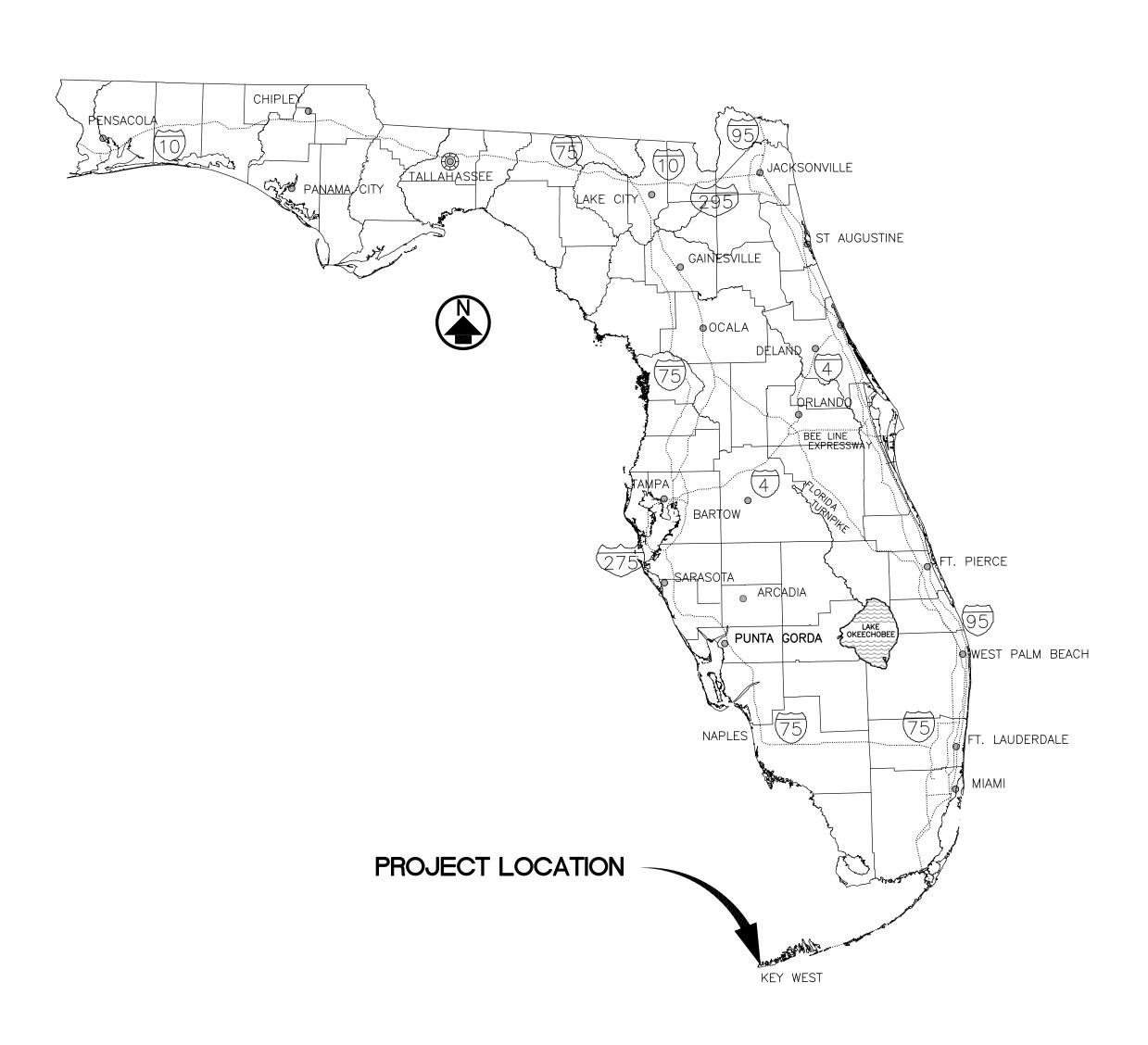
pguarin PLOTTED THE C1.0Cover LAYOUT OF W:\2022\22072.001 Vestcor Bahama Village\DWG\Rev08\22072.001_Bahama_Village(2024—10—24).DWG, ON Oct 24, 2024 @

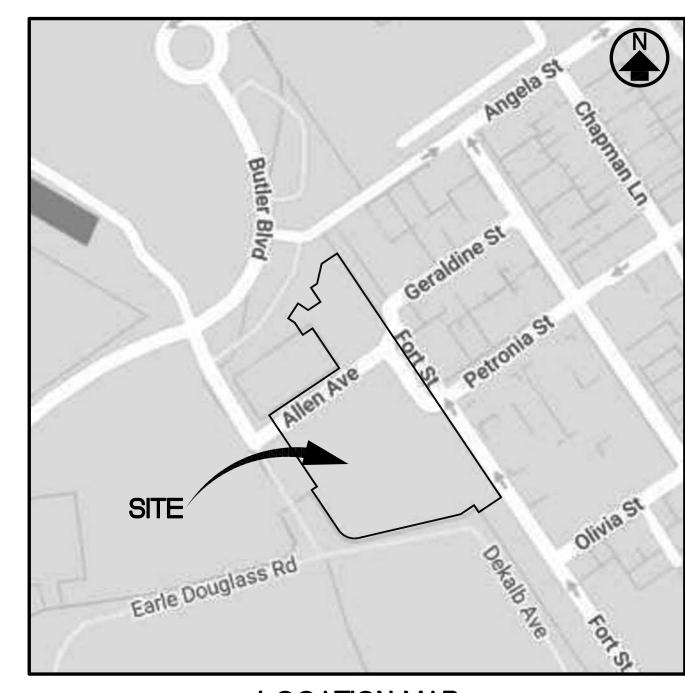
CONSTRUCTION PLANS FOR THE LOFTS AT BAHAMA VILLAGE

THE CITY OF KEY WEST
SECTION 06, TOWNSHIP 68, RANGE 25
MONROE COUNTY, FLORIDA



STATE OF FLORIDA LOCATION MAP

NOT TO SCALE



LOCATION MAP

OWNER

CITY OF KEY WEST P.O. BOX 1409 KEY WEST, FLORIDA 33041

DEVELOPER

BAHAMA VILLAGE COMMUNITY, LTD 3030 HARTLEY RD, SUITE 310 JACKSONVILLE, FLORIDA 32257 (904) 260-3030

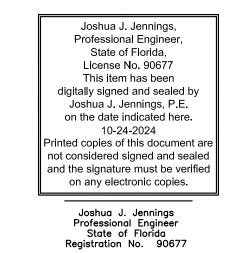
PREPARED BY

THE WEILER ENGINEERING CORPORATION 201 W. MARION AVE, SUITE 1306 PUNTA GORDA, FLORIDA 33950 (941) 505-1700

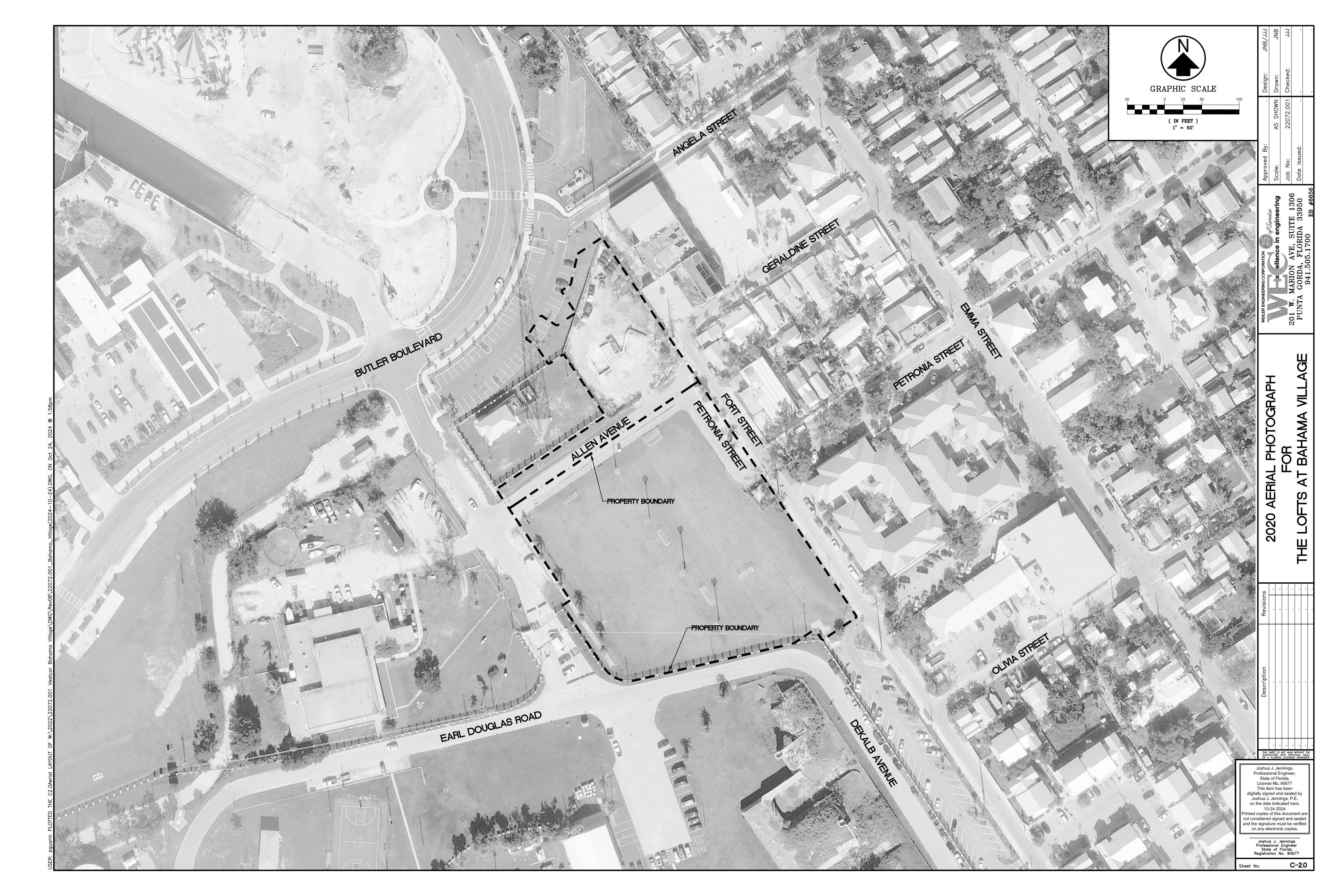


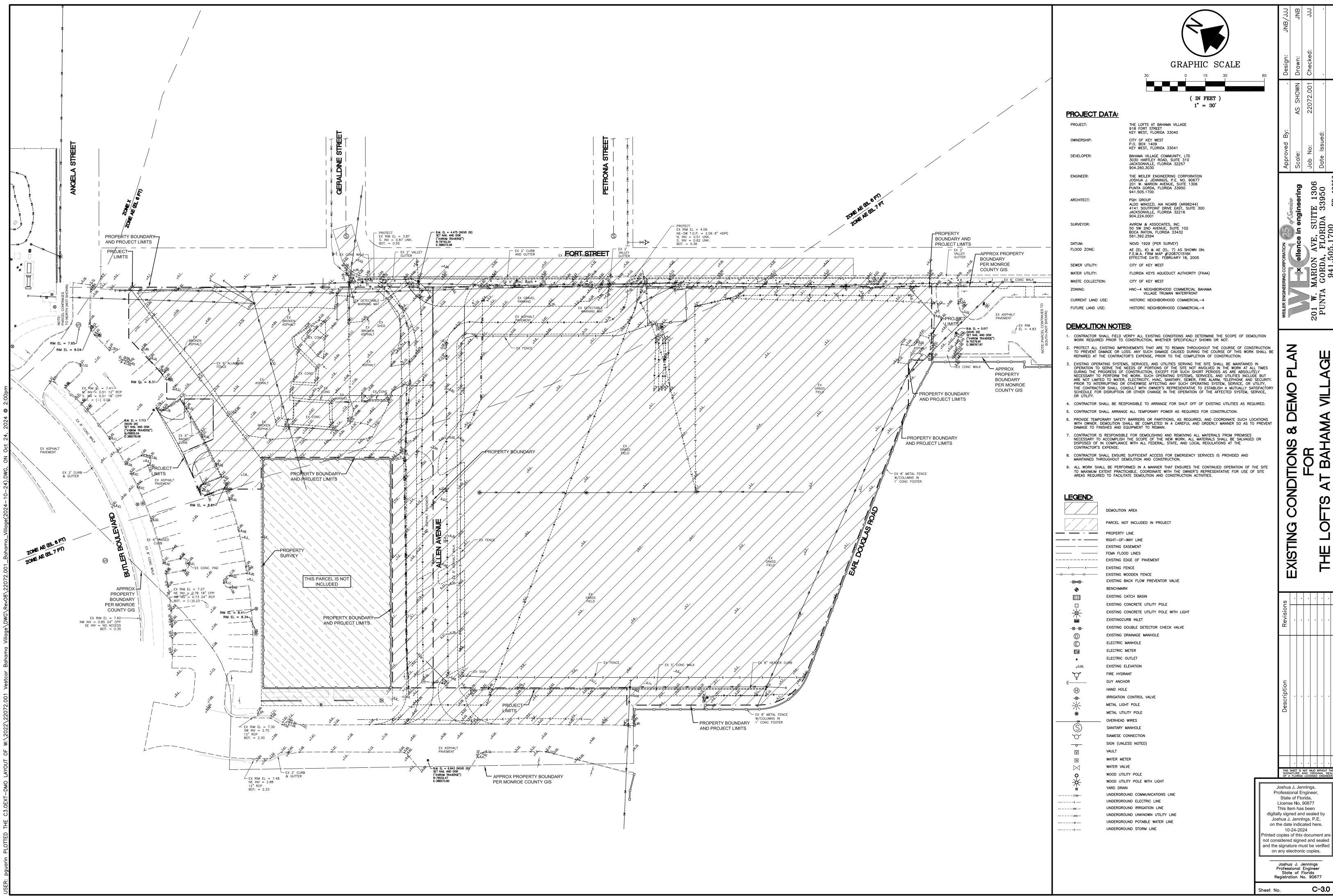
INDEX OF DRAWINGS

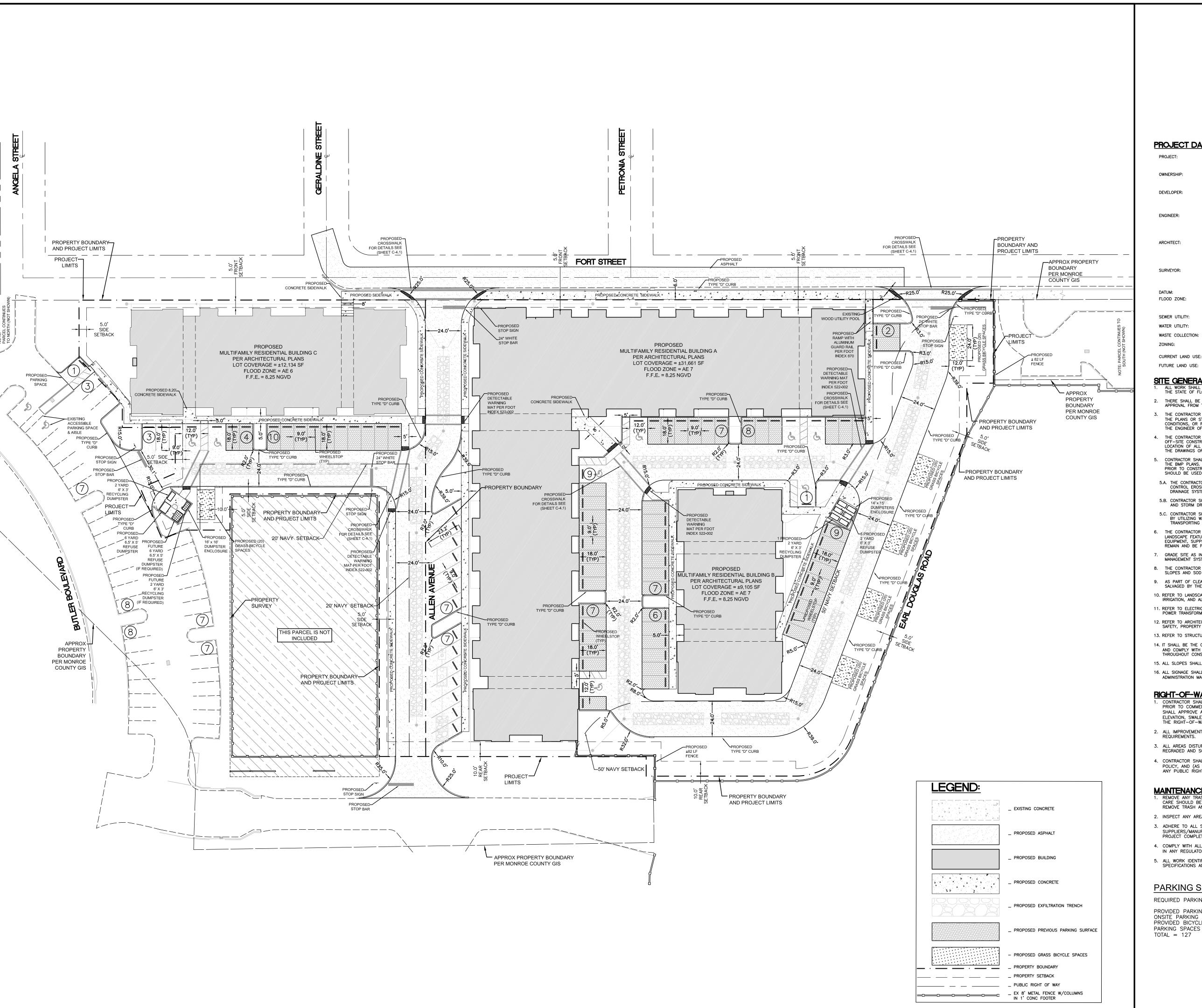
- C-1.0 COVER SHEET
- C-2.0 2020 AERIAL PHOTOGRAPH
- C-3.0 EXISTING CONDITIONS & DEMO PLAN
- C-4.0 SITE PLAN
- C-4.1 SITE DETAILS
- C-5.0 PAVING, GRADING, & DRAINAGE PLAN
- C-5.1 PAVING, GRADING, & DRAINAGE DETAILS
- C-5.2 BASIN MAP
- C-6.0 UTILITY PLAN
- C-6.1 UTILITY DETAILS
- C-6.2 UTILITY DETAILS
- C-6.3 UTILITY CONFLICT DETAIL
- C-6.4 UTILITY PLAN AND PROFILE
- C-7.0 BEST MANAGEMENT PLAN & DETAILS
- C-8.0 GENERAL NOTES & SPECIFICATIONS

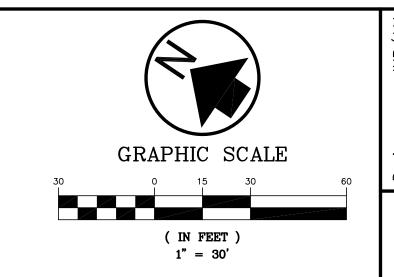












PROJECT DATA:

THE LOFTS AT BAHAMA VILLAGE 918 FORT STREET KEY WEST, FLORIDA 33040 CITY OF KEY WEST P.O. BOX 1409 KEY WEST, FLORIDA 33041 BAHAMA VILLAGE COMMUNITY, LTD 3030 HARTLEY ROAD, SUITE 310 JACKSONVILLE, FLORIDA 32257 DEVELOPER: THE WEILER ENGINEERING CORPORATION JOSHUA J. JENNINGS, P.E. NO. 90677 201 W. MARION AVENUE, SUITE 1306 PUNTA GORDA, FLORIDA 33950 941.505.1700

ARCHITECT: PQH GROUP ALDO MINOZZI, AIA NCARB (AR98244) 4141 SOUTPOINT DRIVE EAST, SUITE 300 JACKSONVILLE, FLORIDA 32216 904.224.0001

AVIROM & ASSOCIATES, INC. 50 SW 2ND AVENUE, SUITE 102 BOCA RATON, FLORIDA 33432 561.392.2594 SURVEYOR: NGVD 1929 (PER SURVEY) FLOOD ZONE: AE (EL. 6) & AE (EL. 7) AS SHOWN ON: F.E.M.A. FIRM MAP #12087C1516K EFFECTIVE DATE: FEBRUARY 18, 2005 SEWER UTILITY: CITY OF KEY WEST

WATER UTILITY: FLORIDA KEYS AQUEDUCT AUTHORITY (FKAA) WASTE COLLECTION: HNC-4 NEIGHBORHOOD COMMERCIAL BAHAMA VILLAGE TRUMAN WATERFRONT CURRENT LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

HISTORIC NEIGHBORHOOD COMMERCIAL-4 <u>SITE GENERAL NOTES :</u>

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF KEY WEST AND THE STATE OF FLORIDA.

- THERE SHALL BE NO CHANGE OR DEVIATION OF THESE PLANS OR SPECIFICATIONS UNLESS PRIOR WRITTEN APPROVAL FROM THE ENGINEER IS OBTAINED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF AND WHEN A POSSIBLE ERROR IS FOUND IN THE PLANS OR STAKED ALIGNMENT AND/OR GRADES. THE ENGINEER MAY ACCEPT, REVISE TO ACCOMMODATE CONDITIONS, OR REJECT THE FACILITY BEING CONSTRUCTED. IT IS IMPERATIVE THAT THE CONTRACTOR NOTIFY HE ENGINEER OF THESE SITUATIONS AS SOON AS POSSIBLE.
- . THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE BEGINNING OF ANY ON-SITE OR OFF-SITE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY AND REPORT THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS, WHETHER THEY ARE IDENTIFIED ON THE DRAWINGS OR NOT.
- CONTRACTOR SHALL INCLUDE IN THE BID PRICE THE COST OF EROSION CONTROL MEASURES AS SHOWN ON THE BMP PLANS. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OBSERVED DURING CONSTRUCTION BY THE CONTRACTOR. THE METHODS WHICH SHOULD BE USED INCLUDE BUT ARE NOT LIMITED TO:
- 5.A. THE CONTRACTOR SHALL UTILIZE SAND BAGS AND BALES AND/OR OTHER EROSION CONTROL METHODS TO CONTROL EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SILTATION ENTERING THE STORM DRAINAGE SYSTEM BOTH ON-SITE AND OFF-SITE.
- 5.B. CONTRACTOR SHALL PLACE ADEQUATE TEMPORARY PROTECTION AROUND ALL INLETS TO MINIMIZE DAMAGE
- 5.C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AT ALL TIMES DURING CONSTRUCTION BY UTILIZING WATER TRUCKS, ANTI-DRAFT FENCING, AND BY COVERING OPEN BODIED TRUCKS TRANSPORTING DEBRIS.
- LANDSCAPE FEATURES WHICH ARE TO BE SAVED AND/OR SALVAGED FOR RESTORATION PURPOSES. NO EQUIPMENT, SUPPLIES OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF TREES TO DEPART OF THE PROPERTY OF TREES TO SELVEN THE PROPERTY OF THE
- GRADE SITE AS INDICATED. ALL STORMWATER RUN-OFF SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM.
- 8. THE CONTRACTOR SHALL SOD ALL DRAINAGE RETENTION AND SWALE AREAS. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL, IN THE OPINION OF THE ENGINEER, GROWTH IS FIRMLY ESTABLISHED.
- 9. AS PART OF CLEARING AND GRUBBING, ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND SALVAGED BY THE CONTRACTOR OR TRANSPORTED TO LEGAL DISPOSAL AREAS, AS DIRECTED BY THE OWNER. 10. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING BUFFERS, TREE PRESERVATION, PLANT SCHEDULES, IRRIGATION, AND ALL LANDSCAPE WORK.
- 11. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SERVICE CONNECTIONS, POWER POLE RELOCATIONS, POWER TRANSFORMER DETAILS AND LOCATIONS, CONDUIT ROUTING, AND ALL ELECTRICAL WORK.
- 12. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING AND STRUCTURE IMPROVEMENTS, GARAGE LAYOUTS, LIFE SAFETY, PROPERTY SETBACKS, ADA COMPLIANCE, AND ALL ARCHITECTURAL WORK. 13. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WORK.
- 14. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE JURISDICTIONAL AUTHORITY AND COMPLY WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) REQUIREMENTS THROUGHOUT CONSTRUCTION.
- 15. ALL SLOPES SHALL BE 4H:1V MAXIMUM, UNLESS OTHERWISE SPECIFIED.
- 16. ALL SIGNAGE SHALL CONFORM TO THE CURRENT EDITION OF THE U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

RIGHT-OF-WAY NOTES

- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF KEY WEST AND/OR FDOT. PRIOR TO COMMENCING ANY WORK WITHIN THE RIGHT-OF-WAY. THE JURISDICTIONAL AUTHORITY SHALL APPROVE ALL RIGHT-OF-WAY IMPROVEMENTS (I.E. PIPE SIZE, MATERIAL TYPE, INVERT ELEVATION, SWALE GRADES, SLOPES, SIGN LOCATIONS, ETC.) PRIOR TO CONSTRUCTION, DURING THE RIGHT-OF-WAY PERMIT REVIEW PROCESS.
- 2. ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF KEY WEST
- 3. ALL AREAS DISTURBED BY CONSTRUCTION IN CITY, COUNTY, OR STATE RIGHT-OF-WAYS SHALL BE
- 4. CONTRACTOR SHALL COMPLY WITH THE CITY OF KEY WEST MAINTENANCE OF TRAFFIC (MOT) POLICY, AND (AS REQUIRED) BE PRE-APPROVED PRIOR TO ANY WORK BEING PERFORMED WITHIN ANY PUBLIC RIGHT-OF-WAY.

