

**PLANNING BOARD
RESOLUTION No. 2012-034**

**A RESOLUTION OF THE KEY WEST
PLANNING BOARD GRANTING MAJOR
DEVELOPMENT PLAN APPROVAL PER
SECTIONS 108-91 AND 108-96 THROUGH 108-
957 FOR CONSTRUCTION OF A HOTEL
RESORT COMPLEX FOR PROPERTY
LOCATED AT 223 ELIZABETH STREET (RE#
00000710-000101, 00000710-000102, 00000720-
000000, 00000730-000000, 00000740-000000,
00000750-000000, 00000760-000000, 00000810-
000000, 00000840-000000) IN THE HRCC-1
ZONING DISTRICT, KEY WEST FLORIDA;
PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, Section 108-91 of the Code of Ordinances provides that within the Historic District a Major Development Plan is required for the addition or reconstruction of five or more units; and

WHEREAS, the applicant proposed a development plan for a 96 room hotel resort complex on property located in the HRCC-1 zoning district; and

WHEREAS, Section 108-196(a) requires the Planning Board to review and approve, approve with conditions, or deny the proposed Major Development Plan; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on



Chairman



Planning Director

July 19, 2012; and

WHEREAS, the granting of a Major Development Plan application is consistent with the criteria of the Code of Ordinances; and

WHEREAS, the Planning Board finds that the granting of a Major Development application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:


Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. The Major Development Plan for the development of a hotel resort complex located at 223 Elizabeth Street (RE#'s 00000710-000101, 00000710-000102, 00000720-000000, 00000730-000000, 00000740-000000, 00000750-000000, 00000760-000000, 00000810-000000, 00000840-000000) in the HRCC-1 zoning district per Section 108-91A2(a) of the Land Development Regulations of the Code of Ordinances of the City of Key West, as shown in the attached plans received May 1, 2012, is hereby approved with the following conditions of approval:

General Conditions:

1. That the applicant secure the off-site parking rights, located in the City's surface lot on Caroline Street, as determined in a Settlement Agreement entered into by the ✓

 Chairman

 Planning Director

Developer and the City and subsequently approved by the Department of Economic Opportunity.

2. All power lines are to be placed underground.
3. Any proposed exterior lighting will comply with Section 108-284.
4. Clarify the referenced park not be fenced and that the applicant will work with Staff to outline other conditions for the park.



Section 3. Full, complete, and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This Major Development Plan application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity (DEO). Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until

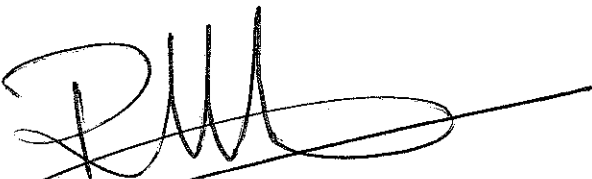
PWK Chairman

OC Planning Director

the appeal is resolved by agreement or order.


Read and passed on first reading at a regularly scheduled meeting held this 19th day of July, 2012.

Authenticated by the Chairman of the Planning Board and the Planning Director.


Richard Klitenick, Chairman
Key West Planning Board

7/27/12
Date

Attest:




Donald Leland Craig, AICP
Planning Director

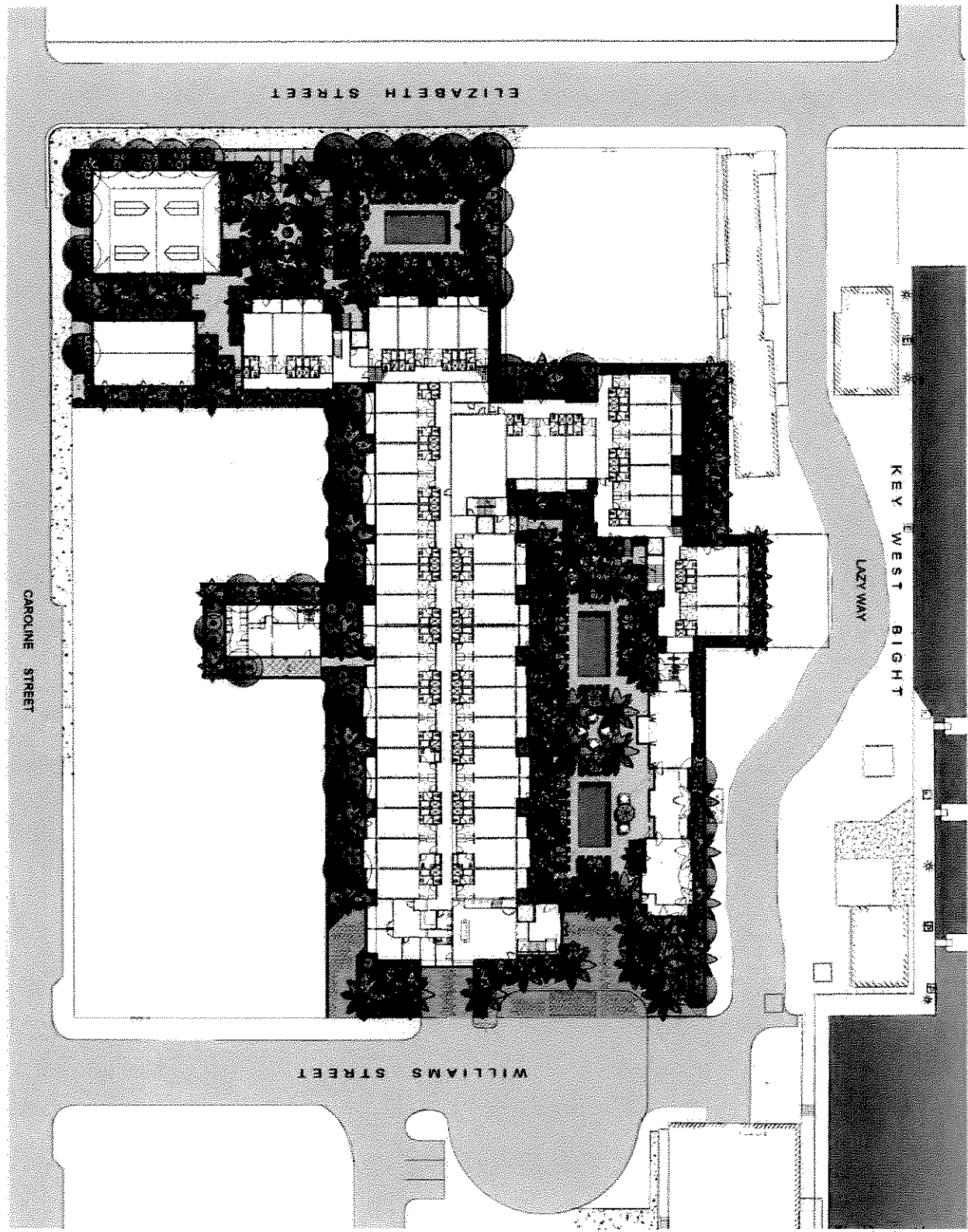
7-25-12
Date

Filed with the Clerk:


Cheryl Smith, City Clerk

7-25-12
Date

 Chairman
 Planning Director



PC

PKK

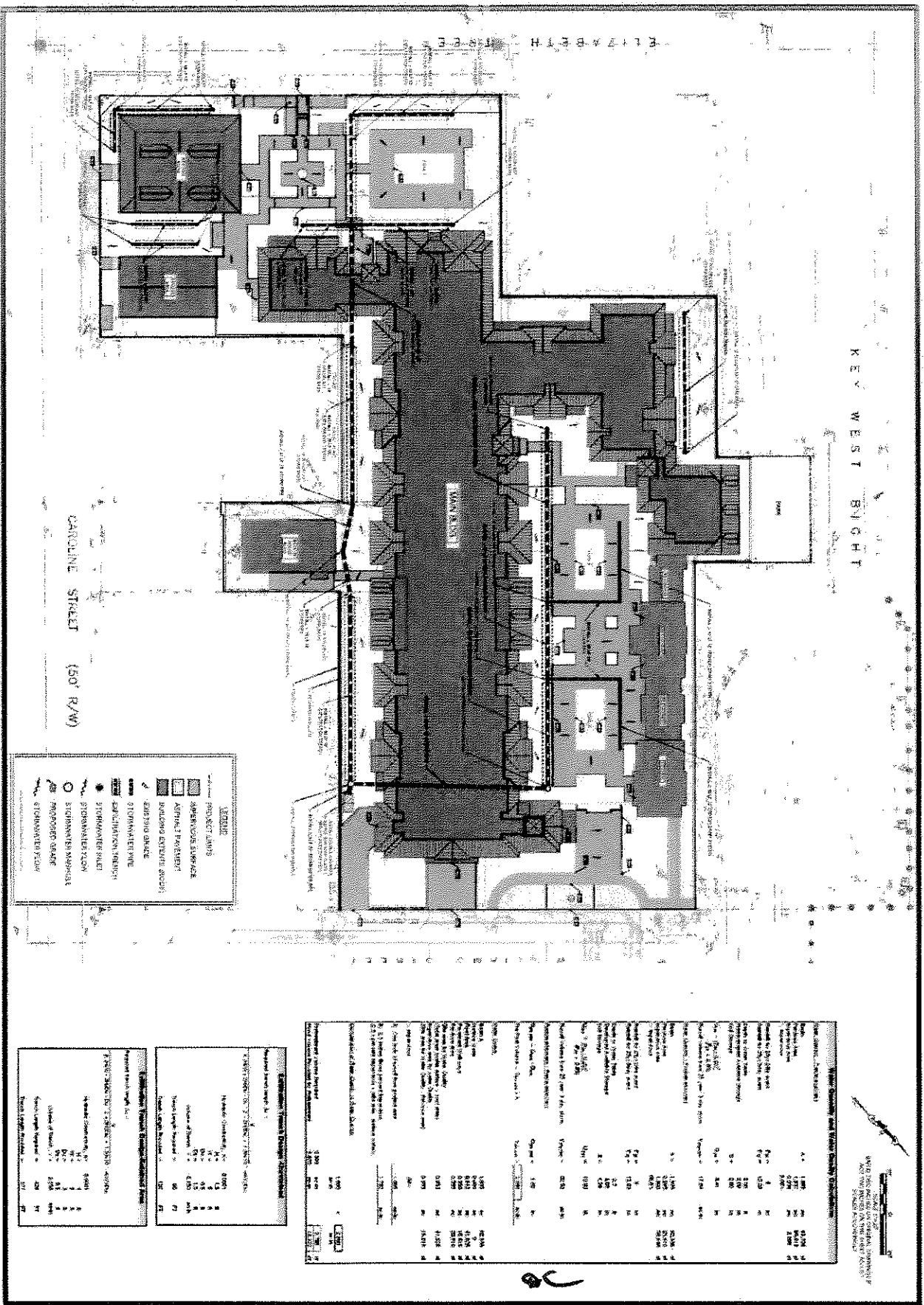
Date: April 15, 2012



SITE PLAN

KEY WEST SEAPORT HOTEL
 HARBORSIDE, LLC - KEY WEST, FLORIDA

2012 Seaport Hotel, LLC
 1400 S. APH
 Key West, FL 34290
 Project No. 12-00000000



Area	Area (sq ft)	Volume (cu yd)
Asphalt	1,200	1,200
Concrete	1,500	1,500
Gravel	2,000	2,000
Soil	3,000	3,000
Landscaping	4,000	4,000
Stormwater	5,000	5,000
Total	12,700	12,700

