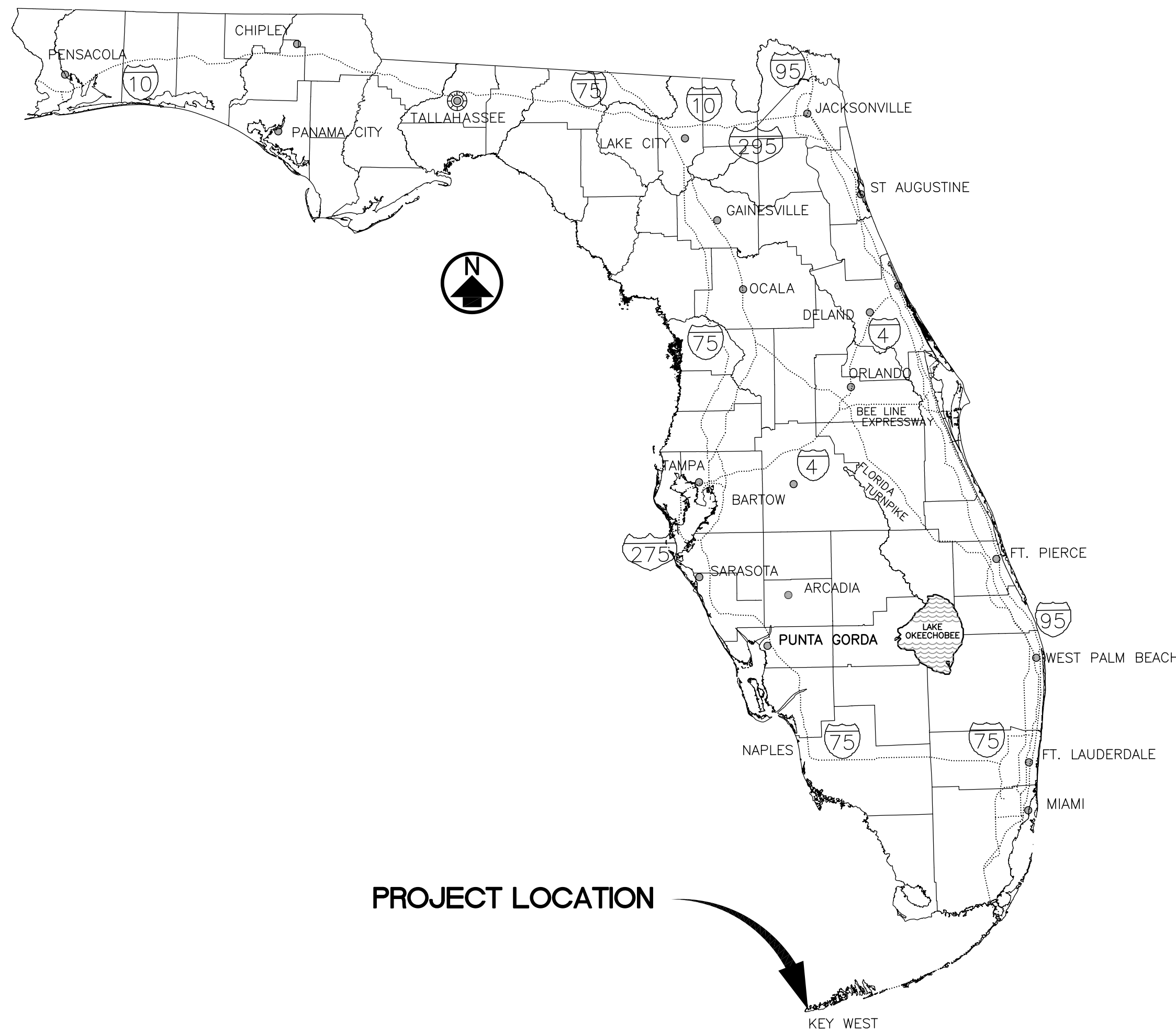


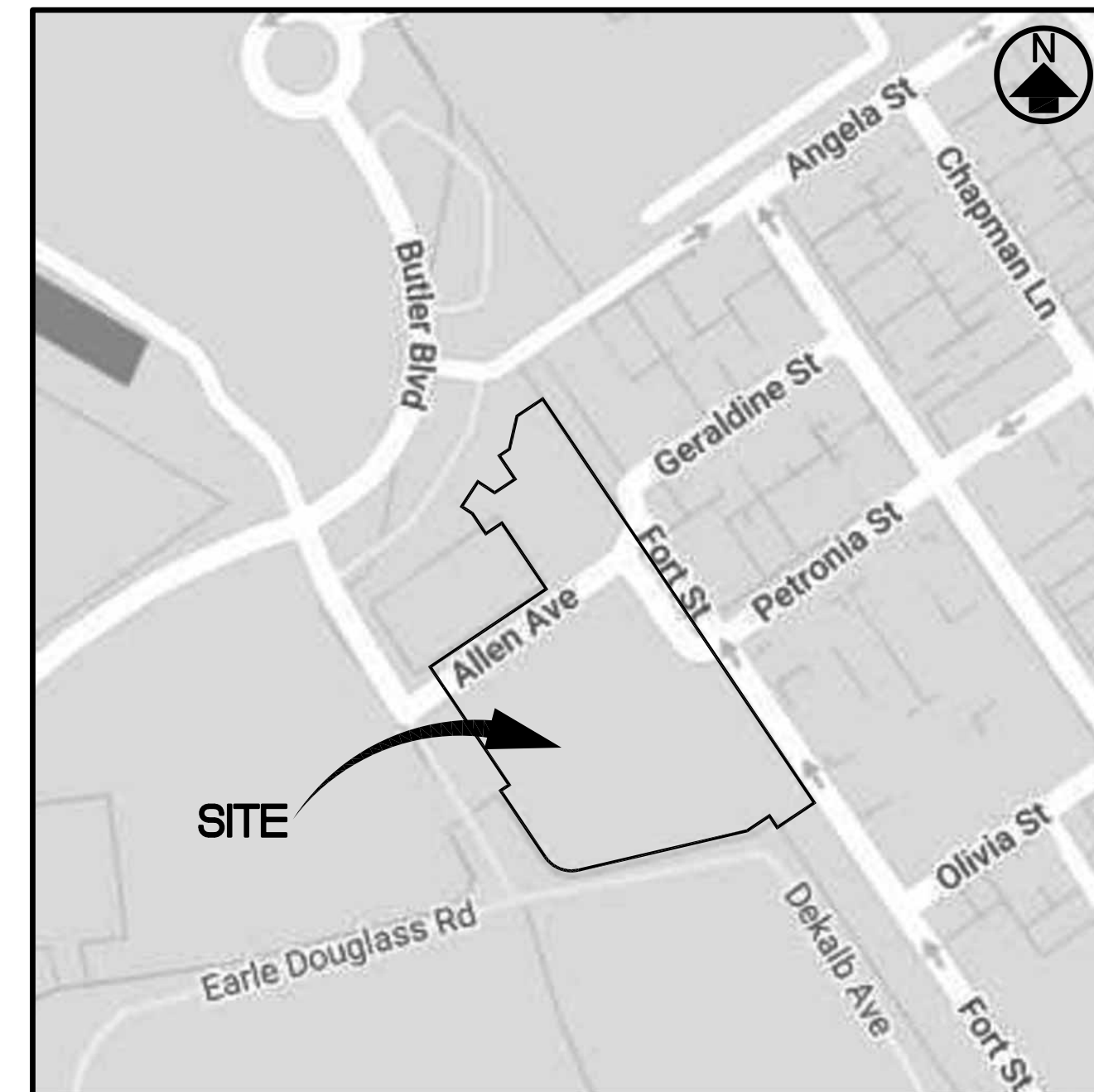
CONSTRUCTION PLANS FOR THE LOFTS AT BAHAMA VILLAGE

THE CITY OF KEY WEST
SECTION 06, TOWNSHIP 68, RANGE 25
MONROE COUNTY, FLORIDA



STATE OF FLORIDA LOCATION MAP

NOT TO SCALE



LOCATION MAP

NOT TO SCALE

OWNER

CITY OF KEY WEST
P.O. BOX 1409
KEY WEST, FLORIDA 33041

DEVELOPER

BAHAMA VILLAGE COMMUNITY, LTD
3030 HARTLEY RD, SUITE 310
JACKSONVILLE, FLORIDA 32257
(904) 260-3030

PREPARED BY

THE WEILER ENGINEERING CORPORATION
201 W. MARION AVE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
(941) 505-1700



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- C-6.4 UTILITY PLAN AND PROFILE
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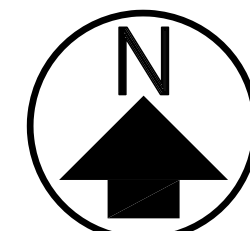
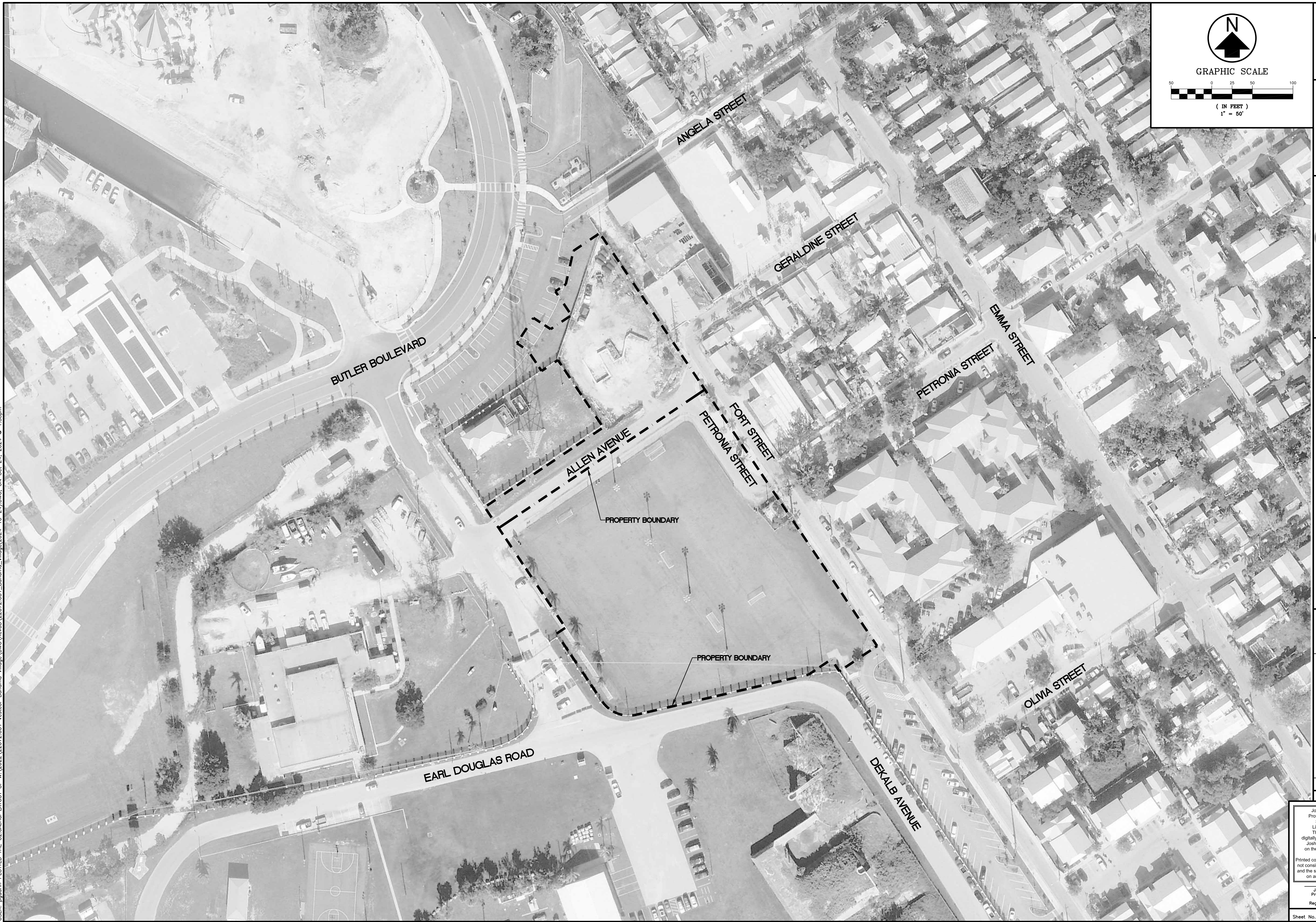
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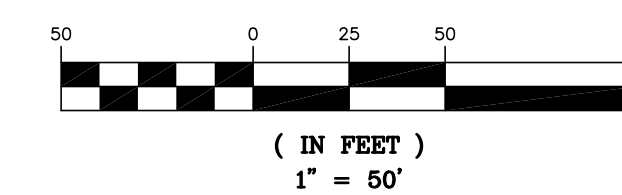
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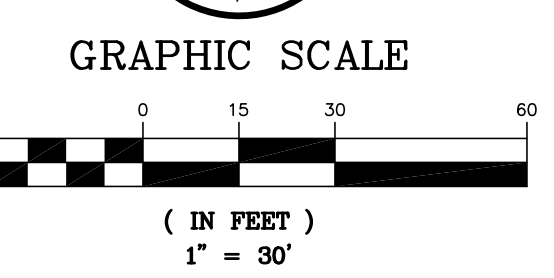
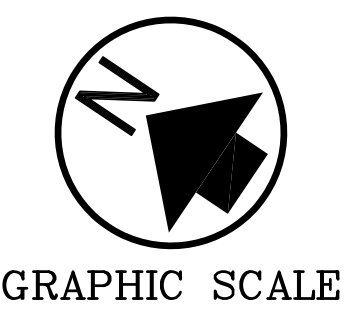
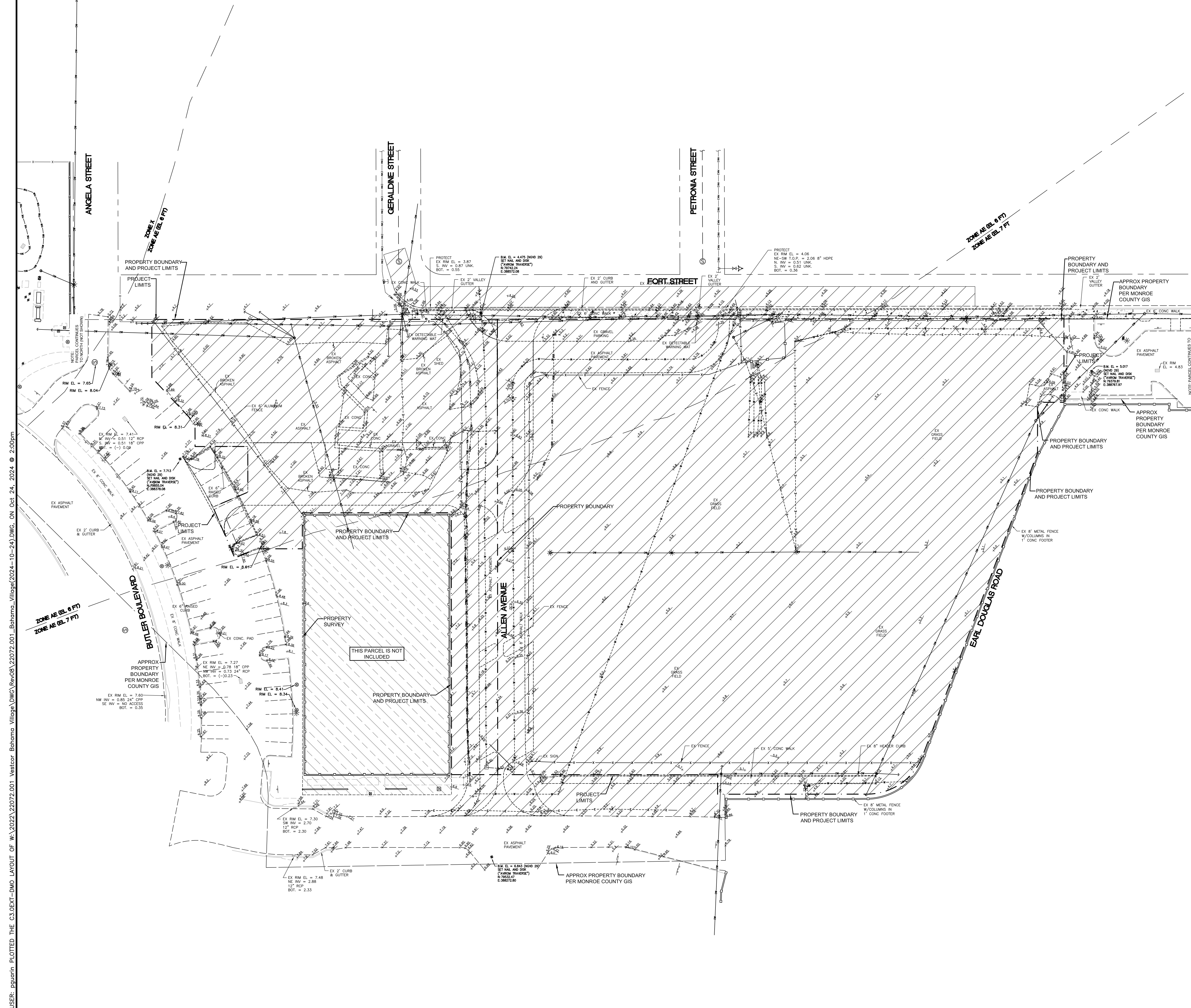
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 BE #6656

**2020 AERIAL PHOTOGRAPH
 FOR
 THE LOFTS AT BAHAMA VILLAGE**

Revisions	Description

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PROJECT DATA:

PROJECT: THE LOFTS AT BAHAMA VILLAGE
918 FORT STREET
KEY WEST, FLORIDA 33040

OWNERSHIP: CITY OF KEY WEST
P.O. BOX 1409
KEY WEST, FLORIDA 33041

DEVELOPER: BAHAMA VILLAGE COMMUNITY, LTD.
330 HARTLEY ROAD, SUITE 310
JACKSONVILLE, FLORIDA 32257
904.260.5030

ENGINEER: THE WELER ENGINEERING CORPORATION
JOSHUA J. JENNINGS, P.E. NO. 50677
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700

ARCHITECT: FGH GROUP
ALDO MINOZZI, AIA NCARB (AR88244)
4141 SOUTHPOINT DRIVE EAST, SUITE 300
JACKSONVILLE, FLORIDA 32216
904.224.0001

SURVEYOR: AVIROM & ASSOCIATES, INC.
50 SW 2ND AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
561.392.2594
NOV 1929 (PER SURVEY)

DATUM: AE (EL. 6) & AE (EL. 7) AS SHOWN ON:
F.E.M.A. FIRM MAP #2087C1516K
EFFECTIVE DATE: FEBRUARY 16, 2005

SEWER UTILITY: CITY OF KEY WEST

WATER UTILITY: FLORIDA KEYS AQUEDUCT AUTHORITY (FKAA)
CITY OF KEY WEST

WASTE COLLECTION: CITY OF KEY WEST

ZONING: HNC-4 NEIGHBORHOOD COMMERCIAL BAHAMA
VILLAGE TRUMAN WATERFRONT

CURRENT LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

FUTURE LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

DEMOLITION NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DETERMINE THE SCOPE OF DEMOLITION WORK REQUIRED PRIOR TO CONSTRUCTION, WHETHER SPECIFICALLY SHOWN OR NOT.
- PROTECT ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN THROUGHOUT THE COURSE OF CONSTRUCTION TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, PRIOR TO THE COMPLETION OF CONSTRUCTION.
- EXISTING OPERATING SYSTEMS, SERVICES, AND UTILITIES SERVING THE SITE SHALL BE MAINTAINED IN OPERATION TO SERVE THE NEEDS OF PORTIONS OF THE SITE NOT INVOLVED IN THE WORK AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, EXCEPT FOR SUCH SHORT PERIODS AS ARE ABSOLUTELY NECESSARY TO PERFORM THE WORK. SUCH OPERATING SYSTEMS, SERVICES, AND UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, ELECTRICITY, HVAC, SANITARY, SEWER, FIRE ALARM, TELEPHONE AND SECURITY. PRIOR TO INTERRUPTING OR OTHERWISE AFFECTING ANY SUCH OPERATING SYSTEM, SERVICE, OR UTILITY, THE CONTRACTOR SHALL CONSULT WITH OWNER'S REPRESENTATIVE TO ESTABLISH A MUTUALLY SATISFACTORY SCHEDULE FOR DISRUPTION OR OTHER CHANGE IN THE OPERATION OF THE AFFECTED SYSTEM, SERVICE, OR UTILITY.
- CONTRACTOR SHALL BE RESPONSIBLE TO ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
- CONTRACTOR SHALL ARRANGE ALL TEMPORARY POWER AS REQUIRED FOR CONSTRUCTION.
- PROVIDE TEMPORARY SAFETY BARRIERS OR PARTITIONS, AS REQUIRED, AND COORDINATE SUCH LOCATIONS WITH OWNER. DEMOLITION SHALL BE COMPLETED IN A CAREFUL AND ORDERLY MANNER SO AS TO PREVENT DAMAGE TO FINISHES AND EQUIPMENT TO REMAIN.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLISHING AND REMOVING ALL MATERIALS FROM PREMISES NECESSARY TO ACCOMPLISH THE SCOPE OF THE NEW WORK. ALL MATERIALS SHALL BE SALVAGED OR DISPOSED OF IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL ENSURE SUFFICIENT ACCESS FOR EMERGENCY SERVICES IS PROVIDED AND MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN A MANNER THAT ENSURES THE CONTINUED OPERATION OF THE SITE TO MAXIMUM EXTENT PRACTICABLE COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR USE OF SITE AREAS REQUIRED TO FACILITATE DEMOLITION AND CONSTRUCTION ACTIVITIES.

LEGEND:

	DEMOLITION AREA
	PARCEL NOT INCLUDED IN PROJECT
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EXISTING EASEMENT
	FEMA FLOOD LINES
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE
	EXISTING WOODEN FENCE
	EXISTING BACK FLOW PREVENTER VALVE
	BENCHMARK
	EXISTING CATCH BASIN
	EXISTING CONCRETE UTILITY POLE
	EXISTING CONCRETE UTILITY POLE WITH LIGHT
	EXISTING CURB INLET
	EXISTING DOUBLE DETECTOR CHECK VALVE
	EXISTING DRAINAGE MANHOLE
	ELECTRIC MANHOLE
	ELECTRIC METER
	ELECTRIC OUTLET
	EXISTING ELEVATION
	FIRE HYDRANT
	GUY ANCHOR
	HAND HOLE
	IRRIGATION CONTROL VALVE
	METAL LIGHT POLE
	METAL UTILITY POLE
	OVERHEAD WIRES
	SANITARY MANHOLE
	SAMESE CONNECTION
	SIGN (UNLESS NOTED)
	VAULT
	WATER METER
	WATER VALVE
	WOOD UTILITY POLE
	WOOD UTILITY POLE WITH LIGHT
	YARD DRAIN
	UNDERGROUND COMMUNICATIONS LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND IRRIGATION LINE
	UNDERGROUND UNKNOWN UTILITY LINE
	UNDERGROUND POTABLE WATER LINE
	UNDERGROUND STORM LINE

Design:	JNB/JLU
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Checked:	JLU
Approved By:	AS SHOWN
Scale:	22072.001
Job No.:	22072.001
Date issued:	

WELER ENGINEERING CORPORATION

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 BE #6656

**EXISTING CONDITIONS & DEMO PLAN
FOR
THE LOFTS AT BAHAMA VILLAGE**

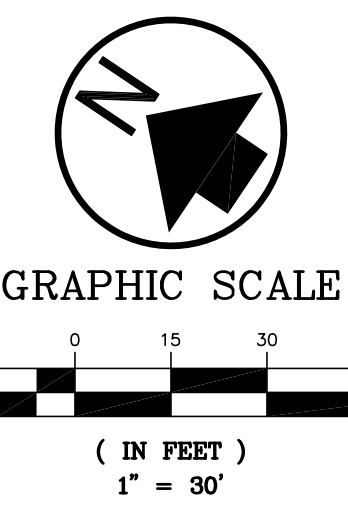
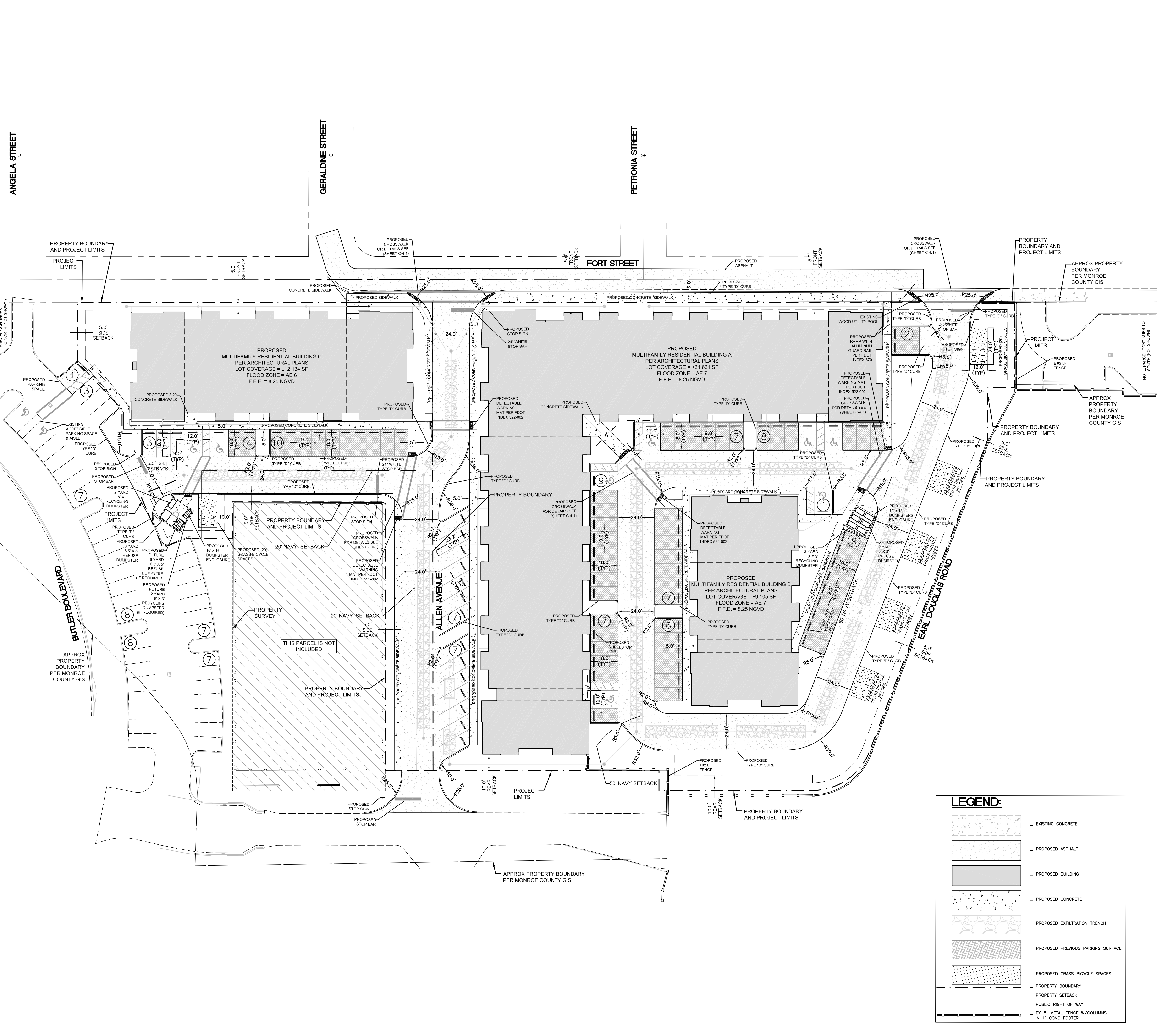
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PROJECT DATA:

PROJECT: THE LOFTS AT BAHAMA VILLAGE
918 FORT STREET
KEY WEST, FLORIDA 33040

OWNERSHIP: CITY OF KEY WEST
P.O. BOX 1409
KEY WEST, FLORIDA 33041

DEVELOPER: BAHAMA VILLAGE COMMUNITY, LTD
3030 HARTLEY ROAD, SUITE 310
JACKSONVILLE, FLORIDA 32257
904-260-3030

ENGINEER: THE WEILER ENGINEERING CORPORATION
JOSHUA J. JENNINGS, P.E. NO. 90677
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941-505-1700

ARCHITECT: RQH GROUP
ALDO MINOZZI, AA NCARB (AR8244)
4141 SOUTHPOINT DRIVE EAST, SUITE 300
JACKSONVILLE, FLORIDA 32216
904-224-0001

SURVEYOR: AWRM & ASSOCIATES, INC.
50 SW 2ND AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
561-392-2594

DATUM: NAD 83 (PER SURVEY)

FLOOD ZONE: AE (EL. 6) & AE (EL. 7) AS SHOWN ON:
F.L.M.A. FIRM MAP #12087C1516K
EFFECTIVE DATE: FEBRUARY 18, 2005

SEWER UTILITY: CITY OF KEY WEST

WATER UTILITY: FLORIDA KEYS AQUEDUCT AUTHORITY (FKAA)

WASTE COLLECTION: CITY OF KEY WEST

ZONING: HNC-4 NEIGHBORHOOD COMMERCIAL BAHAMA VILLAGE TRUMAN WATERFRONT

CURRENT LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

FUTURE LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

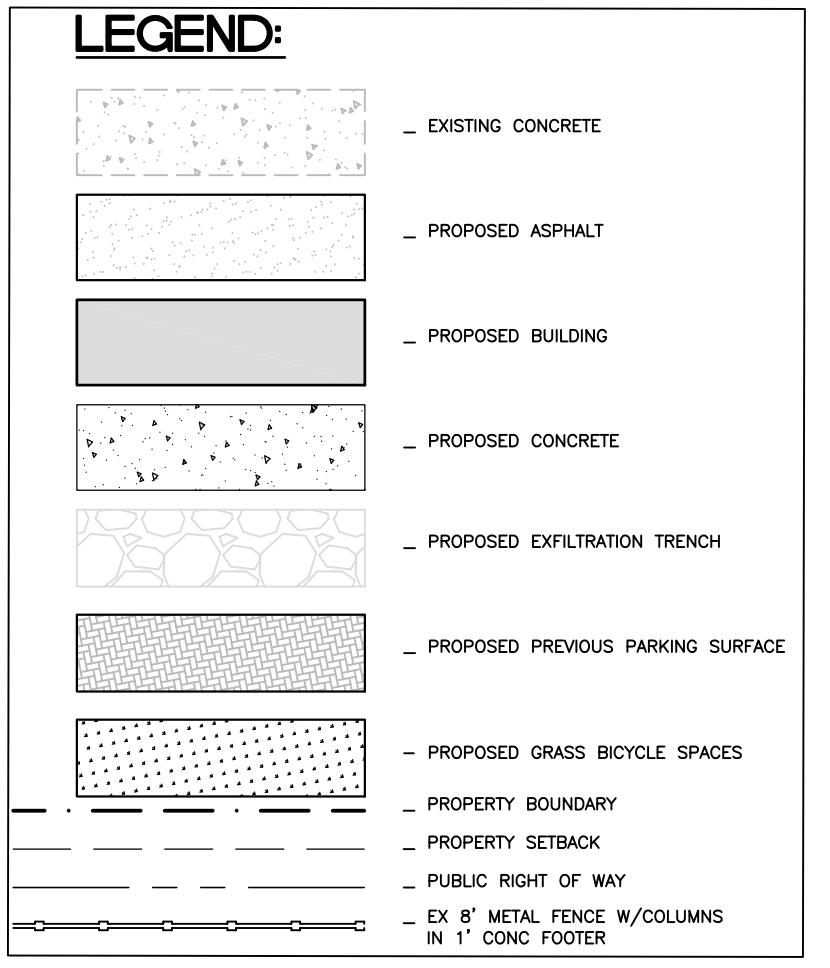
- SITE GENERAL NOTES:**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF KEY WEST AND THE STATE OF FLORIDA.
 - THERE SHALL BE NO CHANGE OR DEVIATION OF THESE PLANS OR SPECIFICATIONS UNLESS PRIOR WRITTEN APPROVAL FROM THE ENGINEER IS OBTAINED.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF AND WHEN A POSSIBLE ERROR IS FOUND IN THE PLANS OR STAKED ALIGNMENT AND/OR GRADES. THE ENGINEER MAY ACCEPT, REUSE TO ACCOMMODATE, CONDITIONS OR REJECT THE FACILITY BEING CONSTRUCTED. IT IS IMPERATIVE THAT THE CONTRACTOR NOTIFY THE ENGINEER OF THESE SITUATIONS AS SOON AS POSSIBLE.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE BEGINNING OF ANY ON-SITE OR OFF-SITE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY AND REPORT THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS, WHETHER THEY ARE IDENTIFIED ON THE DRAWINGS OR NOT.
 - CONTRACTOR SHALL INCLUDE IN THE BID PRICE THE COST OF EROSION CONTROL MEASURES AS SHOWN ON THE BMP PLANS. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. THE METHODS WHICH SHOULD BE USED INCLUDE BUT ARE NOT LIMITED TO:
 - THE CONTRACTOR SHALL UTILIZE SAND BAGS AND BALES AND/OR OTHER EROSION CONTROL METHODS TO CONTROL EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SILTATION ENTERING THE STORM DRAINAGE SYSTEM BOTH ON-SITE AND OFF-SITE.
 - CONTRACTOR SHALL PLACE ADEQUATE TEMPORARY PROTECTION AROUND ALL INLETS TO MINIMIZE DAMAGE AND STORM DRAINAGE SILTATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AT ALL TIMES DURING CONSTRUCTION BY UTILIZING WATER TRUCKS, ANTI-DRAFT FENCING, AND BY COVERING OPEN BODIED TRUCKS TRANSPORTING DEBRIS.
 - THE CONTRACTOR SHALL USE EXTREME CARE NOT TO DAMAGE THE ROOT SYSTEMS OF TREES AND OTHER LANDSCAPE FEATURES WHICH ARE TO BE SAVED AND/OR SALVAGED FOR RESTORATION PURPOSES. NO EQUIPMENT, SUPPLIES OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRY LANE OF TREES TO REMAIN AND BE PRESERVED.
 - GRADE SITE AS INDICATED. ALL STORMWATER RUN-OFF SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM.
 - THE CONTRACTOR SHALL SOD ALL DRAINAGE RETENTION AND SWALE AREAS. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL, IN THE OPINION OF THE ENGINEER, GROWTH IS FIRMLY ESTABLISHED.
 - AS PART OF CLEANING AND GRUBBING, ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND SALVAGED BY THE CONTRACTOR OR TRANSPORTED TO LEGAL DISPOSAL AREAS, AS DIRECTED BY THE OWNER.
 - REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING BUFFERS, TREE PRESERVATION, PLANT SCHEDULES, IRRIGATION, AND ALL LANDSCAPE WORK.
 - REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SERVICE CONNECTIONS, POWER POLE RELOCATIONS, POWER TRANSFORMER DETAILS AND LOCATIONS, CONDUIT ROUTING, AND ALL ELECTRICAL WORK.
 - REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING AND STRUCTURE IMPROVEMENTS, GARAGE LAYOUTS, LIFE SAFETY, PROPERTY SETBACKS, ADA COMPLIANCE, AND ALL ARCHITECTURAL WORK.
 - REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WORK.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE JURISDICTIONAL AUTHORITY AND COMPLY WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) REQUIREMENTS THROUGHOUT CONSTRUCTION.
 - ALL SLOPES SHALL BE 4H:1V MAXIMUM, UNLESS OTHERWISE SPECIFIED.
 - ALL SIGNAGE SHALL CONFORM TO THE CURRENT EDITION OF THE U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

- RIGHT-OF-WAY NOTES:**
- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF KEY WEST AND/OR FDOT, PRIOR TO COMMENCING ANY WORK WITHIN THE RIGHT-OF-WAY. THE JURISDICTIONAL AUTHORITY SHALL APPROVE ALL RIGHT-OF-WAY IMPROVEMENTS (I.E. PIPE SIZE, MATERIAL TYPE, INVERT ELEVATION, SWALE GRADES, SLOPES, SIGN LOCATIONS, ETC.) PRIOR TO CONSTRUCTION, DURING THE RIGHT-OF-WAY PERMIT REVIEW PROCESS.
 - ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF KEY WEST REQUIREMENTS.
 - ALL AREAS DISTURBED BY CONSTRUCTION IN CITY, COUNTY, OR STATE RIGHT-OF-WAYS SHALL BE REGRADED AND SODDED.
 - CONTRACTOR SHALL COMPLY WITH THE CITY OF KEY WEST MAINTENANCE OF TRAFFIC (MOT) POLICY, AND (AS REQUIRED) BE PRE-APPROVED PRIOR TO ANY WORK BEING PERFORMED WITHIN ANY PUBLIC RIGHT-OF-WAY.