MAINTENANCE REQUIREMENTS:

- REMOVE ANY TRASH OR DEBRIS FROM SWALES, INLET STRUCTURES, AND PIPES. SPECIAL CARE SHOULD BE TAKEN TO INSPECT THE DRAINAGE STRUCTURES ON A REGULAR BASIS TO REMOVE TRASH AND OR GRASS CLIPPINGS WHICH MAY INHIBIT PROPER SURFACE DRAINAGE.
- 2. INSPECT ANY AREAS SUBJECT TO EROSION AND SEED OR SOD AS NECESSARY.
- 3. ADHERE TO ALL SPECIAL MAINTENANCE INSTRUCTION AS PROVIDED BY THE VARIOUS MATERIAL SUPPLIERS/MANUFACTURERS, AND MADE AVAILABLE VIA THE GENERAL CONTRACTOR UPON PROJECT COMPLETION.
- 4. COMPLY WITH ALL MAINTENANCE, INSPECTION AND REPORTING REQUIREMENTS AS SPECIFIED IN ANY REGULATORY AGENCY PERMITS (i.e. SFWMD SURFACE WATER MANAGEMENT PERMIT).
- 5. ALL WORK IDENTIFIED ON THESE PLANS SHALL COMPLY WITH THE CONTRACT TECHNICAL SPECIFICATIONS AND ALL APPLICABLE REGULATIONS.

PARKING SUMMARY:

REQUIRED PARKING: 1 SPACE PER MULTIFAMILY UNIT 126 TOTAL UNITS * 1 SPACE PER UNIT = 126 TOTAL SPACES PROVIDED PARKING: ONSITE PARKING 8 ADA + 92 STANDARD = 100 PROVIDED BICYCLE PARKING: 122

PARKING SPACES PER CODE 108-574 SUBSTITUTION = 108/4 = 27TOTAL = 127

State of Florida, License No. 90677 This item has been Joshua J. Jennings, P.E. on the date indicated here. 10-24-2024 Printed copies of this document are and the signature must be verified

> Joshua J. Jennings Professional Engineer State of Florida Registration No. 90677

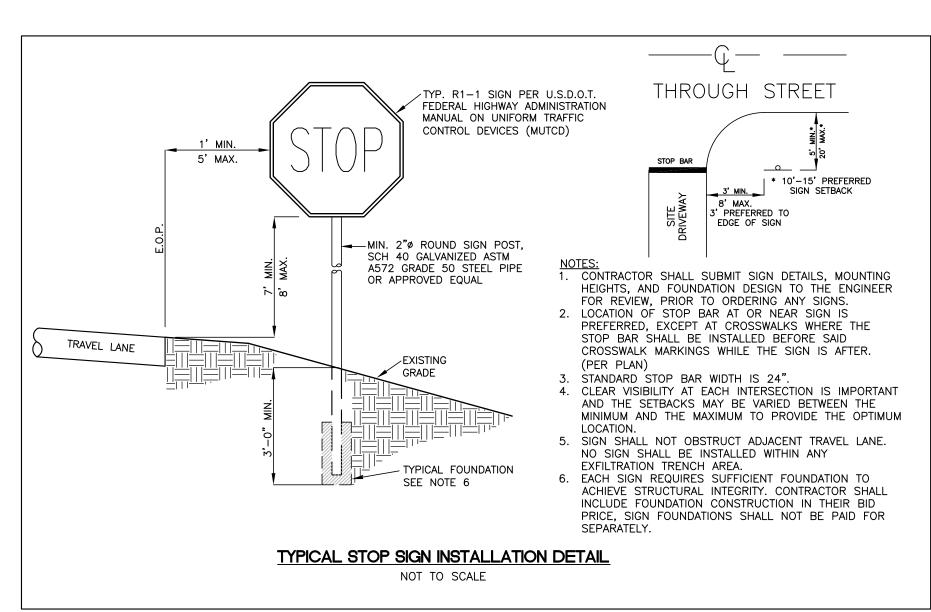
HAM, BAF SITE

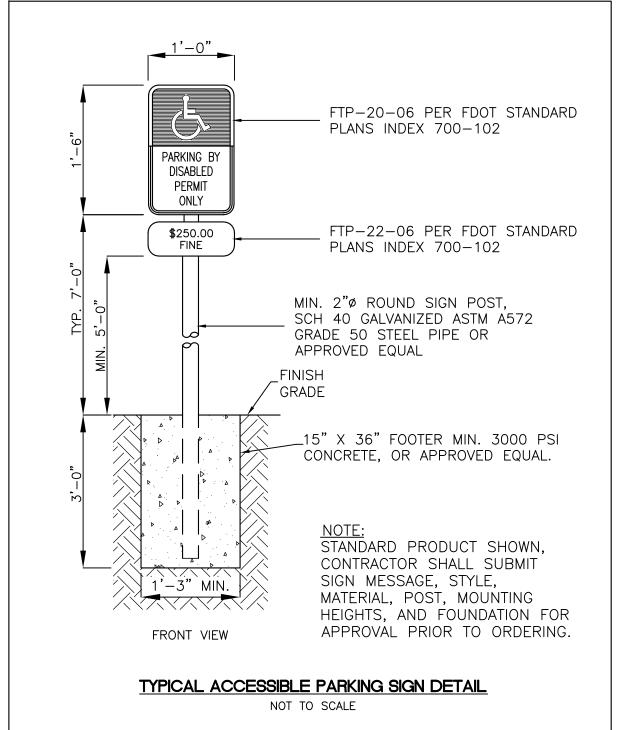
MARION AVE, SUITE 1306 GORDA, FLORIDA 33950 941.505.1700 FR #665

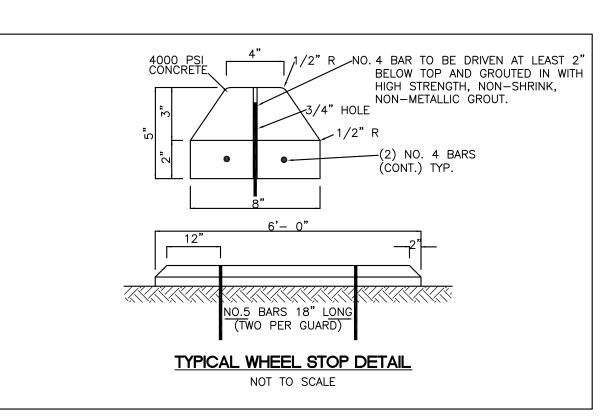
Joshua J. Jennings, Professional Engineer,

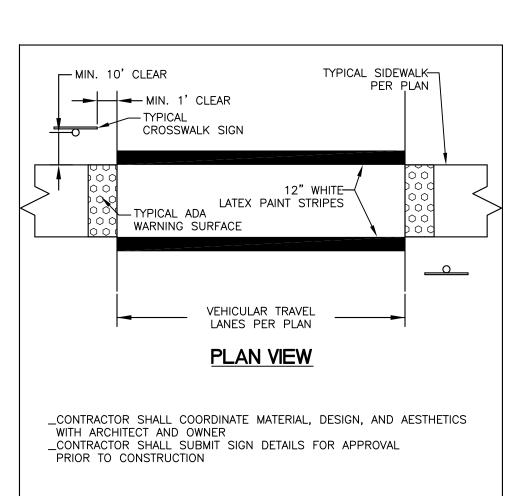
digitally signed and sealed by not considered signed and sealed on any electronic copies.

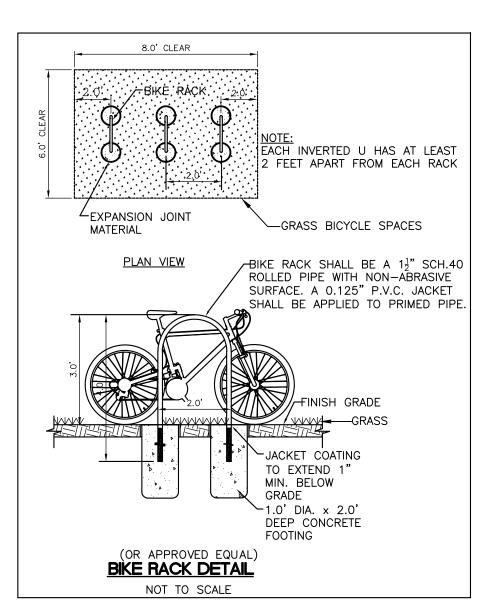
C-4.0

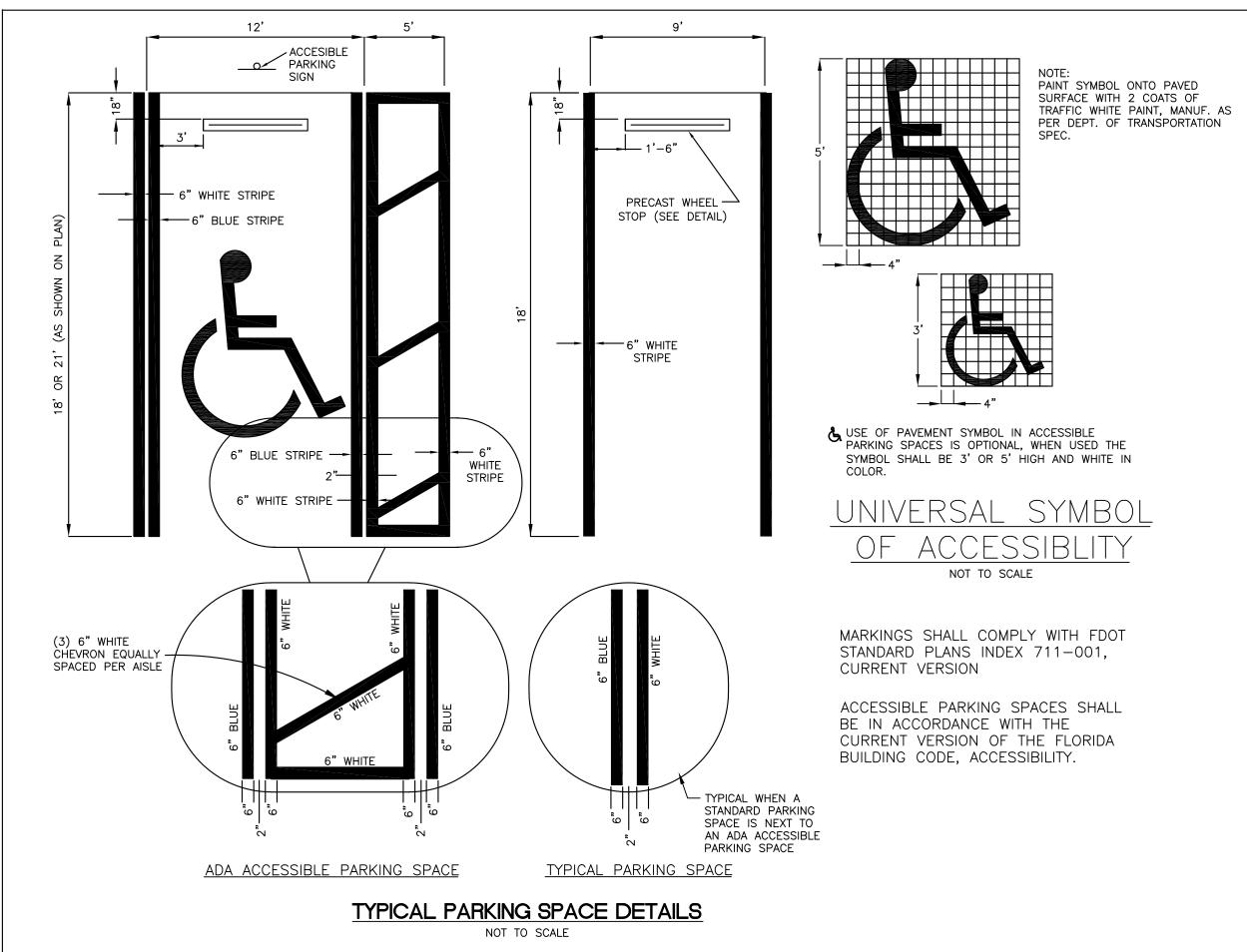


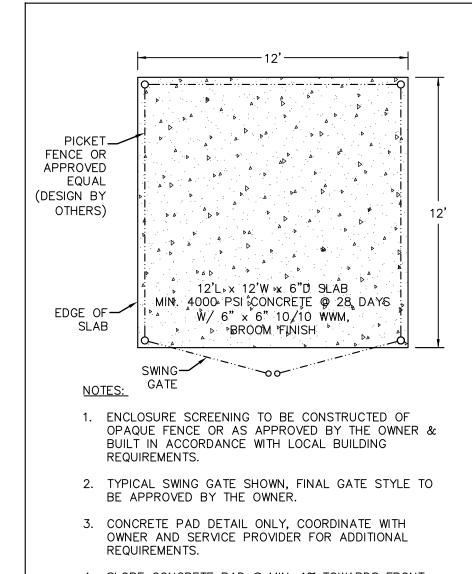












NOT TO SCALE Sidewalk 2'-0" Detectable Warnings -OPTION A NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 522-002, FLORIDA BUILDING CODE (FBC), AND

2% MAX. CROSS SLOPE 5% MAX. RUNNING SLOPE

5. MIN. 1" CLEARANCE BETWEEN OUTER EDGE OF CONCRETE AND REINFORCEMENT.

6" CONCRETE (3000 P.S.I. @ 28 DAYS) REINFORCED WITH 6'x6" W1.4/W1.4 WELDED WIRE MESH, EQUIVALENT FIBERMESH, OR ENGINEER APPROVED EQUAL

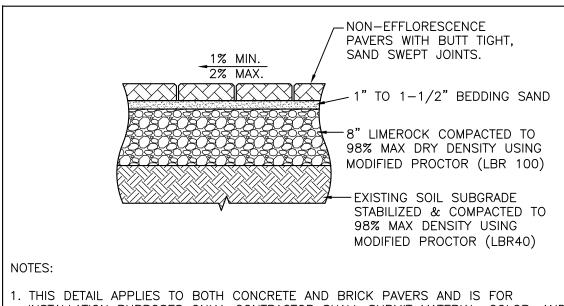
8" STABILIZED SUBGRADE COMPACTED TO 98% MAX DRY DENSITY. (LBR 40 MIN.)

. CONTROL JOINTS SHALL BE CUT AS SOON AS POSSIBLE BUT NOT LATER THAN 72 HOURS FROM CONCRETE PLACEMENT. SAW CUT CONTROL JOINTS EVERY 5 FT @ 1/8" WIDE & 1-1/4" DEEP, CUT ONLY TOP SURFACE OF THE SLAB AND CAP, CLEAN AND SEAL ALL CONTROL JOINTS WITH "SIKAFLEX-1C SL" OR ENGINEER APPROVED EQUAL AND INSURE MINIMUM COVER FOR ALL RE-BAR. 2. EXPANSION JOINTS SHOULD BE EVENLY SPACED EVERY 100 FT AND FILLED WITH CLOSED CELL BACKER-ROD AND SEALED WITH "SIKAFLEX-1C SL" OR ENGINEER APPROVED EQUAL. 3. PROTECT FRESH CONCRETE FROM ANY AND ALL TRAFFIC FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT. 4. CURE CONCRETE FOR A MINIMUM OF 7 DAYS. USE HOT WEATHER CONCRETING PER ACI-305R-10.

TYPICAL CONCRETE SIDEWALK SECTION NOT TO SCALE

—1.5" TYPE SP−9.5 ASPHALT -8" MIN. LIMEROCK BASE COMPACTED TO 98% MAX DRY DENSITY. (LBR 100 MIN.) (THICKNESS VARIES, FINAL GRADE DEPENDANT) GEOTEXTILE FABRIC OVERLAPPED 12" MIN. (SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER MIN. SPECIFICATIONS) SUBGRADE THICKNESS VARIES MIN. CBR 40%

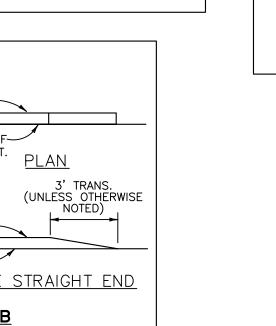
TYPICAL ASPHALT PAVEMENT SECTION

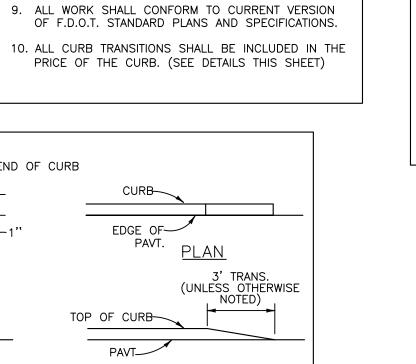


INSTALLATION PURPOSES ONLY. CONTRACTOR SHALL SUBMIT MATERIAL, COLOR, AND AESTHESTICS FOR OWNER APPROVAL PRIOR TO CONSTRUCTION.

. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE AS TO THE EXACT LOCATION AND PATTERN OF ALL PAVER SURFACES PRIOR TO ORDERING ANY

TYPICAL PAVER DETAIL





EDGE OF (UNLESS OTHERWISE TOP OF CURB-PAVT___ PROFILE FLARED END PROFILE STRAIGHT END

TRANSITION ENDS FOR TYPE D CURB

NOT TO SCALE

END OF CURB

CURB NOTES:

OTHERWISE NOTED.

PLACEMENT.

CONCRETE

PAVEMENT

/2" EXPANSION JOINT

AND PREFORMED JOINT

FILLER (SEE NOTE 7)

\EXISTING UNDISTURBED

SUBGRADE OR TYPE "B"

40 MIN.) COMPACTED TO

98% MAX DRY DENSITY

TYPICAL "D" CURB DETAIL

NOT TO SCALE

EDGE OF PAVT.

PAVT-

STABILIZED SUBGRADE (LBR

OR ASPHALT

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE

3. PROTECT FRESH CONCRETE FROM ANY AND ALL

TRAFFIC FOR A MINIMUM OF 3 DAYS AFTER

4. CURE CONCRETE FOR A MINIMUM OF 7 DAYS. USING

HOT WEATHER CONCRETING PER ACI-305R-10.

5. AN EXPANSION JOINT WILL BE PLACED AT THE END

6. CONSTRUCTION JOINTS AT A MAXIMUM SPACING OF

7. EXPANSION JOINTS, PREFORMED JOINT FILLER, AND

JOINT SEAL ARE REQUIRED BETWEEN CURBS AND

1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT

8. ALL CURBING SHALL CONFORM TO CURRENT VERSION

OF F.D.O.T. STANDARD PLANS INDEX NO. 520-001.

CONCRETE ONLY AND SHALL BE CONSTRUCTED WITH

10' SHALL BE SAW CUT 1-1/2" DEEP.

MATERIAL OR APPROVED EQUAL.

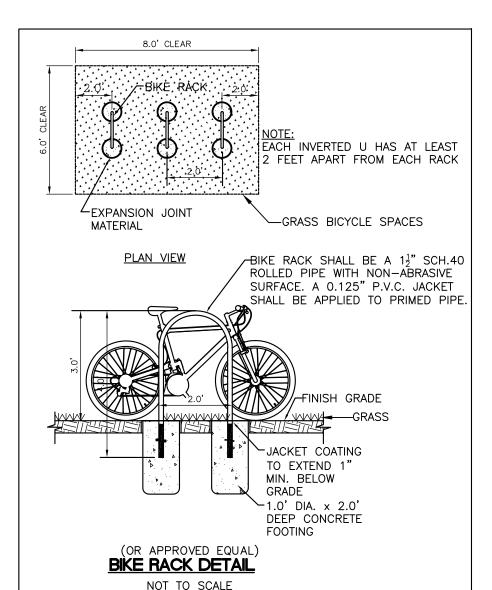
OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50'.

2. CURBS SHALL BE POURED MONOLITHICALLY.

STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS

TYPICAL CROSSWALK WITH SIGNAGE DETAIL

NOT TO SCALE



4. SLOPE CONCRETE PAD @ MIN. 1% TOWARDS FRONT TO INSURE POSITIVE DRAINAGE. WATER SHALL NOT COLLECT WITHIN ENCLOSURE AREA. TYPICAL DUMPSTER PAD AMERICANS WTIH DISABILITIES ACT (ADA) REQUIREMENTS. TYPICAL CURB RAMP DETAIL

NOT TO SCALE MATERIAL.

 \mathbf{m}

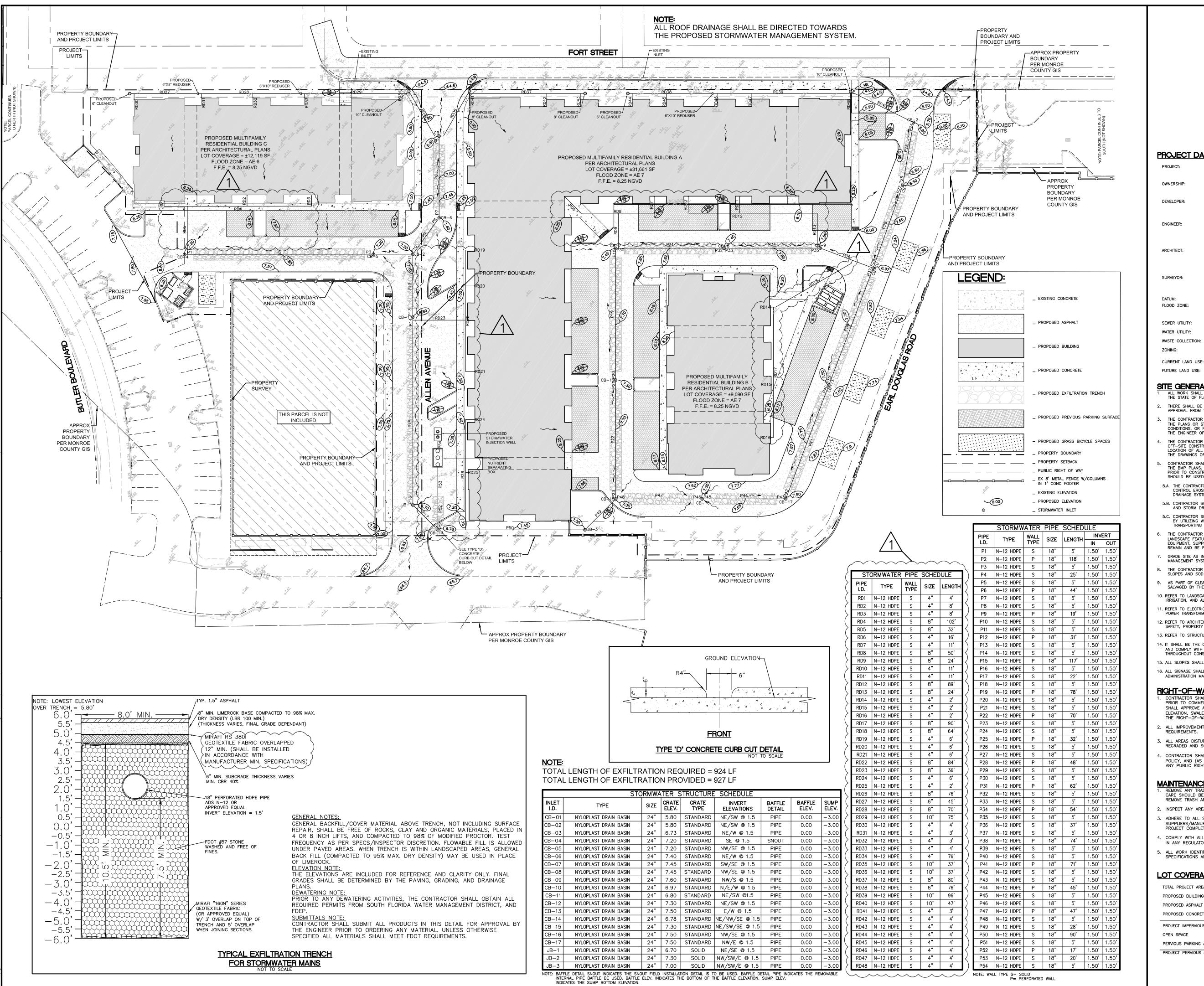
MARION AVE, SUITE 1306
A GORDA, FLORIDA 33950
941.505.1700
EB #6656

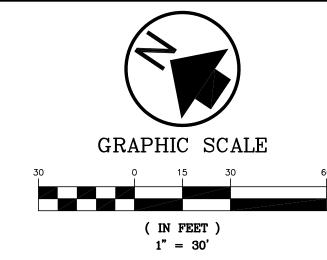
HIS SHEET IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEA Joshua J. Jennings,

Professional Engineer, State of Florida. License No. 90677 This item has been digitally signed and sealed by Joshua J. Jennings, P.E. on the date indicated here. 10-24-2024 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Joshua J. Jennings Professional Engineer State of Florida Registration No. 90677

C-4.1





PROJECT DATA:

THE LOFTS AT BAHAMA VILLAGE 918 FORT STREET KEY WEST, FLORIDA 33040 PROJECT: CITY OF KEY WEST OWNERSHIP: P.O. BOX 1409 KEY WEST, FLORIDA 33041 BAHAMA VILLAGE COMMUNITY, LTD 3030 HARTLEY ROAD, SUITE 310 JACKSONVILLE, FLORIDA 32257 904.260.3030 DEVELOPER: ENGINEER: THE WEILER ENGINEERING CORPORATION JOSHUA J. JENNINGS, P.E. NO. 90677 201 W. MARION AVENUE, SUITE 1306 PUNTA GORDA, FLORIDA 33950 ARCHITECT: POH GROUP ALDO MINOZZI, AIA NCARB (AR98244) 4141 SOUTPOINT DRIVE EAST, SUITE 300 JACKSONVILLE, FLORIDA 32216 AVIROM & ASSOCIATES, INC. 50 SW 2ND AVENUE, SUITE 102 SURVEYOR: BOCA RATON, FLORIDA 33432 DATUM: NGVD 1929 (PER SURVEY) FLOOD ZONE: AE (EL. 6) & AE (EL. 7) AS SHOWN ON: F.E.M.A. FIRM MAP #12087C1516K EFFECTIVE DATE: FEBRUARY 18, 2005 SEWER UTILITY: CITY OF KEY WEST WATER UTILITY: FLORIDA KEYS AQUEDUCT AUTHORITY (FKAA) WASTE COLLECTION: CITY OF KEY WEST HNC-4 NEIGHBORHOOD COMMERCIAL BAHAMA ZONING:

SITE GENERAL NOTES

PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF KEY WEST AND ALL WORK SHALL BE PER THE STATE OF FLORIDA.