Area	Area (sq ft)	Volume (cu yd)
Asphalt	1,200	1,200
Concrete	1,500	1,500
Gravel	2,000	2,000
Soil	3,000	3,000
Landscaping	4,000	4,000
Stormwater	5,000	5,000
Total	12,700	12,700

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Gravel	2,000	2,000
Soil	3,000	3,000
Landscaping	4,000	4,000
Stormwater	5,000	5,000
Total	12,700	12,700



RMK

HARBORSIDE, LLC
 P.O. BOX 2039
 KEY WEST, FL 33045

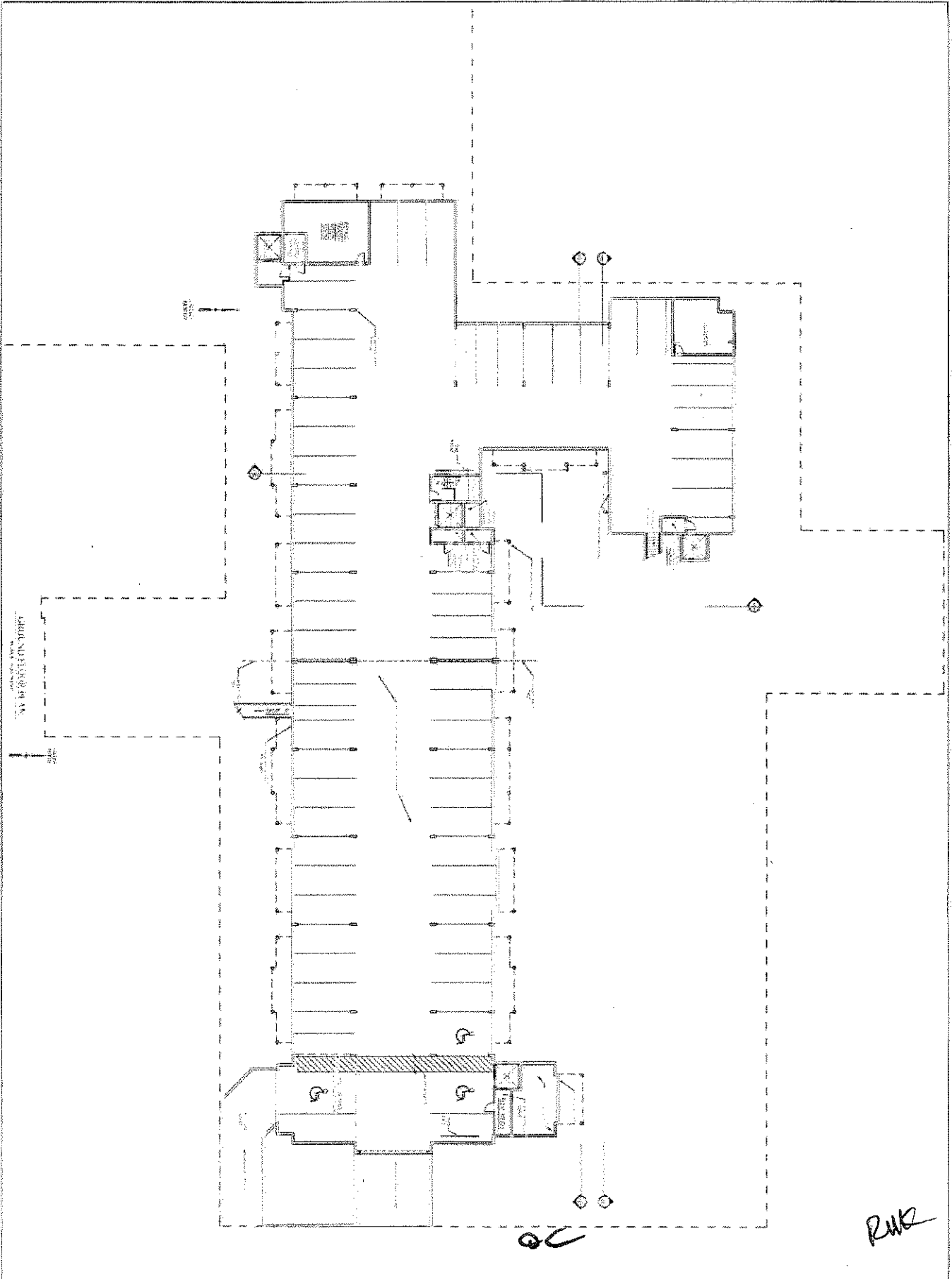
KEY WEST SEAPORT HOTEL
 223 ELIZABETH ST
 KEY WEST, FL 33040

PEREZ ENGINEERING & DEVELOPMENT, INC.
 1000 PINEAPPLE AVENUE, SUITE 400
 KEY WEST, FLORIDA 33040
 TEL: 305-850-0000 FAX: 305-850-0000

REVISIONS:

NO.	DATE	DESCRIPTION
1	01/10/2012	ISSUED FOR PERMIT

KLING STUBBINS
 1000 PINEAPPLE AVENUE, SUITE 400
 KEY WEST, FLORIDA 33040
 TEL: 305-850-0000 FAX: 305-850-0000



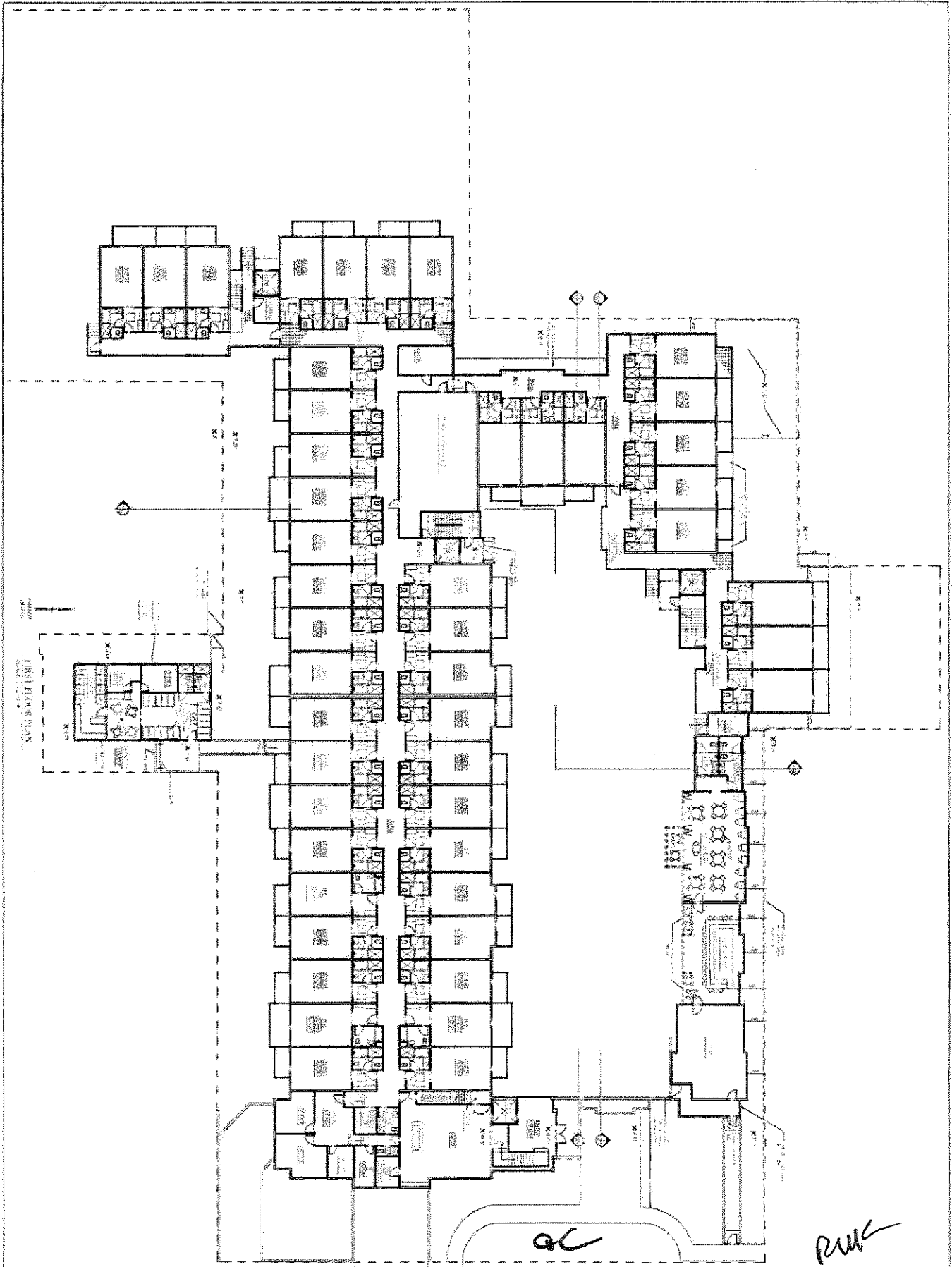
101V

GROUND FLOOR PLAN

KEY WEST SEAPORT HOTEL
 217 E. BAY STREET, KEY WEST, FLORIDA 33401
 305-852-1234
 HARRISON, LLC. P.O. BOX 1000 KEY WEST, FLORIDA 33401