- MAINTENANCE REQUIREMENTS:**
- REMOVE ANY TRASH OR DEBRIS FROM SWALES, INLET STRUCTURES, AND PIPES. SPECIAL CARE SHOULD BE TAKEN TO INSPECT THE DRAINAGE STRUCTURES ON A REGULAR BASIS TO REMOVE TRASH AND OR GRASS CLIPPINGS WHICH MAY INHIBIT PROPER SURFACE DRAINAGE.
 - INSPECT ANY AREAS SUBJECT TO EROSION AND SEED OR SOD AS NECESSARY.
 - ADHERE TO ALL SPECIAL MAINTENANCE INSTRUCTION AS PROVIDED BY THE VARIOUS MATERIAL SUPPLIERS/MANUFACTURERS, AND MADE AVAILABLE VIA THE GENERAL CONTRACTOR UPON PROJECT COMPLETION.
 - COMPLY WITH ALL MAINTENANCE, INSPECTION AND REPORTING REQUIREMENTS AS SPECIFIED IN ANY REGULATORY AGENCY PERMITS (I.e. SFVMD SURFACE WATER MANAGEMENT PERMIT).
 - ALL WORK IDENTIFIED ON THESE PLANS SHALL COMPLY WITH THE CONTRACT TECHNICAL SPECIFICATIONS AND ALL APPLICABLE REGULATIONS.

PARKING SUMMARY:

REQUIRED PARKING: 1 SPACE PER MULTIFAMILY UNIT
 PROVIDED PARKING: 126 TOTAL UNITS * 1 SPACE PER UNIT = 126 TOTAL SPACES
 PROVIDED BICYCLE PARKING: 22
 ON-SITE PARKING 8 ADA + 92 STANDARD = 100
 PROVIDED BICYCLE PARKING: 22
 PARKING SPACES PER CODE 108-574 SUBSTITUTION = 108/4 = 27
 TOTAL = 127



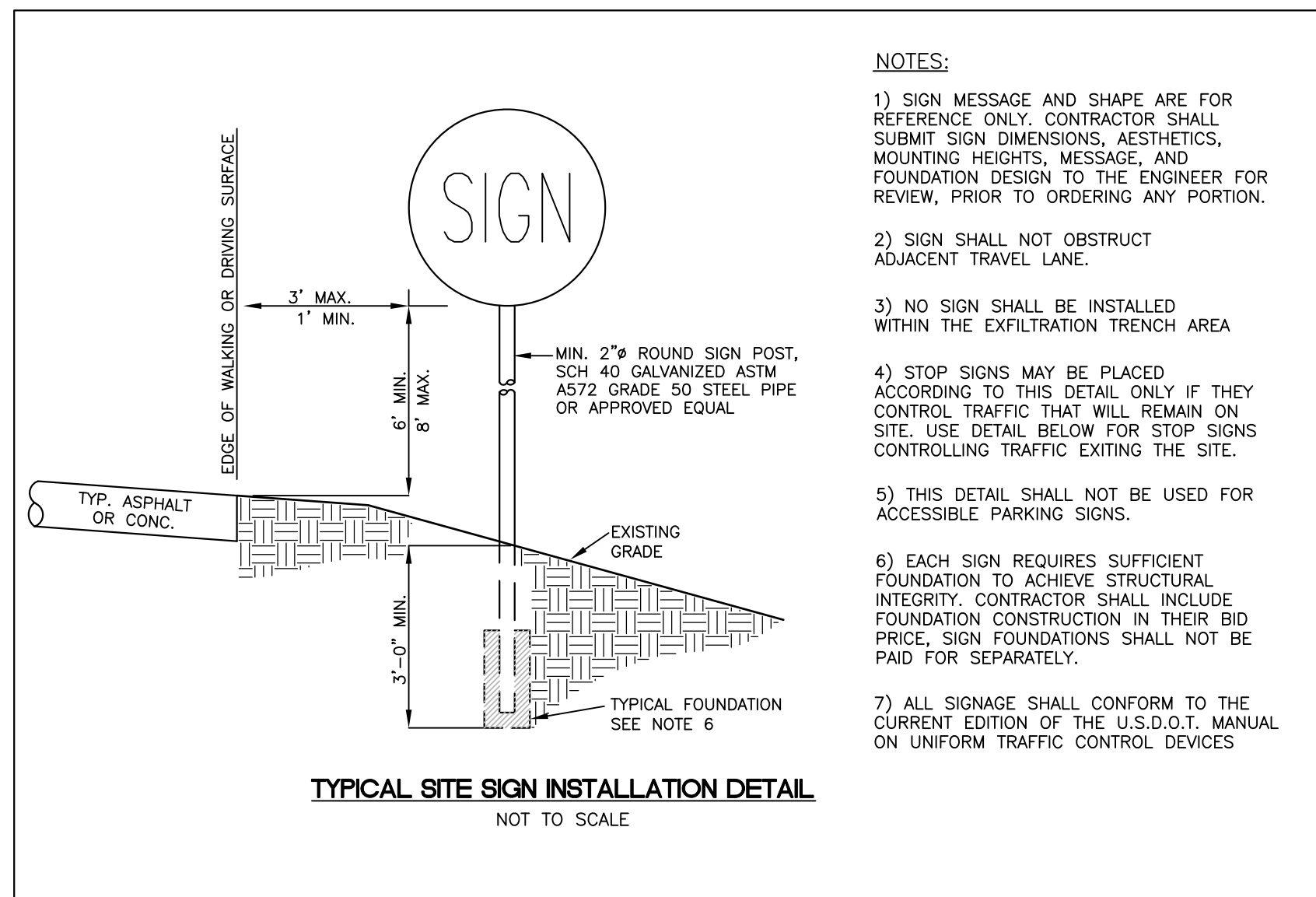
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SITE PLAN FOR THE LOFTS AT BAHAMA VILLAGE

Revisions	Description

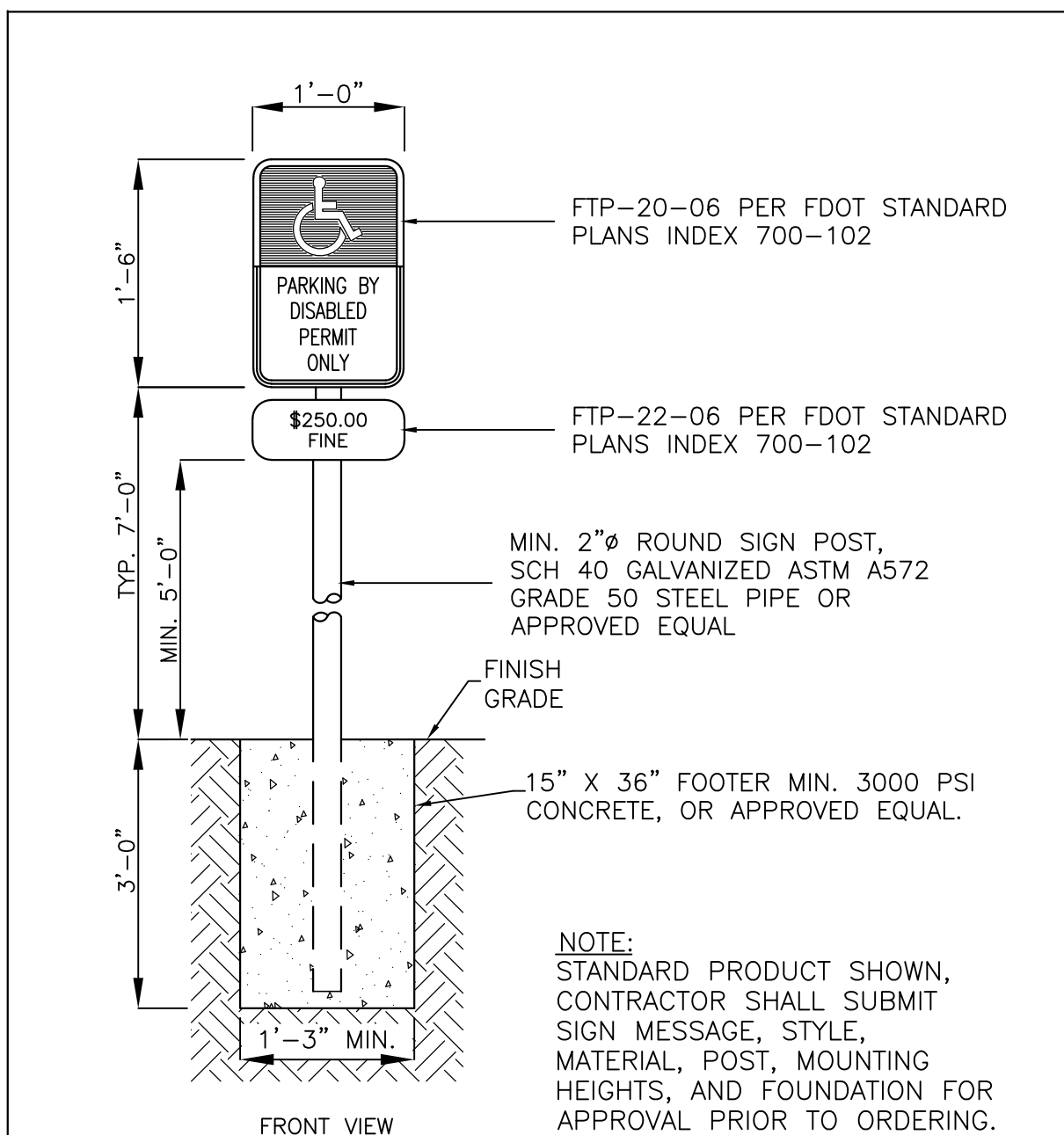
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Professional Engineer,
State of Florida,
Registration No. 90677



- NOTES:**
- 1) SIGN MESSAGE AND SHAPE ARE FOR REFERENCE ONLY. CONTRACTOR SHALL SUBMIT SIGN DIMENSIONS, AESTHETICS, MOUNTING HEIGHTS, MESSAGE, AND FOUNDATION DESIGN TO THE ENGINEER FOR REVIEW, PRIOR TO ORDERING ANY PORTION.
 - 2) SIGN SHALL NOT OBSTRUCT ADJACENT TRAVEL LANE.
 - 3) NO SIGN SHALL BE INSTALLED WITHIN THE EXFILTRATION TRENCH AREA.
 - 4) STOP SIGNS MAY BE PLACED ACCORDING TO THIS DETAIL ONLY IF THEY CONTROL TRAFFIC THAT WILL REMAIN ON SITE. USE DETAIL BELOW FOR STOP SIGNS CONTROLLING TRAFFIC EXITING THE SITE.
 - 5) THIS DETAIL SHALL NOT BE USED FOR ACCESSIBLE PARKING SIGNS.
 - 6) EACH SIGN REQUIRES SUFFICIENT FOUNDATION TO ACHIEVE STRUCTURAL INTEGRITY. CONTRACTOR SHALL INCLUDE FOUNDATION CONSTRUCTION IN THEIR BID PRICE. SIGN FOUNDATIONS SHALL NOT BE PAID FOR SEPARATELY.
 - 7) ALL SIGNAGE SHALL CONFORM TO THE CURRENT EDITION OF THE U.S.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

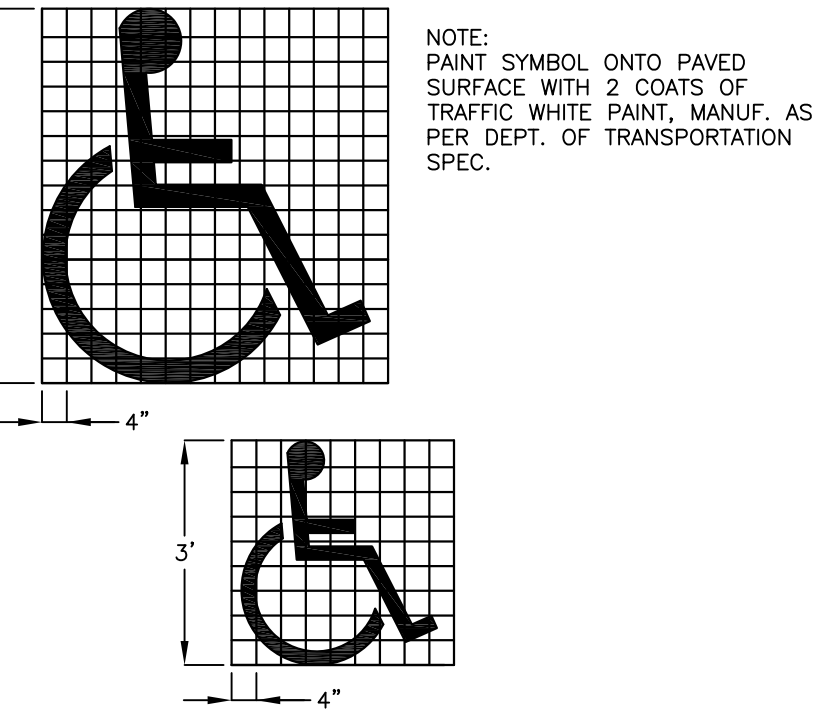
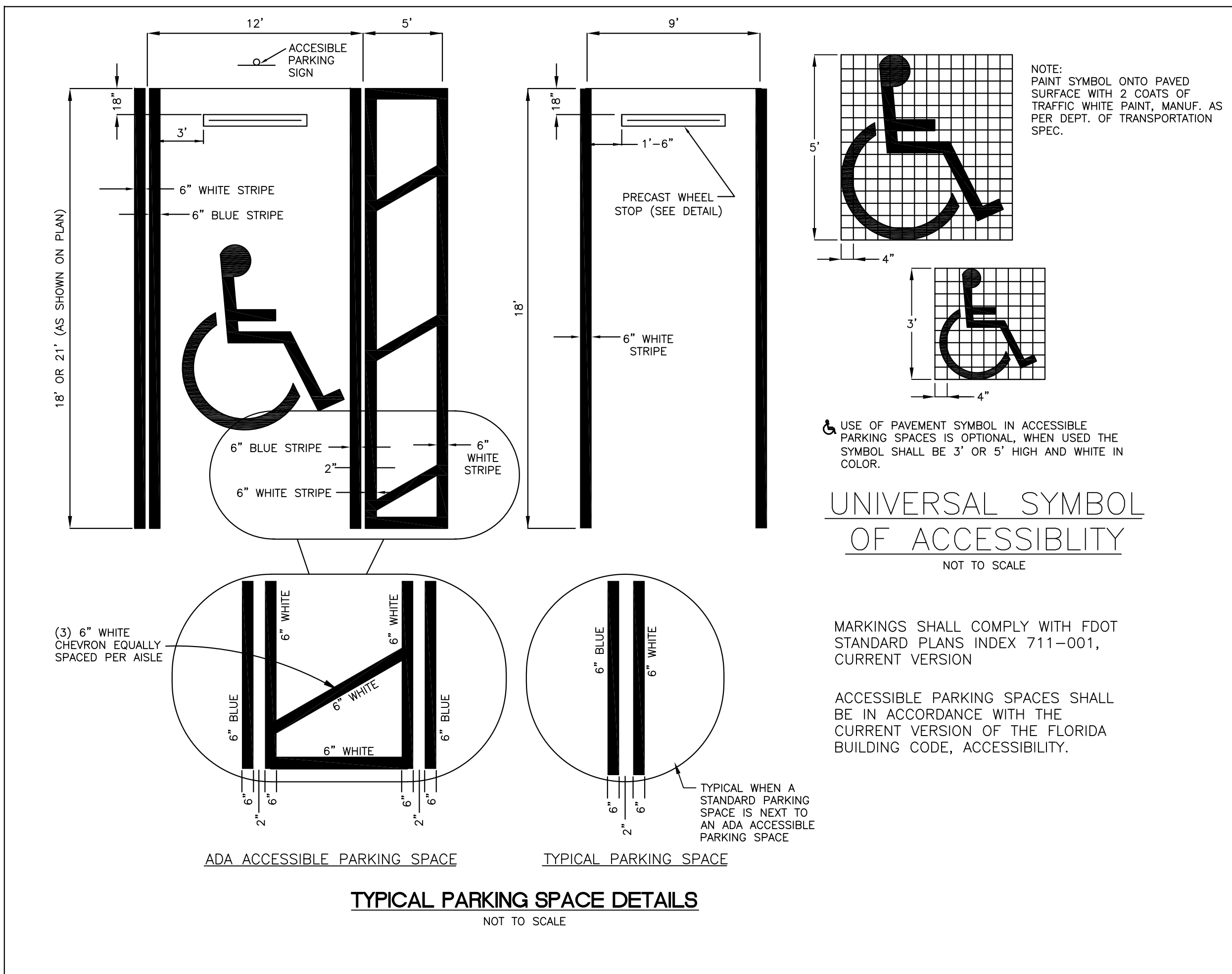
TYPICAL SITE SIGN INSTALLATION DETAIL
NOT TO SCALE



- FTP-20-06 PER FDOT STANDARD PLANS INDEX 700-102
- FTP-22-06 PER FDOT STANDARD PLANS INDEX 700-102
- MIN. 2"Ø ROUND SIGN POST, SCH 40 GALVANIZED ASTM A572 GRADE 50 STEEL PIPE OR APPROVED EQUAL
- 15" X 36" FOOTER MIN. 3000 PSI CONCRETE, OR APPROVED EQUAL.

NOTE: STANDARD PRODUCT SHOWN, CONTRACTOR SHALL SUBMIT SIGN MESSAGE, STYLE, MATERIAL, POST, MOUNTING HEIGHTS, AND FOUNDATION FOR APPROVAL PRIOR TO ORDERING.

TYPICAL ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



NOTE: PAINT SYMBOL ONTO PAVED SURFACE WITH 2 COATS OF TRAFFIC WHITE PAINT, MANUF. AS PER DEPT. OF TRANSPORTATION SPEC.

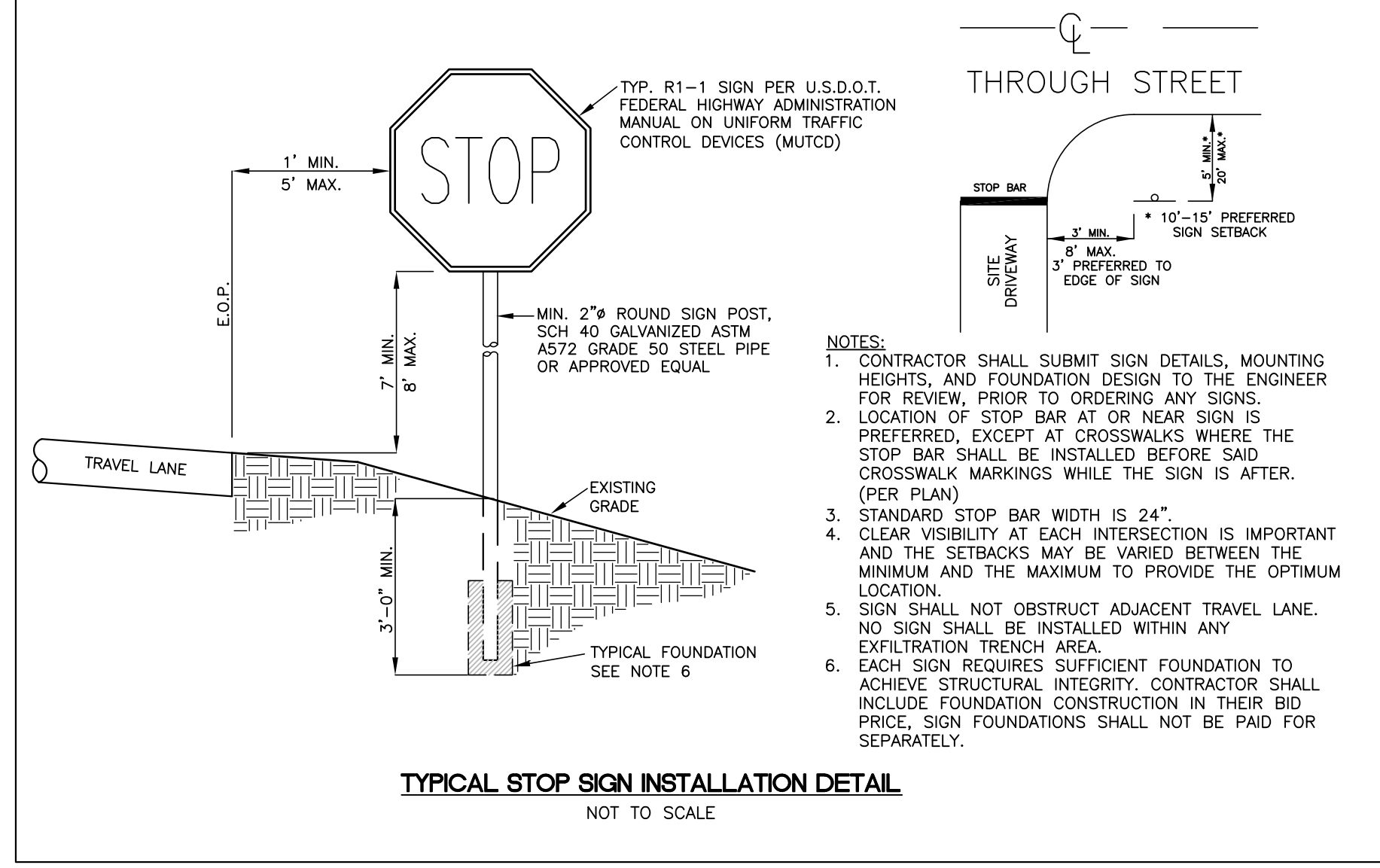
USE OF PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES IS OPTIONAL, WHEN USED THE SYMBOL SHALL BE 3' OR 5' HIGH AND WHITE IN COLOR.

UNIVERSAL SYMBOL OF ACCESSIBILITY
NOT TO SCALE

MARKINGS SHALL COMPLY WITH FDOT STANDARD PLANS INDEX 711-001, CURRENT VERSION

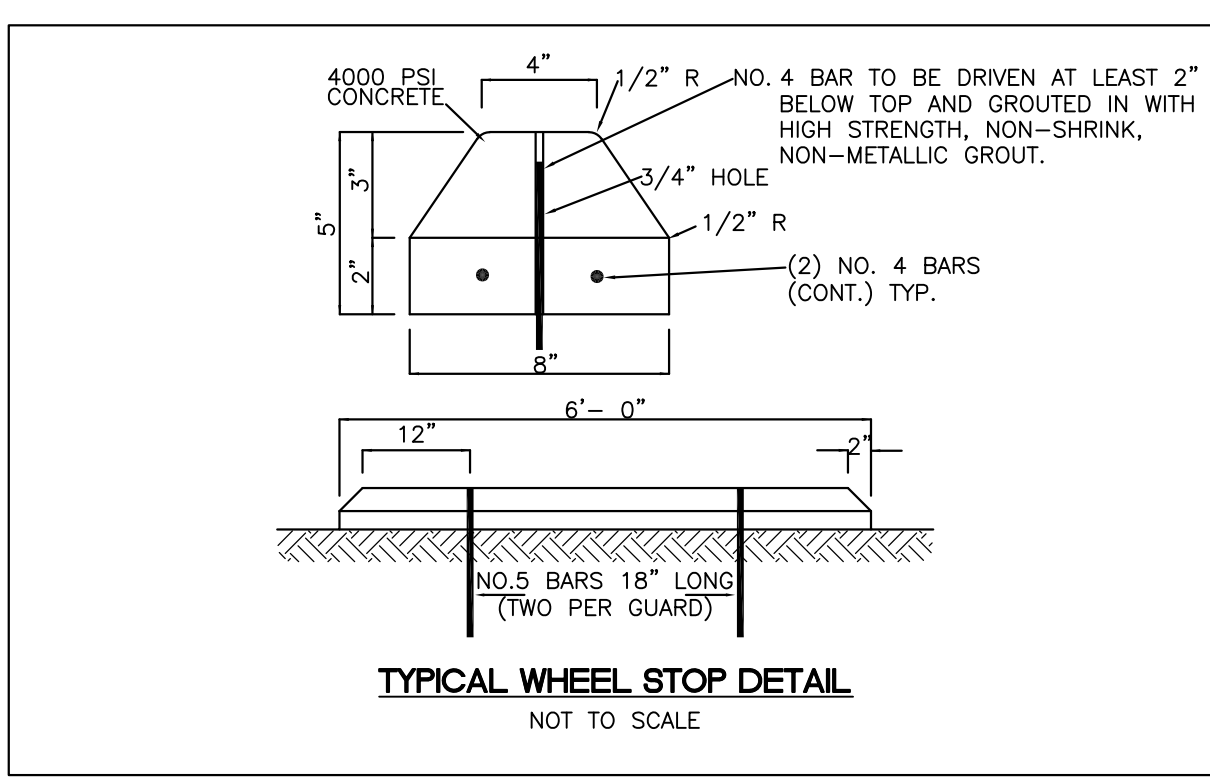
ACCESSIBLE PARKING SPACES SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE FLORIDA BUILDING CODE, ACCESSIBILITY.

TYPICAL PARKING SPACE DETAILS
NOT TO SCALE



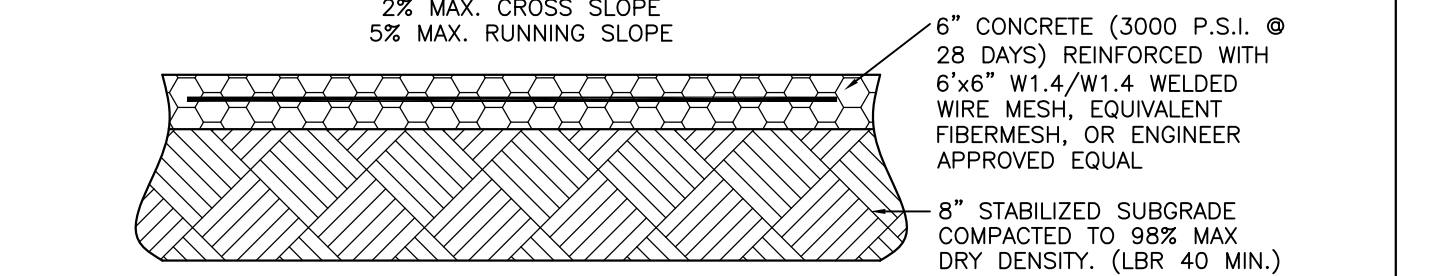
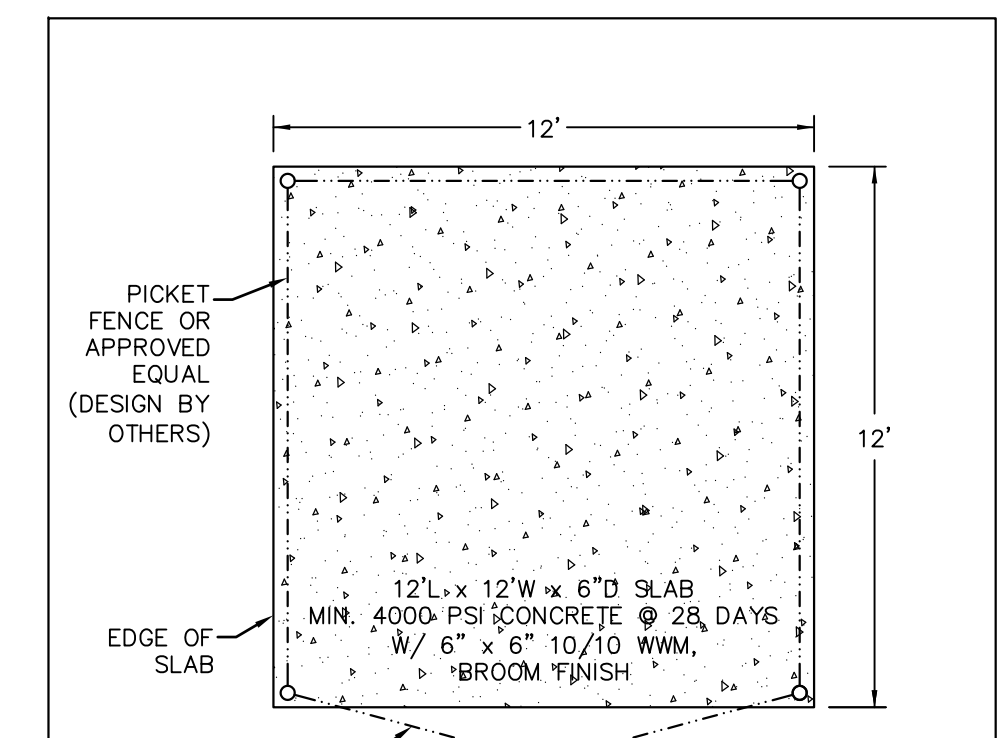
- NOTES:**
1. CONTRACTOR SHALL SUBMIT SIGN DETAILS, MOUNTING HEIGHTS, AND FOUNDATION DESIGN TO THE ENGINEER FOR REVIEW, PRIOR TO ORDERING ANY SIGNS.
 2. LOCATION OF STOP BAR AT OR NEAR SIGN IS PREFERRED, EXCEPT AT CROSSWALKS WHERE THE STOP BAR SHALL BE INSTALLED BEFORE SAID CROSSWALK MARKINGS WHILE THE SIGN IS AFTER. (PER PLAN)
 3. STANDARD STOP BAR WIDTH IS 24"
 4. CLEAR VISIBILITY AT EACH INTERSECTION IS IMPORTANT AND THE SETBACKS MAY BE VARIED BETWEEN THE MINIMUM AND THE MAXIMUM TO PROVIDE THE OPTIMUM LOCATION.
 5. SIGN SHALL NOT OBSTRUCT ADJACENT TRAVEL LANE. NO SIGN SHALL BE INSTALLED WITHIN ANY EXFILTRATION TRENCH AREA.
 6. EACH SIGN REQUIRES SUFFICIENT FOUNDATION TO ACHIEVE STRUCTURAL INTEGRITY. CONTRACTOR SHALL INCLUDE FOUNDATION CONSTRUCTION IN THEIR BID PRICE. SIGN FOUNDATIONS SHALL NOT BE PAID FOR SEPARATELY.