- 2. THERE SHALL BE NO CHANGE OR DEVIATION OF THESE PLANS OR SPECIFICATIONS UNLESS PRIOR WRITTEN APPROVAL FROM THE ENGINEER IS OBTAINED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF AND WHEN A POSSIBLE ERROR IS FOUND IN THE PLANS OR STAKED ALIGNMENT AND/OR GRADES. THE ENGINEER MAY ACCEPT, REVISE TO ACCOMMODATE CONDITIONS, OR REJECT THE FACILITY BEING CONSTRUCTED. IT IS IMPERATIVE THAT THE CONTRACTOR NOTIFY E ENGINEER OF THESE SITUATIONS AS SOON AS POSSIBLE.

HISTORIC NEIGHBORHOOD COMMERCIAL-4

HISTORIC NEIGHBORHOOD COMMERCIAL-4

- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE BEGINNING OF ANY ON-SITE OR OFF-SITE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY AND REPORT THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS, WHETHER THEY ARE IDENTIFIED ON THE DEPARTMENCE OF NOT
- CONTRACTOR SHALL INCLUDE IN THE BID PRICE THE COST OF EROSION CONTROL MEASURES AS SHOWN ON THE BMP PLANS. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OBSERVED DURING CONSTRUCTION BY THE CONTRACTOR. THE METHODS WHICH
- 5.A. THE CONTRACTOR SHALL UTILIZE SAND BAGS AND BALES AND/OR OTHER EROSION CONTROL METHODS TO CONTROL EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SILTATION ENTERING THE STORM DRAINAGE SYSTEM BOTH ON—SITE AND OFF—SITE.
- 5.B. CONTRACTOR SHALL PLACE ADEQUATE TEMPORARY PROTECTION AROUND ALL INLETS TO MINIMIZE DAMAGE
- 5.C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AT ALL TIMES DURING CONSTRUCTION BY UTILIZING WATER TRUCKS, ANTI-DRAFT FENCING, AND BY COVERING OPEN BODIED TRUCKS
- TRANSPORTING DEBRIS 6. THE CONTRACTOR SHALL USE EXTREME CARE NOT TO DAMAGE THE ROOT SYSTEMS OF TREES AND OTHER
- LANDSCAPE FEATURES WHICH ARE TO BE SAVED AND/OR SALVAGED FOR RESTORATION PURPOSES. NO EQUIPMENT, SUPPLIES OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF TREES TO
- GRADE SITE AS INDICATED. ALL STORMWATER RUN-OFF SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM.
- THE CONTRACTOR SHALL SOD ALL DRAINAGE RETENTION AND SWALE AREAS. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL, IN THE OPINION OF THE ENGINEER, GROWTH IS FIRMLY ESTABLISHED.
- SALVAGED BY THE CONTRACTOR OR TRANSPORTED TO LEGAL DISPOSAL AREAS, AS DIRECTED BY THE OWNER.
- IO. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING BUFFERS, TREE PRESERVATION, PLANT SCHEDULES, IRRIGATION, AND ALL LANDSCAPE WORK.
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SERVICE CONNECTIONS, POWER POLE RELOCATIONS, POWER TRANSFORMER DETAILS AND LOCATIONS, CONDUIT ROUTING, AND ALL ELECTRICAL WORK.
- 12. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING AND STRUCTURE IMPROVEMENTS, GARAGE LAYOUTS, LIFE SAFETY, PROPERTY SETBACKS, ADA COMPLIANCE, AND ALL ARCHITECTURAL WORK.
- 13. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WORK. 14. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE JURISDICTIONAL AUTHORITY
- AND COMPLY WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) REQUIREMENTS THROUGHOUT CONSTRUCTION.
- 15. ALL SLOPES SHALL BE 4H:1V MAXIMUM, UNLESS OTHERWISE SPECIFIED.

16. ALL SIGNAGE SHALL CONFORM TO THE CURRENT EDITION OF THE U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

RIGHT-OF-WAY NOTES: CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF KEY WEST AND/OR FDOT, PRIOR TO COMMENCING ANY WORK WITHIN THE RIGHT-OF-WAY. THE JURISDICTIONAL AUTHORITY SHALL APPROVE ALL RIGHT-OF-WAY IMPROVEMENTS (I.E. PIPE SIZE, MATERIAL TYPE, INVERT ELEVATION, SWALE GRADES, SLOPES, SIGN LOCATIONS, ETC.) PRIOR TO CONSTRUCTION, DURING THE RIGHT-OF-WAY PERMIT REVIEW PROCESS.

- . ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF KEY WEST
- ALL AREAS DISTURBED BY CONSTRUCTION IN CITY, COUNTY, OR STATE RIGHT-OF-WAYS SHALL BE
- REGRADED AND SODDED. CONTRACTOR SHALL COMPLY WITH THE CITY OF KEY WEST MAINTENANCE OF TRAFFIC (MOT)
- POLICY, AND (AS REQUIRED) BE PRE-APPROVED PRIOR TO ANY WORK BEING PERFORMED WITHIN ANY PUBLIC RIGHT-OF-WAY.

MAINTENANCE REQUIREMENTS:

- REMOVE ANY TRASH OR DEBRIS FROM SWALES, INLET STRUCTURES, AND PIPES. SPECIAL CARE SHOULD BE TAKEN TO INSPECT THE DRAINAGE STRUCTURES ON A REGULAR BASIS TO REMOVE TRASH AND OR GRASS CLIPPINGS WHICH MAY INHIBIT PROPER SURFACE DRAINAGE.
- 2. INSPECT ANY AREAS SUBJECT TO EROSION AND SEED OR SOD AS NECESSARY
- . ADHERE TO ALL SPECIAL MAINTENANCE INSTRUCTION AS PROVIDED BY THE VARIOUS MATERIAL SUPPLIERS/MANUFACTURERS, AND MADE AVAILABLE VIA THE GENERAL CONTRACTOR UPON
- COMPLY WITH ALL MAINTENANCE, INSPECTION AND REPORTING REQUIREMENTS AS SPECIFIED IN ANY REGULATORY AGENCY PERMITS (i.e. SFWMD SURFACE WATER MANAGEMENT PERMIT).
- ALL WORK IDENTIFIED ON THESE PLANS SHALL COMPLY WITH THE CONTRACT TECHNICAL SPECIFICATIONS AND ALL APPLICABLE REGULATIONS.

LOT COVERAGE SUMMARY: (FOR PROJECT AREA)

TOTAL PROJECT AREA	137,950	SF	3.17	AC	100.0%
PROPOSED BUILDINGS	52,870	SF	1.21	AC	
PROPOSED ASPHALT	35,033	SF	0.80	AC	
PROPOSED CONCRETE	8,462	SF	0.19	AC	
PROJECT IMPERVIOUS AREA	96,365	SF	2.21	AC	69.85%
OPEN SPACE	31,541	SF	0.73	AC	
PERVIOUS PARKING AREA	10,044	SF	0.23	AC	
PROJECT PERVIOUS AREA	41,585	SF	0.96	AC	30.15%

	 						١.
THIS SHEET IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED ENGINEER.							
OF A	FLO	RIDA	LICE	NSED	ENC	SINEE	R.

Œ 33

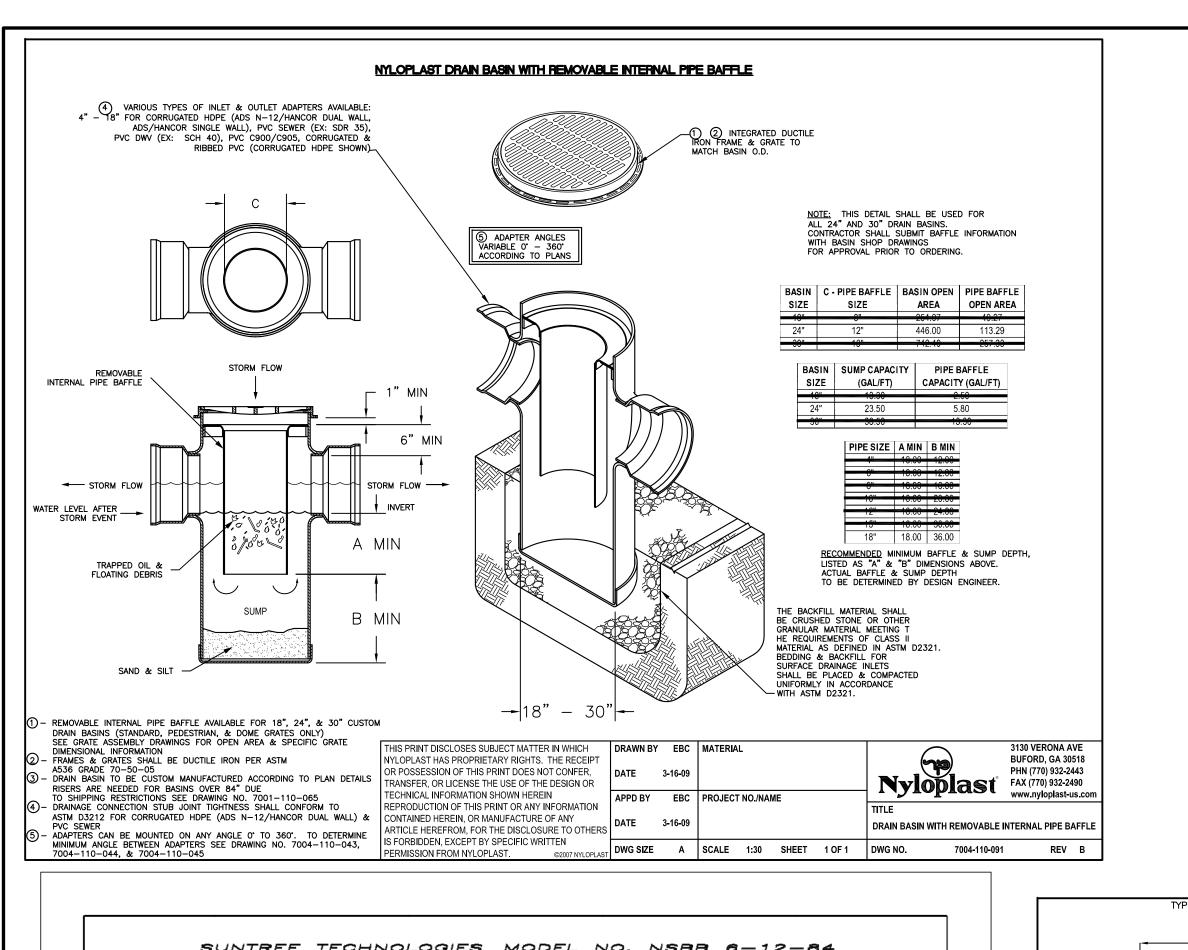
Q

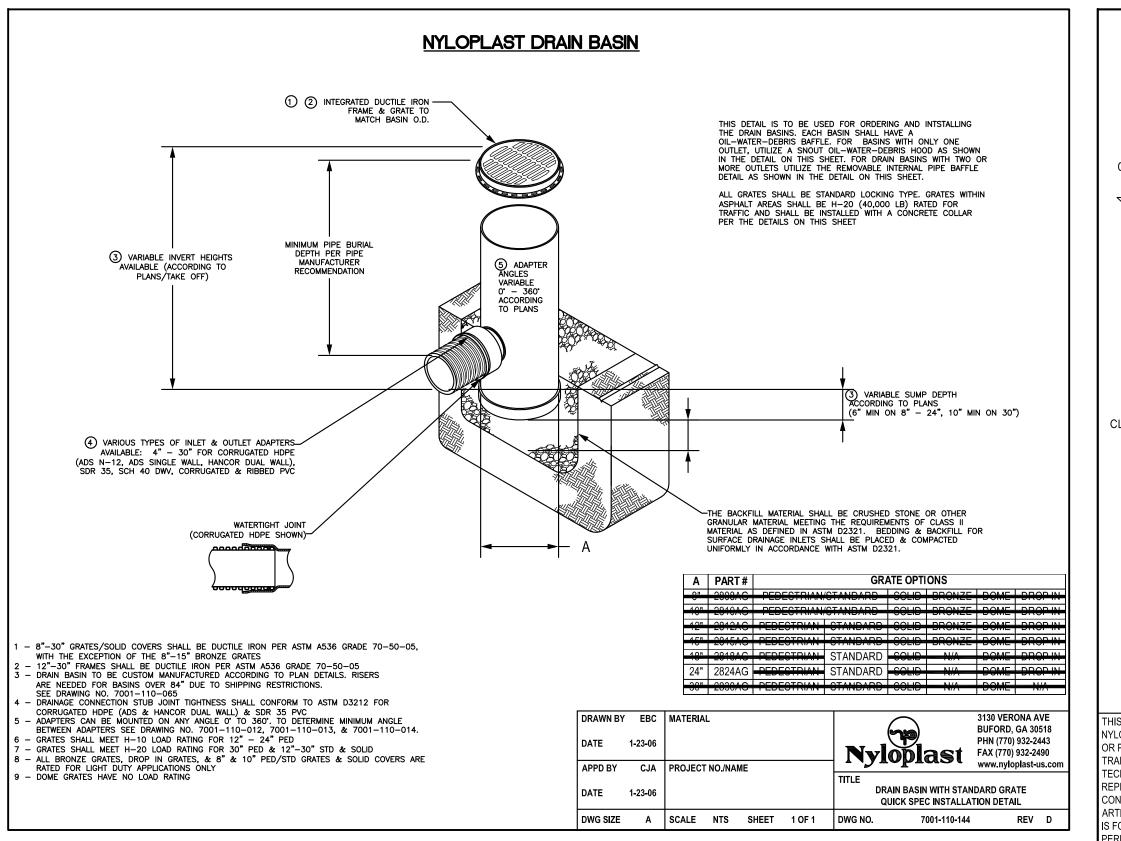
Professional Engineer, State of Florida. License No. 90677 This item has been digitally signed and sealed by Joshua J. Jennings, P.E. on the date indicated here. 10-24-2024 Printed copies of this document are not considered signed and sealed and the signature must be verified

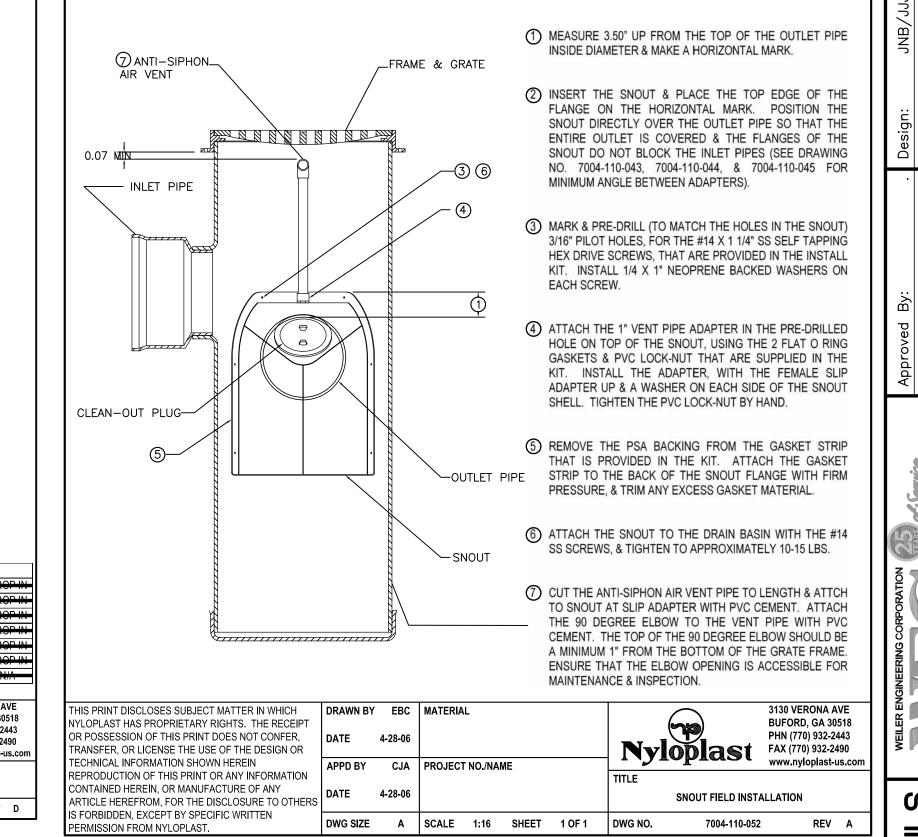
on any electronic copies.

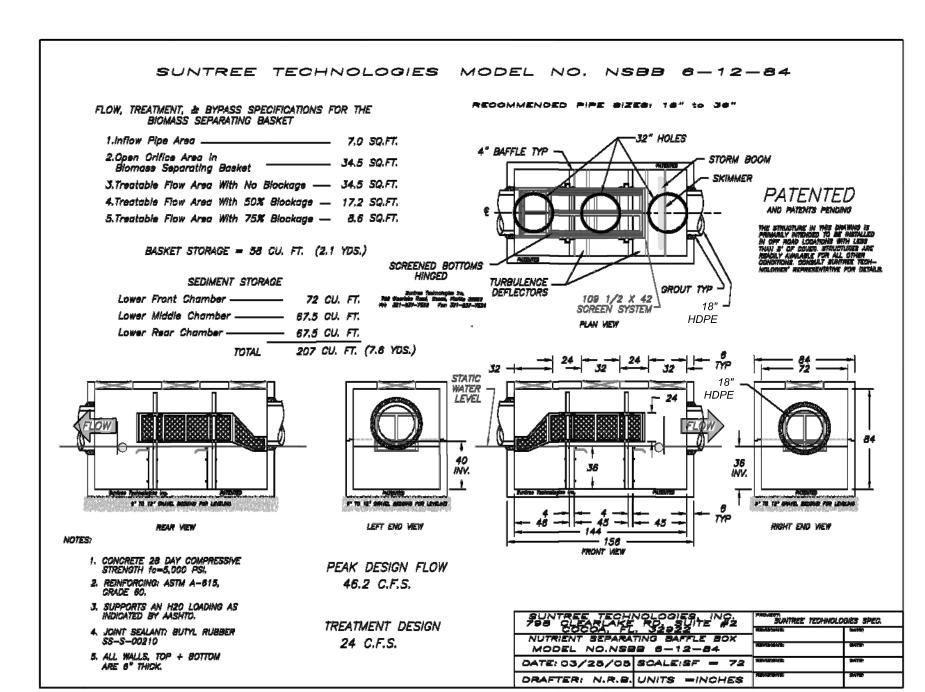
Joshua J. Jennings Professional Engineer State of Florida Registration No. 90677

