

Application

Application for Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

Application Fee: \$2,625.25 / After-the-Fact: \$4,830.25

(includes \$310.00 advertising/noticing fee and \$110.25 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

PROPERTY DESCRIPTION:

Site Address: 1905 Staples Lane, Key West, FL 33040

Zoning District: CL

Real Estate (RE) #: 00046930-000000

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: Trepanier and Associates, Inc. Mailing Address: 1421 First St. #101

City: Key West State: FL Zip: 33040

Home/Mobile Phone: _____ Office: 305-293-8983 Fax: _____

Email: Thomas@owentrepanier.com

PROPERTY OWNER: (if different than above)

Name: KW Empire LLC Mailing Address: 1901 Flagler

City: Key West State: FL Zip: 33040

Home/Mobile Phone: _____ Office: 305-294-0945 Fax: _____

Email: David@constructionkeywest.com

Description of Proposed Construction, Development, and Use: _____

The project proposes to construct a new single-family home.

List and describe the specific variance(s) being requested:

Setbacks and Building Coverage.

Please see attached for detailed descriptions. Out of an abundance of caution, we also included variances for the existing nonconforming lot.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property?
 If yes, provide date of landscape approval, and attach a copy of such approval.

Yes No

Yes No

Is this variance request for habitable space pursuant to Section 122-1078?

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. *provide square footages and percentages.*

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback				
Side Setback				
Street Side Setback		See attached.		
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

***Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures, or buildings in the same zoning district.

Special conditions exist which are peculiar to this property. This is a nonconforming lot, which predates the current code and comprehensive plan; it contains enough density for a single-family home, but the size of the setbacks in the CL make building on the lot an unreasonable use of the land without the benefit of variances.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Conditions were not created by applicant. The property has been in its current configuration since at least 1982, which predates the current code and comprehensive plan. The applicant purchased the property in 2021.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings, or structures in the same zoning district.

Special privileges will not be conferred upon the granting of the variance(s). The property has density for one single-family home and the applicant is seeking one single-family home. The variances will allow the property owner reasonable use of the land in a similar manner as other residential lots in the immediate area.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship conditions exist. The literal interpretation of the land development regulations will prevent reasonable use of the land.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Only the minimum variance(s) are requested that would permit the applicant the opportunity to reasonably use the land. In this by building a single-family home intended to house employees of the owners' business in a safe and respectful manner including life-safety access to and around the structure.

Revised by applicant agent: 03/17/2023

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Granting of the variance(s) is not injurious to the public welfare and will be in harmony with the general intent and purpose of the LDRs, and will not be detrimental to the public interest or welfare. The character of the immediate neighborhood is single-family, two-family, multi-family housing, occupied primarily by local working people.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

This application does not rely on other nonconforming lots and structures as justification.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Revised by applicant agent: 03/17/2023

REQUIRED SUBMITTALS: All of the materials listed below must be submitted in order to have a complete application. Applications will not be processed until all materials are provided. Please submit one (1) paper copy of the materials to the Planning Department and one (1) electronic version in PDF format.

- Correct application fee, made payable to "City of Key West."
- Pre-application meeting form
- Notarized verification form signed by property owner or authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Monroe County Property record card
- Signed and sealed survey (Survey must be within 10 years from submittal of this application)
- Sign and sealed site plan (sign and sealed by an Engineer or Architect)
- Floor plans
- Any additional supplemental information necessary to render a determination related to the variance request

VARIANCE SPECIFICS

1905 STAPLES

Revised March 17, 2023

TREPANIER



& ASSOCIATES INC
LAND USE PLANNING
DEVELOPMENT CONSULTANTS

1. **Side Setbacks – 15ft required, 6ft proposed**
(Variance to Sec. 122-390(6)b., of 9 ft from the side setback of 15 ft required to the 6 ft proposed.)
2. **Rear Setback – 10ft required, 5ft proposed**
(Variance to Sec. 122-390(6)a., of 5 ft from the minimum rear setback of 10 ft (or 20% of lot depth for buildings over 25 ft in height) required to the 5 ft proposed.)
3. **Front Setback**
(Variance to Sec. 122-390(6)a., of 5 ft from the minimum front setback of 10 ft (or 20% of lot depth for buildings over 25 ft in height) required to the 5 ft proposed.)
4. **Building Coverage**
(Variance to Sec. 122-390(4)a., of 8.7% from the maximum 40% building coverage to the 48.7% proposed.)
5. **Nonconforming Lot – *Out of an abundance of caution we include variances for the existing non-conforming lot.***
(Variance to Sec. 122-390(5), of 7,450 sq ft from the minimum lot size of 10,000 sq ft to the 2,550 sq ft existing.
Variance to Sec. 122-390(5)a, of 19 ft from the minimum lot width of 70 ft to the 51 ft width existing.
Variance to Sec. 122-390(5)b, of 50 ft from the minimum lot depth of 100 ft to the 50 ft depth existing.)

Site Data Table	Required	Existing	Proposed	Compliance
Zoning	CL	CL	No Change	Complies
FLUM	GC	GC	No Change	Complies
FEMA	AE7	AE7	No Change	Complies
Site Size	10,000 sq ft	2,550 sq ft	No Change	Nonconforming
Lot Width	70 ft	51 ft	No Change	Nonconforming
Lot Depth	100 ft	50 ft	No Change	Nonconforming
Height	40 ft	0 ft	38.8 ft	Complies
Building Coverage	40% (1,020 sq ft)	0% (0 sq ft)	48.7% (1,242 sq ft)	Variance (222 sq ft)
Impervious Surface	60% (1,530 sq ft)	12.5% (320 sq ft)	48.7% (1,242 sq ft)	Complies
Open Space	35% (893 sq ft)	87.5% (2,230 sq ft)	48.9% (1,248 sq ft)	Complies
Landscaping	20% (510 sq ft)	87.5% (2,230 sq ft)	48.9% (1,248 sq ft)	Complies
Density	16 du/ac (1 du)	1 du	1 du	Complies
FAR	0.8 (2,040 sq ft)	0.0 (0 sq ft)	0.0 (0 sq ft)	Complies
Front Setback	25 ft or as an alternative 20% of lot depth for buildings over 25 ft in height (10 ft)	NA	5 ft	Variance
Side Setbacks	15 ft or 10% of lot width up to a max. of 20 ft, whichever is greater (15 ft)	NA	6 ft	Variance
Rear Setback	25 ft or as an alternative 20% of lot depth for buildings over 25 ft in height (10 ft)	NA	5 ft	Variance
Auto Parking	1 space per 300 sq ft of office space and 1 space per du (2 spaces)	NA	4 spaces	Complies
Bike Parking	25% auto requirement for office space and no requirement for du (0.3 spaces)	NA	4 spaces	Complies

Authorization Form



**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, DAVID POULT as
Please Print Name of person with authority to execute documents on behalf of entity

owner of KW Empire LLC
Name of office (President, Managing Member) Name of owner from deed

authorize Owen Trepanier & Associates, Inc
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this 9/14/2022
Date

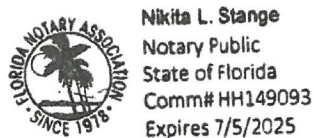
by DAVID POULT
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented _____ as identification.

Nikita L. Stange
Notary's Signature and Seal

Nikita L. Stange
Name of Acknowledger typed, printed or stamped

HH149093
Commission Number, if any



SUN BIZ DOCUMENTATION



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
KW EMPIRE LLC

Filing Information

Document Number L11000010762
FEI/EIN Number 27-4655456
Date Filed 01/26/2011
Effective Date 01/25/2011
State FL
Status ACTIVE
Last Event LC AMENDMENT
Event Date Filed 11/28/2011
Event Effective Date NONE

Principal Address

1901 FLAGLER AVE.
KEY WEST, FL 33040

Changed: 11/28/2011

Mailing Address

1901 FLAGLER AVE.
KEY WEST, FL 33040

Changed: 11/28/2011

Registered Agent Name & Address

ZUELCH, CHRISTIAN M
3144 Northside Drive, #101.
Key West, FL 33040

Address Changed: 01/30/2019

Authorized Person(s) Detail

Name & Address

Title MGRM

 POULIOT, DAVID E
 1901 FLAGLER AVE.
 KEY WEST, FL 33040

Title MGRM

POULIOT, OKSANA
1901 FLAGLER AVE.
KEY WEST, FL 33040

Annual Reports

Report Year	Filed Date
2019	01/30/2019
2020	01/17/2020
2021	01/26/2021

Document Images

01/26/2021 -- ANNUAL REPORT	View image in PDF format
01/17/2020 -- ANNUAL REPORT	View image in PDF format
01/30/2019 -- ANNUAL REPORT	View image in PDF format
01/18/2018 -- ANNUAL REPORT	View image in PDF format
04/13/2017 -- ANNUAL REPORT	View image in PDF format
01/27/2016 -- ANNUAL REPORT	View image in PDF format
01/15/2015 -- ANNUAL REPORT	View image in PDF format
03/11/2014 -- ANNUAL REPORT	View image in PDF format
06/11/2013 -- ANNUAL REPORT	View image in PDF format
01/24/2012 -- ANNUAL REPORT	View image in PDF format
11/28/2011 -- LC Amendment	View image in PDF format
01/26/2011 -- Florida Limited Liability	View image in PDF format

465596 REC 0995 PAGE 1992

SUBJECT TO: Taxes for the year 1987 and subsequent years.
SUBJECT TO: Limitations, conditions, easements, restrictions of record, if any.
SUBJECT TO: Purchase money first mortgage made by grantees herein to grantors herein filed even date herewith.

Recorded in Official Records Book
in Monroe County, Florida
Record Verified
County I. KOLHAGE
County Clerk's Office

Monroe County Clerk

ABSTRACT OF DESCRIPTION
Date

TO

Exhibit "B"

