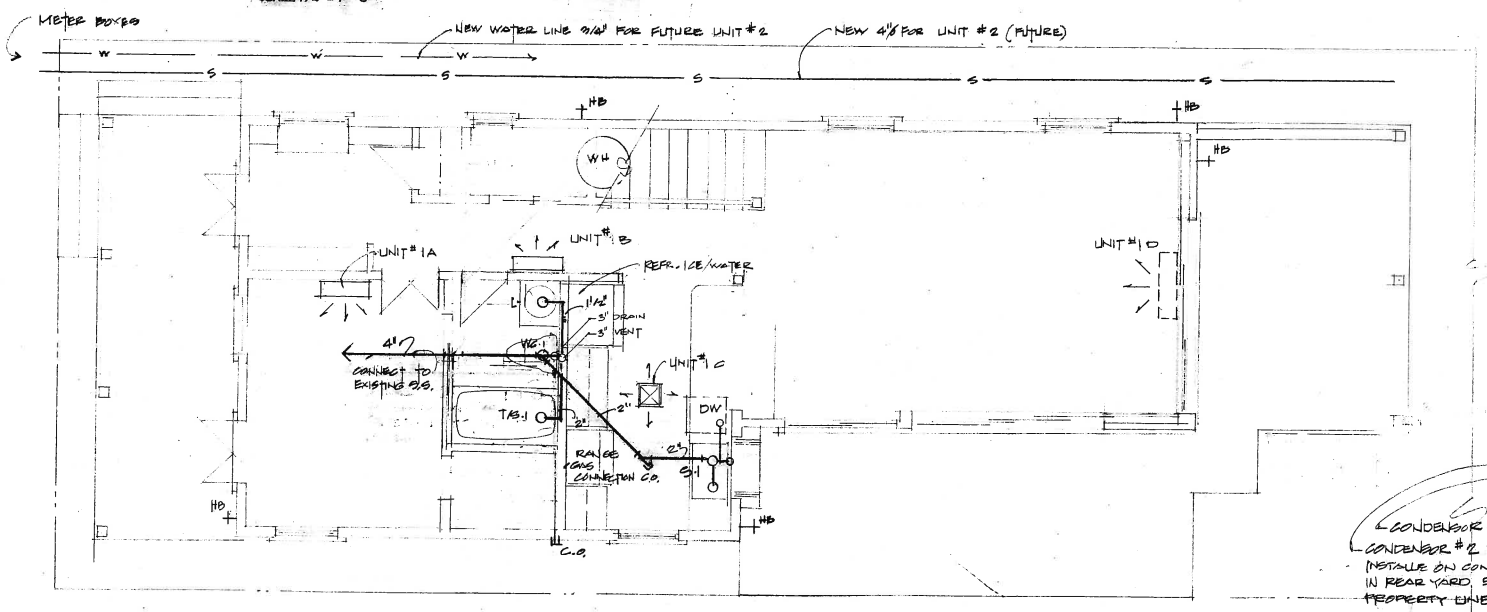
MARK	FIXTURE	MANUFACTURER	MODEL NO.	FITTINGS		REMARKS
				MANUFACTURER	MODEL NO.	
S-1	SINK					
L-1	LAVATORY					
L-2	LAVATORY					
L-3	LAVATORY					
L-4	LAVATORY					
WC-1	WATER CLOSET					
WC-2	WATER CLOSET					
T/S-1	TUB/SHOWER					
SHWR-1	SHOWER					
W-1	WASHER					
DW-1	DISH WASHER					

TO BE SELECTED BY OWNER

DESCRIPTION	MFR.	MODEL	DIMENSIONS			MAT'L	LOCATION
			W	H	D		
UNIT 1 COMPRESSOR	DAIKIN	MRZ-FE09 12NA					SIDE / REAR
UNIT 1A A/H		MS-A0910W					FIRST FLR. BEDROOM
UNIT 1B COMPRESSOR	DAIKIN	MRZ-FE09 12NA					SIDE / REAR
UNIT 1D A/H		MS-A0910W					DINING / LIVING
UNIT 1C A/H		SLZ-K009 12.15NA					KITCHEN
UNIT A/H		MRZ-FE09 12NA					HALLWAY
UNIT COMPRESSOR	DAIKIN	MRZ-FE09 12NA					
UNIT		MSZ-K009 12NA					



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



PLUMBING MECHANICAL

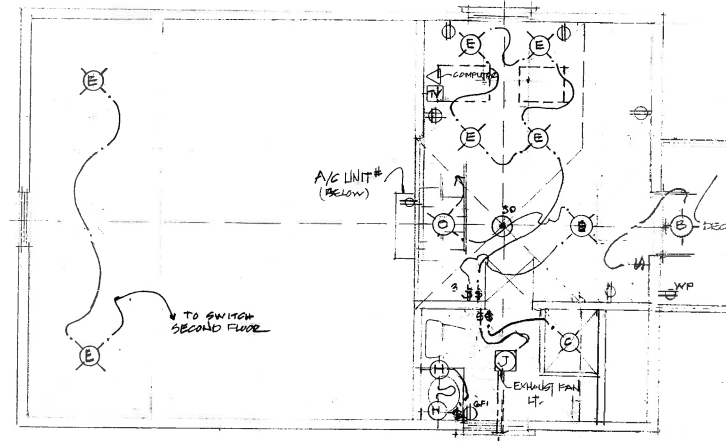
HIGGINS/SCHULTZ RESIDENCE
NEW CONSTRUCTION
617 GRINNELL, KEY WEST, FLORIDA

WILLIAM ROWAN ARCHITECTURE
321 PEACOCK LANE
305 296 5784
KEY WEST, FLORIDA
FLORIDA LICENSE AR-001751

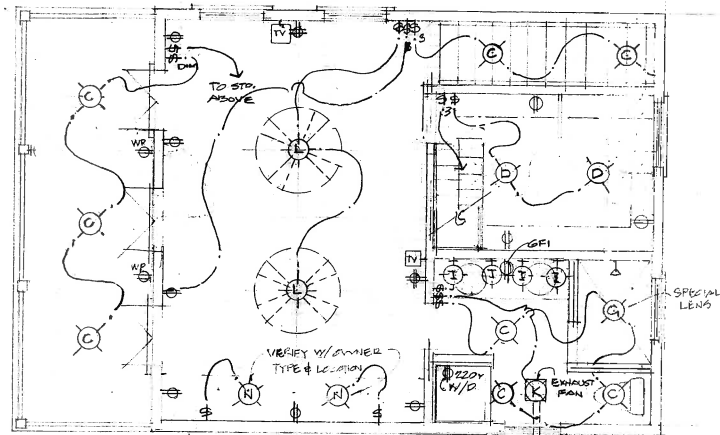
JOB NUMBER
DATE 4-16-14

MP
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PANEL SCHEDULE									
PANEL MDP PHASE 1		WIRE #	VOLTAGE 120/240		MAIN AMPERAGE 200A				
LOCATION	WIRE #	MOUNTING	RECEIVED	BUS AMPERAGE 130A					
CT #	KVA @ A	KVA @ C	DESCRIPTION	P	A/C	DESCRIPTION	KVA @ A	KVA @ C	CT #
1	1.5		LIGHTING 1ST	1	20	POWER			2
3	1.5		LIGHTING 2ND	1	20	POWER			4
5	1.5		LIGHTING 3RD	1	20	POWER			6
7	1.5		LIGHTING KITCHEN	1	20	POWER KITCHEN			8
9	1.2		FANS 1ST FLOOR	1	20	REFRIG			10
11	1.2		FANS 2ND FLOOR	1	20	MICRO			12
13	1.0		A/C UNIT 1A	1	30	RANGE/OVEN	2.5		14
15	1.0		A/C UNIT 1B	1	30				16
17	1.0		A/C UNIT 1C	1	30	DISH WASHER	1.0		18
19	1.0		A/C UNIT 1D	1	30	WASHER			20
21	2.5		CONDENSER UNIT 1	2	2	DRYER	1.5		22
23	1.5			10					24
25	1.0		A/C UNIT 2A	1	30	OUTDOOR LIGHTING	1.5		26
27	1.0		A/C UNIT 2B	1	30	OUTDOOR PAUSE			28
29	2.5		CONDENSER UNIT 2	2	2	WATER HEATER	1.5		30
31	2.5			10					32
33				1	20	GARAGE DISPOSAL			34
35									36
37									38
39									40
Total KVA @ A									
Total KVA @ C									
Total KVA									
Line Amps Demand									



THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"



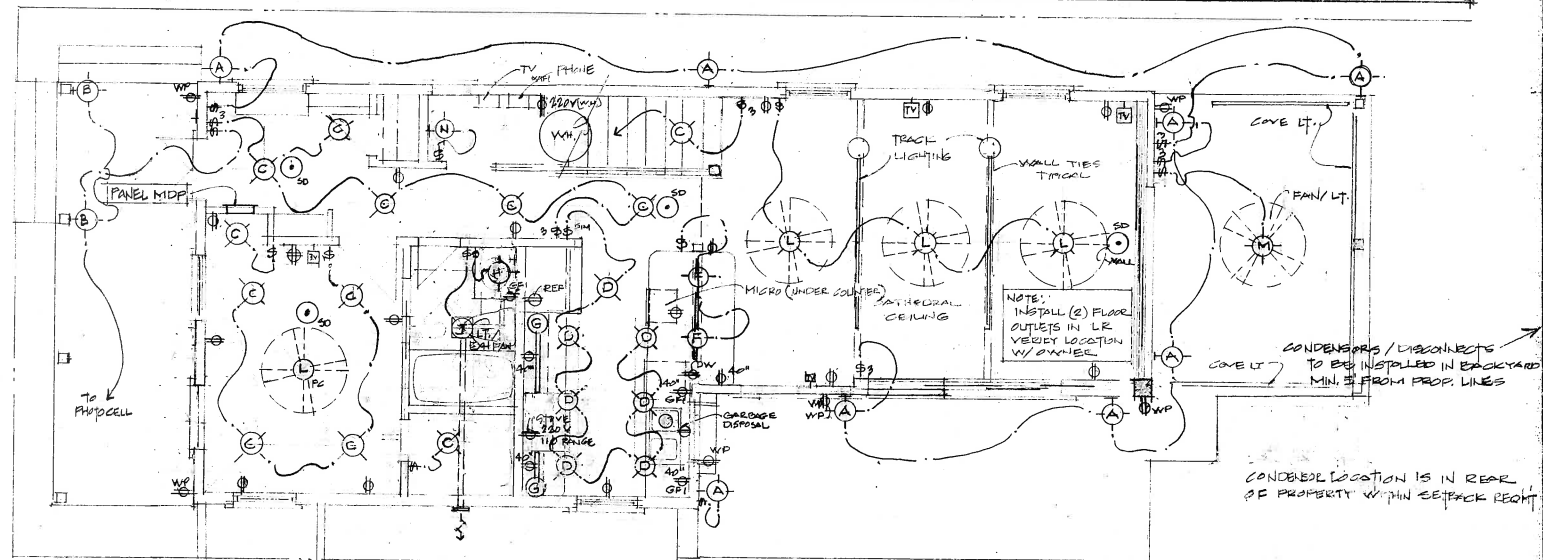
SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