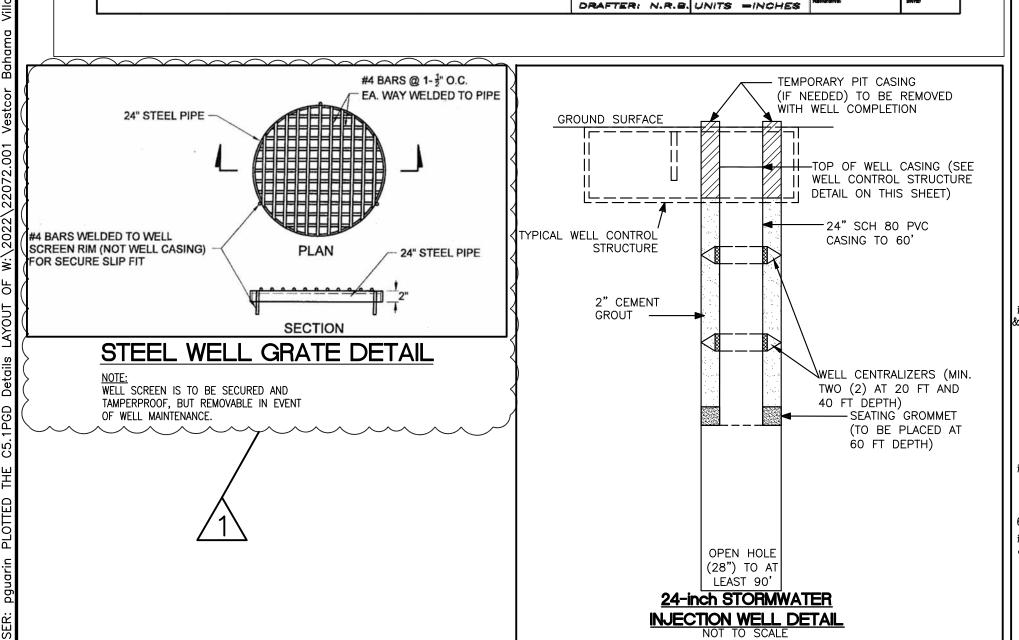
C-5.0

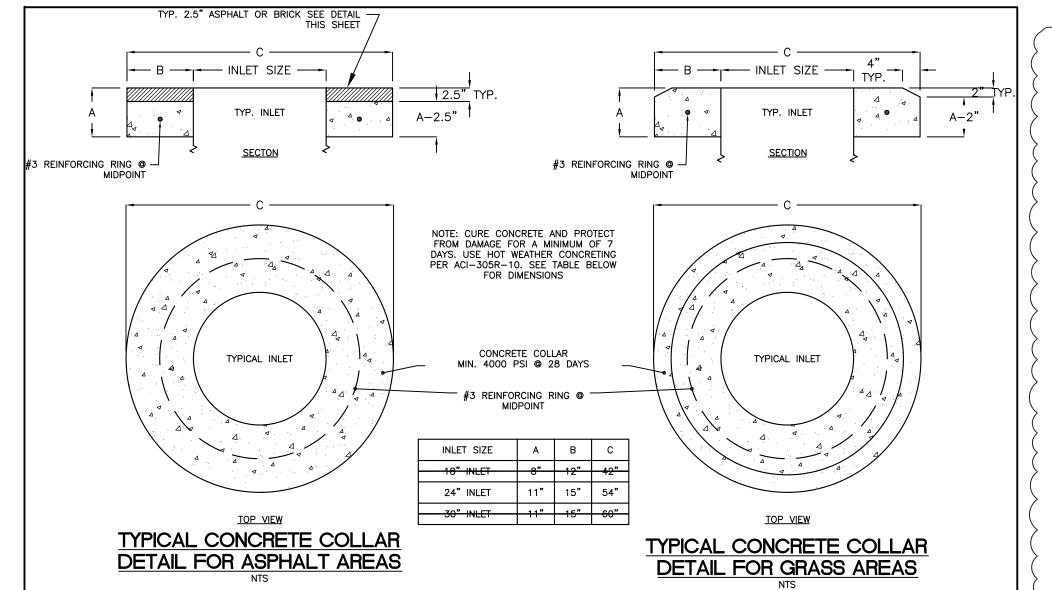


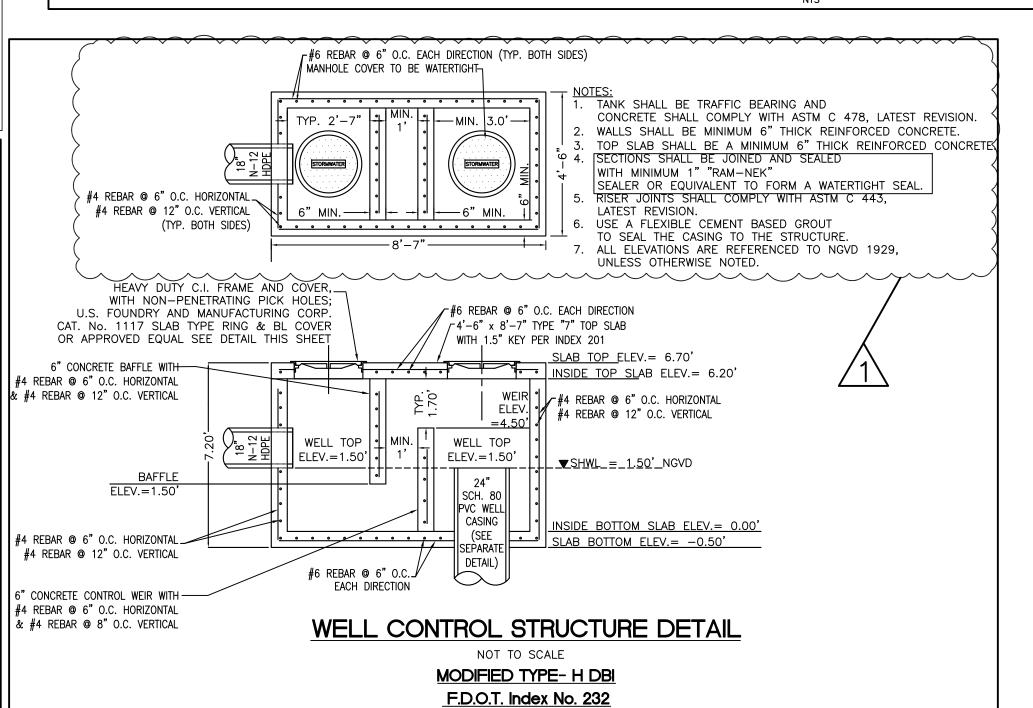


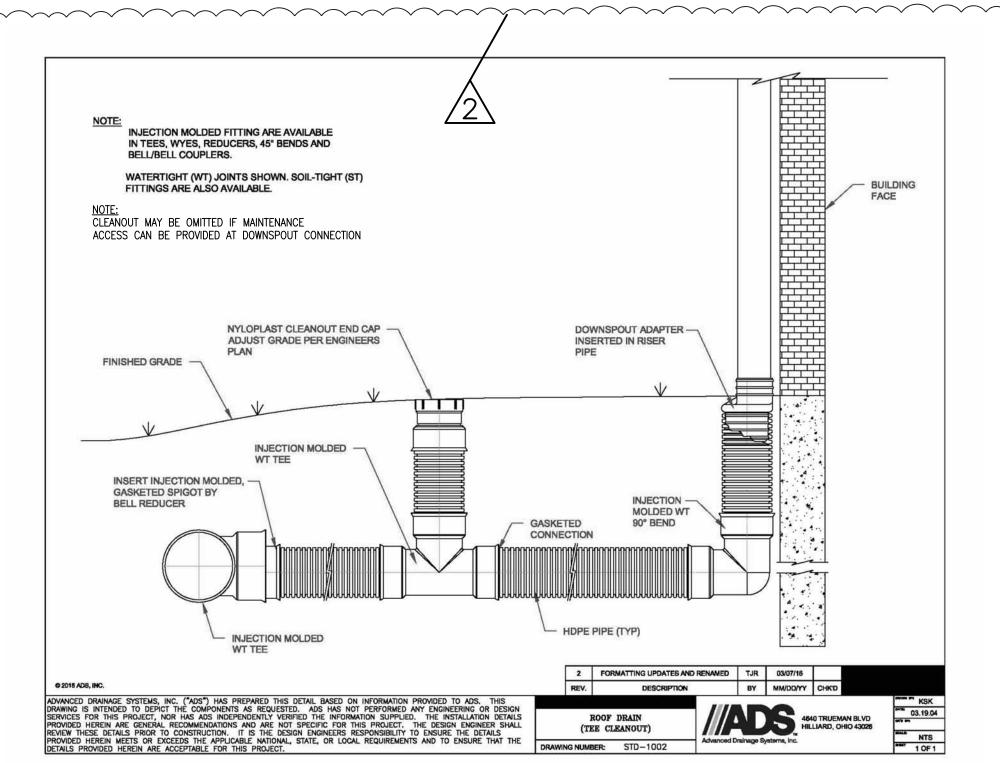


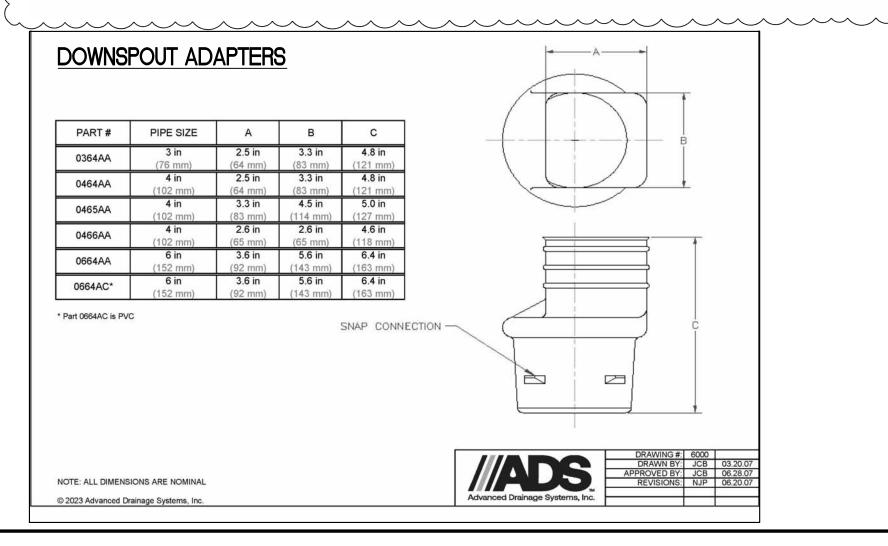












Description

Joshua J. Jennings,
Professional Engineer,
State of Florida,
License No. 90677
This item has been
digitally signed and sealed by
Joshua J. Jennings, P.E.
on the date indicated here.
10-24-2024
Printed copies of this document are
not considered signed and sealed
and the signature must be verified

1306 1950

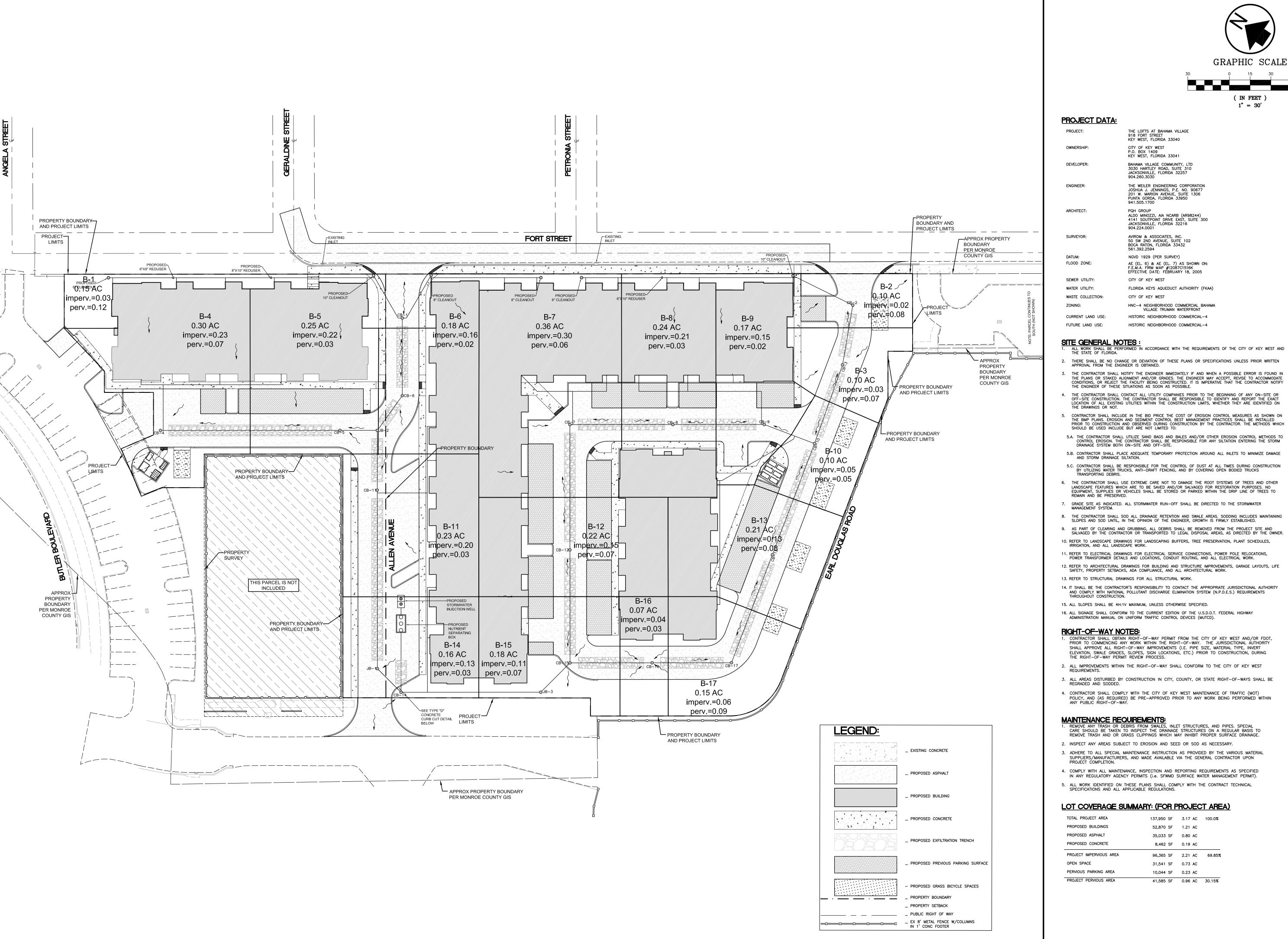
333 33

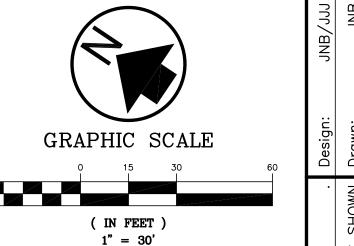
BAHAM

Joshua J. Jennings, P.E. on the date indicated here.
10-24-2024
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Joshua J. Jennings
Professional Engineer
State of Florida
Registration No. 90677

C-5.1





HISTORIC NEIGHBORHOOD COMMERCIAL-4 HISTORIC NEIGHBORHOOD COMMERCIAL-4

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF AND WHEN A POSSIBLE ERROR IS FOUND IN THE PLANS OR STAKED ALIGNMENT AND/OR GRADES. THE ENGINEER MAY ACCEPT, REVISE TO ACCOMMODATE CONDITIONS, OR REJECT THE FACILITY BEING CONSTRUCTED. IT IS IMPERATIVE THAT THE CONTRACTOR NOTIFY THE ENGINEER OF THESE SITUATIONS AS SOON AS POSSIBLE.
- CONTRACTOR SHALL INCLUDE IN THE BID PRICE THE COST OF EROSION CONTROL MEASURES AS SHOWN ON THE BMP PLANS. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OBSERVED DURING CONSTRUCTION BY THE CONTRACTOR. THE METHODS WHICH SHOULD BE USED INCLUDE BUT ARE NOT LIMITED TO:
- 5.A. THE CONTRACTOR SHALL UTILIZE SAND BAGS AND BALES AND/OR OTHER EROSION CONTROL METHODS TO CONTROL EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SILTATION ENTERING THE STORM DRAINAGE SYSTEM BOTH ON-SITE AND OFF-SITE.
- 6. THE CONTRACTOR SHALL USE EXTREME CARE NOT TO DAMAGE THE ROOT SYSTEMS OF TREES AND OTHER LANDSCAPE FEATURES WHICH ARE TO BE SAVED AND/OR SALVAGED FOR RESTORATION PURPOSES. NO
- EQUIPMENT, SUPPLIES OF VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF TREES TO
- 9. AS PART OF CLEARING AND GRUBBING, ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND SALVAGED BY THE CONTRACTOR OR TRANSPORTED TO LEGAL DISPOSAL AREAS, AS DIRECTED BY THE OWNER.
- 10. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING BUFFERS, TREE PRESERVATION, PLANT SCHEDULES,
- 11. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SERVICE CONNECTIONS, POWER POLE RELOCATIONS, POWER TRANSFORMER DETAILS AND LOCATIONS, CONDUIT ROUTING, AND ALL ELECTRICAL WORK.
- 14. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE JURISDICTIONAL AUTHORITY
- AND COMPLY WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) REQUIREMENTS THROUGHOUT CONSTRUCTION.
- 16. ALL SIGNAGE SHALL CONFORM TO THE CURRENT EDITION OF THE U.S.D.O.T. FEDERAL HIGHWAY
- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF KEY WEST AND/OR FDOT, PRIOR TO COMMENCING ANY WORK WITHIN THE RIGHT-OF-WAY. THE JURISDICTIONAL AUTHORITY SHALL APPROVE ALL RIGHT-OF-WAY IMPROVEMENTS (I.E. PIPE SIZE, MATERIAL TYPE, INVERT
- 2. ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF KEY WEST
- 3. ALL AREAS DISTURBED BY CONSTRUCTION IN CITY, COUNTY, OR STATE RIGHT-OF-WAYS SHALL BE
- 4. CONTRACTOR SHALL COMPLY WITH THE CITY OF KEY WEST MAINTENANCE OF TRAFFIC (MOT) POLICY, AND (AS REQUIRED) BE PRE-APPROVED PRIOR TO ANY WORK BEING PERFORMED WITHIN
- REMOVE TRASH AND OR GRASS CLIPPINGS WHICH MAY INHIBIT PROPER SURFACE DRAINAGE.
- 2. INSPECT ANY AREAS SUBJECT TO EROSION AND SEED OR SOD AS NECESSARY.
- 3. ADHERE TO ALL SPECIAL MAINTENANCE INSTRUCTION AS PROVIDED BY THE VARIOUS MATERIAL SUPPLIERS/MANUFACTURERS, AND MADE AVAILABLE VIA THE GENERAL CONTRACTOR UPON
- 4. COMPLY WITH ALL MAINTENANCE, INSPECTION AND REPORTING REQUIREMENTS AS SPECIFIED IN ANY REGULATORY AGENCY PERMITS (i.e. SFWMD SURFACE WATER MANAGEMENT PERMIT).
- 5. ALL WORK IDENTIFIED ON THESE PLANS SHALL COMPLY WITH THE CONTRACT TECHNICAL SPECIFICATIONS AND ALL APPLICABLE REGULATIONS.

LOT COVERAGE SUMMARY: (FOR PROJECT AREA)

TOTAL PROJECT AREA	137,950 SF	3.17 AC	100.0%
PROPOSED BUILDINGS	52,870 SF	1.21 AC	
PROPOSED ASPHALT	35,033 SF	0.80 AC	
PROPOSED CONCRETE	8,462 SF	0.19 AC	
PROJECT IMPERVIOUS AREA	96,365 SF	2.21 AC	69.85%
OPEN SPACE	31,541 SF	0.73 AC	
PERVIOUS PARKING AREA	10,044 SF	0.23 AC	
PROJECT PERVIOUS AREA	41,585 SF	0.96 AC	30.15%

d By:	Design: JNB
AS SHOWN	Drawn:
22072.001	Checked:
. ed:	•

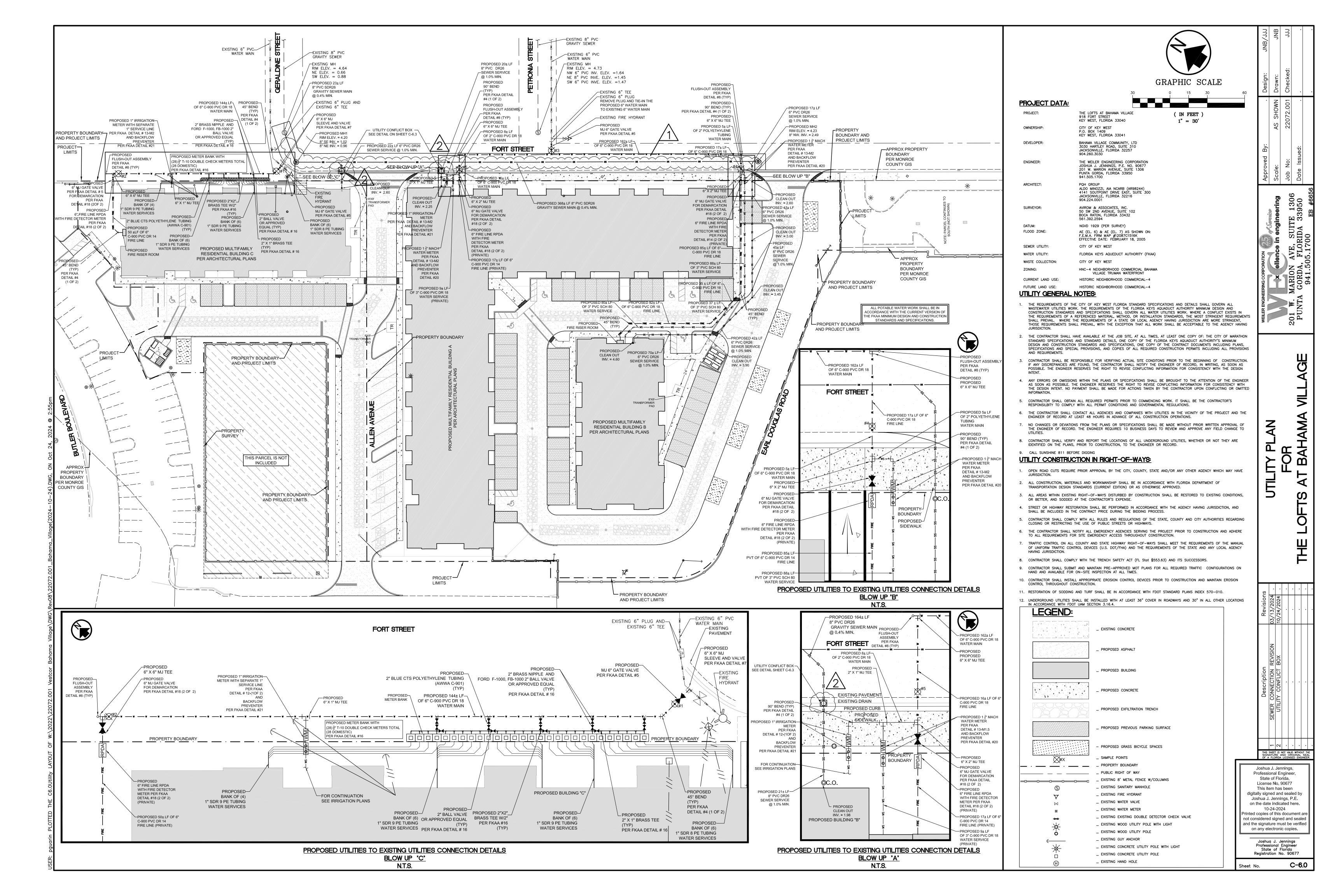
MARION AVE, SUITE 1306 A GORDA, FLORIDA 33950 941.505.1700 EB #6656

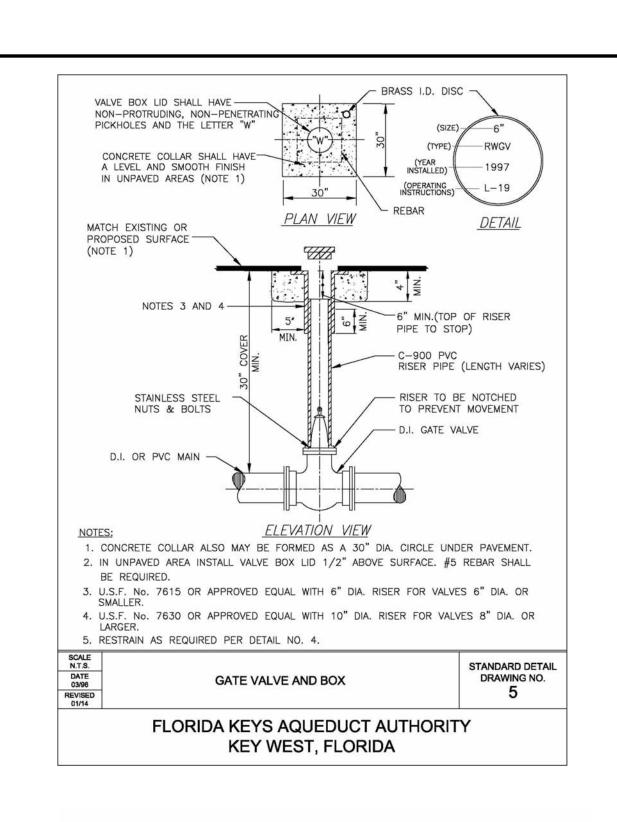
Joshua J. Jennings, Professional Engineer, State of Florida. License No. 90677 This item has been digitally signed and sealed by Joshua J. Jennings, P.E. on the date indicated here. 10-24-2024 Printed copies of this document are not considered signed and sealed

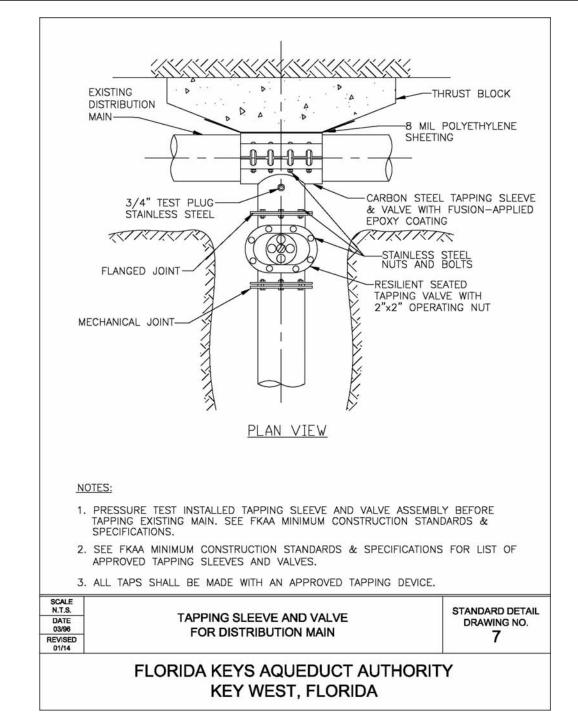
Joshua J. Jennings Professional Engineer State of Florida Registration No. 90677

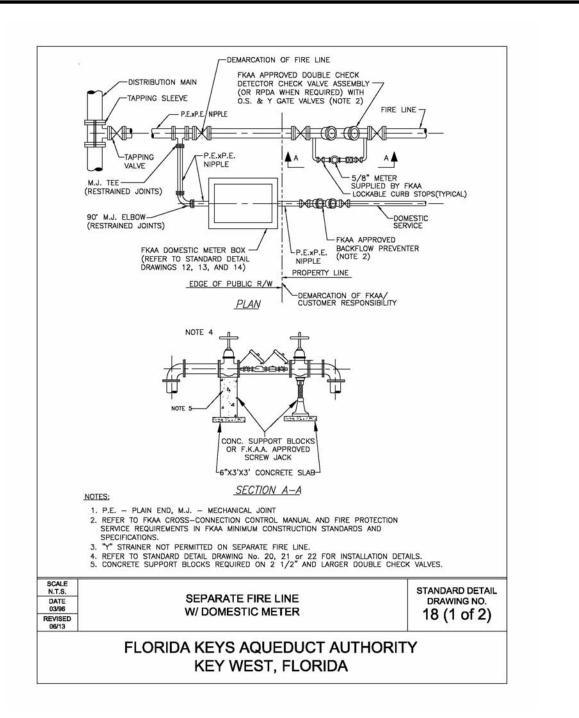
and the signature must be verified on any electronic copies.