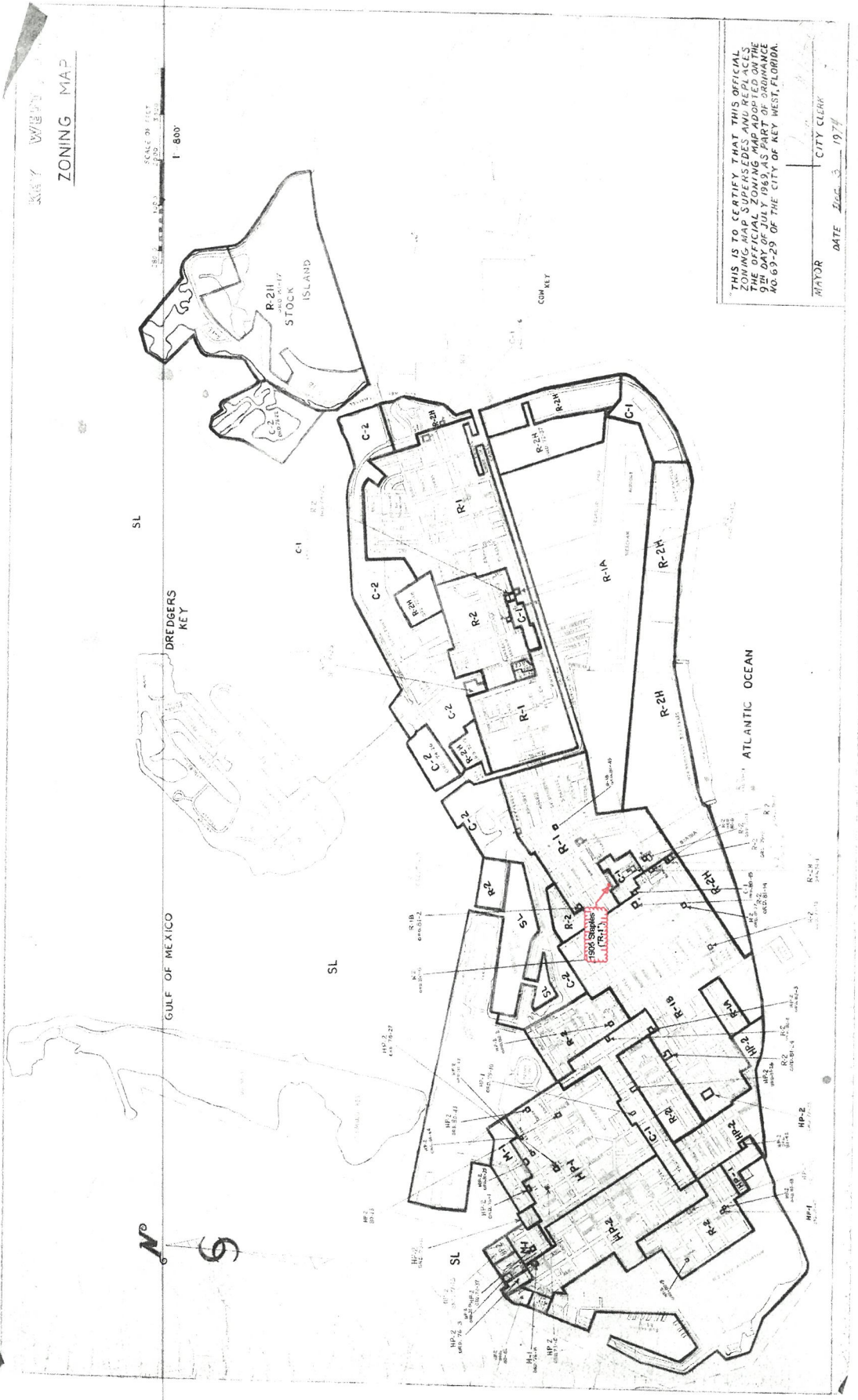


Exhibit "B"

KEY WEST
ZONING MAP

SCALE OF FEET
1" = 800'



THIS IS TO CERTIFY THAT THIS OFFICIAL ZONING MAP SUPERSEDES AND REPLACES THE PREVIOUS ZONING MAP OF THE CITY OF KEY WEST, FLORIDA, DATED JULY 1969 AS PART OF ORDINANCE NO. 69-29 OF THE CITY OF KEY WEST, FLORIDA.

MAYOR _____ DATE Aug. 3 1974 CITY CLERK _____

Property Record Card

qPublic.net™ Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00046930-000000
Account# 1047538
Property ID 1047538
Millage Group 10KW
Location 1905 STAPLES Ave, KEY WEST
Address
Legal KW KW REALTY CO'S FIRST SUB PB1-43 PT LOT 1 & PT LOT 2 SQR 16 TR 21 G26-490
Description OR439-237 OR508-877/878 OR995-1991/1992 OR3125-1513 OR3128-944
(Note: Not to be used on legal documents.)
Neighborhood 31050
Property Class COMMERCIAL (1000)
Subdivision Key West Realty Co's First Sub
Sec/Twp/Rng 05/68/25
Affordable No
Housing



1047538 1905 STAPLES AVE 8/15/05

Owner

[KWEMPIRE LLC](#)
 1901 Flagler Ave
 Key West FL 33040

Valuation

	2021	2020	2019	2018
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$1,601	\$1,601	\$1,601	\$1,521
+ Market Land Value	\$61,047	\$61,047	\$61,047	\$61,047
= Just Market Value	\$62,648	\$62,648	\$62,648	\$62,568
= Total Assessed Value	\$62,648	\$62,648	\$62,648	\$62,568
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$62,648	\$62,648	\$62,648	\$62,568

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	2,550.00	Square Foot	51	50

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CH LINK FENCE	1964	1965	1	1200 SF	1
LC UTIL BLDG	1974	1975	1	200 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
9/28/2021	\$100	Quit Claim Deed	2341712	3128	0944	11 - Unqualified	Improved
9/13/2021	\$72,000	Warranty Deed	2339563	3125	1513	99 - Unqualified	Improved
12/1/1986	\$10,000	Warranty Deed		995	1991	Q - Qualified	Vacant

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
15-5136	1/5/2016		\$2,300	Commercial	PLUMBING FOR 1-SHAMPOO SINK, 1 TANK-LESS WATER HEATER AND 1 SMALL LIFT STATION FOR SINK DRAIN.
07-1792	4/16/2007		\$1,200	Commercial	INSTALL NEW PANEL 100AMP AND HOOK UP NEW CENTRAL A/C SYSTEM.
07-0890	2/26/2007		\$3,400	Commercial	INSTALL 3 1 TON MINI SPLIT A/C UNITS.
07-0658	2/21/2007		\$9,786	Commercial	REPLACE 7 WINDOWS 4 DOORS 7 HURRICANE SHUTTERS.
07-0500	2/1/2007		\$3,600	Commercial	INSTALL ONE 1.5 TON AND ONE 1 TON MINI-SPLIT A/C SYSTEM.
06-0788	2/9/2006	7/5/2006	\$0		RUBBER ROOFING

View Tax Info

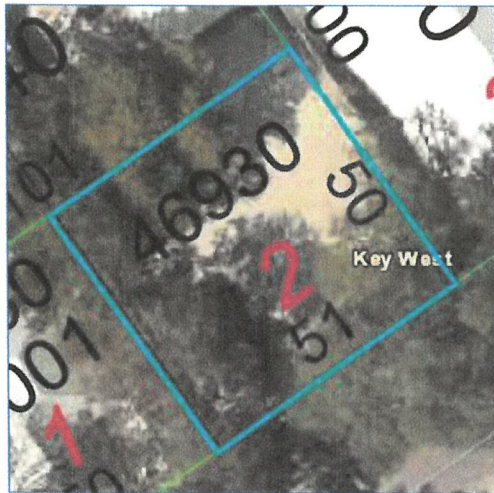
[View Taxes for this Parcel](#)

Photos



1047538 1905 STAPLES AVE 8/15/05

Map



TRIM Notice

[2021 TRIM Notice \(PDF\)](#)

2021 Notices Only

No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Exemptions, Sketches (click to enlarge).

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[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 10/28/2021, 2:44:31 AM

Version 2.3.156



Boundary Survey

BOUNDARY SURVEY 1905 STAPLES AVE KEY WEST, FL 33040

SURVEYOR: JUAN C. MELENDEZ D.B.A. ORTHOTEK

ACCURACY:

THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT 1 FT. IN 10,000 FT. (REQUIRED)

BASIS OF BEARING:

BEARING OF BASIS SHOWN, IS BASED ON THE STATE PLANE COORDINATE SYSTEM FLORIDA EAST NAD(83)-(2011)-(EPOCH 2010.0000).

SURVEYORS NOTES:

OWNERSHIP IS SUBJECT TO OPINION OF TITLE.

ELEVATIONS SHOWN ON THIS SURVEY ARE REFERENCED TO THE N.G.V.D. 29 VERTICAL DATUM.

THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN IN THIS SURVEY THAT MAY BE FOUND IN THE COUNTY PUBLIC RECORDS.

THIS SURVEY IS FOR USE AS PER REQUEST AND NOT FOR ANY OTHER USE.

NO EXCAVATION OR DETERMINATION WAS MADE AS TO HOW THE SUBJECT PROPERTY IS SERVED BY UTILITIES. SUBSURFACE UTILITIES, INCLUDING, BUT WITHOUT LIMITATION TO PIPES, WIRES, VAULTS, BOXES, DRAIN TILES, VOIDS, CABLES AND OTHER MATERIALS AUXILIARY TO THE DELIVERY AND/OR DISPOSAL OF WATER, WASTEWATER, SEWAGE, ELECTRICITY, GAS, TELEPHONE SERVICE, CABLE TELEVISION. AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT LOCATED. SURFACE STRUCTURES AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT LOCATED UNLESS OTHERWISE SHOWN ON THE SURVEY MAP.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THE SURVEY MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT, UNLESS OTHERWISE SHOWN.

DATE OF FIELD SURVEY 12/2/2021

CERTIFIED TO:

- ONE CALL CONSTRUCTION

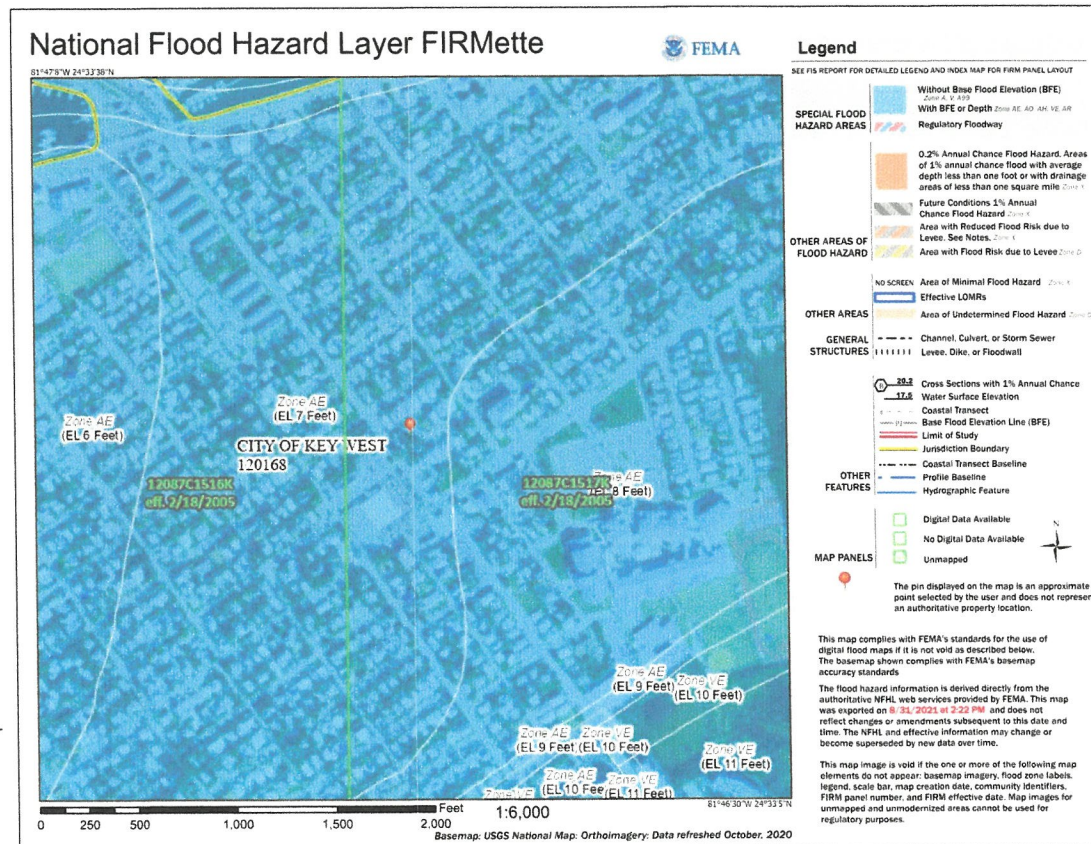
LEGAL DESCRIPTION

ON THE ISLAND OF KEY WEST AND KNOWN ON THE KEY WEST REALTY CO.'S FIRST SUBDIVISION OF PART OF TRACT 21, AND LOTS 1,2,3,4,5., ISLAND OF KEY WEST, AS PART OF LOTS (1) AND (2) IN BLOCK SIXTEEN (16) ACCORDING TO A DIAGRAM OF SAID SUBDIVISION, RECORDED IN PLAT BOOK 1 PAGE 43, MONROE COUNTY RECORDS MORE PARTICULAR DESCRIBE BY MEETS AND BOUND AS FOLLOWS:

BIGGING AT THE POINT OF INTERSECTION OF THE EASTERLY RIGHT-OF-WAY BOUNDARY LINE OF FIRST STREET WITH THE NORTHERLY RIGHT-OF-WAY BOUNDARY LINE OF STAPLE AVENUE AND THENCE NORTHEASTERLY ALONG THE NORTHERLY RIGHT-OF-WAY OF STAPLE AVENUE FIFTY (50) FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTHEASTERLY ALONG THE NORTHEASTERLY RIGHT-OF-WAY LINE OF STAPLE AVENUE FOR FIFTY-ONE (51) FEET TO THE NORTHEAST CORNER OF SAID LOT TWO (2); THENCE NORTHWESTERLY AT A RIGHT ANGLE ALONG THE BOUNDARY LINE BETWEEN LOT TWO (2) AND LOT THREE(3) FIFTY (50) FEET; THENCE SOUTHWESTERLY AT A RIGHT ANGLE FIFTY-ONE (51) FEET; THENCE SOUTHWESTERLY AT RIGHT ANGLES FIFTY (5) FEET TO THE POINT OF BEGINNING.