ELECTRICAL FIXTURE SCHEDULE					
MARK	MANUFACTURER	MODEL NO.	DESCRIPTION	MOUNTING	LAMPS
A			EXTERIOR LIGHTS	WALL	
B			EXT. LIGHTS @ COLUMNS	COLUMN	
C			4" CANS	RECESSED	
D			6" CANS	"	
E			8" CANS (SLOPED ROOF TYP.)	"	
F			TRACK LT. W/ (2) PENDANTS	SURFACE	
G			UNDERCOUNTER LIGHTING	"	
H			VANITY LIGHTS		
I			VANITY LIGHTS		
J			EXHAUST FAN / LT. COMBO		
K			EXHAUST FAN		
L			HUNTER FAN W/O LIGHT		
M			HUNTER FAN W/ LIGHT		
N			TO BE SELECTED		
O			" " "		

TO BE SELECTED BY OWNER

APPLIANCE SCHEDULE								
MARK	APPLIANCE	MFR.	MODEL	DIMENSIONS			COLOR	REMARKS
				H	W	D		
	WATER HEATER							
	REFRIGERATOR							
	RANGE/OVEN							
	MICROWAVE							
	DISHWASHER							
	GARAGE DS							

TO BE SELECTED BY OWNER



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

ELECTRICAL

- ELECTRICAL NOTES**
- All electrical work shall be performed in accordance with the National Electrical Code, Standard Building Code and/or any local codes and ordinances.
 - The Electrical Contractor shall refer to the Architectural plans for exact location of all equipment. Contractor shall not scale plans.
 - It is not the intent of these plans to show every and all details of construction. The Electrical Contractor shall furnish and install all items as to provide a complete electrical installation with all equipment in proper working order.
 - The Electrical Contractor shall be responsible for the full coordination of his work with that of the General Contractor.
 - It shall be understood that all work performed shall be done so by a licensed Electrical Contractor and in a first class workmanlike manner.
 - All electrical work and material shall be guaranteed for a period of one year of date of issue of Certificate of Occupancy.
 - All power and control wiring shall be done by the Electrical Contractor.
 - All panels shall have typewritten directories indicating all circuits.
 - Lighting fixtures including lamps shall be provided and installed by the Electrical Contractor.
 - All wires and cables shall be copper except as indicated. Wires shall be #12 minimum size (control wiring shall be #14AWG). Wire sizes #10 and smaller shall be THW solid. Wire sized #8 and larger shall be THW stranded.
 - Contractor shall provide temporary power for all trades.
 - Contractor shall install lighting fixtures provided by others.
 - All copper water pipe shall be electrical bonded and grounded.
 - Balance loads in accordance with good construction practices.
 - The Electrical Contractor shall be responsible for verifying adequate circuitry and breaker sizes which are required by this Contract.
 - The Contractor shall furnish and install approved hard-wired smoke detectors in accordance with the requirements of the building department having jurisdiction over this project.

HIGGINS/SCHULTZ RESIDENCE
NEW CONSTRUCTION
 617 GRINNELL KEY WEST, FLORIDA

WILLIAM ROWAN ARCHITECTURE
 321 PEACOCK LANE
 KEYWEST, FLORIDA
 FLORIDA LICENSE AB-017251
 305.396.3784

JOB NUMBER: _____
 DATE: 4.16.14
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GENERAL NOTES

100 DESIGN CRITERIA

100.1 DESIGN BUILDING CODE:
2010 FLORIDA BUILDING CODE

100.2 GRAVITY DESIGN LOADS:
1. LIVE LOADS:
a. ROOF 40 PSF
b. RESIDENTIAL 20 PSF
c. RESIDENTIAL BALCONIES UNDER 100 SF 60 PSF
d. RESIDENTIAL BALCONIES OVER 100 SF 100 PSF
e. STAIRS 100 PSF
f. PARTITIONS 20 PSF

100.3 LATERAL LOADS:
1. WIND LOADS (ASCE 7-10, AS REVISED BY FBC)
a. V = 180 MPH
b. EXPOSURE CATEGORY: D
c. ENCLOSURE CLASSIFICATION: ENCLOSED
d. BUILDING CATEGORY: II
e. IMPORTANCE FACTOR (I) = 1.0
f. INTERNAL PRESSURE COEFFICIENTS (C_{pi}) = 0.18 OR -0.18
g. COMPONENTS AND CLADDING PRESSURES: SEE "COMPONENTS AND CLADDING WIND LOADS" TABLE, AND "COMPONENTS AND CLADDING WIND PRESSURE DIAGRAM"

120 SHOP DRAWINGS

120.1 THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY ATLANTIC ENGINEERING SERVICES AND THE PROJECT ARCHITECT. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL COMPONENTS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
a. REINFORCING STEEL FOR CONCRETE
b. CONCRETE POST-INSTALLED ANCHORS
c. ENGINEERED WOOD COMPONENTS (GLUED-LAMINATED WOOD FRAMING, PARALLAM PSL)
d. FABRICATED STRUCTURAL STEEL
SHOP DRAWINGS TO BE SUBMITTED SHALL PROVIDE COMPLETE INFORMATION FOR THE PRODUCTS OR COMPONENTS TO BE SUPPLIED. SUBMITTAL INFORMATION SHALL INCLUDE, BUT NOT BE LIMITED TO: MEMBER SIZES AND DIMENSIONS; GRADES OF MATERIAL FURNISHED; MATERIAL PREPARATION REQUIRED; MATERIAL FINISH AND MATERIAL COATINGS TO BE FURNISHED; INFORMATION REGARDING CUTS, COPES AND HOLES REQUIRED FOR OTHER TRADES; END CONNECTIONS; CAMBER AND OTHER DEVIATION FROM LINE; SPECIAL ERECTION AND/OR INSTALLATION PROCEDURES INCLUDING REQUIREMENTS FOR TEMPORARY STABILIZATION.

120.2 THE CONTRACTOR SHALL SUBMIT PRINTED COPIES OF SHOP DRAWINGS FOR REVIEW BY ATLANTIC ENGINEERING SERVICES. PRINTED COPIES OF SHOP DRAWINGS SHALL CONSIST OF TWO (2) NON-REPRODUCIBLE PRINTS AND ONE (1) REPRODUCIBLE TRACING/SEPA. UPON THE COMPLETION OF THE SHOP DRAWING REVIEW, ONE (1) PRINT AND ONE (1) TRACING/SEPA SHALL BE RETURNED TO THE PROJECT ARCHITECT FOR DISTRIBUTION TO THE CONTRACTOR.

120.4 THE REVIEW OF SHOP DRAWINGS AND OTHER SUBMITTALS FOR THIS PROJECT IS FOR CONFORMANCE WITH THE DESIGN CONCEPT AND FOR GENERAL CONFORMANCE WITH THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS. COMMENTS REGARDING THESE SUBMITTALS DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING HIS WORK IN A SAFE AND SATISFACTORY MANNER.

200 FOUNDATIONS - GENERAL

200.1 FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH GENERALLY ACCEPTED CRITERIA. A GEOTECHNICAL ENGINEER SHALL BE REQUIRED TO VERIFY THAT PILES HAVE THE REQUIRED CAPACITY TO SUPPORT THE PROPOSED STRUCTURE PRIOR TO CONSTRUCTION.

200.2 CONCRETE SLABS ON GRADE HAVE BEEN DESIGNED TO BEAR ON COMPACTED SUBGRADE SOILS OR PROPERLY COMPACTED FILL. A GEOTECHNICAL ENGINEER SHALL BE REQUIRED TO VERIFY THAT THE COMPACTED FILL MEETS THE REQUIREMENTS TO SUPPORT THE PROPOSED SLAB ON GRADE.

230 AUGER GROUT INJECTED PILES

230.1 FOUNDATIONS HAVE BEEN DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH CRITERIA ESTABLISHED IN THE GEOTECHNICAL REPORT PER 200.1.

230.2 24-INCH DIAMETER 48-TON CAPACITY AUGER GROUT INJECTED PILES WITH 4-#8 VERTICAL AND #3 "IES AT 10" ON CENTER. EXTEND VERTICAL REINFORCING INTO EACH PILE CAP/GRADE BEAM/COLUMN WITH 180" HOOK OR CLASS B TENSION SPICE.

230.3 GROUT FOR AUGER PILES $f_c = 5000$ PSI

230.4 MINIMUM TIP ELEVATION - 4'-0" BELOW TOP OF CAP ROCK.

230.5 PRODUCTION PILE WORK SHALL PROCEED ONLY AFTER SUCCESSFUL LOAD TESTING OF ONE TEST PILE BY AN APPROVED TESTING COMPANY. THE CONTRACTOR SHALL PAY FOR ALL LOAD TESTS.

230.6 THE AUGER GROUT INJECTED PILE CONTRACTOR SHALL SUBMIT EVIDENCE TO THE ENGINEER THAT HE HAS BEEN ENGAGED IN THE SUCCESSFUL INSTALLATION OF AUGER GROUT INJECTED PILES FOR AT LEAST FIVE YEARS.

230.7 AUGER GROUT INJECTED PILE INSTALLATION SHALL BE OBSERVED AND MONITORED BY A GEOTECHNICAL ENGINEER FROM ELLIS AND ASSOCIATES.

230.8 THE AUGER CAST PILE CONTRACTOR SHALL PROVIDE CERTIFICATION, SIGNED AND SEALED BY A REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER, THAT THE AUGER CAST PILES AS INSTALLED HAVE AT LEAST THE ABOVE NOTED CAPACITY. PROVIDE IN-SITU TESTING AS REQUIRED PER 200.1.

300 REINFORCED CONCRETE

300.1 ALL REINFORCED CONCRETE WORK SHALL BE IN CONFORMANCE WITH THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318, LATEST EDITION) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301, LATEST EDITION) OF THE AMERICAN CONCRETE INSTITUTE.

