



Staff Report for Item 8

To: Chairman Bryan Green and Historic Architectural Review
Commission Members

From: Kelly Perkins
HARC Assistant Planner

Meeting Date: November 16, 2015

Applicant: Thomas E. Pope

Application Number: H15-01-1676

Address: #6 Pinder Lane

Description of Work:

New one-story accessory structure. New swimming pool and site improvements.

Site Facts:

#6 Pinder Lane listed as a contributing resource and was constructed c.1923 according to the survey. The two-story, frame vernacular house is situated on a large interior lot and has been heavily altered over the years.

Guidelines Cited in Review:

Decks, Patios, Hot Tubs, & Pools (pages 39-40), specifically guidelines 3, 5, and 6.

Outbuildings: Carports, Gazebos, Garages, Sheds, Shelters, & Accessory Structures (pages 40-41), specifically guidelines 1, 2, 3, 4, 9, and 11.

Staff Analysis

This Certificate of Appropriateness proposes constructing an accessory structure in the rear of this interior lot. The proposed building will be one-story with a height of 15 feet, 3 inches. It will be much shorter than the contributing house. It will have cedar board and batten siding with 2/2 wood windows and v-crimp metal roof.

Other site improvements involve a new swimming pool in place of the old one and a new outdoor shower. The fence work indicated on the site plan has been withdrawn from the application and is not under review.

Consistency with the Guidelines

1. The guidelines state that outbuildings should be compatible with the principal structure on the lot in terms of materials, detailing, color, style design, height, scale, and massing. The proposed accessory structure is compatible in design to the contributing structure, and is much smaller in mass, height, and scale compared to the contributing house and adjacent structures.
2. The new swimming pool is located where the current swimming pool is, and as the lot is interior, it will not be publicly visible from any right-of-way.

Staff feels that the proposed structure is consistent with the guidelines in regards to outbuildings and swimming pools.

APPLICATION

Bldg / HARC

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER 15-01-1676		BUILDING PERMIT NUMBER 15-4457		INITIAL & DATE
FLOODPLAIN PERMIT			REVISION #	
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %	

ADDRESS OF PROPOSED PROJECT:	6 Pinder Lane		# OF UNITS
RE # OR ALTERNATE KEY:	00008180-000000		
NAME ON DEED:	William J. Marraccini	PHONE NUMBER	
OWNER'S MAILING ADDRESS:	111 Bowne Road	EMAIL	
	Rumson, NJ 07760		
CONTRACTOR COMPANY NAME:		PHONE NUMBER	
CONTRACTOR'S CONTACT PERSON:	BY: <i>[Signature]</i>	EMAIL	
ARCHITECT / ENGINEER'S NAME:	Thomas E. Pope	PHONE NUMBER	
ARCHITECT / ENGINEER'S ADDRESS:	610 White Street	EMAIL tepopepa@aol.com	
	Key West, FL 33040		

OCT 27 2015

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT: _____

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE:	<input type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input type="checkbox"/> ADDITION	<input type="checkbox"/> SIGNAGE	<input type="checkbox"/> WITHIN FLOOD ZONE	_____
	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> SITE WORK	<input type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., New wood single - story pool house / cabana, replace existing pool with new pool, new walkways and ~~fence per plans~~.

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:	
OWNER PRINT NAME:	QUALIFIER PRINT NAME:
OWNER SIGNATURE:	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualifier:
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20_____.
Personally known or produced _____ as identification.	Personally known or produced _____ as identification.

47758-10703

Bldg APP Fee \$0

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW

SQ. FT. OF EACH SIGN FACE: _____

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
A / C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.
ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE. OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
New wood single - story pool house / cabana		wood
Replace existing pool with new pool		
Walkways and Fencing per plans		

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

Oper: KEYWBLD Type: BP Drawer: 1
Date: 10/28/15 50 Receipt no: 2343
2015 1001676
PT * BUILDING PERMITS-NEW
1.00 \$100.00
Trans number: 3071458
CK CHECK 14260 \$100.00
Trans date: 10/27/15 Time: 16:55:21

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO. <input type="checkbox"/>
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS: <i>Fence work withdrawn</i>			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