LEGEND

- SIGN
- CATCH BASIN GRATES
- LIGHT LIGHT
- TRAFFIC SIGNAL POLE
- MANHOLE STORM
- MANHOLE TELEPHONE
- HANDICAP ACCESS RAMP
- FIRE HYDRANT
- VALVE SANITARY
- MANHOLE SANITARY
- VALVE
- UTILITY PEDESTAL TELEVISION
- WATER METER
- PEDESTRIAN CROSSING SIGNAL
- POLE POWER
- IRRIGATION CONTROL BOX
- VALVE GAS
- MANHOLE ELECTRICITY
- SPOT LIGHT
- MANHOLE WATER
- GUY WIRE ANCHOR
- HEADWALL
- TELEPHONE BOX
- TRAFFIC SIGNAL CONDUIT
- ELECTRICAL BOX CONDUIT
- CLEANOUTS
- MONITORING WELL
- MAIL BOX
- VALVE SANITARY
- TREE
- PINE
- PALM



FLOOD NOTE:
By graphic plotting only, this property is in Zone(s) "AE" of the Flood Insurance Rate Map, Community Panel No. 12087C1517K, which bears an effective date of 02/18/2005 and is not in a Special Flood Hazard Area.

PROFESSIONAL SURVEYOR AND MAPPER CERTIFICATE

I HEREBY CERTIFY: THAT THE ATTACHED BOUNDARY SURVEY OF THE PROPERTY DESCRIBED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF ACCURATE AS RECENTLY SURVEYED UNDER MY DIRECTION; AND THAT THIS SURVEY MEETS THE MINIMAL TECHNICAL STANDARD SET BY THE FLORIDA BOARD OF LAND SURVEYORS AS SET FORTH IN RULE 5J-17 OF THE FLORIDA ADMINISTRATION CODE.

JUAN C. MELENDEZ
PROFESSIONAL SURVEYOR AND MAPPER
LB7920 LS6721

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND RAISED/DIGITAL SEAL OF A FLORIDA REGISTERED PROFESSIONAL SURVEYOR AND MAPPER.

SURVEY BY:

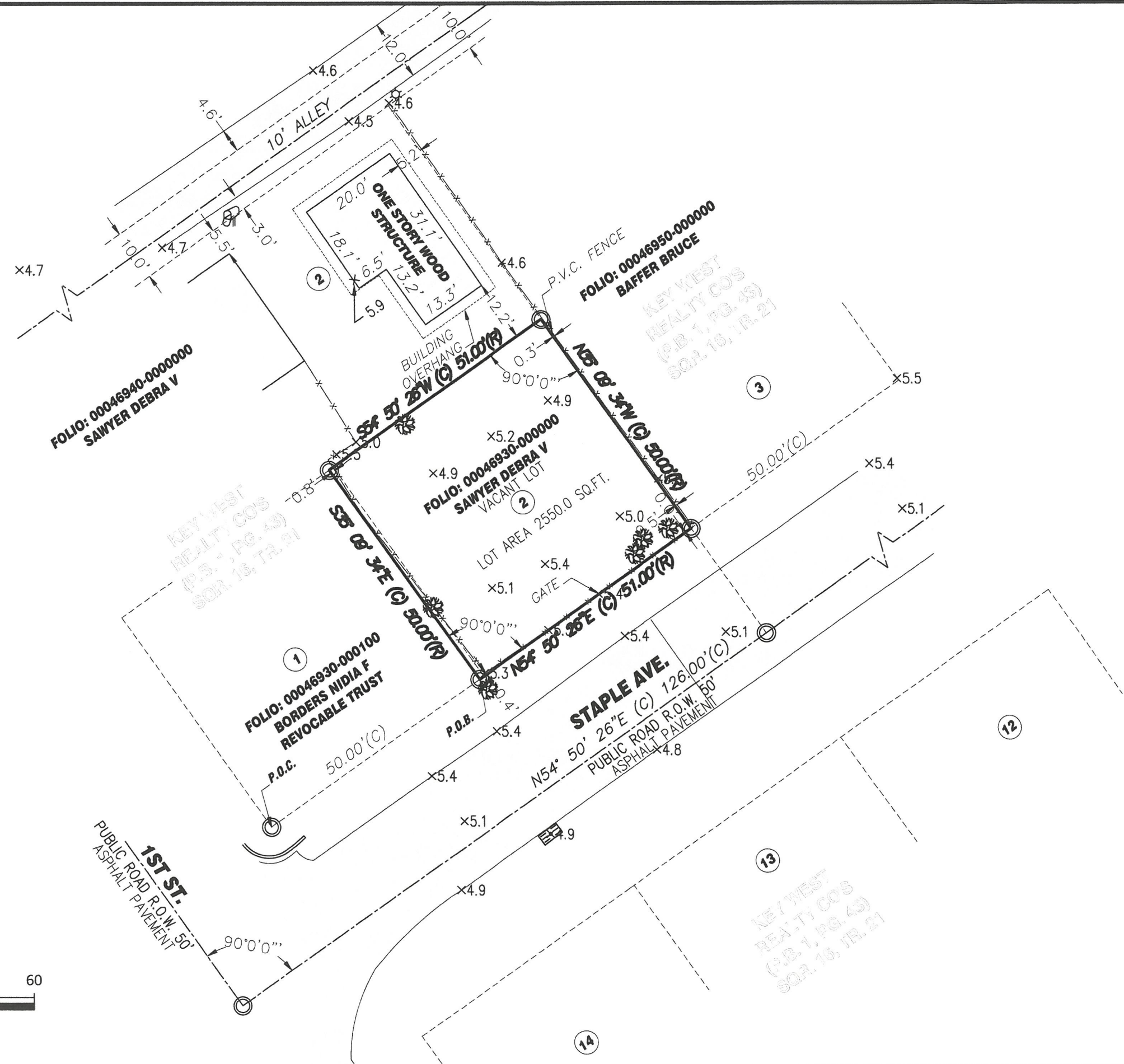
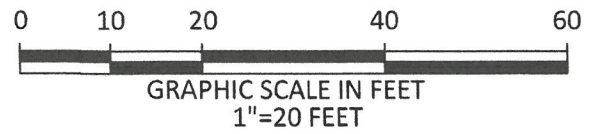
ORTHOTEK
GEO SPATIAL SOLUTIONS

13460 S.W. 24 ST. MIAMI, FL TEL: 305-877-9721
ORTHOTEK@ORTEKMAP.COM WWW.ORTEKMAP.COM

TITLE: BOUNDARY SURVEY	CLIENT: ONE CALL CONSTRUCTION	SCALE: 1" = 20'
SURVEY DATE: 12/2/2021	DRAWN BY: JCM	CHECKED BY: JCM
PLOT DATE: 12/2/2021	SHEET SIZE 11" BY 17"	FILE NAME: 1905 STAPLE AVE.DWG

REVISION NOTES:	DATE:	

SHEET
1 OF 2



ORTHOTEK
GEOSPATIAL SOLUTIONS

SURVEY BY: ORTHOTEK@ORTEKMAP.COM WWW.ORTEKMAP.COM

13460 S.W. 24 ST. MIAMI, FL TEL: 305-877-9721

TITLE: BOUNDARY SURVEY
CLIENT: ONE CALL CONSTRUCTION
SURVEY DATE: 12/2/2021
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PLOT DATE: 12/2/2021
CHECKED BY: JCM
SHEET SIZE 11" BY 17"
FILE NAME: 1905 STAPLE AVE.DWG

REVISION NOTES:	DATE:

**SHEET
2 OF 2**

Ukg' Rnc p

VARIANCE PERMIT APPLICATION FOR 1905 STAPLES AVE

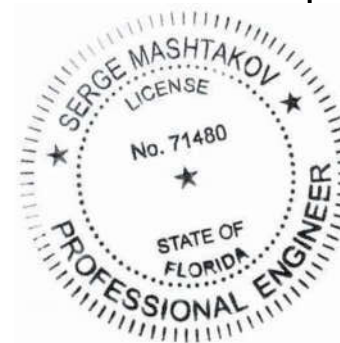


SITE LOCATION

LOCATION MAP:

PROJECT LOCATION:
1905 STAPLES AVE,
KEY WEST, FL 33040

CLIENT:
ONE CALL CONSTRUCTION



THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

Digitally signed
by Serge
Mashtakov
Date: 2023.01.20
10:11:54 -05'00'

DATE: SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

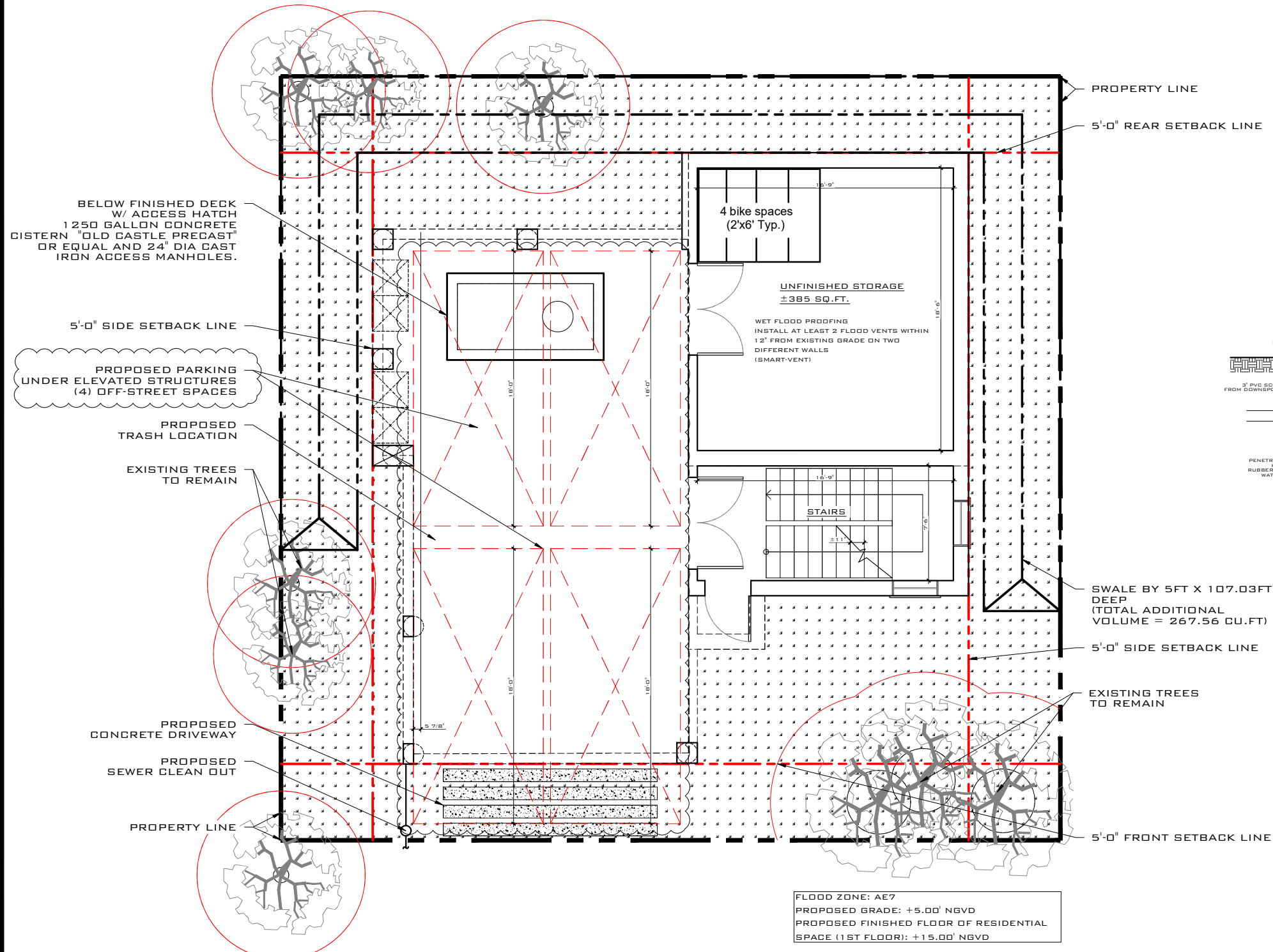
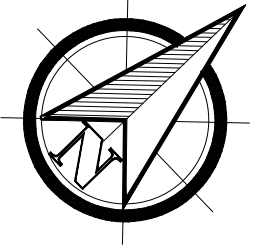
CLIENT:
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PROJECT:
1905 STAPLES AVE