300.2 MINIMUM f_c REQUIRED AT 28 DAYS:
a. PILE CAPS MIN. $f_c = 4000$ PSI
b. SLABS ON GRADE MIN. $f_c = 4000$ PSI
c. BEAMS AND ELEVATED SLABS MIN. $f_c = 4000$ PSI
d. COLUMNS MIN. $f_c = 4000$ PSI
e. BALCONIES WITH 2-1/2 GALLONS OF CORROSION INHIBITOR PER CY $f_c = 5000$ PSI

300.3 MAXIMUM WATER CEMENT RATIO:
a. PILE CAPS 0.56
b. SLABS ON GRADE 0.56
c. BEAMS AND ELEVATED SLABS 0.48
d. COLUMNS 0.48
e. BALCONIES WITH 2-1/2 GALLONS OF CORROSION INHIBITOR PER CY 0.48

300.4 ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (144 PCF +/-) WITH ALL CEMENT CONFORMING TO ASTM C150, TYPE I. MAXIMUM AGGREGATE SIZE SHALL BE 1-1/2" FOR FOOTINGS AND 3/4" FOR WALLS AND SLABS, CONFORMING TO ASTM C33.

300.5 REINFORCEMENT
a. DEFORMED BARS ASTM A615, GRADE 60
b. WELDED WIRE MESH ASTM A188

300.6 MINIMUM COVER FOR CAST-IN-PLACE CONCRETE REINF. UNLESS OTHERWISE SHOWN ON DRAWINGS SHALL BE AS FOLLOWS:
PILE CAPS 3"
COLUMNS (OVER VERT. REINF.) 2"
BEAMS (OVER HORIZ. REINF.) 2"
SLABS CAST AGAINST EARTH 2"
EXTERIOR WALLS CENTERED 2"

300.7 SPLICES IN REINFORCEMENT, WHERE PERMITTED, SHALL BE AS FOLLOWS:
ALL OTHERS CLASS "B" TENSION, CLASS "A" MINIMUM, UNLESS OTHERWISE NOTED

300.8 CLASS "B" CASE "1" TENSION SPLICES IN INCHES, SHALL BE AS FOLLOWS:
3000 PSI ALL TOP TOP ALL TOP ALL TOP ALL TOP
OTHERS OTHERS OTHERS OTHERS OTHERS OTHERS OTHERS OTHERS OTHERS OTHERS OTHERS
#3 (10) 28 22 24 19 22 17
#4 (13) 37 29 32 25 29 22
#5 (16) 47 36 40 29 33 26
#6 (19) 56 43 48 37 43 33
#7 (22) 65 51 56 46 52 40
#8 (25) 83 72 80 62 72 55
#9 (29) 105 91 102 79 81 63
#10 (32) 118 101 113 87 101 78
#11 (36) 131 101 113 87 101 78

300.9 SPLICES IN TOP REINFORCEMENT SHALL BE MADE AT MIDSPAN. SPLICES IN BOTTOM REINFORCEMENT SHALL BE OVER SUPPORTS UNLESS NOTED OTHERWISE.

300.10 TOP BARS IN BEAMS SHALL TERMINATE IN A CLASS "B" TENSION SPLICE OR HOOK AT DISCONTINUOUS END.

300.11 PARALLEL REINFORCEMENT PLACED IN TWO OR MORE LAYERS SHALL HAVE A CLEAR DISTANCE BETWEEN LAYERS OF 1 INCH. UPPER LAYER BARS SHALL BE PLACED DIRECTLY ABOVE BARS IN THE BOTTOM LAYER.

300.12 ALL REINFORCING SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACEMENT OF CONCRETE. REINFORCING SUPPORTS FOR ALL EXPOSED CONCRETE SHALL BE GALVANIZED WITH PLASTIC COATED FEET. ALL WELDED WIRE MESH SHALL BE CHAUMED IN ACCORDANCE WITH THE 2004 FBC.

300.13 ALL TEES SHALL HAVE 135 DEGREE HOOKS.

300.14 PROVIDE 1/2" PRE-MOLDED EXPANSION MATERIAL WHERE SLAB ON GRADE IS POURED AROUND COLUMNS AND AGAINST WALLS UNLESS OTHERWISE SHOWN ON DRAWINGS.

300.15 CONSTRUCTION JOINTS FOR SLABS ON GRADE SHALL BE SPACED NO MORE THAN 16'-0" ON CENTER. PANELS SHALL BE AS SQUARE AS POSSIBLE WITH A LENGTH TO WIDTH RATIO NOT TO EXCEED 1.5.

300.16 CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL SLOTS, PIPE SLEEVES, ETC., AS REQUIRED FOR MECHANICAL TRADES BEFORE CONCRETE IS PLACED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING LOCATIONS FOR ALL SLAB OPENINGS FOR REVIEW BY STRUCTURAL ENGINEER.

300.17 PIPES OR CONDUITS PLACED IN SLABS SHALL NOT HAVE AN OUTSIDE DIAMETER LARGER THAN 1/3 THE SLAB THICKNESS AND SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS ON CENTERS. ALUMINUM CONDUITS SHALL NOT BE PLACED IN CONCRETE. NO CONDUITS SHALL BE PLACED IN SLAB WITHIN 1/2" OF COLUMN FACE OR FACE OF BEARING WALL. NO CONDUITS MAY BE PLACED IN EXTERIOR SLABS.

300.18 PRIOR TO PLACING CONCRETE, THE CONTRACTOR SHALL SUBMIT FOR REVIEW BY STRUCTURAL ENGINEER A CONCRETE POUR SCHEDULE SHOWING LOCATION OF ALL PROPOSED CONSTRUCTION JOINTS.

300.19 PRIOR TO CONCRETE PLACEMENT, THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN, PREPARED IN ACCORDANCE WITH THE SPECIFICATIONS, TO THE STRUCTURAL ENGINEER FOR REVIEW.

350 CONCRETE/MASONRY ANCHORS

350.1 ALL ADHESIVE STUD ANCHORS SHALL BE "HILTI HIT-HY 150 ADHESIVE CONCRETE ANCHORS" AS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC. (OR EQUAL).

350.2 ALL EXPANSION STUD ANCHORS SHALL BE "HILTI KWIK-BOLT II EXPANSION CONCRETE ANCHORS" AS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC. (OR EQUAL).

350.3 THE "HAS ANCHOR ROD" SHALL CONFORM TO ASTM A36 STEEL, THE "HAS SUPER ANCHOR ROD" SHALL CONFORM TO ASTM A193 STEEL, THE "HAS STANDARD NUT" SHALL CONFORM TO ASTM A563, GRADE A. THE "HAS SUPER ANCHOR NUT" SHALL CONFORM TO ASTM A 563, GRADE H.

350.4 THE "KWIK-BOLT II EXPANSION ANCHORS" STUD SHALL CONFORM TO ASTM A510 OR ASTM A108 STEEL AND THE NUT SHALL CONFORM TO ASTM A563, GRADE A.

350.5 THE SPACING, MINIMUM EMBEDMENT AND INSTALLATION OF THE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURES.

510 STRUCTURAL STEEL

510.1 ALL STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH THE "LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (1989 EDITION, AS REVISED) OF THE AISC.

510.2 GRADE OF STEEL
(1) STEEL TUBES (HSS SHAPES) ASTM A500, GRADE B
(2) ANGLES AND PLATES ASTM A36

510.3 GALVANIZED STRUCTURAL STEEL
(1) STRUCTURAL SHAPES AND ROHS ASTM A123
(2) BOLTS, FASTENERS AND HARDWARE ASTM A153

510.4 ALL BOLTS SHALL BE ASTM A325, 3/4-INCH DIAMETER, UNLESS NOTED OTHERWISE.

510.5 ALL WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE, AWS D1.1, LATEST EDITION, OF THE AMERICAN WELDING SOCIETY. ELECTRODES SHALL BE E70XX FOR MANUAL ARC WELDING AND F7X-EXXX FOR SUBMERGED ARC WELDING.

510.6 ALL BEAM TO COLUMN CONNECTIONS SHALL BE DESIGNED FOR THE SUMMATION OF THE FOLLOWING LOADS:
a. FOR ONE HALF THE UNIFORM LOAD CAPACITY OF THE MEMBER IN ACCORDANCE WITH AISC SPECIFICATIONS, BUT NOT LESS THAN 6 KIIPS.
b. 1.0 D KIP AXIAL FORCE (ACTING IN TENSION AND COMPRESSION).
c. THE EFFECTS OF CONCENTRATED LOADS OCCURRING CLOSE TO THE ENDS OF THE BEAMS.

510.7 CUTS, HOLES AND COPING, ETC. REQUIRED FOR OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWING AND MADE IN THE SHOP. CUTS OR BURNING OF HOLES IN STRUCTURAL STEEL IN THE FIELD WILL NOT BE PERMITTED.

510.8 ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIED DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES.

510.9 ALL STRUCTURAL STEEL FRAMES SHALL BE SECURELY BRACED UNTIL ALL FLOOR SLABS, ROOF DECKS AND SHEAR WALLS HAVE BEEN INSTALLED AND BECOME CAPABLE OF STABILIZING THE FRAMES.

510.10 ALL STRUCTURAL STEEL WORK EXCEPT PORTIONS OF MEMBERS TO BE WELDED, FIELD BOLTED OR FIREPROOFED, SHALL BE SHOP PAINTED WITH PAINT CONFORMING TO STEEL STRUCTURES PAINTING COATING (SSPC) PAINT 20. APPLY PRIME PAINT ACCORDING TO SSPC PAINT SYSTEM GUIDE NO. 7.00. CLEAN STEEL FREE OF LOOSE SCALE, RUST, OIL AND GREASE. ADDITIONAL AREAS SHALL BE FIELD PAINTED AFTER WELDING.

350.16 BOLT AND WELD TESTING:
a. ALL SHOP AND FIELD BOLTS SHALL BE TESTED PER AISC REQUIREMENTS.
b. ALL WELDS SHOULD BE VISUALLY INSPECTED.
c. TEN PERCENT OF ALL WELDS AT BEAM AND GIRDER SHEAR CONNECTIONS SHALL BE RANDOMLY INSPECTED BY MAGNETIC PARTICLE METHOD, COMPLYING WITH ASTM E109, PERFORMED ON ROOF PANS AND ON FINISHED WELD.
d. WELDS SHALL HAVE ULTRASONIC INSPECTION, COMPLYING WITH ASTM E184.
e. ONE HUNDRED PERCENT OF WELDS IN BEAM AND COLUMN MOMENT CONNECTIONS SHALL HAVE ULTRASONIC INSPECTION, COMPLYING WITH ASTM E184.

350.17 LEVELING GROUT SHALL BE NON-SHRINK, NON-METALLIC TYPE, FACTORY PRE-MIXED GROUT TESTED IN ACCORDANCE WITH CE-CR0-C821 OR ASTM C109, WITH f_c OF NOT LESS THAN 5000 PSI.

350.18 ALL ANCHOR BOLTS SHALL BE ASTM A307 OR ASTM F1554, GRADE 36 AND A MINIMUM 3/4" DIAMETER UNLESS NOTED OTHERWISE.

350.19 PROVIDE TAPERED SHIMS, ANGLES, BENT PLATES, OR OTHER STEEL ACCESSORIES TO FACILITATE BEARING CONNECTIONS AND DECK SUPPORT FOR SLOPING OR CANTED STRUCTURAL STEEL AS REQUIRED.