NO.	DATE	DESCRIPTION

G GRASSI DESIGN GROUP
 40 S. ALHAMBRA BLVD.
 SUITE 200, MIAMI BEACH, FLORIDA 33139
 TELEPHONE: 305-673-1100



A102

FIRST FLOOR PLAN

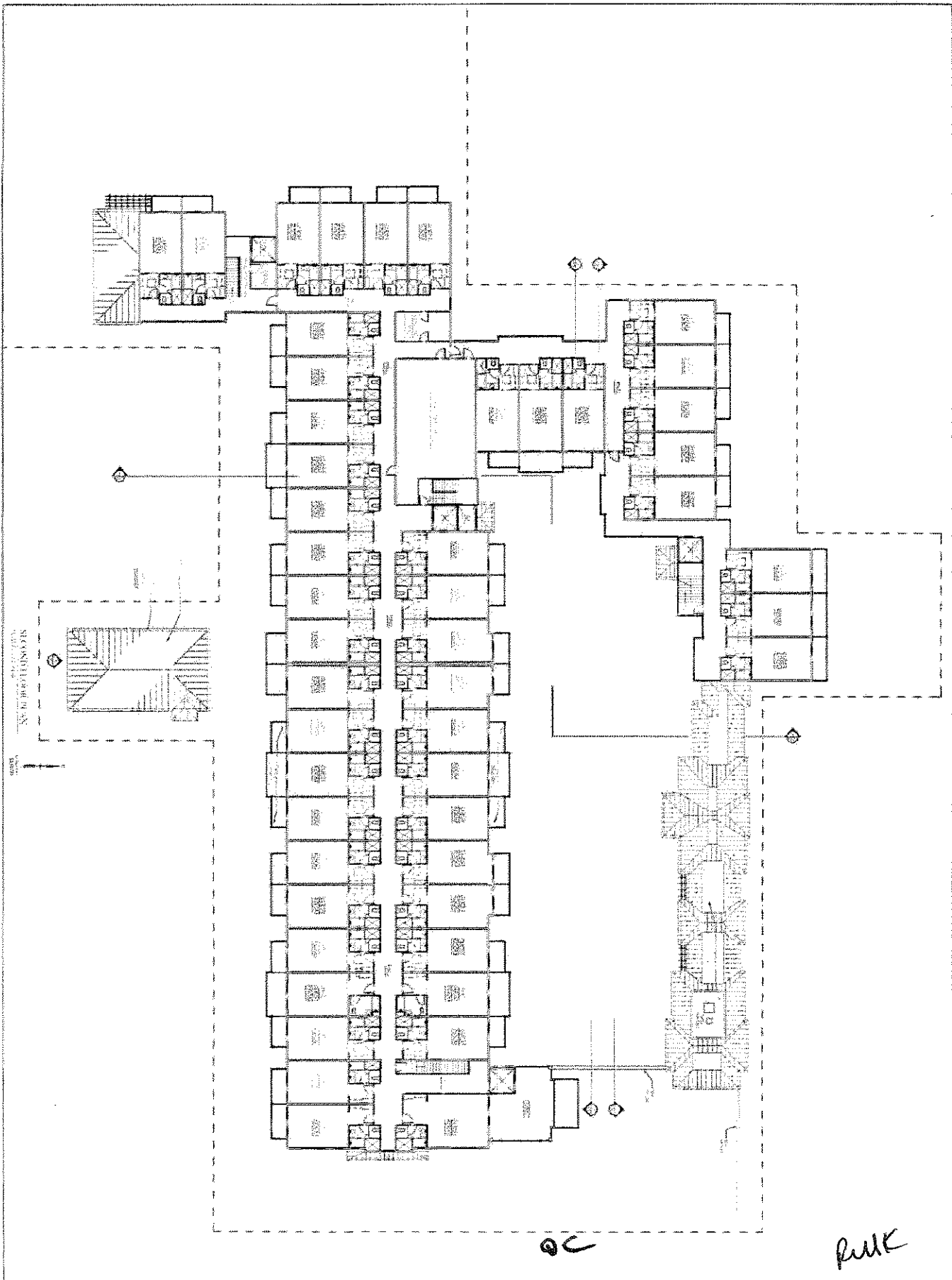
KEY WEST SEAPORT HOTEL

221 E. LANGFORD STREET, KEY WEST, FLORIDA 33090

DESIGNED BY: GGRASSI DESIGN GROUP
 HARBORSIDE, LLC 144 N. MIKE ST. KEY WEST, FLORIDA 33044

GGRASSI DESIGN GROUP

144 N. MIKE STREET
 KEY WEST, FLORIDA 33044
 TEL: 305.236.4444



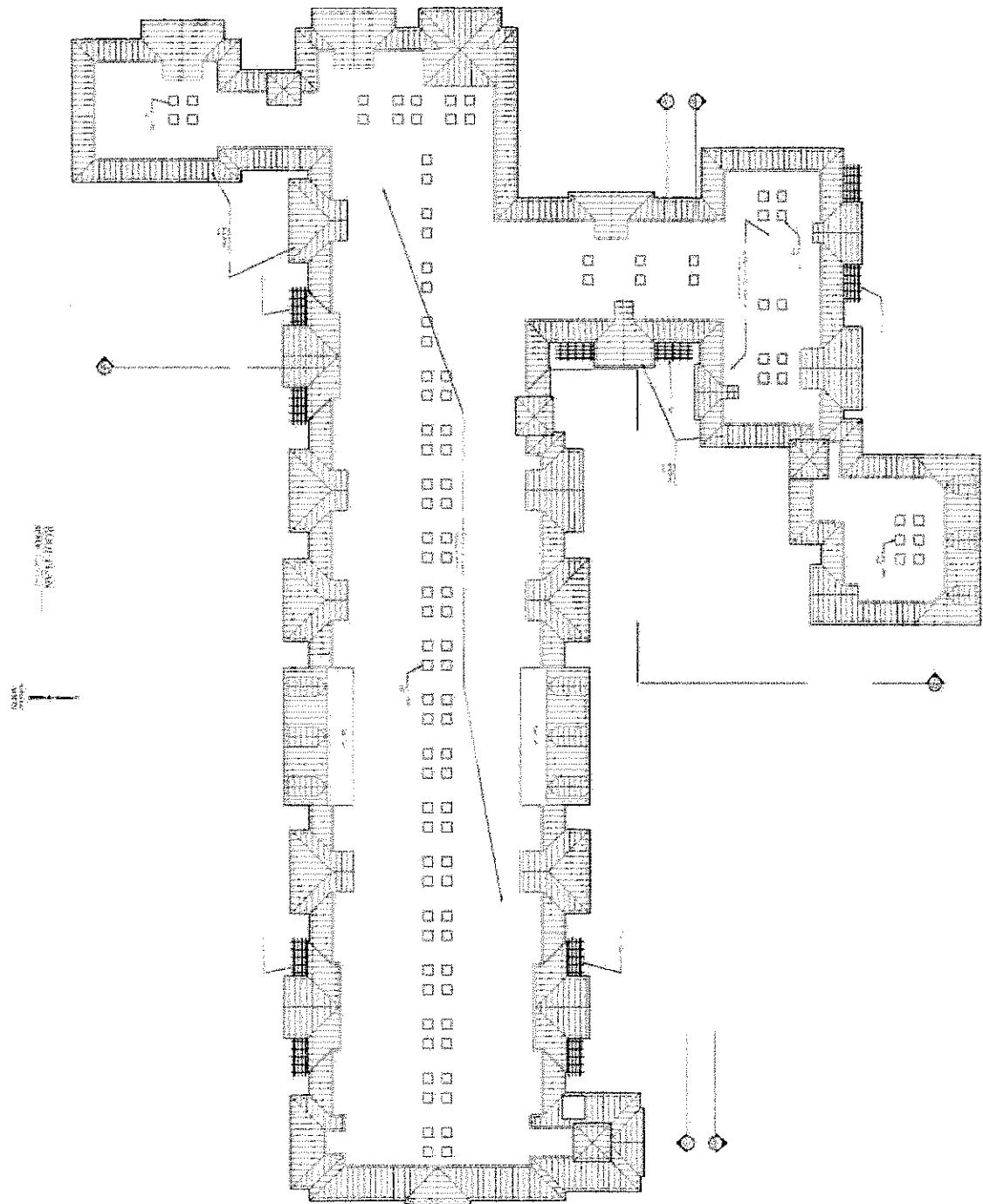
A103

SECOND FLOOR PLAN

KEY WEST SEAPORT HOTEL
 27 FLORIDITH STREET, N.W. - WEST 11 - MIAMI BEACH
 CONSULTING ARCHITECTS
 1340 W. BAYVIEW DRIVE, SUITE 1000 - MIAMI BEACH, FLORIDA 33149

G GRASSI DESIGN GROUP
 45 S. BAYVIEW DRIVE
 MIAMI BEACH, FLORIDA 33134
 TEL: 305.441.1111

ROOF PLAN



NORTH
 0° 00' 00"

OC

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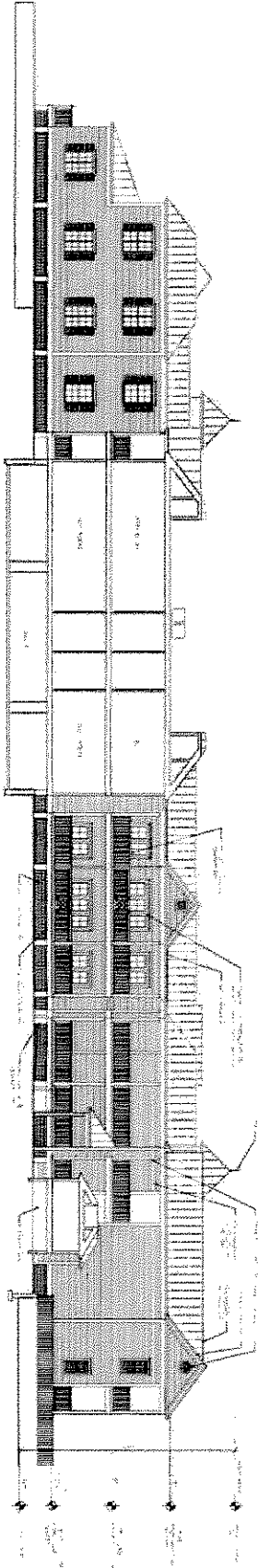
A104
 ROOF PLAN

KEY WEST SEAPORT HOTEL
 201 GUNN STREET, KEY WEST, FLORIDA 33040
 305.854.1234
 HARBORCONE, LLC 800.900.2222 KEY WEST, FLORIDA 33040