SITE:
1905 STAPLES AVE
KEY WEST, FL 33040

TITLE:
COVER

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BELOW FINISHED DECK
W/ ACCESS HATCH
1250 GALLON CONCRETE
CISTERN "OLD CASTLE PRECAST"
OR EQUAL AND 24" DIA CAST
IRON ACCESS MANHOLES.

5'-0" SIDE SETBACK LINE

PROPOSED PARKING
UNDER ELEVATED STRUCTURES
(4) OFF-STREET SPACES

PROPOSED TRASH LOCATION

EXISTING TREES
TO REMAIN

PROPOSED CONCRETE DRIVEWAY

PROPOSED SEWER CLEAN OUT

PROPERTY LINE

4 bike spaces
(2'x6' Typ.)

UNFINISHED STORAGE
±385 SQ.FT.

WET FLOOD PROOFING
INSTALL AT LEAST 2 FLOOD VENTS WITHIN
12" FROM EXISTING GRADE ON TWO
DIFFERENT WALLS
(SMART-VENT)

STAIRS

PROPERTY LINE

5'-0" REAR SETBACK LINE

SWALE BY 5FT X 107.03FT X 1.00FT
DEEP
(TOTAL ADDITIONAL
VOLUME = 267.56 CU.FT)

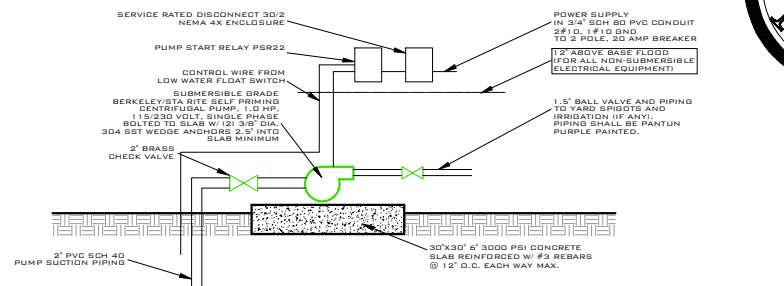
5'-0" SIDE SETBACK LINE

EXISTING TREES
TO REMAIN

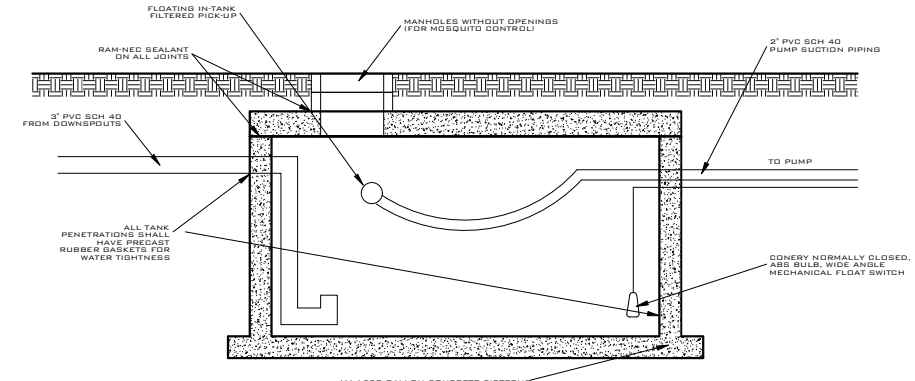
5'-0" FRONT SETBACK LINE

FLOOD ZONE: AE7
PROPOSED GRADE: +5.00' NGVD
PROPOSED FINISHED FLOOR OF RESIDENTIAL
SPACE (1ST FLOOR): +15.00' NGVD

PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"

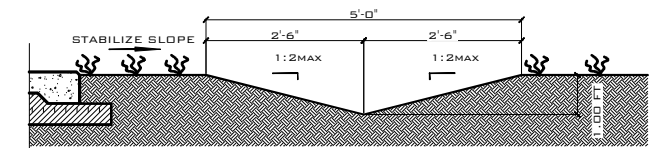


NOTES: 1. ALL ELECTRICAL EQUIPMENT SHALL BE MOUNTED 12" ABOVE BASE FLOOD ELEVATION.
2. ALL PIPING AND SPRIGOTS SHALL BE PAINTED PURPLE AND LABELED "DANGER! NON-POTABLE WATER. DO NOT DRINK!"
"PELIGRO! NO TOMAR AGUA NO ES POTABLE."
3. CISTERN WATER SUPPLY SHALL NOT INTERCONNECT WITH POTABLE WATER LINES.



(1) 1250 GALLON CONCRETE CISTERNS
"OLD CASTLE PRECAST OR EQUAL
WITH H-20 TRAFFIC RATED COVERS
AND 24" DIA CAST IRON ACCESS MANHOLES.

**RAIN WATER HARVESTING
CISTERN SCHEMATICS**
SCALE: NTS



TYPICAL SWALE DETAIL
SCALE: NTS

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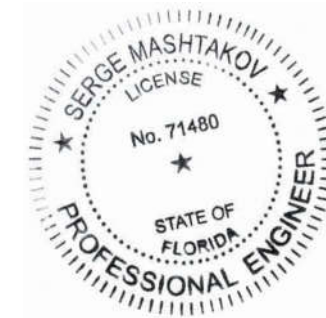
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SITE:
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TITLE:
PROPOSED SITE PLAN

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SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



**MONROE COUNTY
RESIDENTIAL STORMWATER RETENTION CALCULATION SHEET**

1. Determine Total Impervious Coverage on site:

a. Determine Impervious Coverage EXISTING prior to new improvement:

Roof/slabs	A	0.00	ft ²	Sidewalks	D	0.00	ft ²	
Decks / Patios	B	0.00	ft ²	Pool/Deck	E	0.00	ft ²	
Driveways	C	0.00	ft ²	Other	F	0.00	ft ²	
Impervious Coverage EXISTING prior to improvement (A + B + C + D + E + F)							0.00	1a

b. Determine NEW Impervious Coverage PROPOSED with improvement:

Roof/slabs	A	1,239.73	ft ²	Sidewalks	D	0.00	ft ²	
Decks / Patios	B		ft ²	Pool/Deck	E	0.00	ft ²	
Driveways	C	46.64	ft ²	Other	F	0.00	ft ²	
Impervious Coverage PROPOSED with improvement (A + B + C + D + E + F)							1,286.37	1b

Total Impervious Coverage: EXISTING + PROPOSED (1a+1b)							1,286.37	1
---	--	--	--	--	--	--	----------	----------

2. Determine Percentage of Impervious Coverage on site:

$\frac{1,286.37 \text{ ft}^2}{2,550.00 \text{ ft}^2} = 50.45\%$ % of Impervious Coverage

3. Determine "Disturbed Area" [(114-3(f)(2) 4)]

$2,550.00 \text{ ft}^2 - 0.00 \text{ ft}^2 = 2,550.00 \text{ ft}^2$ Disturbed Area

Total Lot Area Native Vegetation - If no BMP enter "0"
For the purposes of this section, the term "disturbed area" includes the entire lot except that the areas covered by the following best management practices (BMP) shall be subtracted from the calculation of disturbed area: (i) Forested upland areas/vegetative buffer strips (both natural and manmade) which will be retained intact and over or through which vehicular access or travel is not possible and will not occur; and (ii) Open water surfaces and wetlands (salt marsh, buttonwood, mangroves, or freshwater marsh habitat types). It will be the responsibility of the applicant to affirmatively demonstrate that the best management practices used for the project are designed, constructed, and maintained properly.

4. Determine Required Swale Volume – Complete a, b, or c:

a. For a NEW home with less than 40% Impervious Coverage, use:

$2,550.00 \text{ ft}^2 \times 0.083 = 211.65 \text{ ft}^3$ Swale Volume

b. For a NEW home with 40% or greater Impervious Coverage, use:

$2,550.00 \text{ ft}^2 \times 0.208 \times 50.45\% = 267.56 \text{ ft}^3$ Swale Volume

c. When only new impervious area requires storm water retention (Existing Single Family & Duplexes Only):

1. When the total lot impervious coverage remains below 40% after the additional development:
 $1,286.37 \text{ ft}^2 \times 0.083 = 106.77 \text{ ft}^3$ Added Swale Volume

2. When the new development increases the total lot impervious area to 40% or above:
 $1,286.37 \text{ ft}^2 \times 0.208 = 267.56 \text{ ft}^3$ Added Swale Volume

5. Determine Swale Length (Swale side slopes must be no steeper than 4:1)

$(5.00 \text{ ft Width} \times 1.00 \text{ ft Depth}) / 2 = 2.50 \text{ ft}^2$ Cross Sectional Area**

$267.56 \text{ ft}^3 / 2.50 \text{ ft}^2 = 107.03 \text{ ft}$ Swale Length
(**e.g. a V-shaped swale with 4:1 slopes, 8 feet wide and 1 foot deep has 4 SF of Cross Sectional Area.)

Source: These Formulas are derived from the criteria for Water Quality treatment in paragraphs (f)(2)b. & a. of Monroe County Code 114-3. Updated 9/5/2012

SITE DATA:

TOTAL SITE AREA: ±2,550.00 SQ.FT
LAND USE: CL (LIMITED COMERCIAL)
FLOOD ZONE: X

SETBACKS

FRONT:
REQUIRED 20'-0"
EXISTING 0'-0"
PROPOSED 5'-0"

LEFT SIDE:
REQUIRED 15'-0"
EXISTING 0'-0"
PROPOSED 6'-0"

RIGHT SIDE:
REQUIRED 15'-0"
EXISTING 0'-0"
PROPOSED 6'-0"

REAR:
REQUIRED 25'-0"
EXISTING 0'-0"
PROPOSED 5'-0"

MAXIMUM IMPERVIOUS SURFACE RATIO:

REQUIRED: 60% (1,530.0 SQ.FT.)
EXISTING 100.0% (±2,550.0 SQ.FT.)
PROPOSED 50.45% (±1,286.37 SQ.FT.)

