

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chairman and Planning Board Members

From: Brendon Cunningham, Senior Planner

Through: Donald Leland Craig, AICP, Planning Director

Meeting Date: July 24, 2013

Agenda Item: **Variance – 1014 Johnson Street (RE# 00058630-000000, AK 10159111)** - A request for variances to building coverage, front, side and rear-yard setback requirements and detached habitable space to construct a second story addition on the primary structure and renovate an existing structure for use as a satellite bedroom in the SF zoning district per Sections 122-28, 122-238 and 122-1078 of the Land Development Regulations of the Code of Ordinances of the City of Key West.

Request: The applicant is requesting variances to building coverage, front, side and rear-yard setback requirements and detached habitable space to construct a second story addition on the primary structure and renovate an existing structure for use as a satellite bedroom and home office.

Applicant: Peter Pike Architects

Property Owner: Derek and Kristina Shepanzyk

Location: 1014 Johnson Street (RE# 00058630-000000, AK 10159111)

Zoning: Single Family (SF) Zoning District

Background:

The property is comprised of a one-story house and a detached cottage at the rear of the property. The applicant proposes to add a second story to the main house and renovate a portion of the cottage. The property was purchased in its current configuration with the detached habitable space already in place. The applicant only intends to make improvements to weatherize a portion of the structure that is deteriorated. The granting of these variances would provide the applicant with additional living space to accommodate extended family.

Relevant SF Zoning District Dimensional Requirements: Section 122-238			
Requirements	Zoning Regulations	Existing Conditions	Proposed Changes
Building Coverage	30%	35%	Same
Front Setback	30'	28.66'	Same
Side Setback*	5'	1.9'	Same
Rear Setback*	25'	5'	Same

Process:

Development Review Committee Meeting:

April 25, 2013

Planning Board Meeting:

July 24, 2013

Analysis – Evaluation for Compliance With The Land Development Regulations:

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The existing structures are nonconforming to building coverage and setback requirements. Legally nonconforming site characteristics are not exceptional in the City, and therefore do not by themselves generate the existence of special conditions or circumstances.

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

The nonconforming aspects on the site are not created by the applicant. The existing buildings are legal non-conforming. However, the applicant is increasing the non-conformities with the proposed second floor addition.

- 3. Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

Allowing the new construction, as proposed, would confer special privileges upon the applicant.

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

The applicant is not deprived of rights commonly enjoyed by other properties without the variance approval.

- 5. Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.**

The variances requested are the minimum variances that will make possible the continued use of the land, building, or structure. However, the applicant has reasonable use of the property prior to the new construction.

- 6. Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

The granting of the variances does not appear to be injurious to the area involved or detrimental to the public interest.

- 7. Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

Existing conforming or nonconforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

Concurrency Facilities and Other Utilities or Service (Section 108-233):

Based on comments received at the DRC, it does not appear that the requested variance will trigger any public facility capacity issues.

The Planning Board shall make factual findings regarding the following:

- 1. That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.**

The standards established by Section 90-395 of the City Code have not been fully met by the applicant for the granting of variances.

- 1. That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

The applicant has been in contact with adjacent property owners.

RECOMMENDATION:

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends the request for variance be **denied**. However, if the Planning Board approves this request, staff would like to require the following condition:

1. At the request of the Fire Department, the main house will have a sprinkler system for fire suppression.
2. The detached habitable structure shall not have cooking facilities nor be held out for rent.

**PLANNING BOARD
RESOLUTION No. 2013-**

**A RESOLUTION OF THE CITY OF KEY WEST
PLANNING BOARD FOR VARIANCES
APPROVAL FOR BUILDING COVERAGE,
FRONT, SIDE AND REAR-YARD SETBACK
REQUIREMENTS AND DETACHED
HABITABLE SPACE FOR PROPERTY
LOCATED AT 1014 JOHNSON STREET
(RE#00058630-000000, AK# 1059111) IN THE
SINGLE-FAMILY RESIDENTIAL ZONING
DISTRICT, PER SECTION 122-28, 122-238 AND
SECTION 122-1078 OF THE LAND
DEVELOPMENT REGULATIONS OF THE
CODE OF ORDINANCES OF THE CITY OF
KEY WEST.**

WHEREAS, the existing structure has a legal non-conforming building coverage, front, side and rear-yard setbacks; and

WHEREAS, Section 122-238 of the Code of Ordinances provides that the maximum building coverage allowed is 30%, minimum allowed front-yard setback is 30 feet, side-yard setback is 5 feet and rear-yard setback is 25 feet; and

WHEREAS, existing building coverage is 35%, front-yard setback is 28.66 feet, side-yard setback is 1.9 feet and rear-yard setback is 5 feet; and

_____ Chairman
_____ Planning Director

WHEREAS, the applicant requested a variance to these existing legal non-conformities; and

WHEREAS, Section 122-1078 of the Code of Ordinances requires that all habitable space be accessible from the interior of the exterior walls; and

WHEREAS, the applicant requested a variance to detached habitable space; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on July 24, 2013; and

WHEREAS, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

WHEREAS, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

WHEREAS, the Planning Board finds that granting the variances requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

_____ Chairman

_____ Planning Director

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

WHEREAS, the Planning Board finds that the variances granted are the minimum variances that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variances will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of any variances; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or making a reasonable attempt to contact all noticed property owners who have objected to the variances application, and by addressing the objections expressed by those

_____ Chairman

_____ Planning Director

neighbors;

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. An approval by resolution of the Key West Planning Board for variances to allow the construction of a second floor on the principle structure and for detached habitable space per plans received April 5, 2013, for property located at 1014 Johnson Street (RE# 00058630-000000, AK 1059111) in the SF zoning district per Sections 122-238(4)a., 122-238(6)a. 1., 2. & 3. and 122-1078 of the Land Development Regulations of the Code of Ordinances of the City of Key West with the following conditions:

1. At the request of the Fire Department, the main house will have a sprinkler system for fire suppression.
2. The detached habitable structure shall not have cooking facilities nor be held out for rent.

Section 3. It is a condition of these variances that full, complete, and final application for all conditions of this approval for any use and occupancy for which these variances are wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the

_____ Chairman

_____ Planning Director

property or its underlying zoning has occurred.

Section 4. The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to these variances in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate these variances, which variances shall be of no force or effect.

Section 5. These variances do not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 6. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 7. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 9J-1, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45)

_____ Chairman

_____ Planning Director

day review period the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 24th day of July, 2013.

Authenticated by the Chairman of the Planning Board and the Planning Director;

Richard Klitenick, Planning Board Chairman Date

Attest:

Donald Leland Craig, AICP, Planning Director Date

Filed with the Clerk:

Cheryl Smith, City Clerk Date

_____ Chairman
_____ Planning Director

Variance Application
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Variance Application

Please completely fill out this application and attach all necessary documents. This will help our staff to process your request quickly and obtain necessary information without delay. If you have any questions please call 305-809-3720 to schedule an appointment with a Planner.

Please print or type a response to the following:

1. Site Address 1014 JOHNSON STREET, KEY WEST, FL 33040
2. Name of Applicant PETER PIKE ARCHITECTS
3. Applicant is: Owner _____ Authorized Representative
4. Address of Applicant 471 U.S. HIGHWAY 1, SUITE 101
KEY WEST, FL 33040
5. Phone # of Applicant 305. 296. 9612 Mobile# 305. 797. 4230
6. E-Mail Address PPARCHKW@AOL.COM
7. Name of Owner, if different than above DEREK & KRISTINA SHERANZYK
8. Address of Owner 410 CANADA STREET
LAKE GEORGE, NY 12845
9. Phone # of Owner _____
10. Email Address _____
11. Zoning District of Parcel SF RE# _____
12. Description of Proposed Construction, Development, and Use
DETACHED HABITABLE SPACE, ~~BUILDING~~
COVERARGE,
13. List and describe the specific variance(s) being requested:
BUILDING COVERARGE, FRONT / REAR / SIDE
SETBACKS

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14. Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	SF			
Flood Zone	AE 8			
Size of Site	7500 SF			
Height	25'-0"	14'-10"	24'-7"	
Front Setback	30'-0"	28.66'	28.66'	✓
Side Setback	5'-0"	1.90'	1.90'	✓
Side Setback	5'-0"	6.94'	6.94'	
Street Side Setback	N/A	N/A	N/A	
Rear Setback	25'-0"	4.7'	4.7'	✓
F.A.R	N/A			
Building Coverage	2250 SF	2598 SF	2598 SF	✓
Impervious Surface	3750 SF	2548 SF	2598 SF	
Parking		1-off ST.	1 SPACE	
Handicap Parking	N/A			
Bicycle Parking	N/A			
Open Space/ Landscaping	N/A			
Number and type of units	1	1	1	
Consumption Area or Number of seats	N/A			

15. Is Subject Property located within the Historic District? Yes _____ No
- If Yes, attach HARC approval and approved site plans

Meeting Date _____ HARC Approval # _____

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16. Are there any easements, deed restrictions or other encumbrances attached to the subject property? Yes _____ No If Yes, please describe and attach relevant documents

17. Will the work be within the dripline (canopy) of any tree on or off the property?
YES _____ NO

If yes, provide date of landscape approval, and attach a copy of such approval.

This application is pursuant to Section 106-51 & 52 City of Key West Land Development Regulations.

If the applicant would like additional information, electronic version of the City's Code of Ordinances can be found either through www.keywestcity.com, Planning Department archives or at www.municode.com. Once there, search Online Library/Florida/Key West/Chapter 122.

***Please note, variance approvals are quasi-judicial hearings, and it is improper for the owner or signatory to speak to a Planning Board member or City Commissioner about the hearing.**

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Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

EXISTING COTTAGE WAS BUILT MANY YEARS PRIOR AND PURCHASED AS IS. CURRENT OWNER USES DETACHED STRUCTURE AS STORAGE / SITTING ROOM; NO HABITATION OR COOKING FACILITIES EXIST.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

EXISTING WHEN PURCHASED.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

EXISTING SIMILAR USES ARE TYPICAL IN SURROUNDING ZONE.

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4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

EXISTING SQUARE FOOTAGE OF HOME
(FOOTPRINT) IS SMALLER THAN
SIMILAR TO OTHER SITES IN
SAME ZONING DISTRICT.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

THE MINIMUM VARIANCE APPLIED FOR IS
EXISTING AND APPLICANT IS NOT REQUESTING
FURTHER ALLOWANCES.

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

SUBJECT STRUCTURE (COTTAGE) IS LOCATED
AT REAR OF PROPERTY NOT CREATING ANY
IMPACTS THAT COULD BE CONSIDERED DETRIMENTAL
TO PUBLIC INTEREST/WELFARE.

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7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

USE OF PROPERTY IS CONFORMING IN USE.
HOWEVER, CURRENT SETBACK FROM
PROPERTY LINE IS PHYSICALLY NON-CONFORMING.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in subsection (a) have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Verification

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an individual)

I, PETER PIKE, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1214 JOHNSON STREET.
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Handwritten Signature]
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 4th February 2013
date

Name of Authorized Representative

He/She is personally known to me or has presented P200-673-61-2418 identification.

Marta Cabaleiro
Notary's Signature and Seal

MARTA CABALEIRO
Name of Acknowledger typed, printed or stamped

2-22-2014
Commission Number, if any



Authorization

**City of Key West
Planning Department**



**Authorization Form
(Individual Owner)**

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, JOSEPH SHERANZUK, KRISTINA SHERANZUK authorize
Please Print Name(s) of Owner(s) (as appears on the deed)

PETER PIKE or PETER PIKE APRENTICE REPRESENTATIVE
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.


Signature of Owner

le shepsmyls
Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this 4th February 2013 by
date

Name of Authorized Representative

He/She is personally known to me or has presented NY DL 331-393-793 as identification.

Marta Cabaleiro
Notary's Signature and Seal

MARTA CABALEIRO
Name of Acknowledger typed, printed or stamped



Deed

PREPARED BY AND RETURN TO:
RICHARD M. KLITENICK, ESQ.
RICHARD M. KLITENICK, P.A.
1009 SIMONTON STREET
KEY WEST, FL 33040
305-292-4101
FILE NUMBER: REII-033
RECORDING FEE: \$35.50
DOCUMENTARY STAMPS PAID: \$6,216.00

Doc# 1838417 06/03/2011 3:54PM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

06/03/2011 3:54PM
DEED DOC STAMP CL: DIONNE \$6,216.00

_____[Space above this line for recording data]_____

Doc# 1838417
Bk# 2520 Pg# 962

WARRANTY DEED

THIS WARRANTY DEED is made on this 26 day of May, 2011, between ANDREW R. MIRZAOFF, a single man; ALEXANDER D. MIRZAOFF, a married man and ARNOLD C. MIRZAOFF, a single man, all c/o 1014 Johnson Street, Key West, FL 33040 (hereinafter collectively referred to as "Grantor"), and DEREK & KRISTINA SHEPANZYK, husband and wife, whose address is 410 Canada Street, Lake George, NY 12845 (hereinafter collectively referred to as "Grantee").

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said Grantor, for and in consideration of the sum of EIGHT HUNDRED EIGHTY-EIGHT THOUSAND & 00/100^{ths} DOLLARS (\$888,000.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, with the street address of 1014 Johnson Street, Key West, FL 33040, and more particularly described as:

ALL OF LOT FIVE (5) AND THE NORTHEASTERLY 1/2 OF LOT FOUR (4) OF BLOCK FIVE (5), MARTELLO TOWERS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 140 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

PARCEL IDENTIFICATION No.: 00058630-000000; ALTERNATE KEY ("AK") No.: 1059111

GRANTOR ALEXANDER D. MIRZAOFF WARRANTS THAT AT THE TIME OF THIS CONVEYANCE, THE SUBJECT PROPERTY IS NOT HIS HOMESTEAD WITHIN THE MEANING SET FORTH IN THE CONSTITUTION OF THE STATE OF FLORIDA, NOR IS IT CONTIGUOUS TO OR A PART OF HIS HOMESTEAD PROPERTY. GRANTOR'S RESIDENCE AND HOMESTEAD ADDRESS IS IN THE STATE OF NEW YORK.

SUBJECT TO CONDITIONS AND RESTRICTIONS OF RECORD, IF ANY; HOWEVER, THIS DEED SHALL NOT OPERATE TO RE-IMPOSE THE SAME

SUBJECT TO: TAXES FOR THE YEAR 2011 AND SUBSEQUENT YEARS

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the

WARRANTY DEED
MIRZAOFF TO SHEPANZYK
1014 JOHNSON STREET, KEY WEST, FL 33040
PAGE 1 OF 4



title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2010, and those items listed above.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:
(as to Andrew Mirzaoff signature)

Carol L. Carl
Witness # 1 signature
Print name: Carol L. Carl

Andrew R. Mirzaoff
ANDREW R. MIRZAOFF

Shirley M. Perry
Witness # 2 signature
Print name: SHIRLEY M. PERRY

Doc# 1838417
Bk# 2520 Pg# 963

STATE OF CALIFORNIA
COUNTY OF _____

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgements ANDREW R. MIRZAOFF, who is personally known to me, or who produced _____ as identification, to be the same person who is one of the Grantors described in the foregoing Warranty Deed, and he acknowledged to me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal at _____ County, California, on this ____ day of May, 2011.

