

# Staff Report

- 9 After-the-fact approval to allow installation of three additional joists on second floor to meet current Florida Building Code floor loading requirement. Maintain historic porch joists with new joists milled to replace historic members- **#730 Southard Street – Adele V. Stones (H11-01-1005)**

This staff report is for the review of a Certificate of Appropriateness that request an after the fact installation of three joists under the second floor front and side porches. According to the construction plans that were submitted and approved by the Building Department a building section depicts the introduction of “three new 3 x 4 deck joists between existing,” “3 x 4 deck joist, repair/ replace as necessary” and “new 5/4 x 4 T&G decking”. In the same section for the first floor porches notes indicate new PT joists and new decking. Before the restoration project started the house used to have just three joists under the second porches. On the HARC approved plans, although there were no sections submitted, the architect included the phrase “restore wood porch” on the Southard and William Streets Elevations. The architect also included in the elevation drawings a note stating “Contractor to remove and replace in kind rotted and/or deteriorated wood members as approved by architect and reviewed by HARC coordinator”. On June 26, 2012 the Commission reviewed the application and motioned to postpone the review and requested advice from the Chief Building Official since the application specified that the new three joists were for meeting current Florida Building Code floor loading requirement.

Mr. John Woodson met with attorney Ronald Ramsingh on June 27, 2012 and memorialized their conversation on a two page letter, copy of which staff is including on this packet. In the document Mr. Woodson agreed with engineer’s Garland Wilson statement, engineer of the project, that 3 replacement wood parallam joists would have likewise satisfied the Florida Building Code (FBC). During the last meeting engineer Wilson mentioned that there were different alternatives to deal with the structural capacity of the historic porch; new joists made of different materials or increasing depths of joists were mentioned as alternatives. During the discussion it was clear that due do the age of the historic porch wood elements the structural integrity was compromised.

After the last meeting and after reviewing Mr. Woodson letter staff maintains the same opinion for this application, that the visual quality of the historic porch has been compromised by the introduction of additional structural elements. Staff also understands that if there was a need in changing structural capacity in the second floor porch the architect or engineer should have considered the intent and purpose of the Florida Building Code for Existing Buildings regarding historic buildings;

*It is the intent of this chapter to provide means for occupant safety, property conservation and use of designated historic buildings*

*while protecting those elements, spaces and features that make these buildings historically or architecturally significant.*

The Florida Building Code for Existing Buildings adopts the Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Buildings.

Standard 6 can be reviewed for this application after Mr. Woodson and Engineer Wilson's statements;

Standard 6 (page 21 of the Guidelines and page B2 of the 2010 FBC):

**Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match old in design, color, texture and other visual qualities, and, where possible, materials.** *Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*

The following Guidelines for Rehabilitating Historic Buildings shall also be considered (2010 FBC Appendix B.34);

#### Health and Safety Requirements

##### Not Recommended

Altering, damaging, or destroying character-defining spaces, features, and finishes while making modifications to a building or site to comply with safety codes.

##### Recommended

Complying with health and safety codes, including seismic codes and barrier-free access requirements, **in such a manner that character-defining spaces, features, and finishes are preserved.**

##### Not Recommended

Reinforcing a historic building using measures that damage or destroys character-defining structural and other features.

##### Recommended

Providing seismic reinforcement to a historic building in a manner that avoids damaging the structural system and character-defining features.

According to the Glossary of the HARC guidelines, particularly page 74 restoration means *the act or process of actually recovering the form and details of a property and its setting as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work.* The 2010 Florida Building Code for Existing Buildings defines restoration as *the act or process of accurately depicting the form, features and character of a property as it appeared at a particular period of time by means of the removal of features, **and repair or replacement of damaged or altered features from the restoration period.*** (Page 11.1-11.2)

The 2010 Florida Building Code for Existing Buildings under section 1103.2 include six historic preservation objectives, being objective 6 as follows

*Repairs, alterations, restorations, changes of occupancy, additions and relocations shall be guided by the recommended approaches in rehabilitation set forth in the Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Structures. (Appendix B)*

The Florida Building Code for Existing Buildings also includes under Section 1105 Compliance (page 11.2) the following;

*1105.1 Strict compliance. Historic structures or portions of such structures that do not strictly comply with this code shall be considered to be in compliance if it can be shown to the satisfaction of the building code official that equivalent protection has been provided or that no hazard will be created or continued through noncompliance.*

The house located at #730 Southard Street is a magnificent example of a two and a half story frame structure. The restoration of the house was approved by the Commission.

Staff understands that the following guidelines can be reviewed for this application:

Entrances, porches and doors (pages 32-33):

- (4) *A completely deteriorated porch may be rebuilt on a board-for-board basis based on physical or historic documents.*
- (7) *Porch reconstruction on contributing buildings must duplicate the original entryway and porch and be compatible in design, size, scale, material and color with the historical character of the building.*

Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Structures (pages 16-17);

Standard 2

*The historic character of a property shall be retained and preserved. The removal of historic materials or **alteration of features and spaces that characterize a property shall be avoided.***

Standard 5

***Distinctive features, finishes and construction techniques or samples of craftsmanship that characterize a historic property shall be retained and preserved.***

A restoration process does not require keeping non-functional structural elements; rather it is a compromise of preserving what is in place and replacing, what needs to be replaced using alternatives that will not jeopardize character defining elements or spaces that make the historic architecture unique. It has been said that the original joists were too old to make their job. Staff understands that the decision of including three joists without first analyzing possible alternatives and bring those alternatives for this Commission's review is the main issue here. If there was a need of removing all decking that means that the structural system was completely exposed and that was the best opportunity to make sensible structural replacements without changing a distinctive feature and construction technique the house used to have.

It is staff's opinion that the after the fact request to install 3 joists between existing ones is inconsistent with the Florida Building Code for Existing Buildings, the Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Buildings and the Guidelines. According to Sec. 102-154 Compliance with certain federal standards of the Land Development Regulation specifically states;

*The historic architectural review commission shall not approve any proposed work which would be in conflict with the Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Buildings.*



## THE CITY OF KEY WEST

POST OFFICE BOX 1409  
KEY WEST, FL 33041-1409  
WWW.KEYWESTCITY.COM

June 27, 2012

John Woodson, Chief Building Official  
The City of Key West  
3140 Flagler Ave.  
Key West, FL 33040

RE: 730 Southard St. 2<sup>nd</sup> story porch restoration

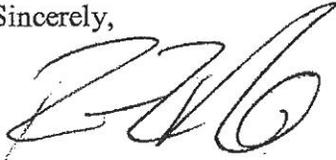
Dear John:

Thank you for meeting with me this morning. This letter serves to memorialize our conversation for the benefit of the HARC members regarding the manner in which the second story porches were restored at 730 Southard. We discussed the fact that the plans that were submitted to HARC, represented that the historic porches were to be restored. We discussed the architectural definition of the term "building restoration." We discussed the fact that the new scheme for the porches involves *the installation of 3 new 3"x4" deck joists between the existing and repair and replace as necessary* which was submitted to the building department for approval, but was not presented to HARC. We also discussed the fact that had a proposal been submitted to the building department that involved 3 wood parallam replacements deck joists of the same historic dimensions, that proposal would have likewise been approved. Further, you agreed with the opinion of the project engineer, Garland Wilson that was presented at the June 26 HARC meeting, that 3 replacement wood parallam joists would have likewise satisfied the Florida Building Code.

Finally, you indicated that your position on this issue is solely based on the Ch. 11 of the Florida Building Code for Existing Historic Structures and not based on aesthetic values or

whether the joists are unique characteristics of this contributing home; which is a determination for HARC to make.

