

Replace existing siding with new lap siding. Proposed windows on northwest side of the house to be sound proof -#1009 Grinnell Street-Seatech of the Florida Keys (H12-01-721)

This staff report is for the review of a Certificate of Appropriateness for a request for removal of 90 % of existing siding and its replacement with new lap siding. The house exhibits novelty, board and batten and lap siding in the exterior walls. According to the applicant there are two factors for this request, decay of some siding and to have a uniform siding material on the exterior. The proposal also includes the introduction of sound proof windows on the north side of the house. After the Agenda was published the applicant clarified to staff that the sound proofing for the windows will be done in the interior.

The building in question is listed as a contributing resource. The frame vernacular house was built circa 1924. On October 11, 2011 the Commission approved the removal of back and side attached structure, new deck on the back, replacement of existing windows and repairs to damaged wood members.

Staff understands that the guidelines for Building Exteriors- wood (page 25) are applicable for the review of the plans;

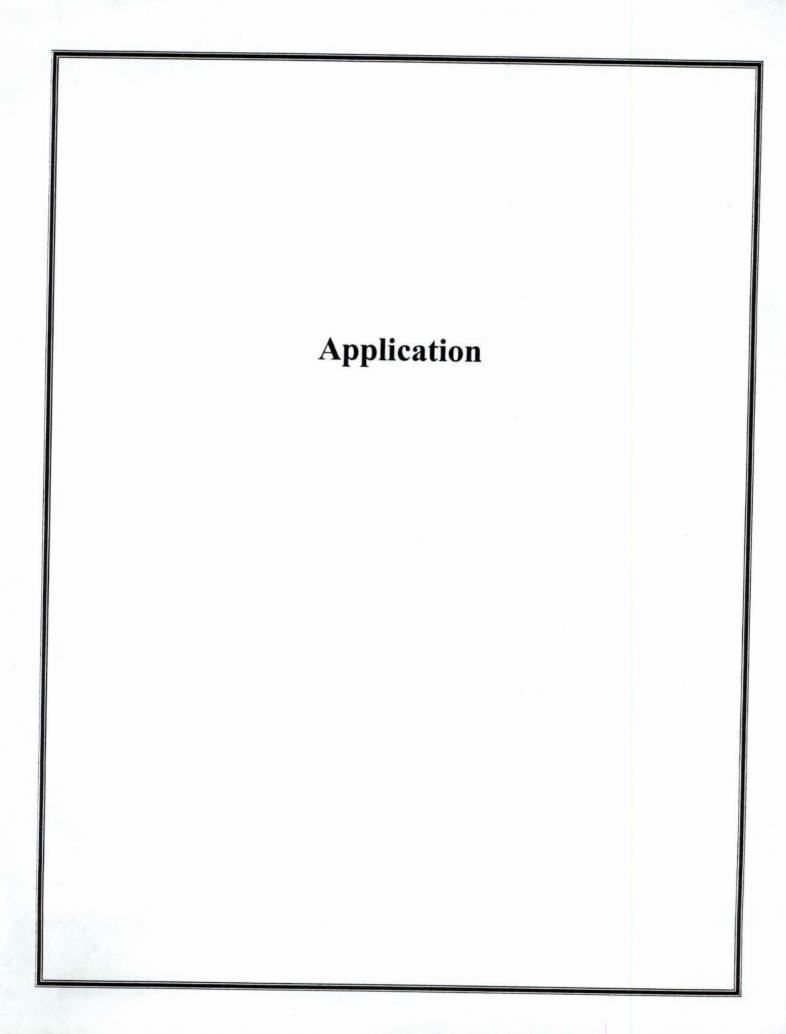
Building exteriors- wood

.....The preservation and repair of wooden features protects the historic character of Key West architecture. Replacement siding on contributing structures must match the original siding.

Wood exterior guidelines:

- 1. Materials for repair of historic wood architecture are:
  - Wood weatherboard, clapboards or lapped siding of appropriate dimensions.
  - Wooden vertical board and batten siding with 1" x2" or 1" by 3" battens
  - Wooden horizontally novelty or drop siding.

It is staff's opinion that the proposed plans are inconsistent with the guidelines. It is fairly common to find board and batten siding on the sides of a building while lap or novelty siding is observed on the main façade. Staff understands that the there is a percentage of siding that can be save and should be preserved. For the historic portion of the house what needs to be replaced must match the existing in form, material and dimensions.





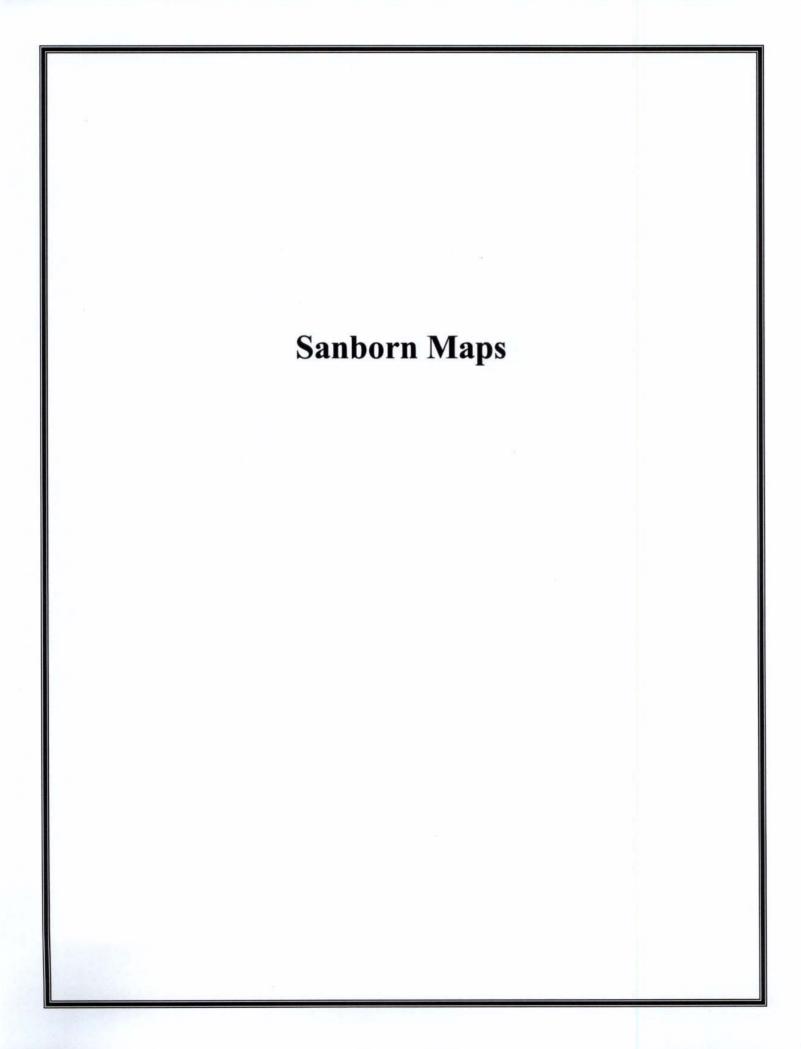
# CITY OF KEY WEST

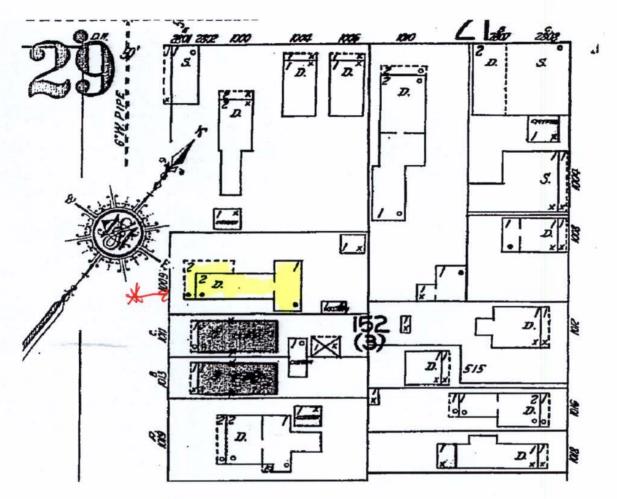
CERTIFICATE OF APPROPRI	
OWNER'S NAME: David Howard	DATE: 02-28-12
OWNER'S ADDRESS: 1009 Grinnell St. Key West, FI 330	40 PHONE #: 516-578-5829
APPLICANT'S NAME: SeaTech of the Florida Keys	PHONE #: 305-294-9993
APPLICANT'S ADDRESS: 830 Crane Blvd, Summerla	nd Key, FI 33042
ADDRESS OF CONSTRUCTION: 1009 Grinnell Street	# OF UNITS 1
THERE WILL BE A FINAL INSPECTION REQUIRED	UNDER THIS PERMIT
DETAILED DESCRIPTION OF WORK:  Revised: Replace existing siding with new lap siding. Proposition house to be sound proof.	sed windows on northwest side of
Chapter 837.06 F.SFalse Official Statements – Whoever knowingly mak with the intent to mislead a public servant in the performance of his or her a misdemeanor of the second degree punishable as provided for in s. 775.	r official duty shall be guilty of
precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)  TREE REMOVAL PERMIT (if applicable)  PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)  PHOTOGRAPHS OF ADJACENT
Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this	BUILDINGS (new buildings and additions)  ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES
application does not ensure approval as submitted.  Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approximately.	Staff Use Only Date: Staff Approval:
Date: 04-27-12  Applicant's Signature:	Fee Due:\$

# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

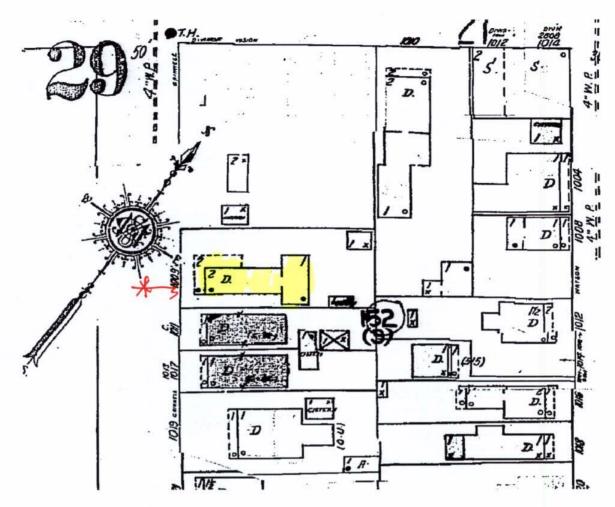
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HARC Comments:  Completing building circa 1924  Guidelines for Exterior Siding (page 2)  Limit of Work Approved, Conditions of Approval and/or Suggested Changes:  Date: Signature:	Approved	Denied	D	eferred
Continuiting building circa 1924 Guidelines for Exterior Siding (page 2)  Limit of Work Approved, Conditions of Approval and/or Suggested Changes:  Date: Signature:	Reason for Deferral	or Denial:		
Contributing building circa 1924 Guidelines for Exterior Siding (page 2)  Limit of Work Approved, Conditions of Approval and/or Suggested Changes:  Date: Signature:		200 di 000 di 100 d		
Contributing building circa 1924 Guidelines for Exterior Siding (page 2)  Limit of Work Approved, Conditions of Approval and/or Suggested Changes:  Date: Signature:		ļ		
Date: Signature:	ARC Comments:	building circ	a 1924 Jenior Sidling	(Page 25)
Date: Signature:				
	5.7	oved, Conditions of Ap	proval and/or Suggested	
		14 M (10 M)		
Literauga / Habitaatiina	Date:	Signature:	Historic Architectura	1

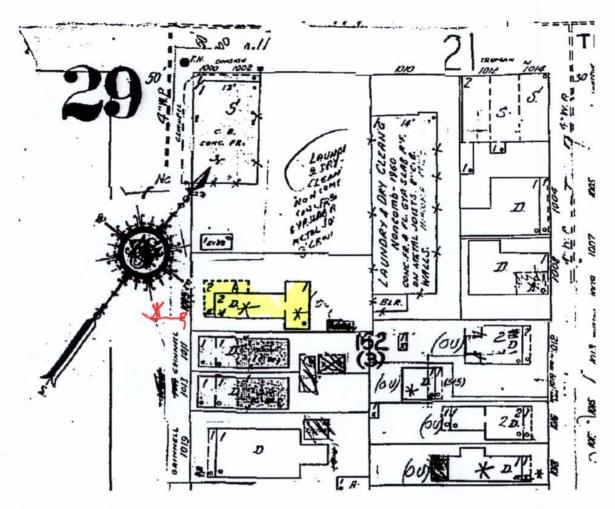




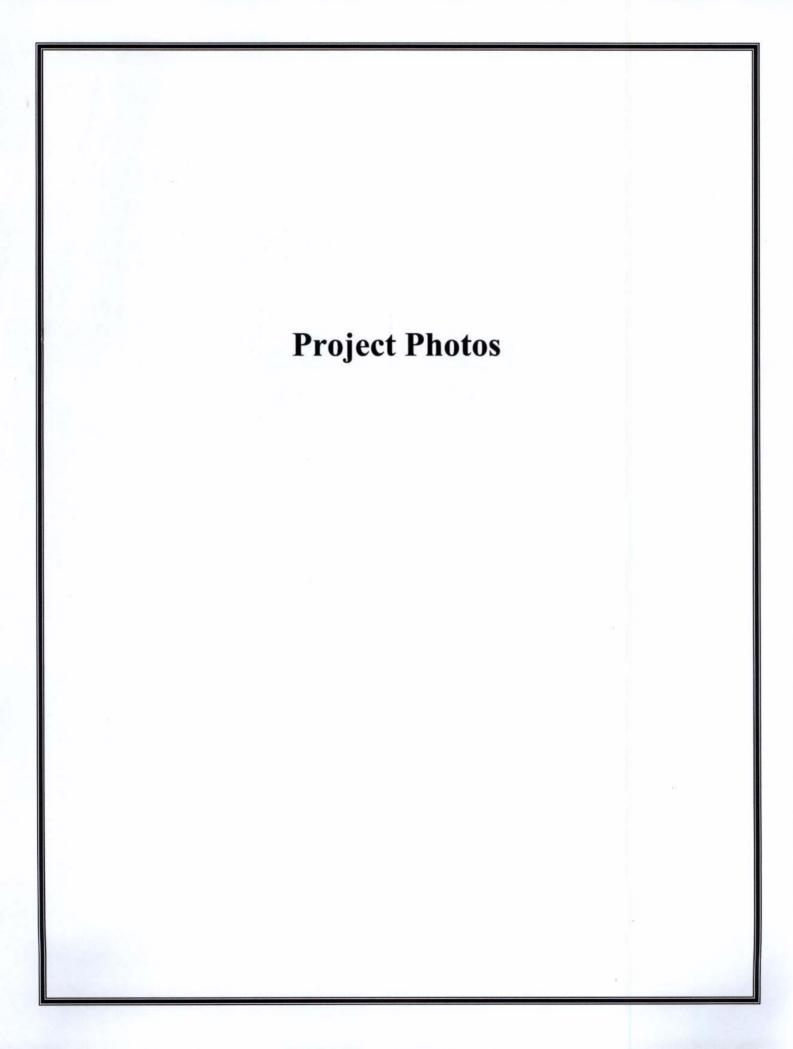
#1009 Grinnell Street Sanborn map 1926 copy



#1009 Grinnell Street Sanborn map 1948 copy



#1009 Grinnell Street Sanborn map 1962 copy



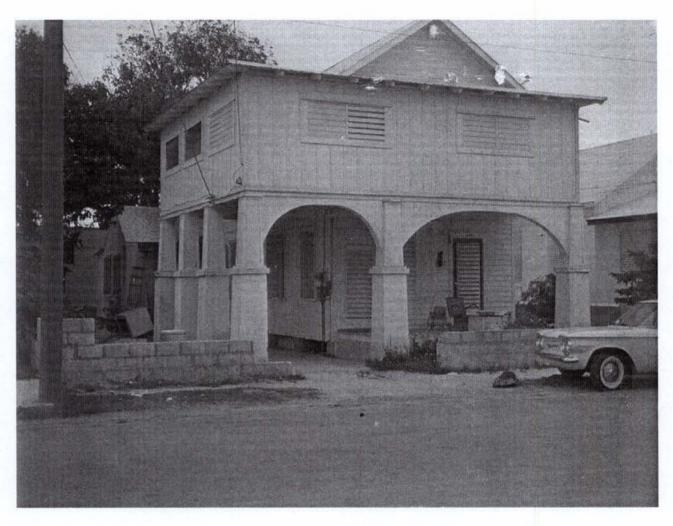
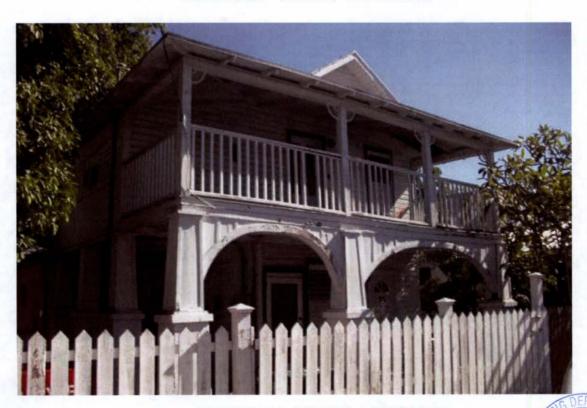