(STAMP/SEAL)

Notary Public-State of CA
Commission Expires: _____

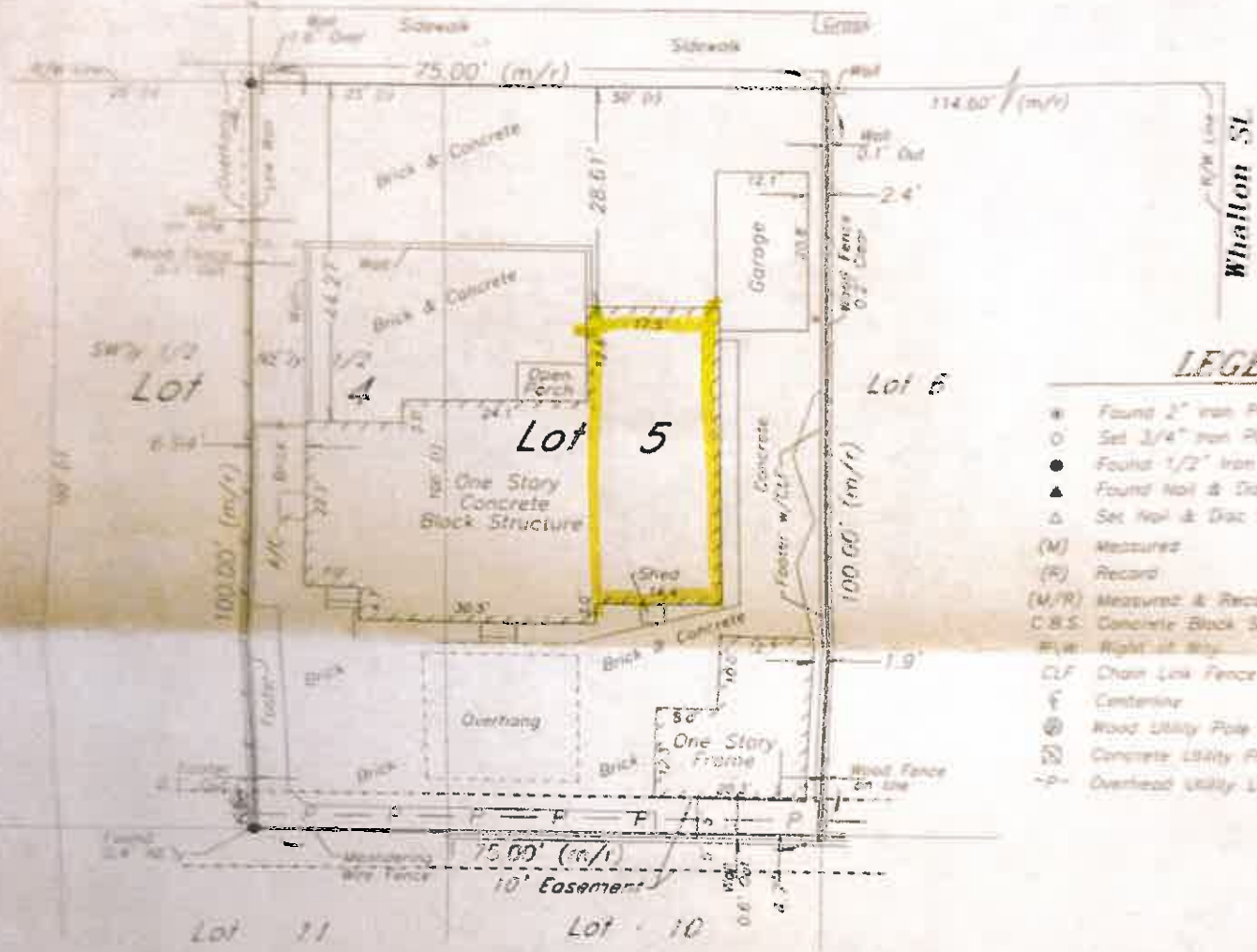
See Attached
CA. →
Notary

(Balance of page intentionally left blank)

Survey

Johnson St
(aka Baxter Ct.)

Whallon St



LEGEND

- Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/comp (6998)
- Found 1/2" Iron Rod (No ID)
- ▲ Found Nail & Disc (unreadable)
- △ Set Nail & Disc (E298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- CBS Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- f Centerline
- ⊙ Wood Utility Pole
- ⊙ Concrete Utility Pole
- - - Overhead Utility Lines

NOTES

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1014 Johnson Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: May 5, 2011.
9. Ownership of fences is undeterminable, unless otherwise noted.

BOUNDARY SURVEY OF: All of Lot Five (5) and the Northeasterly 1/2 of Lot four (4) of Block 5, MARTELLO TOWERS, a subdivision according to the Plat thereof, as recorded in Plat Book 1, Page 140 of the Public Records of Monroe County, Florida

BOUNDARY SURVEY FOR: Derek & Kristina Shepanzyk,
Richard M. Klitenick, P.A.,
Old Republic National Title Insurance Company;

J. LYNN O'FLYNN, INC.

[Signature]
Lynn O'Flynn, PSM
Florida Reg. #6298
May 6, 2011
Revised Certification 5/18/11

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.
Professional Surveyor & Mapper
FLS #6298
3430 Duck Ave., Key West, FL 33040
(305) 298-7412 FAX (305) 298-1244

Site Plans

SITE DATA

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	SF SPECIAL		SF SPECIAL	COMPLIANT
SITE AREA	7500 SQ FT	6000 SQ FT	7500 SQ FT	COMPLIANT
BUILDING COV.	34.64% (2598)	30% (2250)	34.64% (2598)	
IMPERV. RATIO	34.64% (2598)	50% (3750 SF)	34.64% (2598)	COMPLIANT
F.A.R.	N.A.	N.A.	N.A.	N.A.

INFORMATION BELOW IS SPECIFIC TO SUBJECT STRUCTURE(S) ONLY.

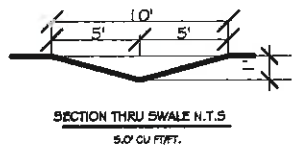
SETBACKS	EXISTING (SUBJECT STRUCT.)	REQ. PER LDR	NEW CONST.
FRONT HOUSE	28.66'	30.0'	28.66' (REMAINS)
FRONT GAR.	11.00'	30.0'	11.00' (REMAINS)
REAR	44.27'	25.0'	44.27' (REMAINS)
SIDE HOUSE	13.96'	5.0'	13.96' (REMAINS)
SIDE GAR.	2.41'	5.0'	2.41' (REMAINS)
SIDE	6.94'	5.0'	6.94' (REMAINS)
BUILDING HT.	14'10"	25'	24'-7"
PARKING	1 SPACE OFF ST.		UNCHANGED

FLOOD INSURANCE RATE MAP ZONE: ZONE "AE 8"

NEW CONST. SWALE CALCULATIONS

LOT SIZE.....7500 SQ. FT.
 IMPERVIOUS AREA.....2666 SQ. FT. (EXIST. BUILD. COV.)
 % IMPERVIOUS.....36% (EXIST. IMP.)

NEW DISTURBED AREA IMPERVIOUS	ENTRY	105
	OPEN PORCH	77
TOTAL182 FT.		



CUBIC FT REQUIRED 182 X 2.5/12 = 40 CU FT.
 CUBIC FT SUPPLIED.....40 CU FT.
 (8' X 10' SWALE)

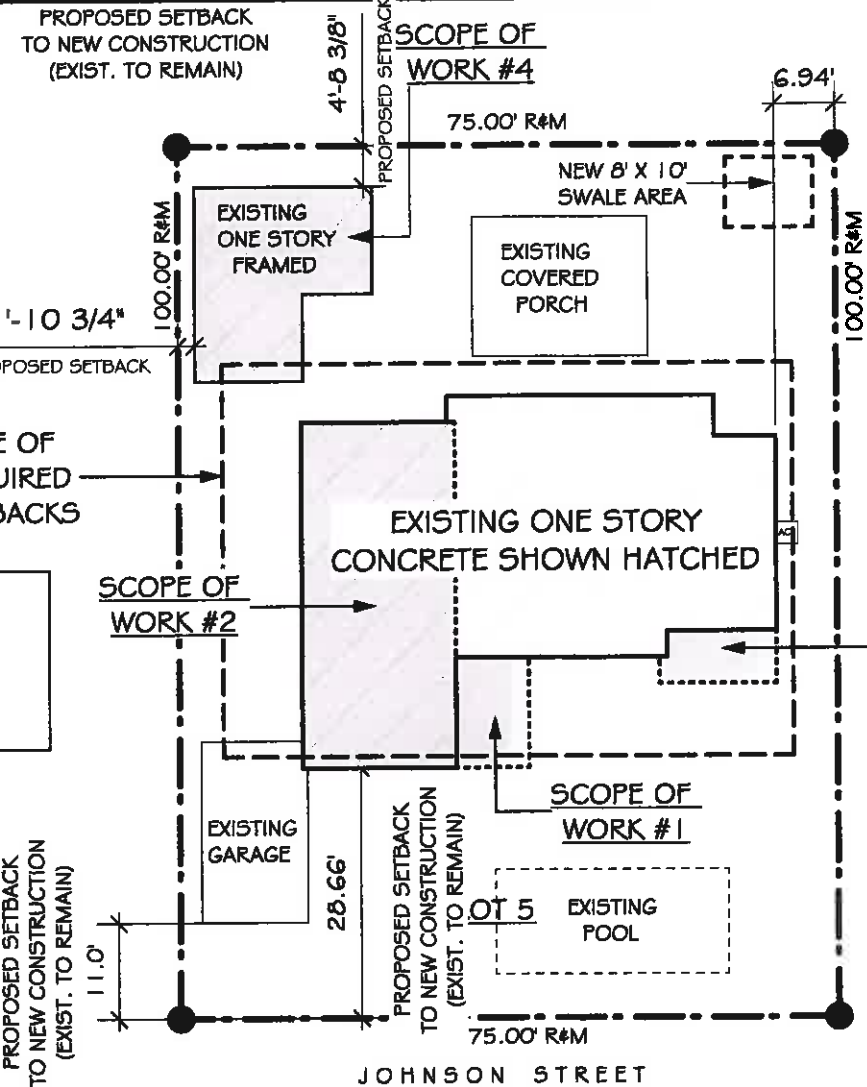
PROJECT APPROVALS:

ITEM	APPROVAL # MEETING HELD	DATE
H.A.R.C.	NOT REQUIRED	
BOARD OF ADJUSTMENT	NOT REQUIRED	
DEVELOPMENT REVIEW COMMITTEE	NOT REQUIRED	
CITY OF KEY WEST DEVELOPMENT AGREEMENT	NOT REQUIRED	
KEY WEST BUILDING DEPARTMENT		

1 EXIST. / PROPOSED SITE PLAN
 A-1 Scale: 1" = 20 ft

VARIANCES REQUESTED:

1. REAR SETBACK: 4.7' / 25' REQUIRED
2. SIDE SETBACK: 1.9' / 5' REQUIRED
3. FRONT STBACK: 28.66' / 30' REQUIRED
4. SITE COVERAGE: 34.66% / 30% REQUIRED



FLOOD ZONE "AE 8"

PROJECT INFORMATION	RENOVATION & ADDITION DRAWINGS FOR:	SCOPE OF WORK:	DESIGN NOTES:	DRAWING SCHEDULE:
<p>SHEPANZYK RESIDENCE 1014 JOHNSON ST., KEY WEST, FLA.</p>		<p>#1: DEMOLITION & RE-CONSTRUCTION OF EXIST. FRONT ENTRY PORCH. #2: NEW 2ND STORY ADDITION OVER EXIST. STRUCTURE. #3: CONSTRUCTION OF NEW OPEN PORCH. #4: RECOGNITION OF EXISTING SHED STRUCTURE.</p>	<p>THIS STRUCTURE DESIGNED TO MEET THE FOLLOWING: FBC 2010 A.S.C.E. 07-10 REGULATIONS LIVE LOAD 40 PSF WIND LOAD 180 M.P.H. * *PER FBC 07/ASCE 07-10 EXPOSURE "D"</p>	<p>A-1 SITE PLAN/PROJECT INFO. A-2 FIRST FLOOR PLAN A-3 SECOND FLOOR PLAN A-4 ELEVATIONS A-5 ELEVATIONS A-6 SECTIONS A-7 SECTIONS A-8 FOUNDATIONS & DETAILS A-9 ROOF FRAMING A-10 DEMO PLAN / 2ND FLOOR FRAMING PLAN A-11 ELECTRICAL PLAN A-12 PLUMBING / HVAC PLANS</p>
<p>SURVEYOR: SITE PLAN IS BASED ON SURVEY BY: NORBY & ASSOCIATES, INC. DATED 06-18-98</p>	<p>LEGAL DESCRIPTION: NORTHEASTERLY 1/2 OF LOT 4, BLOCK 5, MARTELLO TOWERS, ISLAND OF KEY WEST. FLOOD ZONE: AE-8 BASE FLOOD ELE. 8</p>	<p>ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT/ENGINEER AND MUST BE RETURNED ON REQUEST. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S/ENGINEER WRITTEN PERMISSION THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT/ENGINEER</p>	<p>SEAL - ARCHITECT</p>	

REVISIONS: DATE

PETER PIKE ARCHITECT
 471 US HIGHWAY 1
 SUITE 101
 KEY WEST FLORIDA
 33040

PROJECT: RENOVATION OF FRONT ENTRY
SHEPANZYK
 1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE:
PROPOSED SITE PLAN / DATA