C-5.2



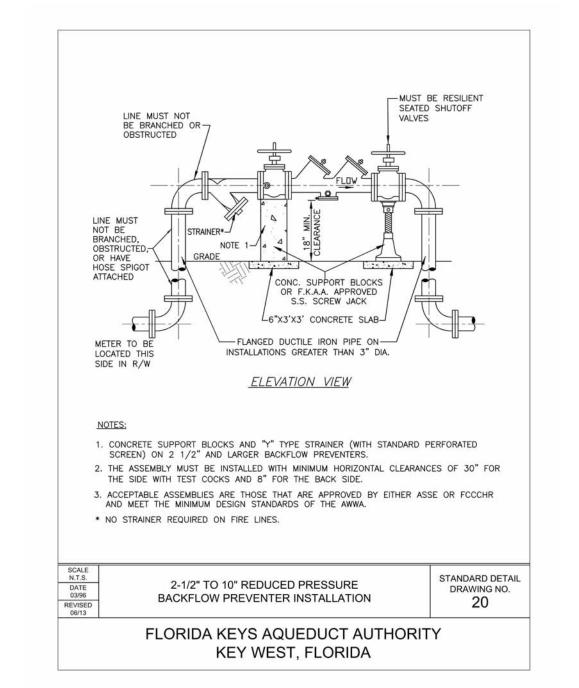


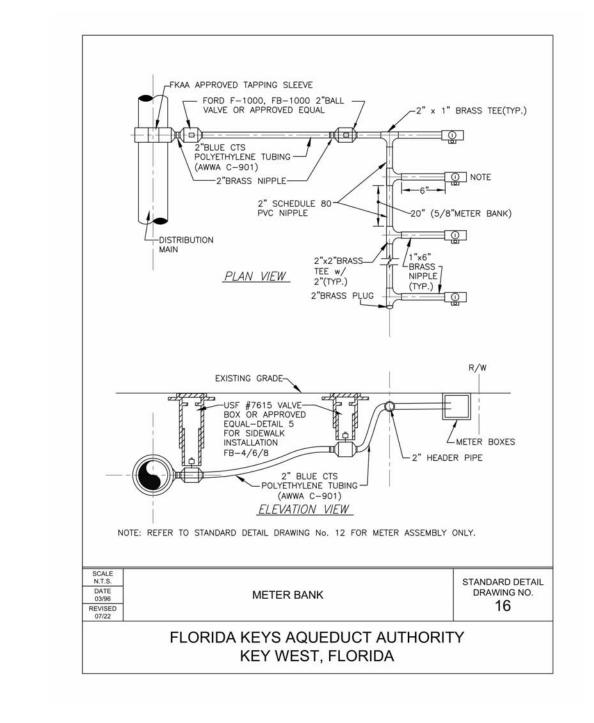


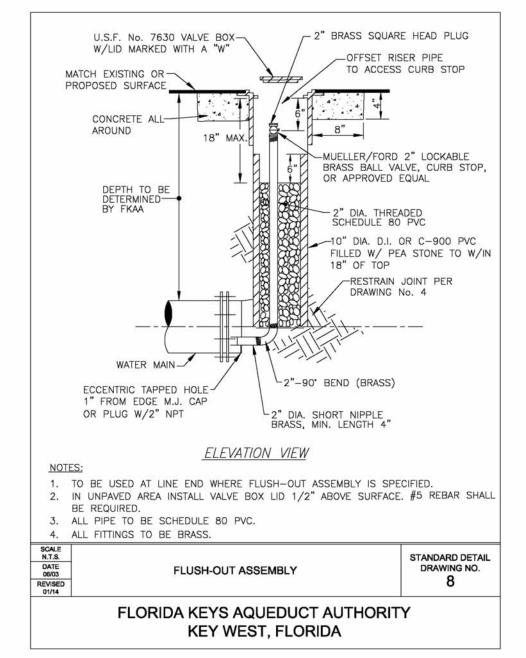


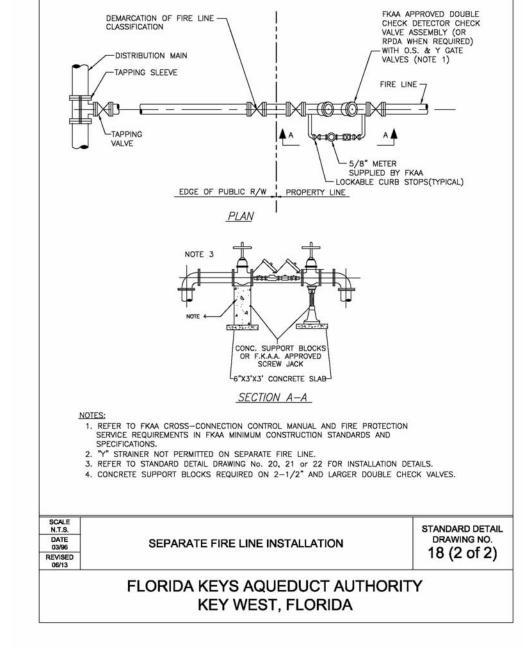
GROUND

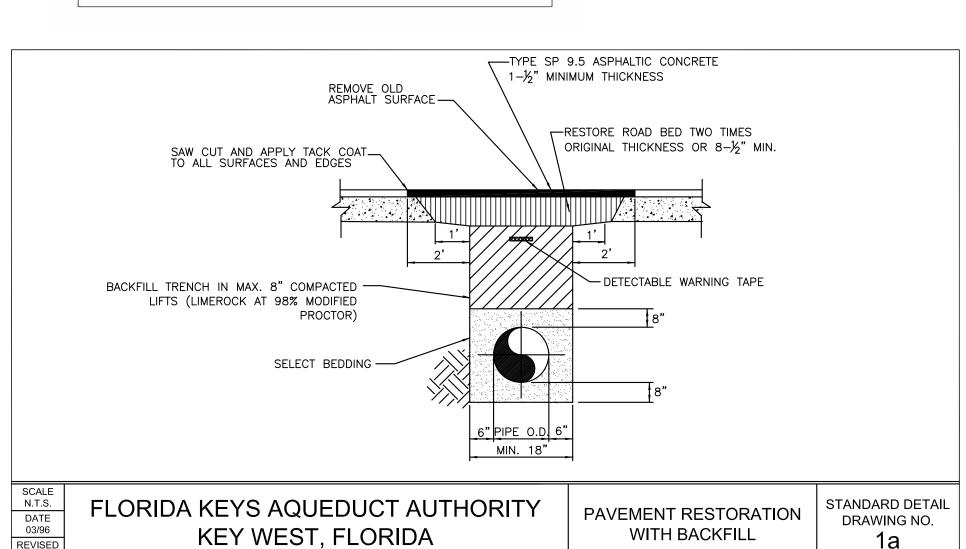
1a

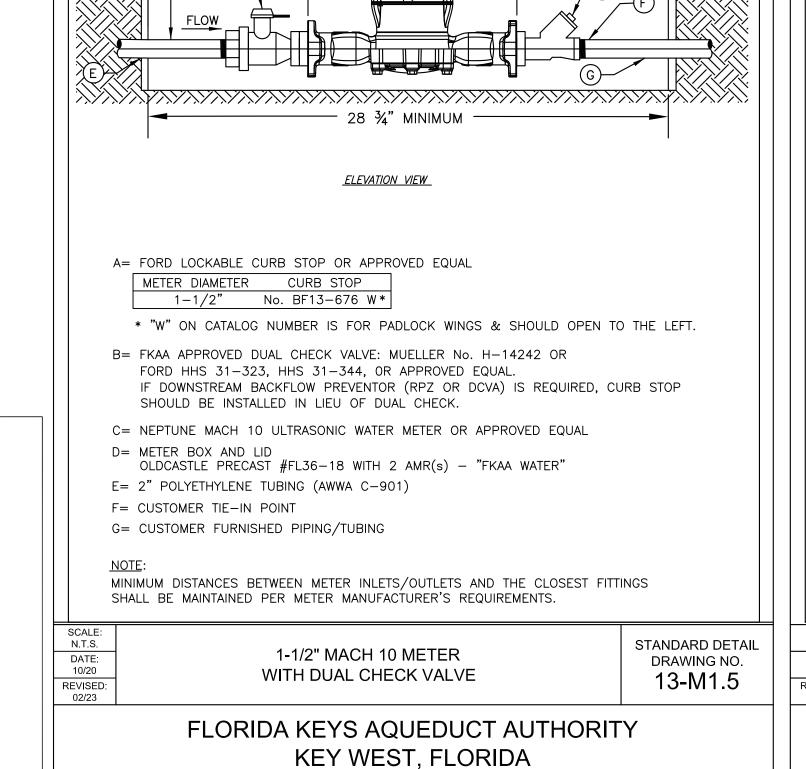




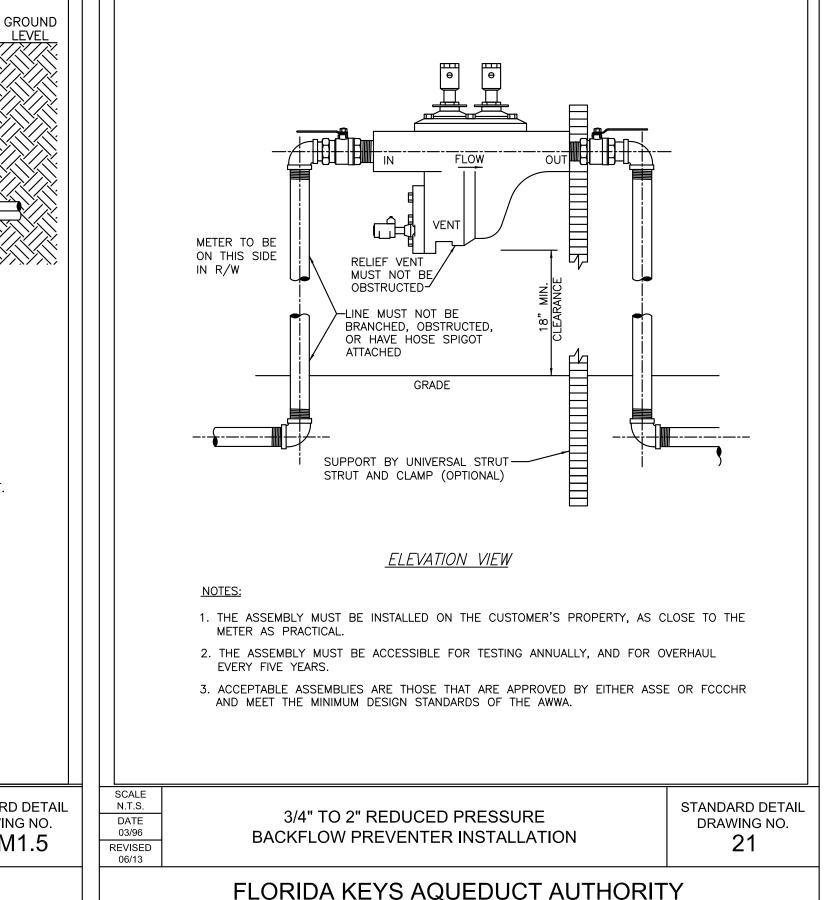


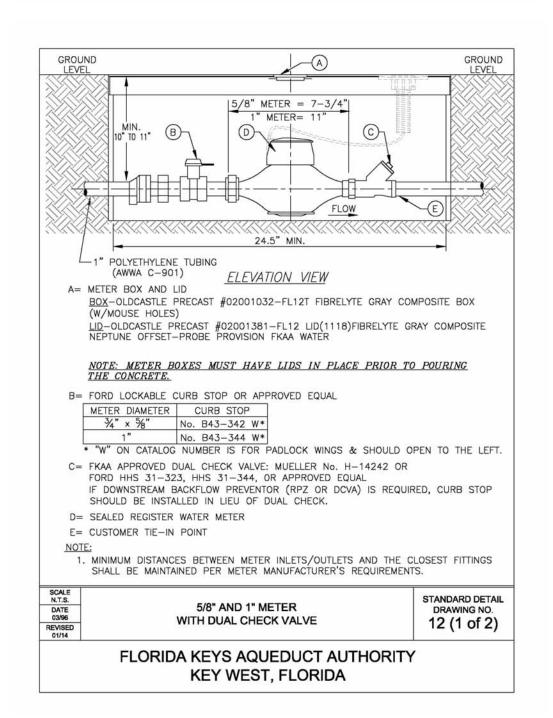






 $1-\frac{1}{3}$ " METER = 13"





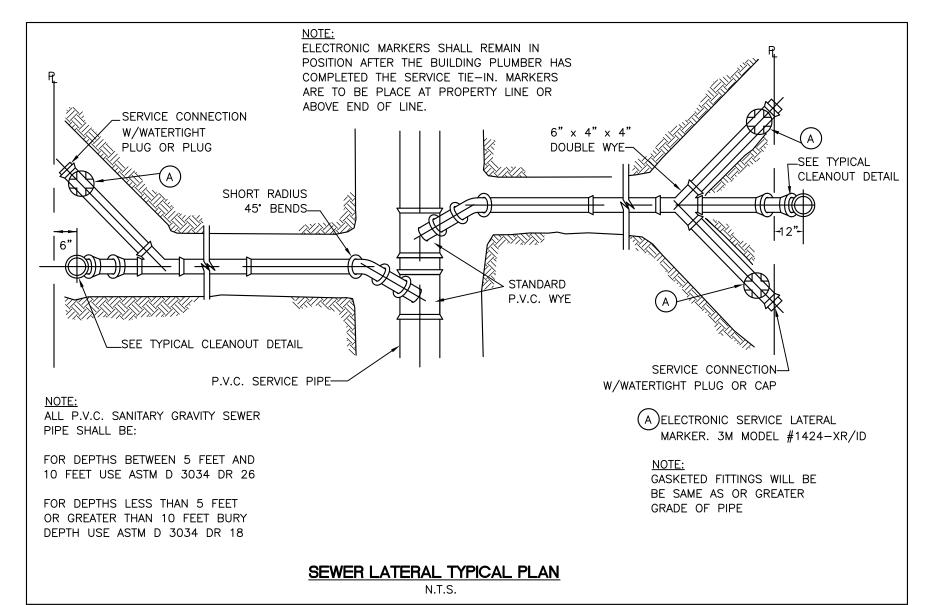
FLORIDA KEYS AQUEDUCT AUTHORITY KEY WEST, FLORIDA

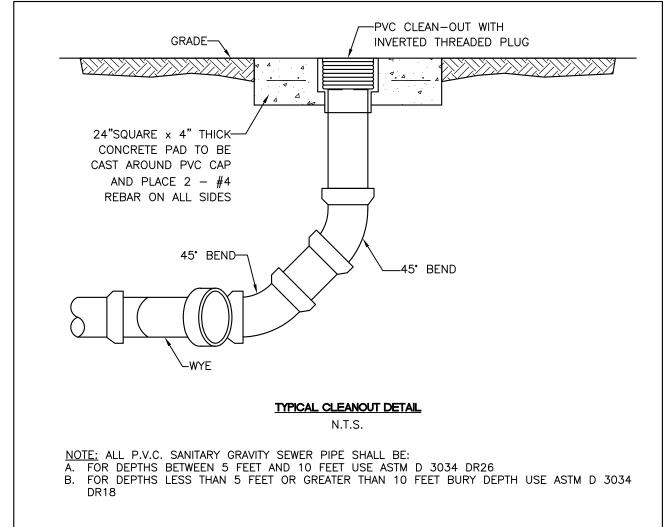
> THIS SHEET IS NOT VALID WITHOUT THE Joshua J. Jennings, Professional Engineer, State of Florida. License No. 90677 This item has been digitally signed and sealed by Joshua J. Jennings, P.E. on the date indicated here. 10-24-2024 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies. Joshua J. Jennings

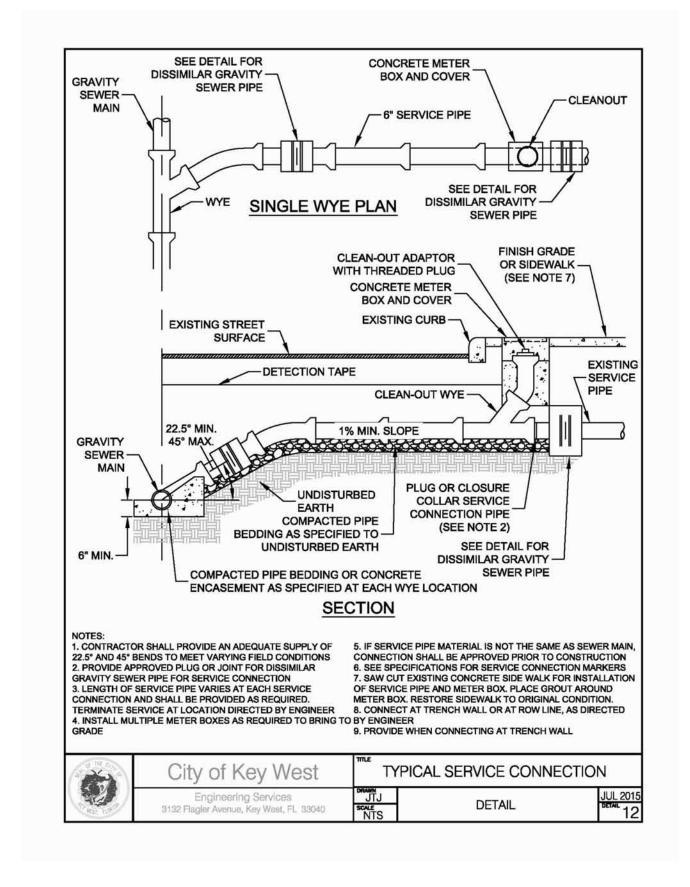
Professional Engineer State of Florida Registration No. 90677

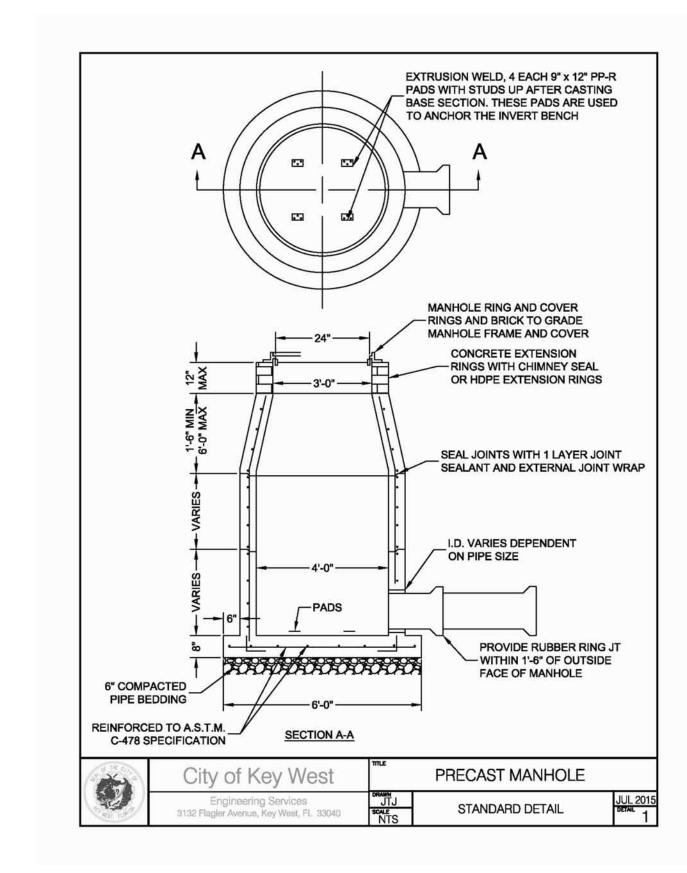
C-6.1

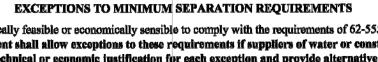
TE 1306 33950











Where it is not technically feasible or economically sensible to comply with the requirements of 62-555.314(1) or (2), F.A.C., the Department shall allow exceptions to these requirements if suppliers of water or construction permit applicants provide technical or economic justification for each exception and provide alternative construction features that afford a similar level of reliability and public health protection. Acceptable alternative construction features include the following:

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH 62-555.314(5)(a), F.A.C.

Figure 1. Horizontal separation distance X less than required but not Water Main

> X = less than requiredbut not less than 3 feet:

Figure 2. Joint spacing distance Z less than required Water Main

Where an underground water main is being laid less than the required minimum horizontal distance from another pipeline and where an underground water main is crossing another pipeline and joints in the water main are being located less than the required minimum distance from joints in the other pipeline:

1. Use of pressure-rated pipe conforming to the American Water Works Association standards incorporated into Rule 62-555.330, F.A.C., for the other pipeline if it is a gravity- or vacuum-type pipeline;

2. Use of welded, fused, or otherwise restrained joints for either the water main or the other pipeline; or 3. Use of watertight casing pipe or concrete encasement at least four inches thick for either the water main or the other

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH 62-555.314(5)(b), F.A.C.

Figure 3. Horizontal separation distance X less than 3 feet Water Main X = less than 3 feet

Figure 4. Crossing vertical separation distance Y less than required Water Main Y = less than required

Where an underground water main is being laid less than three feet horizontally from another pipeline and where an underground water main is crossing another pipeline and is being laid less than the required minimum vertical distance from the other pipeline:

Use of pipe, or casing pipe, having high impact strength (i.e., having an impact strength at least equal to that of 0.25-inchthick ductile iron pipe) or concrete encasement at least four inches thick for both the water main and for the other pipeline if it is new and is conveying wastewater or reclaimed water.

Disclaimer - This document is provided for your convenience only. Please refer to Rule 62-555.314, F.A.C., for additional construction requirements.

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH RULE 62-555.314, F.A.C.

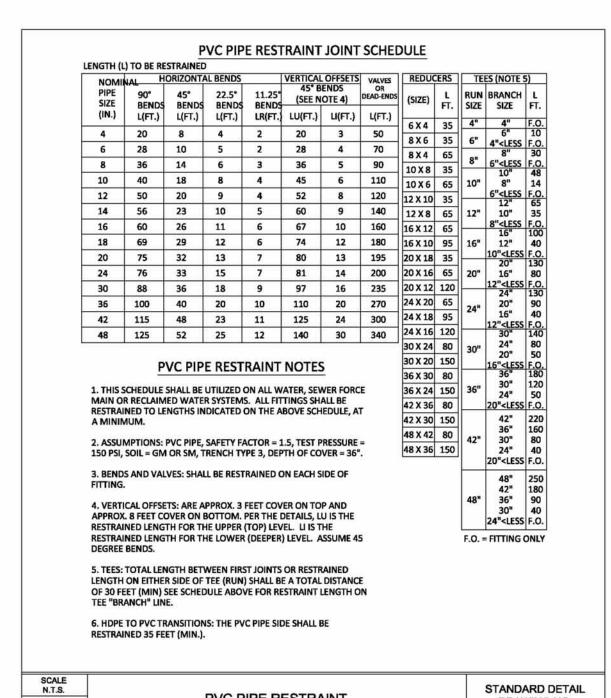
The following table summarizes the required separation distances from public water mains to other pipes as provided in Rule 62-62-555.314, F.A.C. Exceptions to these required distances are addressed on the second page.

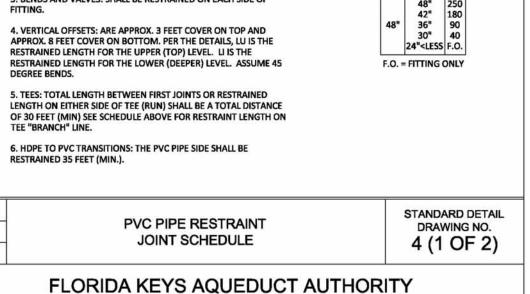
	Other Pipe	Horizontal Separation (2	Separatio		Joint Spacing (Z) @ Crossings (Full Joint Centered)
		T x	Water Main	417	Water Main
•	Storm Sewers Stormwater Force Mains Reclaimed Water Pipelines regulated under Part III of	3 ft. minimum	For water main i above other pipe 12 inches is the r except for storm 6 inches is the m 12 inches is pref	(preferred), minimum sewer, then inimum and	Alternate 3 ft. minimum
	Chapter 62-610, F.A.C.		12 inches minim main is below of		
•	Vacuum Sanitary Sower	10 ft. preferred 3 ft. minimum	For water main i above other pipe preferred and 6 i minimum	, 12 inches	Alternate 3 ft. minimum
			12 inches minim main is below of		
•	Gravity or Pressure Sanitary Sewer Sanitary Sewer Force Main Reclaimed Water Pipelines not regulated	10 ft. preferred 6 ft. minimum (note - 3 ft. minimum for gravity sanitary sewer where the bottom of the water main is laid at least		(preferred), minimum y sewer, the minimum	Alternate 6 ft. minimum
	under Part III of Chapter 62-610, F.A.C.	inches above the top of the gravity sanitary sewer)	12 inches minim main is below of		
•	On-Site Sewage	10 ft. minimum	NA		NA

Refer to the next page for exceptions to the minimum separation requirements provided above.

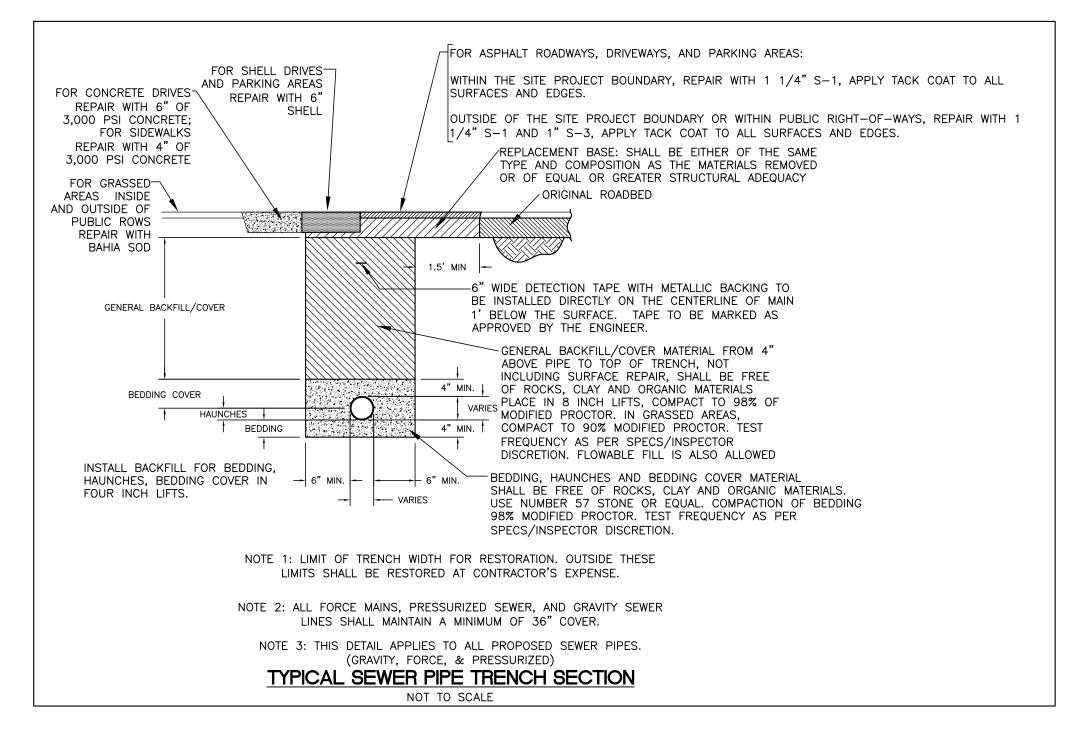
Treatment & Disposal

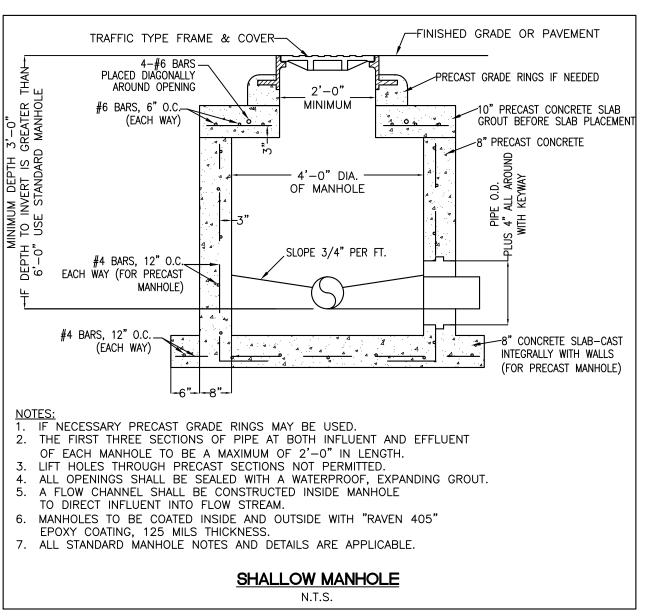
Disclaimer – This document is provided for your convenience only. Please refer to Rule 62-555.314, F.A.C., for additional construction requirements.