Sincerely,



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Ron Ramsingh  
Assistant City Attorney  
The City of Key West

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I agree with the contents of the foregoing letter.

John F. Woodson 6-27-12  
John Woodson  
Chief Building Official  
The City of Key West

# Application



**CITY OF KEY WEST  
BUILDING DEPARTMENT  
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # **H12-01-1005**

OWNER'S NAME: Vincent Barletta      DATE: 06/14/12

OWNER'S ADDRESS: 730 Southard Street, Key West      PHONE #:

APPLICANT'S NAME: Adele V. Stones, Stones & Cardenas      PHONE #: (305) 294-0252

APPLICANT'S ADDRESS: 221 Simonton Street, Key West, FL 33040

ADDRESS OF CONSTRUCTION: 730 Southard Street, Key West, FL      # OF UNITS: 1

**THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT**

**DETAILED DESCRIPTION OF WORK:** After-the-fact approval to allow installation of three (3) additional joists on second floor porch to meet current Florida Building Code floor loading requirement. Maintain existing historic porch joists with new joists milled to replicate historic members.

*Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083*

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This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 6/14/12

Applicant's Signature: Adele V. Stone

**Required Submittals**

on file	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
	TREE REMOVAL PERMIT (if applicable)
✓	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
n/a	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
on file	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

**Staff Use Only**

Date: \_\_\_\_\_

Staff Approval: \_\_\_\_\_

Fee Due:\$ \_\_\_\_\_

HISTORIC ARCHITECTURAL REVIEW APPLICATION

# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

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Approved

Denied

Deferred

Postponed pending advice. Chief Archival Officer S.C.G. \_\_\_\_\_

Reason for Deferral or Denial:

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HARC Comments:

Contributing building - built ca. 1910  
Guidelines for porches (32-33)  
Secretary of the Interior's standards (pages 16-17)

Limit of Work Approved, Conditions of Approval and/or Suggested  
Changes:

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Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Historic Architectural  
Review Commission



City Of Key West  
Planning Department  
3140 Flagler Avenue  
Key West, Florida 33040

July 3, 2012

Ms. Adele V. Stones  
Stones and Cardenas  
#221 Simonton Street  
Key West, Florida 33040

**RE: AFTER-THE-FACT APPROVAL TO ALLOW INSTALLATION OF  
THREE ADDITIONAL JOISTS ON SECOND FLOOR TO MEET  
CURRENT FLORIDA BUILDING CODE FLOOR LOADING  
REQUIREMENT. MAINTAIN HISTORIC PORCH JOISTS WITH NEW  
JOISTS MILLED TO REPLACE HISTORIC MEMBERS.  
FOR: #730 SOUTHARD STREET- APPLICATION NO. H12-01-1005  
KEY WEST HISTORIC DISTRICT**

Dear Attorney Stones:

This letter is to notify you that the Key West Historic Architectural Review Commission **postponed** the above mentioned project on Tuesday June 26, 2012. The Commissioners voted to postpone the item since they wanted advice from the Building Chief Official.

I will be including this item on the next agenda for July 10, 2012. Should you have any questions, please do not hesitate to contact me at your convenience.

On behalf of the Historic Architectural Review Commission of our City, thank you for your interest in the preservation of Key West historic heritage.

Sincerely:

  
Enid Torregrosa, MSHP  
Historic Preservation Planner  
City Of Key West  
3140 Flagler Avenue  
Key West, Florida 33040

305.809.3973

[etorregr@keywestcity.com](mailto:etorregr@keywestcity.com)



Enid Torregrosa <etorregr@keywestcity.com>

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**730 Southard Street**

3 messages

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**ginny@keyslaw.net** <ginny@keyslaw.net>

Thu, Jul 5, 2012 at 8:42 AM

To: Enid Torregrosa <etorregr@keywestcity.com>

Cc: Ronald Ramsingh <r Ramsing@keywestcity.com>, tepopepa@aol.com

Enid:

Tom Pope will be presenting the Southard Street applications on July 10th as I will be out of town for that meeting.

Please accept this as his authorization to present my applications.

Thank you.

GINNY STONES

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**Enid Torregrosa** <etorregr@keywestcity.com>

Thu, Jul 5, 2012 at 9:29 AM

To: ginny@keyslaw.net

Cc: Ronald Ramsingh <r Ramsing@keywestcity.com>, tepopepa@aol.com

Dear Ginny:

Thanks for the email. I will include it on the packet as your authorization letter.

Hope you have a safe and wonderful trip!

*Enid*

[Quoted text hidden]

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**ginny@keyslaw.net** <ginny@keyslaw.net>

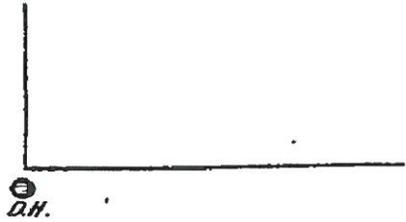
Thu, Jul 5, 2012 at 9:29 AM

To: Enid Torregrosa <etorregr@keywestcity.com>

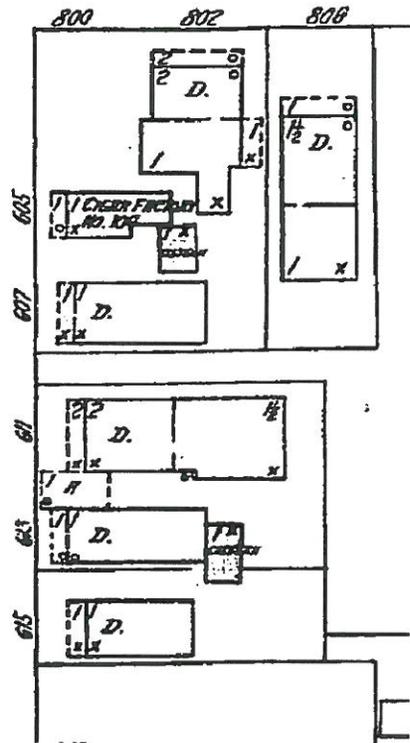
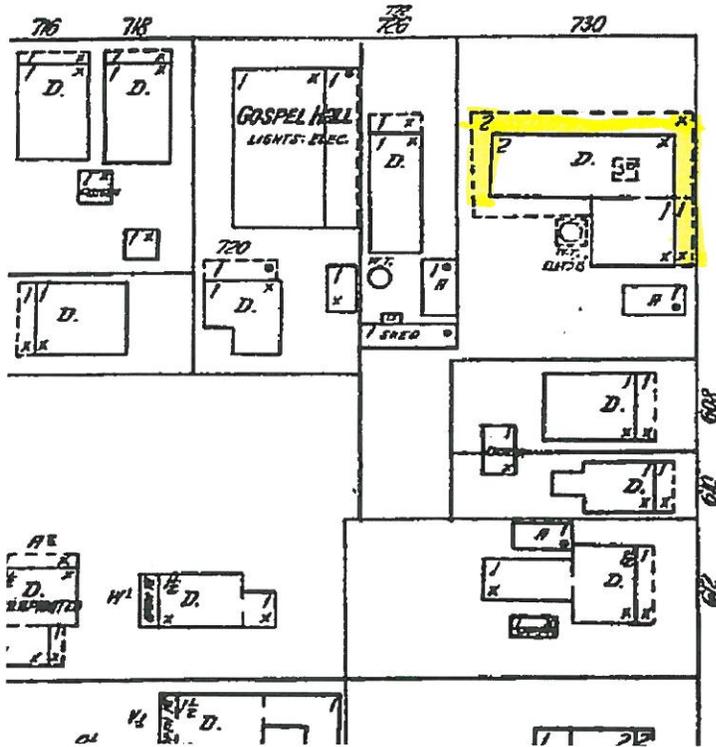
I am out of the office from July 4, 2012, returning July 16, 2012. I will not be monitoring e-mail or telephone voicemail during this time. Additionally, our offices are closed July 4, 2012 through July 8, 2012, reopening at 9:00 a.m. on July 9, 2012.