610 STRUCTURAL LUMBER

610.1 ALL STRUCTURAL LUMBER SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.

610.2 ALL STRUCTURAL LUMBER SHALL BE AS A MINIMUM NO. 2 GRADE DOUGLAS FIR-LARCH, OR SOUTHERN PINE AND SHALL HAVE AT LEAST THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES AND MODULUS OF ELASTICITY AT A MAXIMUM MOISTURE CONTENT OF 19%:
a. F_b (BENDING) 1,200 PSI
b. F_v (SHEAR) 175 PSI
c. F_c (COMPRESSION) 1,000 PSI
d. F_t (TENSION) 825 PSI
e. E 1,600,000 PSI

610.3 ALL LUMBER SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND WITH THE APPLICABLE RULE OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARD. FACTORY MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF INSPECTION AGENCY EVIDENCING COMPLIANCE WITH GRADING RULE REQUIREMENTS.

610.4 STRUCTURAL STEEL PLATES, ANGLES, ETC., SHALL BE ASTM A36. CONTRACTOR TO SUBMIT SHOP DRAWINGS ON ALL MISCELLANEOUS METALS FOR REVIEW BY STRUCTURAL ENGINEER.

610.5 ALL BOLTS SHALL BE 5/8-INCH DIAMETER ASTM A307 UNLESS OTHERWISE NOTED WITH 2 WASHERS PER BOLT UNLESS OTHERWISE NOTED.

610.6 EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED AT MID-HEIGHT WITH WOOD BLOTTING. PROVIDE CONTINUOUS DOUBLE 2x4 TOP PLATE TYPICAL ALL WALLS. BRACE ALL EXTERIOR BUILDING CORNERS WITH 1/2" PLYWOOD SHEATHING FASTENED TO STUD WALLS. FULL HEIGHT FOR A MINIMUM WIDTH OF 4'-0".

610.7 NO CUTS, HOLES, OR COPES REQUIRED FOR OTHER TRADES IN STRUCTURAL WOOD FRAMING WILL BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL OF ENGINEER AND ARCHITECT.

610.8 ONE ROW OF BRIDGING SHALL BE PROVIDED AT CENTER LINE OF JOIST SPAN OR AS INDICATED ON THE DRAWINGS.

610.9 PRESSURE TREAT WITH WATER-BORNE PRESERVATIVES ALL LUMBER FOR SILL PLATES AND OTHER WOOD WHICH MAY BE EXPOSED TO WEATHER OR EARTH. PRESERVATIVE TREATMENT SHALL COMPLY WITH REQUIREMENTS OF ANFA STANDARDS C2 AND LP-22.

610.10 ALL "PARALLAM PSL" LUMBER SHALL CONFORM TO THE MOST CURRENT SPECIFICATION OF THE AMERICAN PLYWOOD ASSOCIATION WITH AT LEAST THE FOLLOWING MINIMUM DESIGN STRESSES:
a. F_b (BENDING) 2,900 PSI
b. F_v (SHEAR) 250 PSI
c. E 2,000,000 PSI
d. PARALLEL TO GRAIN 2,900 PSI
e. PERPENDICULAR TO GRAIN 750 PSI
f. F_t (TENSION) 2,400 PSI

610.11 ALL MEMBERS SHOWN ON PLAN WITH DESIGNATION "PSL" SHALL BE PARALLAM PSL MEMBERS. ALL PARALLAM STRUCTURAL LUMBER SHALL BE APA RATED, EXPOSURE I. ALL ADHESIVES SHALL COMPLY WITH ANS/ATC A190.1 "NET-USE" TYPE.

610.12 ALL SIDE LOADED PARALLAM BEAMS OR COLUMNS SHALL BE SOLID AND SHALL NOT BE COMPOSED OF MULTIPLE PILES. TOP LOADED PARALLAM BEAMS SHALL BE COMPOSED OF MULTIPLE PILES OF 1-3/4 INCH THICK MEMBERS AND SHALL BE NAILED BY END AND BOTTOM UNLESS OTHERWISE NOTED ON CENTER AND GULLED TOGETHER WITH AN EXTERIOR TYPE ADHESIVE.

610.13 ALL PARALLAM BEAM ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH HANGERS AS MANUFACTURED BY SIMPSON STRONG-TIE. UNLESS STEEL PRODUCTS COMPANY, OR WITH APPROVED SUBSTITUTES WITH WORKING LOAD CAPACITIES EQUIVALENT TO THE "SIMPSON" SERIES HANGERS SPECIFIED.

610.14 PROVIDE END-COAT SEALING TO END AND CROSS CUTS AFTER CUTTING TO FINAL LENGTH FOR ALL PARALLAM BEAMS.

610.15 PROVIDE NAILING PATTERN IN COMPLIANCE WITH FBC RECOMMENDED FASTENING SCHEDULE WHEN JOINING TWO OR MORE FRAMING MEMBERS.

610.16 ALL MULTIPLE 2x MEMBERS SHALL BE FASTENED TOGETHER WITH 100 NAILS AT 6" ON CENTER, ALTERNATE TOP AND BOTTOM UNLESS OTHERWISE NOTED.

610.17 PROVIDE DOUBLE JOISTS OR SOLID BLOCKING AT 24" ON CENTER UNDER ALL PARTITIONS.

610.18 PROVIDE DOUBLE LAYER PLYWOOD UNDER ALL CERAMIC TILE FLOORS.

610.19 ALL LUMBER SHALL BE FIRE-RETARDANT TREATED LUMBER PRESERVATIVE APPLIED TO COMPLY WITH AMERICAN WOOD PRESERVATIVE ASSOCIATION (AWPA) C 20 FOR INTERIOR TYPE A TREATMENT.

610.20 ALL WOOD JOIST BEARING ENDS SHALL BE ANCHORED TO SUPPORT IN WOOD FRAMING WITH A TYPE A34 FRAMING ANCHOR, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC.

610.21 ALL WOOD JOIST, HEADER, OR BEAM ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH THE FOLLOWING JOIST HANGERS, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. OR WITH APPROVED SUBSTITUTES WITH THE FOLLOWING WORKING LOAD CAPACITIES:

JOIST SIZE	SIMPSON HANGER	FLOOR (UPLIFT) LOAD CAPACITY
2x6	LUS26	830 LBS.
2x10	LUS28	1,055 LBS. (1,115 LBS.)
2x12	SUR/L210	1,330 LBS. (1,250 LBS.)
3-2x12	LUS210	1,275 LBS.
3 x 4 x 1/4 PARALLAM	LUS210-3	1,785 LBS.
5/4 x 11 1/4 PARALLAM	HUB11	2,850 LBS. MAX.

610.22 ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. HOWEVER, THE CONTRACTOR SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIED DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES.

615 HEAVY TIMBER DECKING

615.1 ALL HEAVY TIMBER ROOF DECKING SHALL CONFORM TO THE STANDARD FOR TONGUE-AND-GROOVE HEAVY TIMBER ROOF DECKING OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATC 112-81 AS AMENDED AND UPDATED.

615.2 ALL LUMBER SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND WITH THE APPLICABLE RULE OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARD. EACH PIECE OF LUMBER SHALL BE FACTORY MARKED WITH GRADE STAMP OF INSPECTION AGENCY EVIDENCING COMPLIANCE WITH GRADING RULE REQUIREMENTS.

615.3 ALL HEAVY TIMBER DECKING SHALL BE COMMERCIAL QUALITY DOUGLAS FIR-LARCH OR SOUTHERN PINE OR SELECT QUALITY WESTERN HEMLOCK OR EQUAL AS APPROVED BY THE ENGINEER, WITH AT LEAST THE FOLLOWING MINIMUM DESIGN STRESS VALUES:
a. F_b 1650 PSI
b. E 1,600,000 PSI

620 GLU-LAM TIMBER

620.1 ALL STRUCTURAL LUMBER SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES", ATC-117, OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND "STRUCTURAL GLUED LAMINATED TIMBER", ANSI/ATC A 190.1, LATEST EDITIONS.

620.2 CONTRACTOR SHALL COMPLY WITH PROVISIONS OF ATC 111, "RECOMMENDED PRACTICE FOR PROTECTION OF STRUCTURE, INCLUDING LAMINATED TIMBER DURING TRANSPORT, STORAGE, AND ERECTION."

620.3 ALL GLU-LAM TIMBER SHALL BE AS A MINIMUM 20F-V5, SP/SP, SOUTHERN PINE AND SHALL HAVE AT LEAST THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES AND MODULUS OF ELASTICITY:
a. F_b (BENDING, POSITIVE AND NEGATIVE) 2,000 PSI
b. F_v (SHEAR) 270 PSI
c. F_c (COMPRESSION) 1,450 PSI
d. F_t (TENSION) 1,050 PSI
e. E 1,400,000 PSI
f. F_c (TENSION FACE) 740 PSI
g. F_c (COMPRESSION FACE) 740 PSI

620.4 STRUCTURAL STEEL PLATES, ANGLES, ETC., SHALL BE ASTM A36.

620.5 ALL BOLTS SHALL BE 3/4-INCH DIAMETER ASTM A307 UNLESS OTHERWISE NOTED WITH 2 WASHERS PER BOLT UNLESS OTHERWISE NOTED.

620.6 ALL ADHESIVES SHALL COMPLY WITH ANS/ATC A190.1 "NET-USE" TYPE.

620.7 ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. HOWEVER, THE ARCHITECT SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIED DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES.

620.8 PROVIDE ARCHITECTURAL GRADE UNITS WHICH COMPLY WITH THE "STANDARD APPEARANCE GRADES FOR STRUCTURAL GLUED LAMINATED TIMBER", ATC 110, OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.

620.9 PROVIDE END-COAT SEALING TO END AND CROSS CUTS AFTER CUTTING TO FINAL LENGTH.

620.10 PRIOR TO FABRICATION AND ERECTION, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PREPARED, SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE OF FLORIDA.

630 PLYWOOD

630.1 ALL PLYWOOD SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATION AND SUPPLEMENTS OF THE AMERICAN PLYWOOD ASSOCIATION (APA).

630.2 EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE TRADEMARK OF THE APA AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE APA PERFORMANCE STANDARDS.

630.3 PANEL THICKNESS, GRADE AND SPAN RATING SHALL BE EQUAL TO THAT SHOWN ON THE DRAWINGS. THE CENTER-TO-CENTER SPACING IN INCHES SHALL NOT EXCEED THE SPAN RATING STAMPED ON THE PANELS. INSTALLATION OF THE PANELS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF APA.