PROJECT NUMBER:
 XX-XX
 DRAWN: KSM
 CHECKED: PMP
 DATE: 09-12-13

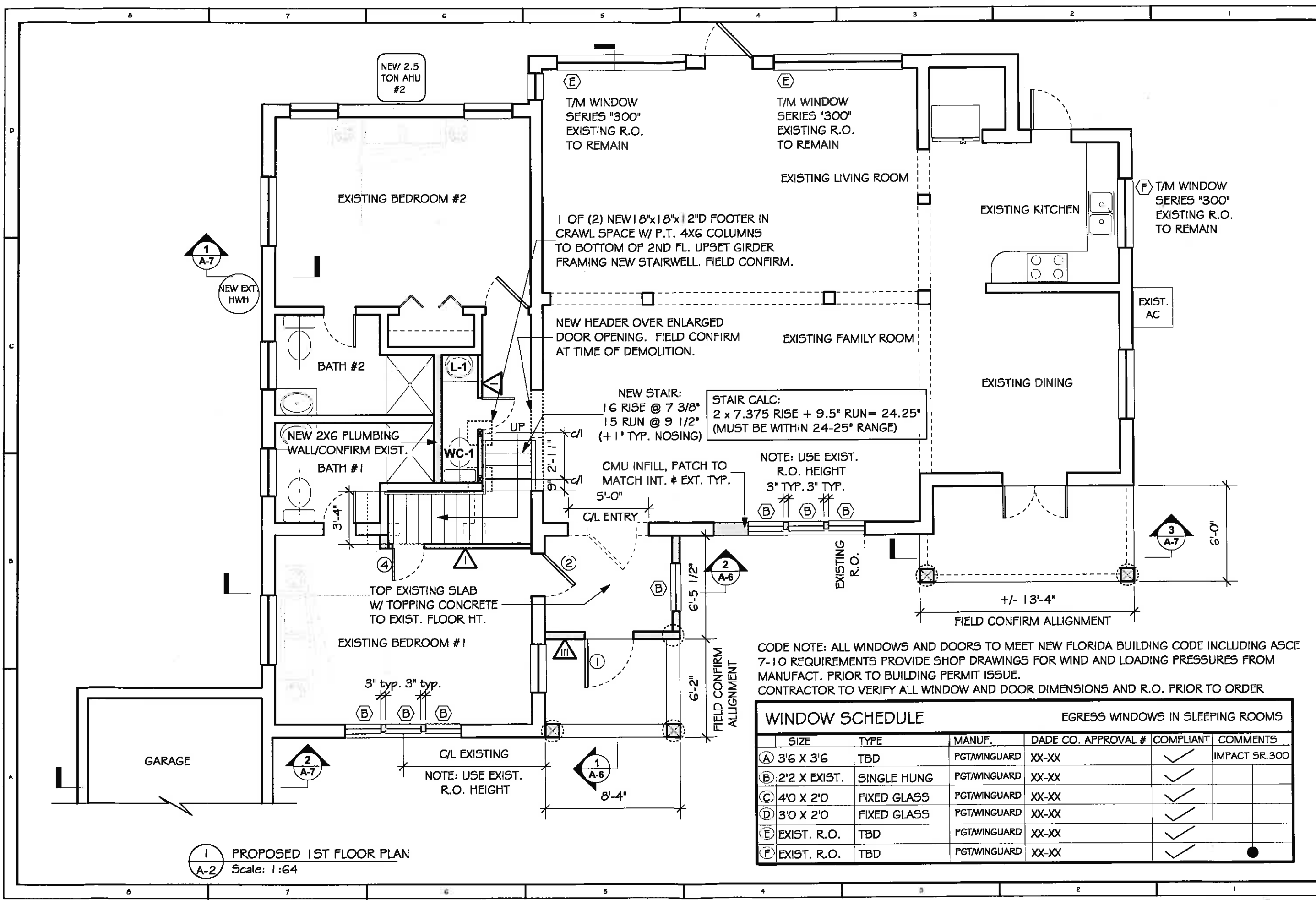
SHEET #
A-1

PETER PIKE ARCHITECT
 471 US HIGHWAY 1
 SUITE 101
 KEY WEST FLORIDA
 33040

PROJECT: RENOVATION OF FRONT ENTRY
SHEPANZYK
 1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE: FIRST FLOOR PLAN
 PROJECT NUMBER: XX-XX
 DRAWN: KSM
 CHECKED: PMP
 DATE: 03-12-13

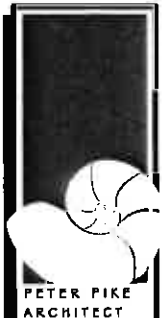
SHEET #
A-2



CODE NOTE: ALL WINDOWS AND DOORS TO MEET NEW FLORIDA BUILDING CODE INCLUDING ASCE 7-10 REQUIREMENTS PROVIDE SHOP DRAWINGS FOR WIND AND LOADING PRESSURES FROM MANUFACT. PRIOR TO BUILDING PERMIT ISSUE. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR DIMENSIONS AND R.O. PRIOR TO ORDER

WINDOW SCHEDULE				EGRESS WINDOWS IN SLEEPING ROOMS		
SIZE	TYPE	MANUF.	DADE CO. APPROVAL #	COMPLIANT	COMMENTS	
(A) 3'6" X 3'6"	TBD	PGT/WINGUARD	XX-XX	✓	IMPACT SR.300	
(B) 2'2" X EXIST.	SINGLE HUNG	PGT/WINGUARD	XX-XX	✓		
(C) 4'0" X 2'0"	FIXED GLASS	PGT/WINGUARD	XX-XX	✓		
(D) 3'0" X 2'0"	FIXED GLASS	PGT/WINGUARD	XX-XX	✓		
(E) EXIST. R.O.	TBD	PGT/WINGUARD	XX-XX	✓		
(F) EXIST. R.O.	TBD	PGT/WINGUARD	XX-XX	✓		

1 PROPOSED 1ST FLOOR PLAN
 A-2 Scale: 1:64



PETER PIKE ARCHITECT
471 US HIGHWAY 1
SUITE 101
KEY WEST FLORIDA
335040

PROJECT: RENOVATION OF FRONT ENTRY
SHEPANZYK
1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE:
SECOND FLOOR PLAN

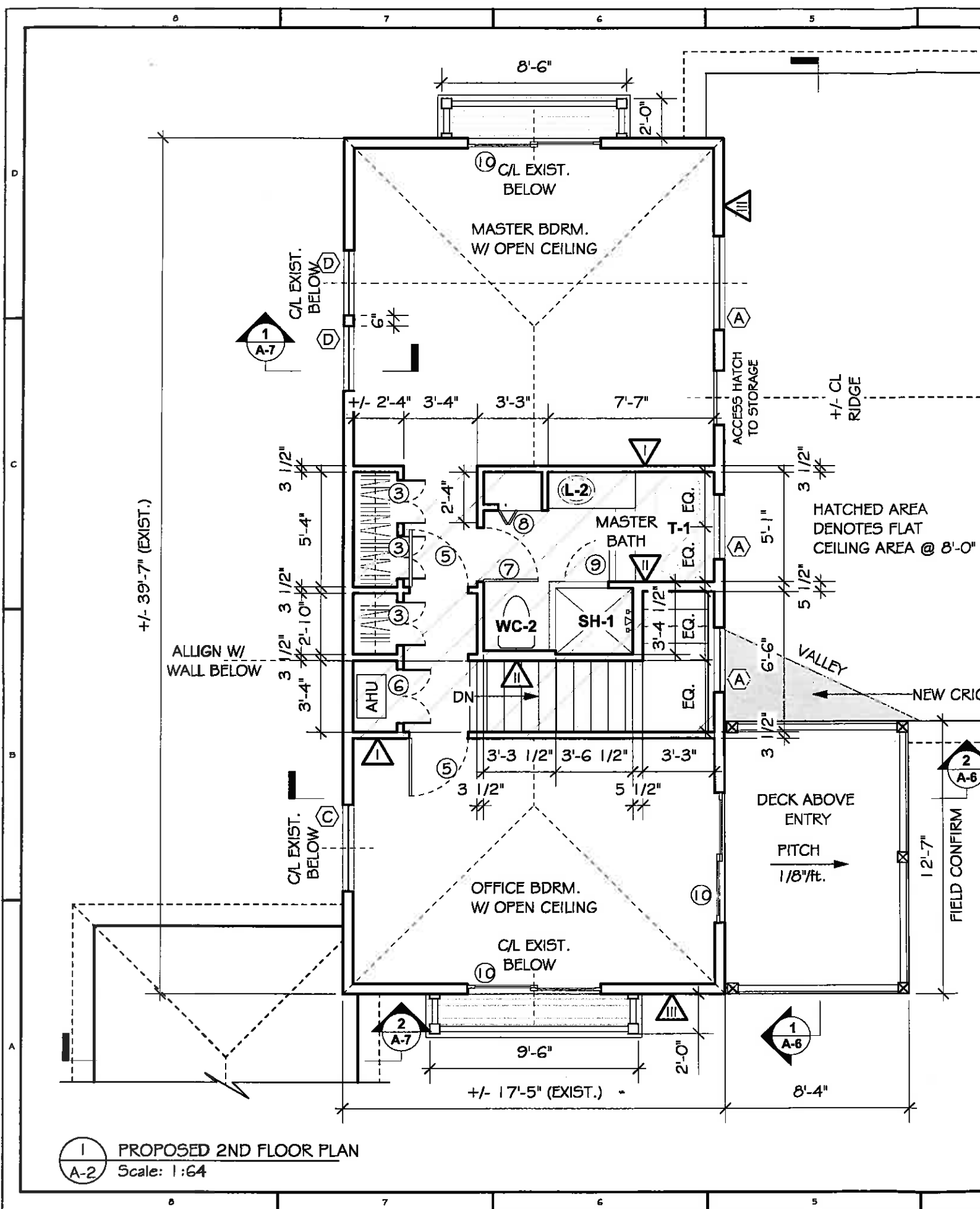
PROJECT NUMBER:
XX-XX
DRAWN: KSM
CHECKED: FMP
DATE: 03-12-13

SHEET #
A-3

WALL TYPE SCHEDULE			
MARK	DESCRIPTION		
I	P.T. 2X4 STUDS (OR STL. STUD) @ 16" O.C. W/ 1 LAYER 1/2" GWB EACH FACE		
II	P.T. 2X6 STUDS (OR STL. STUD) @ 16" O.C. W/ 1 LAYER 1/2" GWB EACH FACE		
III	P.T. 2X6 STUDS @ 16" O.C. W/ 1/2" GWB ONE FACE, & 3/4" CDX W/ TYVEK HOUSE WRAP, DIAMOND MESH & STUCCO @ EXTERIOR FACE.		
IV			
TYPICAL WALL TYPES			
	TYPE "II"		TYPE "III"
	TYPE "III"		TYPE "IV"

CODE NOTE: ALL WINDOWS AND DOORS TO MEET NEW FLORIDA BUILDING CODE INCLUDING ASCE 7-02 REQUIREMENTS PROVIDE SHOP DRAWINGS FOR WIND AND LOADING PRESSURES FROM MANUFACT. PRIOR TO BUILDING PERMIT ISSUE. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR DIMENSIONS AND R.O. PRIOR TO ORDER

DOOR SCHEDULE	SIZE	TYPE	MANUF.	DADE CO. APPROVAL #	COMPLIANT	COMMENTS
①	3'0 X 7'0	EXT. FRENCH	PGT/MINGUARD	XX-XX	✓	IMPACT GLASS
②	existing	EXT. FRENCH	OWNER CHOICE	N. A.	N. A.	
③	2'0 X 6'8	INT. WD. PAIR		N. A.	N. A.	
④	2'0 X 5'0	INT. WD.		N. A.	N. A.	
⑤	2'8 X 6'8	INT. WD.		N. A.	N. A.	
⑥	2'6 X 6'8	INT. WD. PAIR		N. A.	N. A.	LOUVER / AC
⑦	2'6 X 6'8	INT. WD.		N. A.	N. A.	
⑧	2'0 X 6'8	INT. BI-FOLD		N. A.	N. A.	
⑨	2'0 X	SHOWER DR.		N. A.	N. A.	
⑩	6'0 X 7'0	EXT. SLIDER	PGT/MINGUARD	XX-XX	✓	IMPACT GLASS



① PROPOSED 2ND FLOOR PLAN
Scale: 1:64



PETER PIKE
ARCHITECT
471 US HIGHWAY 1
SUITE 101
KEY WEST FLORIDA
33040

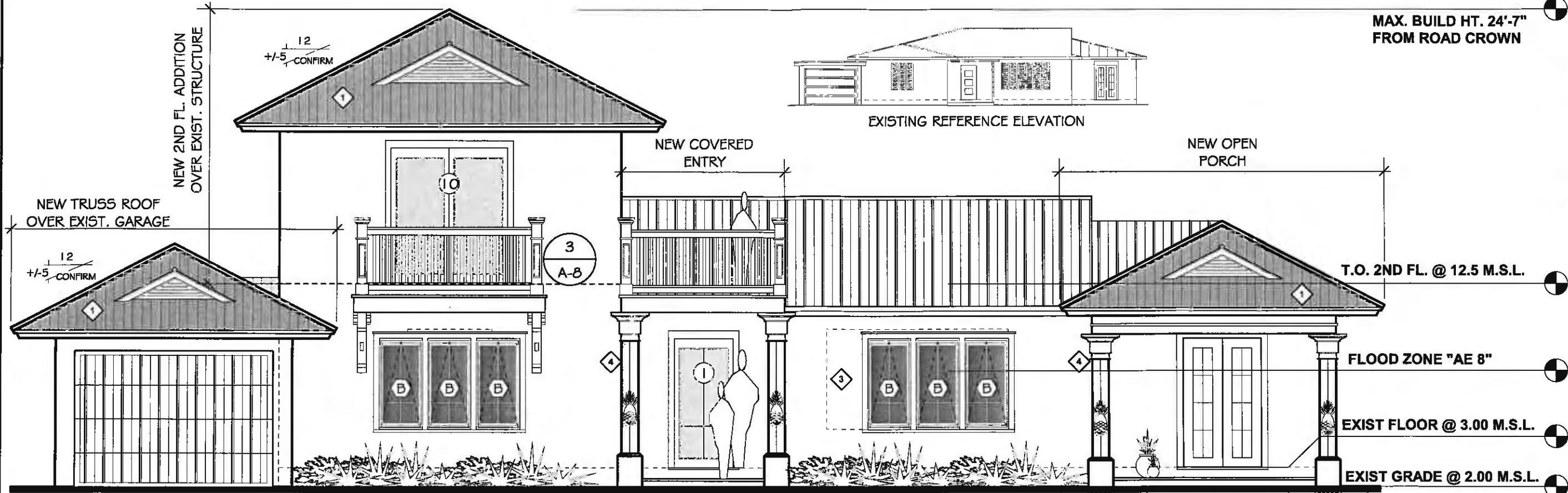
PROJECT:
RENOVATION OF FRONT ENTRY
SHEPANZYK
1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE:
ELEVATIONS

PROJECT NUMBER:
03-03
DRAWN: KSM
CHECKED: PMP
DATE: 03-12-13

SHEET #
A-4

MAX. BUILD HT. 24'-7"
FROM ROAD CROWN



1 PROPOSED EAST ELEVATION
Scale: 1:64

FINISH LEGEND

MARK	MATERIALS
1	TYP. ROOF ASSEMBLY: "V-CRIMP" ROOFING OVER #30 FELT OVER 3/4" PLY. SHEATHING
2	TYP. WALL ASSEMBLY: P.T. 2X6 @ 16" O.C. W/ 3/4" SHEATHING & DIAMOND MESH AND STUCCO COATING
3	PATCH TO MATCH ALL EXISTING STUCCO
4	SEE DETAIL 3 SHT. A-7 FOR DETAILS

2 PROPOSED NORTH ELE.
Scale: 1:64



WINDOW NOTE:
THIS WINDOW TO HAVE AS MUCH DEPTH
AS POSSIBLE, FIELD CONFIRM ROOF
CLEARANCE.