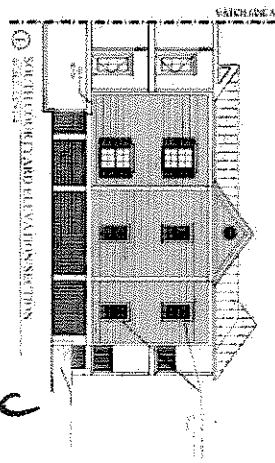
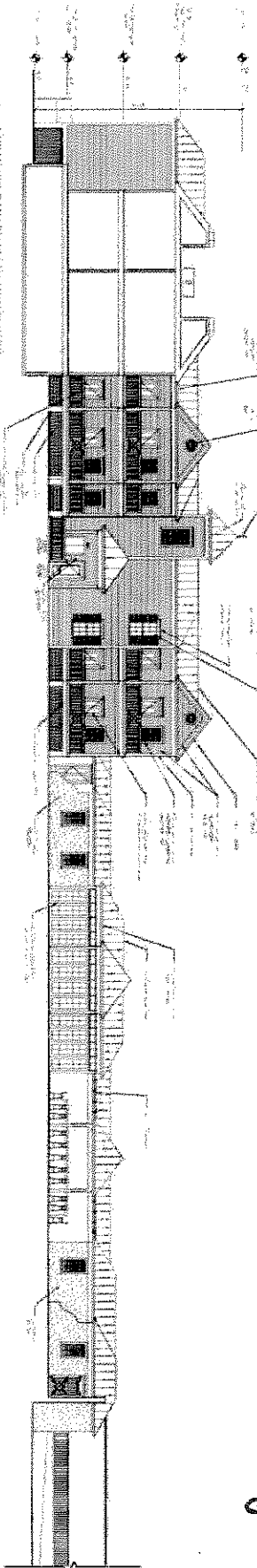
NO.	DATE	DESCRIPTION

G GRASSI DESIGN GROUP
 20 W. ALLEN AVENUE
 BOSTON, MASSACHUSETTS 02114
 TELEPHONE 617.452.4100

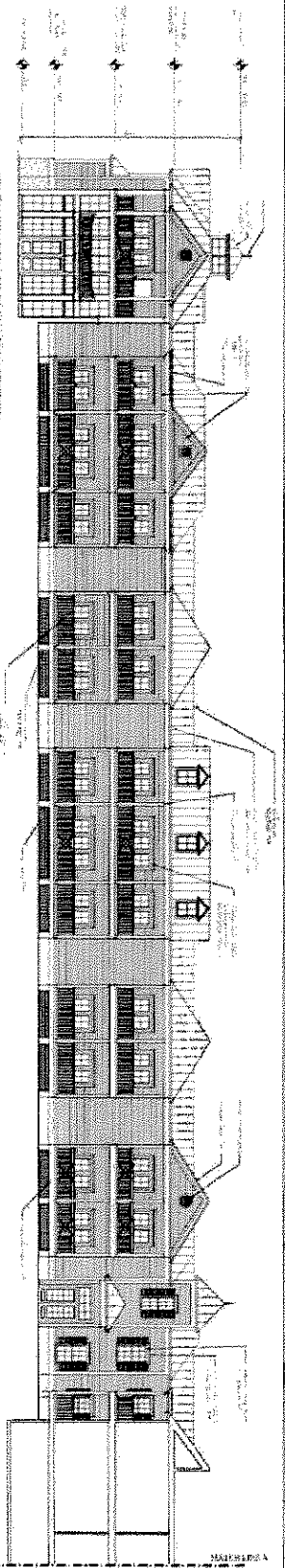
WEST COURTYARD ELEVATION SECTION



NORTH COURTYARD ELEVATION SECTION



SOUTH COURTYARD ELEVATION SECTION



RUK

A201

EXTERIOR SECTION/ELEVATIONS

KEY WEST SEAPORT HOTEL

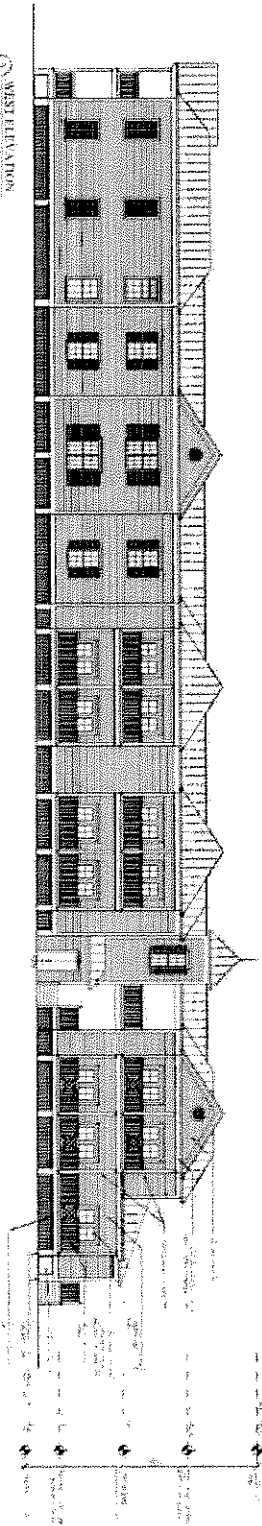
235 LEGEND STREET, KEY WEST, FLORIDA

OWNER: HARBOURSIDE, LLC, P.O. BOX 227, KEY WEST, FLORIDA 33040

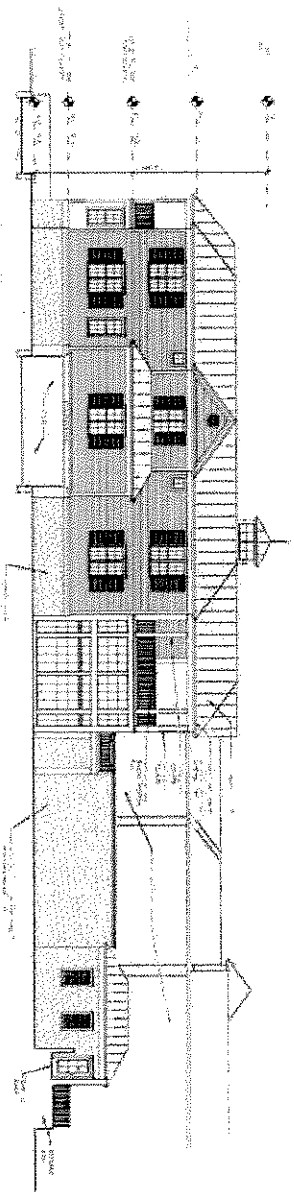
G GRASSI DESIGN GROUP

40 WALL STREET
BOSTON, MASSACHUSETTS 02109
TEL: 617.452.1000

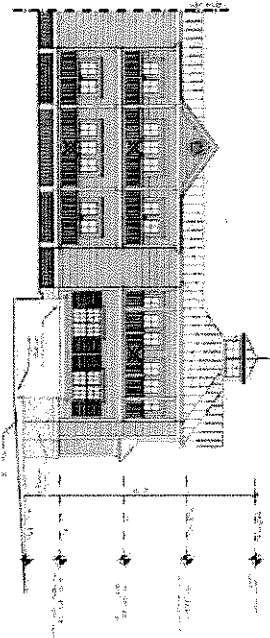
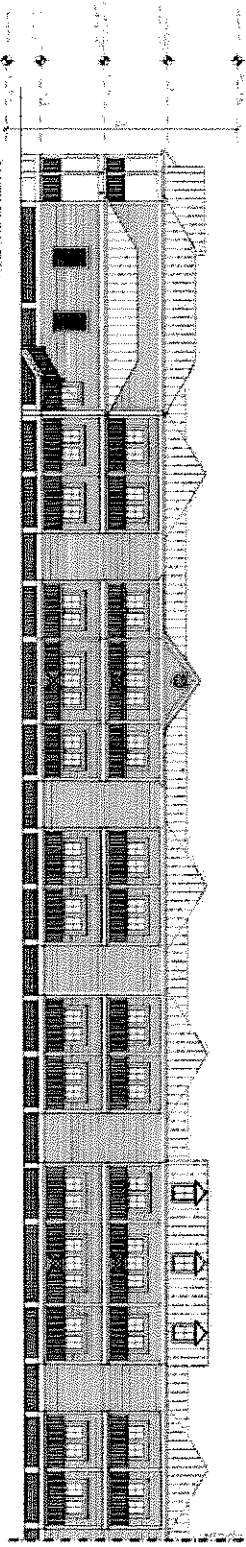
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



ac

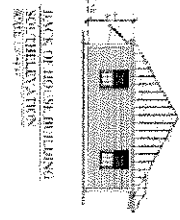
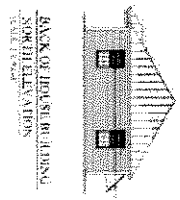
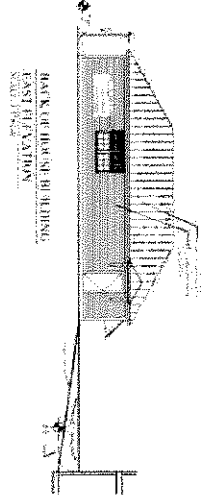
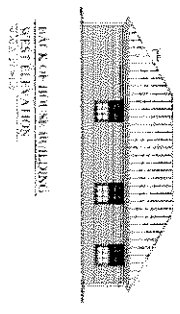
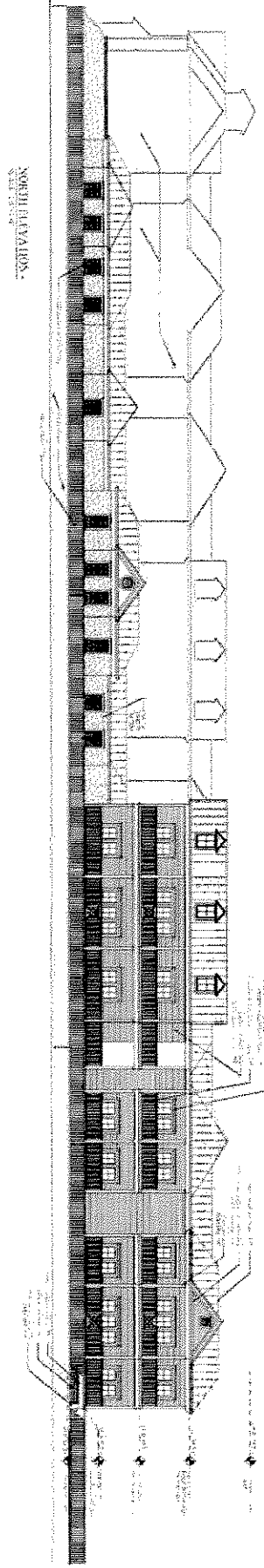
RUK

A202

EXTERIOR ELEVATIONS

KEY WEST SEAPORT HOTEL
275 SEAGRAM DRIVE, KEY WEST, FLORIDA 33509
DRAFTING
HAKKIOSSIDE, LLC P.O. BOX 2057 KEY WEST, FLORIDA 33509