KEY WEST, FLORIDA





THIS SHEET IS NOT VALID WITHOUT TH
SIGNATURE AND ORIGINAL SEA Professional Engineer, State of Florida. License No. 90677 This item has been digitally signed and sealed by Joshua J. Jennings, P.E. on the date indicated here. 10-24-2024 Printed copies of this document are not considered signed and sealed and the signature must be verified

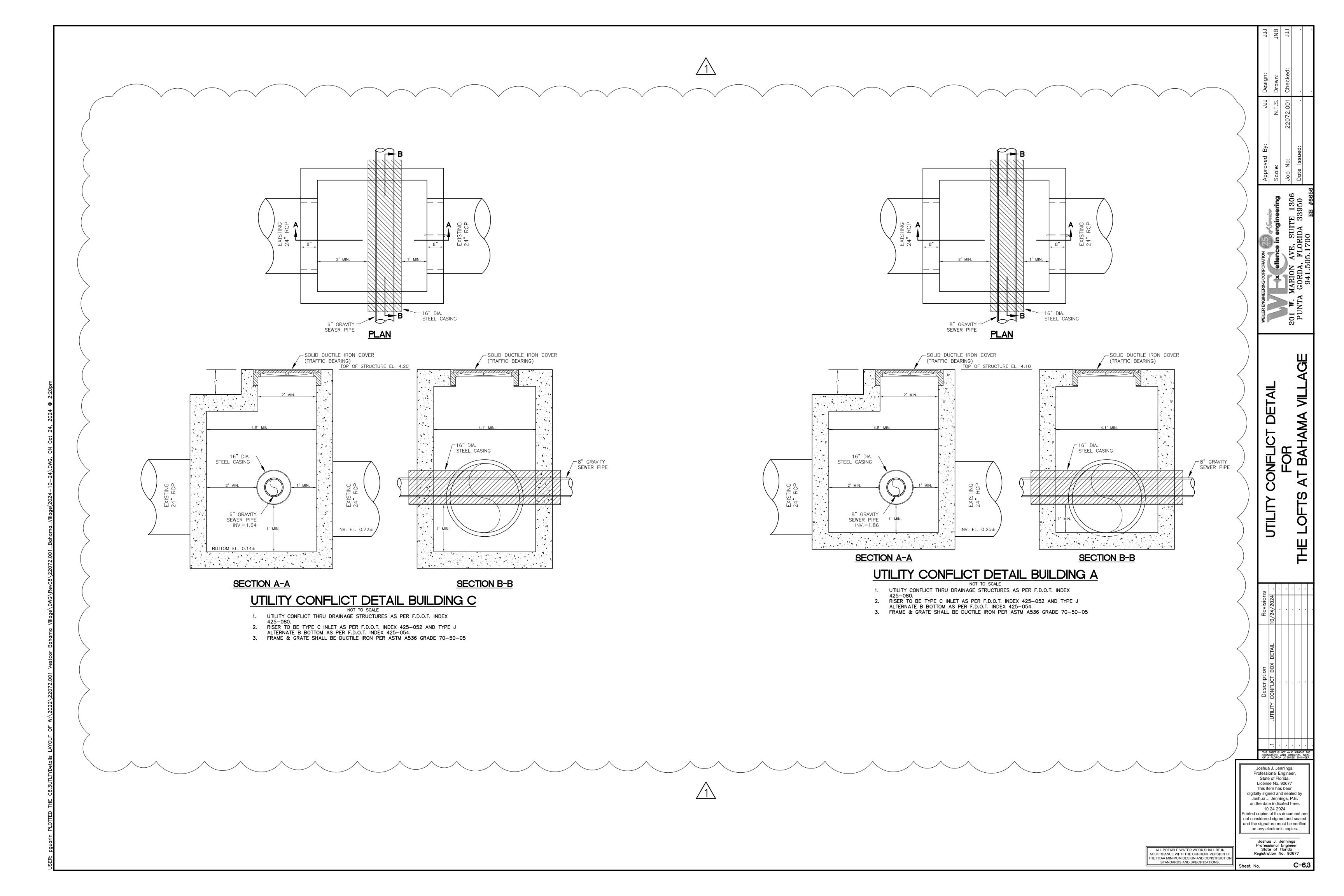
THE FKAA MINIMUM DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS.

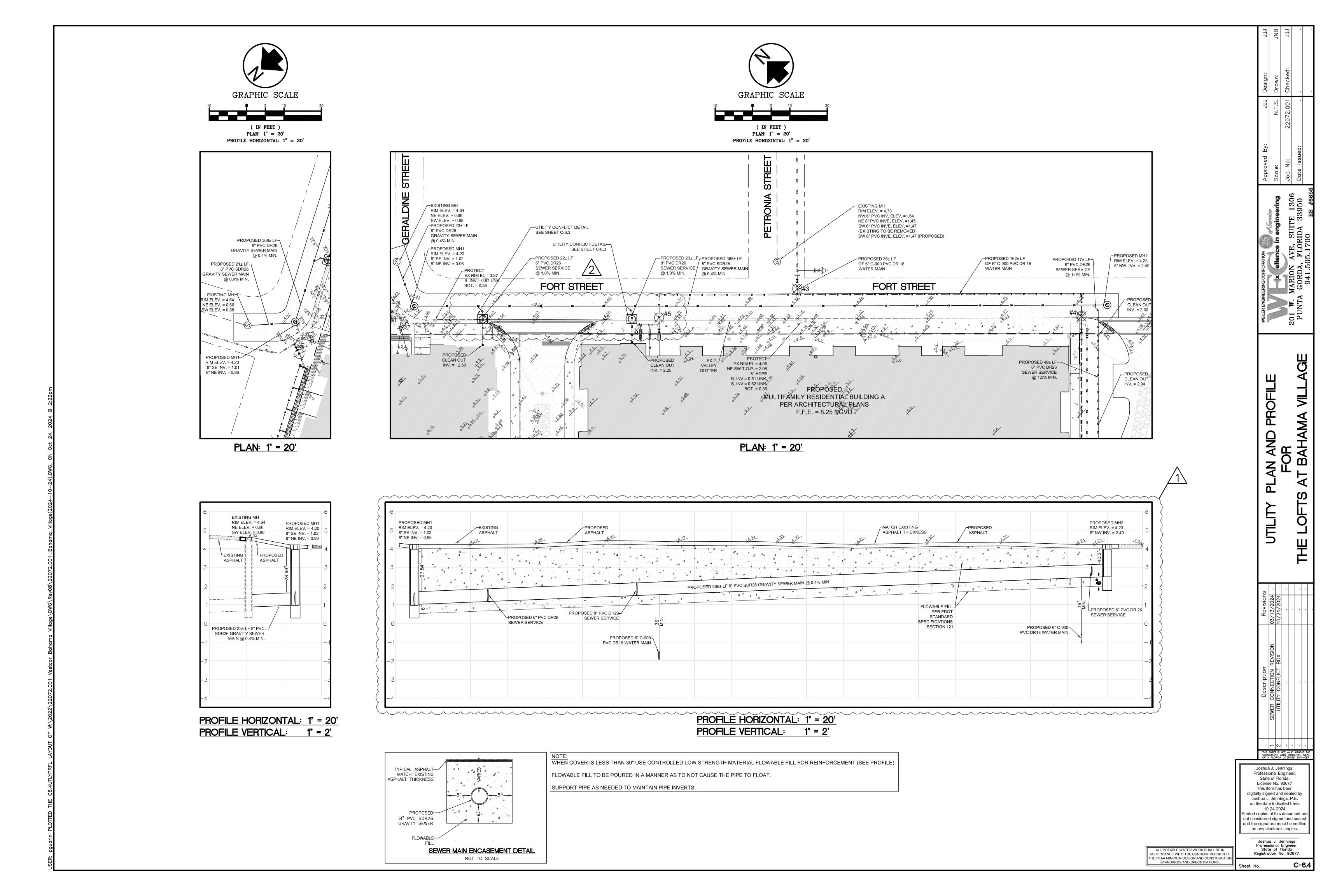
Professional Engineer State of Florida Registration No. 90677

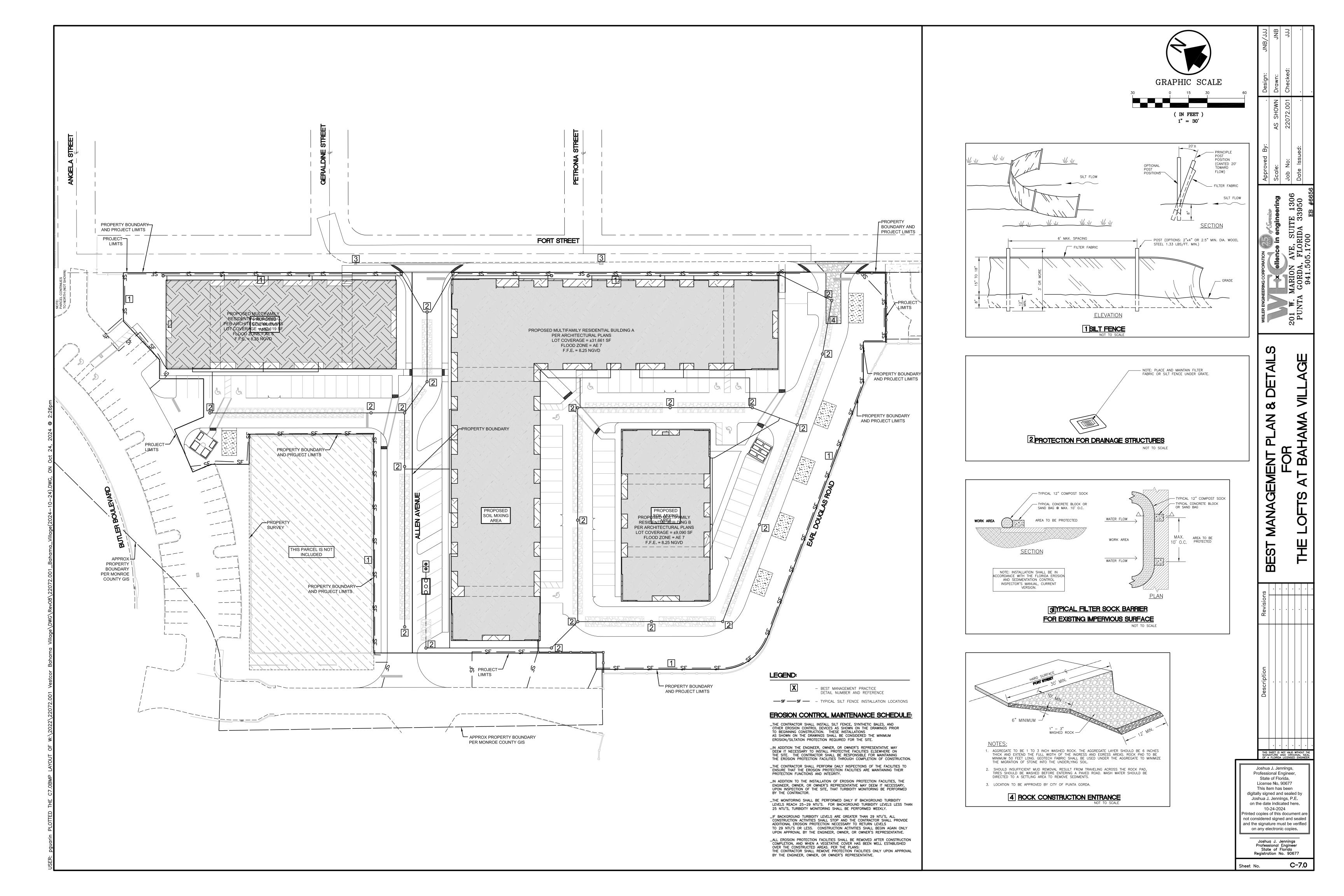
on any electronic copies.

Joshua J. Jennings

C-6.2







CONSTRUCTION SAFETY AND LIABILITY

CONTRACTOR MUST TAKE PROPER SAFETY AND HEALTH PRECAUTIONS TO PROTECT THE WORK, THE WORKERS, THE PUBLIC, AND THE PROPERTY OF OTHERS. THE CONTRACTOR IS RESPONSIBLE ALSO FOR ALL MATERIALS DELIVERED AND WORK PERFORMED UNTIL COMPLETION AND ALL ACCEPTANCES HAVE BEEN OBTAINED. THE CONTRACTOR SHALL MAINTAIN TRAFFIC DURING CONSTRUCTION IN ACCORDANCE WITH THE CURRENT VERSION OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO PERSONS OR PROPERTY THAT OCCURS AS A RESULT OF THEIR NEGLIGENCE. THE CONTRACTOR SHALL SAVE HARMLESS AND INDEMNIFY THE OWNER AND THE ENGINEER OF RECORD, ITS OFFICERS, REPRESENTATIVES AND EMPLOYEES FROM ALL CLAIMS, LOSS, DAMAGE, ACTIONS, CAUSES OF ACTION, AND/OR EXPENSES RESULTING FROM, BROUGHT FOR, OR ON ACCOUNT OF ANY PERSONAL INJURY OR PROPERTY DAMAGE RECEIVED OR SUSTAINED BY ANY PERSONS OR PROPERTY GROWING OUT OF OCCURRING, OR ATTRIBUTABLE TO ANY WORK PERFORMED UNDER OR RELATED TO THIS CONTRACT. RESULTING IN WHOLE OR IN PART FROM THE NEGLIGENT ACTS OR OMISSIONS OF THE CONTRACTOR, ANY SUBCONTRACTOR, OR ANY EMPLOYEE, AGENT, OR REPRESENTATIVE OF THE CONTRACTOR OR ANY SUBCONTRACTOR. CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT (FL Stat \$553.63) AND ITS

THE OWNER SHALL SECURE PRIOR TO CONSTRUCTION A PROFESSIONAL LAND SURVEYOR TO PERFORM AN "AS-BUILT" SURVEY OF ALL COMPLETED IMPROVEMENTS. THE OWNER SHALL ALSO SECURE PRIOR TO CONSTRUCTION A PROFESSIONAL ENGINEER TO PROVIDE THE APPROPRIATE SERVICES NEEDED IN ORDER TO CERTIFY TO ALL APPLICABLE REGULATORY AGENCIES THAT THE IMPROVEMENTS WERE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH ALL APPLICABLE PERMITS AND APPROVALS. THE OWNER SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER, SURVEYOR, CONTRACTOR, TESTING LAB, UTILITY COMPANIES, AND APPROPRIATE REGULATORY AGENCIES. THE CONTRACTOR SHALL PROVIDE A SHOP DRAWING SUBMISSION SCHEDULE FOR ALL PROJECT MATERIALS AND COMPONENTS. THE CONTRACTOR SHALL NOT INITIATE CONSTRUCTION OF ANY PORTION OF THE IMPROVEMENTS UNTIL THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED FOR THAT PORTION BY THE ENGINEER. THE OWNER, CONTRACTOR, ENGINEER AND UTILITY COMPANY SHALL ALSO DISCUSS ALL DOCUMENTATION REQUIRED FOR CONTRIBUTED FACILITIES TRANSFER FROM THE OWNER/DEVELOPER TO THE UTILITY COMPANY UPON PROJECT COMPLETION, UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, THE FOLLOWING DOCUMENTS SHALL BE PROVIDED:

- DOCUMENTS REQUIRED FOR CONTRIBUTED FACILITIES FROM DEVELOPER TO UTILITY COMPANY: 1. UTILITY EASEMENT(S): MUST BE RECORDED AT COUNTY CLERK OF COURT OFFICE BEFORE SUBMITTING TO UTILITY
- 2. EASEMENT ACKNOWLEDGMENT. AFFIDAVIT
- 4. RELEASE OF LIEN.
- 5. BILL OF SALE
- 6. ASSIGNMENT OF RIGHTS UNDER UTILITY AGREEMENT: WHEN PROPERTY HAS BEEN
- TRANSFERRED TO A NEW OWNER. 7. RECORD DRAWINGS (AS-BUILT): MUST BE SIGNED AND SEALED BY ENGINEER OF
- RECORD, SUBMIT A REPRODUCIBLE MYLAR AND TWO COPIES OF PRINTS. 8. DETAILED COST OF CONSTRUCTION: MUST INCLUDE INDIVIDUAL ITEMS OR APPURTENANCES, UNIT COST AND TOTAL COST OF EACH. DO NOT INCLUDE WATER
- SERVICE LINES OR SEWER LATERALS. 9. DESCRIPTION OF FACILITIES: A SHORT EXPLANATION DEPICTING WHAT HAS BEEN
- CONSTRUCTED. 10. D.E.P. APPLICATION(S).
- 11. INSPECTION REPORT(S). 12. PRESSURE TEST REPORT(S).
- 13. INFILTRATION-EXFILTRATION TEST REPORT(S), INCLUDING VIDEO TAPES AND LAMPING
- 14. LIFT STATION INSPECTION (START-UP) REPORT(S) AND EQUIPMENT SHOP DRAWINGS. 15. BACTERIOLOGICAL TEST REPORT(S).
- 16. ENGINEER'S CERTIFICATE OF SUBSTANTIAL COMPLETION TO D.E.P.
- 17. SYSTEM(S) ACCEPTANCE LETTER(S) FROM D.E.P. NOTES: ITEM 1-6 & 8 TO BE SUPPLIED.

BY OWNER. ITEMS 7 & 9-17 TO BE SUPPLIED BY ENGINEER OF RECORD. UNLESS OTHERWISE SPECIFIED BY THE UTILITY, THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, GAS, SEWER, TELEPHONE, AND POWER COMPANIES, 10 DAYS IN ADVANCE, THAT HE INTENDS TO START WORK IN A SPECIFIC AREA, THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER LINES, GAS LINES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET,

ALLEY, PUBLIC PLACE, RIGHT-OF-WAY, OR EASEMENT. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A CONSTRUCTION PROJECT SIGN AT A LOCATION DIRECTED BY THE OWNER. THE WEILER ENGINEERING CORPORATION SHALL PROVIDE A SEPARATE SIGN FOR INSTALLATION BY THE CONTRACTOR AT THIS LOCATION. THESE SIGNS SHALL BE ERECTED WITHIN 15 DAYS AFTER RECEIVING A NOTICE TO PROCEED. UPON PROJECT

ENVIRONMENTAL PROTECTION DURING CONSTRUCTION

COMPLETION, THE CONTRACTOR SHALL REMOVE THESE SIGNS AND RETURN TO WEILER

PROTECTION OF LAND RESOURCES EXCEPT IN AREAS IDENTIFIED ON THE PLANS TO BE CLEARED, THE CONTRACTOR MUST NOT DEFACE, INJURE, OR DESTROY TREES OR SHRUBS OR REMOVE OR CUT THEM WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. IN THE ABSENCE OF A CLEARING PLAN, AREAS SHOWN FOR IMPROVEMENTS SHALL BE CLEARED UNLESS NOTED OTHERWISE.

PROTECTION OF WATER RESOURCES

ENGINEERING CORPORATION THEIR SIGN.

THE RESPONSIBILITY OF THE CONTRACTOR TO INVESTIGATE AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, REGIONAL COUNTY AND MUNICIPAL LAWS CONCERNING POLLUTION OF WATER RESOURCES. ALL WORK MUST BE PERFORMED IN SUCH A MANNER THAT OBJECTIONABLE CONDITIONS WILL NOT BE CREATED IN PUBLIC WATERS RUNNING THROUGH, OR ADJACENT TO THE PROJECT AREA.

1. EROSION AND SEDIMENT CONTROL - ALL PRACTICABLE AND NECESSARY EFFORT SHOULD BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND THE TRANSPORT OF SEDIMENT TO SURFACE DRAINS, SURFACE WATER, OR ONTO OTHER PROPERTY BY ANY OR ALL OF THE FOLLOWING METHODS:

- A. STORMWATER FACILITIES ARE TO BE BUILT AS EARLY IN THE CONSTRUCTION PHASE AS POSSIBLE TO ENSURE THE TREATMENT OF STORMWATER RUNOFF. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES, HOWEVER, SUCH AS BERMS, SEDIMENT BASINS, GRASSING, SODDING, SAND BAGGING, BALED HAY OR STRAW, FLOATING SILT, BARRIERS, STACKED SILT BARRIERS, ETC., MUST BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT FACILITIES ARE COMPLETED AND OPERATIONAL.
- B. REVEGETATION AND STABILIZATION OF DISTURBED GROUND SURFACES SHOULD BE ACCOMPLISHED AS SOON AS POSSIBLE
- C. FULL COMPACTION OF ANY FILL MATERIAL PLACED AROUND NEWLY INSTALLED
- D. PROHIBIT THE USE OF ANY CONSTRUCTION EQUIPMENT THAT LEAKS EXCESSIVE AMOUNTS OF FUEL OIL, OR HYDRAULIC FLUID. 2. ALL DISTURBED AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, EXCEPT RETENTION AREAS, AND SHALL BE STABILIZED BY SODDING, EXCEPT WHERE SEEDING AND MULCHING
- ARE CALLED FOR ON THE PLANS. THE LATEST VERSION OF THE F.D.O.T. ROAD AND BRIDGE SPECIFICATIONS SHALL BE USED UNLESS MORE RESTRICTIVE LOCAL SPECIFICATIONS

CONTRACTOR IS RESPONSIBLE FOR STABILIZING AND MAINTAINING SLOPES AND SOD THROUGHOUT CONSTRUCTION UNTIL SUCH TIME AS APPROVED BY THE ENGINEER.

PROTECTION OF FISH AND WILDLIFE

THE CONTRACTOR SHALL AT ALL TIMES PERFORM ALL WORK IN A WAY AND TAKE STEPS AS REQUIRED TO PREVENT ANY INTERFERENCE WITH OR DISTURBANCE TO FISH AND WILDLIFE. THE CONTRACTOR SHALL NOT ALTER WATER FLOWS OR OTHERWISE DISTURB NATIVE HABITATS AND JURISDICTIONAL WETLANDS LOCATED WITHIN AND/OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REGARDING THE PROTECTION OF FISH AND WILDLIFE THROUGHOUT CONSTRUCTION.

PROTECTION OF HISTORICAL AND

ARCHEOLOGICAL RESOURCES

THE CONTRACTOR SHALL ADHERE TO ALL FEDERAL, STATE, AND LOCAL LAWS REGARDING THE RECORDING, PROTECTING, AND PRESERVING OF HISTORICAL AND ARCHEOLOGICAL RESOURCES. ALL ITEMS HAVING ANY APPARENT HISTORICAL OR ARCHEOLOGICAL INTEREST THAT ARE DISCOVERED IN THE COURSE OF ANY CONSTRUCTION ACTIVITIES CONSTITUTE AN ARCHEOLOGICAL FIND AND SHALL BE CAREFULLY PRESERVED. THE CONTRACTOR SHALL LEAVE THE FIND UNDISTURBED AND IMMEDIATELY REPORT THE FIND TO THE OWNER SO THAT THE PROPER AUTHORITY MAY BE NOTIFIED.