Photo taken by the Property Appraiser's office c1965; 1009 Grinnell St.; built c 1924; Monroe County Library



SOUTHWEST (FRONT) ELEVATION



SOUTHWEST (FRONT) ELEVATION



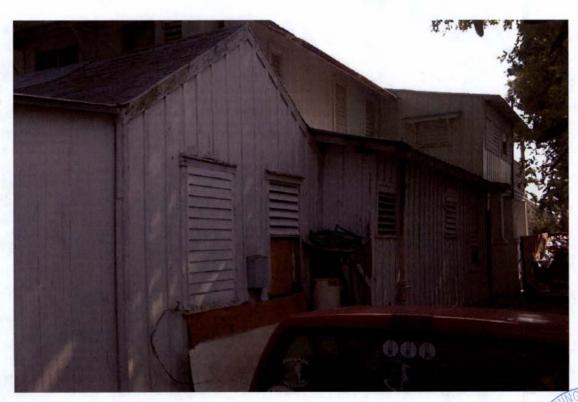
SOUTHWEST (FRONT) ELEVATION - SECOND FLOOR PORCH



SOUTHWEST (FRONT) ELEVATION - FIRST FLOOR PORCH



NORTHWEST (LEFT SIDE) ELEVATION



NORTHWEST (LEFT SIDE) ELEVATION



SOUTHEAST (RIGHT SIDE) ELEVATION



SOUTHEAST (RIGHT SIDE) ELEVATION



EXTERIOR WALL CONSTRUCTION - "A" (SEE DIAGRAM)



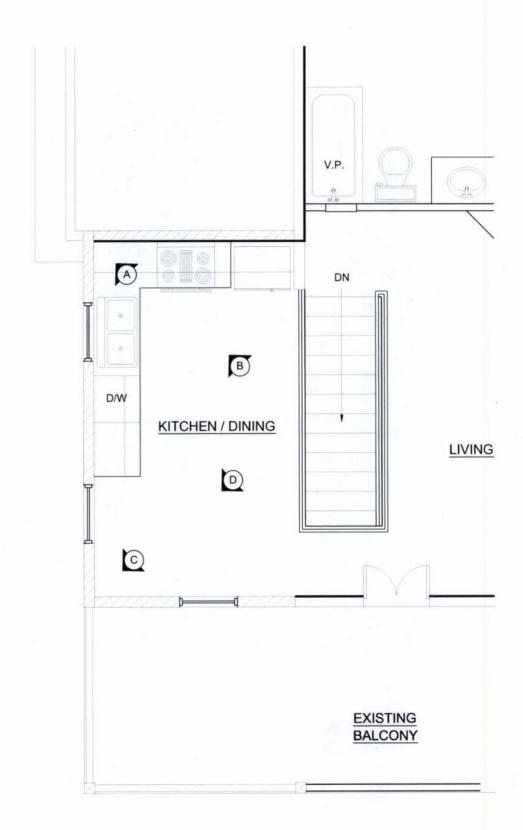
EXTERIOR WALL CONSTRUCTION - "B" (SEE DIAGRAM)



EXTERIOR WALL CONSTRUCTION - "C" (SEE DIAGRAM)

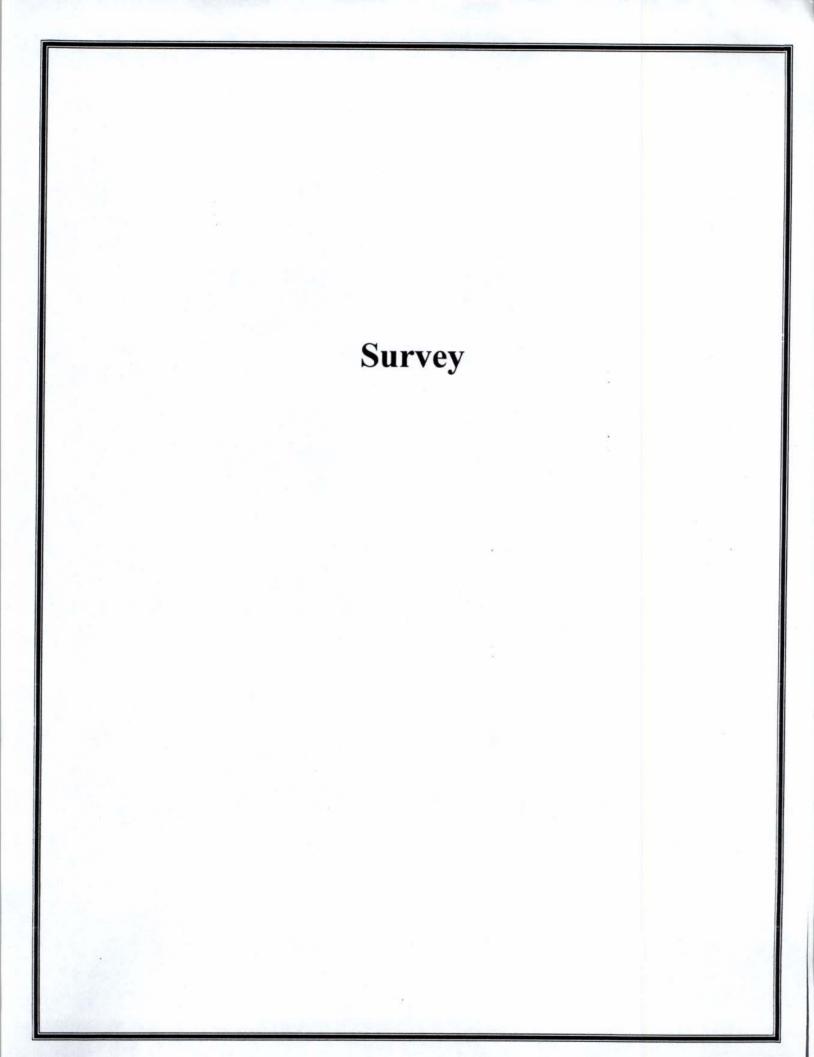


EXTERIOR WALL CONSTRUCTION - "D" (SEE DIAGRAM)

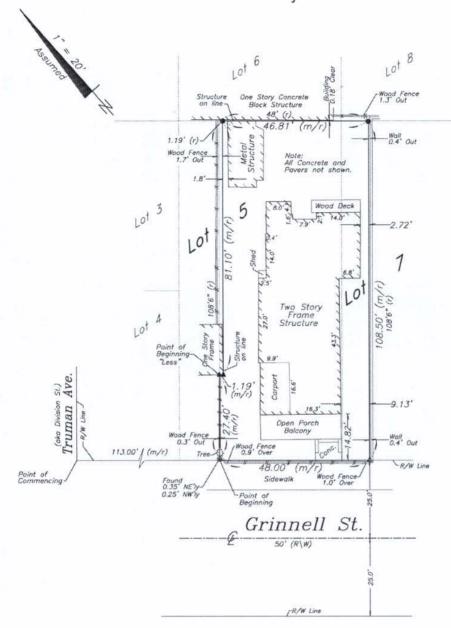


# PHOTOGRAPH DIAGRAM





# Boundary Survey Map of part of Square 3, Tract 13, Island of Key West



#### LEGEND

- Found 1/2" Iron Pipe (No ID) Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (PTS)
- Found Nail & Disc (5234)
- Set Nail & Disc (6298)
- Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- Right of Way
- CLF Chain Link Fence
- Centerline
- Wood Utility Pale
- Overhead Utility Lines