TYPICAL STOP SIGN INSTALLATION DETAIL
NOT TO SCALE



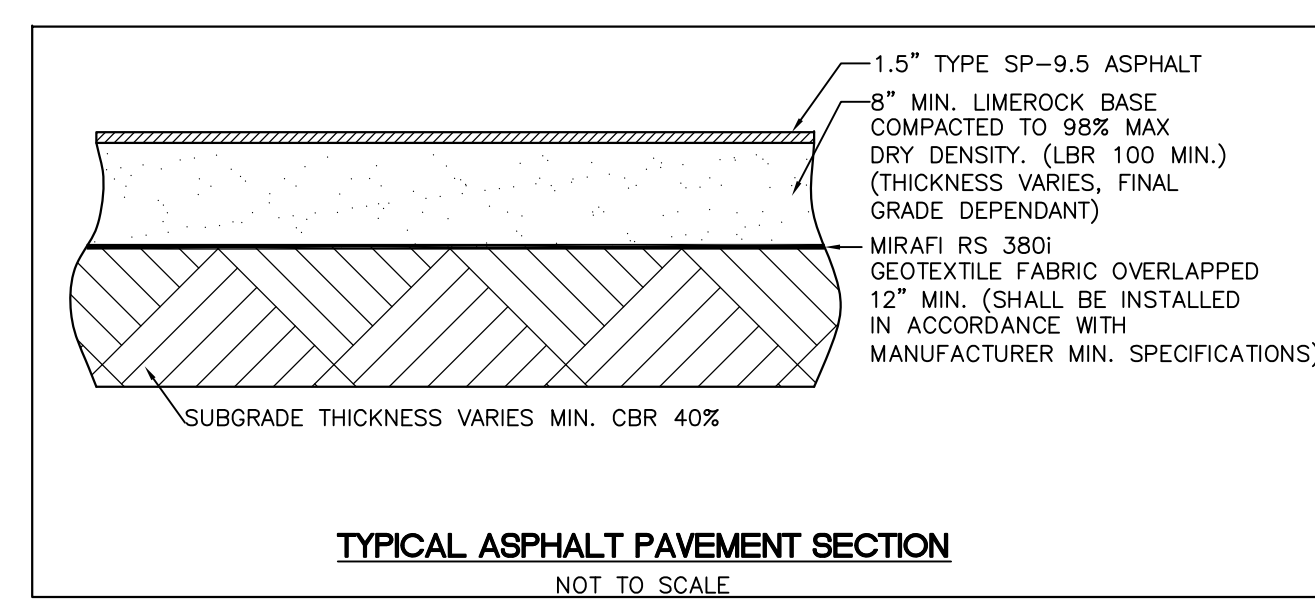
- 4000 PSI CONCRETE
- 1/2" R NO. 4 BAR TO BE DRIVEN AT LEAST 2" BELOW TOP AND GROUTED IN WITH HIGH STRENGTH, NON-SHRINK, NON-METALLIC GROUT.
- 3/4" HOLE
- 1/2" R
- (2) NO. 4 BARS (CONT.) TYP.

TYPICAL WHEEL STOP DETAIL
NOT TO SCALE

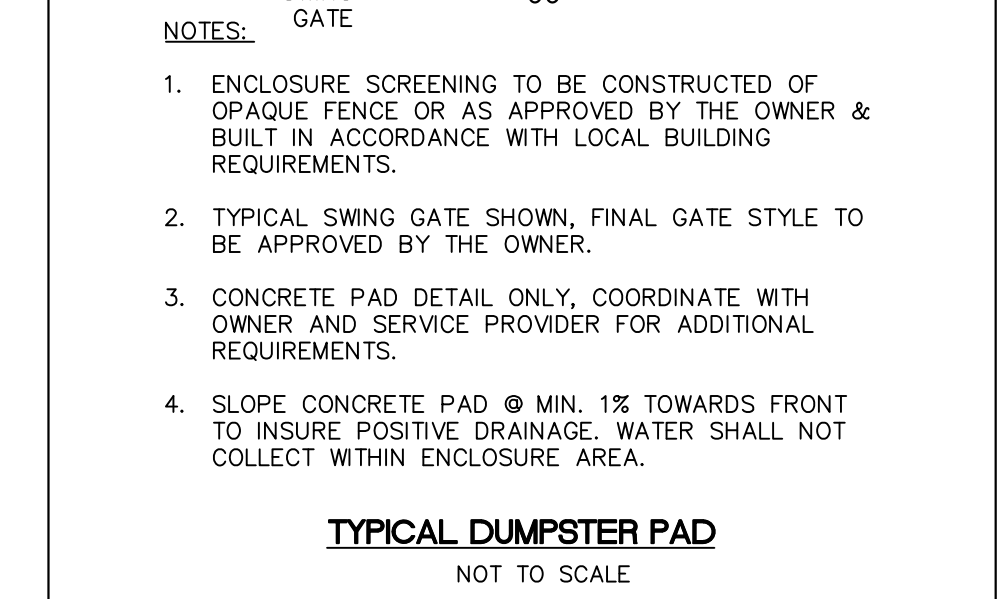


- NOTES:**
1. CONTROL JOINTS SHALL BE CUT AS SOON AS POSSIBLE BUT NOT LATER THAN 72 HOURS FROM CONCRETE PLACEMENT. SAW CUT CONTROL JOINTS EVERY 5 FT @ 1/8" DEEP. CUT ONLY TOP SURFACE OF THE SLAB AND CAP. CLEAN AND SEAL ALL CONTROL JOINTS WITH "SIKAFLEX-1C SL" OR ENGINEER APPROVED EQUAL AND INSURE MINIMUM COVER FOR ALL RE-BAR.
 2. EXPANSION JOINTS SHOULD BE EVENLY SPACED EVERY 100 FT AND FILLED WITH CLOSED CELL BACKER-ROD AND SEALED WITH "SIKAFLEX-10 SL" OR ENGINEER APPROVED EQUAL.
 3. PROTECT FRESH CONCRETE FROM ANY AND ALL TRAFFIC FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
 4. CURE CONCRETE FOR A MINIMUM OF 7 DAYS. USE HOT WEATHER CONCRETING PER ACI-305R-10.
 5. MIN. 1" CLEARANCE BETWEEN OUTER EDGE OF CONCRETE AND REINFORCEMENT.

TYPICAL CONCRETE SIDEWALK SECTION
NOT TO SCALE

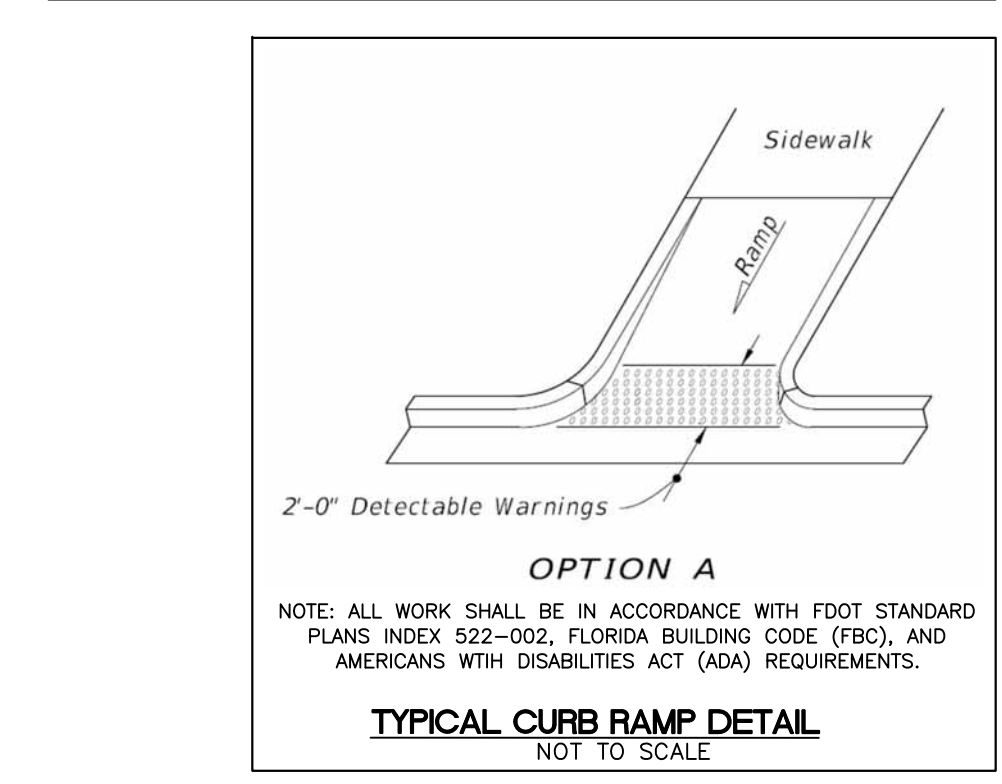


TYPICAL ASPHALT PAVEMENT SECTION
NOT TO SCALE

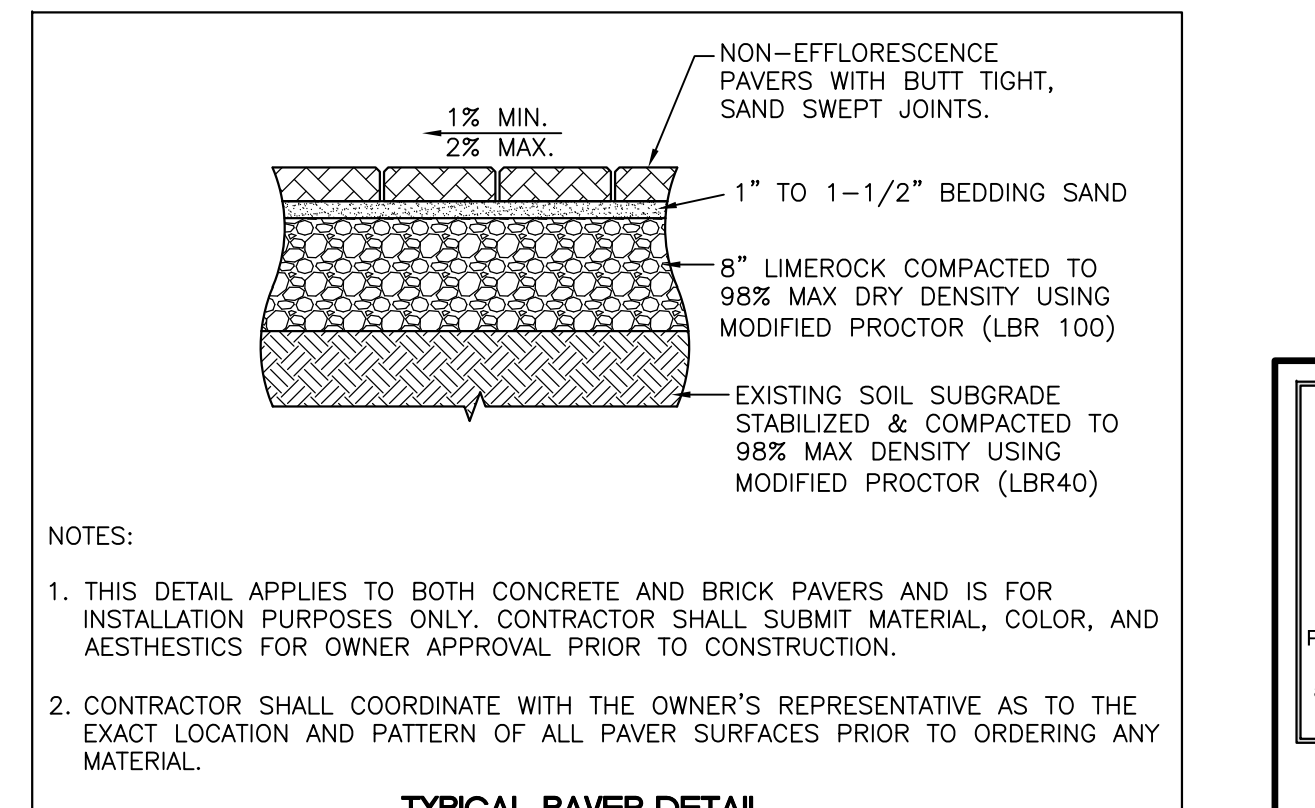


- NOTES:**
1. ENCLOSURE SCREENING TO BE CONSTRUCTED OF OPAQUE FENCE OR AS APPROVED BY THE OWNER & REQUIREMENTS.
 2. TYPICAL SWING GATE SHOWN, FINAL GATE STYLE TO BE APPROVED BY THE OWNER.
 3. CONCRETE PAD DETAIL ONLY. COORDINATE WITH OWNER AND SERVICE PROVIDER FOR ADDITIONAL REQUIREMENTS.
 4. SLOPE CONCRETE PAD @ MIN. 1% TOWARDS FRONT TO INSURE POSITIVE DRAINAGE. WATER SHALL NOT COLLECT WITHIN ENCLOSURE AREA.

TYPICAL DUMPSTER PAD
NOT TO SCALE

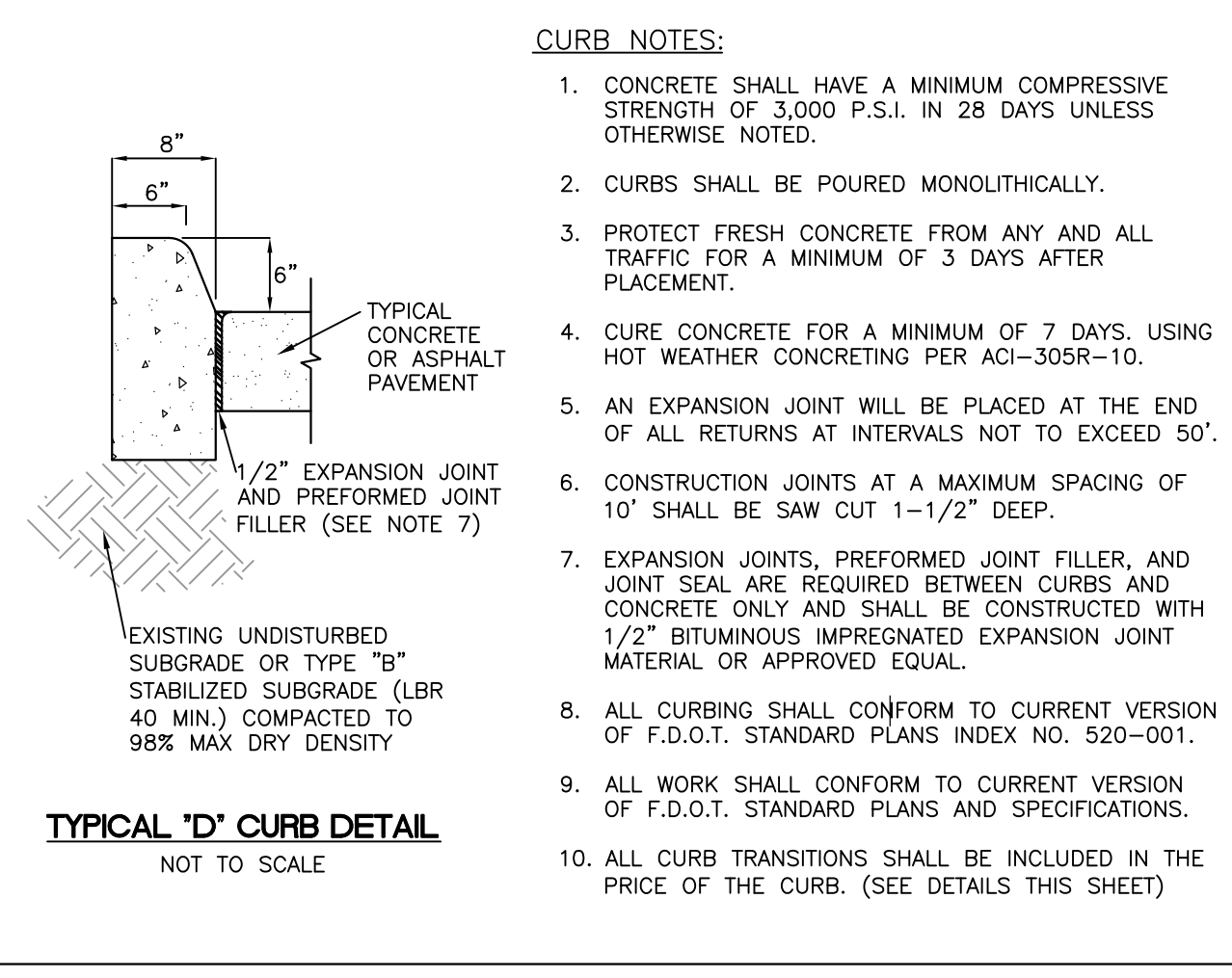


TYPICAL CURB RAMP DETAIL
NOT TO SCALE



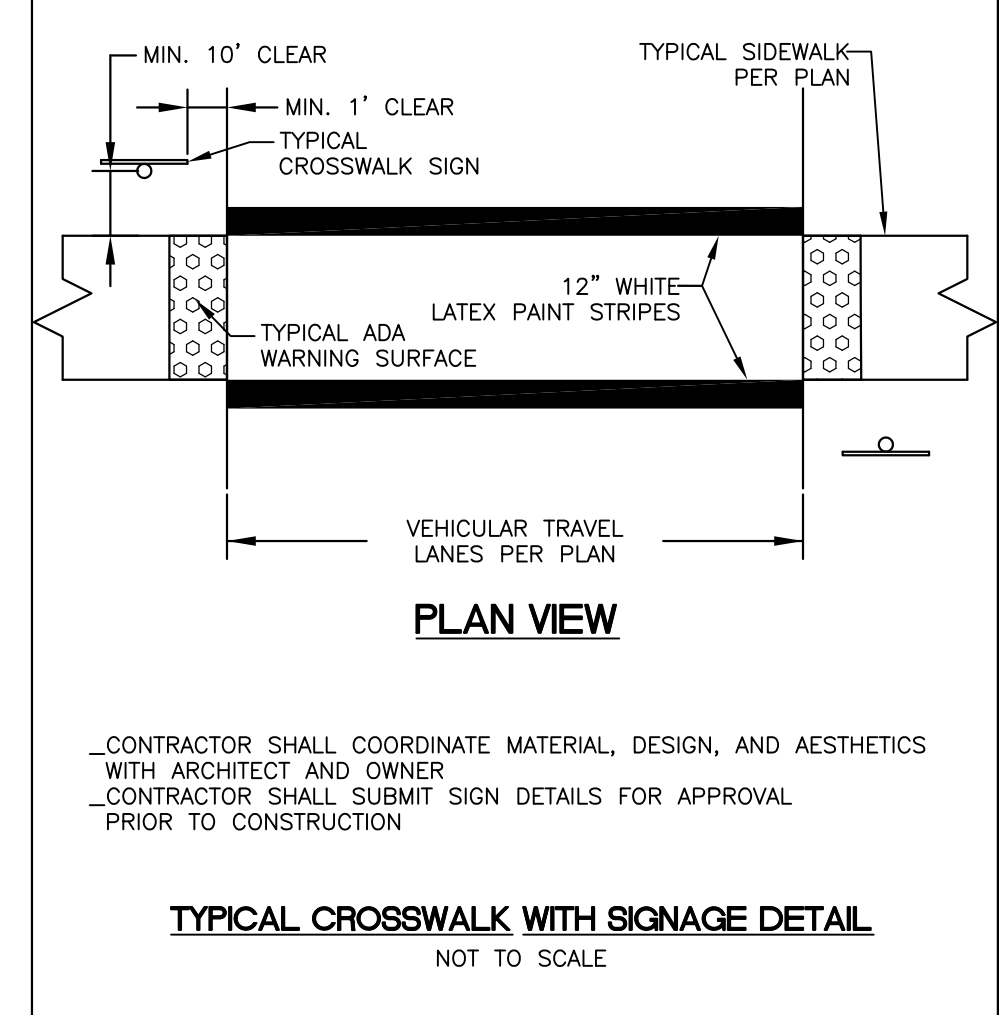
- NOTES:**
1. THIS DETAIL APPLIES TO BOTH CONCRETE AND BRICK PAVERS AND IS FOR INSTALLATION PURPOSES ONLY. CONTRACTOR SHALL SUBMIT MATERIAL, COLOR, AND AESTHETICS FOR OWNER APPROVAL PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE AS TO THE EXACT LOCATION AND PATTERN OF ALL PAVER SURFACES PRIOR TO ORDERING ANY MATERIAL.

TYPICAL PAVER DETAIL
NOT TO SCALE



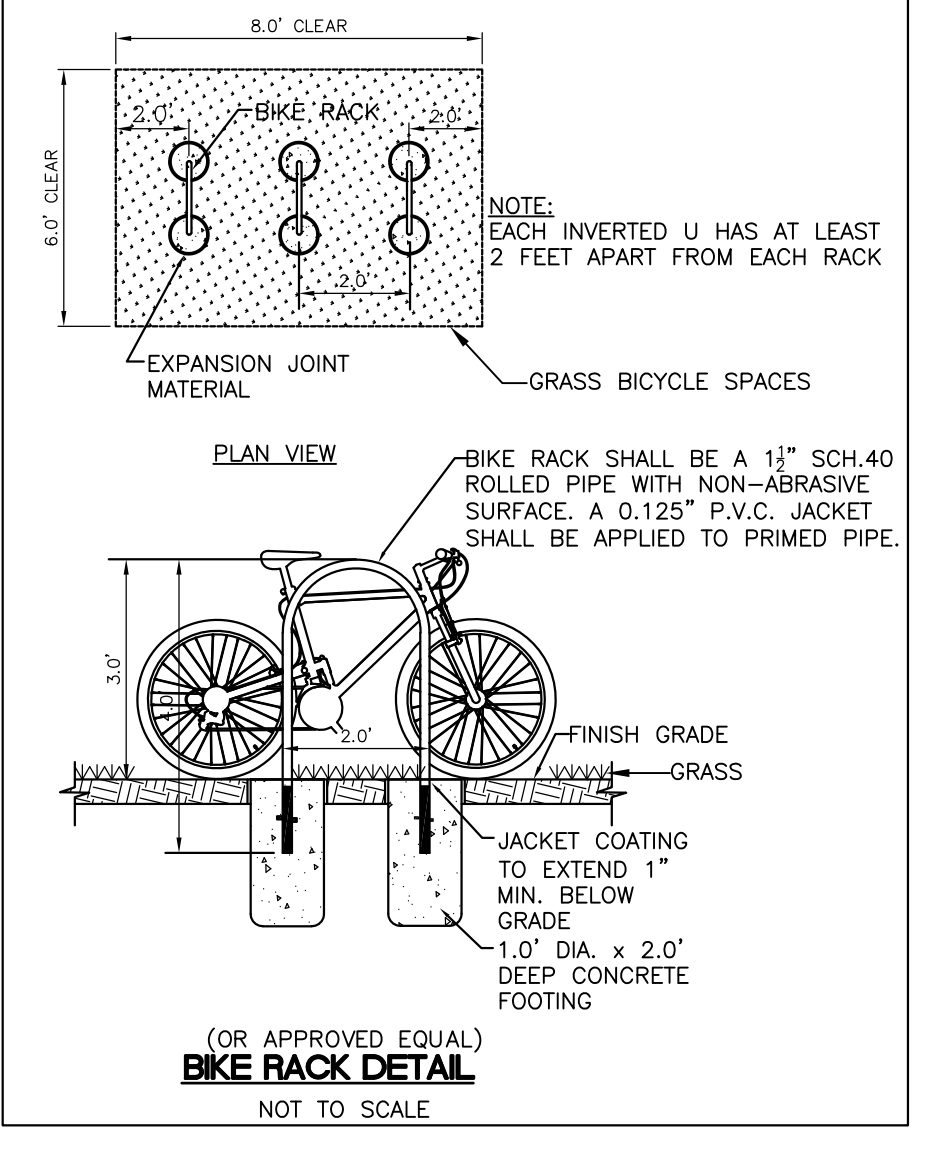
- CURB NOTES:**
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.
 2. CURBS SHALL BE POURED MONOLITHICALLY.
 3. PROTECT FRESH CONCRETE FROM ANY AND ALL TRAFFIC FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
 4. CURE CONCRETE FOR A MINIMUM OF 7 DAYS. USING HOT WEATHER CONCRETING PER ACI-305R-10.
 5. AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50'.
 6. CONSTRUCTION JOINTS AT A MAXIMUM SPACING OF 10' SHALL BE SAW CUT 1-1/2" DEEP.
 7. EXPANSION JOINTS, PREFORMED JOINT FILLER, AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE ONLY AND SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL OR APPROVED EQUAL.
 8. ALL CURBING SHALL CONFORM TO CURRENT VERSION OF F.D.O.T. STANDARD PLANS INDEX NO. 520-001.
 9. ALL WORK SHALL CONFORM TO CURRENT VERSION OF F.D.O.T. STANDARD PLANS AND SPECIFICATIONS.
 10. ALL CURB TRANSITIONS SHALL BE INCLUDED IN THE PRICE OF THE CURB. (SEE DETAILS THIS SHEET)

TYPICAL 'D' CURB DETAIL
NOT TO SCALE

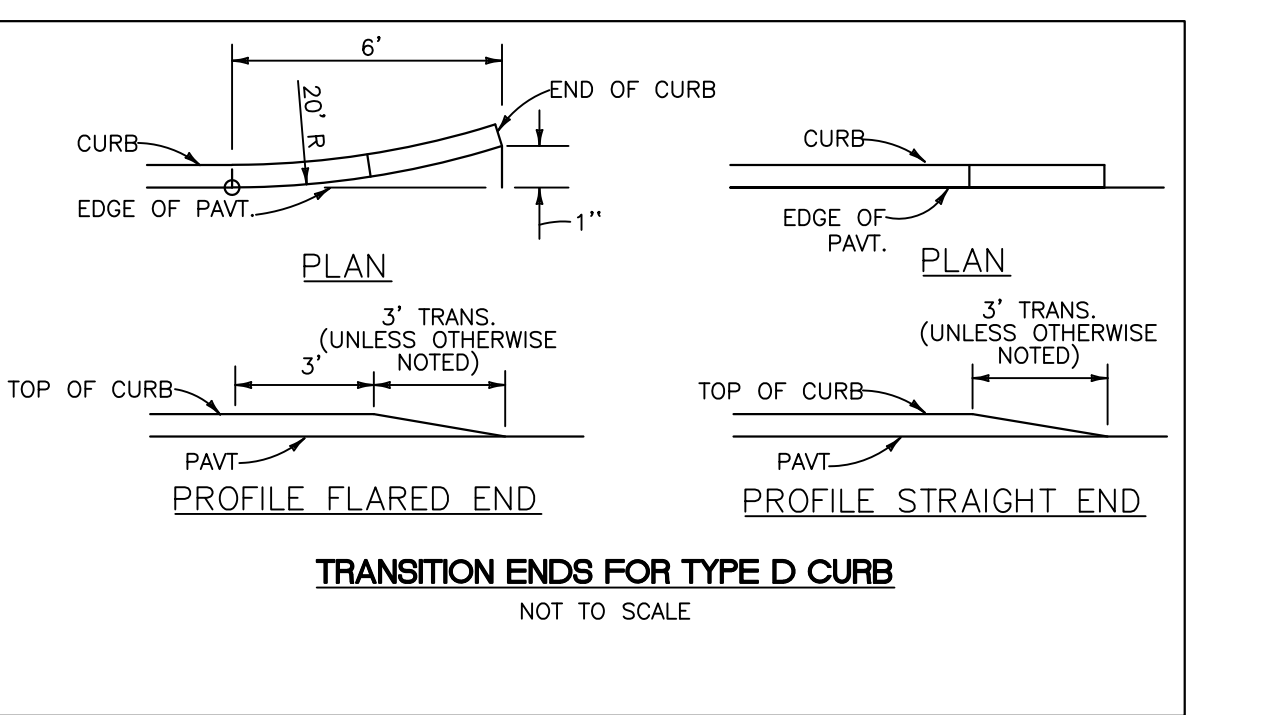


- CONTRACTOR SHALL COORDINATE MATERIAL, DESIGN, AND AESTHETICS WITH ARCHITECT AND OWNER
- CONTRACTOR SHALL SUBMIT SIGN DETAILS FOR APPROVAL PRIOR TO CONSTRUCTION

TYPICAL CROSSWALK WITH SIGNAGE DETAIL
NOT TO SCALE



BIKE RACK DETAIL
NOT TO SCALE



TRANSITION ENDS FOR TYPE D CURB
NOT TO SCALE

USER: epaurin PLOTTED THE C:\Site Details LAYOUT OF W:\2022\22072\001_Vestcor Bahama Village\DWG\22072\001_Bahama_Village.dwg, ON Oct 24, 2024 @ 2:02pm

Design:	JNB/JUB
Drawn:	JNB
Checked:	JUB
Approved By:	AS SHOWN
Scale:	22072.001
Job No.:	22072.001
Date issued:	

WEELER ENGINEERING CORPORATION
WEELER *excellence in engineering*
 201 W. MARION AVE, SUITE 1306
 PUNTA GORDA, FLORIDA 33950
 941.505.1700
 BE #6656

SITE DETAILS FOR THE LOFTS AT BAHAMA VILLAGE

Revisions	Description

Joshua J. Jennings,
 Professional Engineer,
 State of Florida,
 License No. 90677
 This item has been digitally signed and sealed by Joshua J. Jennings, P.E. on the date indicated here, 10-24-2024
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

USER: epaurin PLOTTED THE CS: I:\P03 Details LAYOUT OF W: 2022\22072.001 -Bahama_Village\DWG\22072.001 -Bahama_Village.dwg, ON Oct 24, 2024 @ 2:04pm

NYLOPLAST DRAIN BASIN WITH REMOVABLE INTERNAL PIPE BAFFLE

NOTE: THIS DETAIL SHALL BE USED FOR ALL 24\"/>

Basin Size	C-PIPE BAFFLE AREA	Basin Open Area	PIPE BAFFLE OPEN AREA
24"	12"	448.00	113.29
30"	18"	748.00	199.00

Basin Size	SUMP CAPACITY (GAL/FT)	PIPE BAFFLE CAPACITY (GAL/FT)
24"	23.50	5.90
30"	35.00	7.00

PIPE SIZE	A (MIN)	B (MIN)
3"	1.50	35.00
4"	1.75	40.00
6"	2.25	50.00
8"	2.75	60.00
10"	3.25	70.00
12"	3.75	80.00
15"	4.75	100.00
18"	5.75	120.00
24"	7.75	160.00
30"	9.75	200.00

RECOMMENDED MINIMUM BAFFLE & SUMP DEPTH: LISTED AS "A" & "B" DIMENSIONS ABOVE. ACTUAL BAFFLE & SUMP DEPTH TO BE DETERMINED BY DESIGN ENGINEER.

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

1 - REMOVABLE INTERNAL PIPE BAFFLE AVAILABLE FOR 18", 24", & 30" CUSTOM DRAIN BASINS (STANDARD, FEEDTHRU, & DOME GRATES ONLY). SEE GRATE ASSEMBLY DRAWINGS FOR OPEN AREA & SPECIFIC GRATE DIMENSIONAL INFORMATION.

2 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 48" DIA. TO SHIPPING RESTRICTIONS SEE DRAWING NO. 7001-110-055.

3 - DRAINAGE CONNECTION STUB JOINT THICKNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL) & PVC SEWER ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0 TO 360°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7004-110-043, 7004-110-044, & 7004-110-045.

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DESIGNED BY: EBC
DATE: 3-16-09
MATERIAL: NYLOPLAST
DRAWN BY: EBC
DATE: 3-16-09
PROJECT NO.: 7004-110-041
SCALE: 1:30
SHEET: 1 OF 1
DWG NO.: 7004-110-041
REV: B

NYLOPLAST DRAIN BASIN

NOTE: THIS DETAIL IS TO BE USED FOR ORDERING AND INSTALLING THE DRAIN BASINS WITH REMOVABLE INTERNAL PIPE BAFFLES. SEE DRAWING NO. 7001-110-055 FOR MORE DETAILS ON THE DETAIL ON THIS SHEET. FOR DRAIN BASINS WITH TWO OR MORE OUTLETS UTILIZE THE REMOVABLE INTERNAL PIPE BAFFLE DETAIL AS SHOWN IN THE DETAIL ON THIS SHEET.

**ALL GRATES SHALL BE STANDARD LOCKING TYPE GRATES WITHIN APPROXIMATE 1/2\"/>

1 - 6"-30" GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE 8"-15" BRONZE GRATES.

2 - 12"-30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.

3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 48" DIA. TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-055.

4 - DRAINAGE CONNECTION STUB JOINT THICKNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL) & 300 S PV.

5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0 TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012, 7001-110-013, & 7001-110-014.

6 - GRATES SHALL MEET H-20 LOAD RATING FOR 12" & 24" DIA.

7 - GRATES SHALL MEET H-20 LOAD RATING FOR 30" DIA. & 12"-30" STD. & SOLID.

8 - ALL BRONZE GRATES, DROP IN GRATES, & 8" & 10" PDS/STD GRATES & SOLID COVERS ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY.

9 - DOME GRATES HAVE NO LOAD RATING.

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DESIGNED BY: EBC
DATE: 1-23-06
MATERIAL: NYLOPLAST
DRAWN BY: CJIA
DATE: 1-23-06
PROJECT NO.: 7001-110-144
SCALE: 1:16
SHEET: 1 OF 1
DWG NO.: 7001-110-144
REV: D**

NYLOPLAST DRAIN BASIN WITH REMOVABLE INTERNAL PIPE BAFFLE (SNOUT FIELD INSTALLATION)

1 MEASURE 3.50" UP FROM THE TOP OF THE OUTLET PIPE INSIDE DIAMETER & MAKE A HORIZONTAL MARK.

2 INSERT THE SNOOT & PLACE THE TOP EDGE OF THE FLANGE ON THE HORIZONTAL MARK. POSITION THE SNOOT DIRECTLY OVER THE OUTLET PIPE SO THAT THE ENTIRE OUTLET IS COVERED & THE FLANGES OF THE SNOOT DO NOT BLOCK THE INLET PIPES (SEE DRAWING NO. 7004-110-043, 7004-110-044, & 7004-110-045 FOR MINIMUM ANGLE BETWEEN ADAPTERS).

3 MARK & PRE-DRILL (TO MATCH THE HOLES IN THE SNOOT) 3/16" PILOT HOLES, FOR THE #14 X 1 1/4" SS SELF TAPPING HEX DRIVE SCREWS, THAT ARE PROVIDED IN THE INSTALL KIT. INSTALL 1/4 X 1" NEOPRENE BACKED WASHERS ON EACH SCREW.

4 ATTACH THE 1" VENT PIPE ADAPTER IN THE PRE-DRILLED HOLE ON TOP OF THE SNOOT, USING THE 2 FLAT O RING GASKETS & PVC LOCK-NUT THAT ARE SUPPLIED IN THE KIT. INSTALL THE ADAPTER, WITH THE FEMALE SLIP ADAPTER UP & A WASHER ON EACH SIDE OF THE SNOOT SHELL. TIGHTEN THE PVC LOCK-NUT BY HAND.