3 A-B 4 A-B

REVISION:	DATE



PETER PIKE
ARCHITECT

471 US HIGHWAY 1
SUITE 101
KEY WEST FLORIDA
33004

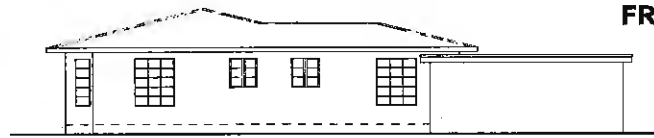
PROJECT:
RENOVATION OF FRONT ENTRY
SHEPANZYK
1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE:
ELEVATIONS

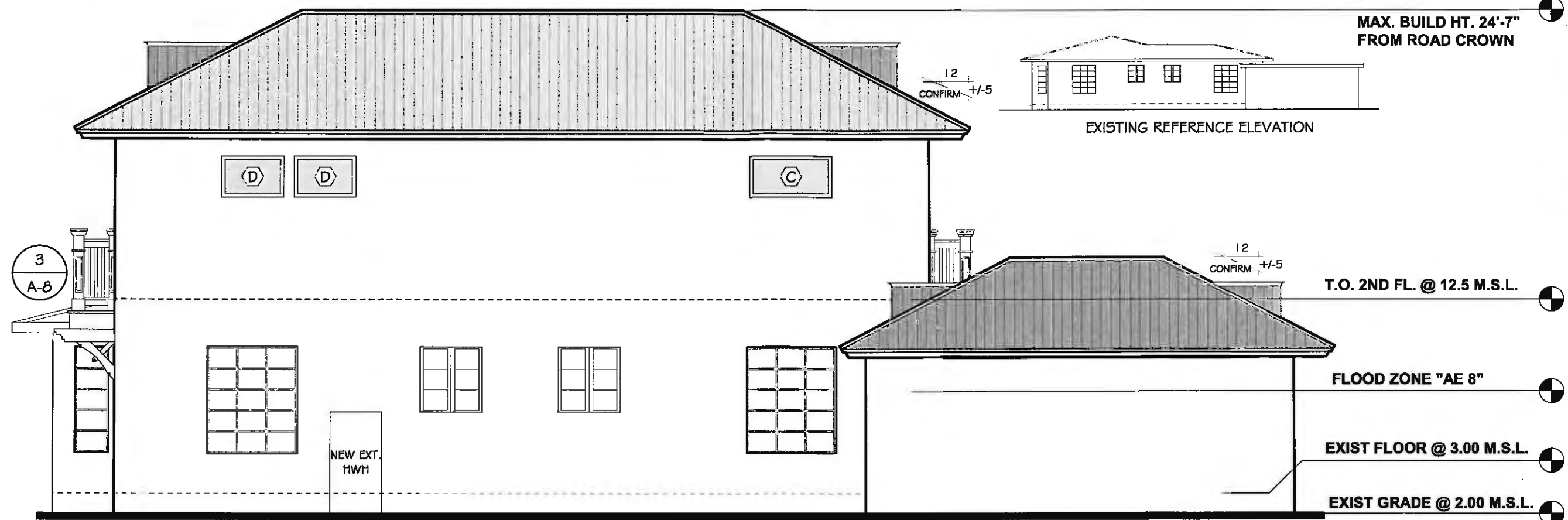
PROJECT NUMBER:
XX-XX
DRAWN BY: KSM
CHECKED BY: FMP
DATE: 03-12-13

SHEET #
A-5

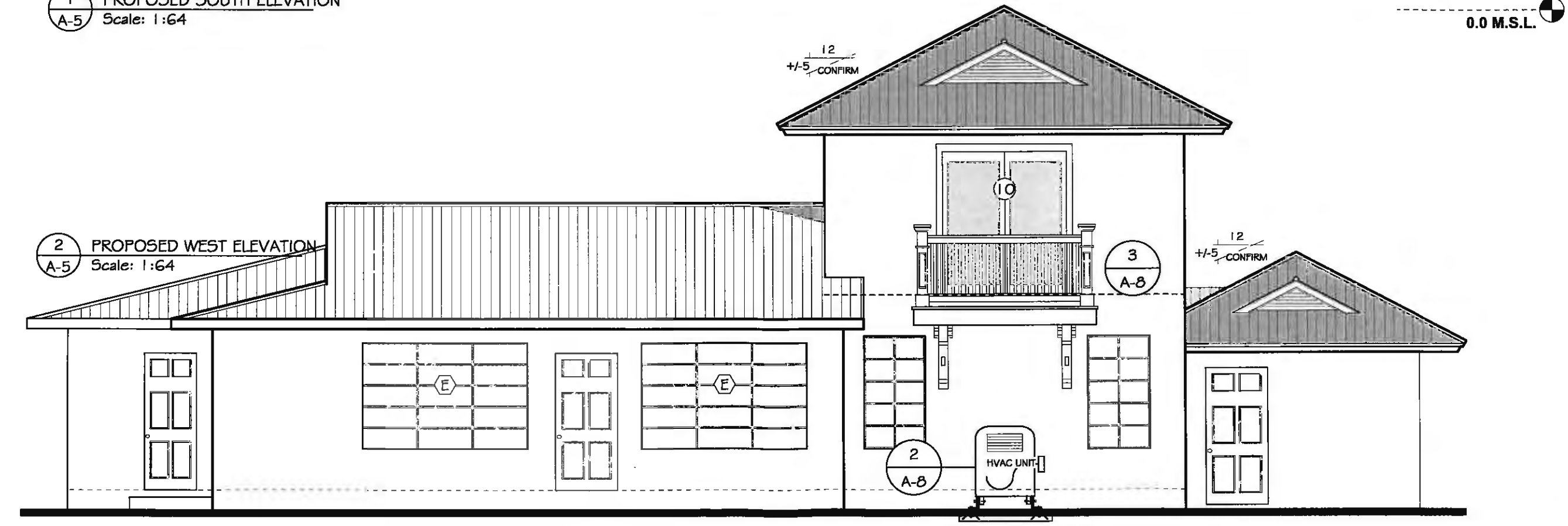
MAX. BUILD HT. 24'-7"
FROM ROAD CROWN



EXISTING REFERENCE ELEVATION



1 PROPOSED SOUTH ELEVATION
Scale: 1:64



2 PROPOSED WEST ELEVATION
Scale: 1:64



PETER PIKE
ARCHITECT
471 US HIGHWAY 1
SUITE 101
KEY WEST FLORIDA
33040

PROJECT: RENOVATION OF FRONT ENTRY
SHEPANZYK
1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE:
SECTIONS / DETAILS
SCHEDULES
PROJECT NUMBER:
XX XX
DRAWN: KSM
CHECKED: PMP
DATE: 03-12-18

SHEET #
A-6

MAX. BUILD HT. 24'-7"
FROM ROAD CROWN

T.O. 2ND FL. @ 12.5 M.S.L.

FLOOD ZONE "AE 8"

EXIST FLOOR @ 3.00 M.S.L.

EXIST GRADE @ 2.00 M.S.L.

0.0 M.S.L.

P.T. 2X10 FLOOR JOISTS RIPPED TO PITCH, W/ 2 LAYER 3/4" P.T. DECKING, AND RUBBER MEMBRANE W.P. DECKING MATERIAL.

5" DEPTH CONC. SLAB W/ 6/6 10-10 W/M ON CLEAN, COMPACTED, TREATED FILL. TYP. ALL NEW SLAB AREAS.

(1) OF 5:
16" DIA. AUGER PILE W/ (4) #5 BAR VERT. # # 3 TIES 12" O.C. 36" INTO CAP ROCK TYP.

MEMBRANE ROOFING @ CRICKET AREA

2X10 LEDGER BOLTED TO EXISTING BOX W/ 1/2" DIA. THRU-BOLTS @ 24" O.C. STAGGERED T & B. FIELD CONFIRM CONDITIONS.

TOP EXISTING SLAB W/ TOPPING CONCRETE TO EXISTING FLOOR HEIGHT.

P.T. 2X10 FLOOR JOISTS RIPPED TO PITCH, W/ 2 LAYER 3/4" P.T. DECKING, AND RUBBER MEMBRANE W.P. DECKING MATERIAL.

2X10 LEDGER BOLTED TO NEW FLOOR SYSTEM BOX W/ 1/2" DIA. THRU-BOLTS

1 PORCH SECTION
A-6 Scale: 1:64

14" DEPTH PRE-MANUFACTURED FLOOR TRUSSES @ 16" O.C.

1 FULL WALL SECTION
A-7

2 MAIN BUILDING SECTION
A-6 Scale: 1:64

WALL TYPE SCHEDULE

MARK	DESCRIPTION
I	P.T. 2X4 STUDS (OR STL. STUD) @ 16" O.C. W/ 1 LAYER 1/2" GWB EACH FACE
II	P.T. 2X6 STUDS (OR STL. STUD) @ 16" O.C. W/ 1 LAYER 1/2" GWB EACH FACE
III	P.T. 2X6 STUDS @ 16" O.C. W/ 1/2" GWB ONE FACE, # 3/4" CDX W/ TYVEK HOUSE WRAP, DIAMOND MESH # STUCCO @ EXTERIOR FACE.
IV	

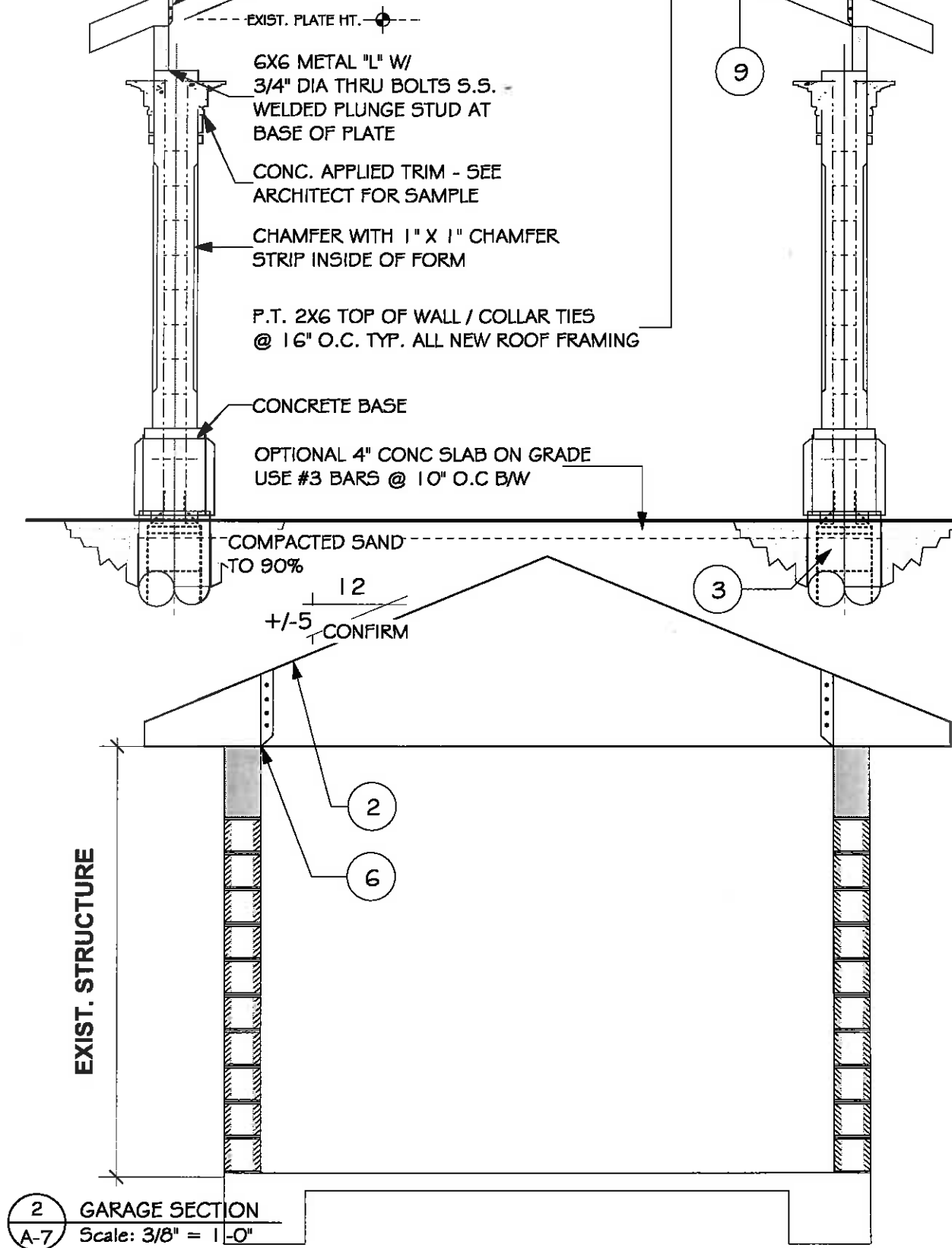
2 TYPICAL WALL TYPES
A-5

	TYPE "I"		TYPE "II"
	TYPE "III"		TYPE "IV"

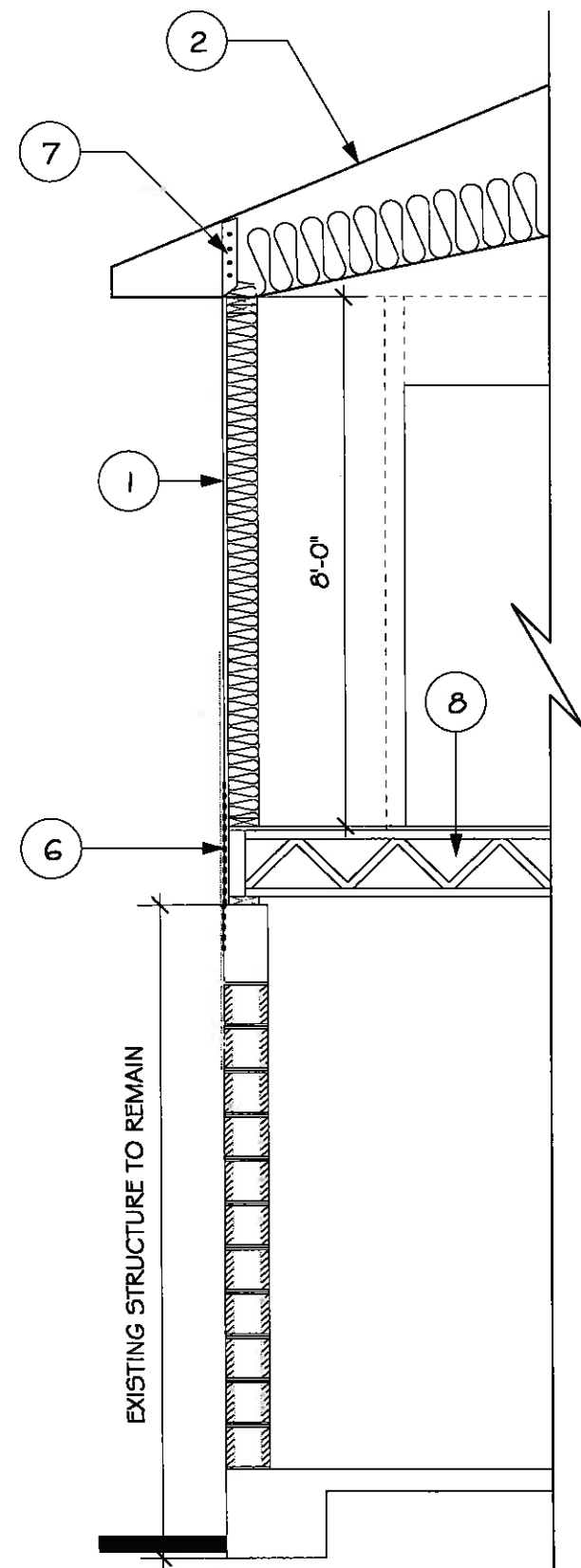
3 OPEN PORCH SECTION
A-7 Scale: 3/8" = 1'-0"