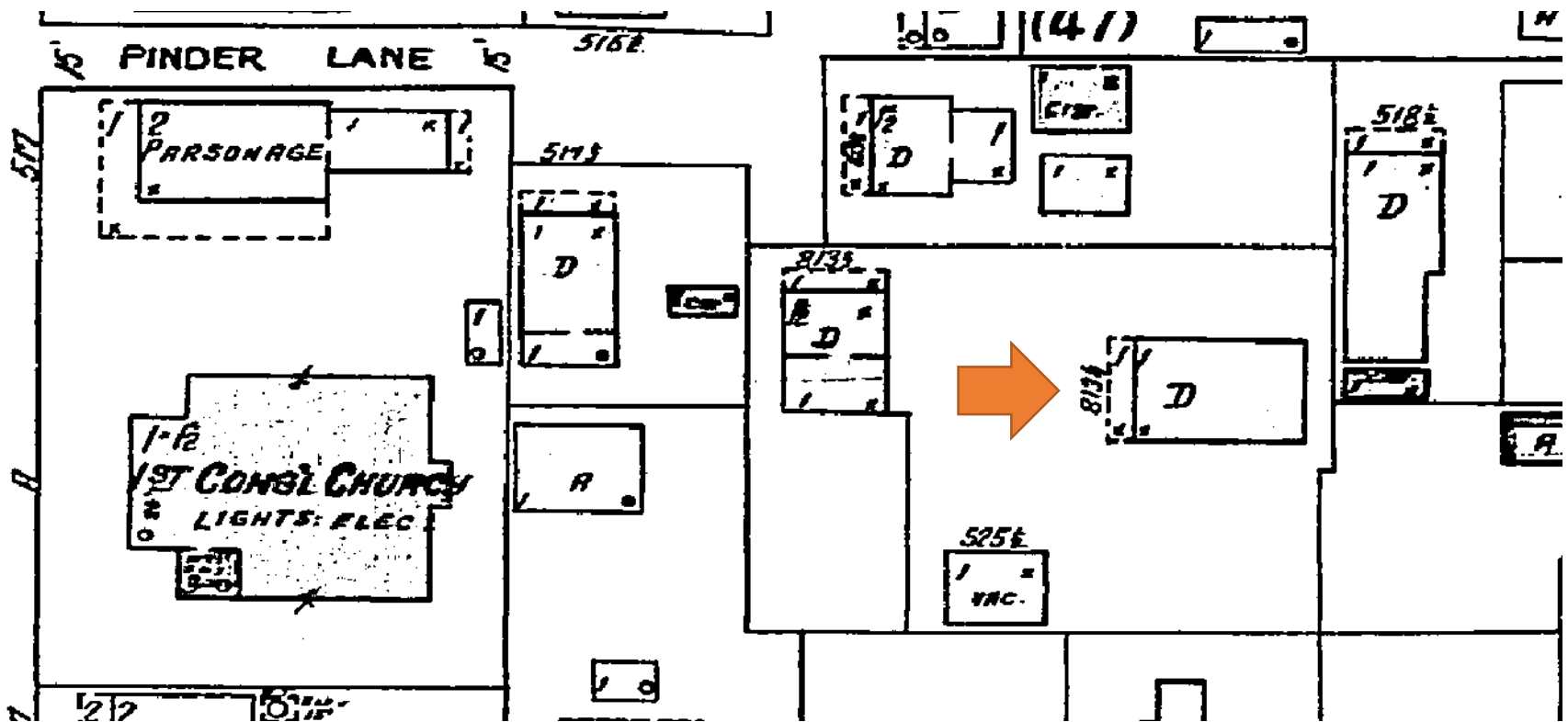
FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

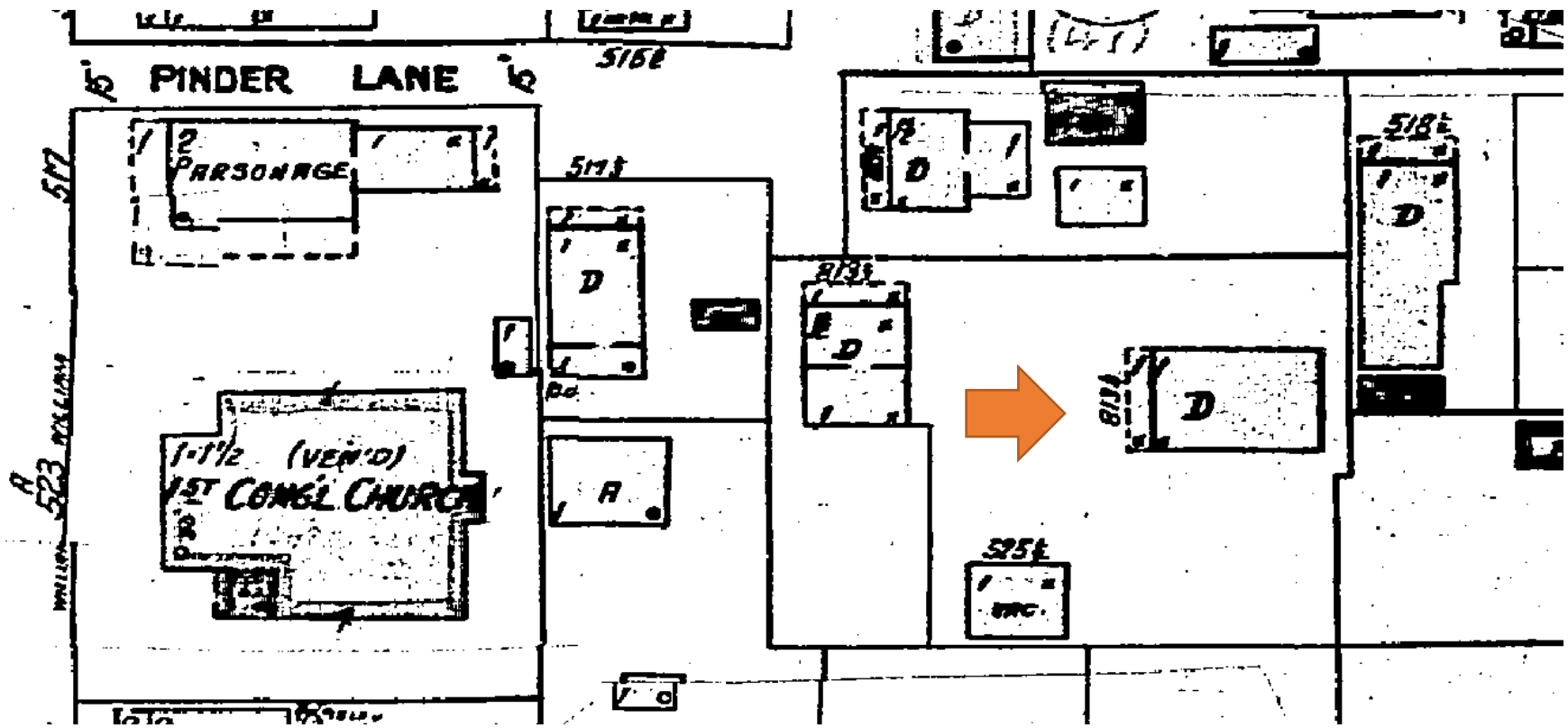
FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