G GRASSI DESIGN GROUP
200 EAST 10TH STREET
WINTON, MASSACHUSETTS 01890
TEL: 978.262.4700 FAX: 978.262.4701



OC

RUK

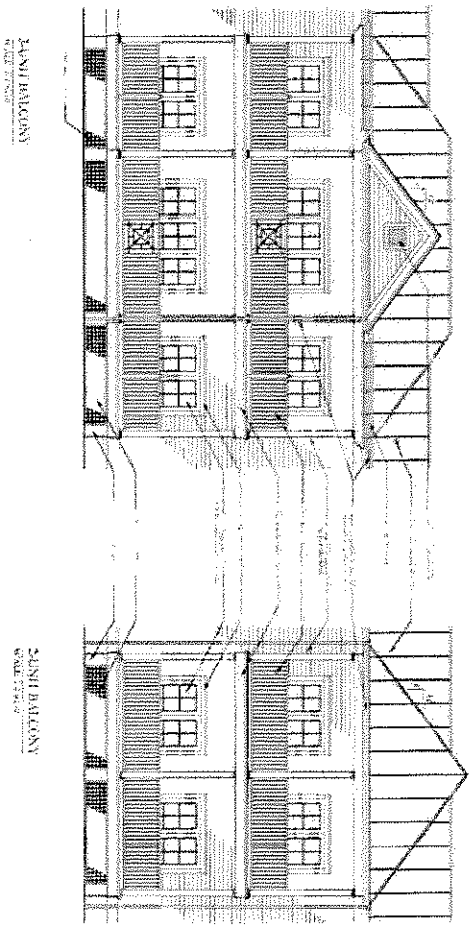
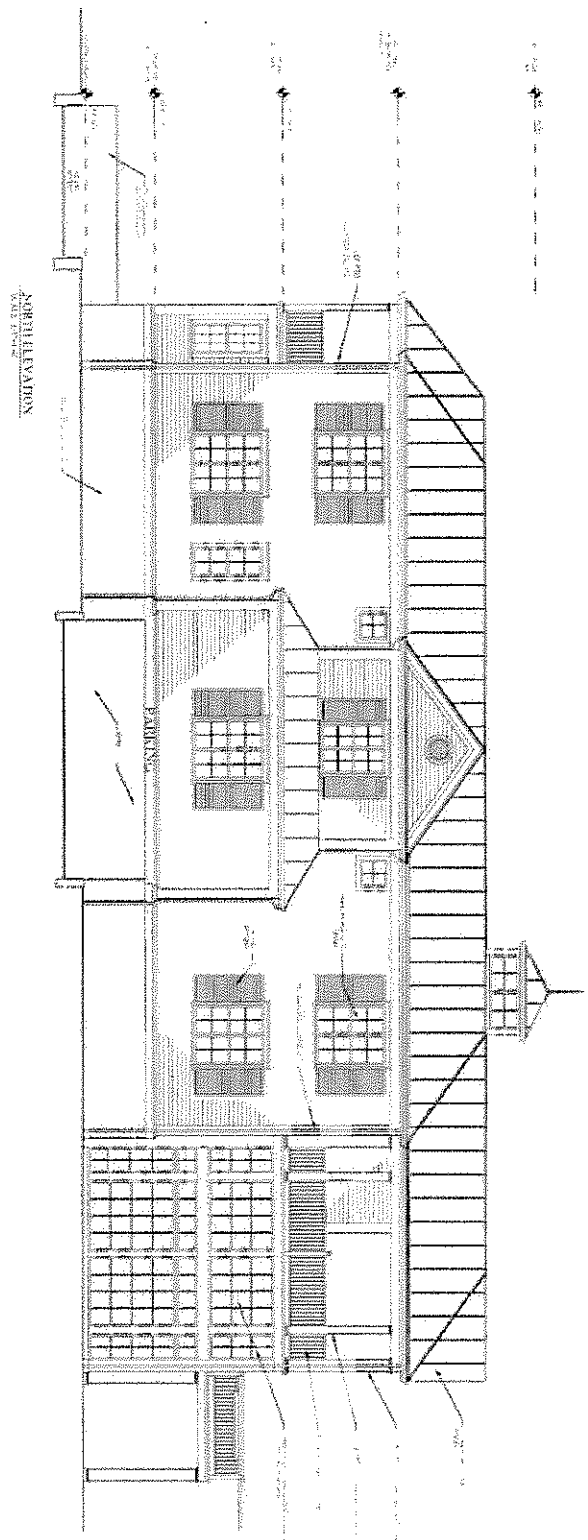
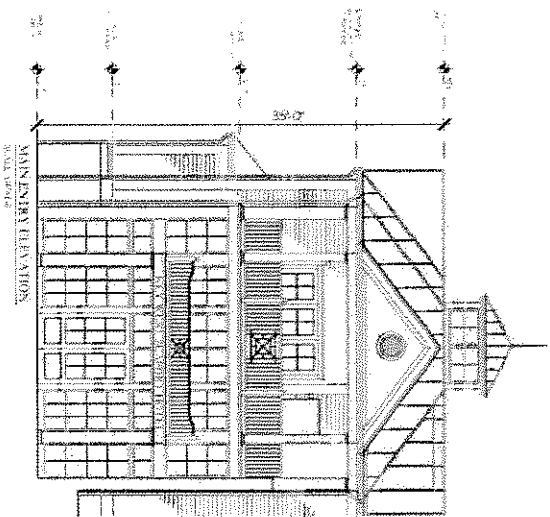
A203

EXTERIOR ELEVATIONS: SOUTH & BACK OF THE HOUSE BUILDING

KEY WEST SEAPORT HOTEL
 125 E. WASHINGTON STREET, KEY WEST, FL 34140
 OWNER: MARA GROUP, LLC. KEY WEST, FLORIDA 34140

DATE	DESCRIPTION

G GRASSI DESIGN GROUP
 1000 N. WASHINGTON STREET
 MIAMI, FLORIDA 33136
 (305) 371-1111



ac

RJK

A204

PARTIAL EXTERIOR ELEVATIONS

KEY WEST SEAPORT HOTEL
 1213222ZARD... KEY WEST, FLORIDA 33401
 DRAWN BY: [Name]
 ARCHITECTURE, L.L.C. P.O. BOX 2207 KEY WEST, FLORIDA 33401

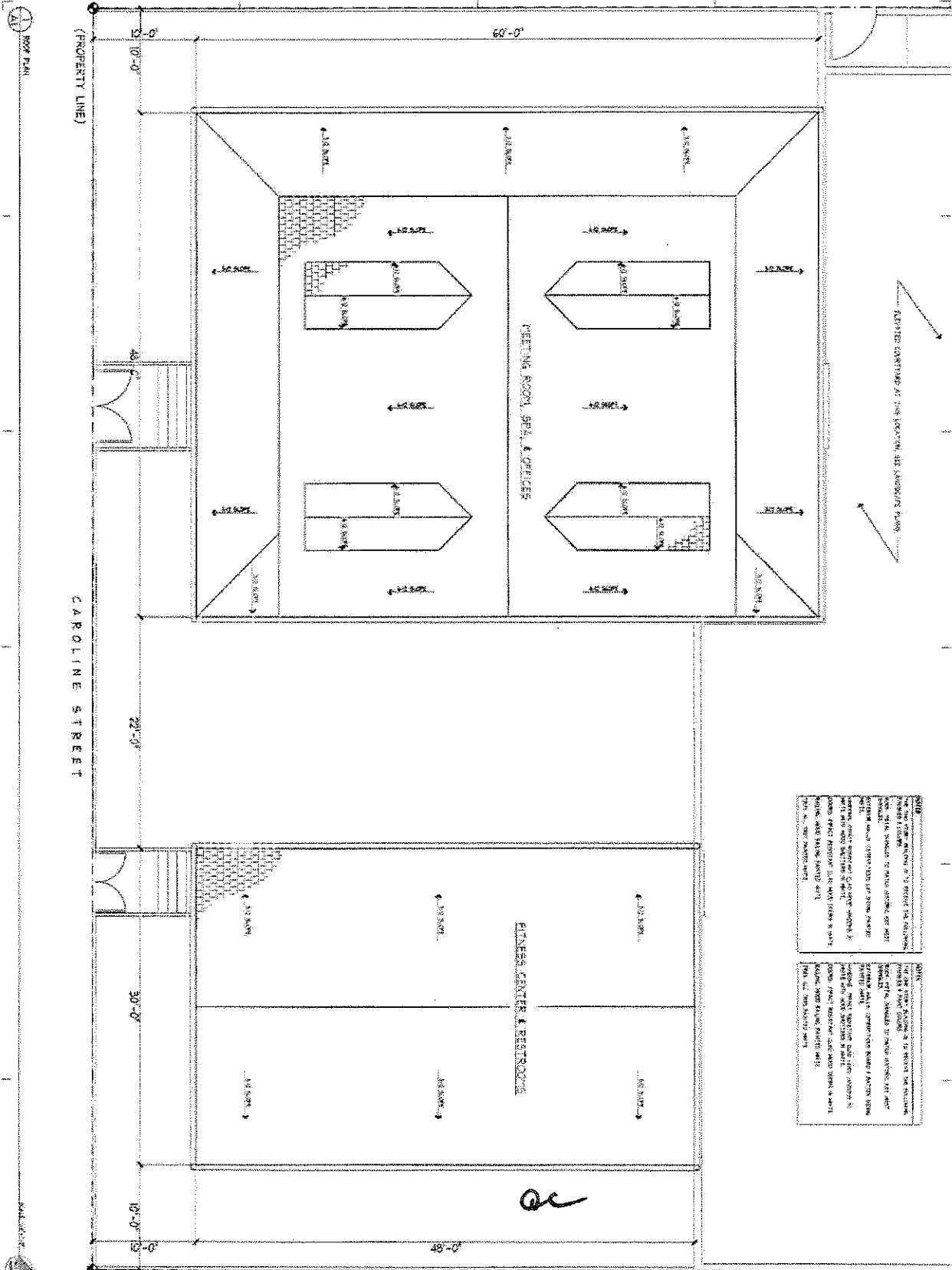
G GRASSI DESIGN GROUP
 4000...
 1000...
 305-444-4444

ELIZABETH STREET

(PROPERTY LINE)

CAROLINE STREET

(PROPERTY LINE)



NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
10. ALL WASTE AND DEBRIS SHALL BE PROPERLY DISPOSED OF AT ALL TIMES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