If you need immediate assistance the week of July 9 - 13, 2012, please do not hesitate to contact my legal assistant, Cindy Sawyer, via e-mail to cindy@keyslaw.net or by calling (305) 294-0252.

# Sanborn Maps



# SOUTHARD

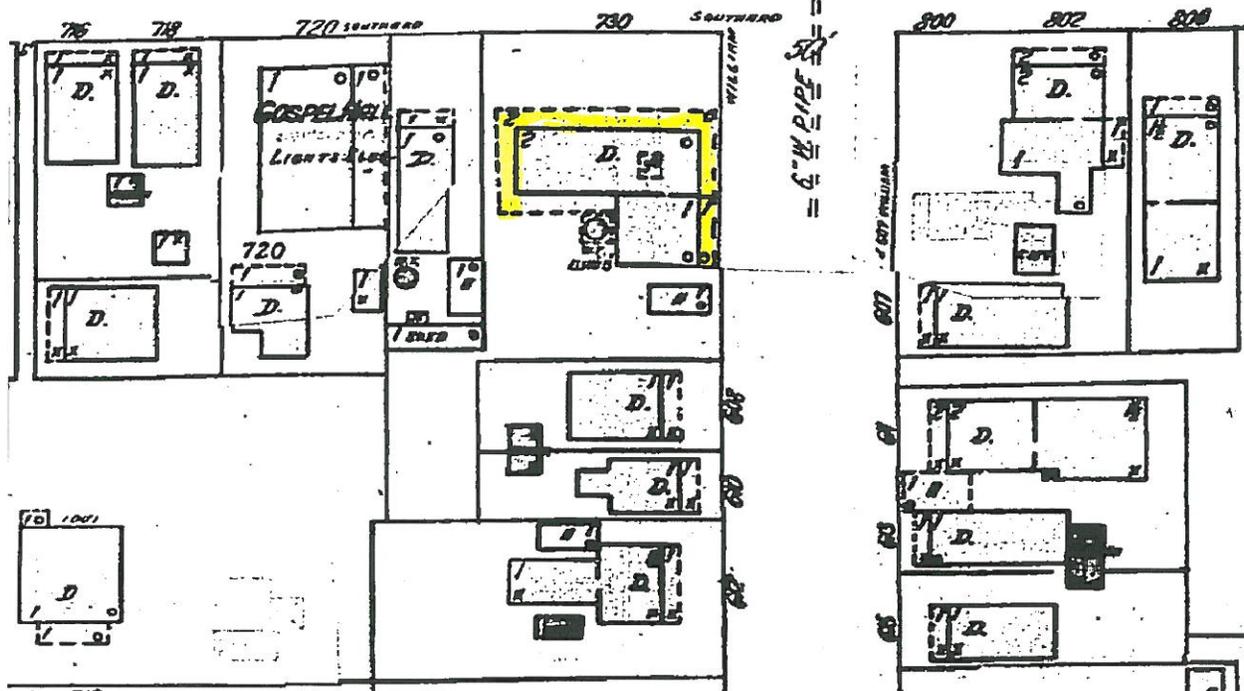


#730 Southard Street Sanborn map 1926

10  
LOVE LANE

SOUTHARD

D.H.



#730 Southard Street Sanborn map 1948



# **Project Photos**



The Heritage House Collection, donated by the Campbell, Poirier and Pound families. The house at 730 Southard Street in the 1930s. From a collection of photographs taken or collected during the 1930s by the WPA workers in Key West. Monroe County Library



Photo taken by the Property Appraiser's office c1965; 730 Southard St.; Monroe County Library



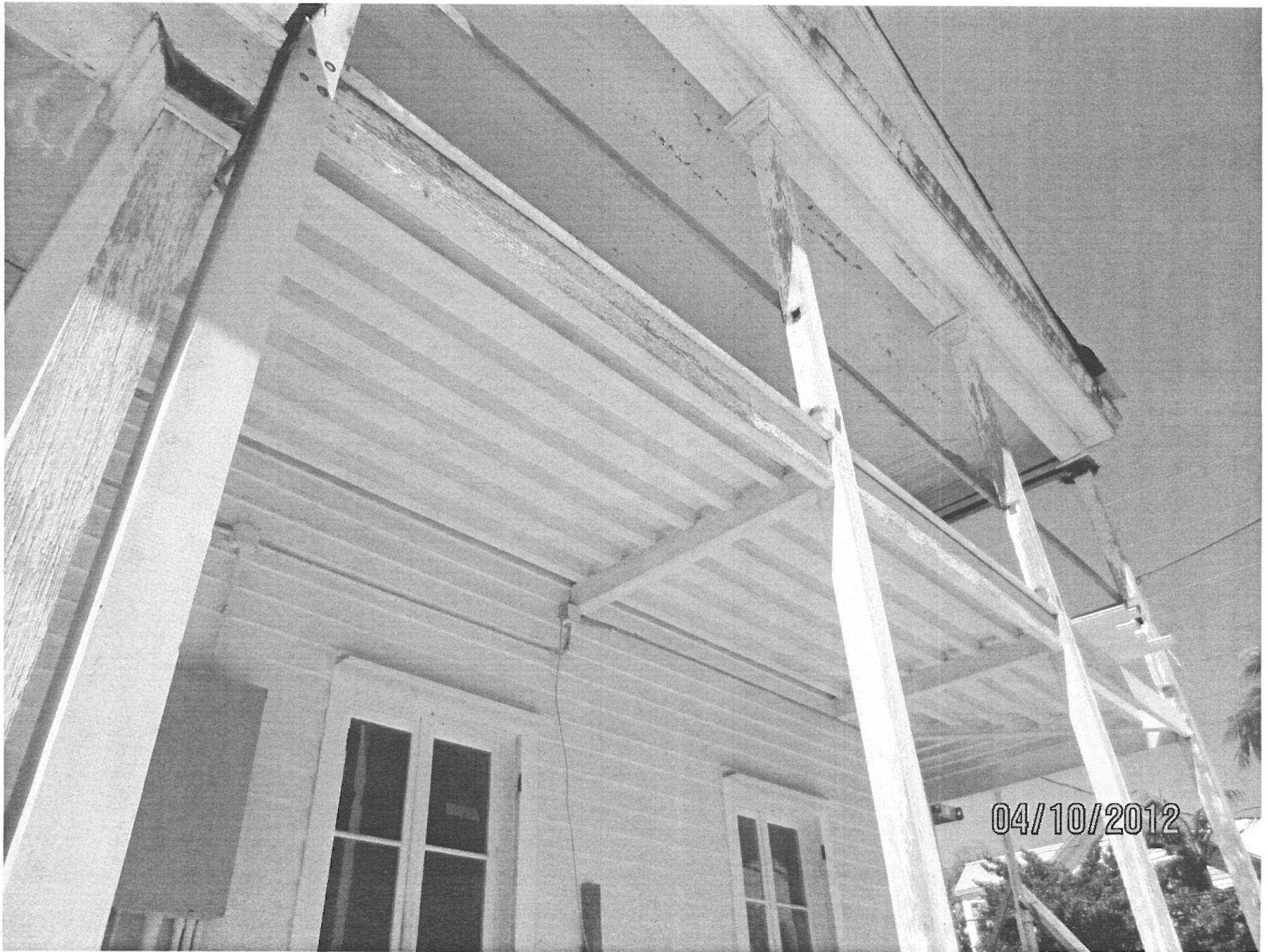
The house at 730 Southard Street circa 1970. From the Dale McDonald Collection. Monroe County Library