MAXIMUM BUILDING COVERAGE:

REQUIRED 40% (1,020.0 SQ.FT.)
EXISTING 100.0% (±2,550.0 SQ.FT.)
PROPOSED 48.61% (±1,239.73 SQ.FT.)
(VARIANCE REQUIRED)

OPEN SPACE MINIMUM:

REQUIRED 20% (511 SQ.FT.)
EXISTING 100.0% (±2,550.0 SQ.FT.)
PROPOSED 49.54% (±1,263.36 SQ.FT.)

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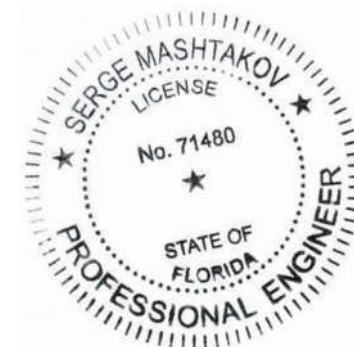
CLIENT:
ONE CALL CONSTRUCTION

PROJECT:
1905 STAPLES AVE

SITE:
1905 STAPLES AVE
KEY WEST, FL 33040

TITLE:
SITE DATA

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PROJECT NO:	DRAWING NO:	REVISION:	
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SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

CODE COMPLIANCE DATA

1. APPLICABLE CODES:

FLORIDA BUILDING CODE (FBC) - 7TH EDITION (2020)
 (B) BUILDING
 (A) ACCESSIBILITY
 (EC) ENERGY CONSERVATI
 (M) MECHANICAL
 (P) PLUMBING
 (EB) EXISTING BUILDING

FLORIDA FIRE PREVENTION CODE (FFPC) - 7TH EDITION
 NFPA 1 - FIRE CODE 2018 EDITION
 NFPA 101 - LIFE SAFETY CODE 2018 EDITION

NATIONAL ELECTRIC CODE (NEC) - 2014 EDITION

2. CONSTRUCTION TYPE

TYPE V-B
 0 HR FIRE RESISTANCE RATING
 FBC-B: CHAPER 6

3. USE AND OCCUPANCY CLASSIFICATION

RESIDENTIAL: GROUP R2 // RESIDENTIAL- BOARDING HOUSES
 (NONTRANSIENT)
 FBC-B: SECTION 310

4. HEIGHTS AND AREAS:

PROJECT AREA: ±1,240.4 S.F.
 PROJECT HEIGHT: 3 STORY / 44.0 FT

5. OCCUPANT LOAD:

OCCUPANCY R2:	FACTOR LOAD: 200 GSF	
	FBC-B TABLE 1004.5	
	NFPA 101 TABLE 7.3.1.2	
SPACE	AREA	OCCUPANT LOAD
LIVING AREA	2,253.6 SF.	11 PERSONS
TOTAL OCCUPANT LOAD		11 PERSONS

6. COMMON PATH OF TRAVEL:

OCCUPANCY R2: 125' MAXIMUM (WITH SPRINKLER SYSTEM)
 FBC-B: TABLE 1006.2.1
 NFPA 101: TABLE A.7.6
 ±104'-6" PROVIDED

NOTE: MAXIMUM COMMON PATH OF TRAVEL TAKEN FROM LIFE SAFETY PLAN

7. TRAVEL DISTANCE:

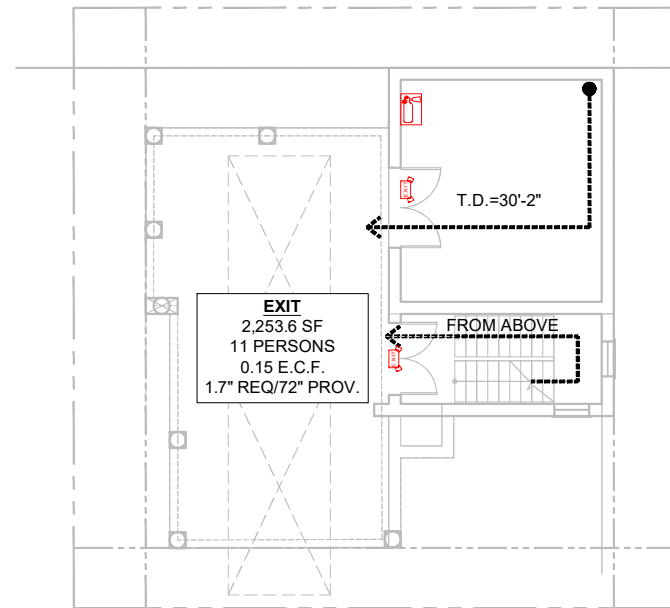
OCCUPANCY R2: 250' MAXIMUM (WITH SPRINKLER SYSTEM)
 FBC-B: TABLE 1017.2
 NFPA 101: TABLE A.7.6
 ±104'-6" PROVIDED

NOTE: MAXIMUM COMMON PATH OF TRAVEL TAKEN FROM LIFE SAFETY PLAN

8. EGRESS EXIT AND DOOR OPENING:

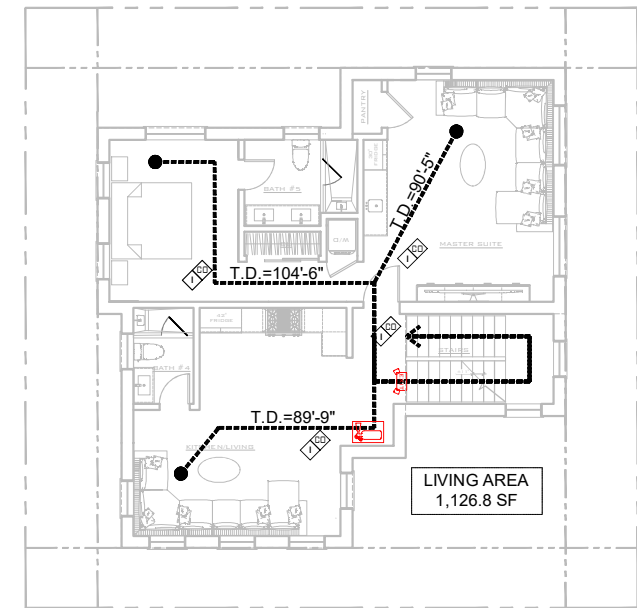
OCCUPANCY R2: OCCUPANT LOAD OF SPACE < 49
 1 EXIT REQUIRED
 1 EXIT PROVIDED
 FBC-B: SECTION 1006.2.1

32" MINIMUM OPENING
 FBC-B: SECTION 1010.1.1)
 NFPA 101: SECTION 7.2.1.2.3.2
 72" MAX. OPENING PROVIDED



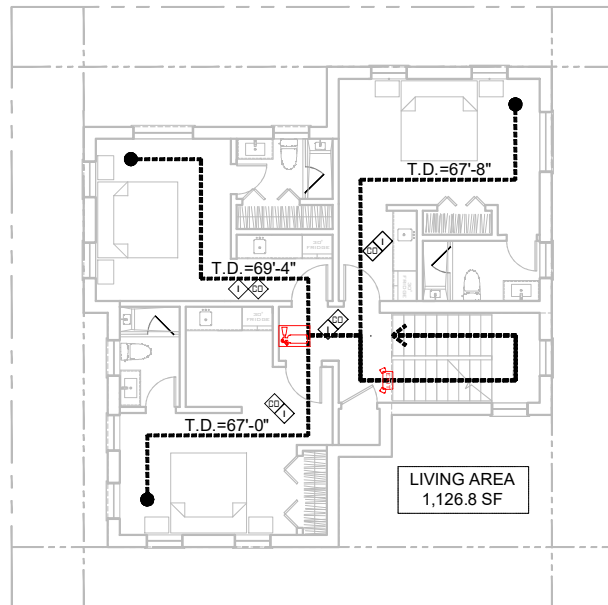
LIFE SAFETY- GROUND FLOOR

SCALE: 1/16" = 1'-0"



LIFE SAFETY- 1ST FLOOR

SCALE: 1/16" = 1'-0"



LIFE SAFETY- 2ND FLOOR

SCALE: 1/16" = 1'-0"

SYMBOL LEGEND:	
	IONIZATION SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EMERGENCY LIGHTS ON BATTERY BACKUP
	EMERGENCY EXIT SIGN WITH LIGHTS ON BATTERY BACKUP
	CLASS 2-A FIRE EXTINGUISHERS (3) TOTAL

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1905 STAPLES AVE

SITE:
 1905 STAPLES AVE
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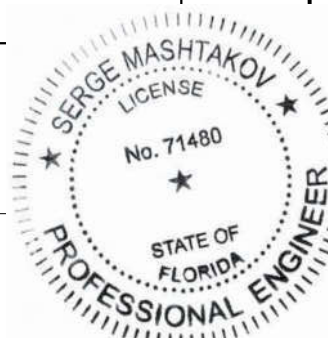
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LIFE SAFETY PLAN

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AS SHOWN	10/25/22	VF	SAM
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2110-01	A-100	1	

LIFE SAFETY PLAN NOTES:

FIRE ALARM & DETECTION SYSTEMS: GROUP R

FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE INSTALLED IN GROUP R OCCUPANCIES AS REQUIRED IN SECTIONS 907.2.9.1 THROUGH 907.2.9.3.

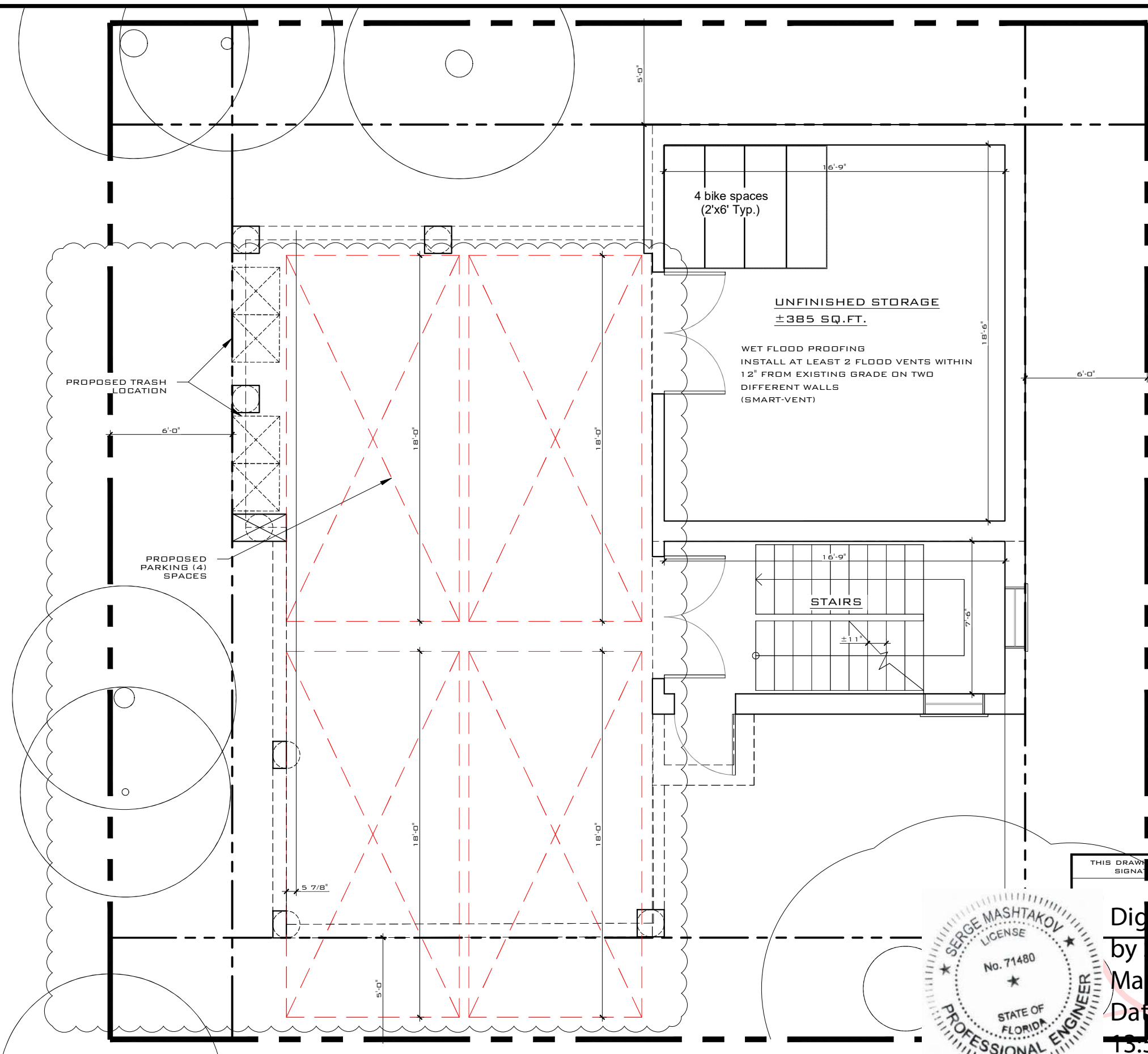


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 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480