630.4 ALL PANELS WHICH HAVE ANY EDGE OR FACE PERMANENTLY EXPOSED TO THE WEATHER SHALL BE CLASSIFIED EXTERIOR. EXCEPT OPEN SOFFITS OR ROOF SHEATHING EXPOSED ON THE UNDERSIDE MAY BE CLASSIFIED EXPOSURE 1.

630.5 ALL PLYWOOD PANEL END JOINTS SHALL OCCUR OVER SUPPORTS AND SHALL BE STAGGERED ONE HALF PANEL LENGTH FROM ADJACENT PANELS. PROVIDE 1/8-INCH SPACE AT PANEL ENDS AND CROSS CUTS.

630.6 ALL PLYWOOD FLOORING SHALL BE 3/4-INCH "APA RATED SHEATHING", 32/18 SPAN RATING. INSTALL WITH LONG DIMENSION OF PANEL ACROSS THREE OR MORE SUPPORTS. ALL PANELS SHALL BE NAILED AS SPECIFIED ON PLANS.

630.7 ALLOWABLE SHEAR CAPACITIES OF FRAMED FLOOR DIAPHRAGMS SHEATHED WITH PLYWOOD PANELS SHALL BE BASED ON THE VALUES PROVIDED IN THE APA PANEL THICKNESS, GRADE AND NAILING SCHEDULE DESIGN TABLES.

630.8 ALL PLYWOOD ROOF SHEATHING SHALL BE 5/8-INCH "APA RATED SHEATHING", 48/24 SPAN RATING. INSTALL WITH LONG DIMENSION OF PANEL ACROSS THREE OR MORE SUPPORTS. ALL PANELS SHALL BE NAILED AS SPECIFIED ON PLANS. ALLOWABLE SHEAR CAPACITIES OF FRAMED ROOF DIAPHRAGMS SHEATHED WITH PLYWOOD PANELS SHALL BE BASED ON THE VALUES PROVIDED IN THE APA PANEL THICKNESS, GRADE AND NAILING SCHEDULE DESIGN TABLES.

630.9 ALL WALL SHEATHING SHALL BE 1/2-INCH "APA RATED SHEATHING", 32/16 SPAN RATING. UNLESS NOTED OTHERWISE, INSTALL WITH LONG DIMENSION OF PANEL ACROSS THREE OR MORE SUPPORTS. ALL PANELS SHALL BE NAILED AS SPECIFIED ON PLANS. ALLOWABLE SHEAR CAPACITIES OF FRAMED SHEAR WALLS SHEATHED WITH PLYWOOD PANELS SHALL BE BASED ON THE VALUES PROVIDED IN THE APA PANEL THICKNESS, GRADE AND NAILING SCHEDULE DESIGN TABLES.

630.10 ALL PLYWOOD PANELS SHALL COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF NDS19 (NDS01) FOR FULLY-WIND-RESISTIVE ROOF ASSEMBLIES COMPLYING WITH UL CLASS 80 CLASSIFICATION.

HIGGINS RESIDENCE
NEW CONSTRUCTION
 617 GRINNELL STREET KEYWEST, FLORIDA

WILLIAM ROWAN
ARCHITECTURE
 3521 PLEASANT LANE
 KEY WEST, FLORIDA
 33091-1596

PROJECT NO. _____

DATE: 4.16.14

SI
 10-11

Site Photos





DRC
Minutes & Comments

Minutes of the Development Review Committee

Approved April 24, 2014

Ms. DeMaria stated that the project has already been reviewed by the Tree Commission for removal of trees and clearing of upland areas of the property. Landscape plan must include all required replacements as per approved tree removal permit. Have no objections to requested landscape waiver (108-413) due to required wetland conservation easement.

POLICE DEPARTMENT:

No comments.

HARC PLANNER:

No comments.

PLANNING DIRECTOR:

Mr. Craig stated prior to going to Planning Board, that the applicant have their engineer verify and certify that there will be no traffic interference with the flow of traffic on Flagler Ave. Mr. Craig wanted to make the applicant aware of some of the issues concerning the dock.

ENGINEERING:

Ms. Ignaffo stated that the survey shows disturbed salt marsh wetlands along the Flagler Avenue property line, in an area designated for the proposed stormwater management system and landscape planting. Impacting wetland areas will require a permitted wetland mitigation plan, or possibly obtain transfer of permit authorization from SFWMD. Alternately, proposed plans could be adjusted to accommodate the wetlands.

FIRE DEPARTMENT:

Mr. Barroso stated to maintain 5 ft. setbacks free & clear of any obstructions for accessibility. The Flagler St. emergency access gate if it remains emergency access only will need to be a minimum of 20 ft. If the emergency access gate becomes open for 2 way traffic for the residents, it will need to be wider than proposed. Applicant needs to have their engineer look at making a recommendation on the final dimensions.

3. **Variance – 617 Grinnell Street (RE # 00010940-000000; AK # 1011231)** – A request for variances to minimum front and side-yard setbacks in order to renovate an existing building on property located within the HHDR zoning district pursuant to Section 122-630(6)a.&b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Mr. Cunningham gave members an overview of the variance request.

The applicant, Mr. Marty Higgins gave members an overview of the variance request

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

Minutes of the Development Review Committee

Approved April 24, 2014

Ms. DeMaria reminded property owners of the requirement to protect any trees near and within the project area during construction/demolition. Trees located within the work area that may need to be removed or trimmed may require permits from the Tree Commission.

POLICE DEPARTMENT:

No comments.

HARC PLANNER:

Ms. Torregrosa stated that this project already went in front of HARC; approved in September of 2012. She explained the HARC approval time length and if the two years expires before building permits are pulled, an extension would be required.

PLANNING DIRECTOR:

Mr. Craig stated that it may be necessary to amend the original easement to recognize the removal of the larger encroachment. It would need to be discussed with staff and legal.

ENGINEERING:

No comments.

FIRE DEPARTMENT:

Mr. Barroso stated that the owner is cleaning up an existing setback problem with the side setback. Providing an improvement for accessibility for emergency responders
Will need to maintain proposed new setbacks throughout the property free & clear of any obstructions as per plans. No other fire concerns at this time.

4. **Transient License Transfer - 807 Washington Street, Unit 102 (RE#00037807-000102; AK#9090034) to 1224 Duval Street (RE#00028970-000000; AK#1029751)** – A request for a Transient License Transfer of one license from property located in the HMDR zoning district to property located in the HRCC-3 zoning district per Section 122-1339 (b) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Mr. Cunningham gave members an overview of the transient license transfer request.

The applicant, Mr. Patrick Flanigan of Smith Oropeza, P.L. gave members an overview of the transient license transfer request

DRC Member Comments:

ART IN PUBLIC PLACES:

No comments.

URBAN FORESTRY MANAGER:

No comments.

POLICE DEPARTMENT:

No comments.

Prior Approvals

ADDRESS: 617 GRINNELL STREET

RESOLUTION NO. 08-133

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF KEY WEST, FLORIDA, GRANTING AN EASEMENT TO MARTIN E. HIGGINS AND KAREN L. SCHULTZ FOR ENCROACHMENTS UPON CITY PROPERTY ADJACENT TO THE PROPERTY LOCATED AT 617 GRINNELL STREET; PROVIDING FOR AN EFFECTIVE DATE

\$1000.00

BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF KEY WEST, FLORIDA, AS FOLLOWS:

Section 1: That easements are hereby granted in accordance with the attached Easement Agreement.

Section 2: That this Resolution shall go into effect immediately upon its passage and adoption and authentication by the signature of the presiding officer and the Clerk of the Commission.

Passed and adopted by the City Commission at a meeting held this 6th day of May, 2008.

Authenticated by the presiding officer and Clerk of the Commission on May 7, 2008.

Filed with the Clerk May 7, 2008.

MORGAN McPHERSON, MAYOR

ATTEST: Cheryl Smith CITY CLERK

Doc# 1899691 06/17/2008 10:02AM Filed & Recorded In Official Records of MONROE COUNTY DANNY L. KOLHAGE

06/17/2008 10:02AM DEED DOC STAMP CL: PU

\$7.00

Doc# 1899691 Bk# 2396 Pg# 2398

EASEMENT AGREEMENT

Prepared by:
City of Key West Clerk's Office
525 Angela Street
Key West, FL 33040

THIS AGREEMENT made this 06th day of May, 2008, between the City of Key West, Florida (hereinafter Grantor) and Martin E. Higgins and Karen L. Schultz, owners of property located at 617 Grinnell Street (hereinafter the Grantee).

RECITALS

Grantee is owner of the property known as 617 Grinnell Street, Key West, Florida, including a building that encroaches onto the Grantor's right-of-way. Specifically, the Grantee's residential building encroaches for a length of approximately 37 feet, and a width of 2 feet, and the rear building at the left side of the property encroaches for a length of 9.83 feet in length by 1.24 feet onto a 10-foot-wide public alleyway, according to a survey by J. Lynn O'Flynn, Inc. dated February 7, 2008, (copy attached hereto). This encroachment impedes marketability of the property.

I. CONVEYANCE OF EASEMENT

The Grantor hereby agrees to grant and convey to Grantee an easement for building encroachments, at the property located at 617 Grinnell Street, as more specifically described in the attached survey. The easement shall pertain to the building encroachments herein described, and not to any other encroachment. The grant of

this easement is conditioned upon the following: (1) Grantee shall demonstrate to the Grantor's Chief Building Official and Fire Marshal, as required, that gutters and any other building safety requirements including egress are being met, and that fire safety requirements are being met; and (2) there shall be no additional construction related to this encroachment.

II. CONSIDERATION

Grantee agrees to pay to Grantor a processing fee in the amount of \$1,000.00, together with all sums and fees for city sewer, city garbage, if unpaid; otherwise to promptly bring the property and all uses thereof into full compliance with all city and state laws and regulations, if it is not now in full compliance. Grantee further agrees to pay Grantor an annual rental fee for this easement in the total amount of \$300.00, payable annually on the anniversary date of the execution of this Easement Agreement, to the City of Key West. Failure to pay such rental shall constitute grounds for the Grantor to terminate the easement.

III. EASEMENT TERMINATION

Grantee agrees that the improvement located on the Easement shall not be enlarged or expanded.

Grantee shall have the right to repair, maintain and replace the improvement in the ordinary course of maintenance and/or in the event the improvement is destroyed by fire, hurricane or other such cause.