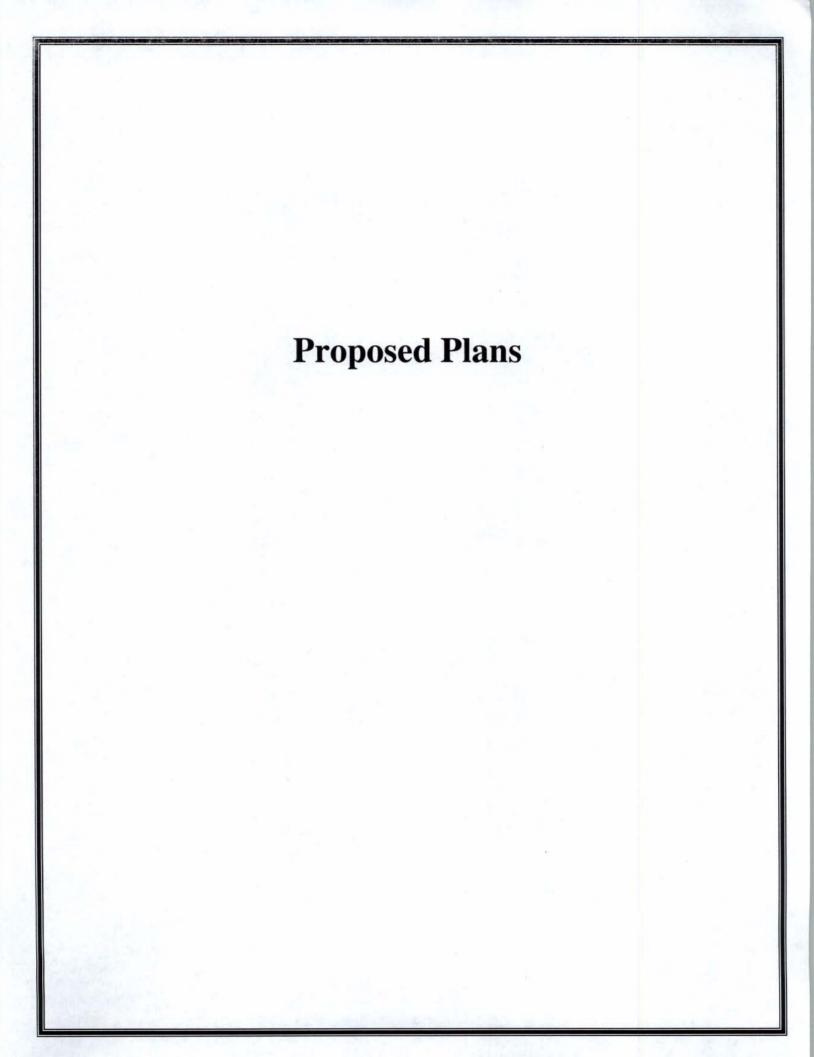
NOTE: This Survey Map is not full and complete without the attached Survey Report.

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper PSM #6298

3430 Duck Ave., Key West, FL 33040 (305) 296-7422 FAX (305) 296-2244



FLOOD ZONE: >

F.I.R.M. - COMMUNITY #120168; PANEL #1516; SUFFIX "K"; DATED: 02-18-2005

LEGAL DESCRIPTION: KW G.G. WATSON SUB 1-209 PT LTS 5-7 SQR 3 TR 13

#### **DESIGN DATA**

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE 2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENTS AND THE LATEST EDITIONS OF THE FLORIDA MODEL ENERGY CODE, FIRE CODE, LIFE SAFETY CODE AND THE NATIONAL ELECTRIC CODE.

THE WORK DEPICTED HEREIN WILL NOT YIELD ADDITIONAL IMPERVIOUS COVERAGE

OCCUPANY CLASSIFICATION: R3 CONSTRUCTION TYPE: V

THE FOLLOWING LOADINGS WERE USED: WIND LOAD: 150 MPH (ASCE 7-05) (3 SEC. GUST, EXPOSURE "C") FLOOR LIVE LOAD: 40 PSF

#### INDEX OF DRAWINGS

T-1 - SITE DATA A-1 - FIRST FLOOR PLANS

A-2 - SECOND FLOOR PLANS

A-3 - ELEVATIONS A-4 - ELEVATIONS

S-1 - STRUCTURAL PLANS S-2 - STRUCTURAL PLANS

MP-1 - MECHANICAL & PLUMBING PLANS

E-1 - ELECTRICAL PLANS E-2 - ELECTRICAL PANEL SCHEDULES

#### **GENERAL NOTES**

- . THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
  THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE
  VORK COMPLETE AND READY FOR USE.
  THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
- 3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.

  4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILLAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND
  VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR
  CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.

  5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR
  UNSAFE CONDITIONS, ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER
  AND ENGINEER OF RECORD SHALL NOT BE ALLOWED, ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF
  NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR
  COMPENSATION FROM THE OWNER.

  6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL
  PERSONS ENDING VICEN IN THE WOOK PERSONS VISITING THE WORDER AND THE GENERAL THE LIBILITY OF SHALL
- PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND

- ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACKENT THERETO.

  7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (E. IR. NAD A GONDUD UTILITY EASEMENTS, ETC.).

  8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE COWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE REMPIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.

  9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, 2007 FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL BOYEN THE WORK.

  10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MCCHANICAL SYSTEMS SHALL BESCHET HE SEAL OF A FLORIDA PROFESSIONAL EMINEER AS REQUIREDED THE FLOOR? FLORIDAD BUILDING CODE AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORDS BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- INSTALLATION.

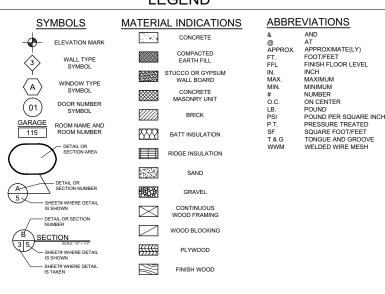
  IT THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.

  12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.

  13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE
- ED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION
- OF WORK.

  14. THESE FLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.

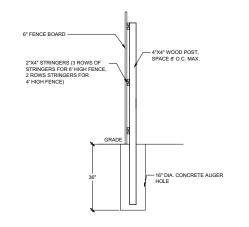
#### **LEGEND**

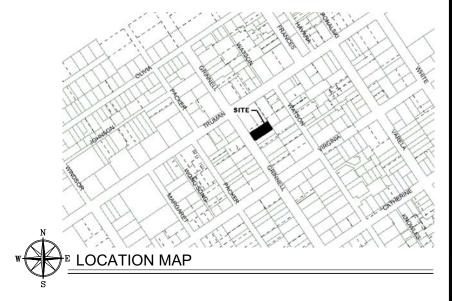


# HOWARD RESIDENCE

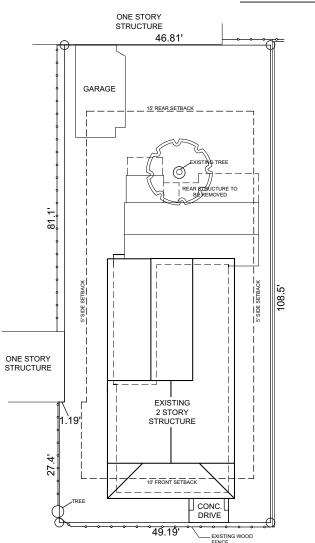
1009 GRINNELL STREET KEY WEST, FLORIDA

SITE DATA TABLE							
	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS			
DISTRICT	HMDR	HMDR	HMDR				
LOT SIZE	5,111 SF	5,111 SF	5,111 SF				
BUILDING AREA	2,378 SF	2,044.6 SF	2236 SF	REDUCED			
BUILDING COVERAGE %	47.2%	40%	43.7%	REDUCED			
IMPERVIOUS COVERAGE	2,332.5 SF	3,066.9 SF	2197 SF	REDUCED			
IMPERVIOUS COVERAGE %	45.6%	60%	43%	REDUCED			
BUILDING HEIGHT	<30'-0"	30'-0"	<30'-0"				
FRONT SETBACK	6'-10"	10'-0"	6'-10"				
SIDE SETBACK	2'-8"	5'-0"	2'-8"				
REAR SETBACK	0'-0"	15'-0"	0'-0"				



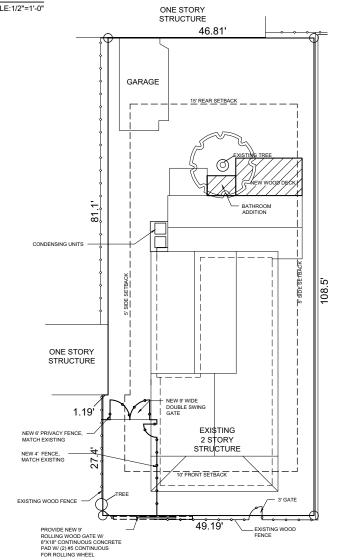


# TYPICAL WOOD FENCE DETAIL



**GRINNELL STREET** 

**EXISTING SITE PLAN** SCALE:1"=10'-0"



**GRINNELL STREET** PROPOSED SITE PLAN

HOWARD

REVISIONS REAR DECK &

START DATE: 12-08-10 ISSUE DATE: 10-21-1

DRAWN: FKM

T-1

#### **DEMOLITION NOTES**

PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE, AND ALSO AFTER VARD, BUT PRIOR TO THE START OF CONSTRUCTION.

AMMAND, BUT PHOUNT OF THE START OF CONSTRUCTION.

2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.

3. ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR.

4. ITIS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENT, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAWING JURISDICTION OVER THE WORK.

5. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT.

6. PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION, BRACING A SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED ANDIOR APPROVED BY A PROFESSIONAL ENGINEER.

7. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ONSITE WHEN SPECIFICALLY APPROVED BY THE ENGINEER.

#### **DOOR & WINDOW NOTES**

LALL DOORS AND WINDOWS SHALL BE RATED TO WITHSTAND PRESSURES ASSOCIATED WITH 150 MPH WINDS IN ACCORDANCE WITH ASCE 7-05 DOORS AND WINDOWS SHALL BE MANUFACTURED UNITS DESIGNED AND INSTALLED TO ALCOW A MAXIMUM OF 0.5 CPM INFILITATION PER LINEAL FOOT OF OPERABLE SASH CRACK AND A MAXIMUM 0.5 CPM PER SF OF EXTERIOR DOOR AREA. UNITS SHALL BE GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED. 2. PROVIDE ONE GERESS SIZED WINDOW IN EACH BEDROOM UNLESS THERE IS A SECOND EXT SUCH AS A SLIDING GLASS OR SIDE HINGED DOOR TO THE EXTERIOR. ECRESS WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR LEVEL AND MUST HAVE A MINIMUM NET CLEAR OPENING OF 20" WIDTH AND A PET CLEAR OPENING AREA OF NO LESS THAN 5.7 SF.

3. ALL EXTERIOR DOORS SHALL BE SOLID CORE, 1-½" THICK, WEATHER-PROOF TYPE, ALL INTERIOR DOORS SHALL BE 1-½" THICK, UNITS SHALL BE GLAZED OR RAISED PANEL BOTH SIDES. UNITS SHALL HAVE PATTERNS OR DIVIDED LITES UNLESS OTHERWISE NOTED. UNITS SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS WITH SUFFACES PREPARED TO ACCEPT PAINT OR OTHER FINISH AS SPECIFIED. DOORS SHALL MEET NIVMA STANDARD TOLERANCES FOR EACH TYPE. A FUNNISH AND INSTALL COMPLETE HARDWAYER SETS, SCHLAGE, VALE OR ECCURED AND SET OF THE PROPER OF THE PROPER OF THE PROPER OF THE PROPER OF THE OWNER, ALL EXTERIOR HARDWARE TO SEE STANT.

TO BE SALT RESISTANT.

5. ALL SLIDING GLASS DOORS AND SHOWER ENCLOSURES SHALL HAVE TEMPERED GLASS.

6. WOOD OPERATING AND FIXED WINDOWS SHALL BE EQUIPPED WITH SALT RESISTANT HARDWARE AND REMOVABLE SCREENS. ALL UNITS SHALL BE DOUBLE-GLAZED (UNLESS OTHERWISE NOTED ON THE DRAWINGS) WITH TRUE DIVIDED LITES OR PATTERN INDICATED ON THE DRAWINGS.

7. WINDOW LINTS SHALL DISK ANY LABELS NIDICATING COMPLIANCE WITH THE STATE OF FLORIDA MODEL ENERGY CODE, SECTION SECRET, ALL DIMENSIONS FROR TO FABRICATION.

SOLD MESCALE LILL VIEWS ASSECTED OR OTHERWISE SEALED. FROVIDE SAFETY GLASS AS REQUIRED AND/OR SHOWN ON THE PRABMINGS.

8. FROVIDE CLEAN DESCRIPTION OF THE DRAWNOS.

9. FASTEN DOOR AND WINDOW FRAMES IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND/OR PRODUCT APPROVAL DETAILS. PROVIDE SEPARATION BARRIER WITH DOOR AND WINDOW FRAMES THAT ARE INSTALLED AGAINST NON-COMPATIBLE PRESSURE-TREATED WOOD FRAMING.

	DOOR SCHEDULE					
MARK NOMINAL SIZE TYPE COMMENTS						
01	6'-0"x6'-8"x1 3/4"	DOUBLE SWING				
<u>O2</u>	3'-0"x6'-8"x1 3/4"	SWING				
03	2'-0"x6'-8"x1 3/4"	SWING				

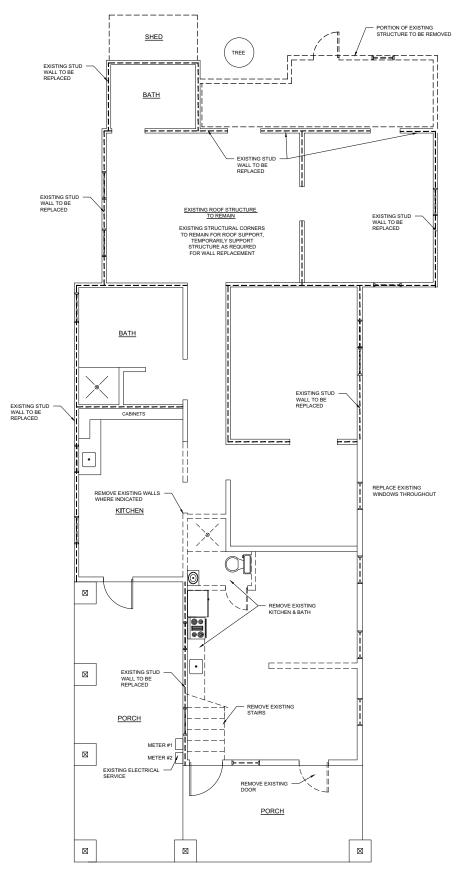
\*NON RATED HISTORIC WOOD DOORS AS PRESCRIBED BY THE CITY OF KEY WEST & HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC) FOR HISTORIC CONTRIBUTING STRUCTURES

	WINDOW SCHEDULE						
MARK	NOMINAL SIZE (W xH) TYPE COMMENTS						
A	30"x60"	SINGLE HUNG					
$\langle B \rangle$	30"X30"	SINGLE HUNG					

\*NON RATED HISTORIC WOOD WINDOWS AS PRESCRIBED BY THE CIT' OF KEY WEST & HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC) FOR HISTORIC CONTRIBUTING STRUCTURES

DEMOLITION WALL LEGEND				
c=====	EXISTING WALL TO BE REMOVED			
	EXISTING WALL STUDS TO BE REPLACED WITH NEW			

WAL	WALL LEGEND			
	NEW WOOD FRAMED WALL W/ ½" EXTERIOR SHEATHING & NEW SIDING (SEE ELEVATIONS)			
(7777777)	EXISTING WALL TO BE RE-FRAMED WITH NEW WOOD STUDS, PROVIDE NEW  EXTERIOR SHEATHING & NEW SIDING (SEE ELEVATIONS)			
	FORTIFY EXISTING WOOD FRAMED WALL PER DETAIL ON SHEET A-2, PROVIDE NEW SIDING (SEE ELEVATIONS)			



#### **EXISTING FIRST FLOOR PLAN**

PROPOSED FIRST FLOOR PLAN

 $\boxtimes$ 

 $\boxtimes$ 

 $\boxtimes$ 

 $\langle B \rangle$ NEW DECK  $\langle A \rangle$  $\langle B \rangle$ FAMILY ROOM COND. #2 WALL MOUNTED AIR HANDLER COND. #1 SOUND PROOF WINDOW A BEDROOM  $\langle A \rangle$ SOUND PROOF WINDOW KITCHEN / DINING BEDROOM SOUND PROOF WINDOW 02 3'-5" —  $\boxtimes$ LIVING ROOM EXISTING PORCH METER #2 EXISTING PORCH

Seatechi

ENCE SIDI <u>~</u> HOWARD

DECK & BATHROOM

EXTENT OF WALI REPLACEMENT 03-02-12

START DATE: 12-08-10 ISSUE DATE: 10-21-1

DRAWN: EKM

**A-1** 

	DOOR SCHEDULE					
MARK	NOMINAL SIZE (W xH)	TYPE	COMMENTS			
01)	6'-0"x6'-8"x1 3/4"	DOUBLE SWING				
02	3'-0"x6'-8"x1 3/4"	SWING				
03	2'-0"x6'-8"x1 3/4"	SWING				

\*NON RATED HISTORIC WOOD DOORS AS PRESCRIBED BY THE CITY OF KEY WEST & HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC) FOR HISTORIC CONTRIBUTING STRUCTURES

	WINDOW SCHEDULE						
MARK	NOMINAL SIZE (W xH)	TYPE	COMMENTS				
A	30"x60"	SINGLE HUNG					
$\langle B \rangle$	30"X30"	SINGLE HUNG					

\*NON RATED HISTORIC WOOD WINDOWS AS PRESCRIBED BY THE CITY OF KEY WEST & HISTORIC ARCHITECTURAL REVIEW COMMISSION (HARC) FOR HISTORIC CONTRIBUTING STRUCTURES