FLOOD ZONE: AE7
 PROPOSED GRADE: +5.00' NGVD
 PROPOSED FINISHED FLOOR OF RESIDENTIAL SPACE (1ST FLOOR): +15.00' NGVD



PROPOSED GROUND FLOOR PLAN
 SCALE: 3/16" = 1'-0"



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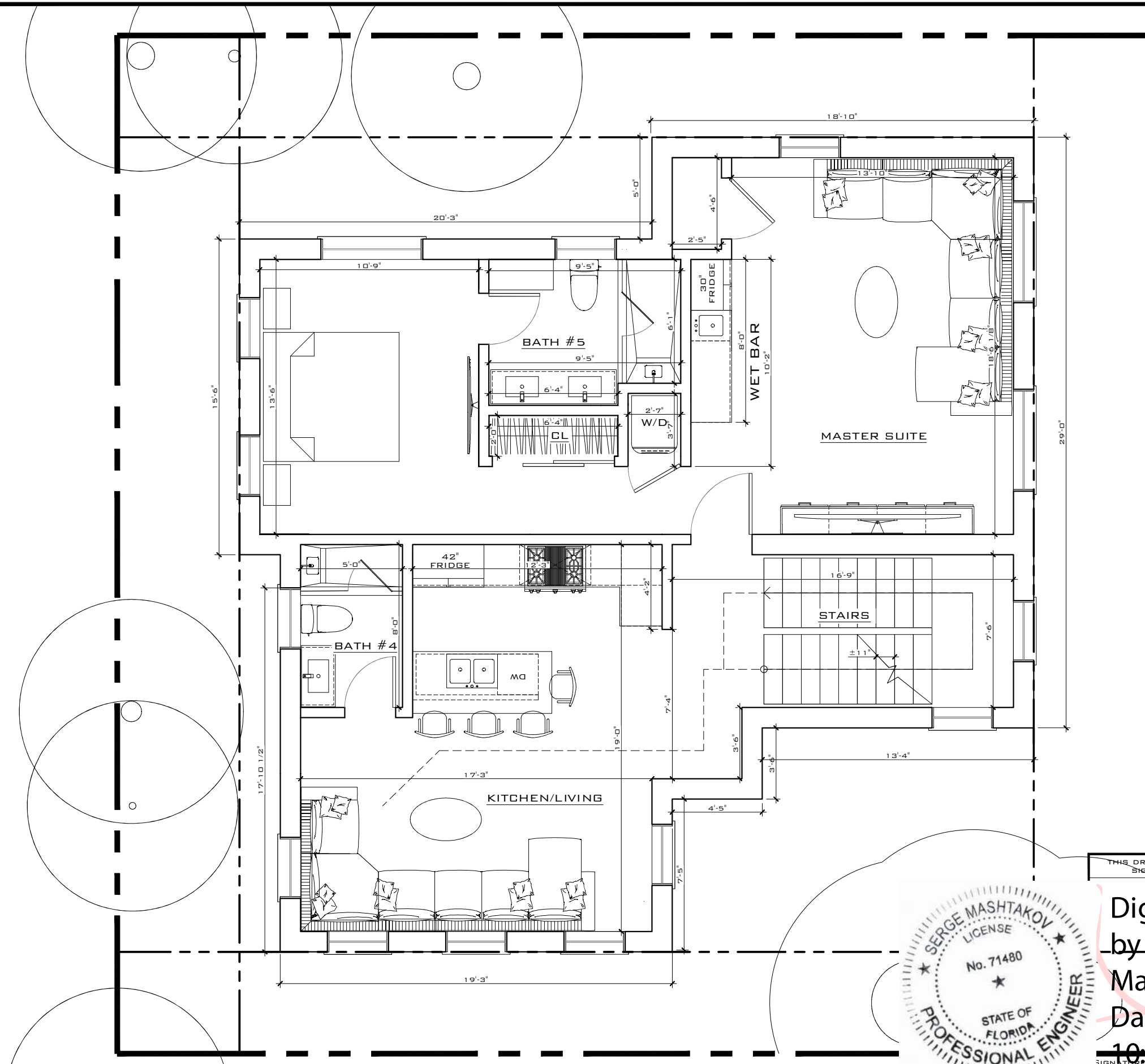
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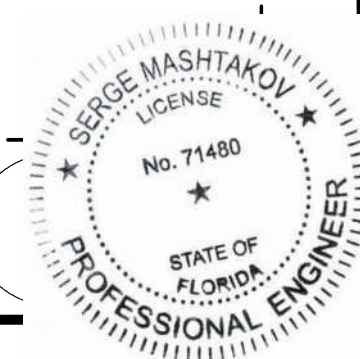
SITE:
 1905 STAPLES AVE
 KEY WEST, FL 33040

TITLE:
 PROPOSED FLOOR PLAN

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
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PROPOSED 1ST FLOOR PLAN
 SCALE: 3/16" = 1'-0"



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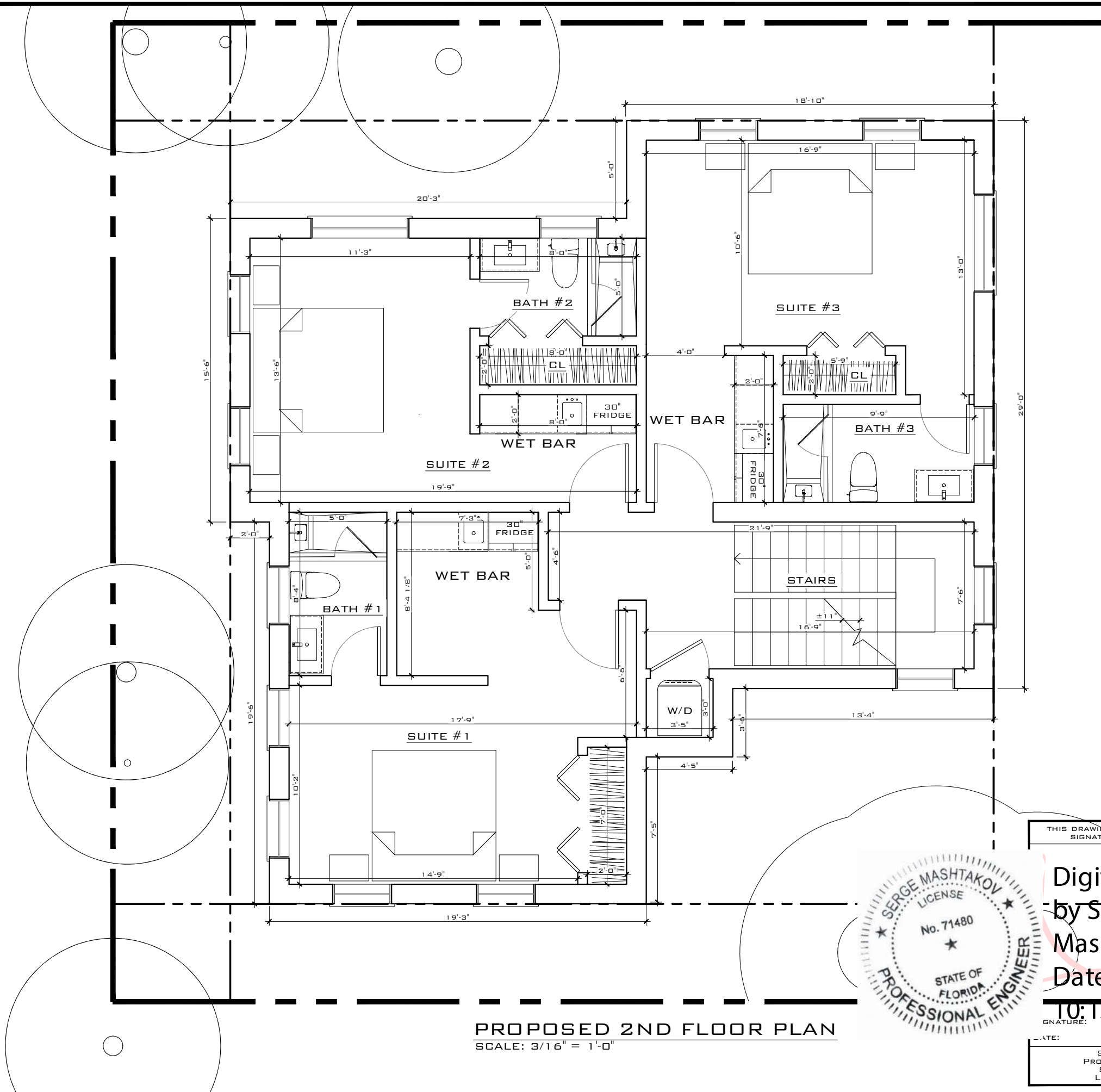
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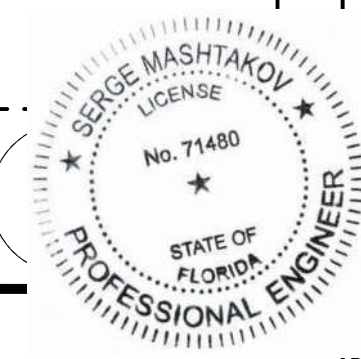
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TITLE:
1ST FLOOR PLAN

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PROPOSED 2ND FLOOR PLAN
 SCALE: 3/16" = 1'-0"