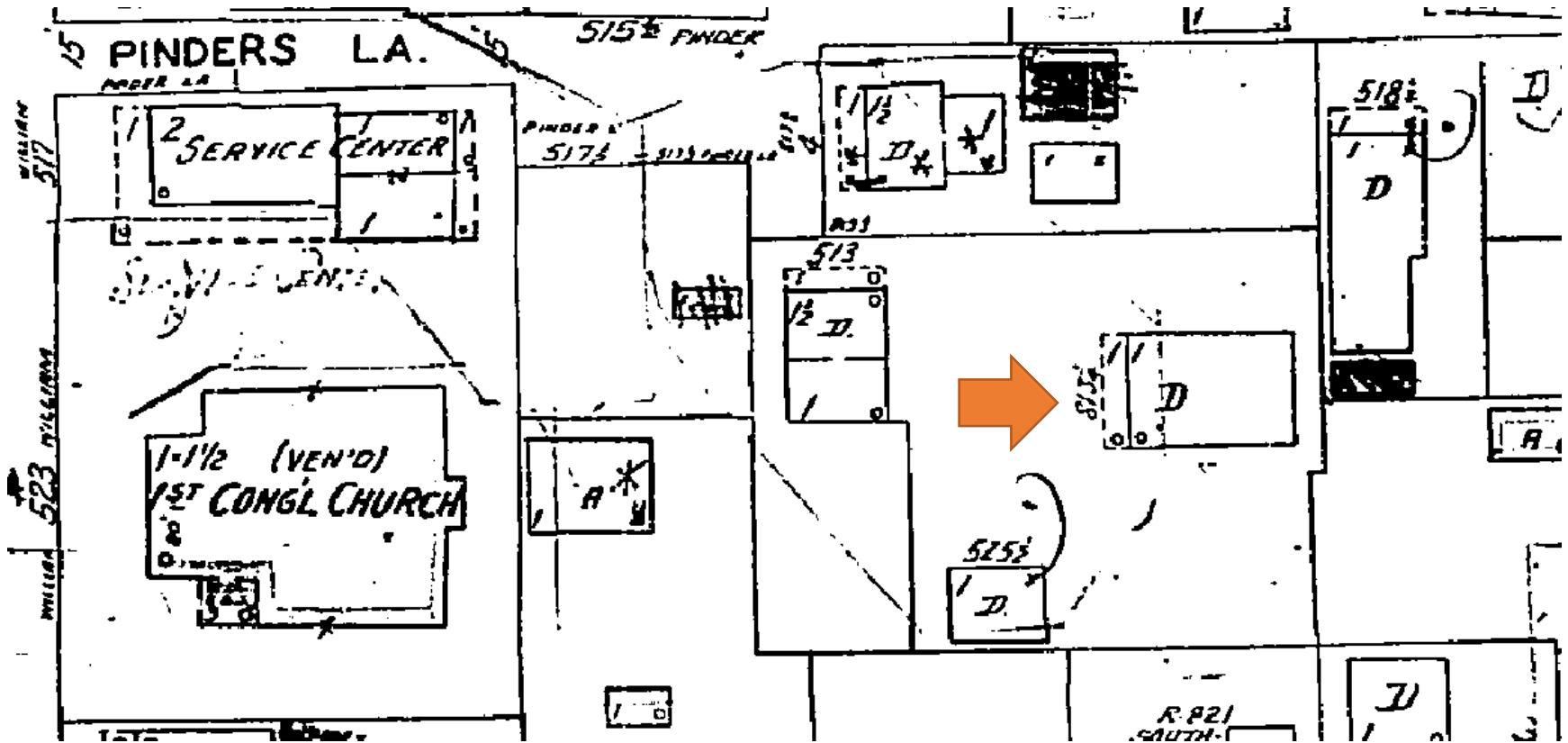
SANBORN MAPS



1926 Sanborn Map



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS

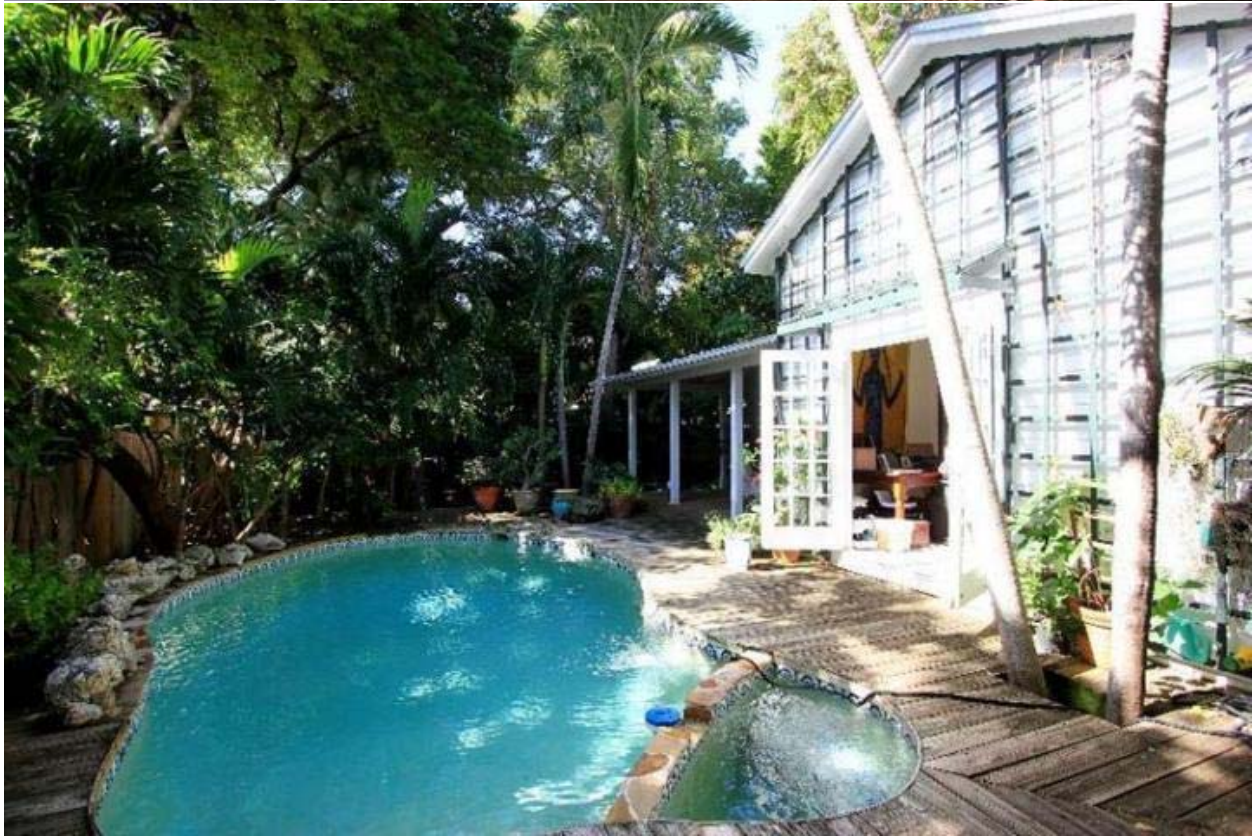


Property Appraiser's Photo, c.1965. Monroe County Public Library.











SURVEY

Boundary Survey Map of part of Lots 1 & 4, Square 47, Island of Key West

William St.

Margaret St.

LEGEND

- Found 1/2" Iron Pipe (No ID)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (RER) (PTS)