The front of the Albury house at 730 Southard taken 1971. U.S. Navy photo. Monroe County Library





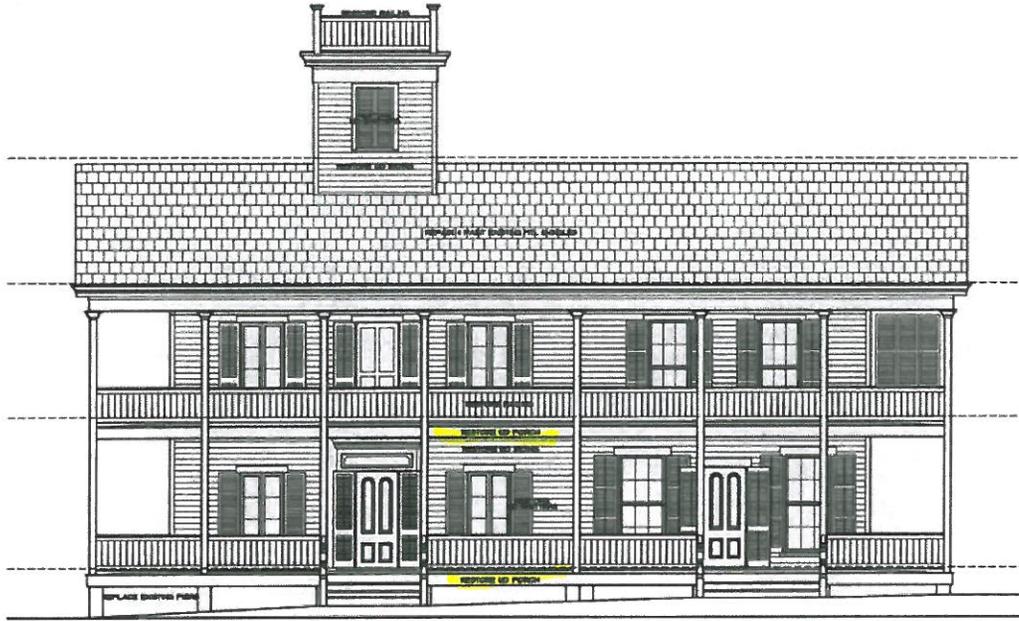


04/10/2012





# **Original approved Elevations**



**Southard St Elevation**

1/2" = 1' - 0"

NOTE: CONTRACTOR TO REMOVE AND REPLACE IN KIND ROTTED AND/OR DETERIORATED WOOD MEMBERS AS APPROVED BY ARCHITECT AND REVIEWED BY HARC COORDINATOR.



**William St Elevation**

1/2" = 1' - 0"



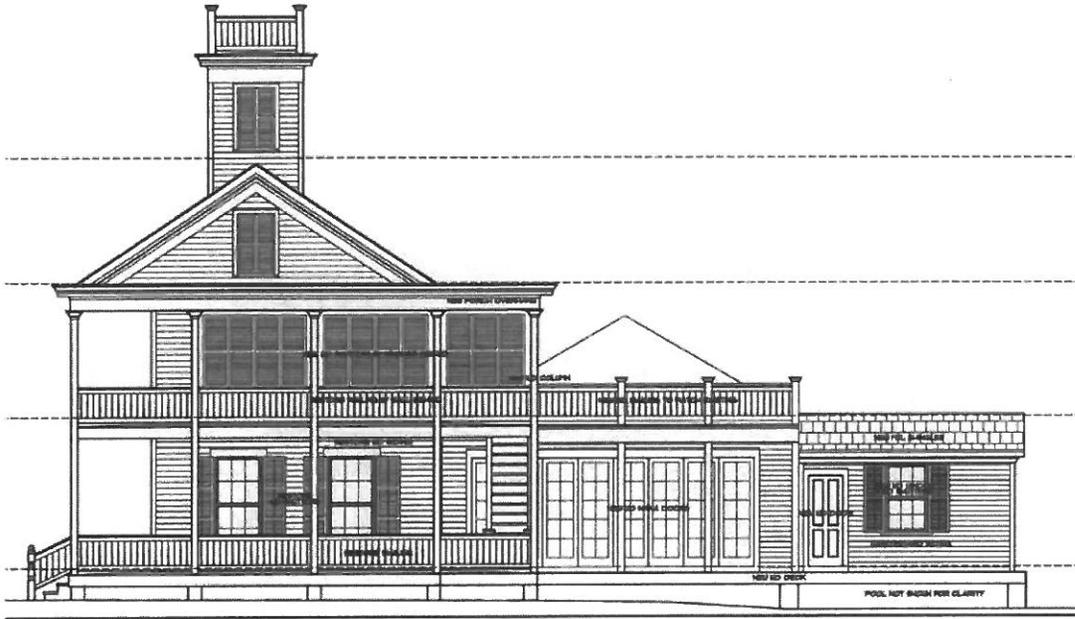
**Barletta Residence**  
730 Southard Street Key West, FL

**THOMAS E. POPE, P.A. ARCHITECT**  
7009 Shrimp Road #6, Key West, FL  
(305) 206-3611 TEPopePA@aol.com

date: 3/28/11  
revision:

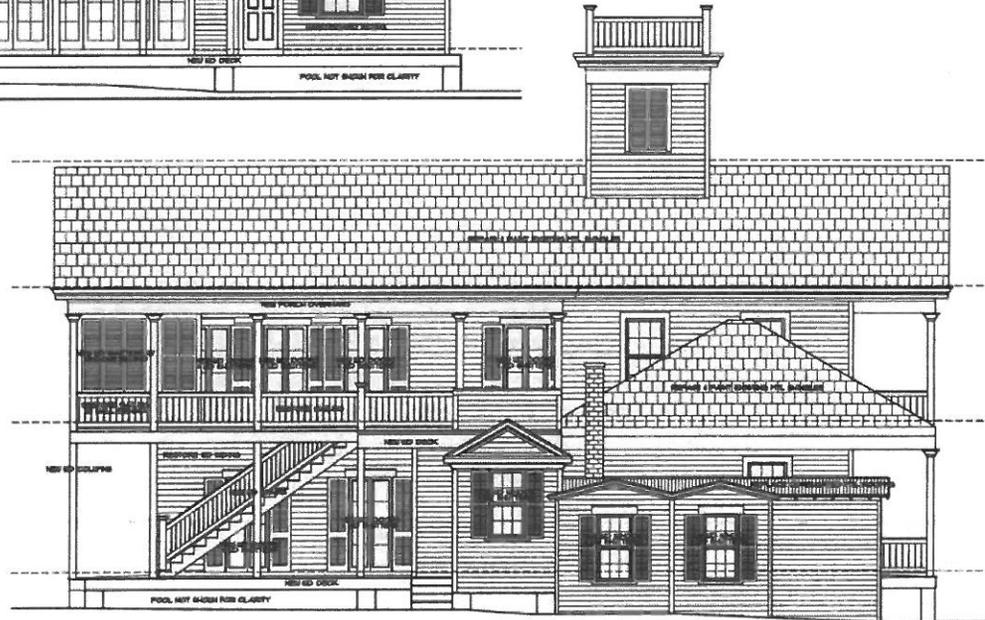
HARC  
sheet:

**A3**



**Southard St Side Elevation**

VP - 1 - 0'



**William St Side Elevation**

VP - 1 - 0'



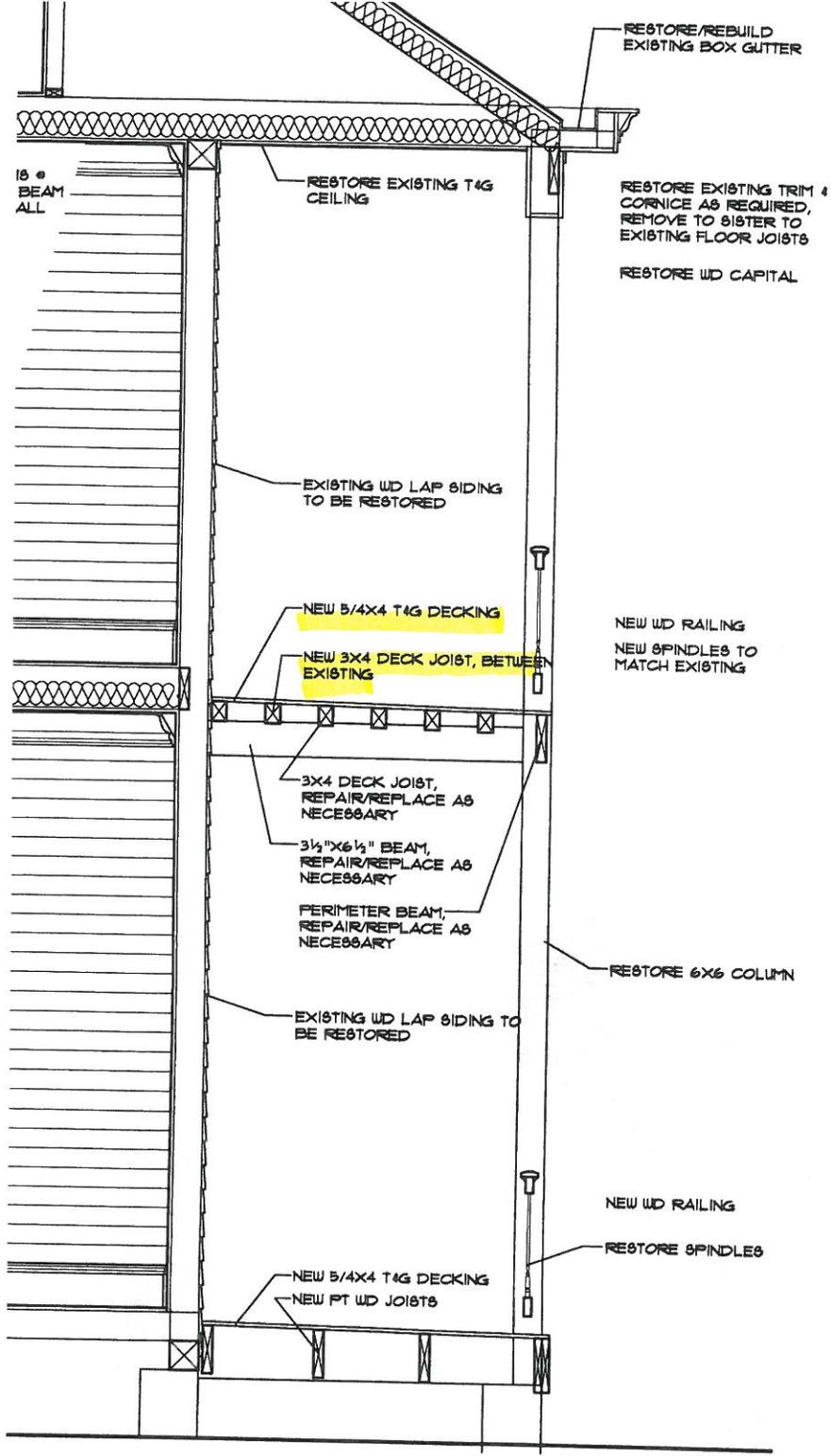
**Barletta Residence**  
730 Southard Street Key West, FL

**THOMAS E. POPE, P.A. ARCHITECT**  
7006 Shrimp Road #4, Key West, FL  
(305) 204-3181 TEPopePA@aol.com

date: 5/28/11  
revision:

LARC  
sheet:  
**A4**

**Sections in the Approved  
Building Department Plans**



Barletta Rd  
730 Southard Street

THOMAS E. POPE, P.A. ARCHITECT  
7009 Shrimp Road #4, Key West FL  
(305) 296 3611  
TEPopePA@aol.com

Building Section

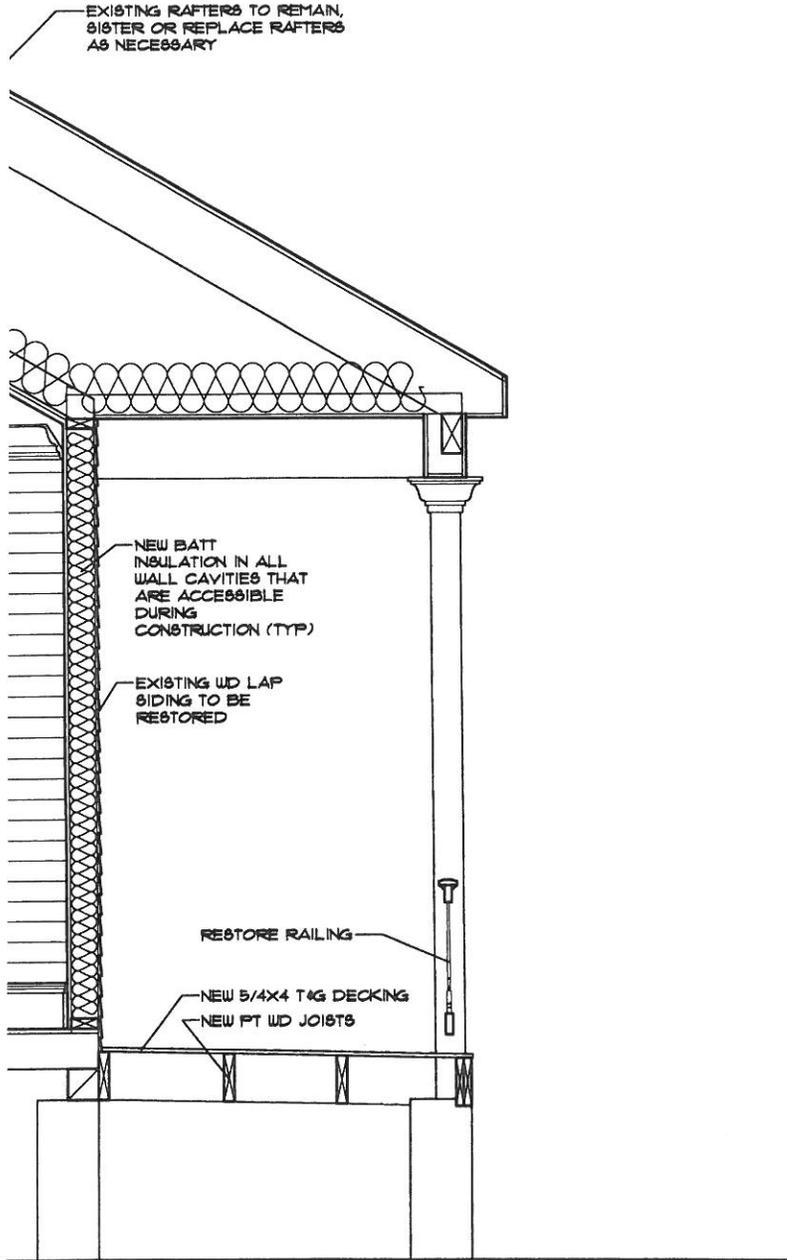
1  
A6.3

1/4" = 1'-0"

date: 8/5/11  
revision:

sheet:  
A6.3

TP



1  
A6.1

Barletta Residence  
 730 Southard Street  
 Key West

THOMAS E. POPE, P.A. ARCHITECT  
 7009 Shrimp Road #4, Key West FL  
 (305) 296 3611  
 TEPOPEA@aol.com

date:  
 8/5/11

**2010 Florida Building Code  
for Existing Buildings  
Chapter 11  
Historic Buildings**

## CHAPTER 11

# HISTORIC BUILDINGS

### SECTION 1101 GENERAL

**1101.1 Intent and purpose.** It is the intent of this chapter to provide means for occupant safety, property conservation and use of designated historic buildings while protecting those elements, spaces and features that make these buildings historically or architecturally significant.