EARTHWORK

- GENERAL 1-01 SUBMITTALS
- A. EROSION AND CONTROL MEASURES
- C. SOIL CLASSIFICATION TESTS
- B. COMPACTION TESTS D. PRESERVATION PLANS
- 1-02 SITE EXAMINATION A. CONTRACTORS, BEFORE SUBMITTING BIDS, SHALL INFORM THEMSELVES AS TO AND NATURE OF THE WORK, CHARACTER OF EQUIPMENT AND FACILITIES NEEDED FOR PERFORMANCE OF THE WORK, GENERAL AND LOCAL CONDITIONS PREVAILING AT THE SITE, AND OTHER MATTERS WHICH MAY IN ANY WAY, AFFECT THE WORK UNDER CONTRACT B. EXAMINE SOURCES OF INFORMATION CONCERNING GROUND WATER LEVEL, WHETHER SURFACE OR SUBSURFACE. EACH BIDDER TO DRAW HIS OWN CONCLUSION CONCERNING GROUND WATER LEVELS AND HOW WATER AFFECTS HIS WORK.
- 1-03 SUBSURFACE INVESTIGATIONS A. SUBSURFACE DATA, INCLUDING GROUND WATER ELEVATIONS OR CONDITIONS, IF SHOWN ON THE DRAWINGS OR ATTACHED TO THESE SPECIFICATIONS, ARE PRESENTED ONLY AS INFORMATION THAT IS AVAILABLE WHICH INDICATED CERTAIN CONDITIONS FOUND AND LIMITED TO THE EXACT LOCATIONS, SHALL NOT BE INTERPRETED AS AN INDICATION OF CONDITIONS THAT MAY ACTUALLY BE DEVELOPED THROUGH THE PERIOD OF CONSTRUCTION. BIDDERS SHALL EXAMINE THE SITE OF THE WORK AND MAKE THEIR OWN DETERMINATION OF THE CHARACTER OF MATERIALS AND THE CONDITIONS TO BE ENCOUNTERED ON THE WORK, AND THEIR PROPOSAL SHALL BE BASED UPON THEIR OWN INVESTIGATIONS. THE OWNER AND ENGINEER SHALL NOT BE HELD
- RESPONSIBLE FOR VARIATIONS FOUND TO EXIST BETWEEN THE ATTACHED DATA ABOVE REFERRED TO AND ACTUAL FIELD CONDITIONS THAT DEVELOP THROUGH THE PERIOD OF CONSTRUCTION. B. WHERE EXISTING GRADES, UTILITY LINES AND SUBSTRUCTURES ARE SHOWN ON THE DRAWINGS, THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY FOR CORRECTNESS OF EXISTING CONDITIONS INDICATED. THE CONTRACTOR SHALL ASCERTAIN EXACT LOCATIONS OF UTILITIES AND SUBSTRUCTURES THAT MAY BE AFFECTED BY THIS PROJECT, AND SHALL BE RESPONSIBLE
- FOR ANY DAMAGE OR INJURY THAT MAY RESULT FROM WORKING ON OR NEAR THOSE UTILITIES, SUBSTRUCTURES WHICH ARE NOT TO BE REMOVED OR DEMOLISHED. C. THE CONTRACTOR SHALL MAKE HIS OWN DEDUCTIONS OF THE SUBSURFACE CONDITIONS WHICH MAY AFFECT METHODS OR COST OF CONSTRUCTION AND HE AGREES THAT HE WILL MAKE NO CLAIM FOR DAMAGES OR OTHER COMPENSATION EXCEPT SUCH AS ARE PROVIDED FOR IN THE AGREEMENT, SHOULD HE FIND CONDITIONS DURING THE PROGRESS OF THE WORK DIFFERENT
- 1-04 BENCH MARKS AND MONUMENTS A. MAINTAIN CAREFULLY EXISTING BENCH MARKS, MONUMENTS, AND OTHER REFERENCE POINTS IF DISTURBED OR DESTROYED, REPLACE AS DIRECTED.

FROM THOSE AS CALCULATED OR ANTICIPATED BY HIM.

- A. CONDITION OF PREMISES: ACCEPT SITE AS FOUND AND EXCAVATE, FILL, COMPACT, AND BACKFILL SITE AS HEREINAFTER SPECIFIED.
- B. PROTECTION 1. EXISTING STRUCTURES AND PROPERTY: TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES AND FACILITIES; PROVIDE AND PLACE BRACING OR SHORING AS NECESSARY OR PROPER IN CONNECTION THEREWITH: BE RESPONSIBLE FOR SAFETY AND SUPPORT OF SUCH STRUCTURES; BE LIABLE FOR ANY MOVEMENT OR SETTLEMENT. ANY DAMAGE OR INJURY CAUSED THEREBY OR RESULTING THEREFROM. IF AT ANY TIME SAFETY OR ANY ADJACENT STRUCTURES APPEARS TO BE ENDANGERED, CEASE OPERATION, TAKE PRECAUTIONS TO SUPPORT SUCH STRUCTURES AND NOTIFY THE OWNER. RESUME OPERATIONS ONLY AFTER PERMISSION HAS BEEN CHANGED BY THE OWNER.
- 2. SIDEWALKS AND STREETS: TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT, SETTLEMENT OR COLLAPSE OF ANY SIDEWALKS, CURBS OR STREET PASSAGES ON ADJOINING SITE; BE LIABLE FOR ANY SUCH MOVEMENT, SETTLEMENT OR COLLAPSE; REPAIR PROMPTLY SUCH DAMAGE WHEN SO ORDERED; INSTALL SUCH SHORING, INCLUDING SHEET PILING, AS MAY BE REQUIRED DURING EXCAVATION, TO PROTECT BANKS, ADJACENT PAVING, STRUCTURES AND UTILITIES 3. RESPONSIBILITY: BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES OR TO EQUIPMENT AND FURNISHINGS HOUSED THEREIN WHICH ARE DUE DIRECTLY OR INDIRECTLY TO CONSTRUCTION OPERATIONS, EXCEPT WHERE REMOVAL IS NECESSITATED BY SITE GRADING OR LOCATION OF NEW BUILDING. USE EVERY POSSIBLE PRECAUTION TO PREVENT INJURIES TO LANDSCAPING, DRIVES, CURBS AND WALKS ON OR ADJACENT TO SITE OF THE WORK AND REPLACE, AT NO EXPENSE TO OWNER, ANY OF SUCH DESTROYED.

II. EXECUTION

- A. IN A MANNER THAT PROVIDES FOR THE SAFETY OF THE PUBLIC AND WORKMEN AND PROVIDE FOR THE PROTECTION OF ALL PROPERTY. B. CONSTRUCTION: DO NOT CLOSE, OBSTRUCT OR STORE MATERIAL OR EQUIPMENT IN STREETS, SIDEWALKS, ALLEYS OR PASSAGEWAYS WITHOUT A PERMIT IN ACCORDANCE WITH LOCAL ORDINANCES. REGULATIONS AND CODES
- C. INTERFERENCE: CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE WITH ROADS, STREETS, DRIVEWAYS, ALLEYS, SIDEWALKS AND OTHER FACILITIES.
- D. PNEUMATIC TOOLS: WORK WITH PNEUMATIC OR VIBRATORY TOOLS WILL BE PERMITTED ONLY IN A MANNER WHICH CAUSES NO RELATED DAMAGES. E. REMOVAL: UNLESS OTHERWISE NOTED OR SPECIFIED TO BE RELOCATED OR STORED, ALL
- MATERIALS REMOVED BECOME THE PROPERTY OF THE CONTRACTOR AND ARE TO BE REMOVED COMPLETELY AWAY FROM THE SITE BY HIM. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON THE SITE F. TEMPORARY STRUCTURES: REMOVE ALL TEMPORARY STRUCTURES WHEN THEY ARE NO LONGER
- C REPAIR: CLEAN LIP REPAIR OR REPLACE AT NO COST TO OWNER ALL PROPERTY DAMAGED BY REASON OF REQUIRED WORK. ALL PATCHWORK SHALL MATCH EXISTING AND BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER BY CRAFTSMEN SKILLED IN THE TRADE INVOLVED. IN NEWLY GRADED AREAS TAKE EVERY PRECAUTION AND TEMPORARY MEASURE NECESSARY, TO PREVENT DAMAGE FROM EROSION OF FRESHLY GRADED AREA. WHERE ANY SETTLEMENT OR WASHING MAY OCCUR PRIOR TO ACCEPTANCE OF THE WORK, REPAIR AND RE-ESTABLISH GRADES TO THE REQUIRED ELEVATIONS AND SLOPES AT NO ADDITIONAL COST TO THE OWNER. THIS APPLIES TO DAMAGE TO THE NEWLY GRADED AREAS WITHIN THE CONSTRUCTION LIMITS AND
- DAMAGE TO ADJACENT PROPERTIES BY ERODED MATERIAL. 2-02 LOCATIONS AND ELEVATIONS A. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEYS, MEASUREMENTS AND LAYOUTS REQUIRED FOR PROPER EXECUTION OF THE WORK. LAY OUT LINES AND GRADES FROM EXISTING SURVEY CONTROL SYSTEM AND AS SHOWN ON DRAWINGS.
- 2-03 CLEARING AND GRUBBING A. WITHIN LIMITS OF AREAS DESIGNATED FOR GRADING AND SITE CONSTRUCTION WORK, REMOVE TREES, BRUSH, STUMPS, WOOD, DEBRIS AND OTHER DELETERIOUS MATERIALS NOT REQUIRED TO REMAIN AS PART OF FINISHED WORK.
- B. REMOVE ALL GRASS, PLANTS, VEGETATION AND ORGANIC MATERIAL FROM SAME AREA. 2-04 STRIPPING A. STRIP ALL TOPSOIL ORGANIC MATERIAL SURFACE LITTER, RUBBLE, AND OVERBURDEN FOR ENTIRE DEPTH OF ROOT SYSTEM OF GRASS OR OTHER VEGETATION OVER THE LIMITS OF CONSTRUCTION. B. STOCKPILE TOPSOIL ON SITE WHERE DIRECTED.
- 2-05 EXCAVATION A. BEGIN EXCAVATION AFTER STRIPPING, CLEARING AND GRUBBING WHERE APPLICABLE, HAS BEEN B. EXCAVATE TO GRADES REQUIRED TO ACCOMMODATE THE PROPOSED CONSTRUCTION. DEWATER
- AS NEEDED. C. REMOVE "UNSATISFACTORY MATERIALS" ENCOUNTERED FROM THE BUILDING AREAS, AND OTHER NON-LANDSCAPED AREAS. D. EXCAVATE IN SUCH A MANNER THAT QUICK AND EFFICIENT DRAINAGE OF STORMWATER WILL BE
- E. CLASSIFY EXCAVATED MATERIALS AND STOCKPILE SEPARATELY SUITABLE SOILS FOR USE AS BACKFILL MATERIALS. IF SUFFICIENT QUANTITIES OF EXCAVATED MATERIALS MEETING REQUIREMENTS FOR BACKFILL ARE NOT AVAILABLE ON SITE, PROVIDE MATERIALS MEETING THESE
- F. STOCKPILE EXCAVATED MATERIAL SUITABLE FOR USE AS FILL AND BACKFILL.
- 2-06 FILLING, BACKFILLING AND COMPACTING. A. THE WORK CONSISTS OF COMPACTION OF EXISTING EARTH (EXCLUDE ROCK), SURFACES AFTER EXCAVATION, FILLING AND COMPACTION OF SAID AREA TO LEVELS REQUIRED WITH SUITABLE BACKFILL MATERIAL B. MATERIALS: "SATISFACTORY FILL MATERIALS" AASHTO CLASSIFICATION A-3 OR BETTER SHALL BE
- USED IN FILLS AND BACKFILLS. C. FILLING AND BACKFILLING: PLACE "SATISFACTORY FILL MATERIAL" IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH. COMPACT AS SPECIFIED HEREIN NO MATERIAL SHALL BE PLACED ON SURFACES THAT ARE MUDDY.
- D. COMPACTION: COMPACTION SHALL BE WITH EQUIPMENT SUITED TO SOIL BEING COMPACTED. MOISTEN OR AERATE MATERIAL AS NECESSARY TO PROVIDE MOISTURE CONTENT THAT WILL READILY FACILITATE OBTAINING SPECIFIED COMPACTION WITH EQUIPMENT USED. COMPACT EACH LAYER TO NOT LESS THAN PERCENTAGE OF MAXIMUM DENSITY SPECIFIED BELOW DETERMINED IN ACCORDANCE WITH AASHTO T-180. INSURE THAT THE COMPACTION OF PREVIOUSLY PREPARED
- FILL AREAS HAS BEEN MAINTAINED PRIOR TO PLACING NEW LAYERS. E. RECONDITIONING OF SUBGRADE: WHERE APPROVED COMPACTED SUBGRADES ARE DISTURBED BY THE CONTRACTOR'S SUBSEQUENT OPERATIONS OR ADVERSE WEATHER SUBGRADE SHALL BE SCARIFIED AND COMPACTED AS SPECIFIED HEREIN BEFORE TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION THEREON. RE-COMPACTION OVER UNDERGROUND UTILITIES SHALL BE BY POWER-DRIVEN HAND TAMPERS.
- F. COMPACTION REQUIREMENTS 1. FILL UNDER LAWNS AND PLANTED: 95%
- A. THE CONTRACTOR WILL PROVIDE THE SERVICES OF A TESTING LABORATORY TO PERFORM SPECIFIED TESTS, INSPECTIONS, INSTRUMENTATION AND INSPECTION OF THE WORK.
- B. TESTS OF MATERIALS SHALL BE AS FOLLOWS: 1. SOIL CLASSIFICATION: ONE TEST FROM EACH TYPE OF MATERIAL ENCOUNTERED AND OR PROPOSED TO BE USED.
- 2. LABORATORY TESTS FOR MOISTURE-CONTEST AND DENSITY ACCORDING TO AASHTO T-180: ONE TEST FOR EACH MATERIAL ENCOUNTERED AND/OR PROPOSED TO BE USED.
- 3. FIELD TESTS FOR MOISTURE CONTEST AND DENSITY: ONE TEST PER LAYER OF FILL PER 5,000 SQUARE FEET OF AREA.

DEWATERING

- .01 GENERAL A. DEWATERING CONSISTS OF PERFORMING ALL WORK NECESSARY TO REMOVE SURFACE WATER AND/OR CONTROL THE GROUND WATER LEVELS AND HYDROSTATIC PRESSURES IN ORDER TO PERMIT ALL EXCAVATION AND CONSTRUCTION UNDER THIS CONTRAST TO BE PERFORMED IN
- B. WORK OF THIS SECTION INCLUDES INSTALLATION, OPERATIONS, MAINTENANCE, SUPERVISION, SUPPLY, DISMANTLING, AND REMOVAL FROM THE SITE OF THE DEWATERING FOUIPMENT. C. THE CONTRACTOR MUST FAMILIARIZE HIMSELF WITH THE POTENTIAL FOR EXCESSIVE RAINFALL
- THE GROUND CONDITIONS, AND THE GROUND WATER CONDITIONS, GROUND WATER ELEVATION CAN FLUCTUATE. IT IS ANTICIPATED THAT ANY EXCAVATIONS MAY ENCOUNTER THE GROUND WATER TABLE D. DRAINAGE OF THE SITE: AT ALL TIMES THE CONTRACTOR SHALL MAINTAIN AND OPERATE
- ADEQUATE SURFACE AND SUBSURFACE DRAINAGE METHODS IN ORDER TO KEEP THE CONSTRUCTION SITE DRY AND IN SUCH CONDITION THAT PLACEMENT AND COMPACTION OF FILL MAY PROCEED UNHINDERED BY SATURATION OF THE AREA DURING CONSTRUCTION, THE SURFACE OF THE BACKFILL AREA SHALL BE LEFT IN SUCH CONDITION THAT PRECIPITATION AND/OR SURFACE WATER WILL RUN OFF WITHOUT PONDING.
- A. THE CONTROL OF ALL SURFACE AND SUBSURFACE WATER IS PART OF THE DEWATERING REQUIREMENTS, MAINTAIN ADEQUATE CONTROL SO THAT THE STABILITY OF EXCAVATED AND CONSTRUCTION SLOPES IS NOT ADVERSELY AFFECTED BY WATER, THAT EROSION IS CONTROLLED, AND THE FLOODING OF EXCAVATIONS OR DAMAGE TO STRUCTURES DOES NOT OCCUR. DRAIN SURFACE WATER AWAY FROM THE EXCAVATION.
- B. DISPOSE OF ALL WATER REMOVED FROM THE EXCAVATION IN A MANNER THAT WILL NOT ENDANGER PUBLIC HEALTH, PROPERTY, OR PORTIONS OF THE WORK UNDER CONSTRUCTION OR COMPLETED. DISPOSE OF WATER IN A MANNER THAT WILL CAUSE NO INCONVENIENCE WHATSOEVER TO THE OWNER OR TO OTHERS ENGAGED IN WORK AT THE SITE.
- C. DISPOSE OF WATER RESULTING FROM DEWATERING OPERATIONS IN ACCORDANCE WITH CITY, COUNTY, STATE AND FEDERAL REGULATIONS. D. CONDUCT OPERATIONS SO THAT STORMWATER RUNOFF, SEDIMENT IS NOT DISCHARGED TO THE ADJACENT WATER BODIES, SEWERS, STREETS AND ADJACENT PROPERTIES.

E. DEWATERING SYSTEM SHALL BE SO DESIGNED AS TO PREVENT REMOVAL OF SOIL FINES

PORTLAND CEMENT CONCRETE PAVING

FROM THE SITE DURING THE DEWATERING OPERATION.

<u>I-01 QUALITY ASSURANCE</u> A.COMPLY WITH ACI STANDARDS RECOMMENDED PRACTICES FOR CONSTRUCTION OF CONCRETE PAVEMENTS AND CONCRETE BASES (ACI316, LATEST EDITION) 1-02 REFERENCE STANDARDS

- A.THE FOLLOWING REFERENCE STANDARDS OF THE ISSUES LISTED BELOW BUT REFERRED TO THEREAFTER BY BASIC DESIGNATION ONLY, FORM A PART OF THIS SPECIFICATION TO THE EXTENT INDICATED BY THE REFERENCES THERETO, TESTS SHALL BE PERFORMED IN ACCORDANCE WITH HEREINAFTER SPECIFIED STANDARDS. 1. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) (CURRENT VERSION)
- 2. AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) STANDARD (CURRENT VERSION). 3. FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 350 "CEMENT CONCRETE
- PAVEMENT" (CURRENT VERSION). 4. T-180 MOISTURE-DENSITY RELATIONS OF SOILS. 1-03 SUBMITTALS A.THE CONTRACTOR SHALL SUBMIT TWO COPIES OF TEST REPORTS PREPARED BY N INDEPENDENT TESTING LABORATORY AND CERTIFIED BY A PROFESSIONAL
 - ENGINEER REGISTERED TO PRACTICE IN THE STATE OF FLORIDA. THESE REPORTS SHALL INDICATE ALL TESTS PERFORMED AND SHALL INCLUDE A CERTIFICATION STATEMENT OF COMPLIANCE WITH THE PROJECT SPECIFICATIONS. TESTS SHALL BE PERFORMED AS SPECIFIED UNDER THIS SECTION.
 - 1. SUBMIT FOR REVIEW THE FOLLOWING; A. CONCRETE DESIGN MIX AND PROVING FLEXURAL STRENGTH (MODULUS OF RUPTURE) TESTS
 - B. EXPANSION JOINT FILLER DATE
 - C. JOINT SEALER DATE D. PROPOSED PAVING CONSTRUCTION PLAN WHICH SHALL SHOW THE CONCRETE PAVING JOINT TYPES AND LOCATIONS AND SHALL INCLUDE A STATEMENT OF PROPOSED SEQUENCE AND SCHEDULE OF PAVING OPERATIONS
 - E. RESULTS OF CONCRETE TESTS F. RESULTS OF FIELD TESTS OF LBR AND COMPACTION OF STABILIZED SUBGRADE.
- A.STABILIZED SUBGRADE: PROVIDE 12 INCH STABILIZED SUBGRADE (LBR 40 MIN) COMPACTED TO A MINIMUM DENSITY OF 98% AS DETERMINED BY AASHTO T-180 B.CONCRETE: CONCRETE FOR CONCRETE PAVEMENT SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. A SLUMP RANGE BETWEEN 2 TO 4 INCHES AND A 28 DAY MODULES OR RUPTURE OF 650 PSI AS DETERMINED BY THE REQUIREMENTS
- OF PARAGRAPH TESTING SPECIFIED HEREINAFTER. C.JOINT SEALER: JOINT SEALING SHALL CONFORM TO FEDERAL SPECIFICATIONS SS-S401 OR SS-S-2009 (COLD APPLIED) D.PREMOLDED EXPANSION JOINT FILLER: PREMOLDED EXPANSION JOINT FILLER SHALL CONFORM TO ASTM D1751-7
- 1-05 EXECUTION A.COMPLY WITH AC STANDARD 316-74 AND SECTION 350, FDOT STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED HEREIN. B.FINAL GRADING: ALL CONCRETE PAVEMENT SHALL HAVE A MAXIMUM DEVIATION OF 1/8 INCH (PLUS/MINUS) FROM THE SPECIFIED SURFACE PLANE AND PLAN GRADES. C.THE SURFACE FINISH SHALL BE APPROVED BY THE OWNER OR HIS REPRESENTATIVE, IN GENERAL THE TEXTURE IS OF A MEDIUM BROOM FINISH AFTER FLOATING.
 - 1. CONTRACTION JOINTS INDICATED ON DRAWINGS, OR AS REQUIRED, SHALL BE PLACED PERPENDICULAR TO THE FINISH GRADE OF THE CONCRETE. JOINTS SHALL BE CUT TO A DEPTH OF 1/4 OF THE SLAB THICKNESS BY CUTTING WITH AN EDGING TOOL HAVING A 1/4 INCH RADIUS OR BY SAWING WITH A BLADE PRODUCING A CUT NOT LESS THAN 1/8 INCH IN WIDTH. SAW JOINTS WITHIN 4 TO 6 HOURS OF CONCRETE PLACEMENT
 - 2. EXPANSION JOINTS SHALL BE PLACED WHERE INDICATED ON DRAWINGS, OR AS REQUIRED, USING 1/2 INCH THICK PREFORMED EXPANSION JOINT MATERIAL ANCHOR WITH APPROVED DEVICES TO PREVENT DISPLACEMENT DURING PLACEMENT AND FINISHING. EDGES SHALL BE ROUNDED WITH AN EDGING TOOL. JOINTS SHALL BE FULL DEPTH OF CONCRETE EXCEPT THAT TOP EDGES SHALL BE 1/2 INCH BELOW THE FINISH CONCRETE SURFACE. EXPANSION JOINTS SHALL BE SEALED TO THE SURFACE BY FILLING WITH JOINT SEALING COMPOUND. JOINTS SHALL BE CLEAN AND DRY BEFORE SEALING COMPOUND IS PUT IN PLACE.
- 3. CONSTRUCTION JOINTS ARE TO BE USED AT CONTRACTION JOINT LOCATIONS TO STOP CONCRETE POURS. E.CURING: CONCRETE SHALL BE CURED BY PROTECTING IT AGAINST LOSS OF MOISTURE AND MECHANICAL INJURY FOR AT LEAST THREE DAYS AFTER PLACEMENT. A PIGMENTED
- LIQUID CURING MEMBRANE SHALL BE APPLIED IMMEDIATELY AFTER FINISHING; OPERATION AT THE RATE OF ONE GALLON TO NOT MORE THAN 200 SQUARE FEET. F.CLEANING AND SEALING JOINTS: JOINTS SHALL BE FILLED WITH JOINT-SEALING MATERIAL NO LESS THAN 8 HOURS AND WITHIN 2 WEEKS AFTER JOINTS ARE BUT. JUST PRIOR TO SEALING, EACH JOINT SHALL BE THOROUGHLY CLEANED OF ALL FOREIGN MATERIAL INCLUDING ANY MEMBRANE CURING COMPOUND.
- G.TESTING: LABORATORY AND FIELD TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE. IN ADDITION, ALL RETESTING SHALL BE DONE AT CONTRACTOR'S EXPENSE.
 - 1. DESIGN MIXES AND TESTING REQUIREMENTS FOR THE CONCRETE PAVEMENT SHALL BE AS FOLLOWS; A. FLEXURAL STRENGTH TESTS OF CONCRETE AS BASIS FOR DESIGN B. SLUMP, MODULES OF RUPTURE AND 7-AND 20 DAY COMPRESSIVE STRENGTH TESTS SHALL BE PERFORMED ON SAMPLES TAKEN AT THE SITE
 - AT A FREQUENCY OF TWO PER ACRE. 2. WHERE THE FLEXURAL STRENGTH OF THE CONCRETE IS SPECIFIED, MAKE ONE STRENGTH TEST AND ONE FLEXURAL TEST FOLLOWING (ASTM C192 AND ASTM C78) FOR EACH 100 CUBIC YARDS OR FRACTION THEREOF PLACED PER DAY. NUMBER OF CYLINDERS SHALL BE THREE FOR STRENGTH TEST AND THREE FOR FLEXURAL TEST. TEST ONE AT THREE DAYS, ONE AT SEVEN DAYS AND ONE AT 28 DAYS

- THIS WORK IS INTENDED SOLELY FOR THE REFERENCED PROJECT AND CLIENT ONLY AND IS NOT APPLICABLE TO ANY OTHER PROJECT OR CLIENT WITHOUT EXPRESS WRITTEN PERMISSION OF THE ENGINEER OF RECORD. 1.1. ANY USE, RELIANCE UPON, OR DECISIONS, BY THIRD PARTIES BASED ON THIS WORK ARE
- THE RESPONSIBILITY OF SUCH THIRD PARTIES. 2. NO INFORMATION PROVIDED IN THIS PLAN SET SHALL RELIEVE THE CONTRACTOR OR ANY THIRD PARTY OF THEIR RESPONSIBILITIES.
- 3. THE CONTRACTOR(S) SHALL CONFORM TO ALL CONTRACT PLANS, TECHNICAL SPECIFICATIONS, UPFRONT DOCUMENTS, REQUIRED PERMITS, AND APPLICABLE GOVERNMENTAL REGULATIONS. 4. THE CONTRACTOR AND ANY THIRD-PARTY IS RESPONSIBLE FOR THEIR OWN DUE DILIGENCE IN RESEARCHING ALL REFERENCED PRODUCTS, MATERIALS, SPECIFICATIONS, PERMITS, REQUIREMENTS, AND METHODS FOR THEIR USABILITY, APPLICABILITY, AND AVAILABILITY, FOR
- THE PURPOSES SPECIFIED. 4.1. IF THE CONTRACTOR DISCOVERS CONFLICTING INFORMATION WITHIN THE CONTRACT DOCUMENTS, AS SOON AS POSSIBLE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR CLARIFICATION. THE ENGINEER RESERVES THE RIGHT TO REVISE CONFLICTING INFORMATION TO THE MOST STRINGENT REQUIREMENTS FOR CONSISTENCY WITH THE DESIGN INTENT.