- ▲ Found Nail & Disc (RER)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊙ Wood Utility Pole
- ⊗ Concrete Utility Pole
- P- Overhead Utility Lines

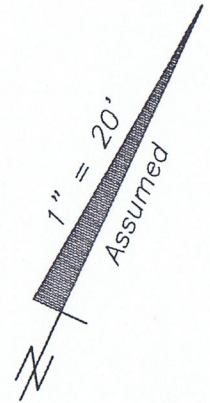
NOTE:
This Survey Map is not full and complete without the attached Survey Report.

Sheet One of Two Sheets

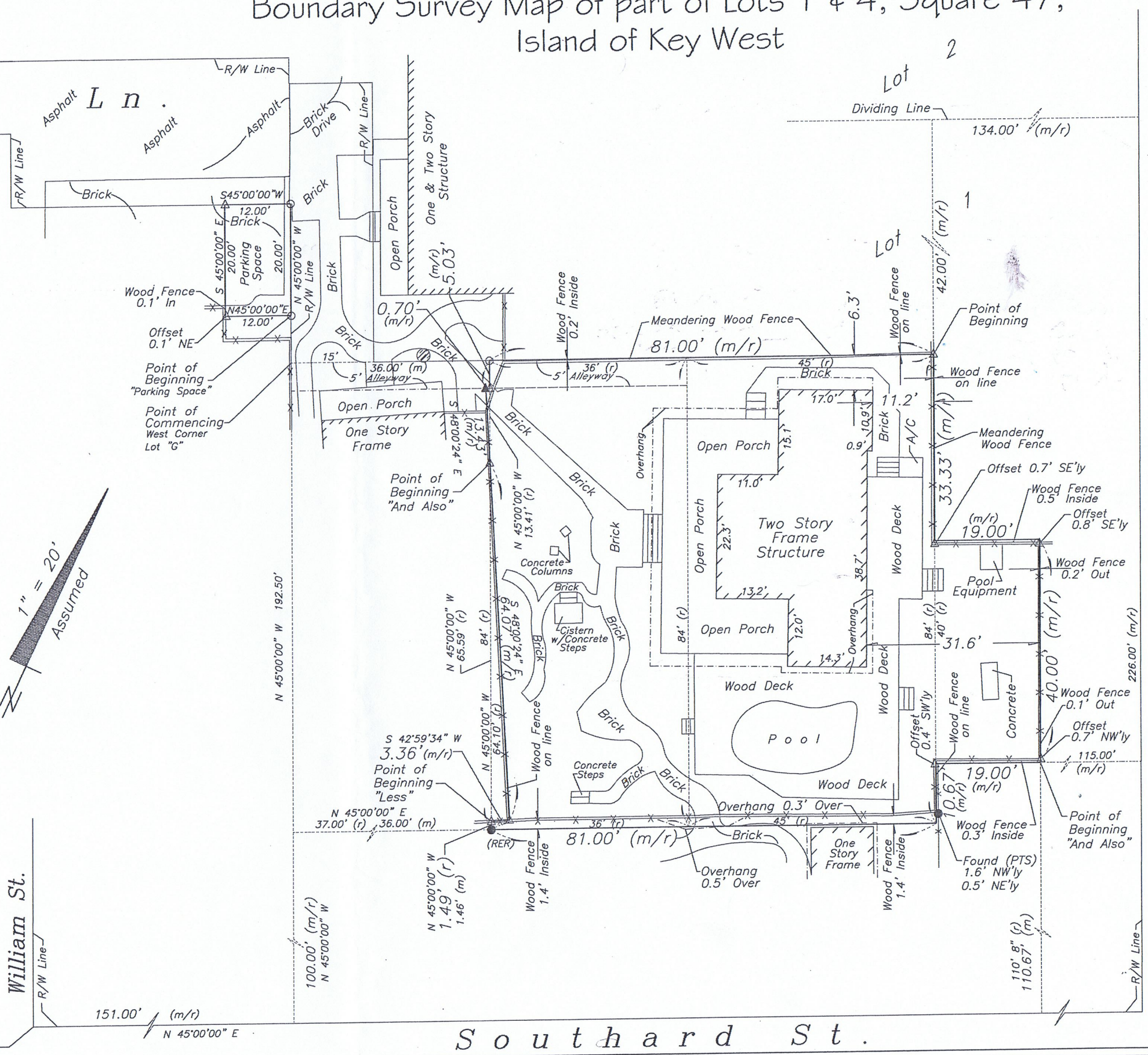
J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244