GRANTEE



Martin E. Higgins

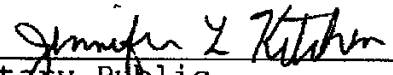
Doc# 1699691
Bk# 2366 Pg# 2342



Karen L. Schultz

STATE OF FLORIDA) *Pennsylvania*
COUNTY OF MONROE) *Center*

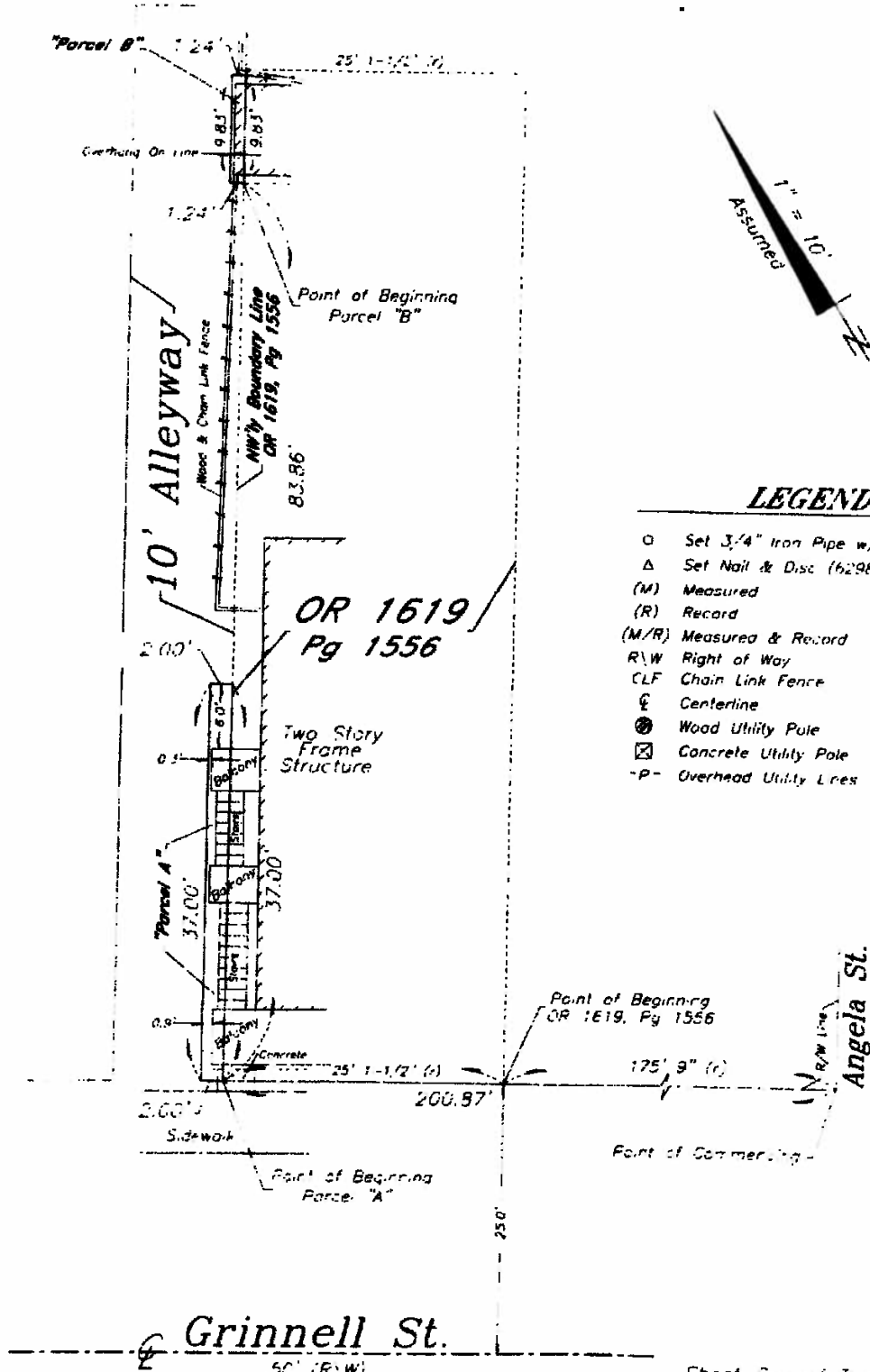
The foregoing instrument was acknowledged before me this 19th day of May, 2008, by Martin E. Higgins and Karen L. Schultz, who are personally known to me or who have produced Driver license as identification.


Notary Public
State of ~~Florida~~ *Pennsylvania*

My commission expires: August 2, 2010

NOTARIAL SEAL
JENNIFER L. KITCHEN
Notary Public
BELLEFONTE BOROUGH, CENTRE COUNTY
My Commission Expires Aug 2, 2010

Specific Purpose Survey Map to illustrate legal descriptions authored by the undersigned of part of Lots 3 & 4, Square 56, of Wm. A. Whitehead's map of the Island of Key West



Doc# 1699891
BKH 2366 Pgr 2343

LEGEND

- Set 3/4" Iron Pipe w/cap (6298)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊙ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines

NOTE
This Survey Map is not full and complete without the attached Survey Report

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.
Professional Surveyor & Mapper
PSM #6788

3436 Duck Ave Key West, FL 33040
Phone: 239-7427 Fax: (305) 296-2788

Specific Purpose Survey Map to illustrate legal descriptions authored by the undersigned of part of Lots 3 & 4, Square 56, of Wm. A. Whitehead's map of the Island of Key West

NOTES

- 1 The legal descriptions shown hereon were authored by the undersigned
- 2 Underground foundations and utilities were not located
- 3 All angles are 90° (Measured & Record) unless otherwise noted
- 4 This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper
- 5 Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record
- 6 North Arrow is assumed and based on the legal description
- 7 This survey is not assignable.
- 8 Date of field work Januray 24, 2008.
- 9 Ownership of fences is undeterminable, unless otherwise noted.
- 10 Adjoiners are not furnished.
- 11 The Survey Report is not full and complete without the attached Survey Map

DESCRIPTION: "PARCEL A"

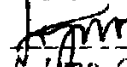
A parcel of land on the Island of Key West and designated on the map or plat of Key West as delineated by William A. Whitehead in February, 1829, as part of lots numbered Three (3) and Four (4) in Square number Fifty-six (56), said parcel being more particularly described my metes and bounds as follows: COMMENCE at the intersection of the NE'y right of way line of Grinnell Street with the NW'y right of way line of Angela Street and run thence NW'y along the NE'y right of way line of the said Grinnell Street for a distance of 200.87 feet to the Point of Beginning, said point being the SW'y corner of lands described in Official Records Book 1619, Page 1556 as recorded in the Public Records of Monroe County, Florida, thence at right angles in a NE'y direction along the NW'y boundary line of the said lands described in Official Records Book 1619, Page 1556, for a distance of 37.00 feet, thence at right angles in a NW'y direction 2.00 feet, thence at right angles in a SW'y direction 37.00 feet to the said NE'y right of way line of Grinnell Street, thence at right angles in SE'y direction along the said NE'y right of way line of Grinnell Street for a distance of 2.00 feet back to the Point of Beginning

"PARCEL B"

A parcel of land on the Island of Key West and designated on the map or plat of Key West as delineated by William A. Whitehead in February, 1829, as part of lots numbered Three (3) and Four (4) in Square number Fifty-six (56), and being more particularly described my metes and bounds as follows: COMMENCE at the intersection of the NE'y right of way line Grinnell Street with the NW'y right of way line of Angela Street and run thence NW'y along the NE'y right of way line of the said Grinnell Street for a distance of 200.87 feet, said point being the SW'y corner of lands described in Official Records Book 1619, Page 1556 as recorded in the Public Records of Monroe County, Florida; thence at right angles in a NE'y direction along the NW'y boundary line of the said lands described Official Records Book 1619, Page 1556, for a distance of 83.86 feet to the SW'y face of an overhang on an existing structure, said point being the Point of Beginning of the parcel of land being described herein; thence continue in a NE'y direction along the NW'y boundary line of the said lands described in Official Records Book 1619, Page 1556, for a distance of 9.83 feet to the NE'y face of an overhang on the said existing structure, thence at right angles in a NW'y direction along the NE'y face said overhang for a distance of 1.24 feet to the NW'y corner of the said overhang, thence at right angles in a SW'y direction along the NW'y face of the said overhang for a distance of 9.83 feet to the SW'y corner of the said overhang thence at right angles in a SE'y direction along the SW'y face of the said overhang for a distance of 1.24 feet back to the Point of Beginning

DESCRIPTION FOR: Martin Higgins & Karen Schultz,

J. LYNN O'FLYNN, INC


 J. Lynn O'Flynn, FSM
 Florida Reg #6298

February 7, 2008

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
 P.M. #2526

343C Dink Ave., Key West, FL 33041
 1375 20th St., Key West, FL 33041

Doc# 1699891
 Bk# 2366 Pg# 2344

MONROE COUNTY
 OFFICIAL RECORDS

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version

Website tested on IE8,
IE9, & Firefox.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1011231 Parcel ID: 00010940-000000

Ownership Details

Mailing Address:
HIGGINS MARTIN E
24 53RD ST
SEA ISLE CITY, NJ 08243-1644

All Owners:
HIGGINS MARTIN E , SCHULTZ KAREN L H/W

Property Details

PC Code: 08 - MULTI FAMILY LESS THAN 10UNITS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 617 GRINNELL ST KEY WEST
Legal Description: KW PT LOT 4 SQR 56 OR187-609/10 OR194-565/66 OR429-270/71 OR597-42 OR636-270 OR658-832 OR759-1270Q OR894-1334 OR909-2381 OR1065-1530/31Q/C OR1065-1532/1533 OR1292-2151/52 OR1619-1554/56 OR2366-2338/2344(RES NO 08-133)

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	25	94	2,364.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0

Total Living Area: 1426
Year Built: 1928

Building 1 Details

Building Type R3
Effective Age 25
Year Built 1928
Functional Obs 0

Condition G
Perimeter 238
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 32
Grnd Floor Area 1,426

Inclusions: R3 includes 3 3-fixture baths and 3 kitchens.