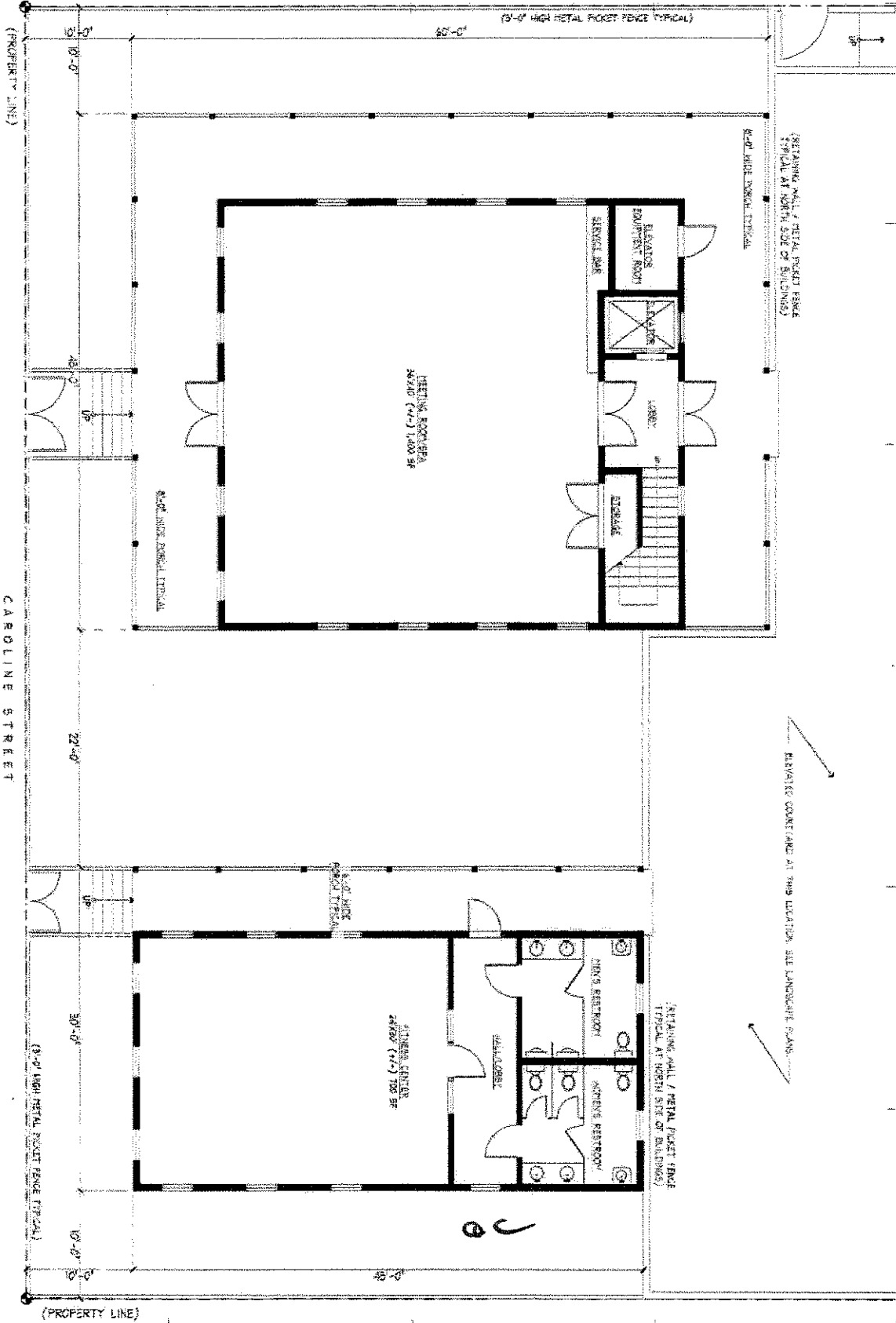
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12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
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14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

Handwritten signature: RUK

A1		<p>Bender & Associates ARCHITECTS</p> <p>1115 S. COLLETT AVENUE SUITE 100 KEY WEST, FLORIDA 33040 PHONE: 305.241.1111 FAX: 305.241.1112</p>		<p>KEY WEST SEAPORT HOTEL 223 ELIZABETH STREET, KEY WEST, FLORIDA 33040 OWNER: HARBORSIDE, LLC P.O. BOX 2058, KEY WEST, FLORIDA 33045</p>	
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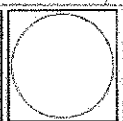
ELIZABETH STREET



A2



Bender & Associates
ARCHITECTS
 P.A.



KEY WEST SEAPORT HOTEL
 223 ELIZABETH STREET, KEY WEST, FLORIDA 33040
 OWNER: HARBORSIDE, LLC
 P.O. BOX 2038, KEY WEST, FLORIDA 33045



RWK

ELIZABETH STREET

(PROPERTY LINE)

60'-0"

8'-0" WIDE SPIND TRUCK

CAROLINE STREET

8'-0" WIDE SPIND TRUCK

OFFICE

OFFICE

OFFICE

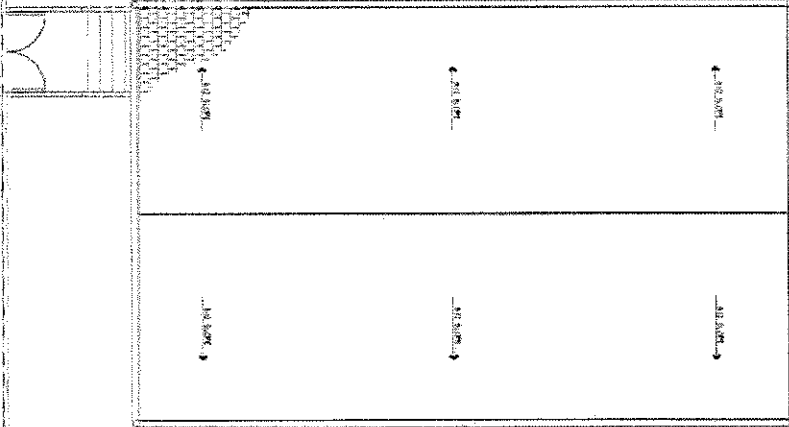
CONFERENCE ROOM
10' x 12'

RECEPTION/MAILING

WIRELESS NETWORK

ELEVATOR

LOBBY



PC

RWK

(PROPERTY LINE)

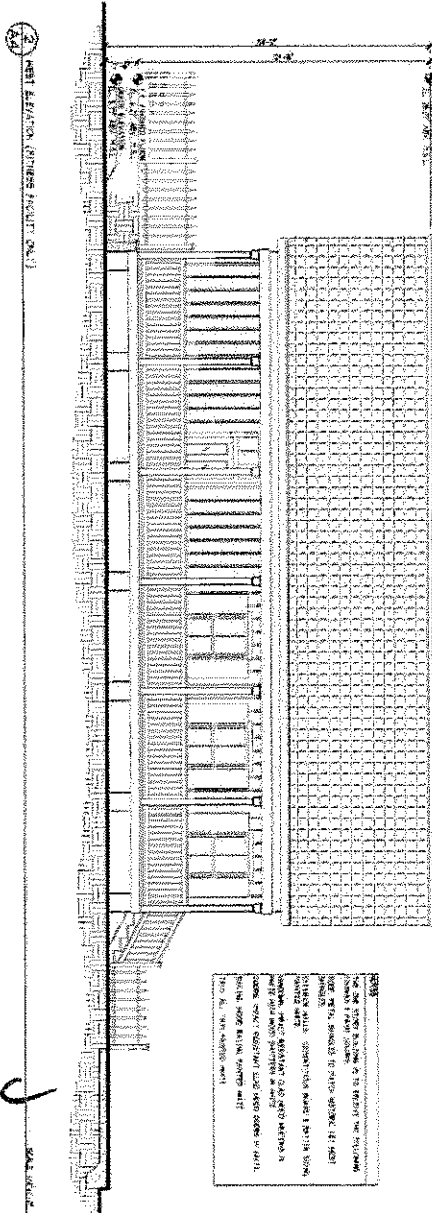
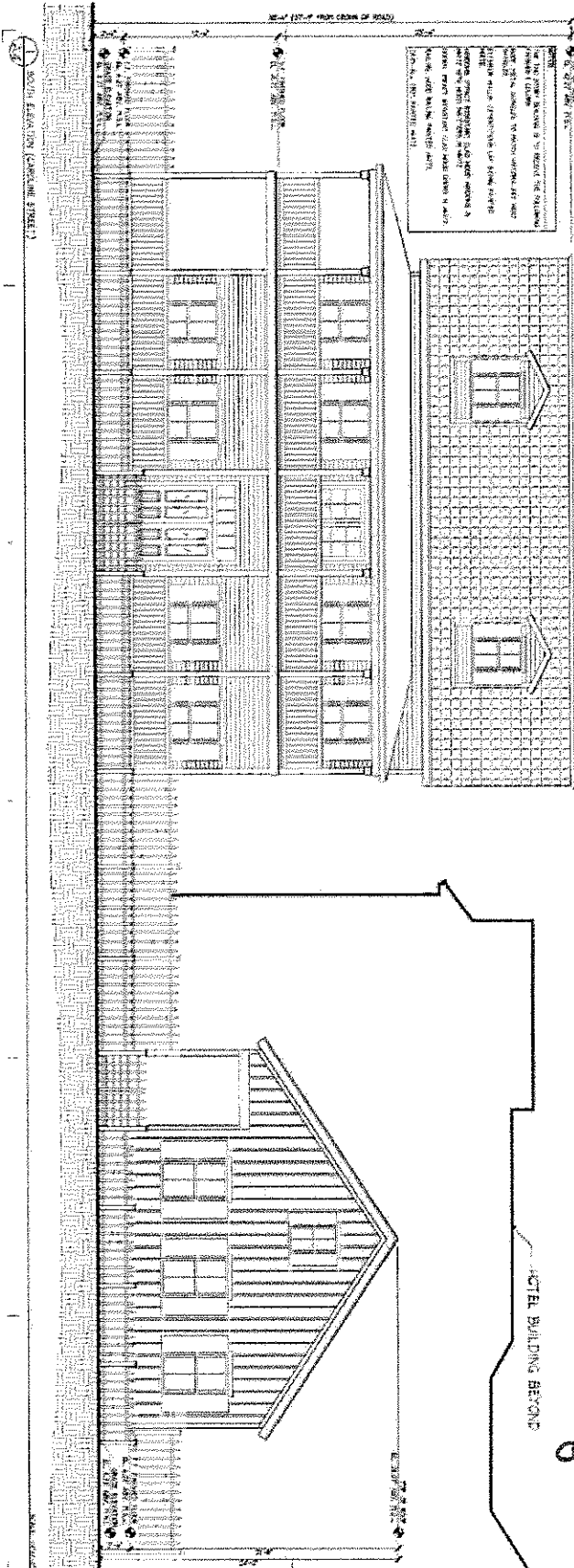
A3