Point of Commencing



Southard St.

Boundary Survey Report of part of Lots 1 & 4, Square 47, Island of Key West

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 6 Pinder Lane, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. Bearings are assumed and based on the NW'ly R/W line of Southard St., as N 45°00'00" E.
8. Date of field work: March 7, 2015 and June 12, 2015.
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. The Survey Report is not full and complete without the attached Survey Map.

BOUNDARY SURVEY OF: On the Island of Key West, known on William A. Whitehead's map delineated in February, A.D. 1829, as a part of Lot One in Square Forty-Seven and particularly described by metes and bounds as follows: COMMENCING at a point in said Lot One, distant One Hundred and Thirty-four (134) feet from Margaret Street and Forty-two (42) feet from the dividing line between Lots One and Two in said Square Forty-seven, and from said starting point run thence in a Southeasterly direction, and parallel with Margaret Street a distance of Eighty-four (84) feet; thence run at right angles in a Southwesterly direction a distance of Forty-five (45) feet; thence run at right angles in a Northwesterly direction a distance of Eighty-four (84) feet; thence run at right angles in a Northeasterly direction a distance of Forty-five (45) feet to the Point of Beginning together with the right of way over an alley way five (5) feet wide affording a passageway out to William Street.

ALSO: On the Island of Key West, part of Lots One and Four (1 & 4) of Square numbered Forty-seven (47) according to W.A. Whitehead's Map of said City but better known and described according to C.W. Tift's Map of Key West as a part of Lot in said Square Forty-seven (47) marked "G" and commencing at a point on North West line or boundary of said Lot Thirty-five (35) feet from the West corner of said Lot (being the corner nearest the alleyway leading in from William Street) and running along North West boundary line of said Lot "G" in a North East direction Thirty-six (36) feet; thence in a South East direction Eighty-four (84) feet; thence in a South West direction Thirty-six (36) feet; thence in a North West direction Eighty-four (84) feet to the Point of Beginning; subject to an alleyway of five feet wide and extending along the entire Northwest line or front of said Lot "G" which is reserved and dedicated as a right of way for the use and benefit of the said party of the second and other owners and occupants of said Lot "G" or any part thereof.

LESS AND EXCEPT;

On the Island of Key West, Part of Lot 4, Square 47, according to William A. Whitehead's Map of said Island delineated in February A.D. 1829: COMMENCING at the intersection of the Northeasterly right-of-way line of William Street and the Northwesterly right-of-way line of Southard Street and running thence on the said Northwesterly right-of-way line of the said Southard Street on an assumed bearing of N 45°00'00" E a distance of 151.00 feet; thence bear N 45°00'00" W a distance of 100.00 feet to a point; thence bear N 45°00'00" E a distance of 37.00 feet; thence N 45°00'00" W for a distance of 1.49 feet to the Point of Beginning; thence continue N 45°00'00" W for a distance of 64.10 feet; thence S 48°00'24" E for a distance of 64.07 feet; thence S 42°59'34" W for a distance of 3.36 feet back to the Point of Beginning, containing 108 square feet, more or less.

AND ALSO;

On the Island of Key West, Part of Lot 4, Square 47, according to William A. Whitehead's Map of said Island delineated in February A.D. 1829: COMMENCING at the intersection of the Northeasterly right-of-way line of William Street and the Northwesterly right-of-way line of Southard Street and running thence on the said Northwesterly right-of-way line of the said Southard Street on an assumed bearing of N 45°00'00" E a distance of 151.00 feet; thence bear N 45°00'00" W a distance of 100.00 feet to a point; thence bear N 45°00'00" E a distance of 37.00 feet; thence N 45°00'00" W for a distance of 65.59 feet to the Point of Beginning; thence continue N 45°00'00" W for a distance of 13.41 feet; thence S 45°00'00" W for a distance of 0.70 feet; thence S 48°00'24" E for a distance of 13.43 feet back to the Point of Beginning, containing 5 square feet, more or less.