5 REMOVE THE PSA BACKING FROM THE GASKET STRIP THAT IS PROVIDED IN THE KIT. ATTACH THE GASKET STRIP TO THE BACK OF THE SNOOT FLANGE WITH FIRM PRESSURE, & TRIM ANY EXCESS GASKET MATERIAL.

6 ATTACH THE SNOOT TO THE DRAIN BASIN WITH THE #14 SS SCREWS, & TIGHTEN TO APPROXIMATELY 10-15 LBS.

7 CUT THE ANTI-SIPHON AIR VENT PIPE TO LENGTH & ATTACH TO SNOOT AT SLIP ADAPTER WITH PVC CEMENT. ATTACH THE 90 DEGREE ELBOW TO THE VENT PIPE WITH PVC CEMENT. THE TOP OF THE 90 DEGREE ELBOW SHOULD BE A MINIMUM 1" FROM THE BOTTOM OF THE GRATE FRAME. ENSURE THAT THE ELBOW OPENING IS ACCESSIBLE FOR MAINTENANCE & INSPECTION.

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DESIGNED BY: EBC
DATE: 4-28-06
MATERIAL: NYLOPLAST
DRAWN BY: CJIA
DATE: 4-28-06
PROJECT NO.: 7004-110-052
SCALE: 1:16
SHEET: 1 OF 1
DWG NO.: 7004-110-052
REV: A

SUNTREE TECHNOLOGIES MODEL NO. NSBB 6-12-64

FLOW, TREATMENT, & BYPASS SPECIFICATIONS FOR THE BIOMASS SEPARATING BASKET

- Inflow Pipe Area: 7.0 SQ.FT.
- Open Office Area in Biomass Separating Basket: 34.5 SQ.FT.
- Treatable Flow Area With No Blockages: 34.5 SQ.FT.
- Treatable Flow Area With 50% Blockage: 17.2 SQ.FT.
- Treatable Flow Area With 75% Blockage: 8.6 SQ.FT.

BASKET STORAGE = 38 CU. FT. (2.1 YDS.)

SEDIMENT STORAGE

- Lower Front Chamber: 72 CU. FT.
- Lower Middle Chamber: 67.5 CU. FT.
- Lower Rear Chamber: 67.5 CU. FT.
- TOTAL: 207 CU. FT. (7.6 YDS.)**

PEAK DESIGN FLOW: 48.2 C.F.S.

TREATMENT DESIGN: 24 C.F.S.

NOTES:

- CONCRETE 28 DAY COMPRESSIVE STRENGTH TO 4,000 PSI.
- REINFORCING: ASTM A-615, GRADE 60.
- SUPPORTS AN HD LOAD AS INDICATED BY ASHRAE.
- JOINT SEALANT: BUTYL RUBBER SS-3-00210
- ALL WALLS, TOP & BOTTOM ARE 8" THICK.

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DESIGNED BY: N.R.B.
DATE: 03/25/05
SCALE: 1/2"
DRAFTER: N.R.B. UNITS = INCHES

TYPICAL CONCRETE COLLAR DETAIL FOR ASPHALT AREAS

NOTE: CURE CONCRETE AND PROTECT FROM DAMAGE FOR A MINIMUM OF 7 DAYS. USE MOIST WEATHER CONCRETING PER ACI-308R-10. SEE TABLE BELOW FOR DIMENSIONS.

INLET SIZE	A	B	C
16\"/> <tr> <td>24\"/> <tr> <td>30\"/> </td></tr></td></tr>	24\"/> <tr> <td>30\"/> </td></tr>	30\"/>	
24\"/> <tr> <td>30\"/> </td></tr>	30\"/>		
30\"/>			

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH SUNTREE TECHNOLOGIES HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM SUNTREE TECHNOLOGIES.

DESIGNED BY: N.R.B.
DATE: 03/25/05
SCALE: 1/2"
DRAFTER: N.R.B. UNITS = INCHES

WELL CONTROL STRUCTURE DETAIL

NOTES:

- TANK SHALL BE TRAFFIC BEARING AND CONCRETE SHALL COMPLY WITH ASTM C 478, LATEST REVISION.
- WALLS SHALL BE MINIMUM 6" THICK REINFORCED CONCRETE.
- TOP SLAB SHALL BE A MINIMUM 6" THICK REINFORCED CONCRETE.
- SECTIONS SHALL BE JOINED AND SEALED WITH MINIMUM 1" "RAM-NEK" SEALER OR EQUIVALENT TO FORM A WATER TIGHT SEAL.
- RISER JOINTS SHALL COMPLY WITH ASTM C 443, LATEST REVISION.
- USE A FLEXIBLE CEMENT BASED GROUT TO SEAL THE CASING TO THE STRUCTURE.
- ALL ELEVATIONS ARE REFERENCED TO NGVD 1929, UNLESS OTHERWISE NOTED.

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DESIGNED BY: N.R.B.
DATE: 03/25/05
SCALE: 1/2"
DRAFTER: N.R.B. UNITS = INCHES

ROOF DRAIN (SEE CLEANOUT)

NOTE: INJECTION MOLDED FITTING ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS.

WATER TIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE.

NOTE: CLEANOUT MAY BE OMITTED IF MAINTENANCE ACCESS CAN BE PROVIDED AT DOWNSPOUT CONNECTION.

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DESIGNED BY: N.R.B.
DATE: 03/25/05
SCALE: 1/2"
DRAFTER: N.R.B. UNITS = INCHES

DOWNSPOUT ADAPTERS

PART #	PIPE SIZE	A	B	C
0364AA	3 in	2.5 in	3.3 in	4.8 in
0464AA	4 in	2.5 in	3.3 in	4.8 in
0465AA	4 in	3.3 in	4.5 in	5.0 in
0466AA	4 in	2.8 in	2.8 in	4.8 in
0664AA	6 in	3.8 in	5.6 in	6.4 in
0664AA	6 in	3.8 in	5.6 in	6.4 in
0664AC	6 in	3.8 in	5.6 in	6.4 in

* Part 0664AC is PVC

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DESIGNED BY: N.R.B.
DATE: 03/25/05
SCALE: 1/2"
DRAFTER: N.R.B. UNITS = INCHES

Design: JNB/JLU

Drawn: JNB

Checked: JLU

Approved By: AS SHOWN

Scale: 22072.001

Job No.: 22072.001

Date Issued: 22072.001

WELER ENGINEERING CORPORATION

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PUNTA GORDA, FLORIDA 33950

941.505.1700

WELER ENGINEERING CORPORATION

201 W. MARION AVE, SUITE 1306

PUNTA GORDA, FLORIDA 33950

941.505.1700

Revisions

12/28/2023

03/13/2024

DESCRIPTION

CONTROL CLARIFICATION

ADDED ROOF DRAIN DETAIL

Joshua J. Jennings,
Professional Engineer,
State of Florida,
License No. 50677

This item has been
digitally signed and sealed by
Joshua J. Jennings, P.E.,
on the date indicated here,
10-24-2024

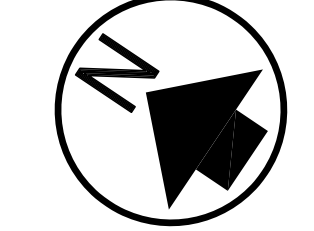
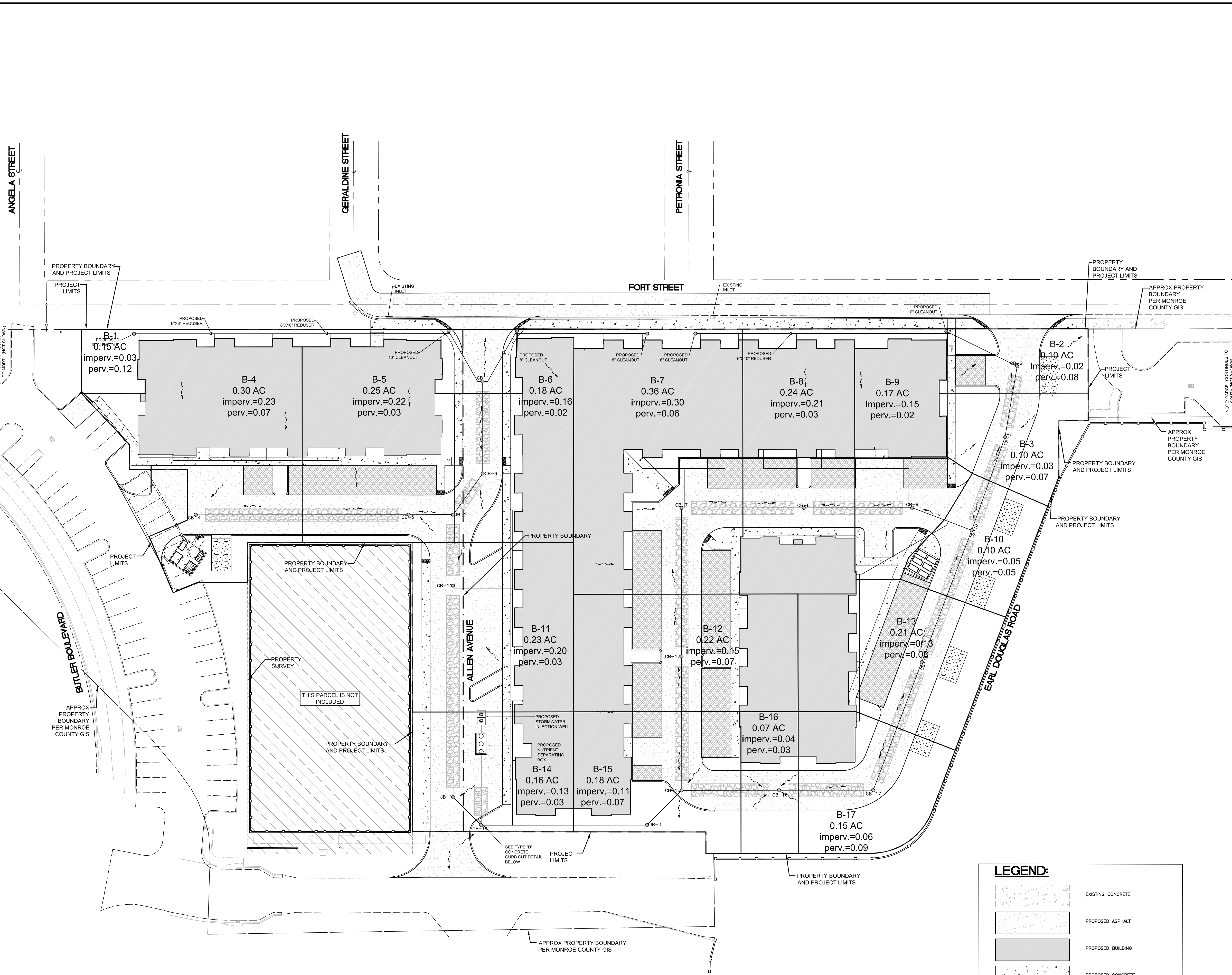
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and the signature must be verified
on any electronic copies.

Joshua J. Jennings,
Professional Engineer,
State of Florida,
License No. 50677

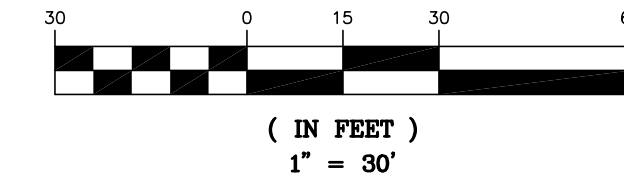
PAVING, GRADING & DRAINAGE DETAILS FOR THE LOFTS AT BAHAMA VILLAGE

Sheet No. C-51

USER: p:\dwg\plotted\ THE CS-2BMAP_LAYOUT OF WK-2022\22072.001_Vector\Bahama Village\DWG\Rev08\22072.001_Bahama_Village\2024-10-23.DWG, ON Oct 24, 2024 @ 2:07pm



GRAPHIC SCALE



PROJECT DATA:

PROJECT: THE LOFTS AT BAHAMA VILLAGE
918 FORT STREET
KEY WEST, FLORIDA 33040

OWNERSHIP: CITY OF KEY WEST
P.O. BOX 1400
KEY WEST, FLORIDA 33041

DEVELOPER: BAHAMA VILLAGE COMMUNITY, LTD
3030 HARTLEY ROAD, SUITE 310
JACKSONVILLE, FLORIDA 32257
904.260.3030

ENGINEER: THE WEILER ENGINEERING CORPORATION
JOSHUA J. JENNINGS, P.E. NO. 50677
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700

ARCHITECT: POH GROUP
ALDO MINOZZI, AIA, NCARB (APR8244)
4141 SOUTHWEST DRIVE EAST, SUITE 300
JACKSONVILLE, FLORIDA 32216
904.224.0001

SURVEYOR: AURUM & ASSOCIATES, INC.
50 SW 2ND AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
561.392.2594

DATUM: NAD 1929 (PER SURVEY)

FLOOD ZONE: AE (EL. 6) & AE (EL. 7) AS SHOWN ON:
F.E.M.A. FIRM MAP #12087C1518K
EFFECTIVE DATE: FEBRUARY 16, 2005

SEWER UTILITY: CITY OF KEY WEST

WATER UTILITY: FLORIDA KEYS AQUEDUCT AUTHORITY (FKAA)

WASTE COLLECTION: CITY OF KEY WEST

ZONING: HNC-4 NEIGHBORHOOD COMMERCIAL BAHAMA VILLAGE TRUMAN WATERFRONT

CURRENT LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

FUTURE LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

SITE GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF KEY WEST AND THE STATE OF FLORIDA.
- THERE SHALL BE NO CHANGE OR DEVIATION OF THESE PLANS OR SPECIFICATIONS UNLESS PRIOR WRITTEN APPROVAL FROM THE ENGINEER IS OBTAINED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF AND WHEN A POSSIBLE ERROR IS FOUND IN THE PLANS OR STAKED ALIGNMENT AND/OR GRADES. THE ENGINEER MAY ACCEPT, REVISE TO ACCOMMODATE CONDITIONS, OR REJECT THE FACILITY BEING CONSTRUCTED. IT IS IMPERATIVE THAT THE CONTRACTOR NOTIFY THE ENGINEER OF THESE SITUATIONS AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE BEGINNING OF ANY ON-SITE OR OFF-SITE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY AND REPORT THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS, WHETHER THEY ARE IDENTIFIED ON THE DRAWINGS OR NOT.
- CONTRACTOR SHALL INCLUDE IN THE BID PRICE THE COST OF EROSION CONTROL MEASURES AS SHOWN ON THE BMP PLANS. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND OBSERVED DURING CONSTRUCTION BY THE CONTRACTOR. THE METHODS WHICH SHOULD BE USED INCLUDE BUT ARE NOT LIMITED TO:
 - CONTRACTOR SHALL UTILIZE SAND BAGS AND BALES AND/OR OTHER EROSION CONTROL METHODS TO CONTROL EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SILTATION ENTERING THE STORM DRAINAGE SYSTEM BOTH ON-SITE AND OFF-SITE.
 - CONTRACTOR SHALL PLACE ADEQUATE TEMPORARY PROTECTION AROUND ALL INLETS TO MINIMIZE DAMAGE AND STORM DRAINAGE SILTATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AT ALL TIMES DURING CONSTRUCTION BY UTILIZING WATER TRUCKS, ANTI-DRAFT FENCING, AND BY COVERING OPEN BODIED TRUCKS TRANSPORTING DEBRIS.
- CONTRACTOR SHALL USE EXTREME CARE NOT TO DAMAGE THE ROOT SYSTEMS OF TREES AND OTHER LANDSCAPE FEATURES WHICH ARE TO BE SAVED AND/OR SALVAGED FOR RESTORATION PURPOSES. NO EQUIPMENT, SUPPLIES OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF TREES TO REMAIN AND BE PRESERVED.
- GRADE SITE AS INDICATED. ALL STORMWATER RUN-OFF SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM.
- CONTRACTOR SHALL SOD ALL DRAINAGE RETENTION AND SWALE AREAS. SODDING INCLUDES MAINTAINING SLOPES AND SOD UNTIL, IN THE OPINION OF THE ENGINEER, GROWTH IS FIRMLY ESTABLISHED.
- AS PART OF CLEARING AND GRUBBING, ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND SALVAGED BY THE CONTRACTOR OR TRANSPORTED TO LEGAL DISPOSAL AREAS, AS DIRECTED BY THE OWNER. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING BUFFERS, TREE PRESERVATION, PLANT SCHEDULES, IRRIGATION, AND ALL LANDSCAPE WORK.
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SERVICE CONNECTIONS, POWER POLE RELOCATIONS, POWER TRANSFORMER DETAILS AND LOCATIONS, CONDUIT ROUTING, AND ALL ELECTRICAL WORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING AND STRUCTURE IMPROVEMENTS, GARAGE LAYOUTS, LIFE SAFETY, PROPERTY SETBACKS, ADA COMPLIANCE, AND ALL ARCHITECTURAL WORK.
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE JURISDICTIONAL AUTHORITY AND COMPLY WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) REQUIREMENTS THROUGHOUT CONSTRUCTION.
- ALL SLOPES SHALL BE 4H:1V MAXIMUM, UNLESS OTHERWISE SPECIFIED.
- ALL SIGNAGE SHALL CONFORM TO THE CURRENT EDITION OF THE U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

RIGHT-OF-WAY NOTES:

- CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF KEY WEST AND/OR FDOT, PRIOR TO COMMENCING ANY WORK WITHIN THE RIGHT-OF-WAY. THE JURISDICTIONAL AUTHORITY SHALL APPROVE ALL RIGHT-OF-WAY IMPROVEMENTS (I.E. PIPE SIZE, MATERIAL, TYPE, INVERT ELEVATION, SWALE GRADES, SLOPES, SIGN LOCATIONS, ETC.) PRIOR TO CONSTRUCTION, DURING THE RIGHT-OF-WAY PERMIT REVIEW PROCESS.
- ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF KEY WEST REQUIREMENTS.
- ALL AREAS DISTURBED BY CONSTRUCTION IN CITY, COUNTY, OR STATE RIGHT-OF-WAYS SHALL BE REGRADED AND SODDED.
- CONTRACTOR SHALL COMPLY WITH THE CITY OF KEY WEST MAINTENANCE OF TRAFFIC (MOT) POLICY, AND (AS REQUIRED) BE PRE-APPROVED PRIOR TO ANY WORK BEING PERFORMED WITHIN ANY PUBLIC RIGHT-OF-WAY.

MAINTENANCE REQUIREMENTS:

- REMOVE ANY TRASH OR DEBRIS FROM SWALES, INLET STRUCTURES, AND PIPES. SPECIAL CARE SHOULD BE TAKEN TO INSPECT THE DRAINAGE STRUCTURES ON A REGULAR BASIS TO REMOVE TRASH AND OR GRASS CLIPPINGS WHICH MAY INHIBIT PROPER SURFACE DRAINAGE.
- INSPECT ANY AREAS SUBJECT TO EROSION AND SEED OR SOD AS NECESSARY.
- ADHERE TO ALL SPECIAL MAINTENANCE INSTRUCTION AS PROVIDED BY THE VARIOUS MATERIAL SUPPLIERS, MANUFACTURERS, AND MADE AVAILABLE VIA THE GENERAL CONTRACTOR UPON PROJECT COMPLETION.
- COMPLY WITH ALL MAINTENANCE, INSPECTION AND REPORTING REQUIREMENTS AS SPECIFIED IN ANY REGULATORY AGENCY PERMITS (I.E. SFVMD SURFACE WATER MANAGEMENT PERMIT).
- ALL WORK IDENTIFIED ON THESE PLANS SHALL COMPLY WITH THE CONTRACT TECHNICAL SPECIFICATIONS AND ALL APPLICABLE REGULATIONS.

LOT COVERAGE SUMMARY: (FOR PROJECT AREA)

TOTAL PROJECT AREA	137,950 SF	3.17 AC	100.0%
PROPOSED BUILDINGS	52,870 SF	1.21 AC	
PROPOSED ASPHALT	35,033 SF	0.80 AC	
PROPOSED CONCRETE	8,462 SF	0.19 AC	
PROJECT IMPERVIOUS AREA	96,365 SF	2.21 AC	69.85%
OPEN SPACE	31,541 SF	0.73 AC	
PERVIOUS PARKING AREA	10,044 SF	0.23 AC	
PROJECT PERVIOUS AREA	41,585 SF	0.96 AC	30.15%

LEGEND:

- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED INFILTRATION TRENCH
- PROPOSED PREVIOUS PARKING SURFACE
- PROPOSED GRASS BICYCLE SPACES
- PROPERTY BOUNDARY
- PROPERTY SETBACK
- PUBLIC RIGHT OF WAY
- 6' METAL FENCE W/COLUMNS IN 1' CONC FOOTER

Design:	JNB/luu
Drawn:	JNB
Checked:	JUU
AS SHOWN:	22072.001
Job No.:	
Date issued:	

Approved By: [Signature]

Scale: 22072.001

Job No.:

Date issued:

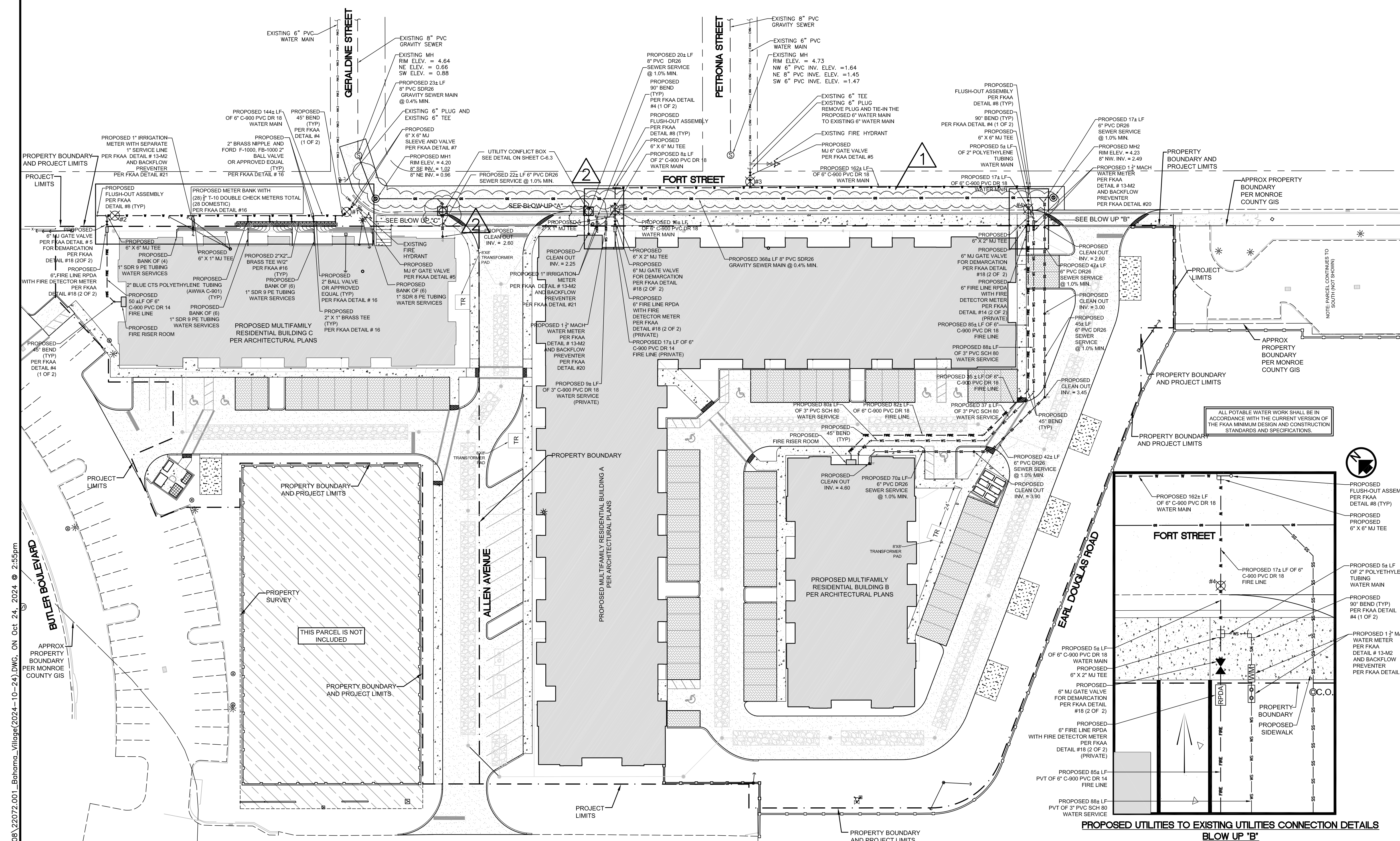
WEILER ENGINEERING CORPORATION
201 W. MARION AVE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700

BASIN MAP FOR THE LOFTS AT BAHAMA VILLAGE

Revisions	Description

Joshua J. Jennings,
Professional Engineer,
State of Florida,
License No. 50677
This item has been
digitally signed and sealed by
Joshua J. Jennings, P.E.,
on the date indicated here,
10-24-2024
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and the signature must be verified
on any electronic copies.

Joshua J. Jennings,
Professional Engineer,
State of Florida,
Registration No. 50677



PROJECT DATA:

PROJECT: THE LOFTS AT BAHAMA VILLAGE
918 FORT STREET
KEY WEST, FLORIDA 33040

OWNERSHIP: CITY OF KEY WEST
P.O. BOX 1402
KEY WEST, FLORIDA 33041

DEVELOPER: BAHAMA VILLAGE COMMUNITY LTD
2030 HARLEY ROAD, SUITE 110
JACKSONVILLE, FLORIDA 32257
904.260.3300

ENGINEER: THE WEILER ENGINEERING CORPORATION
JOSHUA J. JENNINGS, P.E. NO. 90677
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700

ARCHITECT: POH GROUP
1400 MINZEL AVE. N. (498244)
4141 SOUTHWEST DRIVE EAST, SUITE 300
JACKSONVILLE, FLORIDA 32216
904.224.0001

SURVYOR: AVROK & ASSOCIATES, INC.
50 SW 2ND AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
561.392.2594

DATUM: NAVD 1929 (PER SURVEY)

FLOOD ZONE: AE (EL. 6) & AE (EL. 7) AS SHOWN ON:
FIRM MAP NO. 22072C156K
EFFECTIVE DATE: FEBRUARY 18, 2005

SEWER UTILITY: CITY OF KEY WEST

WATER UTILITY: FLORIDA KEYS AQUEDUCT AUTHORITY (FKAA)

WASTE COLLECTION: CITY OF KEY WEST

ZONING: HNC-4 NEIGHBORHOOD COMMERCIAL BAHAMA VILLAGE TRUMAN WATERFRONT

CURRENT LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

FUTURE LAND USE: HISTORIC NEIGHBORHOOD COMMERCIAL-4

UTILITY GENERAL NOTES:

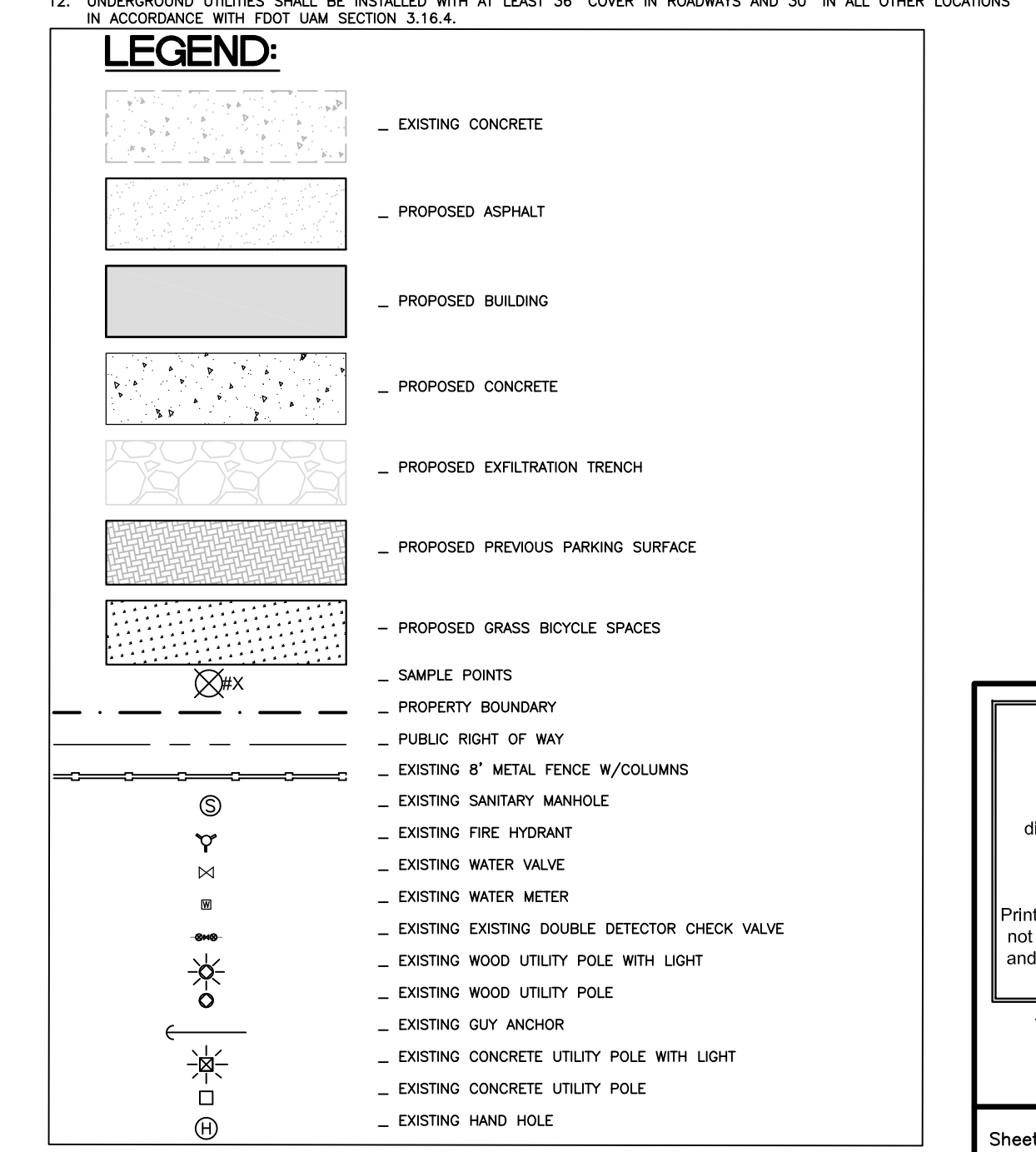
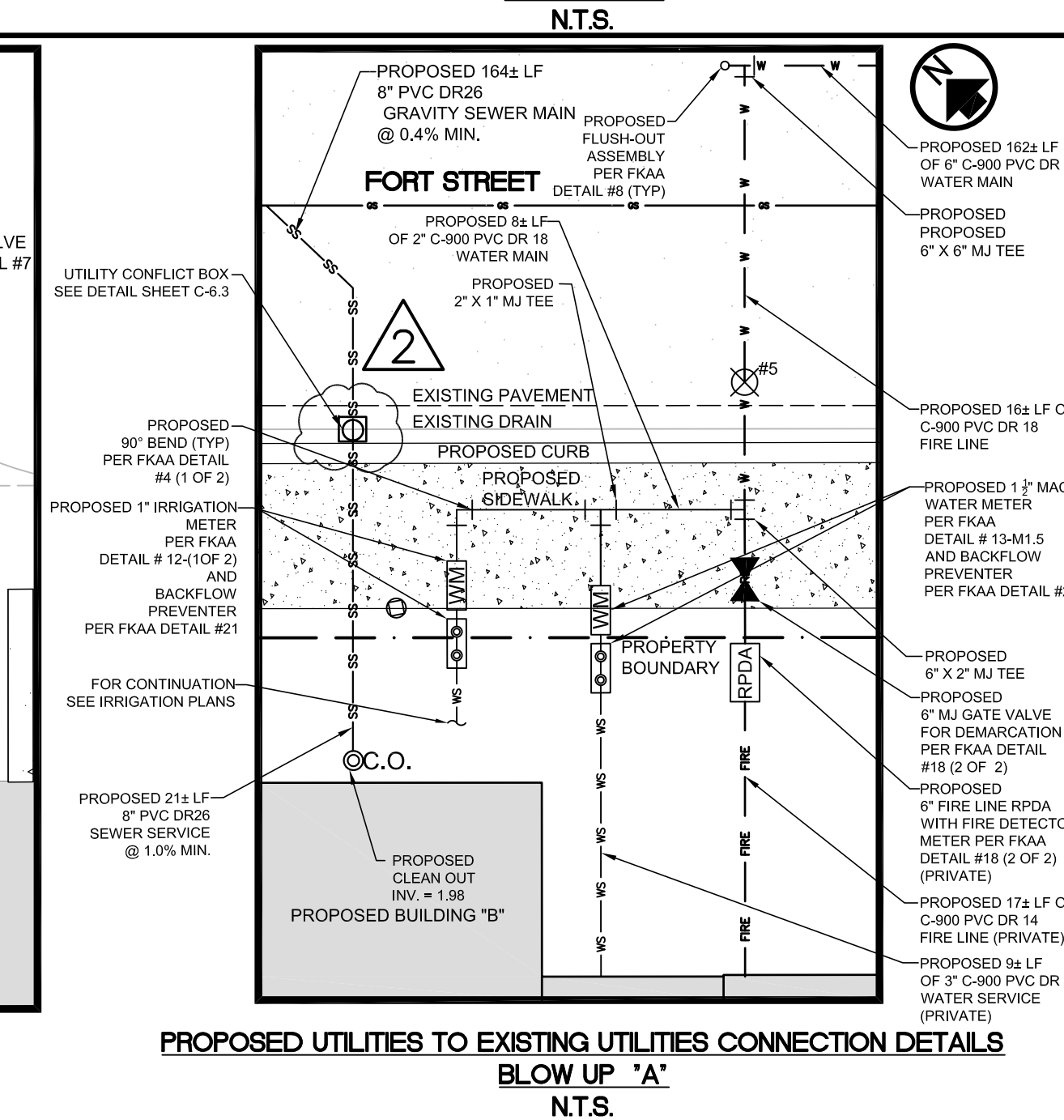
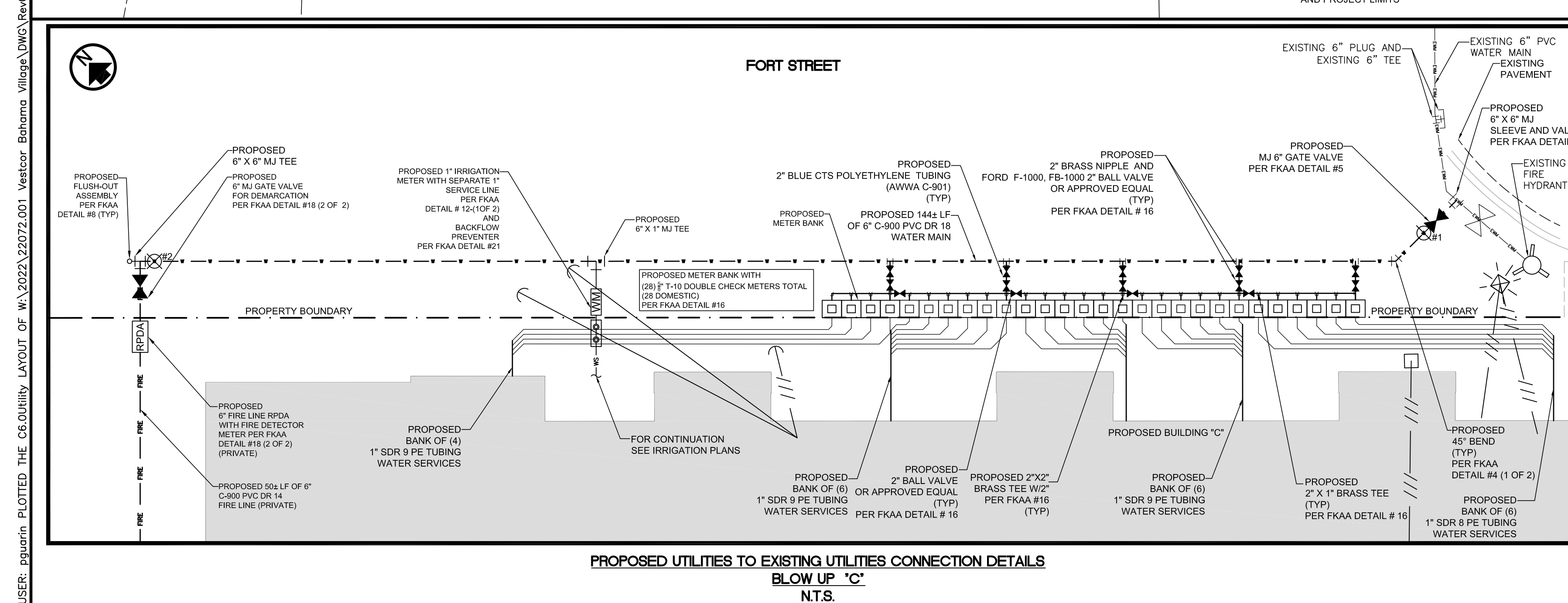
Design: JNB/JLU
Drawn: JNB
Checked: JLU