Roof Type GABLE/HIP
Heat 1 NONE
Heat Src 1 NONE

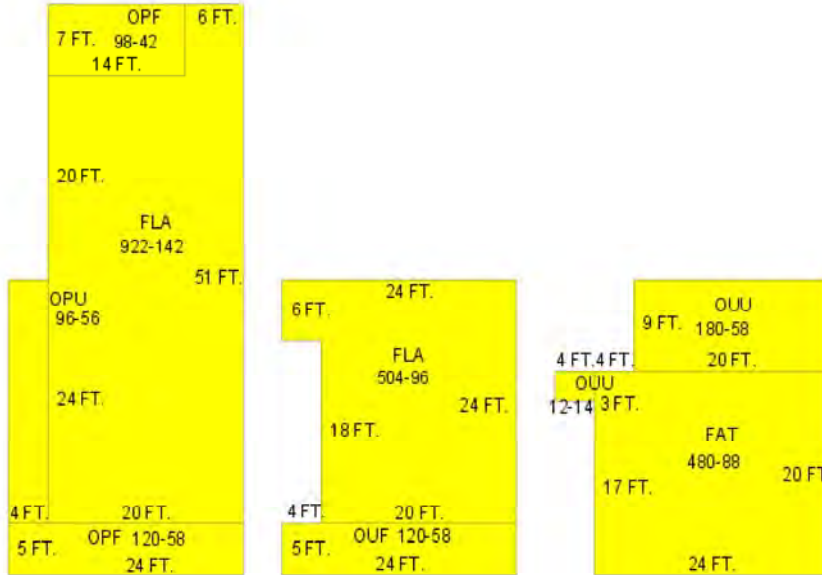
Roof Cover METAL
Heat 2 NONE
Heat Src 2 NONE

Foundation WD CONC PADS
Bedrooms 3

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 3

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1990	N N	0.00	0.00	922
2	OPF		1	1990	N N	0.00	0.00	120
3	OPU		1	1990	N N	0.00	0.00	96
4	OPF		1	1990	N N	0.00	0.00	98

5	FLA	12:ABOVE AVERAGE WOOD	1	1990	N	N	0.00	0.00	504
6	OUF		1	1990	N	N	0.00	0.00	120
7	FAT	12:ABOVE AVERAGE WOOD	1	1990	N	N	0.00	0.00	480
8	OUU		1	1990	N	N	0.00	0.00	12
9	OUU		1	1990	N	N	0.00	0.00	180

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
2	UB2:UTILITY BLDG	128 SF	0	0	1979	1980	3	50
3	CL2:CH LINK FENCE	196 SF	0	0	1964	1965	1	30

Appraiser Notes

2014-05-02 IMPROVEMENT 100% DEMOLISHED.DKRAUSE

1995 DOR SALE PARCEL TPP AK-8809948.

OR2366-2338/2344(RES NO 08-133) EASEMENT FOR ENCROACHMENT ON CITY OF KEY WEST'S RIGHT OF WAY

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
14-0768	04/15/2014	05/02/2014	20,000		COMPLETE DEMO OF STRUCTURE, PURSUANT TO CBO DETERMINATION OF UNSAFE STRUCTURE, NO HARC APPROVAL
00-0725	03/21/2000	07/26/2000	3,500	Residential	12 SQS V-CRIMP
02-1434	06/03/2002	09/04/2002	3,200	Residential	NEW 200AMP SERVICE
03-2044	06/16/2003	09/15/2003	2,450	Residential	REPAINTED EOTERIOR HOUSE
06-4815	08/15/2006	10/04/2006	2,400	Residential	REPAIR 600SF OF ROTTED SIDING AND PAINT

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	174,693	1,161	156,577	332,431	289,517	0	332,431
2012	177,224	1,161	84,813	263,198	263,198	0	263,198
2011	177,224	1,161	117,433	295,818	290,867	0	295,818
2010	179,756	1,161	83,508	264,425	264,425	0	264,425
2009	200,316	1,212	235,723	437,251	437,251	0	437,251

2008	217,673	1,263	236,400	455,336	455,336	0	455,336
2007	252,119	1,064	390,060	643,243	643,243	0	643,243
2006	441,937	1,105	224,580	667,622	667,622	0	667,622
2005	461,799	1,146	177,300	640,245	640,245	0	640,245
2004	271,056	1,187	165,480	437,723	437,723	0	437,723
2003	237,986	1,228	82,740	321,954	321,954	0	321,954
2002	261,707	1,269	70,920	333,896	333,896	0	333,896
2001	225,267	1,310	70,920	297,497	297,497	0	297,497
2000	234,209	3,486	44,916	282,612	282,612	0	282,612
1999	237,525	10,745	44,916	293,186	293,186	0	293,186
1998	179,359	8,052	44,916	232,327	232,327	0	232,327
1997	162,675	7,527	40,188	210,390	210,390	0	210,390
1996	107,259	5,365	40,188	152,812	152,812	0	152,812
1995	97,725	4,938	40,188	142,851	142,851	0	142,851
1994	78,938	4,543	40,188	123,669	123,669	0	123,669
1993	83,465	4,670	40,188	128,322	128,322	0	128,322
1992	103,973	4,795	40,188	148,956	148,956	0	148,956
1991	103,973	4,921	40,188	149,083	149,083	0	149,083
1990	103,206	5,048	31,323	139,577	139,577	0	139,577
1989	93,824	4,704	30,732	129,260	129,260	0	129,260
1988	24,700	2,470	27,186	54,356	54,356	25,000	29,356
1987	24,391	2,470	16,193	43,054	43,054	25,000	18,054
1986	24,528	2,470	15,602	42,600	42,600	25,000	17,600
1985	23,784	2,470	9,565	35,819	35,819	25,000	10,819
1984	22,218	2,470	9,565	34,253	34,253	0	34,253
1983	22,218	2,470	9,565	34,253	34,253	25,000	9,253
1982	22,652	2,470	9,565	34,687	34,687	25,000	9,687

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
2/21/2000	1619 / 1554	335,000	WD	Q
2/1/1994	1292 / 2151	195,000	WD	Q
5/1/1988	1065 / 1532	150,000	WD	Q
2/1/1975	759 / 1270	13,500	00	Q

This page has been visited 26,646 times.

Monroe County Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176

Public Notices
(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 PM on June 19, 2014 at Old City Hall, 510 Greene Street, Key West, Florida, (behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Variance – 617 Grinnell Street (RE # 00010940-000000; AK # 1011231) – A request for variances to minimum front and side yard setbacks in order to renovate an existing building on property located within the Historic High Density Residential (HHDR) Zoning District pursuant to Section 122-630(6)a. & b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

The public may examine the application during regular office hours, Monday through Friday between 8:00 AM and 5:00 PM, at the City of Key West Planning Department, located in Habana Plaza at 3140 Flagler Avenue. The application may also be examined online at www.keywestcity.com. Written responses must be submitted before the hearing to the contact person below.

Contact: Brendon Cunningham, Senior Planner II, bcunning@keywestcity.com; 305-809-3724
Planning Department: Fax: 305-809-3978; Mail: PO Box 1409, Key West FL 33041-1409

THIS NOTICE CANNOT BE REMOVED FROM THE SITE UNTIL AFTER PLANNING BOARD DETERMINATION.

YOU ARE A PROPERTY OWNER WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will hold a Public Hearing to consider the following request:

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Applicant: Martin E. Higgins & Karen L. Schultz **Owner:** Martin E. Higgins & Karen L. Schultz
Project Locations: 617 Grinnell Street (RE # 00010940-000000; AK # 1011231)
Date of Hearing: Thursday, June 19, 2014 **Time of Hearing:** 6:00 PM
Location of Hearing: Old City Hall, 510 Greene Street, City Commission Chambers

Interested parties may appear at the public hearing and be heard with respect to the application. Packets can be viewed online, the Friday before the meeting at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

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Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

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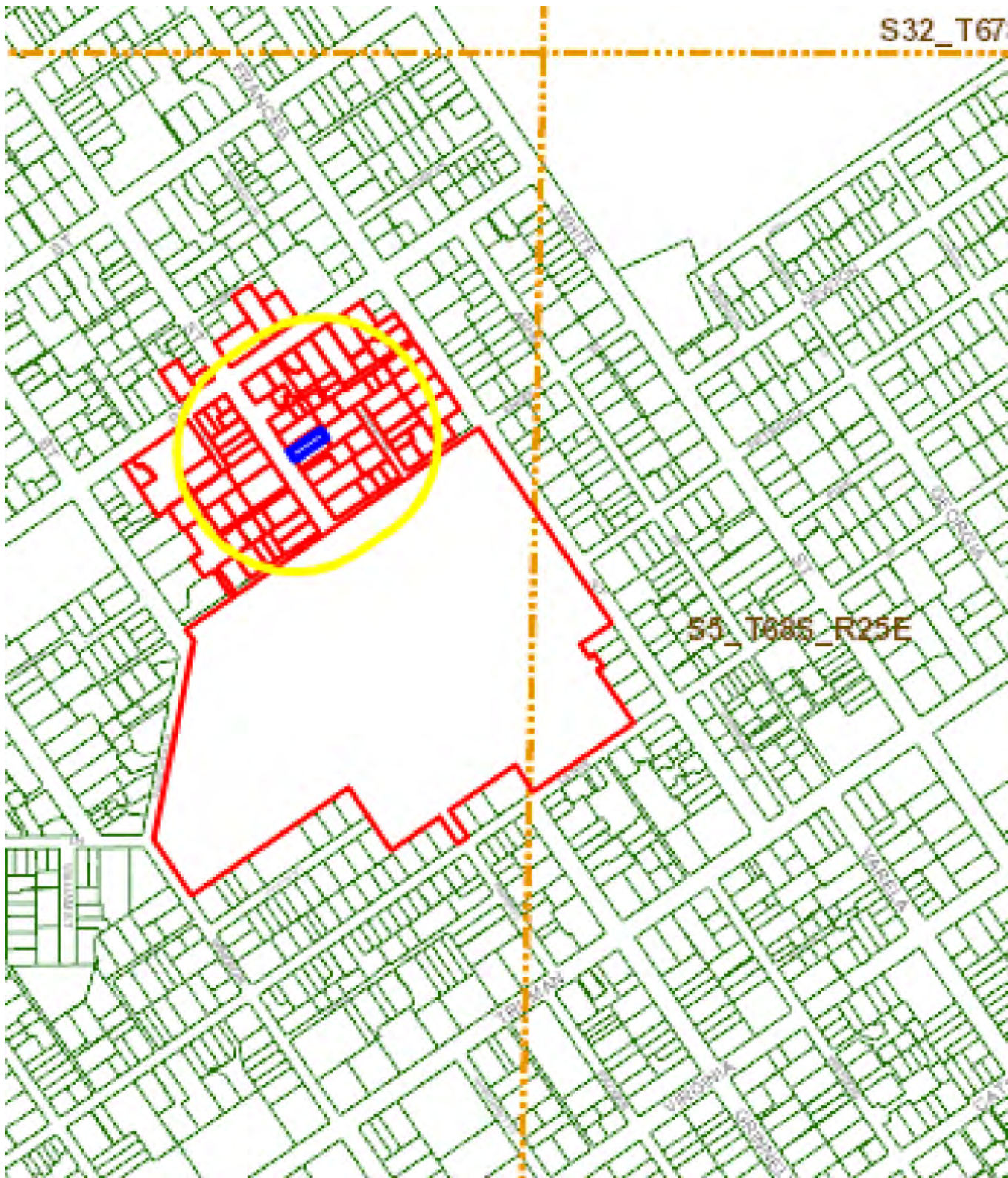
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S32_T67