HURRICANE TIES: SEE:
DET. 2 /A-9 FRAMING

HURRICANE TIES: SEE:
DET. 2 /A-9 FRAMING



- 1 P.T. 2X6 STUDS @ 16" O.C. W/ R-21 BATT INSUL., # 1 LAYER 1/2" SHEETROCK. EXTERIOR W/ 3/4" PT CDX, DIAMOND MESH & STUCCO FINISH TO MATCH EXIST.
- 2 ROOFING BUILDUP: PRE-MANUFACTURED TRUSSES @ 16" OR 24" O.C. W/ R-30 INSUL., EXT. FACE W/ 3/4" P.T. SHEATHING ATTACHED W/ 10d R.S. GAL. NAILS @ 6" O.C. FIELD, 4" O.C. EDGE, 30# FELT, & 22 GA. "V-CRIMP" ROOFING
- 3 16" DIA. AUGER PILE W/ (4) #5 BAR VERT. & # 3 TIES 12" O.C. 36" INTO CAP ROCK TYP.
- 4 TYPICAL GRADE BEAM: 12"X12" CONC. BEAM W/ (2) #5 BARS TOP & (2) # 6 BARS BOTTOM. USE #3 STIRRUPS @ 8" O.C.
- 5 5" DEPTH CONC. SLAB W/ 6/6 10-10 W/M ON CLEAN, COMPACTED, TREATED FILL. TYP. ALL NEW SLAB AREAS.
- 6 SIMPSON ST30 W/ (4) 2.5" TAP CON INTO EXIST. TIE BEAM. NOTE: EXISTING IMBED TIES TO BE DETERMINED @ TIME OF DEMOLITION FOR POSSIBLE ALTERNATE USE. ARCHITECT TO MAKE DETERMINATION.
- 7 SIMPSON (SEE NOTE 3 OF A-9 FOR SPEC) HURR. ANCHOR TYP. @ EA. TRUSS TAIL LOCATION
- 8 FLOOR ASSEMBLY: 14" DEPTH PRE-MANUFACTURED FLOOR TRUSSES @ 16" O.C. DESIGN LOADS 15D, 40 L. W/ 3/4" P.T. DECKING & TILED OR WOOD SURFACE.
- 9 TYP. OPEN PORCH ROOFING BUILD-UP: P.T. 2X8 RAFTERS @ 16" O.C., EXTERIOR FACE W/ 3/4" P.T. SHEATHING ATTACHED W/ 10d R.S. GAL. NAILS @ 6" O.C., BITUTHANE MEMBRANE, & 22 GA. "V-CRIMP" OVERHANGS & EAVE TRIM TO MATCH EXIST.



1 TYP. WALL SECTION (MAIN)
A-7 Scale: 3/8" = 1'-0"

2 GARAGE SECTION
A-7 Scale: 3/8" = 1'-0"

REVISIONS:	DATE

PETER PIKE ARCHITECT
471 US HIGHWAY 1
SUITE 101
KEY WEST FLORIDA
33040

PROJECT: RENOVATION OF FRONT ENTRY
SHEPANZYK
1014 JOHNSON ST., KEY WEST, FL 33040

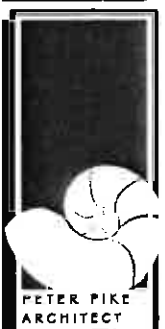
DRAWING TITLE:
SECTIONS / DETAILS

PROJECT NUMBER:
XX-XX

DRAWN: KSM
CHECKED: PMP
DATE: 08-12-13

SHEET #
A-7

REVISION:	DATE



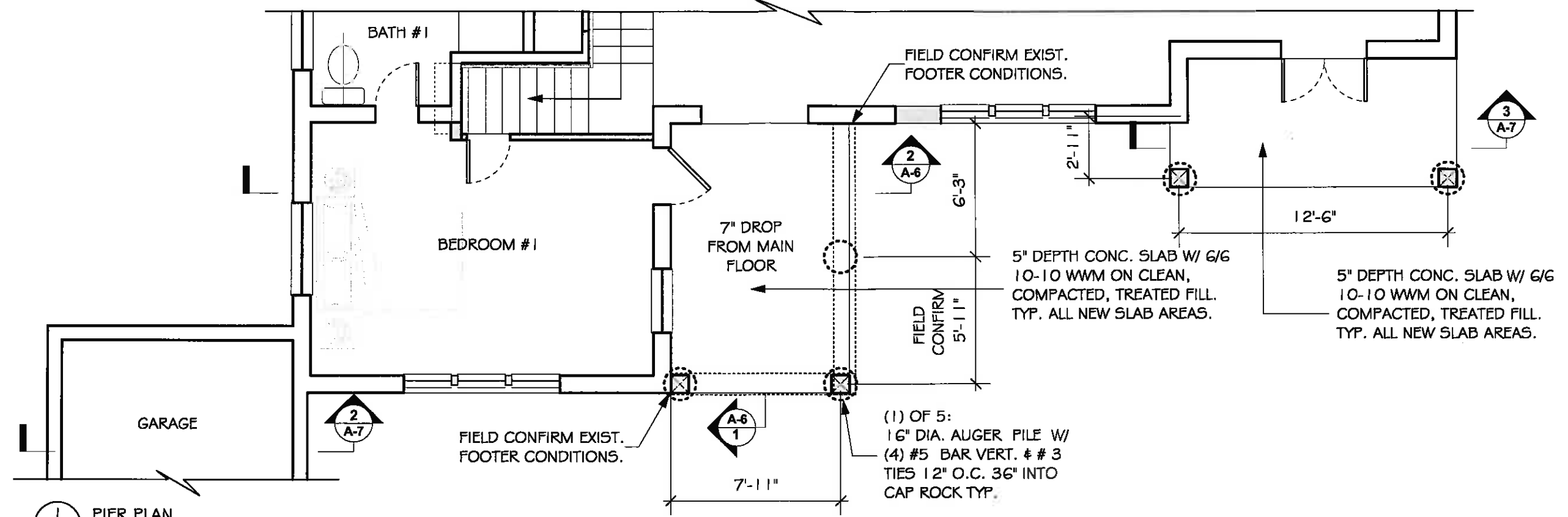
PETER PIKE
ARCHITECT
471 US HIGHWAY 1
SUITE 101
KEY WEST FLORIDA
33040

PROJECT:
RENOVATION OF FRONT ENTRY
SHEPANZYK
1014 JOHNSON ST., KEY WEST, FL 33040

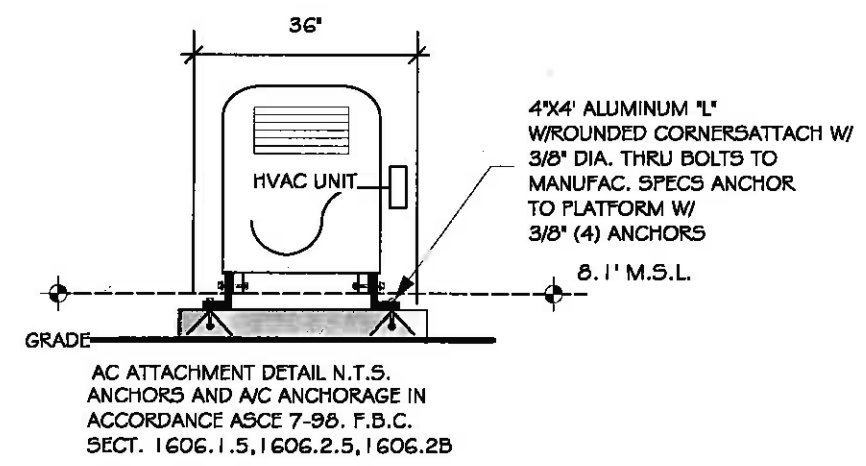
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FOUNDATION PLAN
& DETAILS

PROJECT NUMBER:
XX.XX
DRAWN: KSM
CHECKED: PMP
DATE: 03-12-18

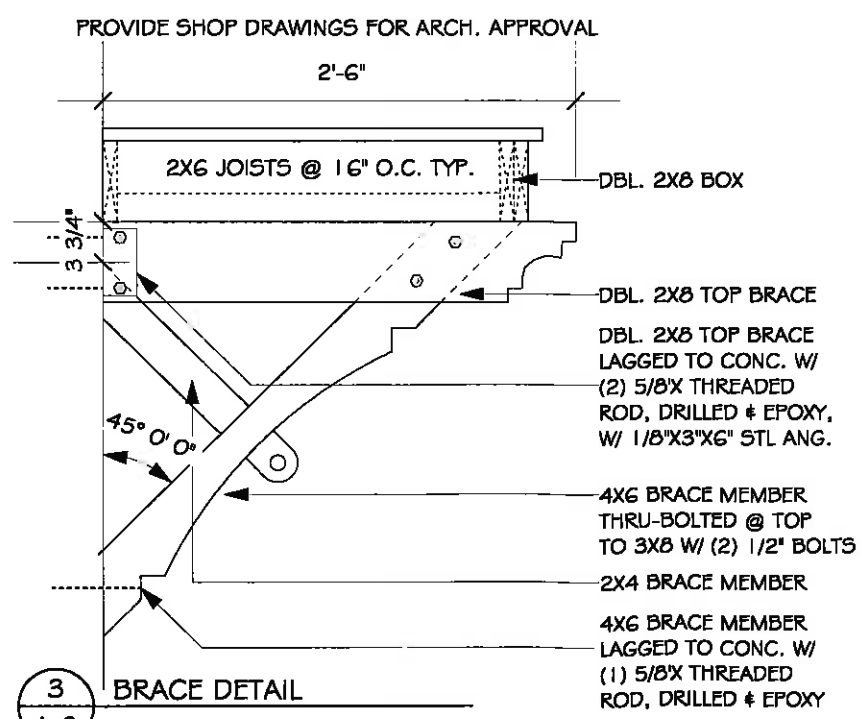
SHEET #
A-8



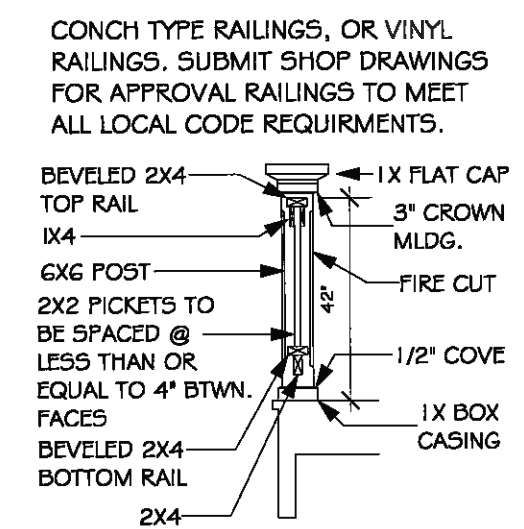
1 PIER PLAN
A-8 Scale: 1:64



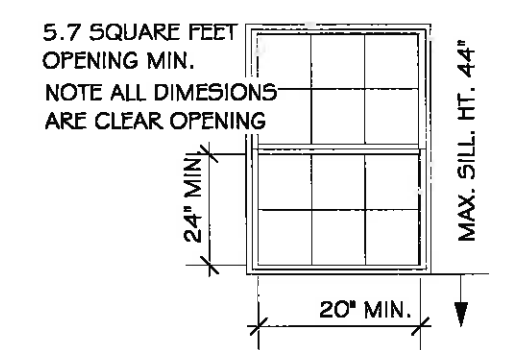
2 A.C. PAD DETAIL
A-8



3 BRACE DETAIL
A-8



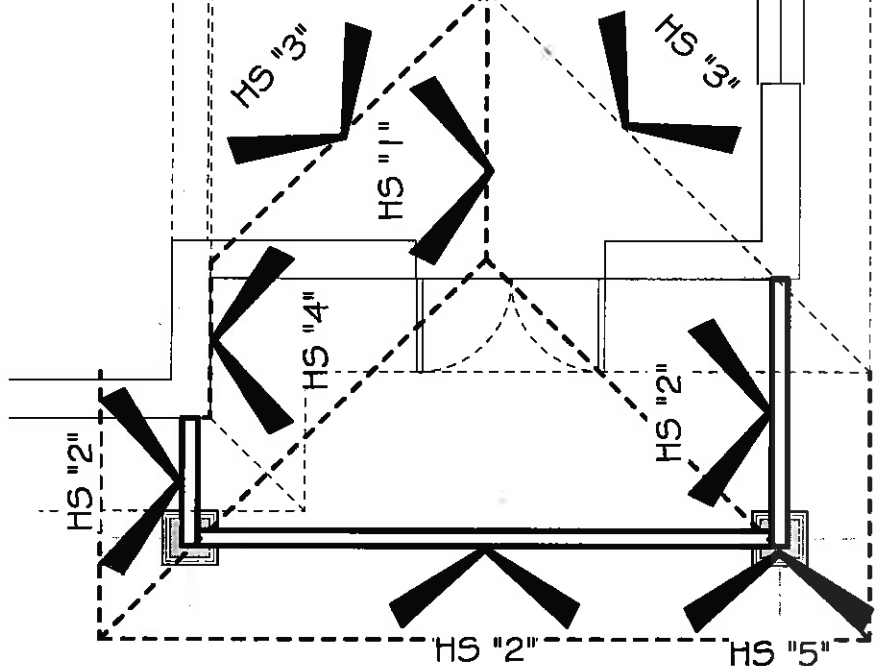
4 RAILING DETAIL
A-8



5 EGRESS WINDOW
A-8

O.H. TO MATCH EXISTING

TYP. OPEN PORCH ROOFING BUILD-UP:
 P.T. 2X8 RAFTERS @ 16" O.C., EXTERIOR
 FACE W/ 3/4" P.T. SHEATHING ATTACHED
 W/ 10d R.S. GAL. NAILS @ 6" O.C., BITU-
 THANE MEMBRANE, # 22 GA. "V-CRIMP"
 OVERHANGS & EAVE TRIM TO MATCH EXIST.