AND ALSO;

On the Island of Key West, and known on William A. Whitehead's map of said Island delineated in February, A.D. 1829, as part of Lot 1 in Square 47: COMMENCING at a point in said Lot 1 distant 115 feet from Margaret Street and 110 feet and 8 inches from Southard Street; thence in a Northwesterly direction and parallel to Margaret Street 40 feet; thence at right angles in a Southwesterly direction 19 feet; thence at right angles in a Southeasterly direction 40 feet; thence at right angles in a Northeasterly direction 19 feet back to the Place of Beginning.

PROPOSED 6 PINDER LANE PARKING SPACE: (Authored by the undersigned)

On the Island of Key West, Part of Lot 4, Square 47, according to William A. Whitehead's Map of said Island delineated in February A.D. 1829: COMMENCING at the intersection of the Northeasterly right-of-way line of William Street and the Northwesterly right-of-way line of Southard Street and running thence on the said Northwesterly right-of-way line of the said Southard Street on an assumed bearing of N 45°00'00" E a distance of 151.00 feet; thence bear N 45°00'00" W a distance of 192.50 feet to the Point of Beginning; thence continue N 45°00'00" W for a distance of 20.00 feet; thence S 45°00'00" W for a distance of 12.00 feet; thence S 45°00'00" E for a distance of 20.00 feet; thence N 45°00'00" E for a distance of 12.00 feet back to the Point of Beginning.

BOUNDARY SURVEY FOR: William J. Marraccini;
Stones & Cardenas;
Chicago Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