**1101.2 Scope.** The provisions of this code acknowledge the need to preserve the character of historic buildings and shall apply to the repair, alteration, restoration, change of occupancy, addition and relocation of historic buildings.

**1101.3 Flood hazard areas.** In flood hazard areas, if all proposed work, including repairs, work required because of a change of occupancy, and alterations, constitutes substantial improvement, then the building shall comply with Section 1612 of the *Florida Building Code, Building*.

**Exception:** If the program that designated the building as historic determines that it will continue to be an historic building after the proposed work is completed, then the proposed work is not considered to be substantial improvement. For the purposes of this exception, an historic building is:

1. Individually listed in the National Register of Historic Places; or
2. A contributing resource within a National Register of Historic Places listed district; or
3. Designated as historic property under an official municipal, county, special district or state designation, law, ordinance or resolution either individually or as a contributing property in a district, provided the local program making the designation is approved by the Department of the Interior (the Florida state historic preservation officer maintains a list of approved local programs); or
4. Determined eligible by the Florida State Historic Preservation Officer for listing in the National Register of Historic Places, either individually or as a contributing property in a district.

**1101.4 Accessibility requirements.** For accessibility requirements, see the *Florida Building Code, Accessibility*.

### SECTION 1102 DEFINITION

**ADAPTIVE REUSE.** The conversion of functional change of a building from the purpose or use for which it was originally constructed or designed.

**ADAPTIVE USE.** A use for a building other than that for which it was originally designed or intended.

**HISTORIC BUILDING.** For the purposes of this code and the referenced documents, an historic building is defined as a building or structure that is:

1. Individually listed in the National Register of Historic Places; or
2. A contributing property in a National Register of Historic Places listed district; or
3. Designated as historic property under an official municipal, county, special district or state designation, law, ordinance or resolution either individually or as a contributing property in a district; or
4. Determined eligible by the Florida State Historic Preservation Officer for listing in the National Register of Historic Places, either individually or as a contributing property in a district.

**HISTORIC CHARACTER.** The essential quality of an historic building or space that provides its significance. The character might be determined by the historic background, including association with a significant event or person, the architecture of design, or the contents or elements and finishes of the building or space.

**HISTORIC FABRIC.** Original or added building or construction materials, features and finishes that existed during the period that is deemed to be most architecturally or historically significant or both.

**HISTORIC PRESERVATION.** A generic term that encompasses all aspects of the professional and public concern related to the maintenance of an historic structure, site or element in its current condition, as originally constructed, or with the additions and alterations determined to have acquired significance over time.

**HISTORIC SITE.** A place, often with associated structures, having historic significance.

**HISTORIC STRUCTURE.** A building, bridge, lighthouse, monument, pier, vessel or other construction that is designated or that is deemed eligible for such designation by a local, regional or national jurisdiction as having historical, architectural or cultural significance.

**PRESERVATION.** The act or process of applying measures necessary to sustain the existing form, integrity and materials of an historic building or structure.

**REHABILITATION, HISTORIC BUILDING.** The act or process of making possible a compatible use of a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural or architectural values.

**RESTORATION.** The act or process of accurately depicting the form, features and character of a property as it appeared at a particular period of time by means of the removal of features,

and repair or replacement of damaged or altered features from the restoration period.

**SECTION 1103  
STANDARDS AND GUIDELINES FOR  
REHABILITATING HISTORIC BUILDINGS**

**1103.1 Historic preservation goal.** The historic preservation goal of this code shall be to minimize damage to and loss of historic structures, their unique characteristics and their contents as follows:

1. Maintain and preserve original space configurations of historic buildings.
2. Minimize alteration, destruction or loss of historic fabric or design.

**1103.2 Historic preservation objectives.**

1. Preservation of the original qualities or character of a building, structure, site or environment shall be encouraged.
2. Removal or alteration of any historic material or distinctive architectural features shall be minimized.
3. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure or site shall be treated with sensitivity.
4. A compatible use for a property that requires minimal alteration of the building, structure or site and its environment shall be encouraged.
5. New additions or alterations shall be designed and constructed in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired to the greatest degree possible.
6. Repairs, alterations, restorations, changes of occupancy, additions and relocations shall be guided by the recommended approaches in rehabilitation set forth in the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (Appendix B).

**SECTION 1104  
EQUIVALENCY**

**1104.1 Equivalency.** Nothing in this code shall be intended to prevent the use of systems, methods or devices of equivalent or superior quality, strength, fire resistance or effectiveness, provided that the following conditions are met:

1. Technical documentation is submitted to the building official to document equivalency.
2. The system, method or device is acceptable to the building official.

**SECTION 1105  
COMPLIANCE**

**1105.1 Strict compliance.** Historic structures or portions of such structures that do not strictly comply with this code shall be considered to be in compliance if it can be shown to the satisfaction of the building code official that equivalent protection has been provided or that no hazard will be created or continued through noncompliance.

**1105.2 Compliance option.** Life safety and property conservation shall be provided in accordance with one of the following options:

1. Prescriptive-based provisions of this code.
2. Compliance alternative-based provisions of this code.
3. Performance-based provisions of NFPA 914, *Code for Fire Protection of Historic Structures*, Chapter 6, along with a structural evaluation as specified in Section 1301.4.1 of this code.

**1105.3 Conditions specific to Compliance Options 2 and 3.**

1. **Architect or engineer required.** The evaluation of historic structures utilizing Compliance Options 2 or 3 shall be completed by a Florida-registered architect or engineer and submitted to the building code official for review.
2. **Documentation.** Historic buildings that are determined to be code compliant through the use of Compliance Option 2 or 3 shall have copies of the architect or engineer's report kept on site and available for review by the building official.
3. **Change of report assumptions.** Any remodeling, modification, renovation, change of use or change in the established assumptions of the report shall require a reevaluation and reapproval by the building code official.
4. **Construction safeguards.** Construction safeguards consistent with Chapter 13 and NFPA 914, *Code for Fire Protection of Historic Structures*, shall be maintained during periods of repair, alteration, change of occupancy, addition and relocation of historic buildings.
5. **Maintenance.** In addition to the requirements of Section 1004, historic buildings shall be maintained in accordance with Chapters 1, 2, 8, 9, 10 and 11 of NFPA 914, *Code for Fire Protection of Historic Structures*.