Approved By: AS SHOWN
Scale: 22072.001
Job No.:
Date issued:

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201 W. MARION AVE., SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700
EE #6656

- THE REQUIREMENTS OF THE CITY OF KEY WEST FLORIDA STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL WASTEWATER UTILITIES WORK. THE REQUIREMENTS OF THE FLORIDA KEYS AQUADUCT AUTHORITY MINIMUM DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS SHALL GOVERN ALL WATER UTILITIES WORK. WHERE A CONFLICT EXISTS IN THE REQUIREMENTS OF A REFERENCED MATERIAL, METHOD, OR INSTALLATION STANDARD, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL. WHERE THE REQUIREMENTS OF A STATE OR LOCAL AGENCY HAVING JURISDICTION ARE MORE STRINGENT, THOSE REQUIREMENTS SHALL PREVAIL, WITH THE EXCEPTION THAT ALL WORK SHALL BE ACCEPTABLE TO THE AGENCY HAVING JURISDICTION.
 - THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE, AT ALL TIMES, AT LEAST ONE COPY OF THE CITY OF MARATHON STANDARD SPECIFICATIONS AND STANDARD DETAILS, ONE COPY OF THE FLORIDA KEYS AQUADUCT AUTHORITY'S MINIMUM DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS, ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS AND SPECIAL PROVISIONS, AND COPIES OF ALL REQUIRED CONSTRUCTION PERMITS INCLUDING ALL PROVISIONS AND REQUIREMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL SITE CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, IN WRITING, AS SOON AS POSSIBLE. THE ENGINEER RESERVES THE RIGHT TO REVISE CONFLICTING INFORMATION FOR CONSISTENCY WITH THE DESIGN INTENT.
 - ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE. THE ENGINEER RESERVES THE RIGHT TO REVISE CONFLICTING INFORMATION FOR CONSISTENCY WITH THE DESIGN INTENT. NO PAYMENT SHALL BE MADE FOR ACTIONS TAKEN BY THE CONTRACTOR UPON CONFLICTING OR OMITTED INFORMATION.
 - CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL PERMIT CONDITIONS AND GOVERNMENTAL REGULATIONS.
 - THE CONTRACTOR SHALL CONTACT ALL AGENCIES AND COMPANIES WITH UTILITIES IN THE VICINITY OF THE PROJECT AND THE ENGINEER OF RECORD AT LEAST 48 HOURS IN ADVANCE OF ALL CONSTRUCTION OPERATIONS.
 - NO CHANGES OR DEVIATIONS FROM THE PLANS OR SPECIFICATIONS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER OF RECORD. THE ENGINEER REQUIRES 10 BUSINESS DAYS TO REVIEW AND APPROVE ANY FIELD CHANGE TO UTILITIES.
 - CONTRACTOR SHALL VERIFY AND REPORT THE LOCATIONS OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT THEY ARE IDENTIFIED ON THE PLANS, PRIOR TO CONSTRUCTION, TO THE ENGINEER OF RECORD.
 - CALL SUNSHINE 811 BEFORE DIGGING
- UTILITY CONSTRUCTION IN RIGHT-OF-WAYS:**
- OPEN ROAD CUTS REQUIRE PRIOR APPROVAL BY THE CITY, COUNTY, STATE AND/OR ANY OTHER AGENCY WHICH MAY HAVE JURISDICTION.
 - ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS (CURRENT EDITION) OR AS OTHERWISE APPROVED.
 - ALL AREAS WITHIN EXISTING RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS, OR BETTER, AND SODDED AT THE CONTRACTOR'S EXPENSE.
 - STREET OR HIGHWAY RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH THE AGENCY HAVING JURISDICTION, AND SHALL BE INCLUDED IN THE CONTRACT PRICE DURING THE BIDDING PROCESS.
 - CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE STATE, COUNTY AND CITY AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
 - THE CONTRACTOR SHALL NOTIFY ALL EMERGENCY AGENCIES SERVING THE PROJECT PRIOR TO CONSTRUCTION AND ADHERE TO ALL REQUIREMENTS FOR SITE EMERGENCY ACCESS THROUGHOUT CONSTRUCTION.
 - TRAFFIC CONTROL ON ALL COUNTY AND STATE HIGHWAY RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHM) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.
 - CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT (FL. STAT. 855.63) AND ITS SUCCESSORS.
 - CONTRACTOR SHALL SUBMIT AND MAINTAIN PRE-APPROVED MOT PLANS FOR ALL REQUIRED TRAFFIC CONFIGURATIONS ON HAND AND AVAILABLE FOR ON-SITE INSPECTION AT ALL TIMES.
 - CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL DEVICES PRIOR TO CONSTRUCTION AND MAINTAIN EROSION CONTROL THROUGHOUT CONSTRUCTION.
 - RESTORATION OF SOODING AND TURF SHALL BE IN ACCORDANCE WITH FOOT STANDARDS PLAN INDEX 570-1010.
 - UNDERGROUND UTILITIES SHALL BE INSTALLED WITH AT LEAST 36" COVER IN ROADWAYS AND 30" IN ALL OTHER LOCATIONS IN ACCORDANCE WITH FOOT UAM SECTION 3.16.4.

UTILITY PLAN FOR THE LOFTS AT BAHAMA VILLAGE

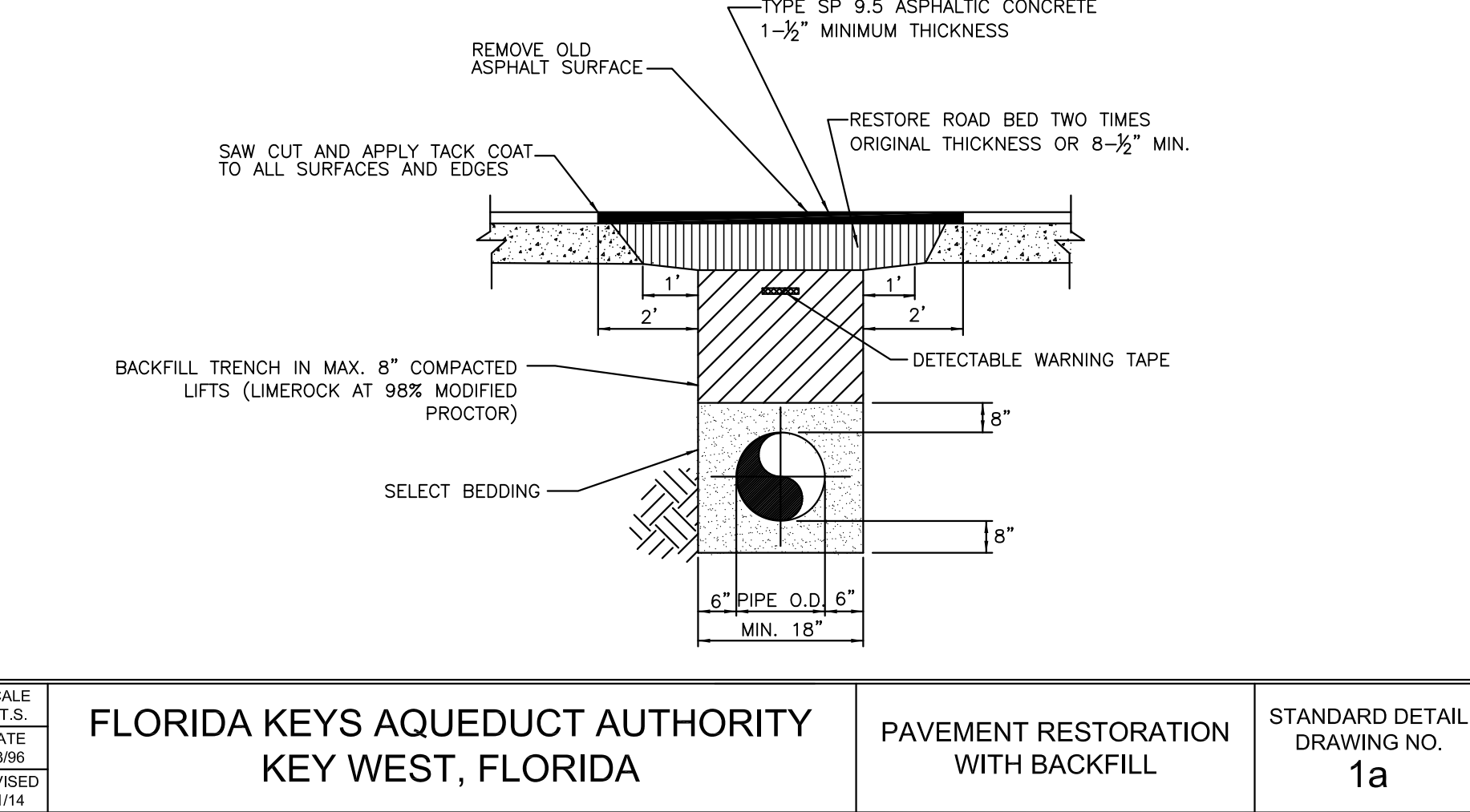
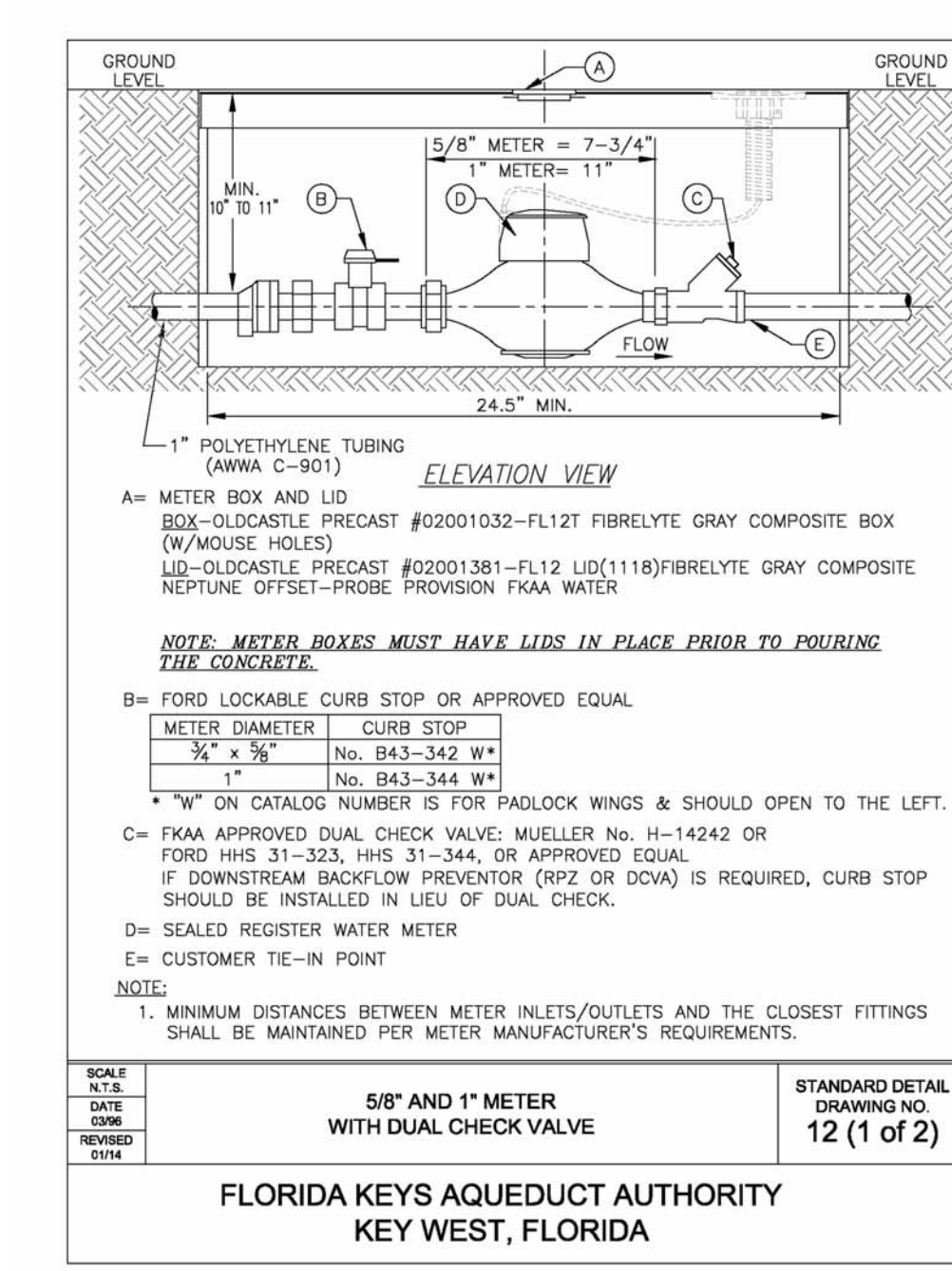
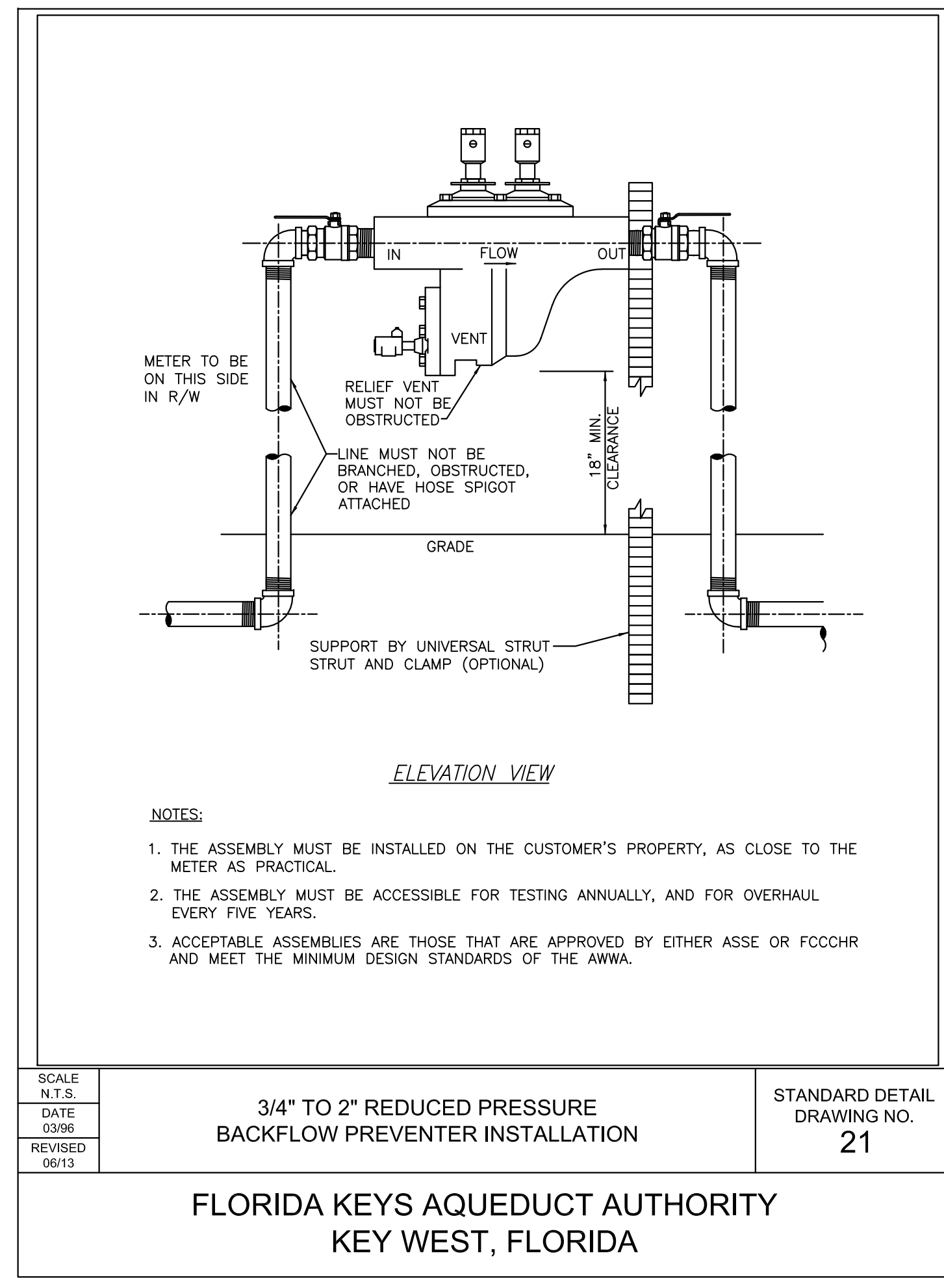
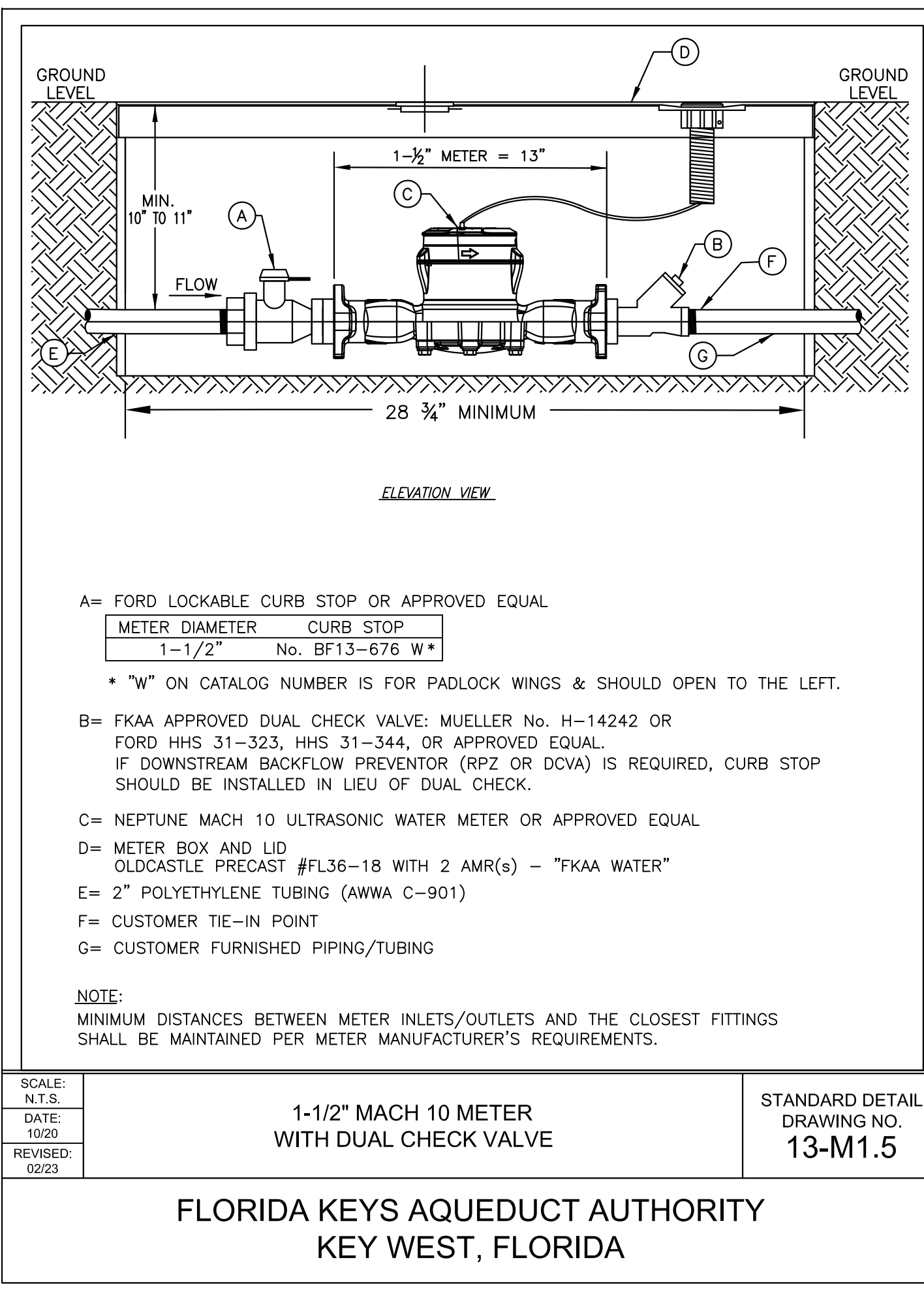
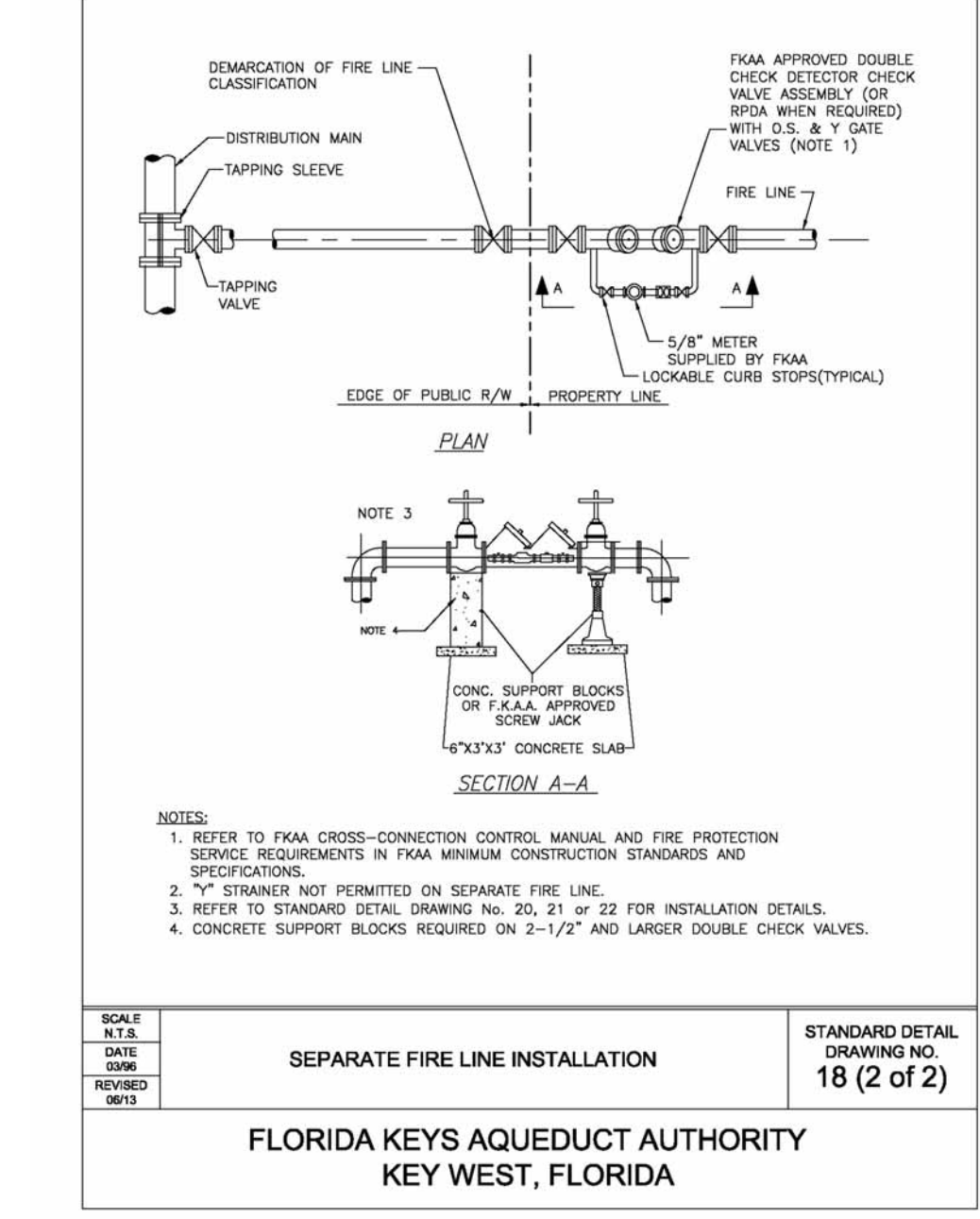
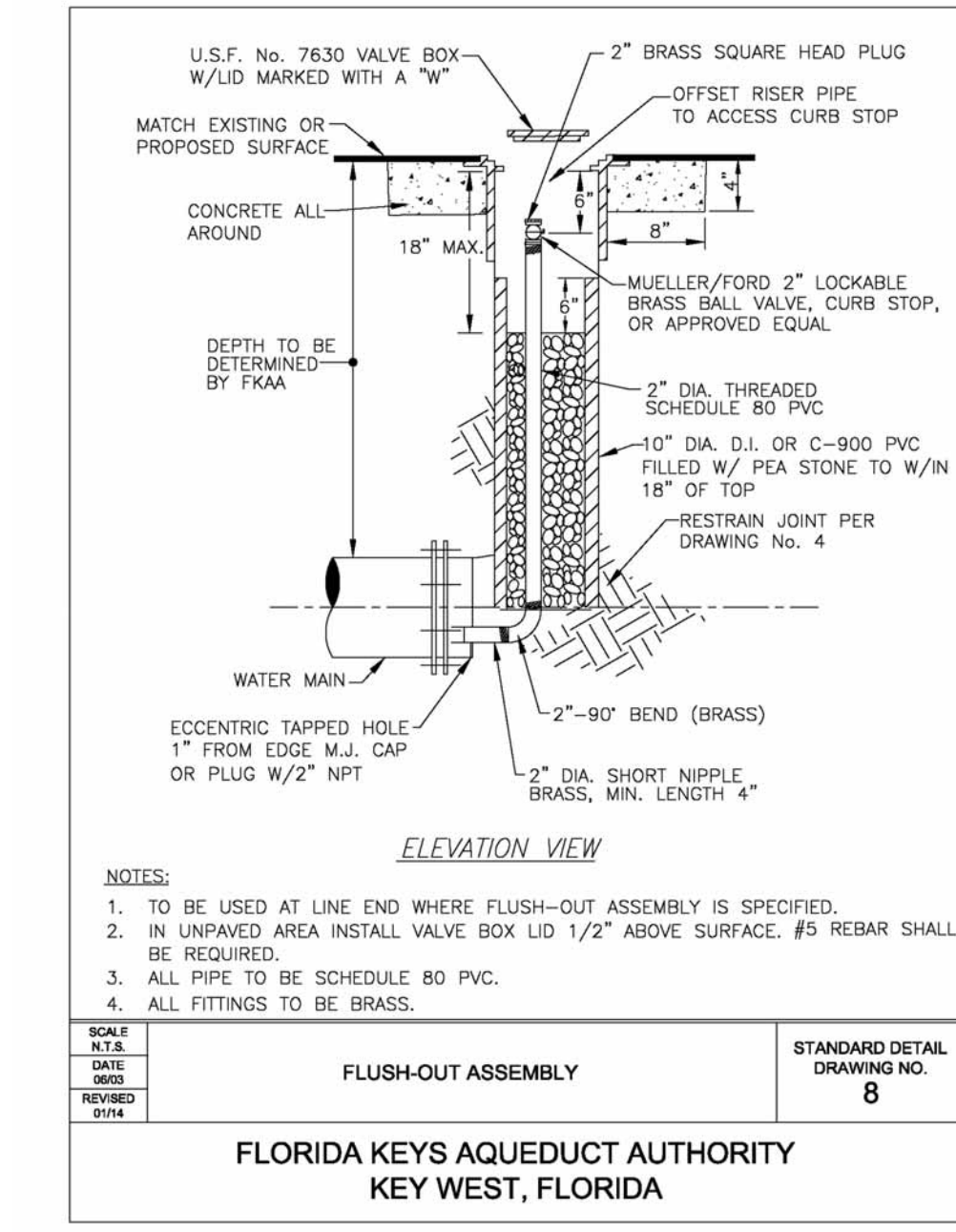
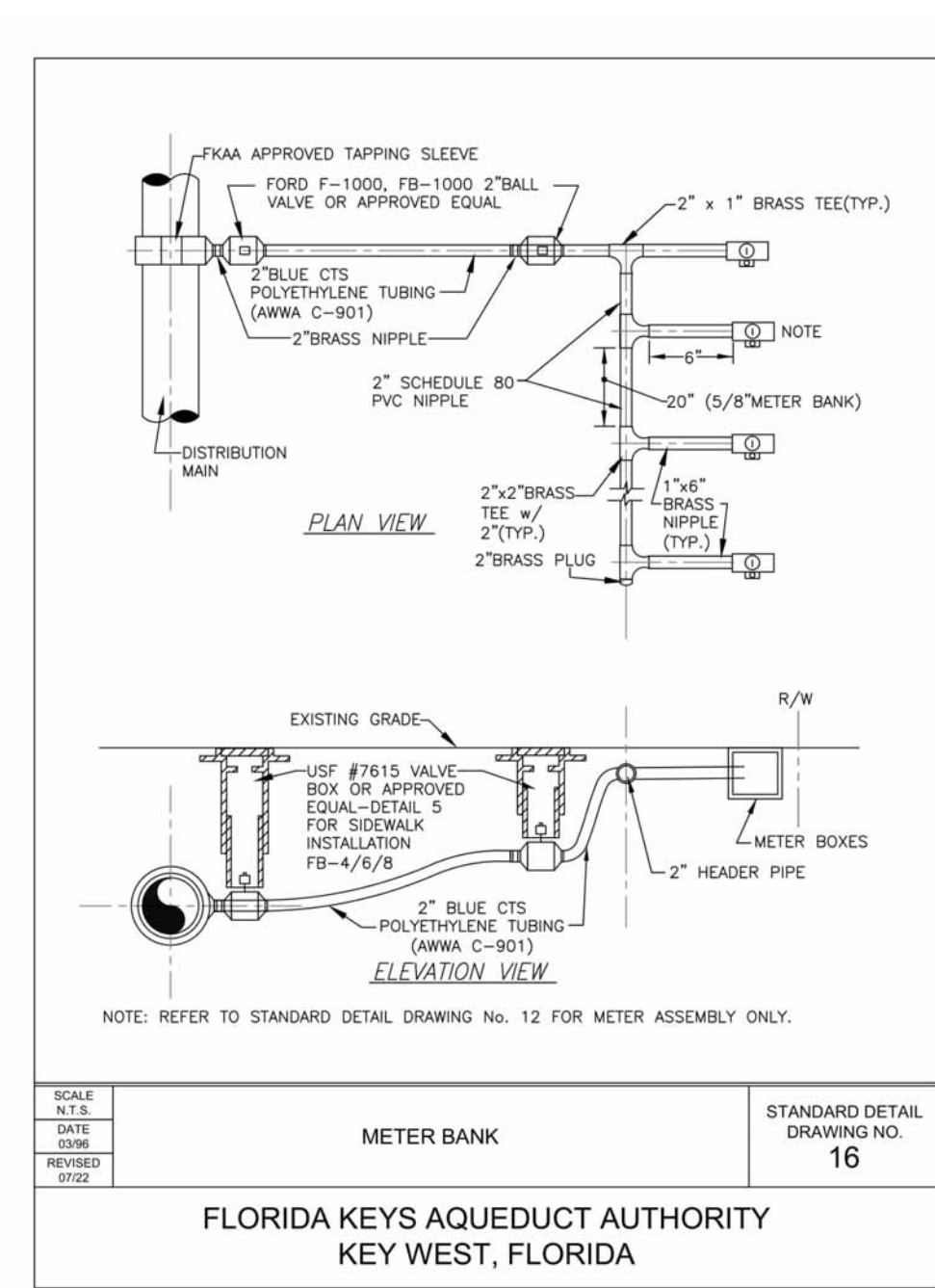
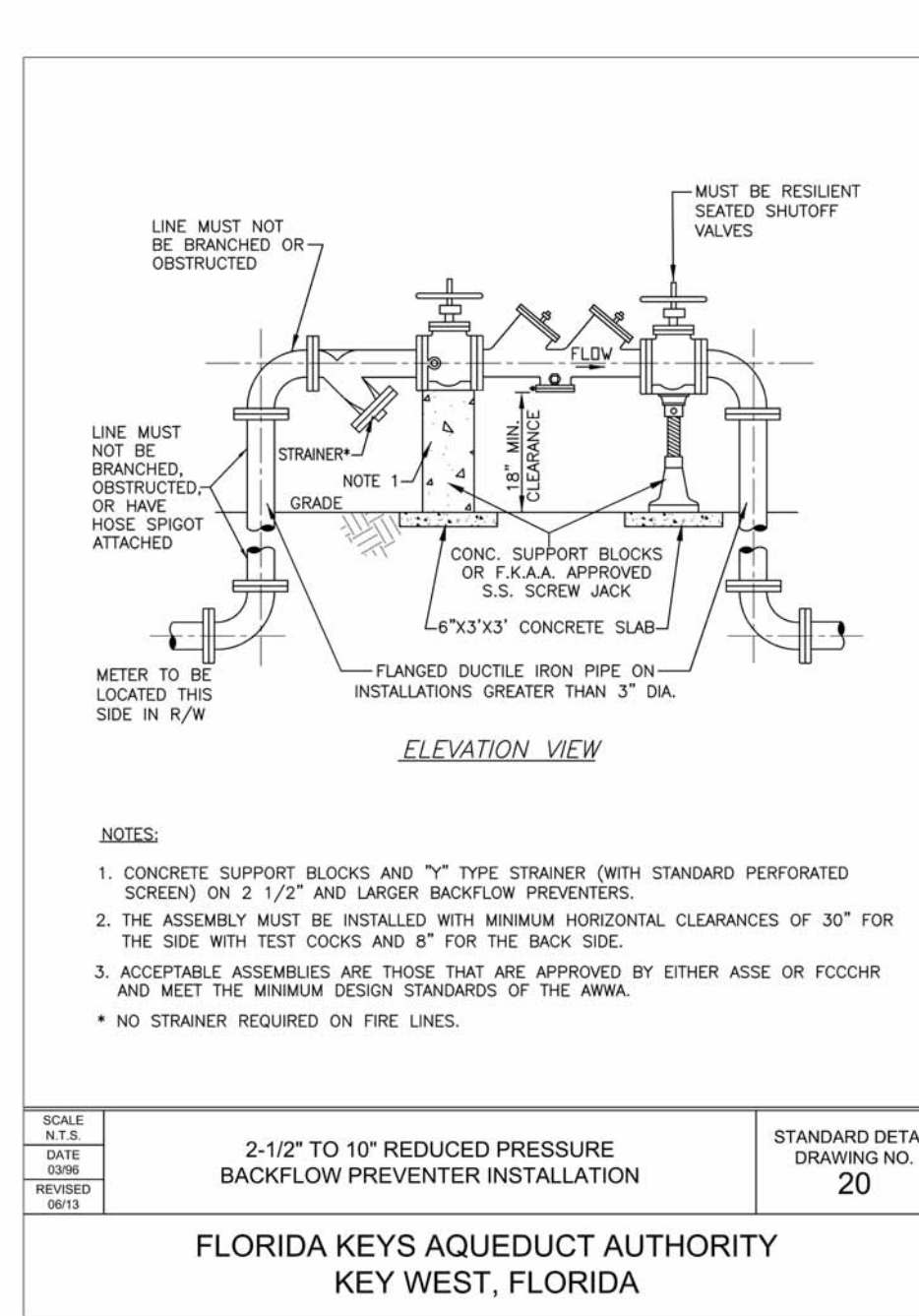
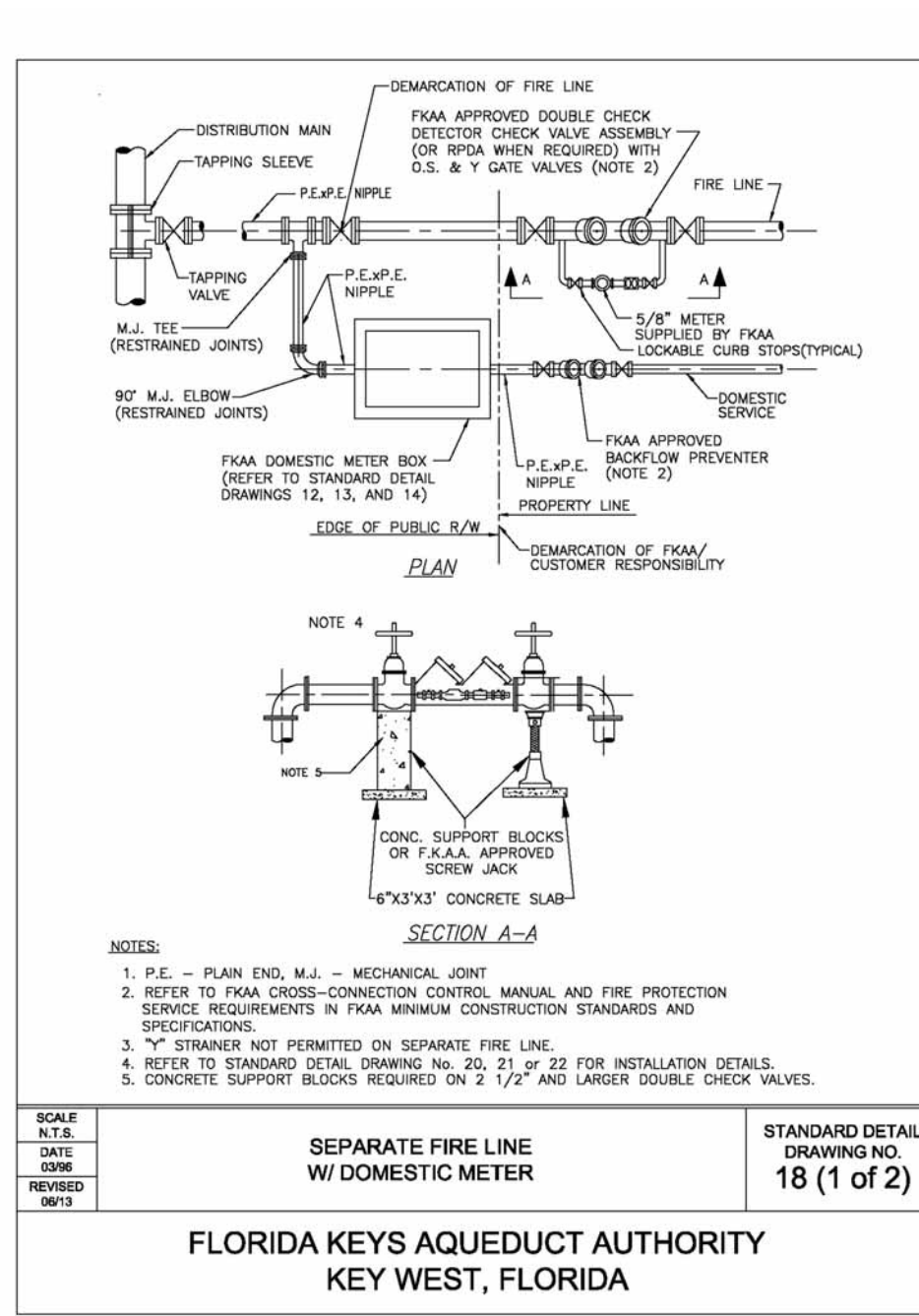
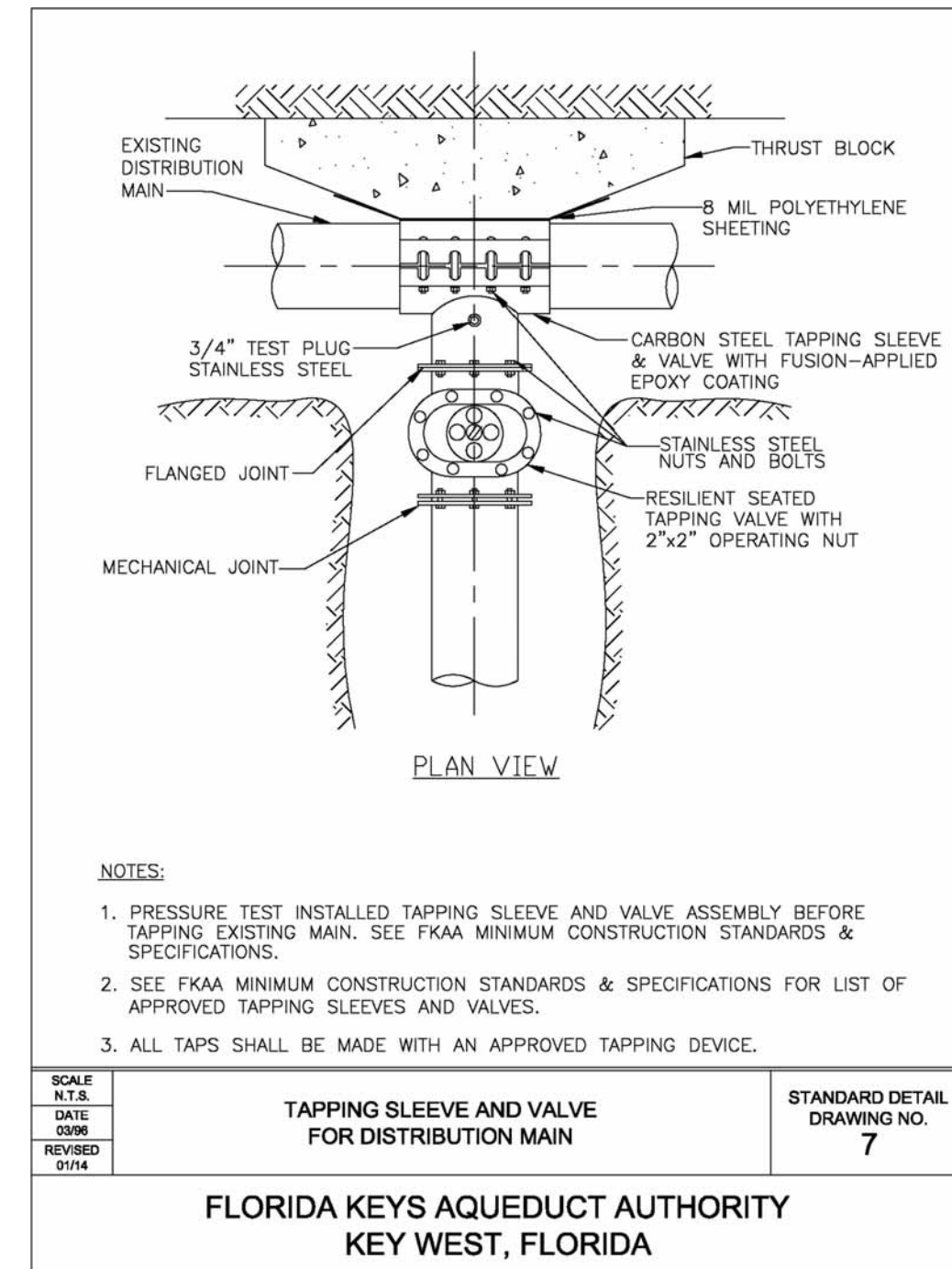
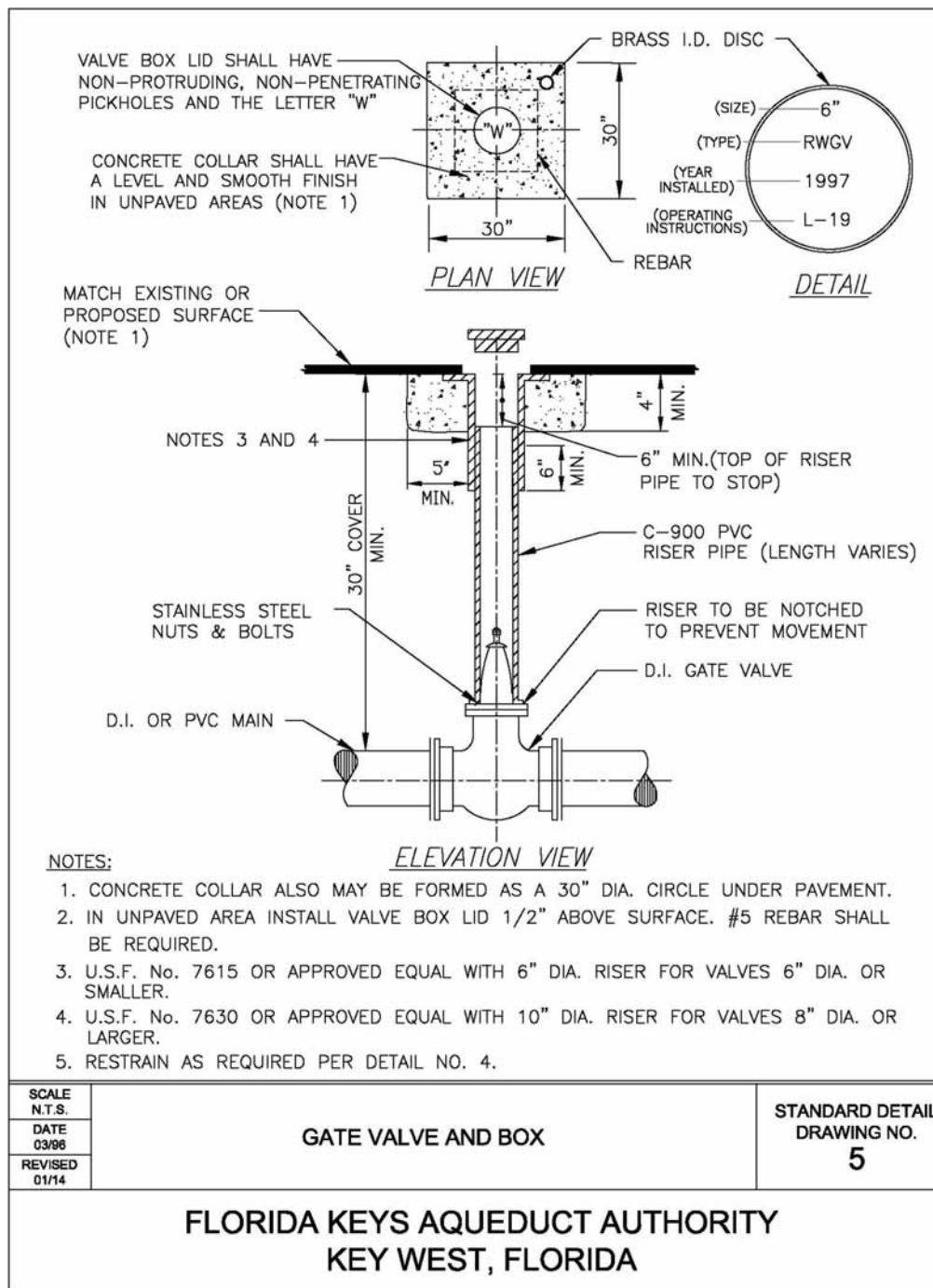