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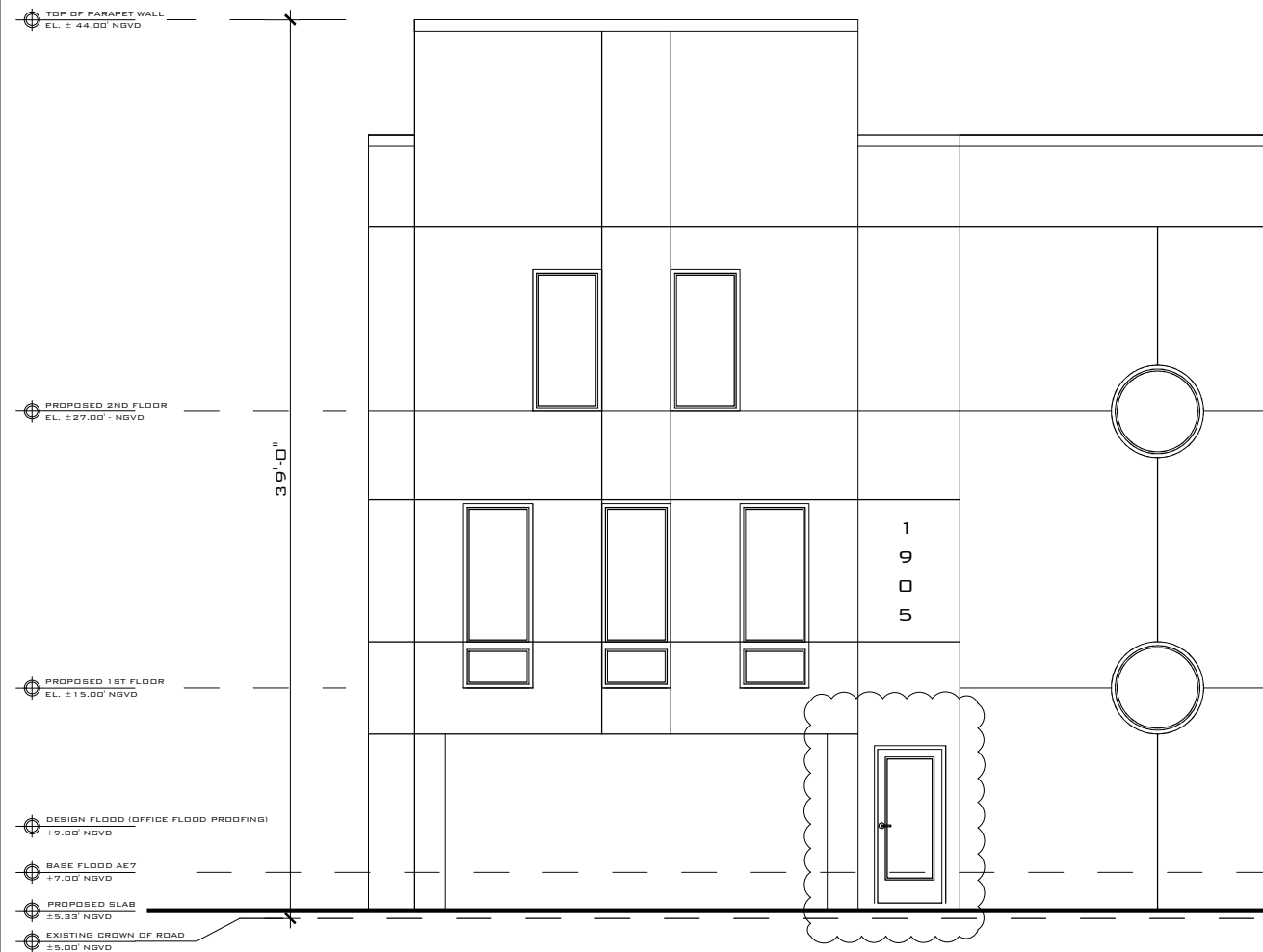
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SITE:
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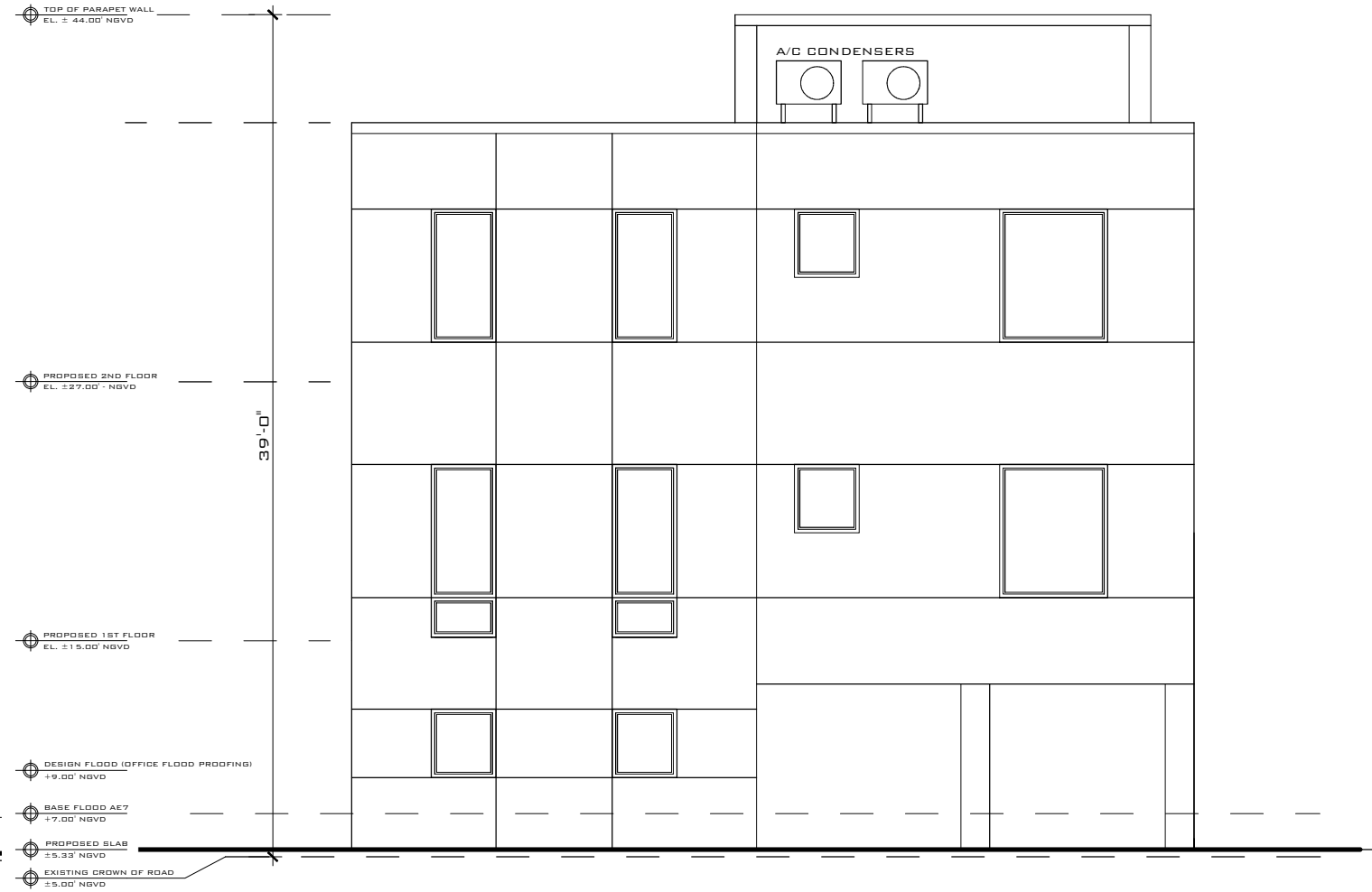
TITLE:
2ND FLOOR PLAN

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PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/8" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
	STATUS:		
	FINAL		



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TITLE:
PROPOSED ELEVATIONS

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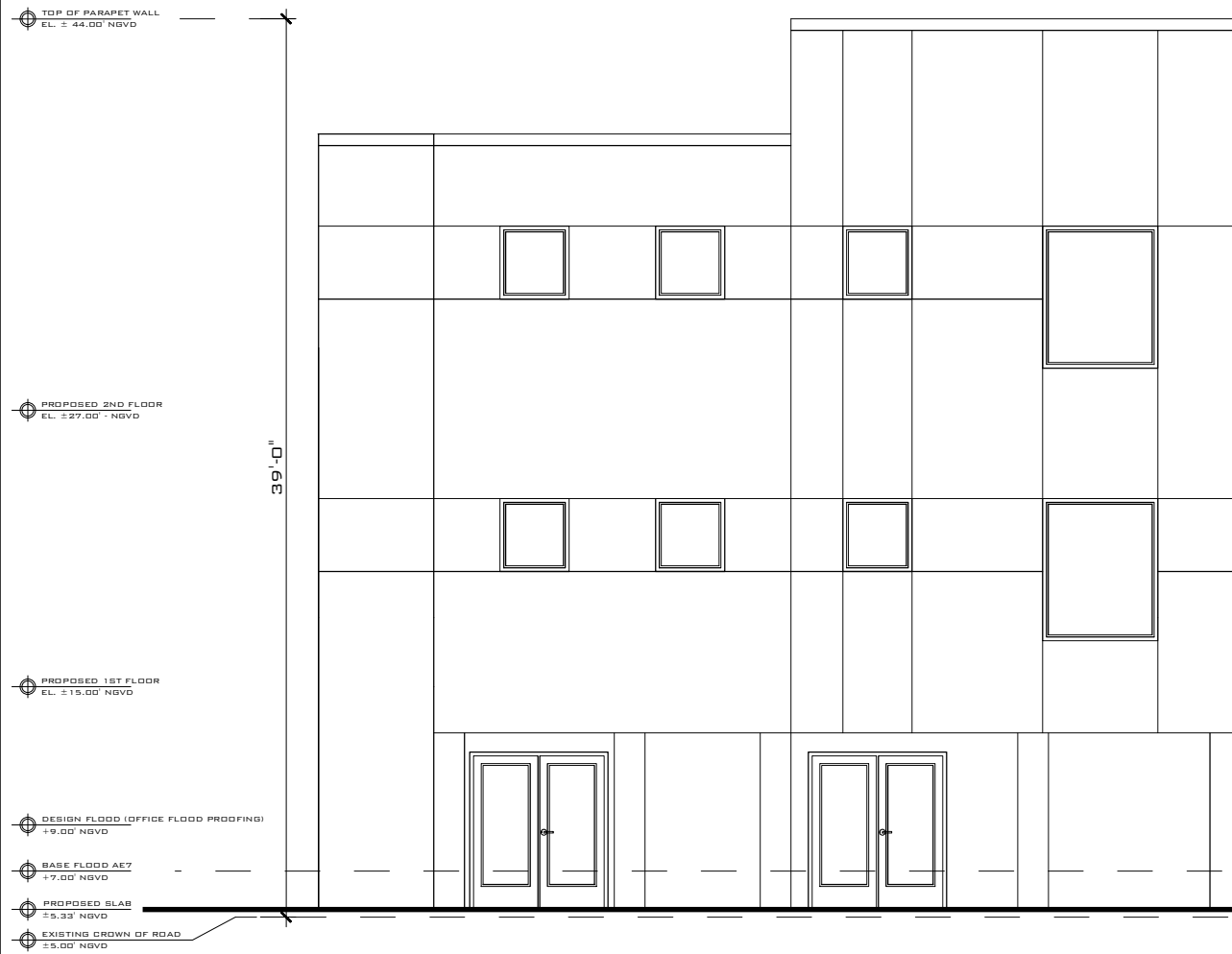