S5_T885_R25E

Monroe County, Florida

Printed: Jun 10, 2014

617 Grinnell



DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



OWNER1	OWNER2	ADDRESS	CITY	STATE	ZIP	COUNTRY
1 SIEMINSKI DAVID THOMAS		616 FRANCES ST	KEY WEST	FL	33040-7181	
2 ROSS ELIZABETH		1015 FLEMING ST	KEY WEST	FL	33040-6962	
3 VETTER JANE A		624 FRANCES ST	KEY WEST	FL	33040-7181	
4 MOSCHEL MICHAEL L REVOCABLE TRUST 8/17/2001		618 CATHOLIC LN	KEY WEST	FL	33040-7116	
5 ESPOSITO KENNETH E AND SUSAN		4 CATHOLIC LN	KEY WEST	FL	33040-7116	
6 KILGORE KATHRYN	C/O C A CHIANESE	72 VAN SANT DR	HAMILTON SQUA	NJ	08690-2518	
7 LONERGAN MICHAEL		623 GRINNELL ST	KEY WEST	FL	33040-7128	
8 GINSBERG PETER M LIVING TRUST 12/28/1994		610 GRIFFIN LN	KEY WEST	FL	33040-7126	
9 CROWLEY KAREN		616 CANFIELD LN	KEY WEST	FL	33040-7115	
10 HARTWELL JOHN G		1017 ANGELA ST	KEY WEST	FL	33040-7168	
11 THE UTILITY BOARD OF THE CITY OF KEY WEST		1001 JAMES ST	KEY WEST	FL	33040-6935	
12 NOEL ANNE MARIE		5 CATHOLIC LN	KEY WEST	FL	33040-7116	
13 MURPHY WILLIAM F		1024 SOUTHARD S	KEY WEST	FL	33040-7145	
14 GREGORY ANTHONY		614 ROBERTS LN	KEY WEST	FL	33040-7138	
15 MIDSON CARL		1014 SOUTHARD S	KEY WEST	FL	33040-7145	
16 ROMANO DEBORAH J		1012 SOUTHARD S	KEY WEST	FL	33040-7145	
17 LASKOW MARK J AND LISA C		161 S PENN RD	STAHLSTOWN	PA	15687-1285	
18 EMMET LUCINDA B TRUST		1020 SOUTHARD S	KEY WEST	FL	33040-7145	
19 MURRAY GAIL W		1004 SOUTHARD S	KEY WEST	FL	33040-7145	
20 WHELAN PETER A		626 CANFIELD LN	KEY WEST	FL	33040-7115	
21 SAVINI LEWIS REVOCABLE TRUST		1013 SOUTHARD S	KEY WEST	FL	33040-7144	
22 BARRY SCOTT B		923 ANGELA ST	KEY WEST	FL	33040-7106	
23 BRENT MARGARET G		1985 MADISON AVE	MEMPHIS	TN	38104-2791	
24 REAVES SHIRLEY R		608 FRANCES ST	KEY WEST	FL	33040-7123	
25 BORCH FREDERIC LOUIS III AND JANET ANN		1647 OXFORD RD	CHARLOTTESVIL	VA	22903-1329	
26 PATRI MARY DENISE AND THOMAS JUDE JR		183 BURNT PINE	DINAPLES	FL	34119-9751	
27 1015 ANGELA ST LLC		143 BULL CREEK R	ASHEVILLE	NC	28805-8701	
28 HUMES ELIZABETH HERSHEY REVOCABLE TRUST 1/31/2001		427 EAGLE RD	WAYNE	PA	19087-3249	
29 KLINGER HARVEY		PO BOX 189	CARVERSVILLE	PA	18913-0189	
30 BARON AUDREY E TRUST FOR MINORS	C/O BARON ELLIOT TF	205 TOBACCO FAR	CHAPEL HILL	NC	27516-8420	
31 LIGGETT ANNETTE M		606 FRANCES ST	KEY WEST	FL	33040-7123	
32 GINSBERG PETER M		619 CANFIELD LN	KEY WEST	FL	33040-7115	
33 DELLAPASTA GABRIEL AND LYNN		26964 SOUTHWOO	OLMSTED TWP	OH	44138-1157	
34 PAEZ HERIBERTO SR AND CARIDAD		27180 ANGELFISH I	SUMMERLAND KI	FL	33042-5305	

OWNER1	OWNER2	ADDRESS	CITY	STATE	ZIP	COUNTRY
35 HUMES ELIZABETH HERSHEY REVOCABLE TRUST 1/31/2001		427 EAGLE RD	WAYNE	PA	19087-3249	
36 SYMONS DAVID		921 ANGELA ST	KEY WEST	FL	33040-7106	
37 GUARINIELLO TRACI DILL		PSC 817 BOX 51	FPO	AE	09622-0001	
38 BILSA INTERNATIONAL LLC		17 RUE DUPHOT	PARIS		75001	FRANCE
39 SUN STATE CHILL LLC		7601 NE SPANISH T	BOCA RATON	FL	33487-1715	
40 MOSCHEL MICHAEL L		618 CATHOLIC LN	KEY WEST	FL	33040-7116	
41 SCHWARZ PETER M TRUST 5/24/2004		2281 S SHORE DR	MACATAWA	MI	49434-9800	
42 DELONGCHAMP CINDY W	C/O MONTGOMERY AL	421 AIR BASE BLVD	MONTGOMERY	AL	36108-2201	
43 RUCHMAN NEAL		1001 SOUTHARD S	KEY WEST	FL	33040-7144	
44 LAMACCHIA MICHAEL CHARLES AND THERESA		1912 HIGHLAND DR	BEDFORD	TX	76021-6170	
45 CAMPBELL SUSAN J		1021 ANGELA ST D	KEY WEST	FL	33040-7168	
46 AVILA BARBARA THERESA		522 WHITE ST	KEY WEST	FL	33040-7170	
47 BANK OF NEW YORK MELLON	C/O ALDRIDGE / CONN	1615 S CONGRESS	DELRAY BEACH	FL	33445-6326	
48 WETZEL JOHN		621 CATHOLIC LN	KEY WEST	FL	33040-7116	
49 LUNN PATRICK C		1320 SAN REMO AV	CORAL GABLES	FL	33146-3122	
50 INFANTE ETTORE F		621 GRINNELL ST	KEY WEST	FL	33040-7128	
51 BARNETT MARILYN		918 SOUTHARD ST	KEY WEST	FL	33040-7185	
52 MATHEWS HARRY AND MARIE		619 GRINNELL ST	KEY WEST	FL	33040-7128	
53 COTE MICHELE P		626 GRINNELL ST	KEY WEST	FL	33040-7177	
54 HIGGINS MARTIN E		24 53RD ST	SEA ISLE CITY	NJ	08243-1644	
55 SPROGELL CAROLYN A		622 GRINNELL ST	KEY WEST	FL	33040-7177	
56 ANDERSON JESSE KURTZ		612 GRIFFIN LN	KEY WEST	FL	33040-7126	
57 POOLE MARY FORSYTH		157 EAST RD	WEST STOCKBRIMA		01266-9729	
58 MARIO CHRISTOPHER B 2011 TWTY YR QUAL PER RES TR		PO BOX 445	CHATHAM	NJ	07928-0445	
59 SOUTHARD SQUARE CONDOMINIUM		908-918 SOUTHARD	KEY WEST	FL	33040	
60 WINSTON JONES H		P O BOX 534	BLOWING ROCK	NC	28605	
61 MACONAUGHEY KIRK D AND DEBRA A		PO BOX 420243	SUMMERLAND KI	FL	33042-0243	
62 LEPINE MICHAEL		607 GRINNELL ST	KEY WEST	FL	33040-7128	
63 NYGREN J HAMILTON AND MARGARET A		918 SOUTHARD ST	KEY WEST	FL	33040-7190	
64 VELLOFF STEVEN M		611 GRINNELL ST	KEY WEST	FL	33040-7194	
65 GILBERT CHRISTINE M		918 SOUTHARD ST	KEY WEST	FL	33040-7185	
66 BALLANTINE BARBARA		4202 COVENTRY G	BUFFALO	NY	14221-7237	
67 KRUGLICK BRUCE A		1305 N LAKE SHOR	SARASOTA	FL	34231-3439	
68 CURRY JOHN PATRICK		1501 OCEAN AVE	ASBURY PARK	NJ	07712-9307	

OWNER1	OWNER2	ADDRESS	CITY	STATE	ZIP	COUNTRY
69 HALEY STEVE AND LYNDA		605 SEA GROVE AV	CAPE MAY	NJ	08204	
70 VAVRINA CHARLENE Y		PO BOX 623	BERRYVILLE	VA	22611	
71 HOLE JAMES WESTON		3307 N 2ND ST	HARRISBURG	PA	17110-1402	
72 WINTER GLENN M & TOOL THERESA A R/S		2 TROON CT	MOORESTOWN	NJ	08057	
73 BARNETT MARK		3111 NW 18TH PL	GAINESVILLE	FL	32605	
74 HEMMEL DAVID L		PO BOX 4255	KEY WEST	FL	33041-4255	
75 STROH THOMAS N		PO BOX 674	KEY WEST	FL	33041-0674	
76 KNUTH JEFFREY J		30551 CHARDON R	WILLOUGHBY HIL OH		44094-8329	
77 SIBLEY GAIL M AND JOHN G		918 SOUTHARD ST	KEY WEST	FL	33040-7191	
78 EARDLEY CHARLES B REV TR DTD 4/8/08		16860 DRIFTWOOD	SUGARLOAF KEY FL		33042	
79 BLINCKMANN HAYS T AND JAN		611 GRINNELL ST	KEY WEST	FL	33040-7194	
80 KIRWIN FRANCIS T AND PEGGY A		614 GRINNELL ST	KEY WEST	FL	33040-7129	
81 FERRARA ANNE F		6 PURITAN AVE	MOUNT SINAI	NY	11766-2510	
82 PALMER JEFFREY L AND PATRICIA C		1025 ROBERTS LN	KEY WEST	FL	33040-7138	
83 KILGORE KATHRYN	C/O C A CHIANESE	72 VAN SANT DR	HAMILTON SQUA NJ		08690-2518	
84 MATHEWS HARRY AND MARIE		619 GRINNELL ST	KEY WEST	FL	33040-7128	
85 RIDDLES ANDREW M		10 EVERGREEN PK	WESTPORT	CT	06880-2530	
86 GOLDFARB JASON		1 ODONNELL RD	MIDDLETOWN	RI	02842-5941	
87 FLANIGAN JOHN F AND JANET R		436 OYSTER RD	NORTH PALM BE.	FL	33408-4326	
88 FISHER LIBBY L		608 ROBERTS LN	KEY WEST	FL	33040-7138	
89 COGGINS THOMAS M III		605 2ND AVE	MARMORA	NJ	08223-1710	
90 BJORKLUND LAURIE NAN		1006 SOUTHARD S	KEY WEST	FL	33040-7145	
91 ATKINSON BROOKE S REVOCABLE TRUST		57 GRAND MERIDIE	CHESTERFIELD	MO	63005-4974	
92 DESROSIERS DONALD R		392 THAMES ST	NEWPORT	RI	02840-6604	