Bender & Associates
ARCHITECTS

110 North Street
Key West, Florida 33040
Phone: 305-293-1100
Fax: 305-293-1101
www.benderarch.com

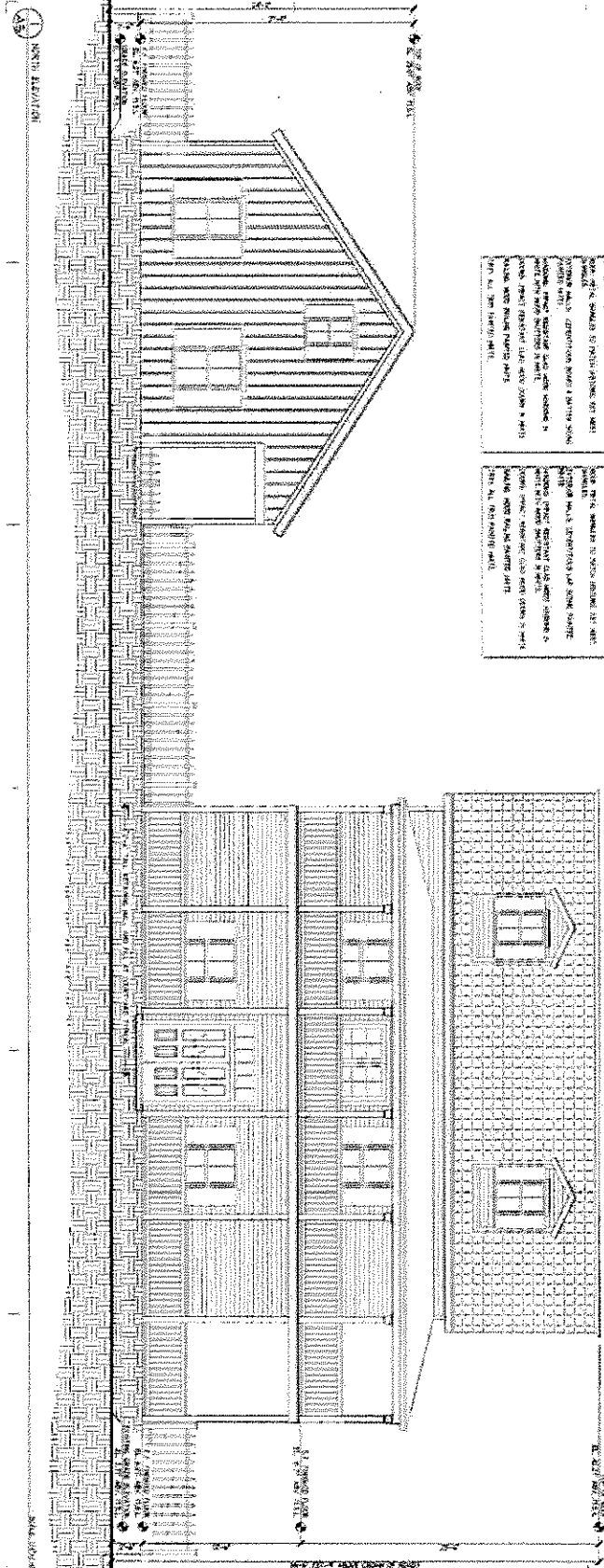


KEY WEST SEAPORT HOTEL
223 ELIZABETH STREET, KEY WEST, FLORIDA 33040
OWNER: HARBORSIDE, LLC
P.O. BOX 2038 KEY WEST, FLORIDA 33045



RWK

<p>A4</p>		<p>Bender & Associates ARCHITECTS</p> <p>1111 South Beach West Palm Beach, Florida 33409 Phone: (561) 833-1111 Fax: (561) 833-1112</p>		<p>KEY WEST SEAPORT HOTEL 223 ELIZABETH STREET, KEY WEST, FLORIDA 33040 OWNER: HARBORSIDE, LLC P.O. BOX 2038, KEY WEST, FLORIDA 33045</p>		
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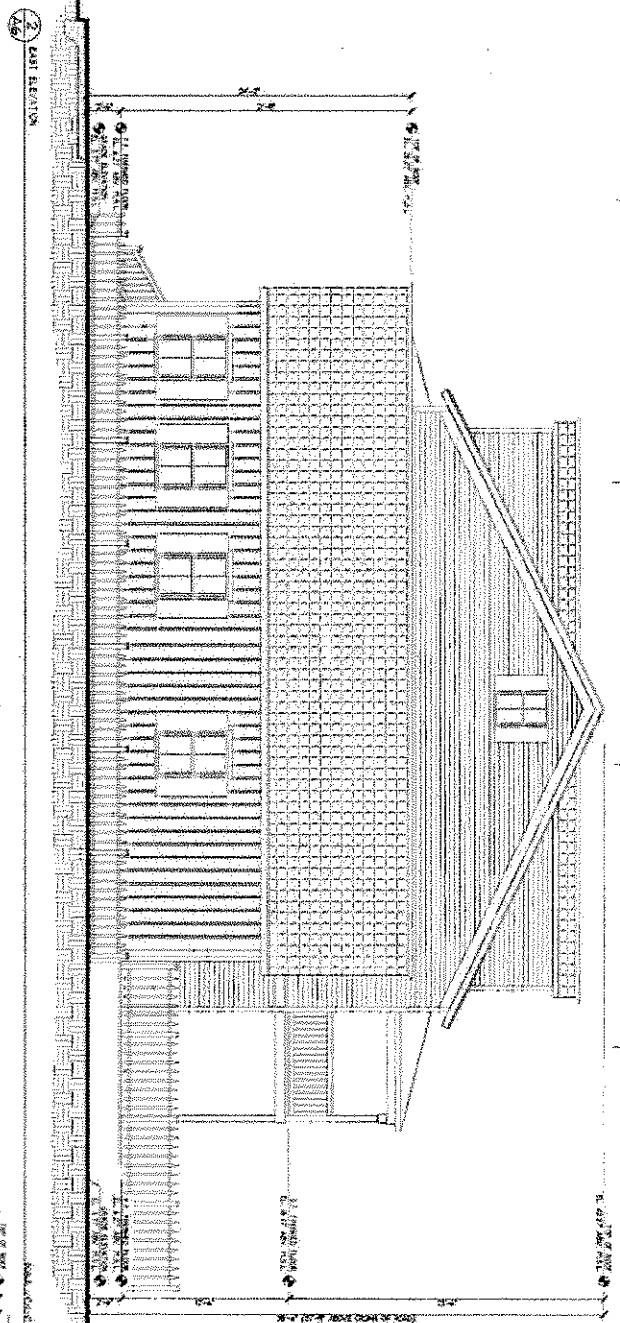
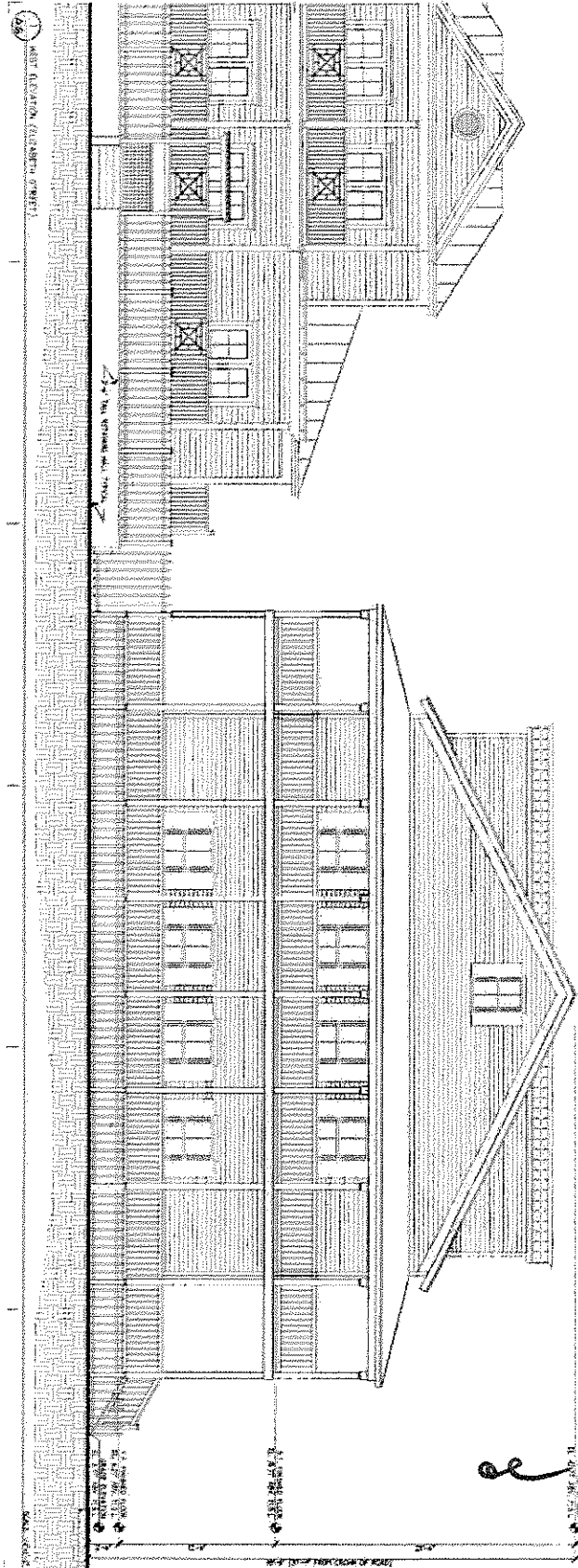
NOTES
 1. REFER TO SHEET 2 FOR SECTION AND TO SHEET 3 FOR FOUNDATION AND ROOF DETAILS.
 2. REFER TO SHEET 4 FOR INTERIOR FINISHES, SEE ALSO SHEET 5 FOR INTERIOR WALLS.
 3. REFER TO SHEET 6 FOR INTERIOR FLOORING AND CEILING FINISHES.
 4. REFER TO SHEET 7 FOR INTERIOR PARTITION WALLS AND DOORS.
 5. REFER TO SHEET 8 FOR INTERIOR STAIRS AND ELEVATORS.
 6. REFER TO SHEET 9 FOR INTERIOR MECHANICAL AND ELECTRICAL SYSTEMS.
 7. REFER TO SHEET 10 FOR INTERIOR PLUMBING AND SANITARY SYSTEMS.
 8. REFER TO SHEET 11 FOR INTERIOR PAINTS AND FINISHES.
 9. REFER TO SHEET 12 FOR INTERIOR LIGHTING FIXTURES.
 10. REFER TO SHEET 13 FOR INTERIOR SCHEDULES AND SPECIFICATIONS.