DEMOLITION WALL LEGEND EXISTING WALL TO BE REMOVED

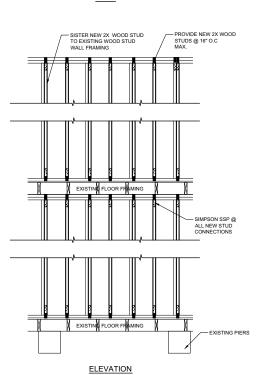
EXISTING WALL STUDS TO BE REPLACED WITH NEW \_\_\_\_\_

WALL LEGEND

NEW WOOD FRAMED WALL W/ EXTERIOR SHEATHING & NEW SIDING (SEE ELEVATIONS)

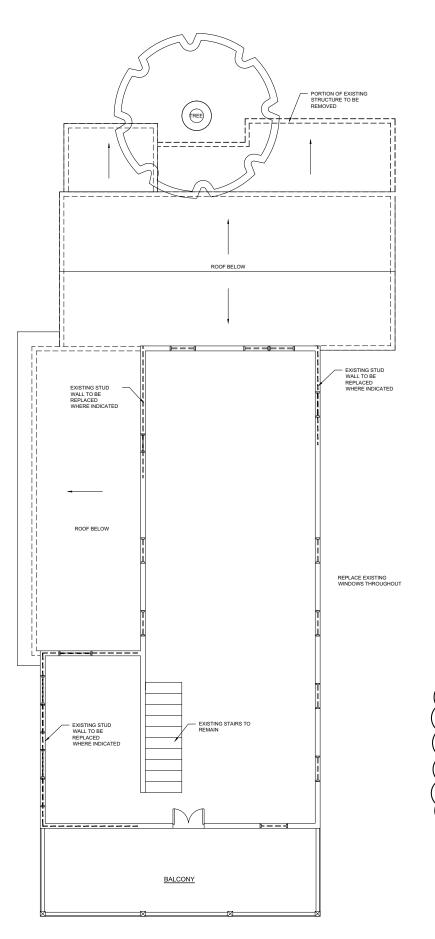
EXISTING WALL TO BE RE-FRAMED WITH NEW WOOD STUDS, PROVIDE NEW ½\*
EXTERIOR SHEATHING & NEW
SIDING (SEE ELEVATIONS)

PLAN



TYPICAL EXTERIOR WALL DETAIL

SCALE:1/2"=1'-0"



**EXISTING SECOND FLOOR PLAN** 

PROPOSED SECOND FLOOR PLAN

(REE)

 $\langle A \rangle$ 

BEDROOM #2

ROOF BELOW

SOUND PROOF B

SOUND PROOF WINDOW

SOUND A PROOF WINDOW

SOUND B PROOF WINDOW

RECONSTRUCT EXISTING EXTERIOR WALL, 2"X4" @ 16" O.C MIN.

ROOF BELOW

 $\langle A \rangle$ 

BEDROOM #1

SCALE:1/4"=1'-0"

 $\langle A \rangle$ 

 $\langle A \rangle$ 

 $\langle A \rangle$ 

LIVING ROOM



HOWARD

REVISIONS DECK & BATHROOM

01-16-12 EXTENT OF WALL
REPLACEMENT
03-02-12

WALL REPLACEME 04-03-12

START DATE: 12-08-10

ISSUE DATE: 10-21-11 DRAWN: EKM

A-2

SCALE:1/4"=1'-0"

REPLACE EXISTING WINDOWS W/ NEW 2 OVER 2 SINGLE HUNG WOOD WINDOWS W/ TRUE DIVIDED LITES & WOOD SHITTERS

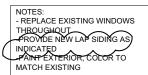
START DATE: 12-08-10 ISSUE DATE: 10-21-11 DRAWN: EKM

**A-3** 

CONCRETE — SINGLE PANEL WOOD DOOR SINGLE LITE WOOD DOOR

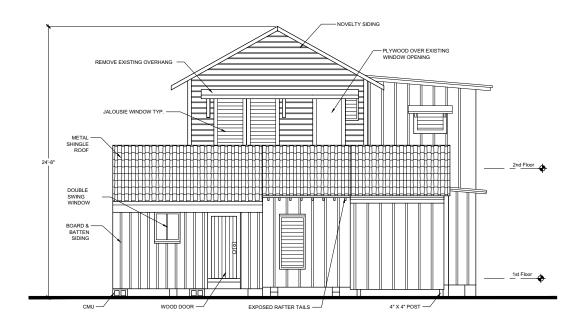
#### **EXISTING SOUTHWEST ELEVATION**

SCALE:1/4"=1'-0"



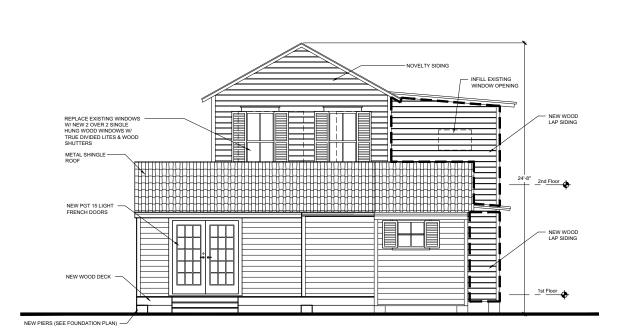


REPLACE EXISTING RAILING WHERE INDICATED, MATCH EXISTING



#### **EXISTING NORTHEAST ELEVATION**

SCALE:1/4"=1'-0"



PROPOSED SOUTHWEST ELEVATION

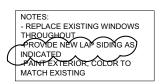
PROPOSED NORTHEAST ELEVATION

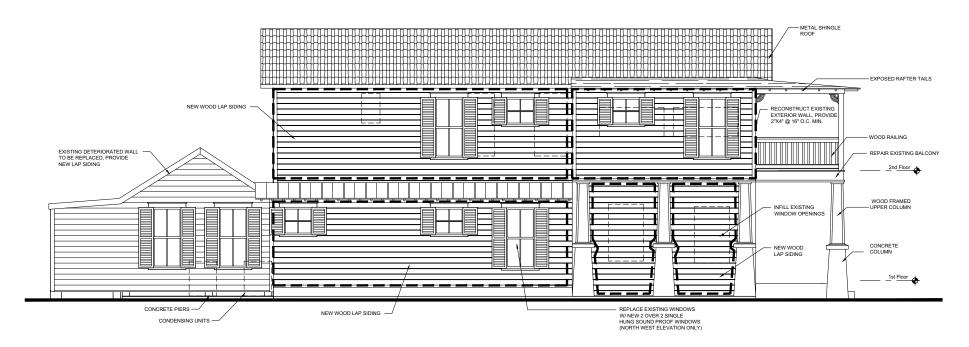
SCALE:1/4"=1'-0"

SCALE:1/4"=1'-0"

#### **EXISTING NORTHWEST ELEVATION**

SCALE:1/4"=1'-0"





# PROPOSED NORTHWEST ELEVATION

SCALE:1/4"=1'-0"

NEW SIDING 04-25-12

IOR

START DATE: 12-08-10

ISSUE DATE: 10-21-11

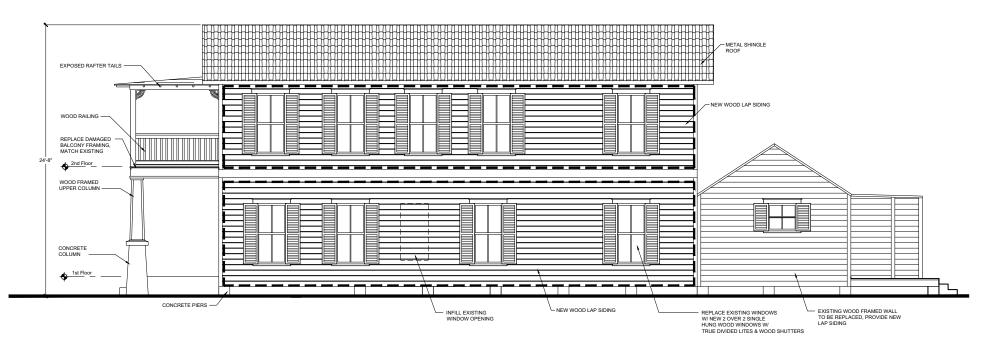
DRAWN: EKM

A-4

#### **EXISTING SOUTHEAST ELEVATION**

SCALE:1/4"=1'-0

NOTES:
- REPLACE EXISTING WINDOWS
THROUGHOUT
PROVIDE NEW LAP SIDING AS
INDICATED
PAINT EXTERIOR, COLOR TO
MATCH EXISTING



# PROPOSED SOUTHEAST ELEVATION

SCALE:1/4"=1'-0"