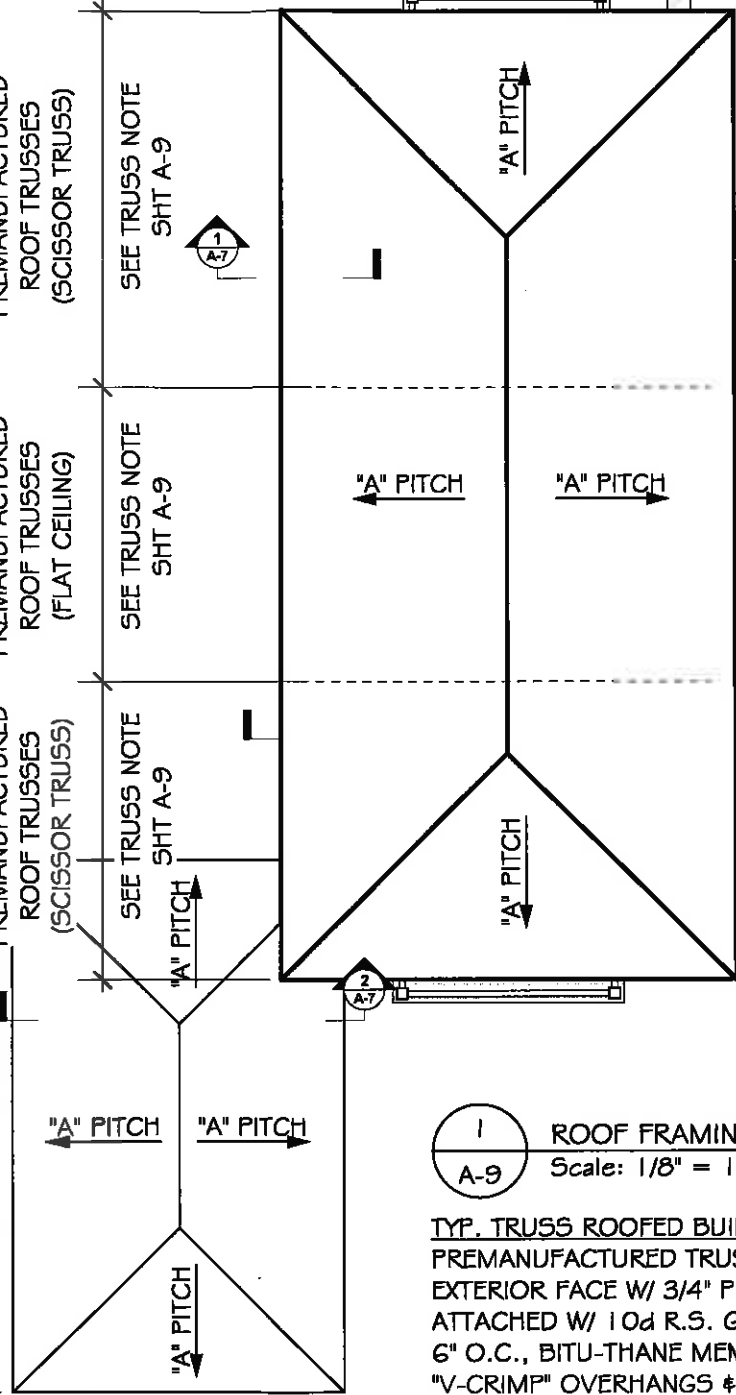
FRAMING NOTES:
 *ALL RAFTERS TO BE P.T. 2X8 @ 16" O.C.
 *ALL RIDGES & HIPS TO BE P.T. 2X10
 *ALL PLATES AT NEW RAFTER TAIL OVERFRAMING
 TO BE P.T. 2X10
 *HURRICANE TIE DOWNS AS NOTED ON PLAN

- HS-1 RAFTER/RIDGE/RAFTER CONNECTION: SIMPSON ST-18 OR EQUAL
- HS-2 RAFTER/4X10 CONNECTION: SIMPSON ETA-12 OR EQUAL
- HS-3 RAFTER/OVERFRAME PLATE CONNECTION: SIMPSON A-35 OR EQUAL
 NOTE: 2X10 OVERFRAME PLATE TO BE LAGGED TO EXISTING RAFTERS W/
 (2) 3/8" X 5" LAG SCREWS @ EA. EXIST. RAFTER LOCATION.
- HS-4 RAFTER/EXISTING RAFTER PLATE CONNECTION: SIMPSON ETA-12 OR EQUAL
- HS-5 4X10/ COLOUMN CONNECTION: 1/4" WELDED METAL BUCKET 3/4" DIA.
 THRU BOLTS S.S. - WELDED PLUNGE STUD AT BASE OF PLATE

2 OPEN PORCH ROOF FRAMING PLAN
 Scale: 1/4" = 1'-0"

PREMANUFACTURED ROOF TRUSSES
 (FLAT CEILING)

PREMANUFACTURED ROOF TRUSSES
 (SCISSOR TRUSS)



1 ROOF FRAMING PLAN
 Scale: 1/8" = 1'-0"

TYP. TRUSS ROOFED BUILD-UP:
 PREMANUFACTURED TRUSS @ 24" O.C.,
 EXTERIOR FACE W/ 3/4" P.T. SHEATHING
 ATTACHED W/ 10d R.S. GAL. NAILS @
 6" O.C., BITU-THANE MEMBRANE, # 22 GA.
 "V-CRIMP" OVERHANGS & EAVE TRIM TO
 MATCH EXIST.

TRUSS NOTES:

PREMANUFACTURED ROOF TRUSSES ALLOW FOR
 180 M.P.H. WIND LOADING

ROOF TRUSS UPLIFT TO BE CALCULATED BY TRUSS
 SUPPLIER:
 SIMPSON ETA 24 OR EQUAL (0-1000 LBS. UPLIFT)
 SIMPSON PA28 OR EQUAL (1000-3500)
 (2) SIMPSON PA28 OR EQUAL (3500-7000)
 SEE ENGINEER IF UPLIFT EXCEEDS 7000 LBS.
 ATTACH AT EACH END OF TRUSS MEMBERS

MANUFACTURER OF TRUSSES TO PROVIDE
 ENGINEERED / SEALED SHOP DRAWINGS PRIOR
 TO FABRICATION TO ARCHITECT FOR APPROVAL.

EXISTING PITCH "A"

EXISTING PITCH "B"

CRICKET TO BE DETERMINED IN FIELD

SEE ENLARGED DETAIL
 2 OF SHT. A-9 FOR
 ROOF FRAMING DETAILS.

"B" PITCH

"B" PITCH

"B" PITCH

"B" PITCH

DECK ABOVE ENTRY
 1/8" PITCH

2/12 CRICKET

3 A-9

REVISIONS:	DATE



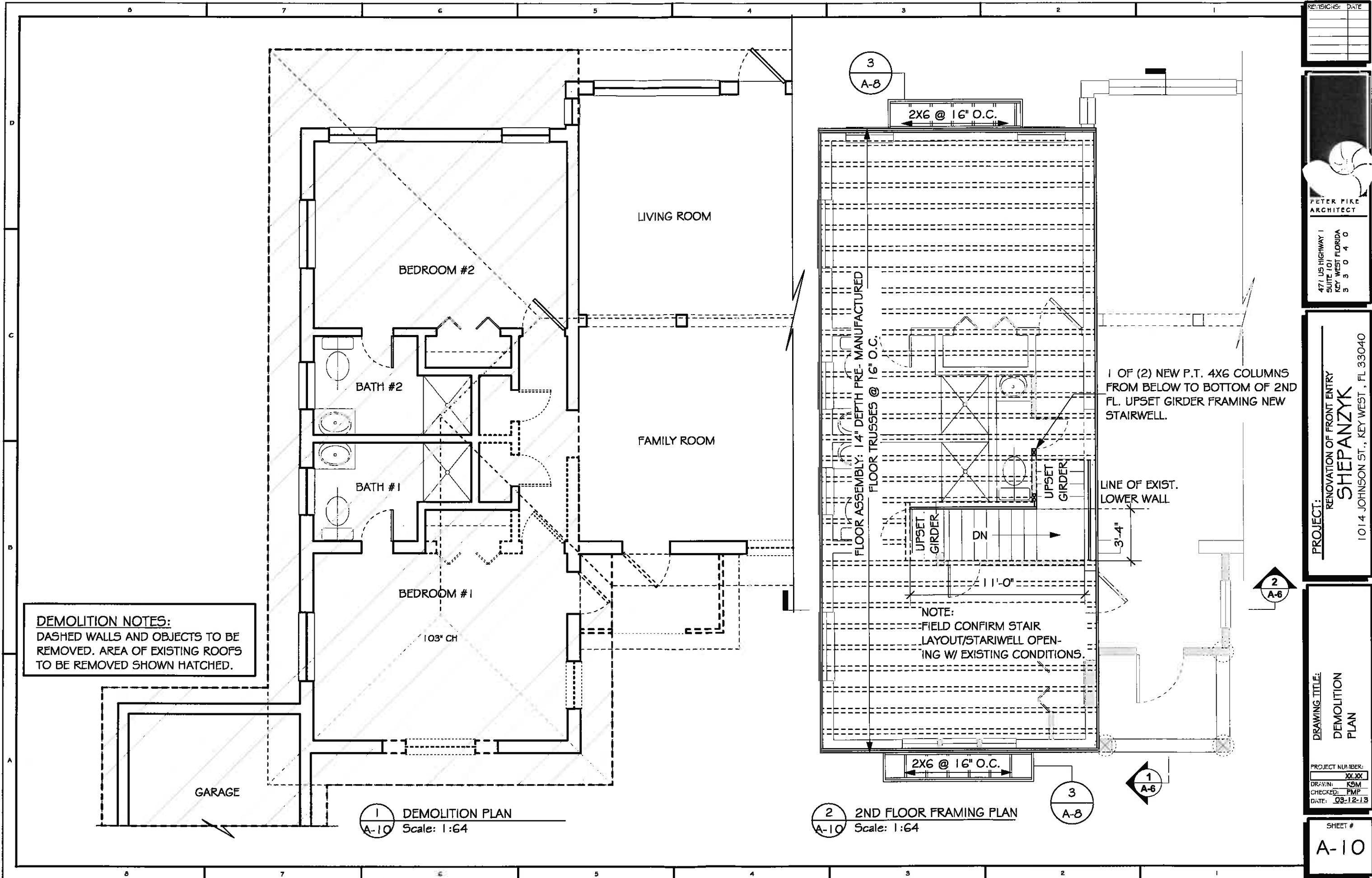
471 US HIGHWAY 1
SUITE 101
KEY WEST FLORIDA
33040

PROJECT: RENOVATION OF FRONT ENTRY
SHEPANZYK
1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE:
DEMOLITION
PLAN

PROJECT NUMBER:
XX.XX
DRAWN: KSM
CHECKED: PMP
DATE: 03-12-13

SHEET #
A-10



DEMOLITION NOTES:
DASHED WALLS AND OBJECTS TO BE REMOVED. AREA OF EXISTING ROOFS TO BE REMOVED SHOWN HATCHED.

1 DEMOLITION PLAN
A-10 Scale: 1:64

2 2ND FLOOR FRAMING PLAN
A-10 Scale: 1:64

REVISIONS:	DATE



PETER PIKE
ARCHITECT
471 US HIGHWAY 1
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KEY WEST FLORIDA
33040

PROJECT: RENOVATION OF FRONT ENTRY
SHEPANZYK
1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE:
ELECTRICAL PLANS

PROJECT NUMBER:
XX.XX
DRAWN: KSM
CHECKED: PMP
DATE: 03-12-13

SHEET #
A-11

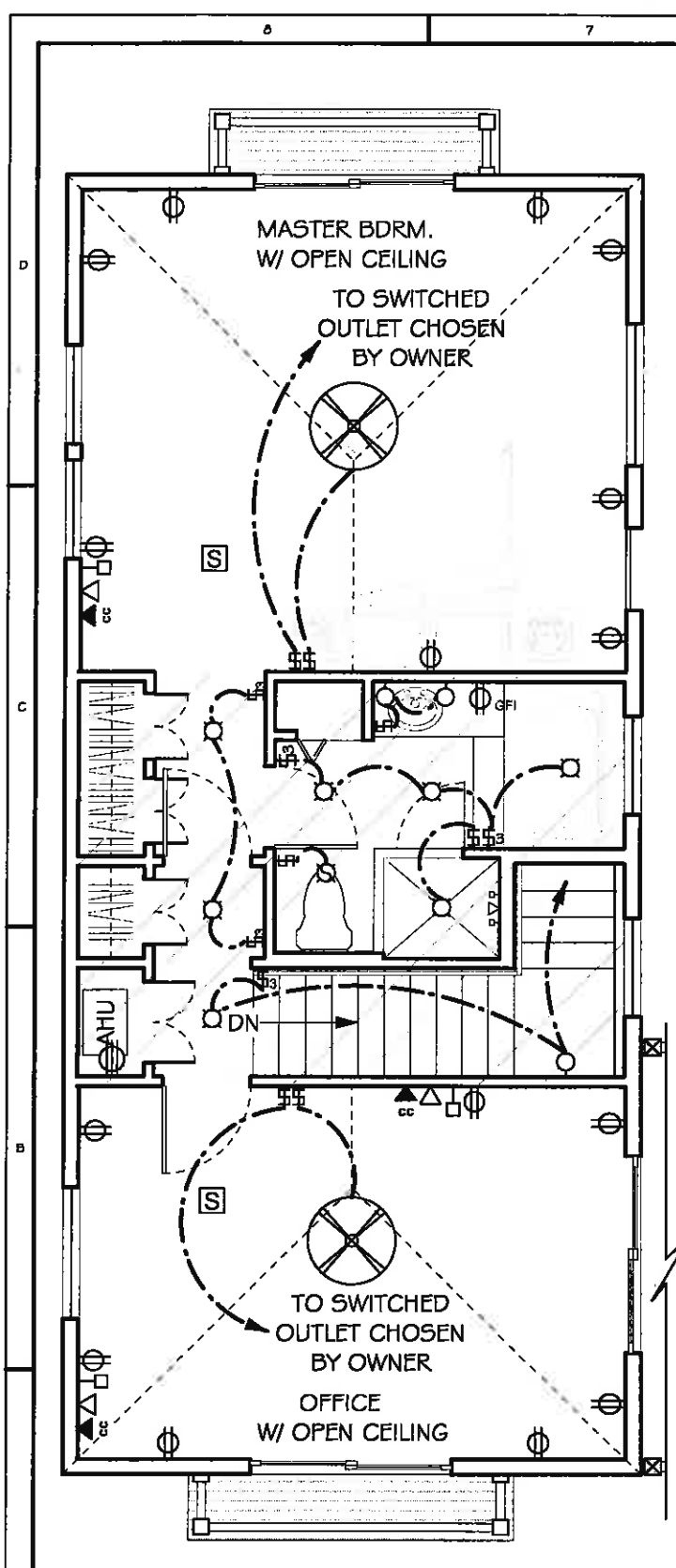
GENERAL LIGHTING LOAD BY OCCUPANCY
(FROM TABLE 220-2 -B DWELLINGS) @ 3w/5.FT.
NON-CONTINUOUS LOADS
3 X 2465 SQ. FT7,395 WATTS
RANGE / OVEN.....4500 WATTS
REFRIGERATOR.....1500 WATTS
DISHWASHER.....1500 WATTS
10 APPLIANCE CIRCUITS @ 150015000 WATTS
MICROWAVE OVEN.....1500 WATTS
HOT WATER HEATER (2).....8000 WATTS
GARBAGE DISPOSAL.....1500 WATTS
TOTAL NON-CONTINUOUS LOADS.....40,895 WATTS
1ST 10KW @ 100%.....10,000 WATTS
REMAINDER @ 40% 30,895 X .40.....12,358 WATTS
CONTINUOUS LOADS
HEAT STRIP #1 @ 5,000 X 1.25 6,250 WATTS
HEAT STRIP #2 @ 5,000 X 1.25 6,250 WATTS
TOTAL DEMAND LOAD 34,858 WATTS
MIN. REQUIRED SERVICE =34,858 WATTS / 240V= 145 AMPS
USE / CONFIRM 200 AMP HOUSE PANEL
(EXIST.30 AMP. SUB-PANEL FOR EXIST. POOL EQ.)
(200 AMP SERVICE)
ELECTRICAL LOAD CALCULATIONS

1ST FLOOR ELECTRICAL NOTE:
NEW ELECTRICAL SHOWN ONLY,
EXISTING ELECTRICAL TO REMAIN,
OR BE UPGRADED AS NECESSARY.