J. LYNN O'FLYNN, INC.

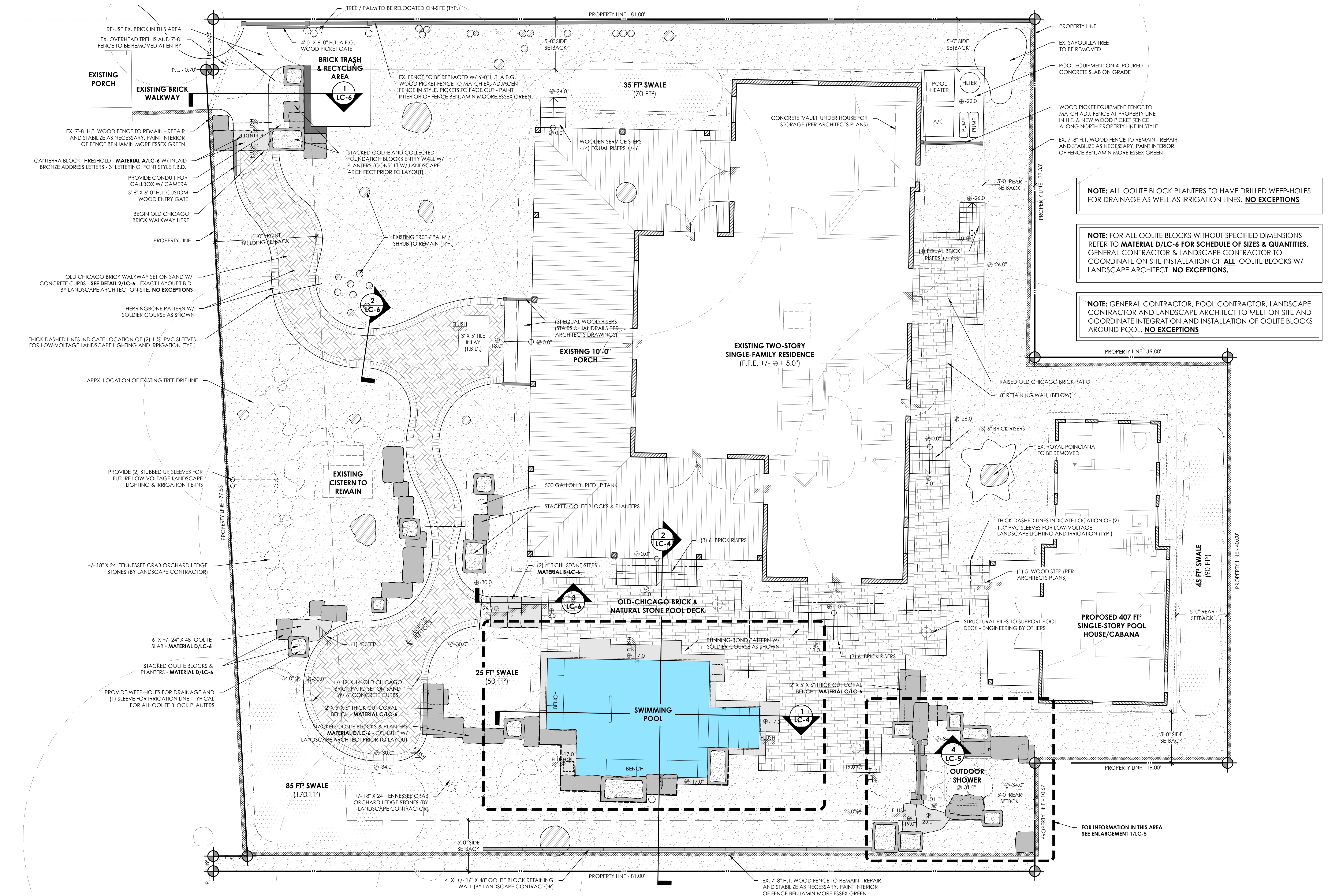
J. Lynn O'Flynn, PSM
Florida Reg. #6298

March 25, 2015

Updated to show bricking/overhangs 6/15/15

THIS SURVEY
IS NOT
ASSIGNABLE

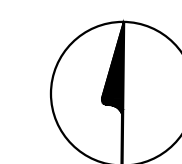
PROPOSED DESIGN

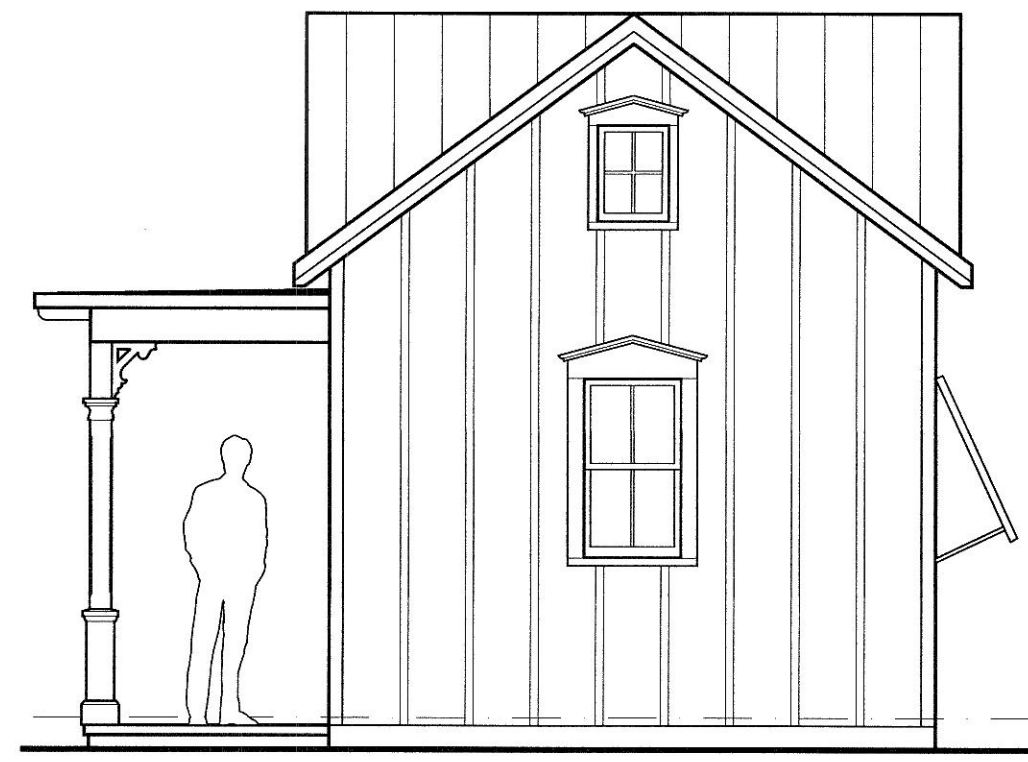


NOTE: ALL OOLITE BLOCK PLANTERS TO HAVE DRILLED WEEP-HOLES FOR DRAINAGE AS WELL AS IRRIGATION LINES. **NO EXCEPTIONS**

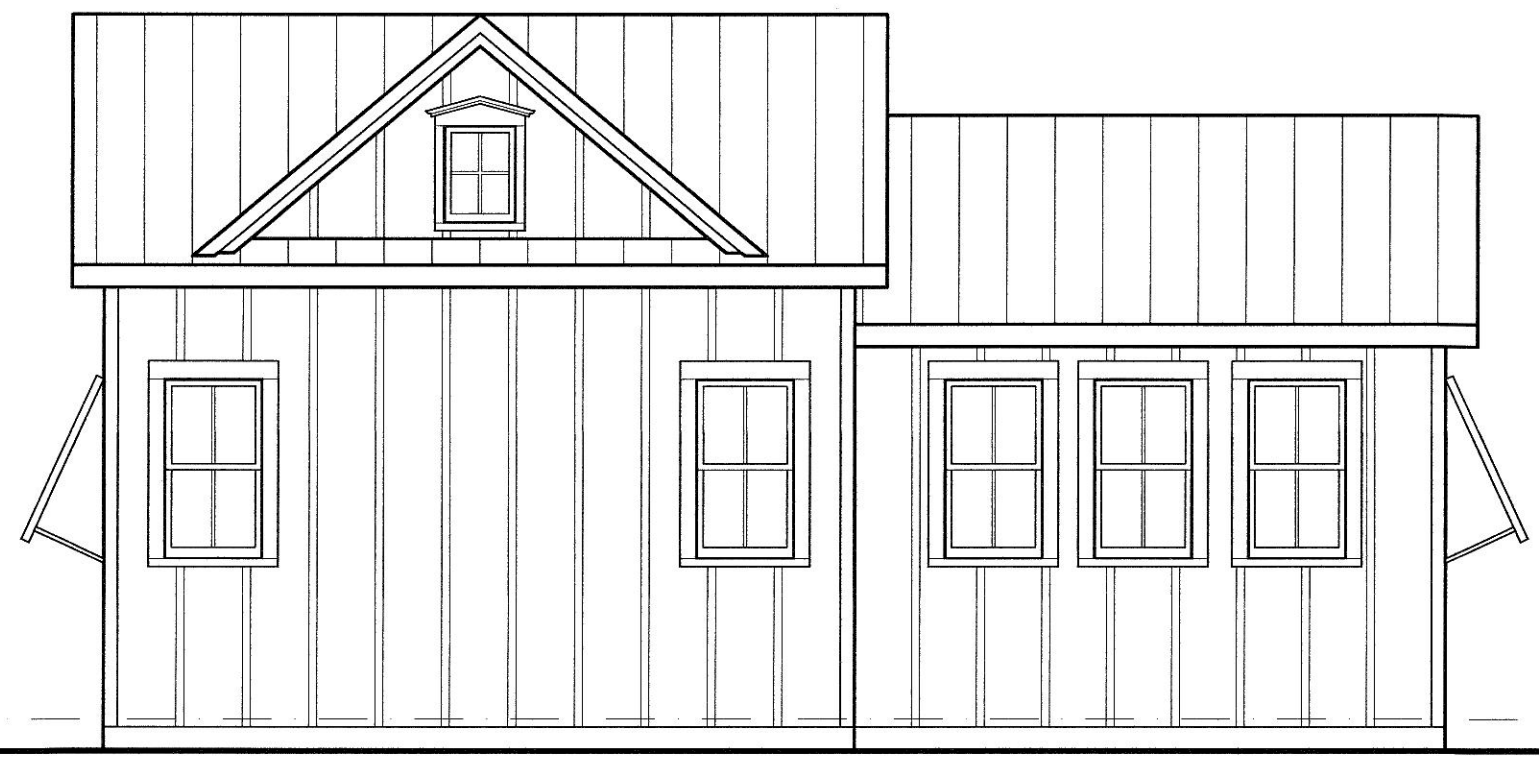
NOTE: FOR ALL OOLITE BLOCKS WITHOUT SPECIFIED DIMENSIONS REFER TO **MATERIAL D/LC-6** FOR