PAVEMENT MARKINGS

- 1-01 QUALITY ASSURANCE A. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS IN A NEAT AND ACCURATE MANNER.
- B. ALL EQUIPMENT SHALL BE OF A TYPE AND DESIGN WHICH WILL READILY OBTAIN THE REQUIRED UNIFORMITY OF APPLICATION OF THE PAVEMENT MARKINGS BOTH AS TO THICKNESS OF COATING AND AS TO ALIGNMENT.
- <u>1–02 REFERENCE STANDARDS</u> A. THE FOLLOWING PUBLICATIONS OF THE ISSUE LISTED BELOW, BUT REFERRED TO THEREAFTER BY BASIC DESIGNATION ONLY, FORM A PART OF THIS SPECIFICATION TO
- THE EXTENT INDICATED BY THE REFERENCES THERETO; A.1. FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT VERSION)
- A.1.1. SECTION 710 PAINTED PAVEMENT MARKINGS A.1.2. SECTION 7.1 - LEGAL REQUIREMENTS AND RESPONSIBILITY OF THE PUBLIC A.2. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY
- 1-03 SUBMITTALS A. SUBMIT PAINT TESTS, AS SPECIFIED IN SECTION 971 OF FDOT SPECIFICATIONS AND AS APPLICABLE TO HEREINAFTER SPECIFIED MATERIAL

ADMINISTRATION, CURRENT VERSION.

- 1-04 MATERIALS AND COLORS A. THERMOPLASTIC: IN ACCORDANCE WITH REQUIREMENTS AS SPECIFIED IN SECTION 711 OF THE FDOT SPECIFICATIONS. B. PAINT: IN ACCORDANCE WITH REQUIREMENTS AS SPECIFIED IN SECTION 971 OF THE
- FDOT SPECIFICATIONS. (LATEX PAINT ONLY.) C. COLORS: YELLOW AND WHITE PER FDOT, OR AS INDICATED ON DRAWINGS.
- A. TIME OF APPLICATION: PAINTING SHALL BE DONE ONLY DURING DAYLIGHT HOURS AND AS FAR AS PRACTICAL, SHALL BE TERMINATED IN TIME TO PERMIT SUFFICIENT DRYING B. WEATHER LIMITATIONS: NO PAINT SHALL BE APPLIED WHEN ANY MOISTURE IS PRESENT
- ON THE SURFACE TO BE PAINTED OR WHEN THE AIR TEMPERATURE IS BELOW 40 C. PREPARATION OF SURFACE TO BE PAINTED: THE SURFACE WHICH IS TO BE PAINTED SHALL BE CLEANED, BY COMPRESSED AIR OR OTHER EFFECTIVE MEANS, IMMEDIATELY BEFORE THE START OF PAINTING AND SHALL BE CLEAN AND DRY WHEN THE PAINT IS
- APPLIED. ANY VEGETATION OR LOOSE SOIL SHALL BE REMOVED FROM THE PAVEMENT BEFORE STRIPING IS BEGUN. D. MIXING PAINT: THE PAINT SHALL BE THOROUGHLY MIXED BEFORE IT IS POURED INTO THE PAINTING MACHINE AND NO THINNING OF THE PAINT IN THE MACHINE WILL BE ALLOWED AT ANY TIME. BEFORE THE START OF EACH DAY'S WORK THE PAINT
- CONTAINER, THE CONNECTIONS AND THE SPRAY NOZZLES ON THE MACHINE SHALL BE THOROUGHLY CLEANED WITH PAINT THINNER OR OTHER SUITABLE CLEANER. E. PAINT APPLICATION: THE TRAFFIC MARKINGS SHALL BE OF THE SPECIFIED DIMENSIONS WITH CLEAN, TRUE EDGES AND WITHOUT SHARP BREAKS IN THE ALIGNMENT. A UNIFORM COATING OF PAINT SHALL BE OBTAINED AND THE FINISHED MARKINGS SHALL CONTAIN NO LIGHT SPOTS OR PAINT SKIPS. ANY STRIPES WHICH DO NOT HAVE A
- UNIFORM, SATISFACTORY APPEARANCE, BOTH DAY AND NIGHT, SHALL BE CORRECTED. F. RATE OF PAINT APPLICATION: THE MINIMUM RATE OF APPLICATION FOR PAINT SHALL BE AS FOLLOWS: F.1. FOUR INCH SOLID: 20 GALLONS PER MILE.
- F.2. ANY OTHER WIDTH STRIPE OR MARKINGS: A DIRECT PROPORTION OF THE ABOVE F.3. HANDICAP LOGO: IN CONFORMANCE TO THE REQUIREMENTS OF THIS SECTION AND LOCAL CODES
- G. REQUIRED FILM THICKNESS: THE MINIMUM WET FILM THICKNESS FOR ALL PAINTED AREAS SHALL BE 15 MILS. H. ALIGNMENT OF STRIPS: WHERE A STRIPE DEVIATES FROM THE CORRECT ALIGNMENT, AS INDICATED BY THE STRING LINE, BY MORE THAN ONE INCH IN ANY 20 FOOT LENGTH, IT SHALL BE OBLITERATED AND THE STRIPE CORRECTED HEREINAFTER AS SPECIFIED IN PARAGRAPH "CORRECTIVE MEASURES"
- 1-06 PROTECTION OF PAINTED MARKINGS A. PROTECTION OF STRIPES: ALL NEWLY PAINTED STRIPES, OR OTHER MARKINGS, SHALL BE PROTECTED UNTIL THE PAINT IS SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THE MARKING WITHOUT DAMAGE FROM THE TIRES.
- B. REPAIR OF DAMAGED AREAS: ANY PORTIONS OF THE STRIPES DAMAGED BY PASSING TRAFFIC, OR FROM ANY OTHER CAUSE, SHALL BE REPAINTED AT THE CONTRACTOR'S EXPENSE.
- 1-07 DIMENSION AND ALIGNMENT TOLERANCE A. DIMENSIONS: NO MARKING SHALL BE LESS THAN THE SPECIFIED WIDTH. NO MARKINGS SHALL EXCEED THE SPECIFIED WIDTH BY MORE THAN 1/2 INCH. ALIGNMENT
- TOLERANCES SHALL BE AS SPECIFIED IN PARAGRAPH 1-05 H. B. CORRECTION RATES: ANY CORRECTIONS OF VARIATION IN THE WIDTH OF OR IN THE ALIGNMENT OF STRIPES SHALL NOT BE MADE ABRUPTLY BUT THE STRIPES SHALL BE RETURNED TO THE DESIGN WIDTH AT THE RATE OF AT LEAST 10 FEET FOR EACH 1/2 INCH OF CORRECTION. 1-08 CORRECTIVE MEASURES
- ALL PAINTED MARKINGS WHICH FAIL TO MEET THE SPECIFICATIONS, INCLUDING THE PERMISSIBLE TOLERANCES AND THE APPEARANCE REQUIREMENTS, OR ARE MARRED OR DAMAGED BY TRAFFIC OR FROM OTHER CAUSES, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. ALL DRIP AND SPATTERED PAINT SHALL BE REMOVED. WHENEVER IT IS NECESSARY TO REMOVE PAINT IT SHALL BE DONE BY MEANS WHICH WILL NOT DAMAGE THE UNDERLYING SURFACE OF THE PAVEMENT. WHEN NECESSARY TO CORRECT A DEVIATION WHICH EXCEEDS THE PERMISSIBLE TOLERANCE IN ALIGNMENT THAT PORTION OF THE STRIPE AFFECTED SHALL BE REMOVED AND REPAINTED IN
- ACCORDANCE WITH THESE SPECIFICATIONS B. CORRECTIVE DEVICES: MISALIGNMENT, DEFECTIVE SURFACES, ETC., SHALL BE CORRECTED BY CHEMICAL AGENTS, OR BY ANY OTHER TYPE OF MECHANICAL DEVICE WHICH WILL EFFECTIVELY REMOVE THE PAINT WITHOUT DAMAGE TO THE PAVEMENT SURFACE, OR PREVENT THE REAPPLICATION OF MARKINGS.
- 1-09 SPARE PAINT A. PROVIDE THE OWNER WITH A MINIMUM OF FIVE GALLONS OF TRAFFIC PAINT FROM THE SAME BATCH USED IN APPLICATION OF PAVEMENT MARKINGS. ALSO PROVIDE PAINT SPECIFICATIONS AND THE MANUFACTURER'S IDENTIFICATION NUMBER OF THE PAINT
- 1-10 MARKING TYPE A. ANY PAVEMENT MARKINGS LOCATED WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE
- THERMOPLASTIC UNLESS OTHERWISE INDICATED. B. ANY PAVEMENT MARKINGS LOCATED ON-SITE SHALL BE PAINT UNLESS OTHERWISE INDICATED.

CONSTRUCTION TOLERANCES

HE FOLLOWING ARE THE ALLOWABLE DEVIATIONS FROM PROJECT DESIGN GRADES AND GRADIENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM AND DOCUMENT COMPLIANCE WITH THESE TOLERANCES PRIOR TO PROCEEDING FROM ONE PHASE OF

- CONSTRUCTION TO THE NEXT: . <u>STORMWATER MANAGEMENT/DRAINAGE FACILITIES</u> A. <u>PERIMETER CONTAINMENT BERM:</u>
 - MINIMUM ELEVATION = DESIGN GRADE MAXIMUM ELEVATION = DESIGN GRADE + 0.10 FEET
- B. <u>WATER CONTROL STRUCTURE</u>: 1. MINIMUM GRATE ELEVATION = DESIGN GRADE MAXIMUM GRATE ELEVATION = DESIGN GRADE + 0.10 FEET
- 2. MINIMUM CREST ELEVATION = DESIGN GRADE MAXIMUM CREST ELEVATION = DESIGN GRADE + 0.05 FEET 3. MINIMUM BLEEDER ELEVATION = DESIGN GRADE MAXIMUM BLEEDER ELEVATION = DESIGN GRADE + 0.05 FEET
- 4. MINIMUM TOP OF FILTER ELEVATION = DESIGN GRADE MAXIMUM TOP OF FILTER ELEVATION = DESIGN GRADE + 0.05 FEET C. <u>CATCH BASINS/INLETS/PIPE INVERTS:</u>
- MINIMUM ELEVATION = DESIGN GRADE 0.05 FEET MAXIMUM ELEVATION = DESIGN GRADE + 0.05 FEET D. <u>SWALE GRADES/GRADIENTS:</u> . MINIMUM ELEVATION = DESIGN GRADE - 0.10 FEET
- MAXIMUM ELEVATION = DESIGN GRADE + 0.10 FEET 2. MINIMUM FLOWLINE GRADIENT = 90% OF DESIGN GRADIENT E. PAVEMENT GRADES/GRADIENTS:
- . FLEXIBLE PAVEMENT GRADE MINIMUM ELEVATION = DESIGN GRADE - 0.10 FEET MAXIMUM ELEVATION = DESIGN GRADE + 0.10 FEET
- 2. FLEXIBLE PAVEMENT GRADIENTS MINIMUM GRADIENTS = 90% DESIGN GRADIENT
- (CROSS SLOPE AND LONGITUDINAL SLOPE) 3. RIGID (CONCRETE) PAVEMENT GRADE: MINIMUM ELEVATION = DESIGN GRADE - 0.05 FEET
- MAXIMUM ELEVATION = DESIGN GRADE + 0.05 FEET 4. RIGID PAVEMENT GRADIENTS: A) MINIMUM GRADIENTS = 90% OF DESIGN GRADIENT (CROSS SLOPE AND LONGITUDINAL SLOPE)
- (GRADIENT UNLESS OTHERWISE SPECIFIED BY LOCAL CODES) 2. <u>WATER DISTRIBUTION/WASTEWATER COLLECTION FACILITIES</u>
 UNLESS OTHERWISE SPECIFIED BY THE LOCAL UTILITY COMPANIES, THE FOLLOWING ARE THE ALLOWABLE TOLERANCES FOR THESE ACTIVITIES:
 - A. MANHOLES AND PIPE INVERTS: 1. MINIMUM ELEVATION = DESIGN GRADE - 0.05 FEET MAXIMUM ELEVATION = DESIGN GRADE + 0.05 FEET

A. SIDEWALKS

B) MAXIMUM HANDICAP RAMP = 15:1

- 2. MINIMUM LINE GRADIENT = 90% OF DESIGN GRADIENT B. <u>ALIGNMENT/LOCATION OF APPURTENANCES:</u> AS ALLOWED BY THE APPLICABLE UTILITY AND/OR LOCAL GOVERNMENTAL ENTITY. CONTRACTOR SHALL CONFIRM AND DOCUMENT THIS PRIOR TO CONSTRUCTION. 3. ACCESSIBLE PEDESTRIAN AREAS
 - . MAXIMUM CROSS SLOPE = 2% OR LESS, NO DEVIATIONS ALLOWED 2. MAXIMUM RUNNING SLOPE = 5% OR LESS, NO DEVIATIONS ALLOWED

SUPPLEMENTAL SPECIFICATIONS

THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO THE SPECIFICATIONS AND STANDARDS OF THE UTILITY COMPANIES WHICH ARE SERVING THE PROJECT SITE. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH ALL SITE DEVELOPMENT STANDARDS AND CODES OF THE REGULATORY AGENCIES ASSOCIATED WITH THIS PROJECT. THE LATEST VERSION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE CONSTRUCTION STANDARD SPECIFICATIONS AND THE LATEST FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS SHALL BE INCLUDED WITHIN THE PROJECT SPECIFICATIONS. UNLESS OTHERWISE NOTED, EITHER ON THE PLANS OR WITHIN THE SPECIFICATIONS, THE APPLICABLE SECTIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND THE LATEST FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS SHALL APPLY INCLUDING REFERENCES THEREIN. THE GENERAL DESCRIPTION OF THE NATURE OF THE WORK SHALL BE SUFFICIENT CORRELATION TO THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, EXACT ITEM DESCRIPTION IS NOT REQUIRED. IN THE EVENT THERE ARE CONFLICTS BETWEEN SPECIFICATIONS OR REQUIREMENTS, THE MOST RESTRICTIVE (CONSERVATIVE) SPECIFICATION OR REQUIREMENT SHALL BE USED.

POTABLE WATER DISTRIBUTION/WASTEWATER COLLECTION INSTALLATION UNLESS OTHERWISE NOTED ON THE PLANS, THE STANDARDS AND SPECIFICATIONS OF THE ASSOCIATED UTILITY COMPANY SERVING THE PROJECT SITE SHALL BE ADHERED TO FOR ALL MATERIALS, INSTALLATION, TESTING, AND CERTIFICATION ACTIVITIES FOR ALL PUMP STATIONS, MAIN LINES, SERVICES, AND APPURTENANCES. IF STANDARDS AND SPECIFICATIONS ARE NOT AVAILABLE, THE CONTRACTOR SHALL CONFORM WITH THE LATEST STANDARDS AND SPECIFICATIONS ADOPTED BY COUNTY OR CITY UTILITIES, LOCAL GOVERNMENTAL REGULATIONS, OR THE MANUFACTURERS RECOMMENDED

INSTALLATION PROCEDURES, WHICHEVER IS SPECIFICALLY THE MOST RESTRICTIVE. A

COPY OF THE COUNTY OR CITY UTILITIES SPECIFICATIONS CAN BE REVIEWED AT THE

STORMWATER PIPE INSTALLATION AND MISCELLANEOUS EXCAVATIONS

OFFICE OF THE WEILER ENGINEERING CORPORATION.

UNLESS OTHERWISE NOTED ON THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM THE EXCAVATION, BEDDING, JOINTS, AND BACKFILLING OPERATIONS IN ACCORDANCE WITH THE POTABLE WATER/WASTEWATER INSTALLATION SPECIFICATIONS, LOCAL GOVERNMENTAL REGULATIONS OR STANDARDS, F.D.O.T. STANDARDS AND SPECIFICATIONS OR MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES, WHICHEVER IS SPECIFICALLY THE MOST RESTRICTIVE.

IF UNSUITABLE MATERIAL IS ENCOUNTERED WITHIN THE ROADWAY AREA AND/OR UTILITY AREAS IT SHALL BE REMOVED TO A DEPTH OF THREE (3) FEET BELOW THE SUB-BASE OR TRENCH BOTTOM AND SHALL BE BACKFILLED WITH THE A-3 MATERIAL OR BETTER WITH PLACEMENT AND COMPACTION METHODS IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS OR AS OTHERWISE NOTED ON THE PLANS. UNSUITABLE MATERIALS SHALL BE REMOVED FROM SITE, UNLESS THE ENGINEER APPROVES USE WITHIN LANDSCAPED AREAS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING, COORDINATING, DOCUMENTING, AND PROVIDING THE FOLLOWING MINIMUM TESTING:

UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, THE LINES SHALL BE PRESSURE TESTED TO THE RATING OF THE PIPE. THE LINES SHALL BE TESTED IN SEGMENTS BETWEEN MAINLINE VALVES. BACTERIOLOGICAL TEST SAMPLES SHALL BE TAKEN AT ALL BRANCH LINE TERMINATION POINTS OR CONNECTION POINTS. AND ALONG THE MAIN LINES AT DISTANCES NOT TO EXCEED 2,640 FEET. ALL HYDRANTS AND VALVES SHALL BE OPERATED TO TEST PERFORMANCE. WASTEWATER COLLECTION

UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, THE FORCE MAIN SHALL BE PRESSURE TESTED TO THE RATING OF THE PIPE VALVES SHALL BE OPERATED TO TEST PERFORMANCE. DEPENDING UPON WATER TABLE CONDITIONS DETERMINED BY THE ENGINEER, THE GRAVITY LINES SHALL BE TESTED FOR EITHER INFILTRATION OR EXFILTRATION AND INFLOW. THERE SHALL BE NO INFILTRATION/EXFILTRATION OR INFLOW ALLOWED. THE CONTRACTOR SHALL SEAL ANY PIPE, FITTING OR MANHOLE AS REQUIRED. THE CONTRACTOR SHALL PROVIDE A VIDEO TAPE OF ALL MAIN GRAVITY LINES - ALONG WITH A LOG OF LATERAL

LOCATIONS. ALL ELECTRICAL AND MECHANICAL DEVICES AT LIFT STATIONS SHALL

BE TESTED TO VERIFY PROPER OPERATIONAL STATUS. MAINTENANCE MANUALS SHALL BE PROVIDED. PRIVATE ROADWAY/PARKING SUBGRADE THE SUBGRADE SHALL BE TESTED FOR THE LBR VALUE AT A FREQUENCY OF ONE PER 10,000 SF, DENSITY TESTS SHALL BE PERFORMED AT A FREQUENCY OF TWO PER 20,000 SF THICKNESS SHALL BE MEASURED AT EACH DENSITY TEST LOCATION. A PROFESSIONAL ENGINEER'S CERTIFICATION OF COMPLIANCE SHALL BE PROVIDED BY THE TESTING LAB.

PRIVATE ROADWAY/PARKING BASE THE BASE SHALL BE TESTED FOR THE LBR VALUE AT A FREQUENCY OF ONE PER 10,000 SF. DENSITY TESTS SHALL BE PERFORMED AT A FREQUENCY OF TWO PER 10,000 SF. A SIEVE ANALYSIS SHALL BE PERFORMED AT A FREQUENCY OF ONE PER ACRE. THICKNESS SHALL BE MEASURED AT EACH DENSITY IESI LOCATION. A PROFESSIONAL ENGINEER'S CERTIFICATION OF COMPLIANCE SHALL BE PROVIDED BY THE TESTING LAB

ASPHALTIC CONCRETE SHALL BE TESTED FOR THE FOLLOWING PARAMETERS: THICKNESS, SIEVE ANALYSIS, MIX TYPE, STABILITY % BITUMEN, AND DENSITY. THE ASPHALT SHALL BE TESTED AT A FREQUENCY OF TWO PER ACRE. A PROFESSIONAL ENGINEER'S CERTIFICATION OF COMPLIANCE SHALL BE PROVIDED BY THE TESTING LAB. PUBLIC ROADWAYS

AS REQUIRED BY THE ENTITY HAVING JURISDICTION, BUT NOT LESS THAN

PRIVATE ASPHALT PAVING

PROVIDED BY THE TESTING LAB.

REQUIRED FOR PRIVATE ROADWAYS AS OUTLINED ABOVE. PORTLAND CEMENT CONCRETE CONCRETE SHALL BE TESTED FOR THE FOLLOWING PARAMETERS: SLUMP, MODULES OF RUPTURE, AND 7 AND 28 DAY COMPRESSIVE STRENGTH TESTS SHALL BE PERFORMED ON SAMPLES TAKEN AT THE SITE AT A FREQUENCY OF TWO PER ACRE. A PROFESSIONAL ENGINEER'S CERTIFICATION OF COMPLIANCE SHALL BE

RETENTION/DETENTION FACILITIES IF INCLUDED WITHIN THE PROJECT, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND PERFORM A DRAW DOWN AND CAPACITY TEST OF THE FACILITIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT WATER AND ACCEPTABLE MEANS TO MEASURE THE WATER VOLUMES PROVIDED, IF REQUIRED BY THE ENGINEER, IF A FILTRATION SYSTEM IS INCLUDED WITHIN THE PROJECT, THE FILTER MEDIA SHALL BE TESTED FOR COMPLIANCE WITH ALL CURRENT SPECIFICATIONS OF THE WATER MANAGEMENT DISTRICT. A PROFESSIONAL ENGINEER'S CERTIFICATION OF COMPLIANCE SHALL BE PROVIDED BY THE TESTING

IN ADDITION TO THE ENVIRONMENTAL PROTECTION DURING CONSTRUCTION SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM THE FOLLOWING IN THE

- ORDER LISTED: 1. PRIOR TO COMMENCEMENT, PROVIDE NOTIFICATION TO THE LOCAL WATER MANAGEMENT DISTRICT AND LOCAL GOVERNMENT OFFICES. 2. ERECT A TURBIDITY SCREEN ON ANY DOWNSTREAM SYSTEM WHICH RECEIVES
- RUNOFF FROM THE PROJECT. INSTALL OUTFALL CONTROL STRUCTURE AND FILTRATION SYSTEM IF INCLUDED 3. PROVIDE A TEMPORARY FILTER CLOTH COVERED WITH GRAVEL OVER ANY
- PROPOSED FILTERS. 4. INSTALL A TEMPORARY TURBIDITY SCREEN AT ALL CONTROL STRUCTURES. 5. CONSTRUCT A TEMPORARY PERIMETER BERM AS NECESSARY TO DIRECT ALL

6. MAINTAIN FILTER DURING CONSTRUCTION TO PROVIDE CONTINUOUS

RUNOFF WITHIN ANY AREA PLANNED FOR CLEARING.

OPERATION 7. UPON PERFORMING FINAL GRADING, THE CONTRACTOR SHALL REMOVE ALL SILTS, CLAYS AND OTHER DELETERIOUS MATERIAL FROM THE BOTTOM OF ALL STORMWATER MANAGEMENT AREAS PRIOR TO GRASSING.

8. AFTER ACHIEVING A NON-ERODIBLE COVER OF GRASS, REMOVE TEMPORARY

FILTER CLOTH AND GRAVEL OVER FILTERS AND REPLACE WITH NEW FILTER

CLOTH AND COVER MATERIAL IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. 9. NOTIFY THE OWNER FOR FINAL INSPECTION. 10. UPON FINAL APPROVAL FROM OWNER, REMOVE ALL TEMPORARY EROSION

AND SEDIMENT CONTROL FACILITIES.

State of Florida. License No. 90677 This item has been Joshua J. Jennings, P.E. on the date indicated here. 10-24-2024

> Joshua J. Jennings Professional Engineer State of Florida Registration No. 90677

HIS SHEET IS NOT VALID WITHOUT THE Joshua J. Jennings,

Professional Engineer,

digitally signed and sealed by Printed copies of this document are not considered signed and sealed and the signature must be verified

on any electronic copies.

1306 950

∃ 33

N. S. S.

Q