NOTE:
ALL SMOKE DETECTORS TO BE HARD WIRED W/ BATTERY BACKUP

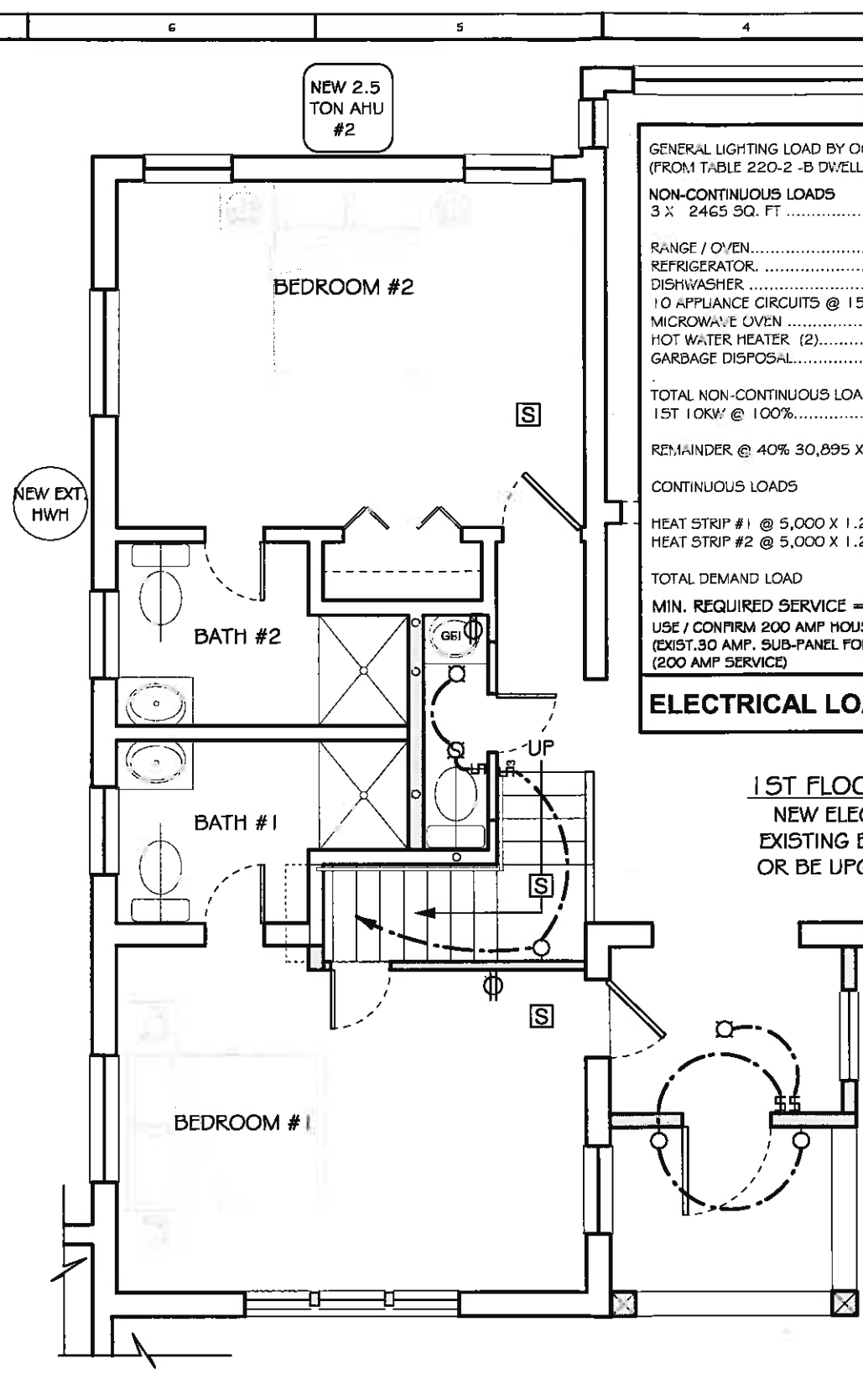
ELECTRICAL SYMBOL LEGEND		ELECTRICAL SYMBOL LEGEND		ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ELECT. PANEL		CEILING FIXTURE		CENTRAL VAC.
	FLOOR RECEPTACLE		WALL LIGHT		REC. DOWNLIGHT (#'S INDICATE SIZE)
	DUPLEX RECEPTACLE		EXT. WALL MT. LIGHT FIXTURE		CLOCK OUTLET
	220 RECEPTACLE		EXHAUST FAN/LIGHT		ADJ. WALL WASHER
	G. F. I. RECEPTACLE		SWITCH		SURFACE MOUNTED FIXTURE W/ EXHAUST
	SWITCHED RECEPTACLE		DIMMER SWITCH		PENDANT LIGHT
	COUNTER HT. REC.		DEDICATED CIRCUIT		SURFACE MOUNTED PORCH LIGHT
	QUAD. RECEPTACLE		JAMB SW. LIGHT		CABLE CONNECTION
	TELEVISION		3-WAY & ETC.		
	SMOKE DETECTOR		SPEAKER		
	TELEPHONE		CEILING FAN		

NOTE: CONTRACTOR TO VERIFY ELECTRICAL LOAD AND FIXTURE WATTAGE.



2 2ND FLOOR ELECTRICAL PLAN
A-11 Scale: 1:64

NOTE:
ALL SMOKE DETECTORS TO BE HARD WIRED W/ BATTERY BACKUP



1 1ST FLOOR ELECTRICAL PLAN
A-11 Scale: 1:64

REVISION	DATE

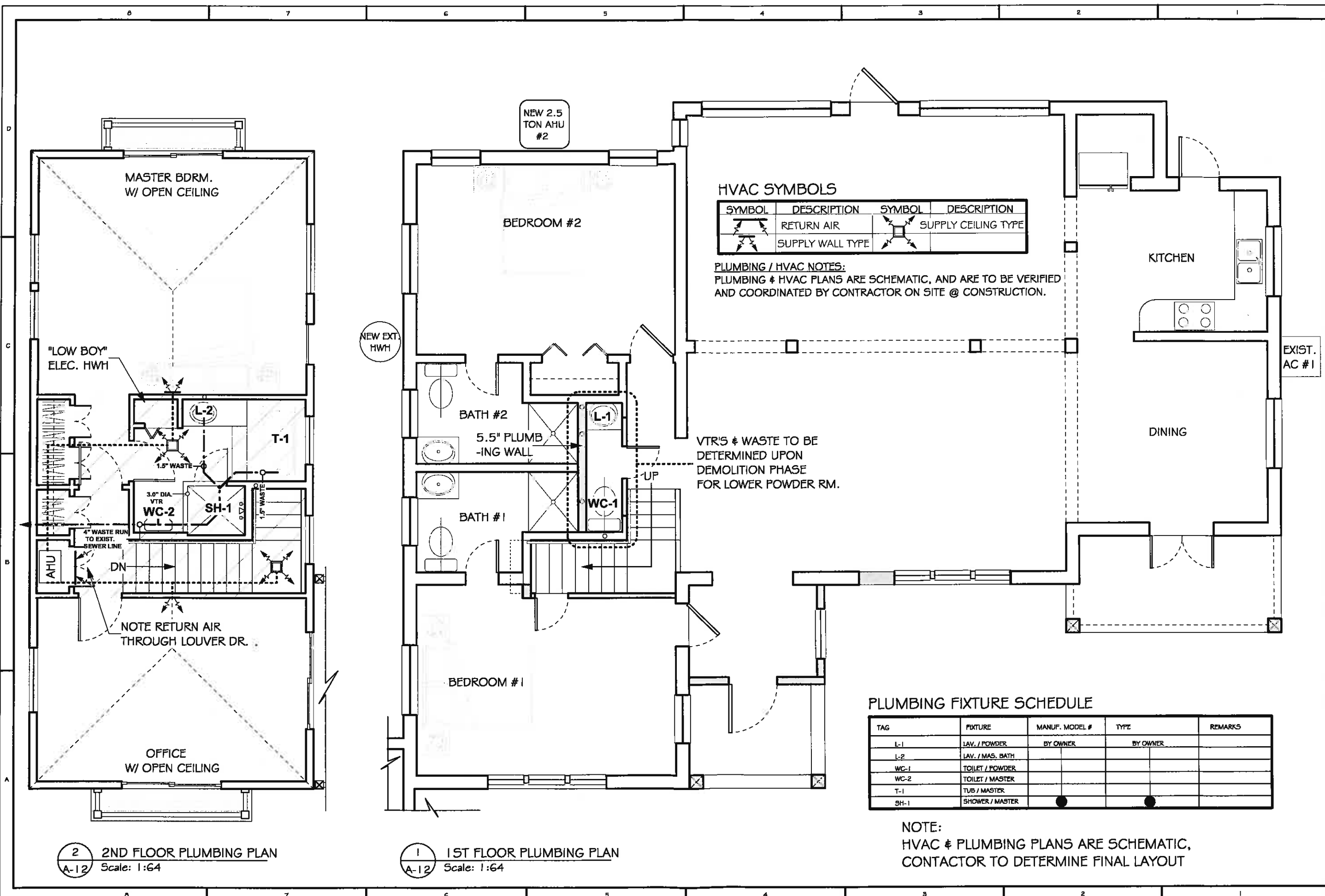
PETER PIKE ARCHITECT
 471 US HIGHWAY 1
 SUITE 101
 KEY WEST FLORIDA
 33040

PROJECT: RENOVATION OF FRONT ENTRY
SHEPANZYK
 1014 JOHNSON ST., KEY WEST, FL 33040

DRAWING TITLE:
PLUMBING & HVAC PLANS

PROJECT NUMBER:
 XX XX
 DRAWN: KSM
 CHECKED: FMP
 DATE: 03-12-13

SHEET #
A-12



HVAC SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	RETURN AIR		SUPPLY CEILING TYPE
	SUPPLY WALL TYPE		

PLUMBING / HVAC NOTES:
 PLUMBING & HVAC PLANS ARE SCHEMATIC, AND ARE TO BE VERIFIED AND COORDINATED BY CONTRACTOR ON SITE @ CONSTRUCTION.

VTR'S & WASTE TO BE DETERMINED UPON DEMOLITION PHASE FOR LOWER POWDER RM.

PLUMBING FIXTURE SCHEDULE

TAG	FIXTURE	MANUF. MODEL #	TYPE	REMARKS
L-1	LAV. / POWDER	BY OWNER	BY OWNER	
L-2	LAV. / MAS. BATH			
WC-1	TOILET / POWDER			
WC-2	TOILET / MASTER			
T-1	TUB / MASTER			
SH-1	SHOWER / MASTER			

NOTE:
 HVAC & PLUMBING PLANS ARE SCHEMATIC, CONTRACTOR TO DETERMINE FINAL LAYOUT

2 2ND FLOOR PLUMBING PLAN
 A-12 Scale: 1:64

1 1ST FLOOR PLUMBING PLAN
 A-12 Scale: 1:64

Property Appraiser Information

Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

The offices of the Property Appraiser will be closed **Thursday**
July 4th for Independence Day. Website tested on IE8,
IE9, & Firefox. Requires Adobe Flash
10.3 or higher

Property Record Card -
Maps are now launching the new map application version.

Alternate Key: 1059111 Parcel ID: 00058630-000000

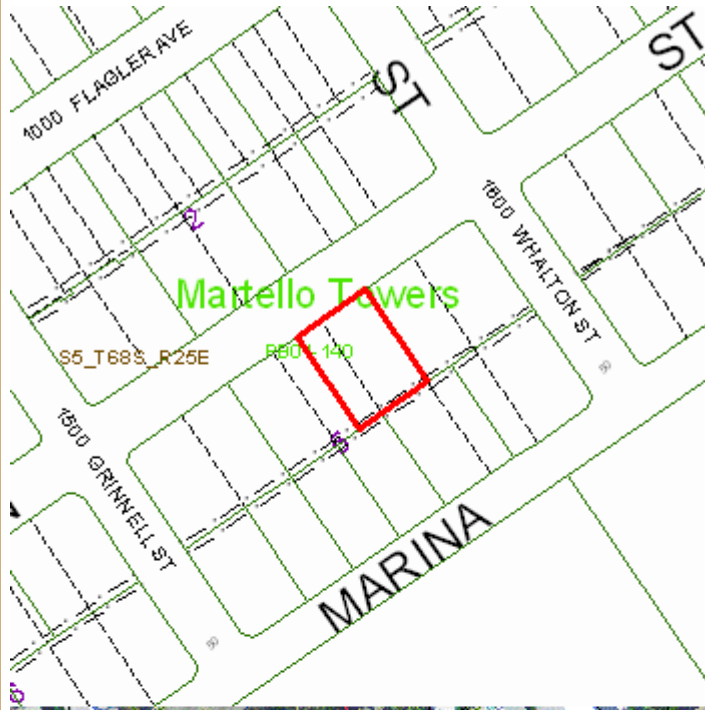
Ownership Details

Mailing Address:
SHEPANZYK DEREK AND KRISTINA
410 CANADA ST
LAKE GEORGE, NY 12845-1129

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 05-68-25
Property Location: 1014 JOHNSON ST KEY WEST
Subdivision: Martello Towers
Legal Description: KW MARTELLO TOWERS PB1-140 NELY 1/2 OF LT 4 AND ALL OF LT 5 SQR 5 TR 27 G20-323 OR454-787/88 OR2298-112 OR2298-114/115 OR2518-179D/C OR2520-962/66

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
01SD - RES SUPERIOR DRY	75	100	7,500.00 SF

Building Summary

Number of Buildings: 1

Number of Commercial Buildings: 0
 Total Living Area: 1990
 Year Built: 1953

Building 1 Details

Building Type R1
 Effective Age 17
 Year Built 1953
 Functional Obs 0

Condition G
 Perimeter 262
 Special Arch 0
 Economic Obs 0

Quality Grade 500
 Depreciation % 22
 Grnd Floor Area 1,990

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP
 Heat 1 NONE
 Heat Src 1 NONE

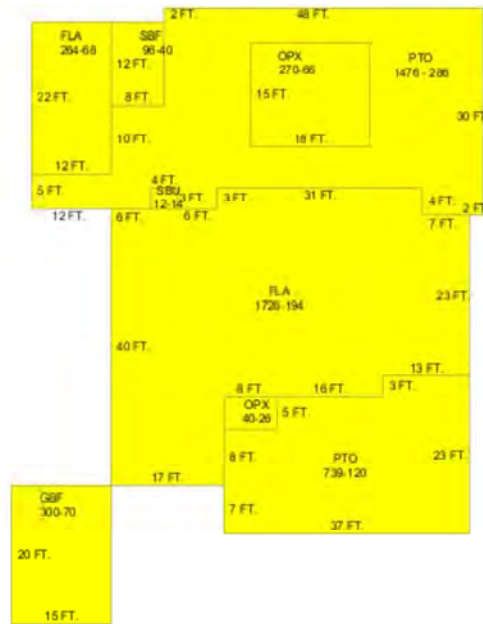
Roof Cover METAL
 Heat 2 NONE
 Heat Src 2 NONE

Foundation CONCR FTR
 Bedrooms 3

Extra Features:

2 Fix Bath 0
 3 Fix Bath 2
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 1
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	5:C.B.S.	1	1952	N	Y	0.00	0.00	1,726
2	PTO	5:C.B.S.	1	1952	N	Y	0.00	0.00	739
3	OPX	5:C.B.S.	1	1952	N	Y	0.00	0.00	40
4	GBF	5:C.B.S.	1	1952	N	Y	0.00	0.00	300
5	FLA	5:C.B.S.	1	1969	N	Y	0.00	0.00	264