**SECTION 1106  
INVESTIGATION AND EVALUATION**

**1106.1 Investigation and evaluation report.** An historic building undergoing alteration or change of occupancy shall be investigated and evaluated. If it is intended that the building meet the requirements of this chapter, a written report shall be prepared and filed with the building official by a Florida-registered architect or engineer. Such report shall be in accordance with the provisions of Sections 4.3.1.2 through 4.3.2 of NFPA 914, *Code for Fire Protection of Historic Structures* and shall identify each required safety feature that is in compliance with this chapter and where compliance with this or other chapters

would be damaging to the contributing historic features. In addition, the report shall describe each feature that is not in compliance and demonstrate how the intent of the provisions of this or other chapters are complied with in providing an equivalent level of safety.

## SECTION 1107 HISTORIC CUBAN TILE

**1107.1** Historic Cuban tile is a material with distinct architectural features and unity and with examples of skilled craftsmanship. In order to preserve its use and in accordance with Section 1003.2, Historic preservation objectives, its use shall be preserved for both existing and new construction with the following requirements.

**1107.2** Handmade or hand process made barrel (“C”-shaped) natural clay tile, often variegated in color, either manufactured in the Republic of Cuba prior to the imposition of the U.S. Embargo, or, in the case of antique tile, manufactured in 18th century Spain, salvaged from buildings in Cuba and imported to the United States during the 1920s and 1930s.

1. **Identification.** Final responsibility for the identification of historic Cuban tile shall rest with the building official, subject to the appeals process established by the authority having jurisdiction. Historic Cuban tile is generally identified in the following manner:

1.1 Tile bearing an embossed identification mark usually located on the convex side at the wide taper end of the tile, the most common of which are: “C.E. SAÑUDO MADE IN CUBA”; “JAIME MADE IN CUBA”; “FLORIDO”; “st ANA R.S.”; “St. FELIPE”; “MIA”; “CPS”; “C”; “D”; “DD”; “DDD”; “M”; [script] “M”; [script] “JS”; “S”; “SS”; “TZ”; “Z”; “ZZ”; “\*”; a nonalphabetical symbol (such as the “delta” figure created by three finger-tip impressions in a triangular position), or a distinctive physical characteristic (such as a burlap material impression over the convex surface of the tile or finger-made impression band(s) located across the end lap of the convex surface); and

1.2 Tile not bearing an embossed identification mark, a nonalphabetical symbol or a distinctive physical characteristic(s) listed in Item 1 above but determined by official action of the legally constituted historic preservation board or historic preservation officer of the jurisdiction to be antique Cuban tile of Spanish origin or tile manufactured in preembargo Cuba.

2. **Reapplication of historic Cuban tile-method.** When a structure which bore historic Cuban tile when originally constructed is reroofed, reapplication of historic Cuban tile, rather than replacement with new contemporary tile, is preferred and shall be encouraged by the building official. When historic Cuban tile is reapplied under the circumstances described above, except as otherwise provided herein, all of the requirements of this code, especially Chapter 15 of the *Florida Building Code, Building* relating to roof covering and application, shall

apply. In addition, the following reapplication methods shall be observed:

2.1 **Attachment.** Historic Cuban tile shall be mortar set or adhesive set to the deck in the same manner as other product approved handmade clay barrel tile, in accordance with RAS 120.

2.2 **Use with contemporary tile.** Where, during removal, the salvage ratio of the historic Cuban tile is less than 100 percent, it is preferred that the replacement cap tile also be historic Cuban tile. Where this is not practical or possible, during reapplication, the salvaged historic Cuban tile shall be used only as cap tile, and not as pan tile. The historic Cuban tile should always be reapplied to distinctive architectural elements such as walls, parapets and chimneys. Where contemporary barrel tile is used to supplement salvaged historic Cuban tile, the contemporary barrel tile shall be Product Approved and otherwise comply with all the requirements of this code. It is preferred that the contemporary barrel tile, when used as cap tile, be handmade natural clay tile, but, in any event, it shall be the same shape, color and texture as the existing historic Cuban tile. Because the salvage ratio of pan tile is low and because pan tile is much less visible, reapplication of historic Cuban tile as a pan tile is discouraged. Rather, it is preferred that pan tile be contemporary barrel tile of either handmade clay, vitrified clay or cement.

2.3 **Mixing dissimilar tiles.** Mixing dissimilar tile styles or shapes, such as an “S”-shaped tile with the “C”-shaped historic Cuban barrel tile, even on separate roofing surfaces of the same structure, shall be avoided. In no case shall dissimilar tile styles or shapes be permitted on the same roofing surface.

2.4 **Double caps and/or pans on the eave roof line.** For reinforcement during routine maintenance and for aesthetic purposes, double caps, double pans or both shall be encouraged on the eave roof line, especially where extant or historical evidence of the original installation indicates the use of this historic technique.

2.5 **Inspection and testing of the installation.** Installations of salvaged and reapplied historic Cuban tile, as are specifically permitted in this section, shall be subject to each and every inspection and test otherwise required in this code for a barrel tile mortar set or adhesive set installation.

3. **Exemption from product control and testing requirements.** Historic Cuban tile, when salvaged and reapplied, as otherwise provided in this section, to a roof that historically bore such material, is exempt from the Product Approval and preinstallation physical testing requirements of this code. However, the completed installation shall be subject to each and every inspection and test otherwise required of a barrel tile mortar set or adhesive set installation, and, further, if contemporary barrel tile is used to supplement historic Cuban tile, the

## HISTORIC BUILDINGS

- contemporary tile shall be product approved and comply with all requirements of this code.

# Noticing

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., June 26, 2012 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**AFTER THE FACT APPROVAL TO ALLOW INSTALLATION OF THREE ADDITIONAL JOISTS ON SECOND FLOOR PORCH TO MEET CURRENT FLORIDA BUILDING CODE FLOOR LOADING REQUIREMENT. MAINTAIN HISTORIC PORCH JOISTS WITH NEW JOISTS MILLED TO REPLACE HISTORIC MEMBERS**

**#730 SOUTHARD STREET**

**Applicant- ADELE V. STONES-**

**Application Number H12-01-1005**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at [www.keywestcity.com](http://www.keywestcity.com).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**Property Appraiser  
Information**

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

**Property Record Card**

**Alternate Key: 1012009 Parcel ID: 00011690-000000**

Website tested on  
Internet Explorer.  
Requires Adobe Flash  
10.3 or higher

**Ownership Details**

**Mailing Address:**  
730 SOUTHARD TRUST 11/29/2010  
C/O BARLETTA VINCENT F TRUSTEE  
40 SHAWMUT RD  
CANTON, MA 02021-1409

**Property Details**

**PC Code:** 01 - SINGLE FAMILY  
**Millage Group:** 10KW  
**Affordable Housing:** No  
**Section-Township-Range:** 06-68-25  
**Property Location:** 730 SOUTHARD ST KEY WEST  
**Legal Description:** KW PT LOT 2 SQR 59 G61-29/32 G61-33/34 OR177-157 (PROB 44-07-CP-216-K) OR1128-1375/79 OR1241-2122/23 L/E OR1889-442/44 OR2213-353/54 OR2386-1203/04 OR2389-1412/13 OR2408-1682/85 OR2497-1926D/C OR2497-636/37 OR2538-411/13