Revisions	Description	Revision	Date
1	SEWER CONNECTION	03/13/2024	
2	UTILITY CONFLICT BOX	10/24/2024	

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Joshua J. Jennings,
Professional Engineer,
State of Florida,
License No. 90677
This item has been
digitally signed and sealed by
Joshua J. Jennings, P.E.,
on the date indicated here,
10-24-2024
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Joshua J. Jennings,
Professional Engineer,
State of Florida,
Registration No. 90677



USER: ppatin PLOTTED THE CS: \\UTL101\patin LAYOUT OF W: 2022\22072.001_Vestcar_Bahama_Village\DWG\Rev08\22072.001_Bahama_Village.dwg, ON Oct 24, 2024 @ 2:14pm

Design: JNB/JLU
Drawn: JNB
Checked: JLU
Approved By: AS SHOWN
Scale: 22072.001
Job No.: 22072.001
Date issued: 10-24-2024

WEELER ENGINEERING CORPORATION
WELER
201 W. MARRION AVE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700
BE #6656

UTILITY DETAILS FOR THE LOFTS AT BAHAMA VILLAGE

Revisions

Description

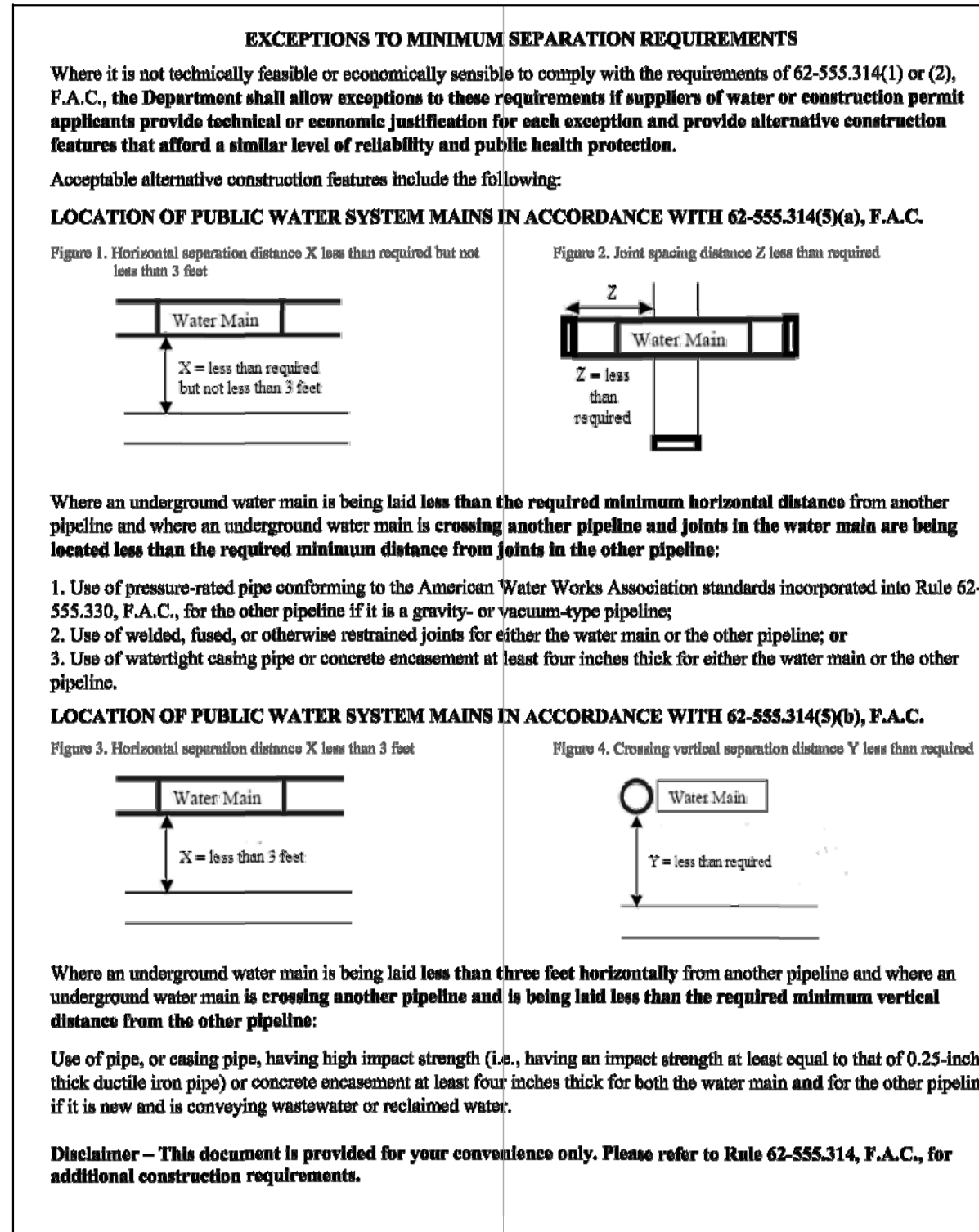
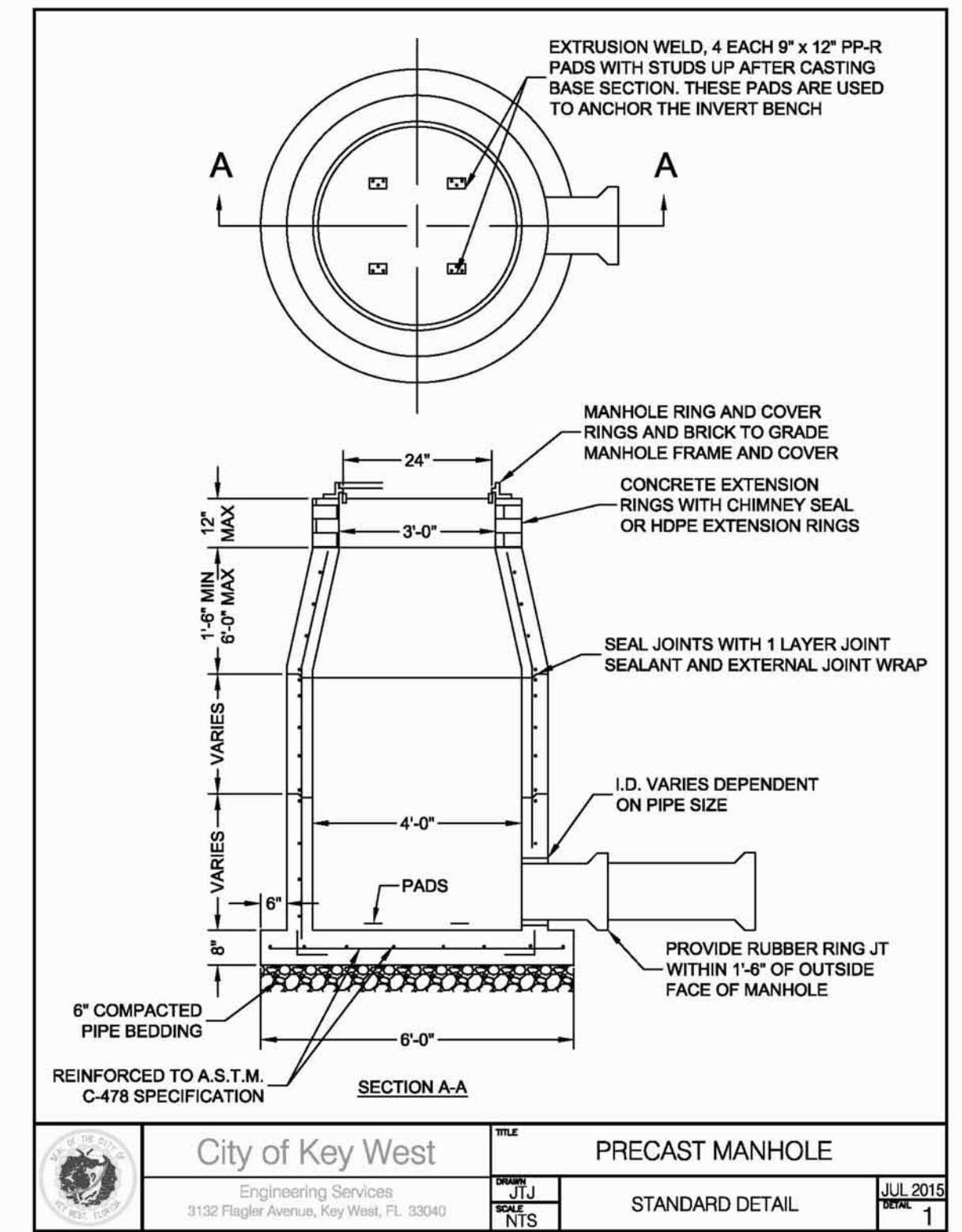
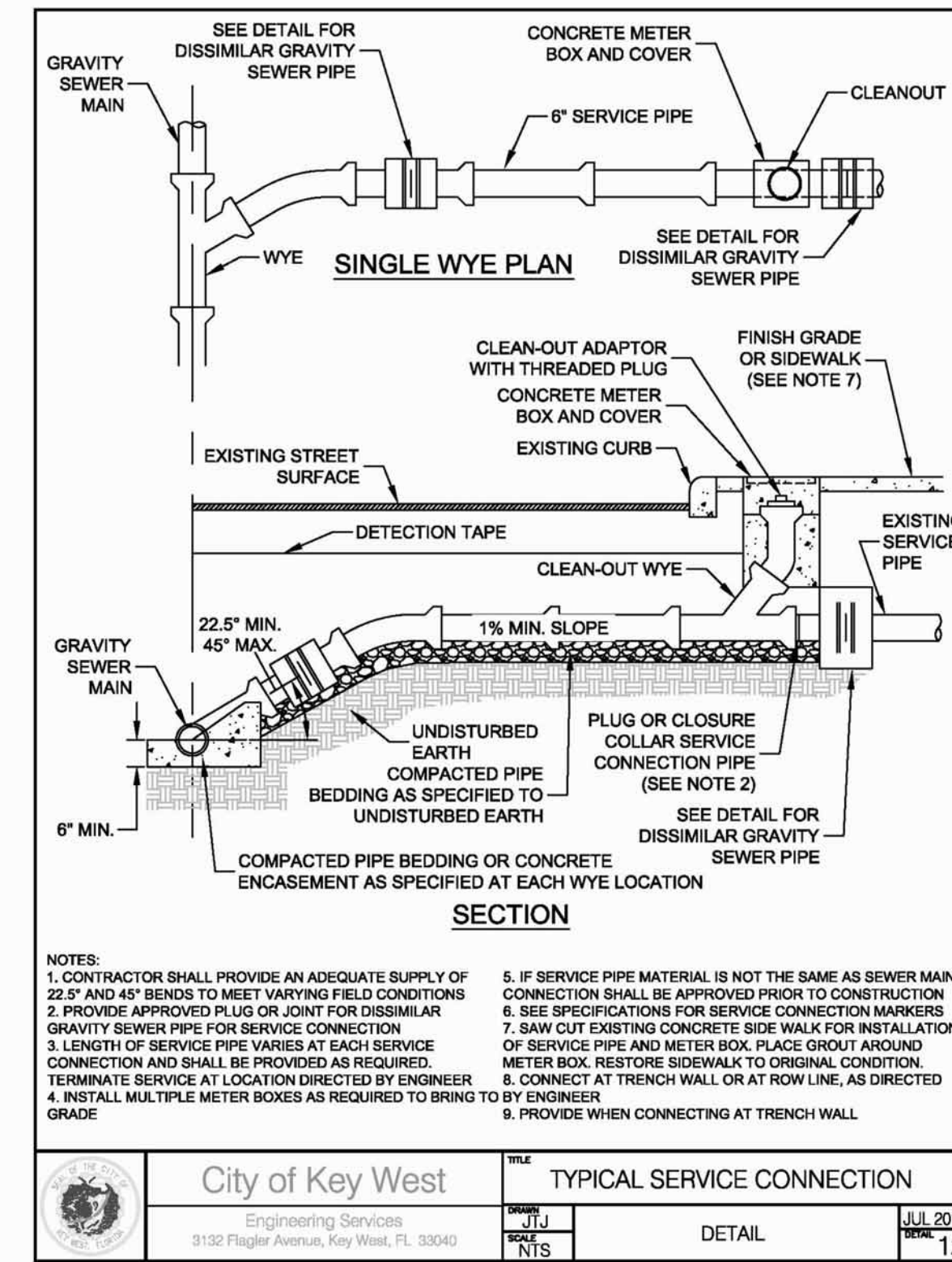
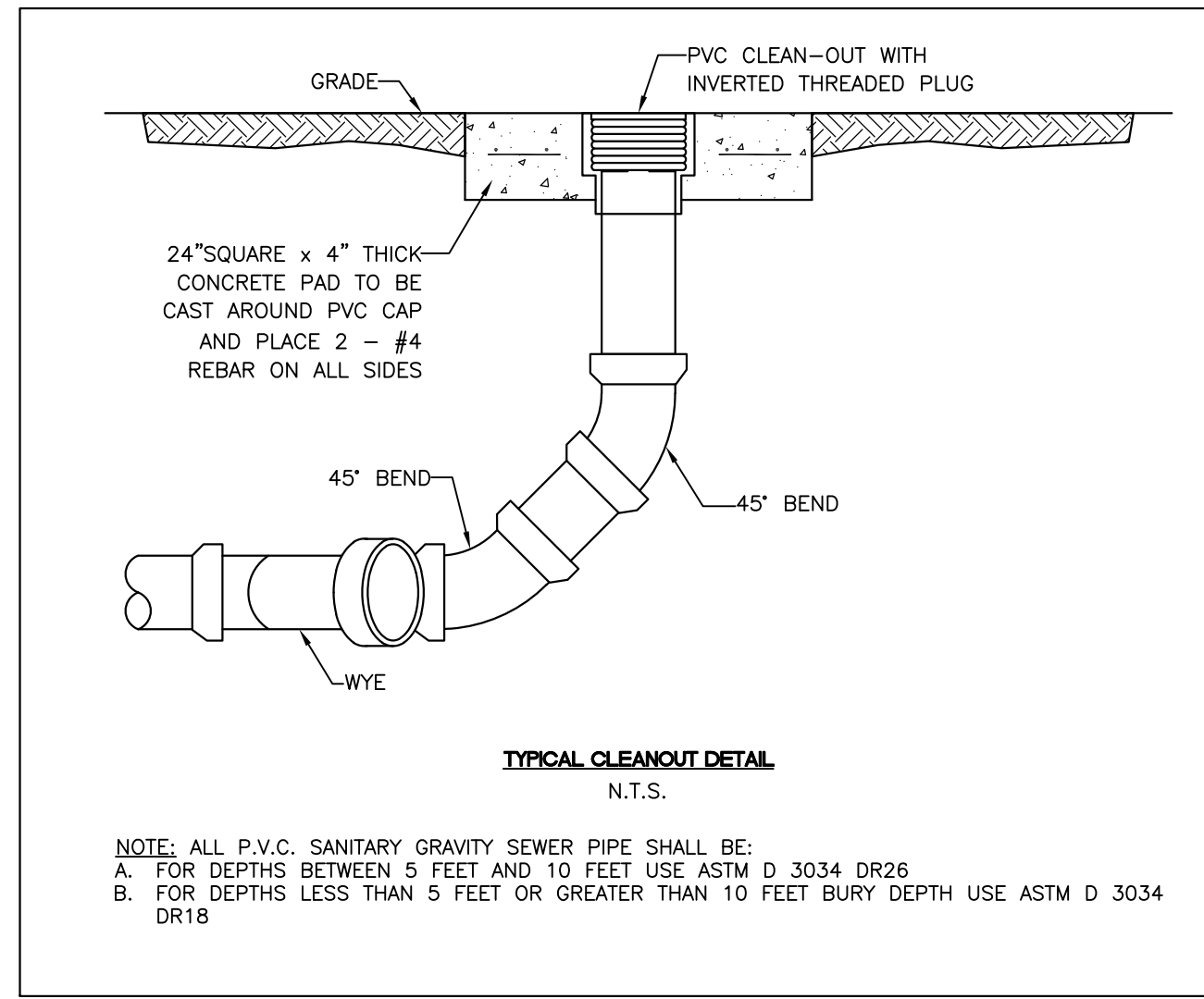
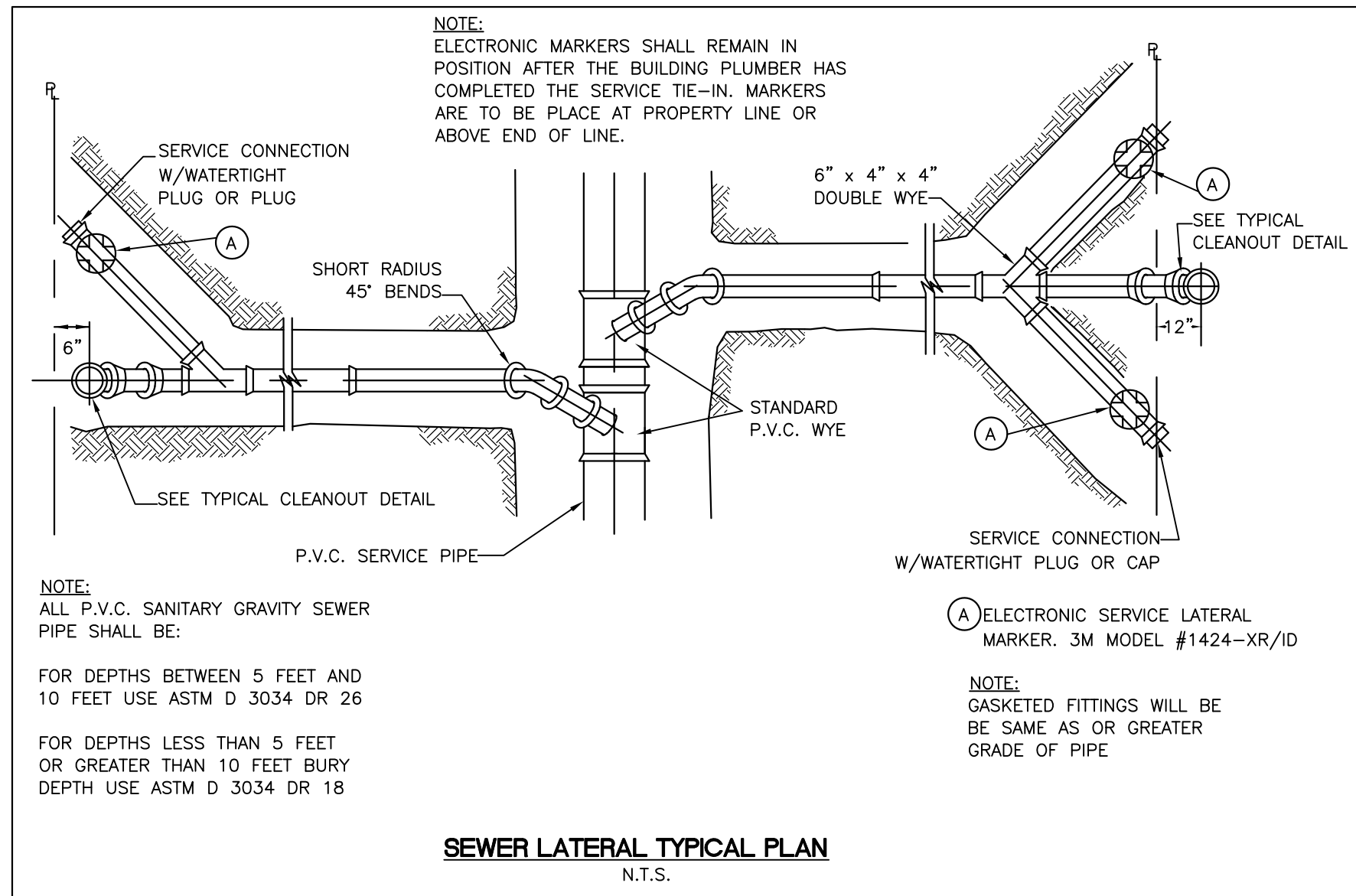
10-24-2024
10-24-2024
10-24-2024