6	SBF	1	1989	N	Y	0.00	0.00	96
7	SBU	1	1969	N	Y	0.00	0.00	12
8	OPX	1	1989	N	Y	0.00	0.00	270
9	PTO	1	1994	N	Y	0.00	0.00	1,476

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT3:PATIO	288 SF	0	0	1952	1953	2	50
2	PT2:BRICK PATIO	816 SF	0	0	1975	1976	1	50
3	FN2:FENCES	540 SF	0	0	1975	1976	4	30
4	PT5:TILE PATIO	1,334 SF	23	58	1952	1953	3	50
5	FN2:FENCES	48 SF	8	6	1985	1986	2	30
6	PT2:BRICK PATIO	126 SF	21	6	1999	2000	2	50

Appraiser Notes

2010-12-20 MLS \$999,999 3/3 SITUATED IN THE MOST PRESTIGIOUS, UPSCALE BLOCK OF JOHNSON ST IN THE CASA MARINA DISTRICT, THIS 2 BEDROOM HOME WITH GUEST COTTAGE AWAITS YOUR PERSONAL TOUCHES. THE LARGE 7500 SQ FT LOT AND COVERED PATIO LEAVES ENDLESS POSSIBILITIES FOR LUSH EXTENSIVE GARDENS. FIREPLACE IN LIVING ROOM, SUN ROOM LADEN WITH CUBAN TILE, GUEST COTTAGE HAS SEPARATE ENTRANCE AND ATTACHED ADDITIONAL ROOM THAT SERVES AS STORAGE/WORKSHOP, GARAGE FOR OFF-STREET PARKING. QUIET NEIGHBORHOOD AND ONE WAY STREET LENDS FOR MINIMAL TRAFFIC. JUST A SHORT STROLL TO THE CASA MARINA RESORT AND BEACH CLUB/WALDORF ASTORIA COLLECTION, OR THE NEARBY WHITE STREET PIER TO ENJOY THE BEAUTIFUL OCEAN BREEZE AND BEACH. ALSO, JUST A 10 MINUTE WALK TO DUVAL ST. THIS LOCATION HAS IT ALL

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
1	12-4090	11/29/2012	26,000	Residential	DEMO EXISTING COVERED PORCH & BUILD NEW COVERED PORCH AS PER PLANS. DEMO EXISTING ROOF ON REAR STORAGE BUILDING & BUILD NEW GABLE END ROOF ON EXISTING BUILDING. ADD GABLE END AND 2 HIP ROOFS TO FRONT STRUCTURE; ADD SLAB ON GRADE
1	12-2169	06/18/2012	9,750	Residential	REMOVE EXISTING WINDOWS (3) INSTALL ONE PR. 6'0" FRENCH DOORS WITH TWO (2) 18" SIDE LIGHTS. REMOVE EXISTING TWO (2) WINDOWS & INSTALL PR. 4'0" TWO (2) FRENCH DOORS.
1	13-0119	01/11/2013	3,898	Residential	INSTALL 525 SQ/FT (5 1/4 SQS) OF 26G GALVALUME V-CRIMP METAL ROOFING ON REFURBISHED GUEST HOUSE.
1	13-0159	01/14/2013	400	Residential	WIRING OF GAZEBO AND ONE ROOM ADDITION ON POOL HOUSE. GAZEBO: TWO RECP., CEILING FANS W/LIGHT ON SWITCH. ROOM ADDITION: FOUR RECP., ONE CEILING FAN AND OUTDOOR LIGHT ON SWITCH.
1	13-0119	01/31/2013	7,770	Residential	INSTALL 500 S.F. OF 26G GALVALUME V-CRIMP METAL ROOFING ON THE REBUILT GAZEBO
1	13-1187	04/08/2013	80,000	Residential	NEW 2ND STORY ADDITION (BEDROOM, BATHROOM, CLOSET, OFFICE), NEW FIRST LEVEL PORCH @ ENTRY WAY AS PER PLANS.
1	B943540	10/01/1994	12/01/1994	2,000	NEW DRYWALL CEILING/ETC

1	9604050	10/01/1996	12/01/1996	650	ROOF
1	9701705	05/01/1997	11/01/1997	900	EMERGENCY UPGRADE 200 AMP
1	9901881	06/04/1999	08/02/1999	4,805	CENTRAL A/C
1	9902049	06/16/1999	08/02/1999	675	ELECTRICAL
1	02-2400	09/03/2002	10/29/2002	7,500	METAL ROOF

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2012	228,265	10,950	534,138	773,353	773,353	0	773,353
2011	263,181	10,969	606,975	881,125	871,903	30,000	841,904
2010	265,150	10,988	564,435	840,573	840,572	30,000	810,573
2009	289,302	11,007	765,123	1,065,432	1,040,706	30,000	1,010,706
2008	265,990	11,026	712,500	989,516	989,516	30,000	959,516
2007	326,361	11,045	712,500	1,049,906	316,702	25,500	291,202
2006	538,993	11,064	750,000	1,300,057	284,753	25,500	259,253
2005	724,136	11,189	360,000	1,095,325	299,979	25,500	274,479
2004	389,725	11,313	360,000	761,039	291,242	25,500	265,742
2003	441,689	11,443	202,500	655,632	285,812	25,500	260,312
2002	357,432	11,575	202,500	571,507	279,114	25,500	253,614
2001	256,272	11,705	202,500	470,477	274,719	25,000	249,719
2000	273,132	9,030	153,750	435,912	266,718	25,000	241,718
1999	221,140	4,000	153,750	378,890	259,021	25,000	234,021
1998	195,659	3,612	153,750	353,021	254,942	25,000	229,942
1997	194,865	3,685	138,750	337,300	250,681	25,000	225,681
1996	122,357	2,360	138,750	263,467	243,380	25,000	218,380
1995	111,481	2,193	138,750	252,424	237,444	25,000	212,444
1994	90,635	1,817	138,750	231,202	231,202	25,000	206,202
1993	87,217	2,669	138,750	228,636	228,636	25,000	203,636
1992	87,217	2,669	138,750	228,636	228,636	25,000	203,636
1991	87,217	2,669	138,750	228,636	228,636	25,000	203,636
1990	92,703	2,936	106,875	202,513	202,513	25,000	177,513
1989	84,275	2,669	105,000	191,944	191,944	25,000	166,944
1988	45,792	2,669	97,500	145,961	145,961	25,000	120,961
1987	45,269	2,669	65,246	113,184	113,184	25,000	88,184
1986	45,504	2,669	62,865	111,038	111,038	25,000	86,038
1985	43,760	2,669	38,850	85,279	85,279	25,000	60,279
1984	41,187	2,669	38,850	82,706	82,706	25,000	57,706
1983	41,187	2,669	38,850	82,706	82,706	25,000	57,706
1982	41,975	2,669	38,850	83,494	83,494	25,000	58,494

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/31/2011	2520 / 962	888,000	WD	02
2/1/1970	454 / 787	35,000	00	Q ...

This page has been visited 18,786 times.

Monroe County Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176

Public Notices
(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing at 6:00 pm, July 24, 2013 at Old City Hall, 510 Greene Street, Key West, Florida, (Behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Variations – 1014 Johnson Street (RE# 00058630-000000, AK# 10159111) - A request for variations to building coverage, front, side and rear-yard setback requirements and detached habitable space to construct a second story addition on the primary structure and renovate an existing structure for use as a satellite bedroom in the SF zoning district per Sections 122-28, 122-238 and 122-1078 of the Land Development Regulations of the Code of Ordinances of the City of Key West.

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3720 or visit our website at www.keywestcity.com.

YOU ARE WITHIN 300 FEET OF THE SUBJECT PROPERTY

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Applicant: PETER PIKE **Owner:** DEREK and KRISTINA SHEPANZYK
Project Location: 1014 Johnson Street
Date of Hearing: Wednesday, July 24, 2013 **Time of Hearing:** 6:00 PM
Location of Hearing: Old City Hall, 510 Greene, City Commission Chambers

Interested parties may appear at the public hearing and be heard with respect to the applications. Packets can be viewed online at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to the Planning Department, PO Box 1409, Key West, FL 33041-1409 , by FAX (305) 809-3978 or by email to Jo Bennett at jbennett@keywestcity.com.

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3951 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

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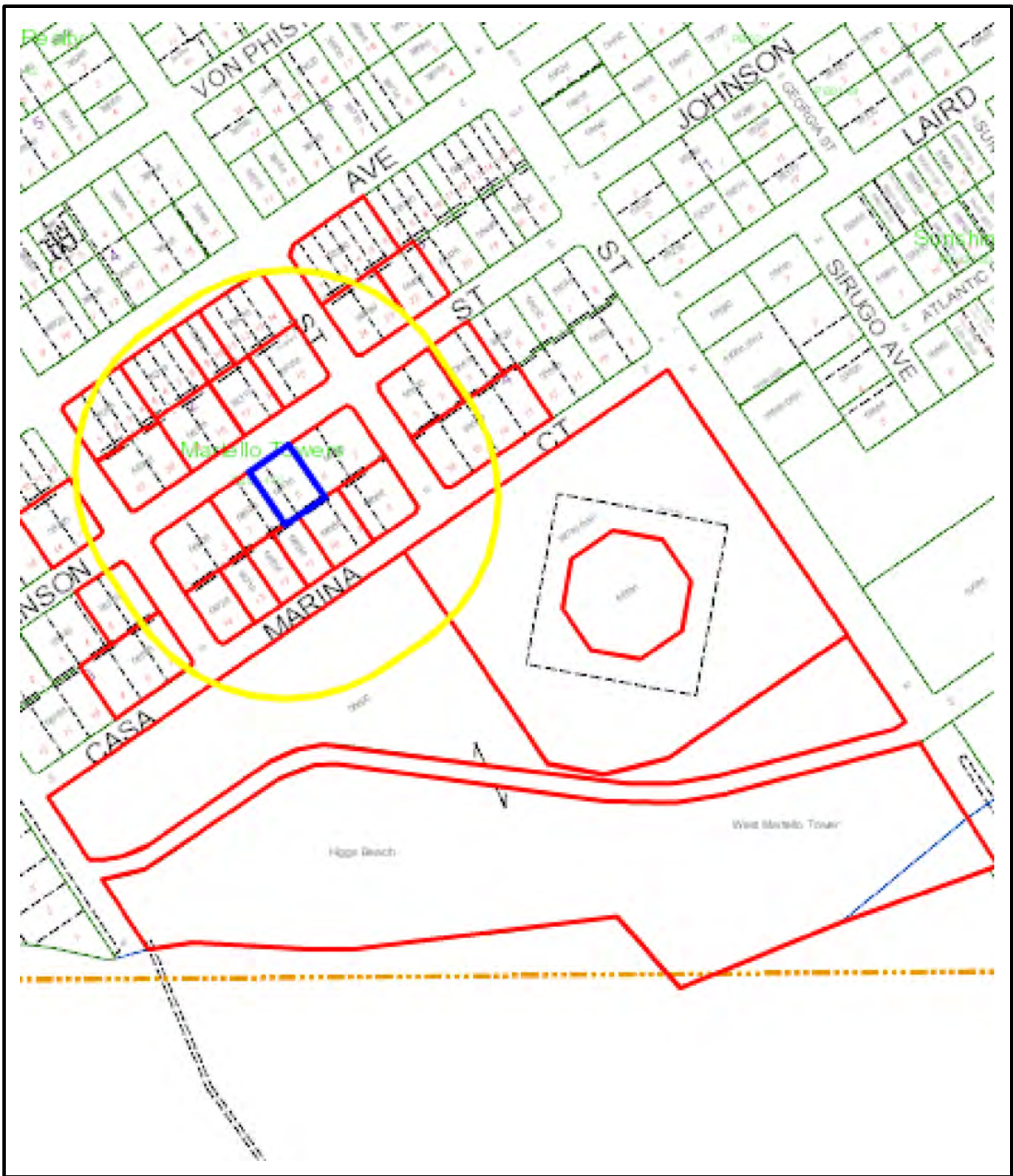
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Monroe County, Florida

MCPA GIS Public Portal

Printed: Jul 02, 2013

DISCLAIMER: The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.



NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
1 JOHNSON FAMILY TRUST	4677 HAMMOCK CIR		DELRAY BEACH	FL	33445-5318	
2 BLUM CYNTHIA	1111 JOHNSON ST		KEY WEST	FL	33040-4827	
3 SLAVEN JAMES ANDREW	21127 SHURLEY DR		GROSSE ILE	MI	48138	
4 GROSSMAN LYNN REV TR	1016 FLAGLER AVE		KEY WEST	FL	33040-4816	
5 WOODWARD ROBERT & ELIZABETH	1000 JOHNSON ST		KEY WEST	FL	33040	
6 STEARNS JEAN	1015 CASA MARINA CT		KEY WEST	FL	33040-4873	
7 LUJAN LAUREN L	903 CASA MARINA CT		KEY WEST	FL	33040	
8 NICOWSKI HENRY & JANICE REV LIV TR	1003 CASA MARINA CT		KEY WEST	FL	33040-4873	
9 WOLKOWSKY DAVID W LIV TR	PO BOX 1429		KEY WEST	FL	33041-1429	
10 EVANS PEYTON BIBB	1507 GRINNELL ST		KEY WEST	FL	33040-4823	
11 FLOYD JULIE ANN	PO BOX 5294		KEY WEST	FL	33045-5294	
12 COKER FITZ LEE H REV TR	6533 JACKSON CREEK RD		BOZEMAN	MT	59715	
13 WILSON CHARLOTTE M	1007 CASA MARINA CT		KEY WEST	FL	33040-4873	
14 HENRY KENT JOHN	1022 FLAGLER AVE		KEY WEST	FL	33040	
15 BUCY JEANNE NAVARRO	1100 JOHNSON ST		KEY WEST	FL	33040-4828	
16 TAYLOR RICHARD & RHONDA	150 E PONCE DE LEON AVE STE 120		DECATUR	GA	30030-2553	
17 ALEA DAVID JOSE DEC TRUST	1025 JOHNSON ST		KEY WEST	FL	33040-4825	
18 HALTERMAN JERRY L	1025 CASA MARINA CT		KEY WEST	FL	33040-4873	
19 ROBINSON NIKKI SOLITA	1012 JOHNSON ST		KEY WEST	FL	33040-4826	
20 BLUME JUDY	1100 FLAGLER AVE		KEY WEST	FL	33040	
21 COBO LUIS & ANA	1101 JOHNSON ST		KEY WEST	FL	33040-4827	
22 KRAUSE H PETER	1023 JOHNSON ST		KEY WEST	FL	33040	
23 MCCOOK ANNETTE M	1019 CASA MARINA CT		KEY WEST	FL	33040	
24 SHEPANZYK DEREK & KRISTINA	410 CANADA ST		LAKE GEORGE	NY	12845-1129	
25 MANSOUR PAUL & HEATHER	920 JOHNSON ST		KEY WEST	FL	33040-4746	
26 BARNABY ALAN RAY & TAMARA	4527 REBEL VALLEY VW SE		ATLANTA	GA	30339-5349	
27 COLLIGAN JAMES J	1101 CASA MARINA CT		KEY WEST	FL	33040-4838	