**Parcel Map (Click to open dynamic parcel map)**



**Land Details**

Land Use Code	Frontage	Depth	Land Area
01SD - RES SMALL LOT DRY	0	0	11,413.27 SF

**Building Summary**

Number of Buildings: 2

Number of Commercial Buildings: 0  
 Total Living Area: 3527  
 Year Built: 1919

### Building 1 Details

Building Type R1  
 Effective Age 71  
 Year Built 1919  
 Functional Obs 0

Condition A  
 Perimeter 352  
 Special Arch 0  
 Economic Obs 0

Quality Grade 550  
 Depreciation % 63  
 Grnd Floor Area 2,774

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type IRR/CUSTOM

Heat 1 NONE

Heat Src 1 NONE

Roof Cover METAL

Heat 2 NONE

Heat Src 2 NONE

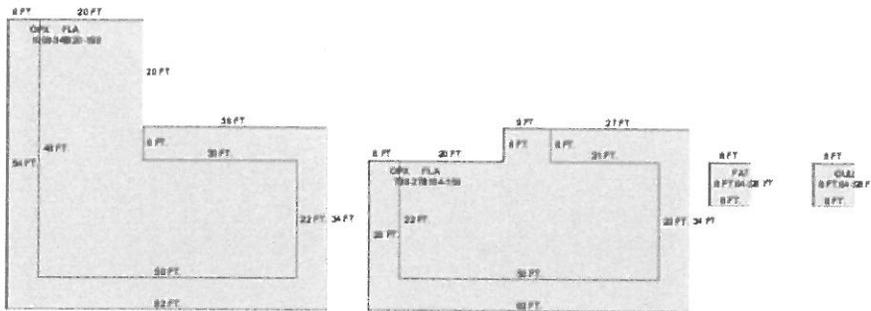
Foundation WD CONC PADS

Bedrooms 4

Extra Features:

2 Fix Bath 0  
 3 Fix Bath 1  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 0

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 0  
 Intercom 0  
 Fireplaces 1  
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	<u>FLA</u>	12:ABOVE AVERAGE WOOD	1	1993	N N	0.00	0.00	1,620
2	<u>OPX</u>	12:ABOVE AVERAGE WOOD	1	1993	N N	0.00	0.00	1,008
3	<u>FLA</u>	12:ABOVE AVERAGE WOOD	1	1993	N N	0.00	0.00	1,154

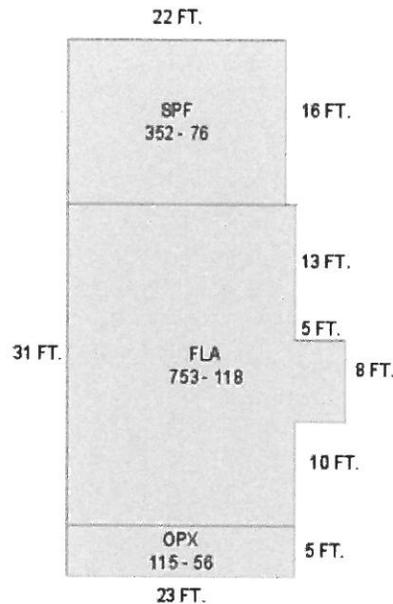
4	OPX	12:ABOVE AVERAGE WOOD	1	1993	N	N	0.00	0.00	798
5	FAT	12:ABOVE AVERAGE WOOD	1	1993	N	N	0.00	0.00	64
6	OUU	12:ABOVE AVERAGE WOOD	1	1993	N	N	0.00	0.00	64

### Building 2 Details

**Building Type** R1                      **Condition** G                      **Quality Grade** 450  
**Effective Age** 20                      **Perimeter** 118                      **Depreciation %** 27  
**Year Built** 1938                      **Special Arch** 0                      **Grnd Floor Area** 753  
**Functional Obs** 0                      **Economic Obs** 0

**Inclusions:** R1 includes 1 3-fixture bath and 1 kitchen.  
**Roof Type** IRR/CUSTOM                      **Roof Cover** METAL                      **Foundation** WD CONC PADS  
**Heat 1** NONE                      **Heat 2**                      **Bedrooms** 2  
**Heat Src 1** NONE                      **Heat Src 2**

**Extra Features:**  
 2 Fix Bath 0                      Vacuum 0  
 3 Fix Bath 0                      Garbage Disposal 0  
 4 Fix Bath 0                      Compactor 0  
 5 Fix Bath 0                      Security 0  
 6 Fix Bath 0                      Intercom 0  
 7 Fix Bath 0                      Fireplaces 0  
 Extra Fix 0                      Dishwasher 0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	FLA		1	1938	N			753

12: ABOVE AVERAGE  
WOOD

0	OPX	1	1938	115
0	SPF	1	1938	352

### Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT2:BRICK PATIO	189 SF	21	9	1984	1985	2	50
2	FN2:FENCES	165 SF	0	0	1984	1985	2	30
3	AC2:WALL AIR COND	1 UT	0	0	1988	1989	2	20
4	AC2:WALL AIR COND	1 UT	0	0	1988	1989	1	20
5	PT2:BRICK PATIO	124 SF	31	4	1984	1985	2	50
6	GR2:GARAGE	200 SF	0	0	1939	1940	2	60

### Appraiser Notes

AK 1012025 (RE 00011710-000000) IS NOW COMBINED WITH THIS PARCEL PER THE OWNER'S REQUEST, DONE FOR THE 2012 TAX ROLL (2/15/2012 SCJ).

UNITY OF TITLE RECORDED (OR2540-2262) RESULTING IN COMBINATION OF AK 1012025 WITH AK 1012009.

### Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	9701696	05/01/1997	08/01/1997	1,100		UPGRADE TO 150 AMP

### Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	188,200	3,634	348,383	540,217	540,217	0	540,217
2010	287,055	3,998	437,427	728,480	728,480	0	728,480
2009	315,445	3,998	664,889	984,332	984,332	0	984,332
2008	310,020	3,998	952,567	1,266,585	1,266,585	0	1,266,585
2007	504,032	3,958	1,199,275	1,707,265	324,537	25,000	299,537
2006	638,258	3,958	651,035	1,293,251	316,621	25,000	291,621
2005	565,314	3,958	582,505	1,151,777	307,399	25,000	282,399
2004	410,307	3,958	479,710	893,975	298,446	25,000	273,446
2003	395,110	3,958	239,855	638,923	292,882	25,000	267,882
2002	379,640	3,958	239,855	623,453	286,018	25,000	261,018
2001	300,771	3,958	239,855	544,584	281,514	25,000	256,514

2000	261,337	4,395	130,207	395,940	273,315	25,000	248,315
1999	248,839	4,185	123,697	376,721	266,130	25,000	241,130
1998	210,206	3,535	123,697	337,439	261,939	25,000	236,939
1997	193,163	3,249	110,676	307,087	257,561	25,000	232,561
1996	153,394	2,580	110,676	266,650	250,060	25,000	225,060
1995	147,713	2,227	110,676	260,615	243,961	25,000	218,961
1994	124,987	1,884	110,676	237,548	237,548	25,000	212,548
1993	110,879	161	110,676	221,716	221,716	25,000	196,716
1992	110,879	161	110,676	221,716	221,716	25,000	196,716
1991	110,879	161	110,676	221,716	221,716	25,000	196,716
1990	73,829	161	86,262	160,251	160,251	25,000	135,251
1989	67,117	146	84,635	151,898	151,898	25,000	126,898
1988	56,881	146	71,614	128,641	128,641	25,000	103,641
1987	56,259	146	51,055	107,460	107,460	25,000	82,460
1986	56,559	146	49,342	106,047	106,047	25,000	81,047
1985	54,995	146	28,920	84,061	84,061	25,000	59,061
1984	51,368	146	28,920	80,434	80,434	25,000	55,434
1983	51,368	146	28,920	80,434	80,434	25,000	55,434
1982	52,340	146	28,920	81,406	81,406	25,000	56,406

### Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
12/15/2010	2497 / 636	800,000	WD	02

This page has been visited 120,238 times.

Monroe County Property Appraiser  
 Karl D. Borglum  
 P.O. Box 1176  
 Key West, FL 33041-1176