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Sheet No. C-6.1



PVC PIPE RESTRAINT JOINT SCHEDULE

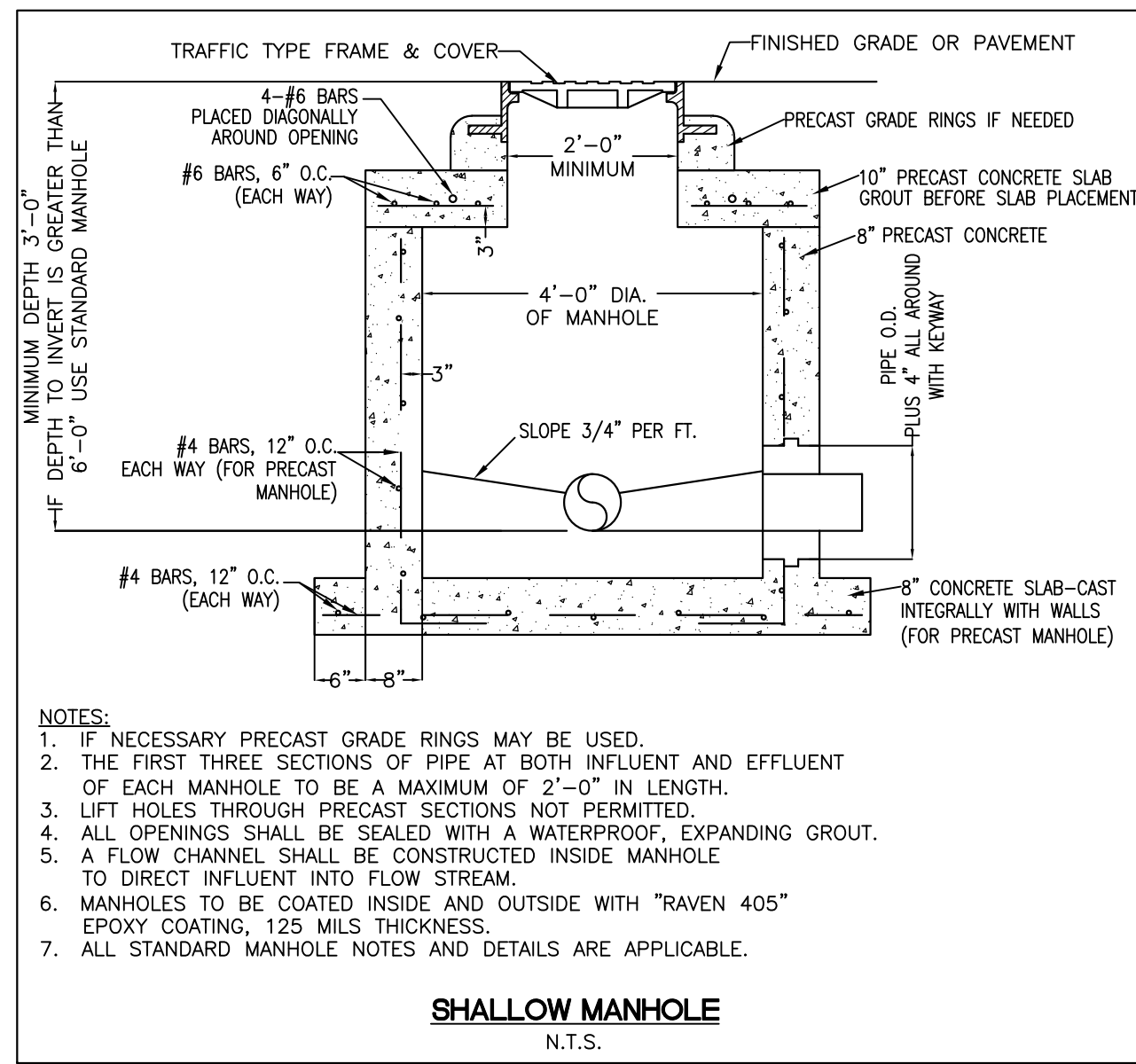
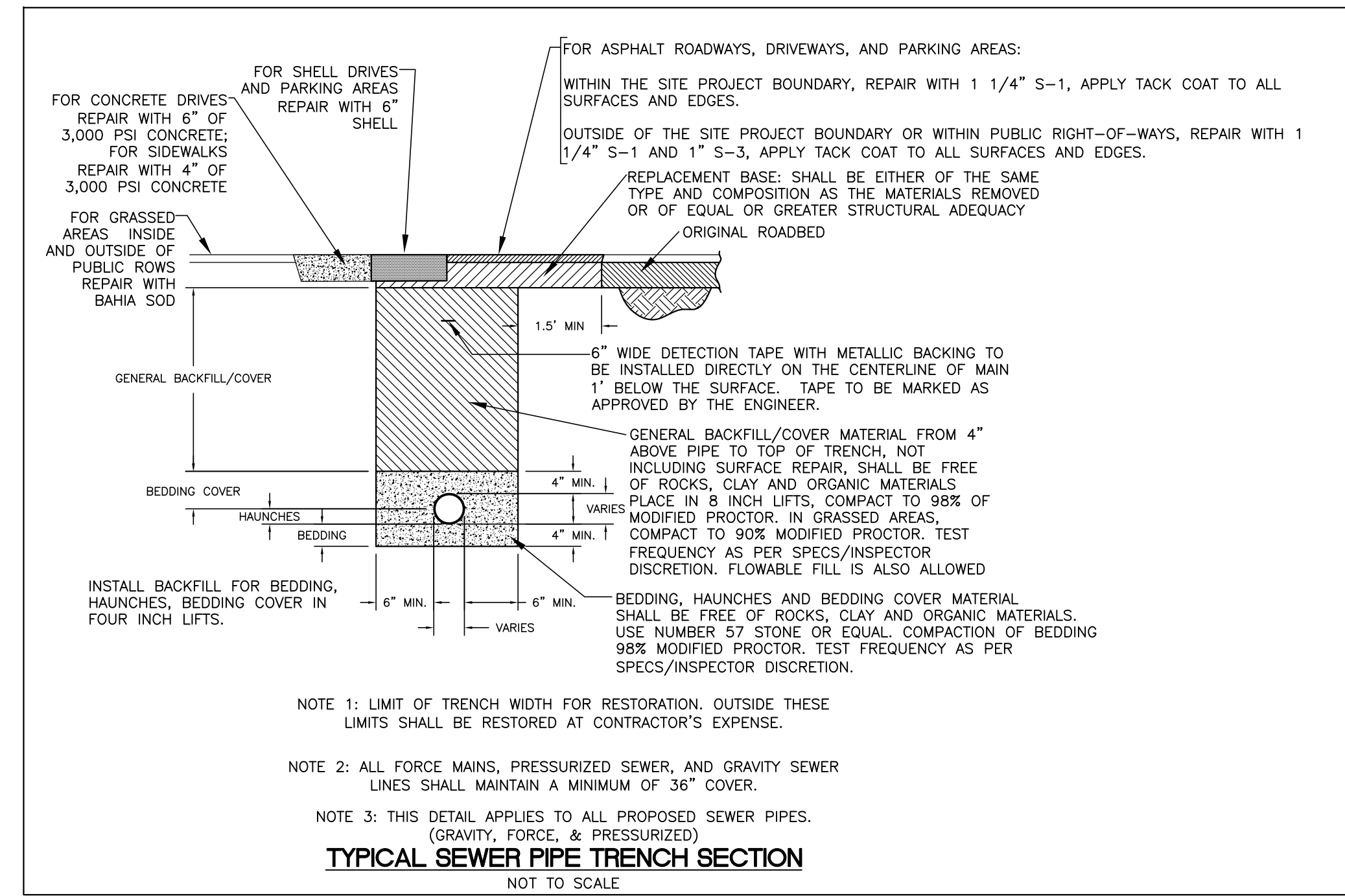
NOMINAL PIPE SIZE (IN)	HORIZONTAL BENDS			VERTICAL OFFSETS			VALVES		REDUCERS		TEES (NOTE 5)	
	90° (LFT)	45° (LFT)	22.5° (LFT)	11.25° (LFT)	45° BENDS (LFT)	90° (LFT)	SIZE	SIZE	SIZE	L	R	SIZE
4	20	8	4	2	20	3	50	6 X 4	35	4"	8"	50
6	28	10	5	2	28	4	70	8 X 4	35	6"	8"	100
8	36	14	6	3	36	5	90	8 X 4	65	8"	8"	150
10	40	18	8	4	45	6	110	10 X 6	65	10"	8"	200
12	50	20	9	4	52	8	120	12 X 10	35	12"	8"	250
14	56	23	10	5	60	9	140	12 X 8	65	12"	10"	300
16	60	26	11	6	67	10	160	16 X 12	65	16"	10"	350
18	69	29	12	6	74	12	180	16 X 10	95	16"	12"	400
20	75	32	13	7	80	13	195	20 X 18	35	20"	18"	450
24	76	33	15	7	81	14	200	20 X 16	65	20"	16"	500
30	88	36	18	9	97	16	235	20 X 12	120	20"	12"	550
36	100	40	20	10	110	20	270	24 X 20	65	24"	20"	600
42	115	48	23	11	125	24	300	24 X 18	95	24"	18"	650
48	125	52	25	12	140	30	340	24 X 16	120	24"	16"	700
								30 X 24	80	30"	24"	800
								30 X 20	150	30"	20"	850
								36 X 30	80	36"	30"	900
								36 X 24	150	36"	24"	950
								42 X 30	150	42"	30"	1000
								42 X 30	150	42"	30"	1050
								48 X 42	80	48"	42"	1100
								48 X 36	150	48"	36"	1150

PVC PIPE RESTRAINT NOTES

- THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM.
- ASSUMPTIONS: PVC PIPE, SAFETY FACTOR = 1.5, TEST PRESSURE = 150 PSI, SOIL = GM OR SM, TRENCH TYPE 3, DEPTH OF COVER = 30".
- BENDS AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF FITTING.
- VERTICAL OFFSETS: ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 4 FEET COVER ON BOTTOM. PER THE DETAILS, L IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL. U IS THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS.
- TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF THE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN) SEE SCHEDULE ABOVE FOR RESTRAINED LENGTH ON THE "BRANCH" LINE.
- HOPE TO PVC TRANSITIONS: THE PVC PIPE SIDE SHALL BE RESTRAINED 35 FEET (MIN).

FLORIDA KEYS AQUEDUCT AUTHORITY
KEY WEST, FLORIDA

STANDARD DETAIL
DRAWING NO. 4 (1 OF 2)



LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH RULE 62-555.314, F.A.C.

The following table summarizes the required separation distances from public water mains to other pipes as provided in Rule 62-62.555.314, F.A.C. Exceptions to these required distances are addressed on the second page.

Separation Requirements for Public Water System Mains:

Other Pipe	Horizontal Separation (X)	Crossings Vertical Separation (Y)	Joint Spacing (Z) @ Crossings (Full Joint Centered)
<ul style="list-style-type: none"> Storm Sewers Sanitary Force Mains Reclaimed Water Pipelines regulated under Part III of Chapter 62-610, F.A.C. 	3 ft. minimum	For water main installed above other pipe (preferred), 12 inches is the minimum except for storm sewers, then 6 inches is the minimum and 12 inches minimum if water main is below other pipe	Alternate 3 ft. minimum
Vacuum Sanitary Sewer	10 ft. preferred 3 ft. minimum	For water main installed above other pipe, 12 inches preferred and 6 inches minimum 12 inches minimum if water main is below other pipe	Alternate 3 ft. minimum
<ul style="list-style-type: none"> Gravity or Pressure Sanitary Sewer Sanitary Force Main Reclaimed Water Pipelines not regulated under Part III of Chapter 62-610, F.A.C. 	10 ft. preferred 6 ft. minimum (note - 3 ft. minimum for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer)	For water main installed above other pipe (preferred), 12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred 12 inches minimum if water main is below other pipe	Alternate 6 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum	NA	NA

Refer to the next page for exceptions to the minimum separation requirements provided above.

Disclaimer - This document is provided for your convenience only. Please refer to Rule 62-555.314, F.A.C., for additional construction requirements.

Design: JJJ
Drawn: JNB
Checked: JJJ

Approved By: JJJ
Scale: N.T.S.
Job No.: 22072.001
Date Issued: 10/24/2024

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EE #6656

UTILITY DETAILS FOR THE LOFTS AT BAHAMA VILLAGE

Revisions	Description

Joshua J. Jennings,
Professional Engineer,
State of Florida,
License No. 50677
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Registration No. 50677

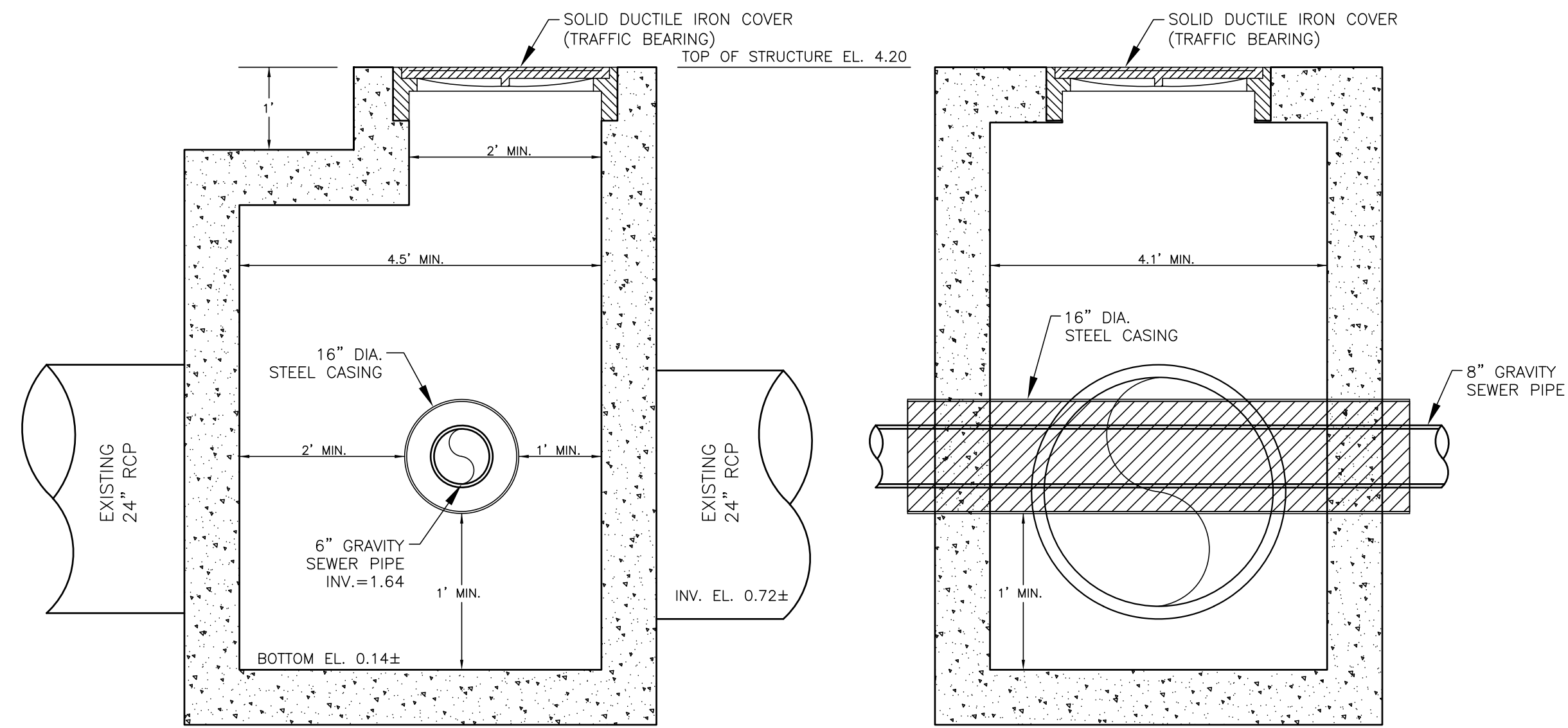
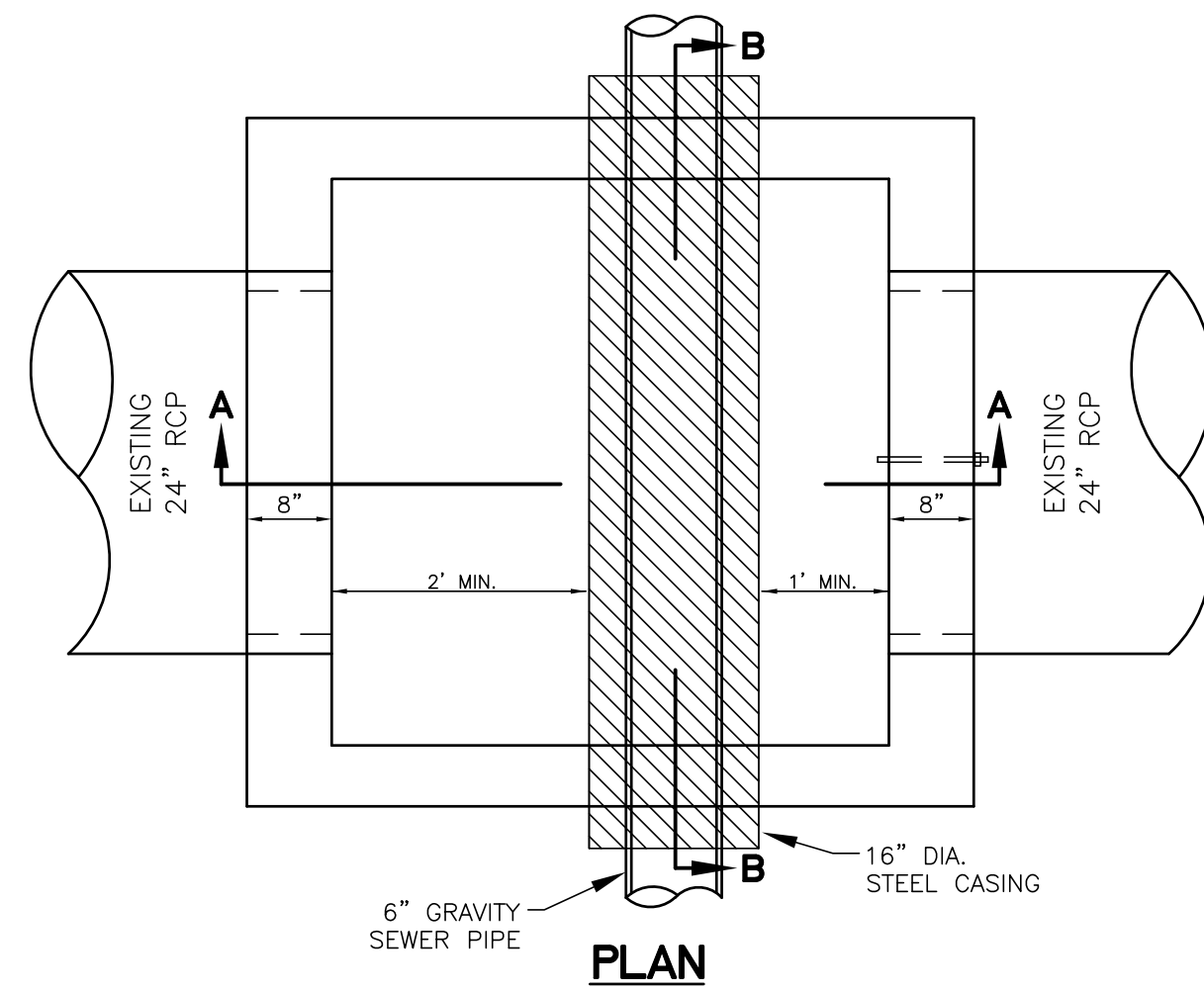
ALL PORTABLE WATER WORK SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE FPA&A MINIMUM DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS.

Sheet No. **C-62**

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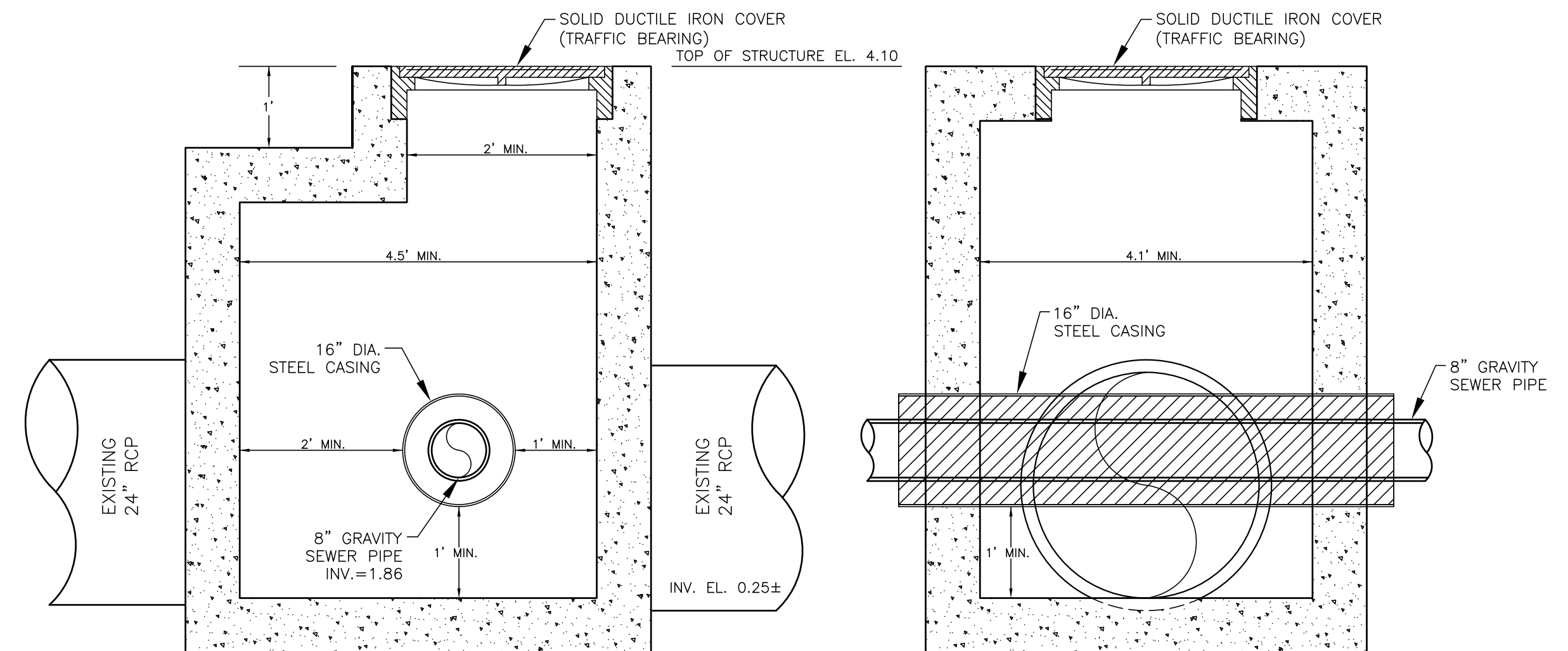
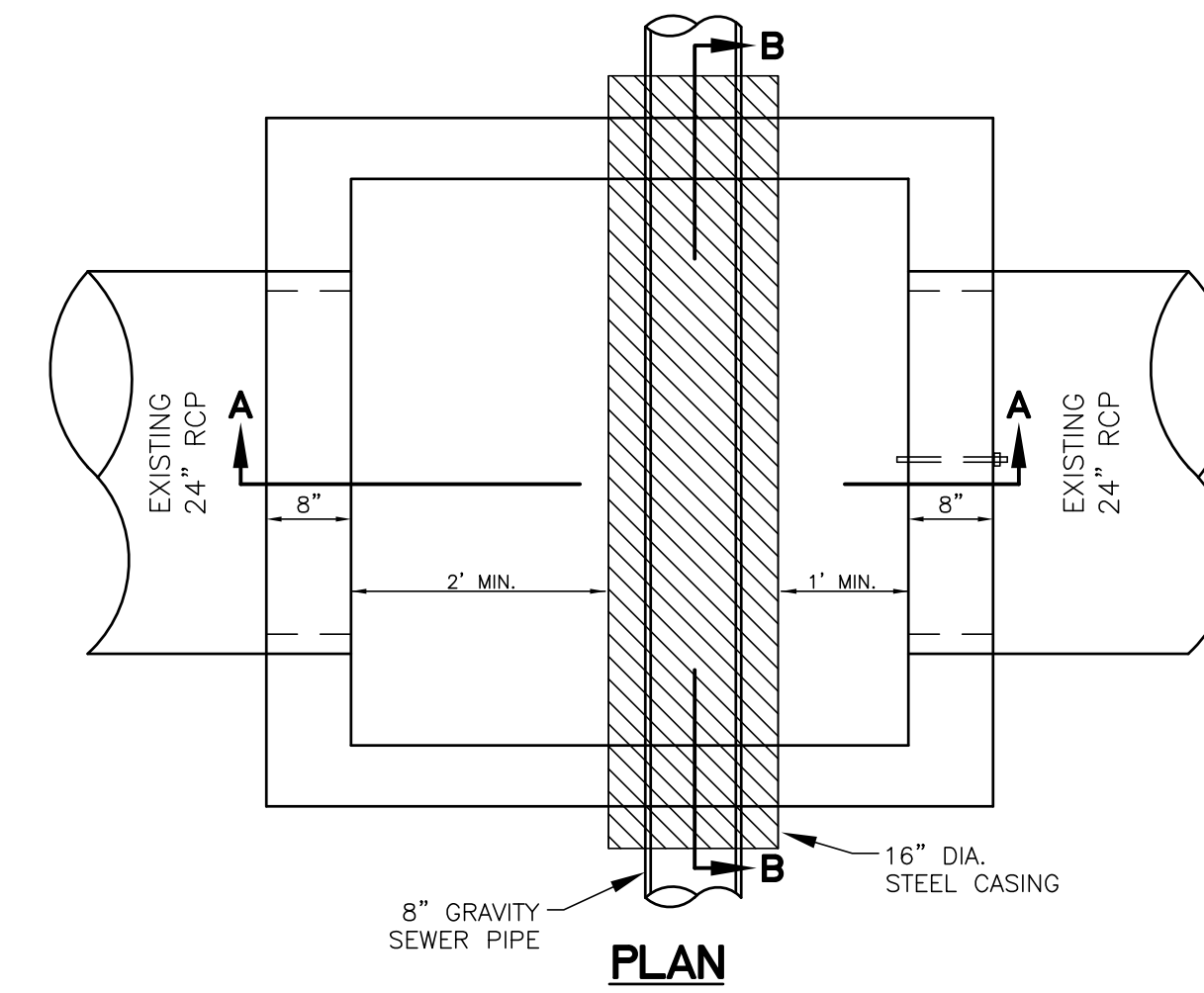


SECTION A-A

SECTION B-B

UTILITY CONFLICT DETAIL BUILDING C

- NOT TO SCALE
- UTILITY CONFLICT THRU DRAINAGE STRUCTURES AS PER F.D.O.T. INDEX 425-080.
 - RISER TO BE TYPE C INLET AS PER F.D.O.T. INDEX 425-052 AND TYPE J ALTERNATE B BOTTOM AS PER F.D.O.T. INDEX 425-054.
 - FRAME & GRATE SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05



SECTION A-A

SECTION B-B

UTILITY CONFLICT DETAIL BUILDING A

- NOT TO SCALE
- UTILITY CONFLICT THRU DRAINAGE STRUCTURES AS PER F.D.O.T. INDEX 425-080.
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 - FRAME & GRATE SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05

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**UTILITY CONFLICT DETAIL
 FOR
 THE LOFTS AT BAHAMA VILLAGE**

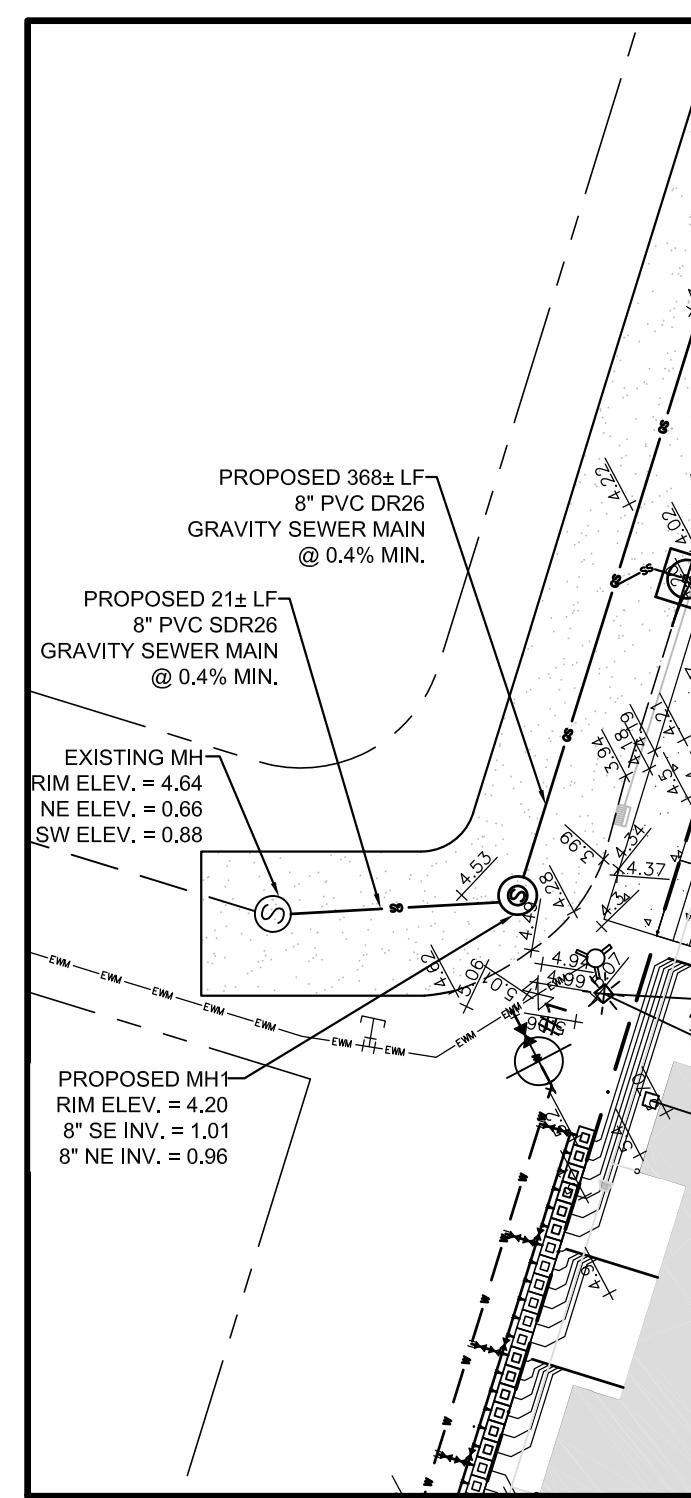
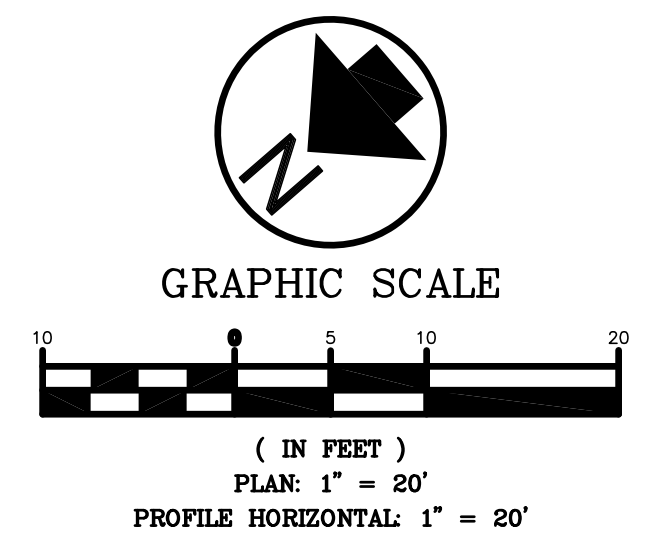
Revisions	Description
10/24/2024	UTILITY CONFLICT BOX DETAIL

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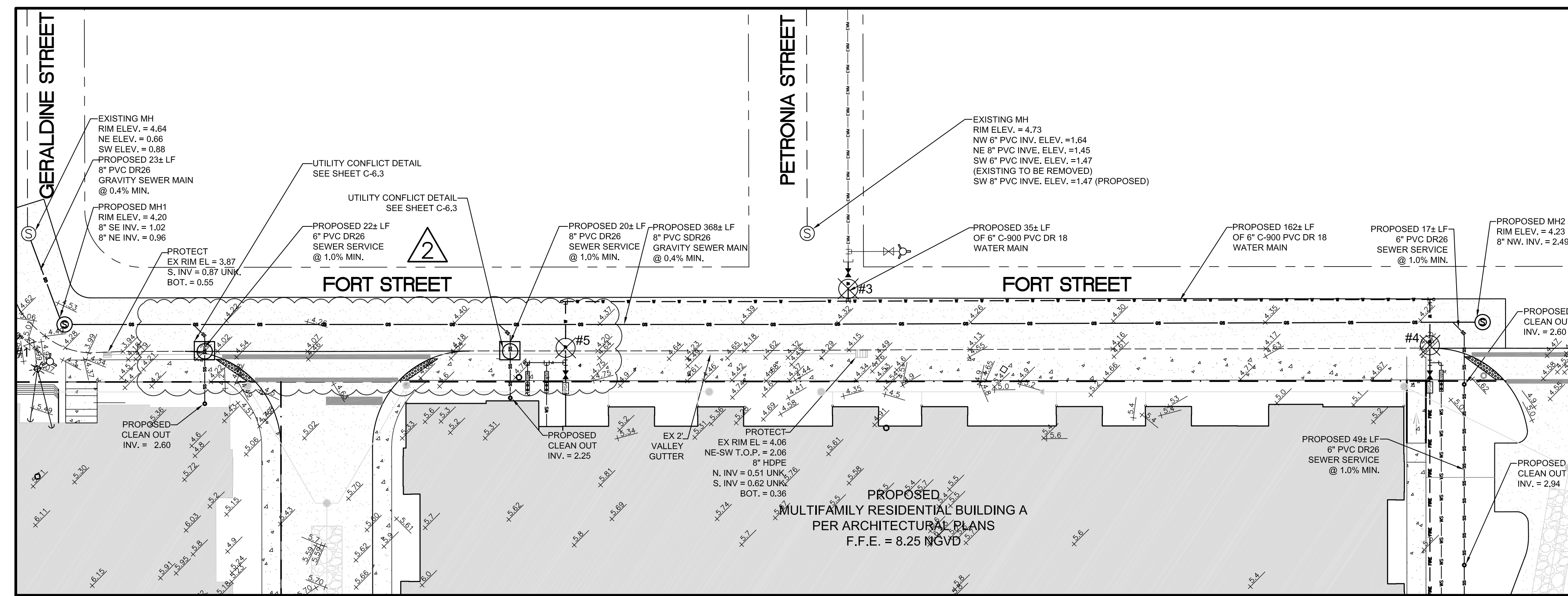
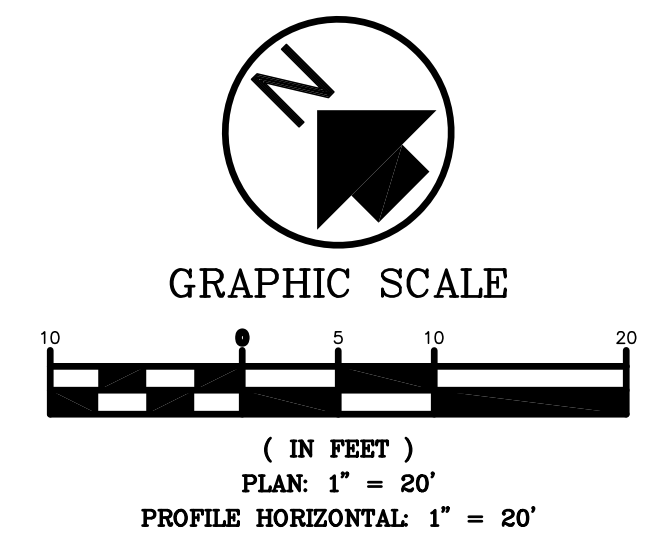
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ALL POTABLE WATER WORK SHALL BE IN
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 THE FCAA MINIMUM DESIGN AND CONSTRUCTION
 STANDARDS AND SPECIFICATIONS.