NOTES
 1. REFER TO SHEET 14 FOR SECTION AND TO SHEET 15 FOR FOUNDATION AND ROOF DETAILS.
 2. REFER TO SHEET 16 FOR INTERIOR FINISHES, SEE ALSO SHEET 17 FOR INTERIOR WALLS.
 3. REFER TO SHEET 18 FOR INTERIOR FLOORING AND CEILING FINISHES.
 4. REFER TO SHEET 19 FOR INTERIOR PARTITION WALLS AND DOORS.
 5. REFER TO SHEET 20 FOR INTERIOR STAIRS AND ELEVATORS.
 6. REFER TO SHEET 21 FOR INTERIOR MECHANICAL AND ELECTRICAL SYSTEMS.
 7. REFER TO SHEET 22 FOR INTERIOR PLUMBING AND SANITARY SYSTEMS.
 8. REFER TO SHEET 23 FOR INTERIOR PAINTS AND FINISHES.
 9. REFER TO SHEET 24 FOR INTERIOR LIGHTING FIXTURES.
 10. REFER TO SHEET 25 FOR INTERIOR SCHEDULES AND SPECIFICATIONS.

OC

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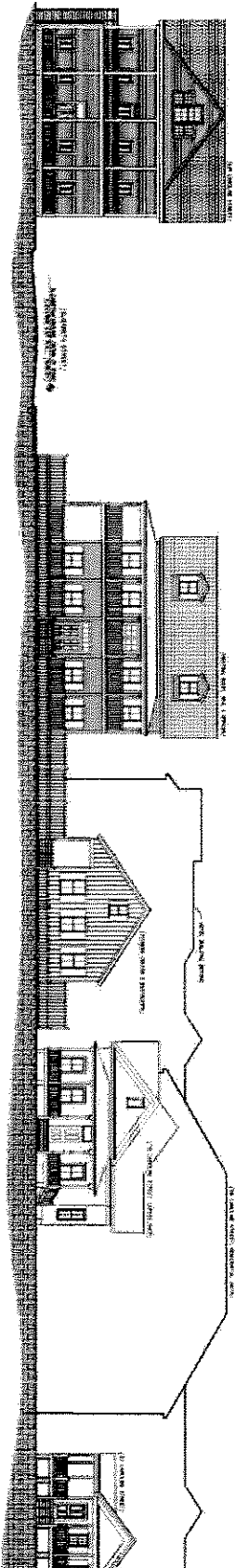
<p>A5</p>		<p>Bender & Associates ARCHITECTS <small>P.A.</small></p>		<p>KEY WEST SEAPORT HOTEL 223 ELIZABETH STREET, KEY WEST, FLORIDA 33040 OWNER: HARBORSIDE, LLC P.O. BOX 2039, KEY WEST, FLORIDA 33045</p>		
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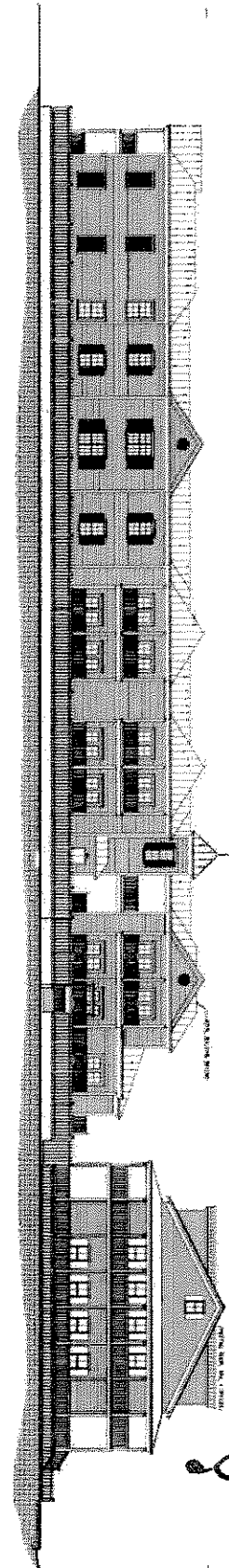
dkc

<p>A6</p>		<p>Bender & Associates ARCHITECTS P.C.</p> <p><small>REGISTERED PROFESSIONAL ARCHITECT STATE OF FLORIDA LICENSE NO. 12345 1111 BENDER STREET KEY WEST, FLORIDA 33040</small></p>		<p>KEY WEST SEAPORT HOTEL 223 ELIZABETH STREET, KEY WEST, FLORIDA 33040 OWNER: HARBORSIDE, LLC P.O. BOX 2030, KEY WEST, FLORIDA 33045</p>		
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17 CANAL STREET ELEVATION EXPANDED



18 ELIZABETH STREET ELEVATION EXPANDED



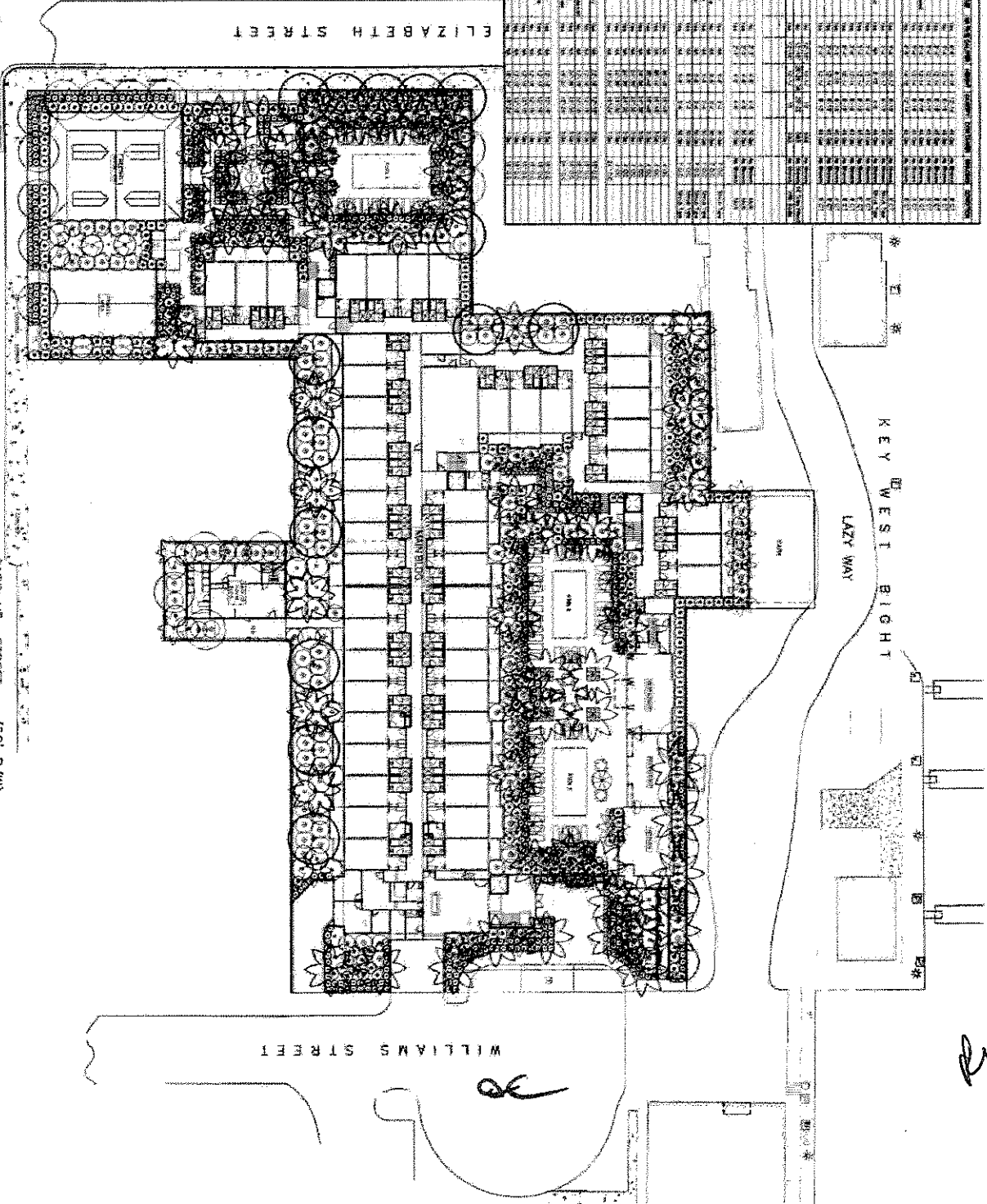
Handwritten initials 'oc' in black ink.

Handwritten signature 'KMK' in black ink.

A7		<p>Bender & Associates ARCHITECTS P.A.</p> <p><small>1111 South Duval Street Key West, Florida 33040 Telephone: 305-293-1111 Fax: 305-293-1112</small></p>		<p>KEY WEST SEAPORT HOTEL 223 ELIZABETH STREET, KEY WEST, FLORIDA 33040 OWNER: HARBORSIDE, LLC P.O. BOX 2038, KEY WEST, FLORIDA 33045</p>		
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NO.	SYMBOL	PLANT NAME	QUANTITY	REMARKS
1	○
2	○
3	○
4	○
5	○
6	○
7	○
8	○
9	○
10	○
11	○
12	○
13	○
14	○
15	○
16	○
17	○
18	○
19	○
20	○
21	○
22	○
23	○
24	○
25	○
26	○
27	○
28	○
29	○
30	○
31	○
32	○
33	○
34	○
35	○
36	○
37	○
38	○
39	○
40	○
41	○
42	○
43	○
44	○
45	○
46	○
47	○
48	○
49	○
50	○

PLANT LIST



LANDSCAPE PLAN

DATE: 11/20/11

CAROLINE STREET (50' R/W)

<p>Elizabeth Newland Landscape Architecture, LLC 10000 SW 15th St. Miami, FL 33185 Tel: 305-850-1234 Fax: 305-850-1235 www.elizabethnewland.com</p>	<p>KEY WEST SEAPORT HOTEL KEY WEST, FLORIDA</p>	<p>Project No. 11-001 Site No. 11-001 Date: 11/20/11</p>	<p>Scale: 1/8" = 1'-0"</p>
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