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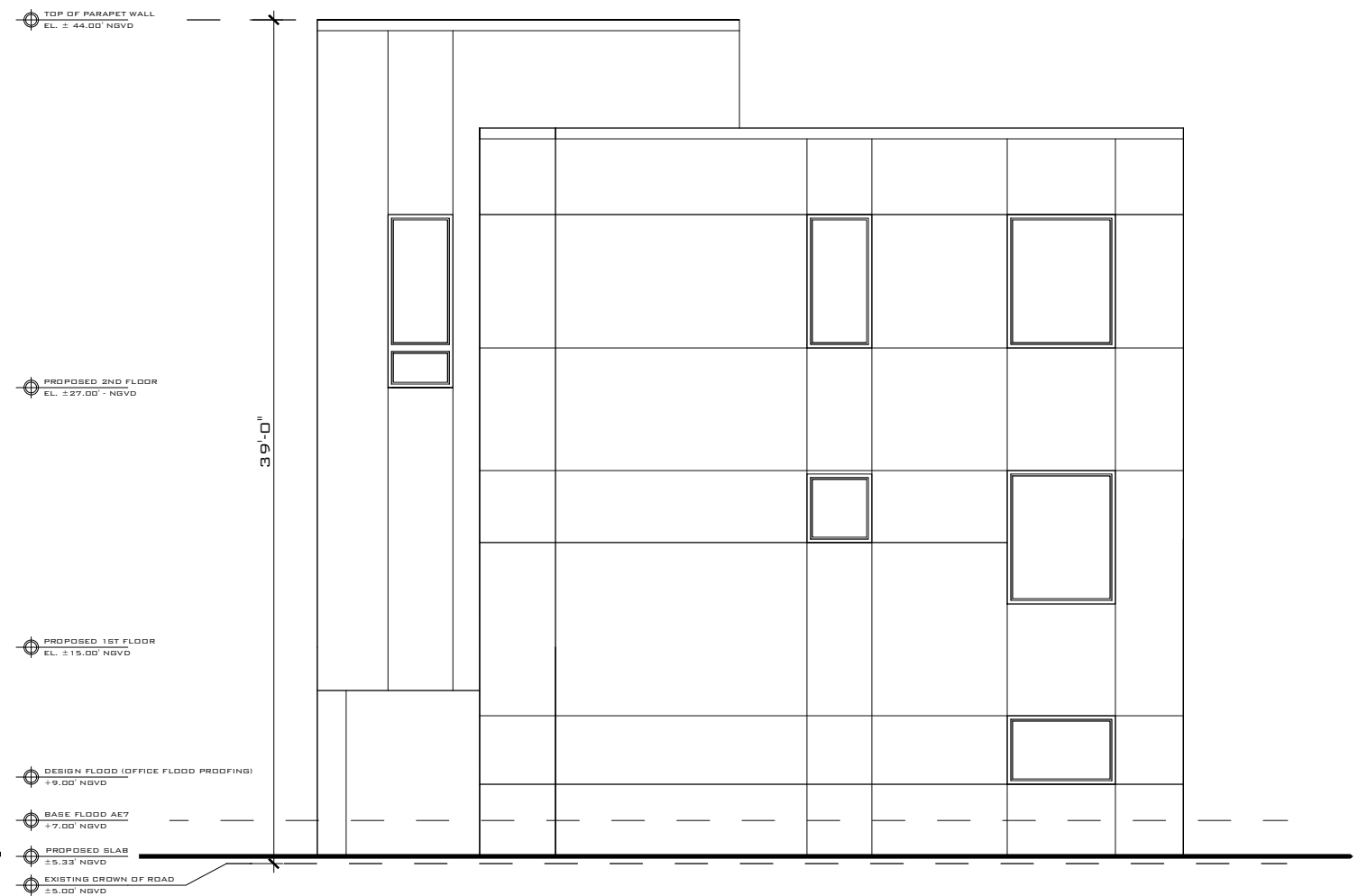
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SIGNATURE:
 DATE:

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 STATE OF FLORIDA
 LICENSE NO 71480



PROPOSED LEFT ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

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SITE:
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TITLE:
PROPOSED ELEVATIONS

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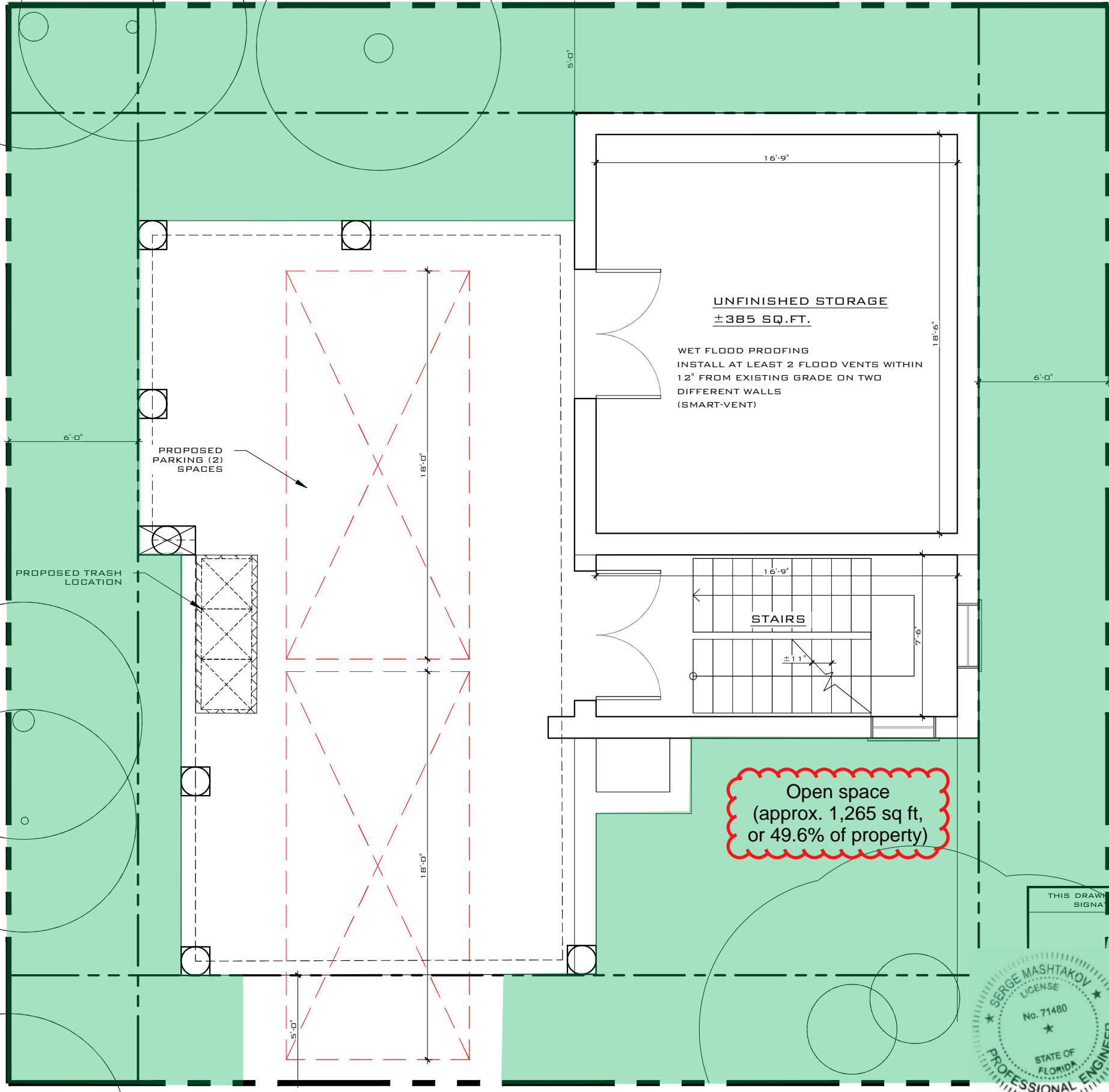


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SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

FLOOD ZONE: AE7
 PROPOSED GRADE: +5.00' NGVD
 PROPOSED FINISHED FLOOR OF RESIDENTIAL SPACE (1ST FLOOR): +15.00' NGVD



PROPOSED GROUND FLOOR PLAN
 SCALE: 3/16" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
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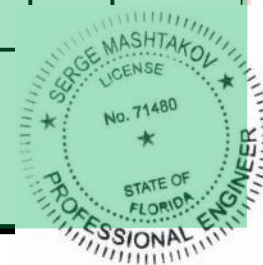
PROJECT:
 1905 STAPLES AVE

SITE:
 1905 STAPLES AVE
 KEY WEST, FL 33040

TITLE:
 PROPOSED FLOOR PLAN

SCALE AT 1/16" = 1'-0"	DATE:	DRAWN:	CHECKED:
AS SHOWN	11/18/22	DA	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2110-01	A-101	1	

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 71480 State of Florida
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DATE:
 SERGE MASHTAKOV
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO 71480



Verification Form



**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, Thomas Francis Siburg in my capacity as Planner / Development Specialist
(print name) (print position; president, managing member)
 of Trepanier & Associates, Inc.
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1905 Staples Avenue, Key West, FL 33040 (RE# 0046930
Street address of subject property -000000)

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Thomas Francis Siburg
Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this 10/27/21 by
date
Thomas Francis Siburg
Name of Applicant

He/She is personally known to me or has presented _____ as identification.

Nikita L. Stange
Notary's Signature and Seal

Nikita L. Stange
Name of Acknowledger typed, printed or stamped

HH 149093
Commission Number, if any



Nikita L. Stange
 Notary Public
 State of Florida
 Comm# HH149093
 Expires 7/5/2025

Deed

Doc # 2341712 Bk# 3128 Pg# 944 Recorded 9/28/2021 at 12:42 PM Pages 2
Filed and Recorded in Official Records of MONROE COUNTY KEVIN MADOK
REC: \$18.50 Deed Doc Stamp \$0.70

Prepared by and return to:
David Van Loon
Attorney at Law
Highsmith & Van Loon, P.A.
3158 Northside Drive
Key West, FL 33040
305-296-8851
File Number: 21-9-282
Will Call No.:

Parcel Identification No. 00046930-000000
\$72,000.00

[Space Above This Line For Recording Data]

Corrective Warranty Deed

[The purpose for this Corrective Warranty Deed is to correct the legal description on the Warranty Deed, dated September 13, 2021, and recorded in Official Records Book 3125 at Page 1513, of the Public Records of Monroe County, Florida. Documentary Stamps in the amount of \$504.00 were paid with the recording of the original Warranty Deed.]

This Indenture made this 28th day of September, 2021 between Debra V. Sawyer, a married woman whose post office address is 21 Aster Terrace, Key West, FL 33040 of the County of Monroe, State of Florida, grantor*, and KW Empire LLC, a Florida limited liability company whose post office address is 1901 Flagler Avenue, Key West, FL 33040 of the County of Monroe, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, to-wit:

On the Island of Key West and known on the Key West Realty Co.'s First Subdivision of Part of Tract 21, and Lots 1, 2,3,4,5, Island of Key West, as Part of Lots (1) and (2) in Block Sixteen (16) according to a diagram of said Subdivision, recorded in Plat Book 1, Page 43, Monroe County Records more particularly described by meets and bounds as follows:

Beginning at the point of Intersection of the Easterly Right-of-Way Boundary line of First Street with the Northerly right-of-way boundary line of Staples Avenue and thence Northeasterly along the Northerly right-of-way of Staples Avenue Fifty (50) feet to the Point of Beginning; thence continue Northeasterly along the Northeasterly right-of-way line of Staples Avenue for Fifty-one (51) feet to the Northeast Corner of said Lot Two (2); thence Northwesterly at a right angle along the Boundary line between Lot Two (2) and Lot Three (3) Fifty (50) feet; thence Southwesterly at a right angle fifty-one (51) feet; thence Southwesterly at a right angle fifty (50) feet to the Point of Beginning.

Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. Grantor's residence and homestead address is: 21 Aster Terrace, Key West, FL 33040.

Subject to taxes for 2021 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

DoubleTime®

Signed, sealed and delivered in our presence:

Debra L. Nickel
Witness Name: Debra L. Nickel

Debra V. Sawyer (Seal)
Debra V. Sawyer

David Van Loon
Witness Name: David Van Loon

State of Florida
County of Monroe

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 28 day of September, 2021 by Debra V. Sawyer, who is personally known or has produced a driver's license as identification.

[Notary Seal]

David Van Loon
Notary Public

Printed Name: David Van Loon

My Commission Expires: 9-7-23