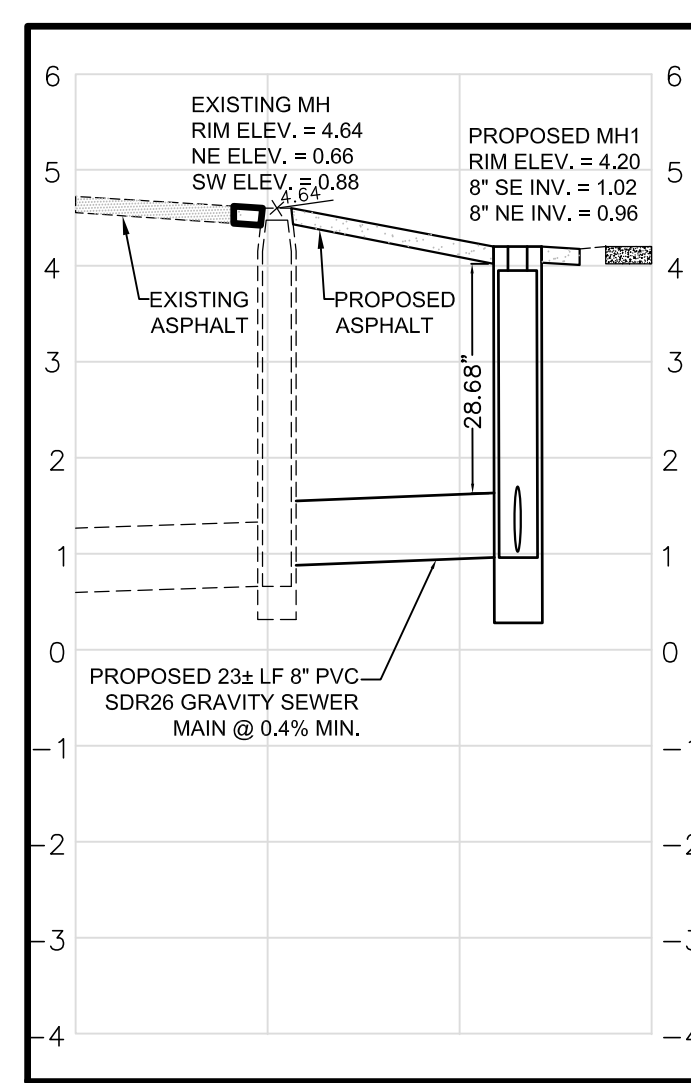
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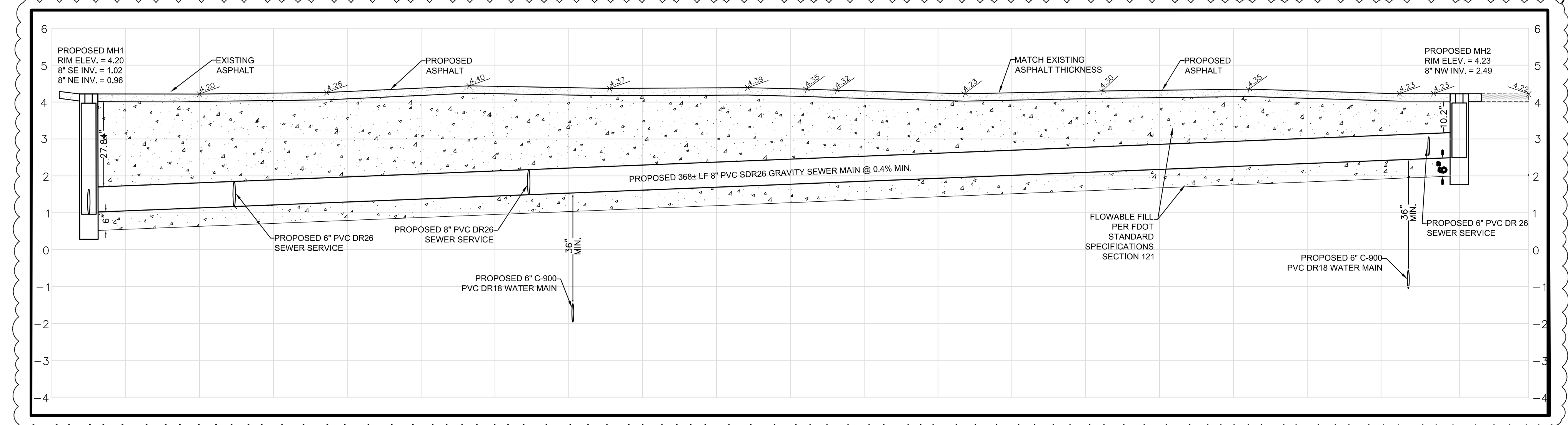
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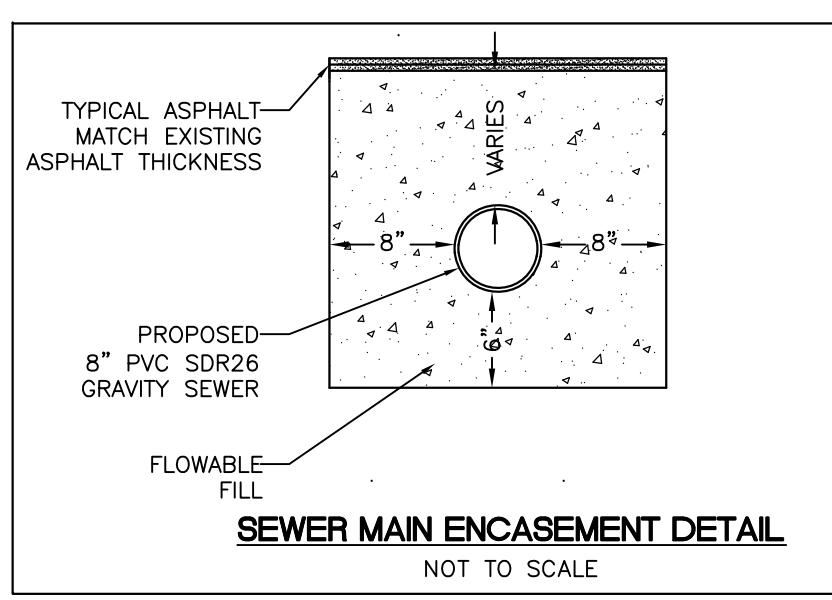
PLAN: 1" = 20'



PROFILE HORIZONTAL: 1" = 20'
PROFILE VERTICAL: 1" = 2'



PROFILE HORIZONTAL: 1" = 20'
PROFILE VERTICAL: 1" = 2'



NOTE:
WHEN COVER IS LESS THAN 30" USE CONTROLLED LOW STRENGTH MATERIAL FLOWABLE FILL FOR REINFORCEMENT (SEE PROFILE).
FLOWABLE FILL TO BE POURED IN A MANNER AS TO NOT CAUSE THE PIPE TO FLOAT.
SUPPORT PIPE AS NEEDED TO MAINTAIN PIPE INVERTS.

ALL POTABLE WATER WORK SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE FPCA MINIMUM DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS.

USER: pjuarín PLOTTED THE C6-4.UTIL.PREFL LAYOUT OF W:\2022\22072.001_Vestcor Bahama Village\DWG\Rev08\22072.001_Bahama_Village.dwg ON Oct 24, 2024 @ 2:22pm

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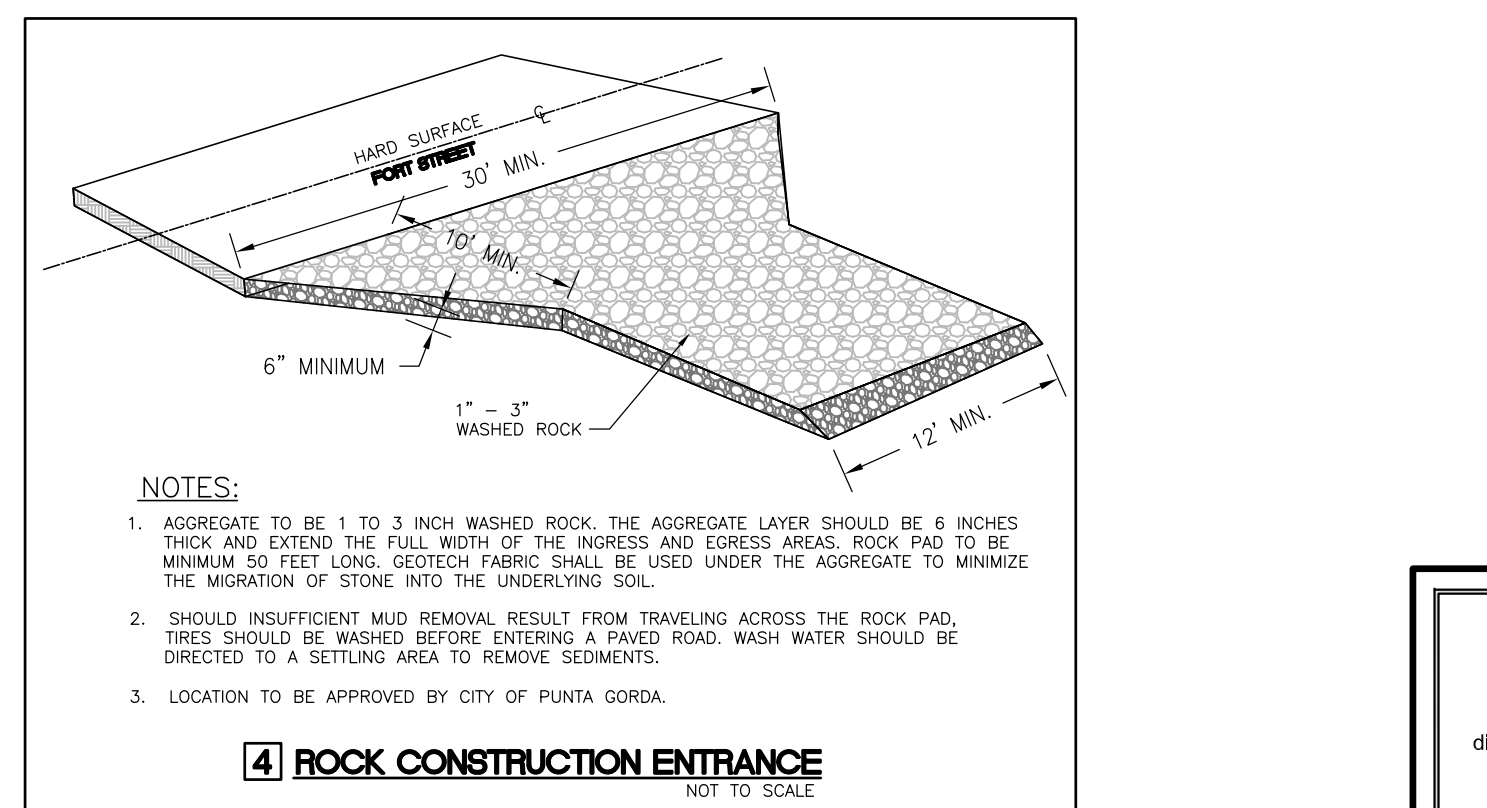
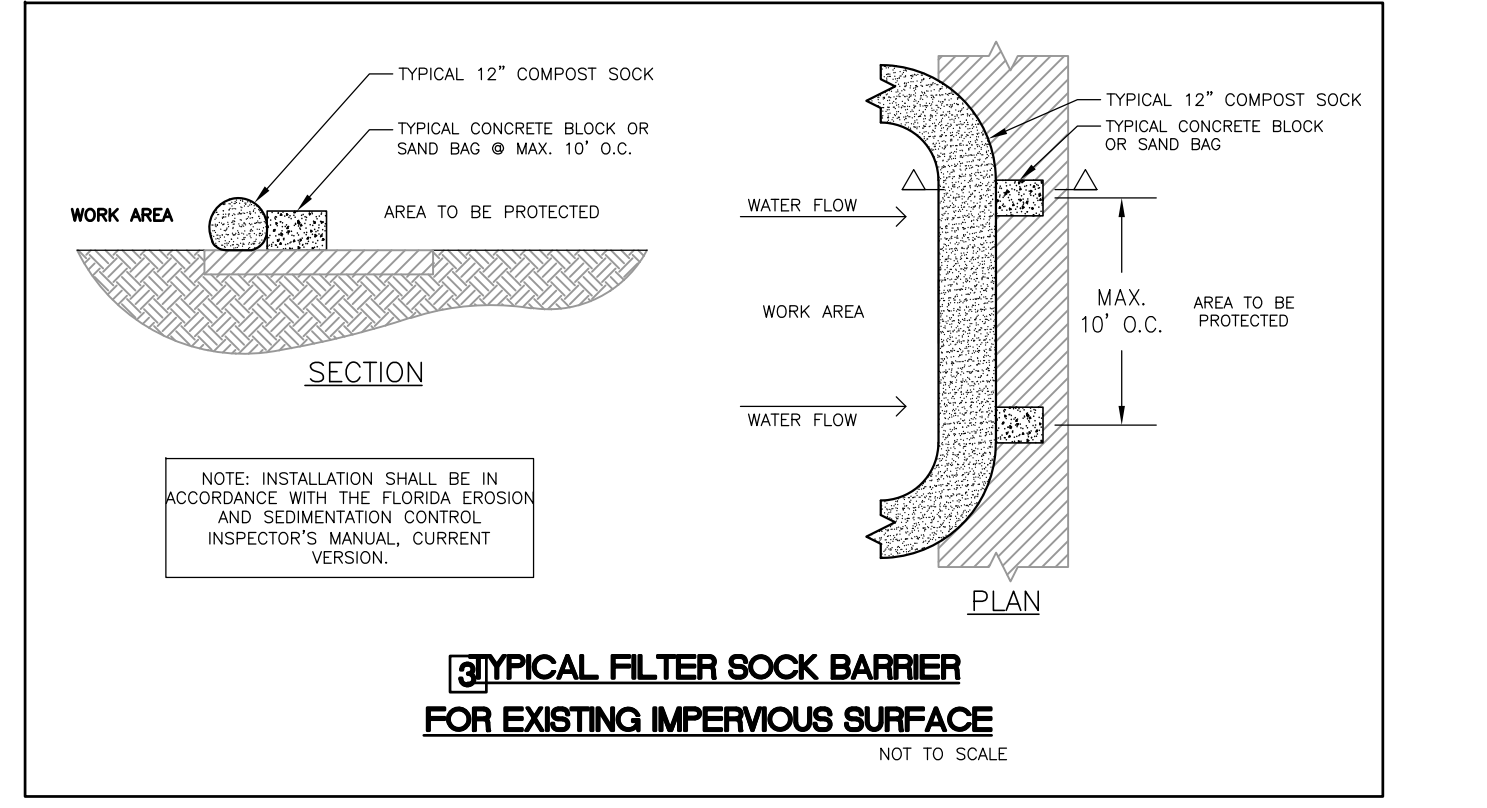
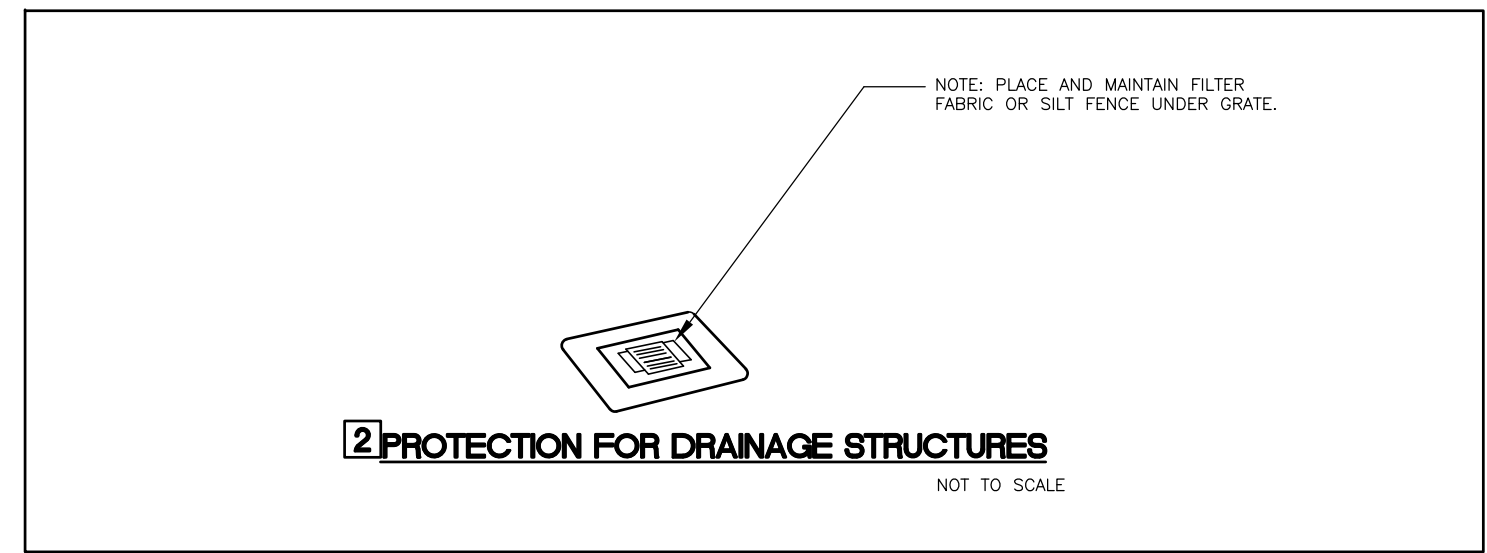
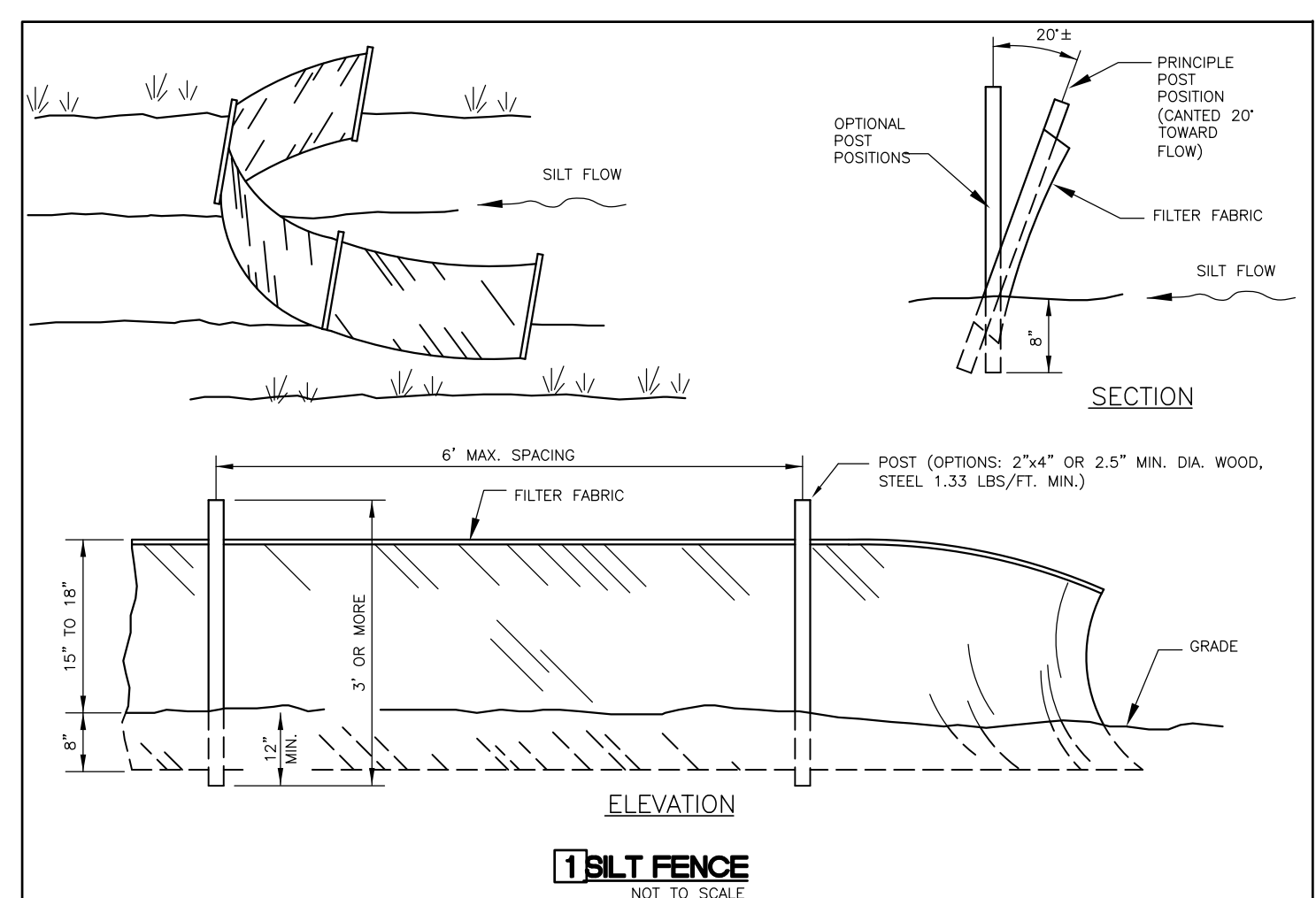
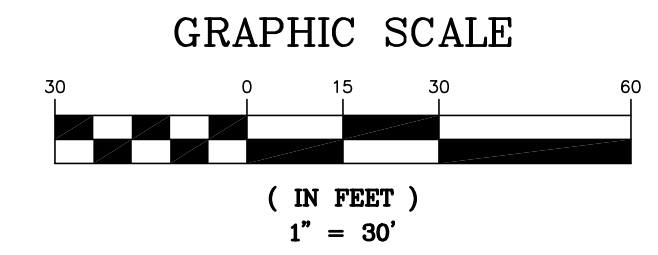
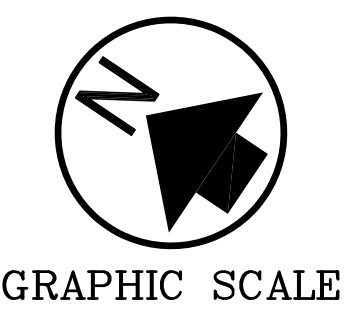
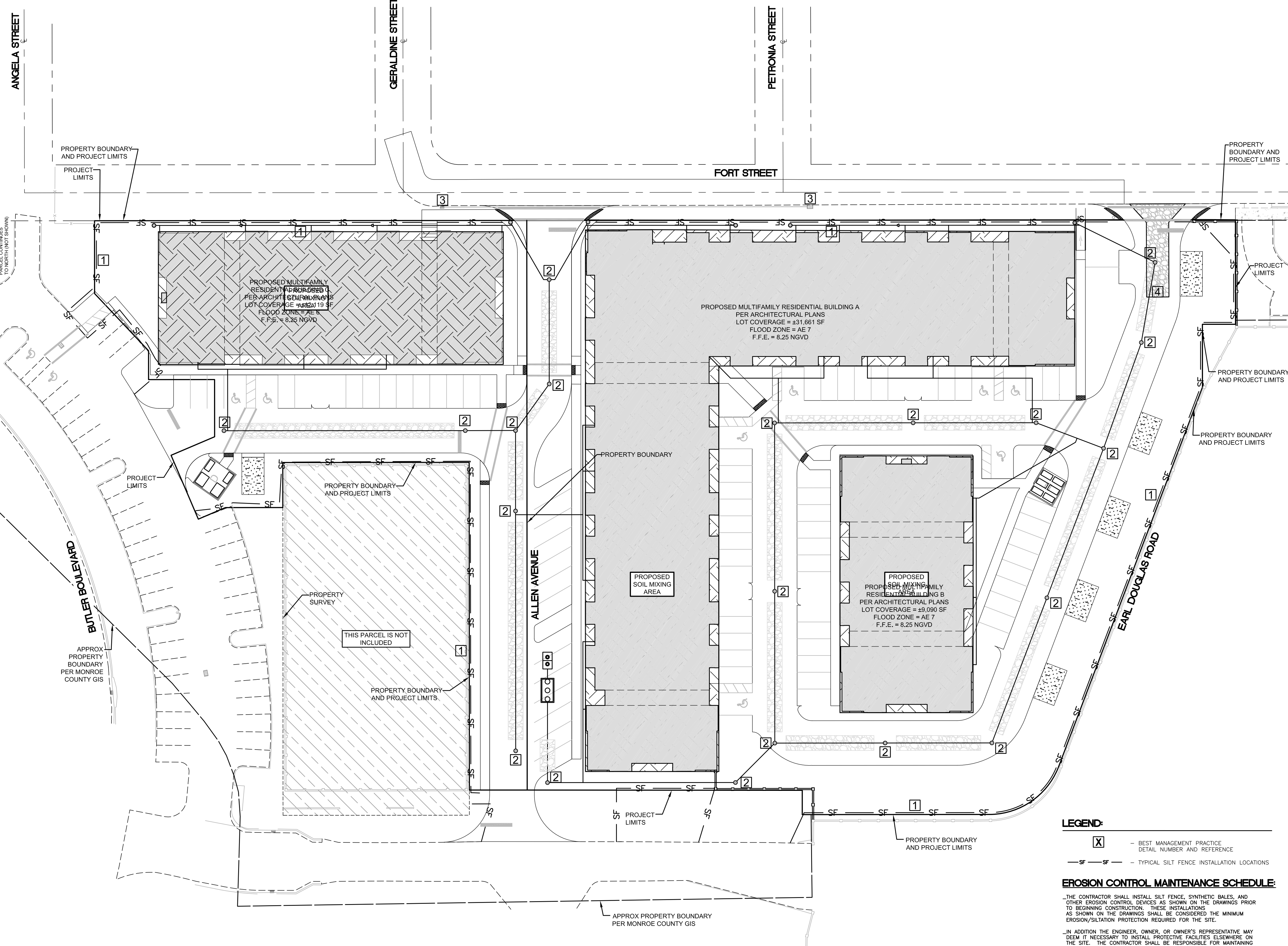
UTILITY PLAN AND PROFILE
 FOR
 THE LOFTS AT BAHAMA VILLAGE

Revisions	Description
1	SEWER CONNECTION REVISION
2	UTILITY CONFLICT BOX

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LEGEND:

(X) - BEST MANAGEMENT PRACTICE
DETAIL NUMBER AND REFERENCE

SF - SF - TYPICAL SILT FENCE INSTALLATION LOCATIONS

EROSION CONTROL MAINTENANCE SCHEDULE:

- THE CONTRACTOR SHALL INSTALL SILT FENCE, SYNTHETIC BALES, AND OTHER EROSION CONTROL DEVICES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION. THESE INSTALLATIONS AS SHOWN ON THE DRAWINGS SHALL BE CONSIDERED THE MINIMUM EROSION/SILTATION PROTECTION REQUIRED FOR THE SITE.

- IN ADDITION THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE MAY DEEM IT NECESSARY TO INSTALL PROTECTIVE FACILITIES ELSEWHERE ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION PROTECTION FACILITIES THROUGH COMPLETION OF CONSTRUCTION.

- THE CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF THE FACILITIES TO ENSURE THAT THE EROSION PROTECTION FACILITIES ARE MAINTAINING THEIR PROTECTION FUNCTIONS AND INTEGRITY.

- IN ADDITION TO THE INSTALLATION OF EROSION PROTECTION FACILITIES, THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE MAY DEEM IT NECESSARY, UPON INSPECTION OF THE SITE, THAT TURBIDITY MONITORING BE PERFORMED BY THE CONTRACTOR.

- THE MONITORING SHALL BE PERFORMED DAILY IF BACKGROUND TURBIDITY LEVELS REACH 25-29 NTU'S. FOR BACKGROUND TURBIDITY LEVELS LESS THAN 25 NTU'S, TURBIDITY MONITORING SHALL BE PERFORMED WEEKLY.

- IF BACKGROUND TURBIDITY LEVELS ARE GREATER THAN 29 NTU'S, ALL CONSTRUCTION ACTIVITIES SHALL STOP AND THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION PROTECTION NECESSARY TO RETURN LEVELS TO 29 NTU'S OR LESS. CONSTRUCTION ACTIVITIES SHALL BEGIN AGAIN ONLY UPON APPROVAL BY THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE.

- ALL EROSION PROTECTION FACILITIES SHALL BE REMOVED AFTER CONSTRUCTION COMPLETION, AND WHEN A VEGETATIVE COVER HAS BEEN WELL ESTABLISHED OVER THE CONSTRUCTED AREAS, PER THE PLANS.

- THE CONTRACTOR SHALL REMOVE PROTECTION FACILITIES ONLY UPON APPROVAL BY THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE.

- NOTES:**
- AGGREGATE TO BE 1 TO 3 INCH WASHED ROCK. THE AGGREGATE LAYER SHOULD BE 6 INCHES THICK AND EXTEND THE FULL WIDTH OF THE INGRESS AND EGRESS AREAS. ROCK PAD TO BE MINIMUM 50 FEET LONG. GETCH FABRIC SHALL BE USED UNDER THE AGGREGATE TO MINIMIZE THE MIGRATION OF STONE INTO THE UNDERLYING SOIL.
 - SHOULD INSUFFICIENT MUD REMOVAL RESULT FROM TRAVELING ACROSS THE ROCK PAD, TIRES SHOULD BE WASHED BEFORE ENTERING A PAVED ROAD. WASH WATER SHOULD BE DIRECTED TO A SETTLING AREA TO REMOVE SEDIMENTS.
 - LOCATION TO BE APPROVED BY CITY OF PUNTA GORDA.

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BEST MANAGEMENT PLAN & DETAILS FOR THE LOFTS AT BAHAMA VILLAGE

Revisions	Description

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