Sao CRANE BOULEVARD SUGARLOAF KEY, FLORIDA (305) 294-9993

PAUL R. SEMMES P.E.#44137 DATE:\_\_\_\_\_

RESIDENCE INNELL STREET

HOWARD RESIDE

REVISIONS

DECK & BATHROOM MODIFICATION 11-21-11

2 EXTENT OF WALL REPLACEMENT 03-02-12

NEW SIDING 04-25-12

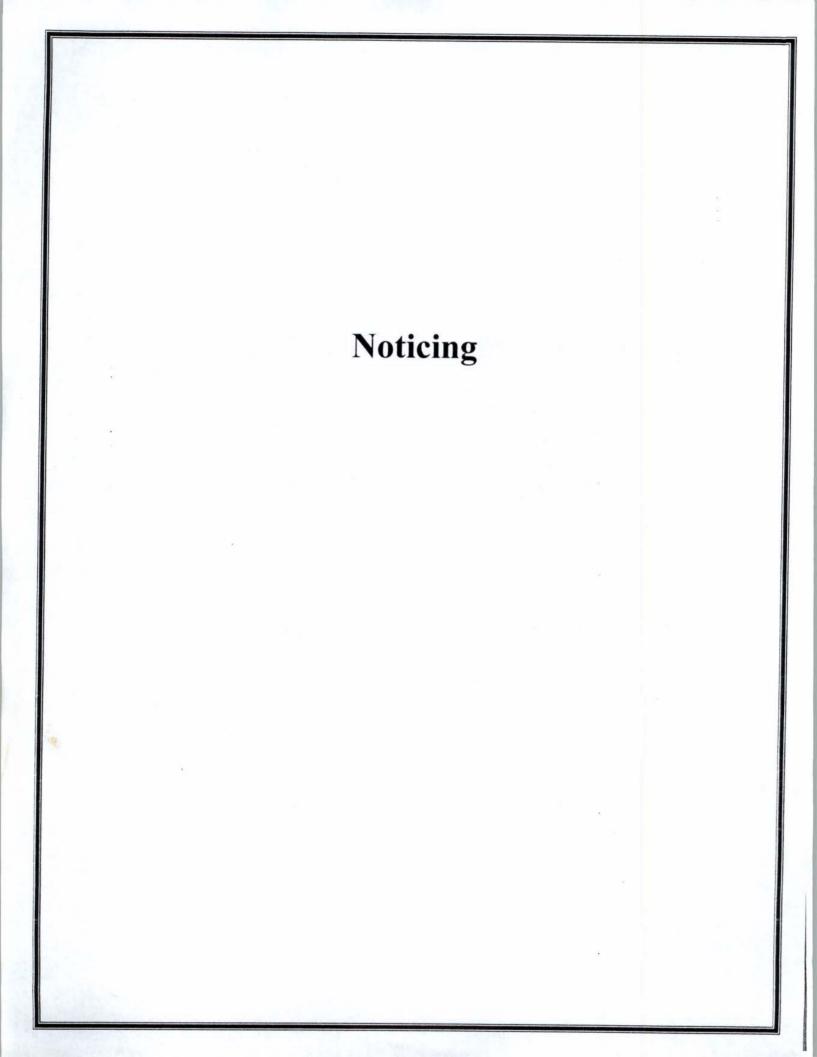
JOB: START DATE: 12-08-10

ISSUE DATE: 10-21-11

DRAWN: EKM

DRAWN: EKN

A-5



The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., May 9, 2012 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

# REPLACE EXISTING SIDING WITH NEW LAP SIDING. PROPOSED WINDOWS ON NORTHWEST SIDE OF HOUSE TO BE SOUNDPROOF

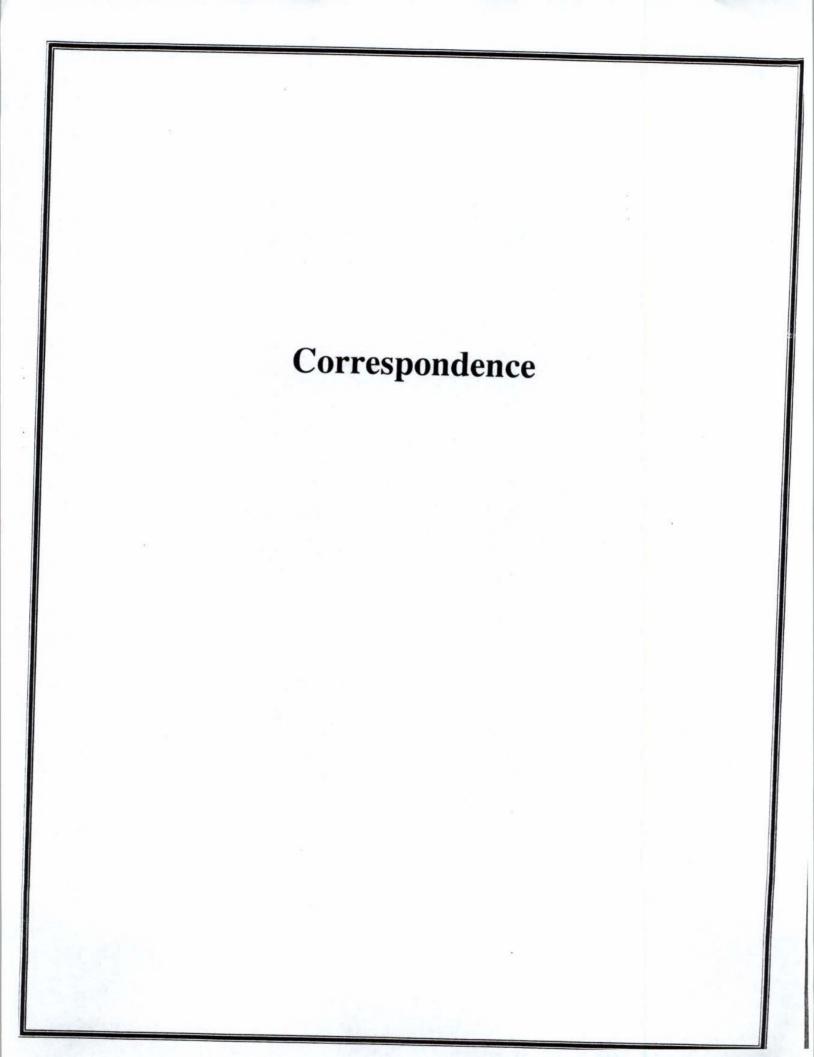
**#1009 GRINNELL STREET** 

Applicant- Seatech of the Florida Keys -

**Application Number H12-01-721** 

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at <a href="https://www.keywestcity.com">www.keywestcity.com</a>.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION





#### Enid Torregrosa <etorregr@keywestcity.com>

#### 1009 grinnell

5 messages

Erik Myers <erikm@seatech.cc>
To: Enid Torregrosa <etorregr@keywestcity.com>

Fri, Apr 27, 2012 at 2:20 PM

Enid,

Updated plans, application, and pictures are being delivered to your office this afternoon for the 1009 grinnell street project. Attached are the 11x17 drawings. Please let us know if you have any questions or comments.

Thanks!

**Erik Myers** 

# SeaTech, Inc.

Navarre (850) 939-3959

Key West (305) 294-9993

Fax (850) 939-3953

1009 GRINNEL 11x17.pdf 374K

Enid Torregrosa <etorregr@keywestcity.com>
To: Erik Myers <erikm@seatech.cc>

Mon, Apr 30, 2012 at 9:35 AM

The proposed 2 over 2 single hung soundproof windows....I need specs (are they wood? true divided? size of muntings?) I need percentage of siding to be replaced...will it be 100%?

Most likely this will go to the Commission because of the siding issues.

Enid

[Quoted text hidden]

Erik Myers <erikm@seatech.cc>
To: Enid Torregrosa <etorregr@keywestcity.com>

Wed, May 2, 2012 at 6:01 PM

Enid,

I have researched the sound proof window issue. The windows will remain 2 over 2 single hung wood windows with true divided lites. The sound proof part is actually a separate system that the client will install on the <u>interior</u> of the window opening. It is not visible from the outside of the building.

As for siding being replaced... I ran the calculations and 90% of the siding will be replaced. The other 10% is existing novelty siding that will be repaired.

Please call me or email me back if you have any questions.

Thanks so much for all your help on this project!

#### Erik Myers

## SeaTech, Inc.

Navarre (850) 939-3959

Key West (305) 294-9993

Fax (850) 939-3953

From: Enid Torregrosa [mailto:etorregr@keywestcity.com]

Sent: Monday, April 30, 2012 9:35 AM

To: Erik Myers

Subject: Re: 1009 grinnell

[Quoted text hidden]

Enid Torregrosa <etorregr@keywestcity.com>
To: Erik Myers <erikm@seatech.cc>

Thu, May 3, 2012 at 10:08 AM

And the 90% of the siding will be replaced because????

Thanks for the info!

Enid

[Quoted text hidden]

Erik Myers <erikm@seatech.cc>

To: Enid Torregrosa <etorregr@keywestcity.com>

Thu, May 3, 2012 at 11:11 AM

The existing siding is damaged & deteriorated...a large majority of it has holes in it that you can see through.

Plus we feel it may be more attractive to have one or two types of siding (lap and novelty) rather than having an assortment of different types of siding all over the house which is the condition it currently is in. As you can see on the elevations and in the pictures the existing home has portions of lap siding, novelty siding, board and batton siding, and a sort of bead board siding.

#### **Erik Myers**

# SeaTech, Inc.

Navarre (850) 939-3959

Key West (305) 294-9993

Fax (850) 939-3953

From: Enid Torregrosa [mailto:etorregr@keywestcity.com]

Sent: Thursday, May 03, 2012 10:08 AM

[Quoted text hidden]

[Quoted text hidden]

Property Appraiser Information

# Karl D. Borglum **Property Appraiser** Monroe County, Florida

office (305) 292-3420 fax (305) 292-3501 Website tested on Internet Explorer

----- GIS Mapping requires Adobe Flash 10.3 or higher. -----

# **Property Record View**

Alternate Key: 1032069 Parcel ID: 00031270-000000

#### **Ownership Details**

Mailing Address:

HOWARD DAVID C 1009 GRINNELL ST KEY WEST, FL 33040

#### **Property Details**

PC Code: 08 - MULTI FAMILY LESS THAN 10UNITS

Millage Group: 10KW Affordable No Housing:

Section-Township-Range: 05-68-25

Property Location: 1009 GRINNELL ST KEY WEST

Legal Description: KW G G WATSON SUB I-209 PT LTS 5-7 SQR 3 TR 13 OR23-245 H3-390 OR5-351/52 OR1014-834

OR1252-584/85 OR1252-586AFF OR1349-2112/14 OR1456-2485 OR1459-931/932C OR2491-1080/81

#### Show Parcel Map - Must have Adobe Flash Player 10.3 or higher

# **Exemptions**

Exemption	Amount
39 - 25000 HOMESTEAD	25,000.00
44 - ADDL HOMESTEAD	25,000.00

#### **Land Details**

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	48	81	5,112.00 SF

# **Building Summary**

Number of Buildings: 1 Number of Commercial Buildings: 0 Total Living Area: 2361

Year Built: 1924

## **Building 1 Details**

Building Type R2 Effective Age 56 Year Built 1924

Functional Obs 0

Condition Parimeter 332
Special Arch 0

Economic Obs 0

Quality Grade 500 Depreciation % 53 Grnd Floor Area 2,361

Inclusions:

R2 includes 2 3-fixture baths and 2 kitchens.

Roof Type GABLE/HIP Heat 1 NONE

Heat Src 1 NONE

Roof Cover METAL Heat 2 NONE Heat Src 2 NONE Foundation WD CONC PADS

Bedrooms 4

**Extra Features:** 

2 Fix Bath 0 3 Fix Bath 0 4 Fix Bath 0 5 Fix Bath 0 6 Fix Bath 0 7 Fix Bath 0 Extra Fix 0 
 Vacuum
 0

 Garbage Disposal
 0

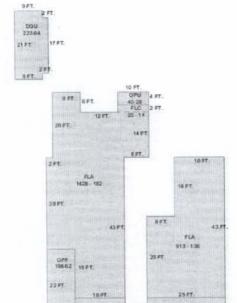
 Compactor
 0

 Security
 0

 Intercom
 0

 Fireplaces
 0

 Dishwasher
 0



#### Sections:

Nbr	Туре	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
0	OPF		1	1933					198
1	FLA	1:WD FRAME	1	1993	N	Ν	0.00	0.00	1,428
2	OPF		1	1993	Ν	Ν	0.00	0.00	112
4	FLA	1:WD FRAME	1	1993	Ν	Ν	0.00	0.00	913
5	OUF		1	1993	Ν	Ν	0.00	0.00	175
6	FLC	1:WD FRAME	1	2003	Ν	Ν	0.00	0.00	20
7	OPU		1	2003	Ν	Ν	0.00	0.00	40
8	DGU	1:WD FRAME	1	2003	N	Ν	0.00	0.00	223

#### **Misc Improvement Details**

Nbr	Туре	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	CL2:CH LINK FENCE	100 SF	0	0	1974	1975	1	30
2	FN2:FENCES	450 SF	0	0	1994	1995	2	30
3	AC2:WALL AIR COND	1 UT	0	0	1994	1995	1	20
4	PT5:TILE PATIO	81 SF	18	5	2003	2004	1	50

#### **Appraiser Notes**

2010-04-22 MLS \$640,000 6/4 CENTRAL OLD TOWN LOCATION, LICENSED AS A DUPLEX. FIRST FLOOR HAS A BONUS IN -LAW UNIT. COULD BE A GRAND SINGLE FAMILY ESTATE WITH GARAGE AND AMPLE OFF STREET PARKING. NEEDS REHABBING WITH THAT SPECIAL TOUCH.DKRAUSE

2004-09-24 - LEFT LETTERS IN 3 MAILBOXES TO HAVE MR. STUBER CALL US SO THAT WE CAN DETERMINE HIS PERCENTAGE. THIS IS POSSIBLY AN R4.

2004-04-22 - OWNER LIVES IN FRONT PORTION OF THE BOTTOM.WMC

2005 APR 05: SPOKE WITH TENANTS. ONLY TWO UNITS FOR RENT. OWNER DOES NOT LIVE THERE. - BKC

TPP 8807864 - RENTAL

## **Building Permits**

Bldg	Number	Date Issued	Date Completed	Amount Description	Notes
	10-3900	12/08/2010		700	DEMO 1ST FLR LIGHTS AND RECEPTACLES, HANG INTERIOR TEMP LIGHT AND POWER
	11-0115	01/19/2011		2,000	REMOVE DADE COUNTY PINE WALL AND REPLACE WITH SHEETROCK
	9800341	02/04/1998	09/19/2003	2,000	SERVICE TO CODE & METER

# **Parcel Value History**

Certified Roll Values.

View Taxes for this Parcel.

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	204,999	1,423	200,397	406,819	406,819	25,000	381,819
2010	209,191	1,481	165,797	376,469	376,469	0	376,469
2009	229,880	1,539	309,780	541,199	541,199	0	541,199
2008	212,055	1,612	434,520	648,187	648,187	0	648,187
2007	291,653	1,662	587,880	881,195	881,195	0	881,195
2006	377,550	1,739	408,960	704,349	704,349	0	704,349
2005	376,475	1,833	306,720	685,028	685,028	0	685,028
2004	289,909	1,912	306,720	598,541	598,541	25,000	573,541
2003	291,295	4,620	117,576	413,491	413,491	0	413,491
2002	259,854	4,818	117,576	382,248	382,248	0	382,248
2001	222,415	4,943	117,576	344,934	344,934	0	344,934
2000	203,303	7,003	86,904	297,210	297,210	0	297,210

1999	169,232	6,989	86,904	263,125	263,125	0	263,125
1998	143,220	5,892	86,904	236,016	236,016	0	236,016
1997	123,228	5,486	76,680	205,394	205,394	25,000	180,394
1996	84,760	4,103	76,680	165,543	165,543	0	165,543
1995	85,960	2,710	76,680	165,349	163,147	25,000	138,147
1994	76,875	2,495	78,120	157,489	157,489	25,000	132,489
1993	70,806	135	78,120	149,061	149,061	25,000	124,061
1992	86,384	135	78,120	164,639	164,639	25,000	139,639
1991	86,384	135	78,120	164,639	164,639	25,000	139,639
1990	80,171	135	53,382	133,689	133,689	25,000	108,689
1989	46,094	123	52,080	98,297	98,297	0	98,297
1988	37,854	123	41,664	79,641	79,641	25,000	54,641
1987	37,398	123	31,248	68,769	68,769	25,000	43,769
1986	37,607	123	31,248	68,978	68,978	25,000	43,978
1985	36,473	123	18,835	55,431	55,431	25,000	30,431
1984	33,979	123	18,835	52,937	52,937	25,000	27,937
1983	33,979	123	18,835	52,937	52,937	25,000	27,937
1982	34,671	123	16,324	51,118	51,118	25,000	26,118

# **Parcel Sales History**

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
11/5/2010	2491 / 1080	500,000	WD	02
4/1/1997	1456 / 2485	270,000	WD	Q
4/1/1995	1349 / 2112	170,000	WD	Q

This page has been visited 5,710 times.

Monroe County Property Appraiser Karl D. Borglum P.O. Box 1176 Key West, FL 33041-1176