SCHEDULE OF SIZES & QUANTITIES. GENERAL CONTRACTOR & LANDSCAPE CONTRACTOR TO COORDINATE ON-SITE INSTALLATION OF ALL OOLITE BLOCKS W/ LANDSCAPE ARCHITECT. **NO EXCEPTIONS.**

NOTE: GENERAL CONTRACTOR, POOL CONTRACTOR, LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT TO MEET ON-SITE AND COORDINATE INTEGRATION AND INSTALLATION OF OOLITE BLOCKS AROUND POOL. **NO EXCEPTIONS**

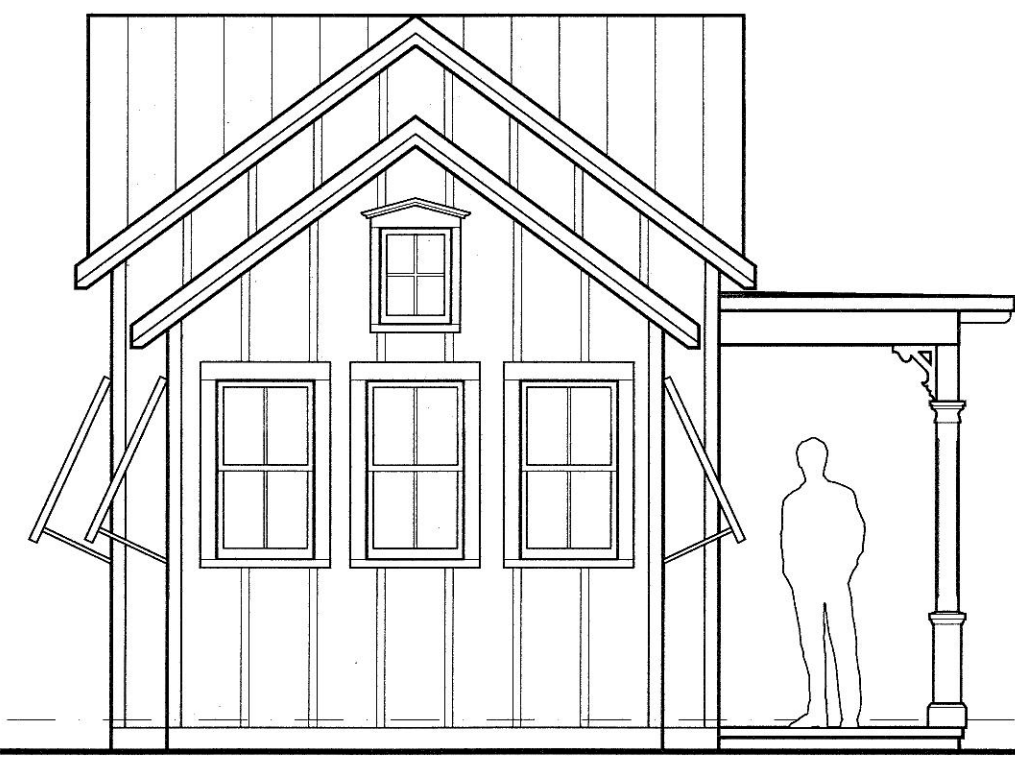




SIDE ELEVATION w/o SHUTTERS (NORTHWEST)
SCALE: 1/4" = 1'-0"



REAR ELEVATION w/o SHUTTERS (NORTHEAST)
SCALE: 1/4" = 1'-0"

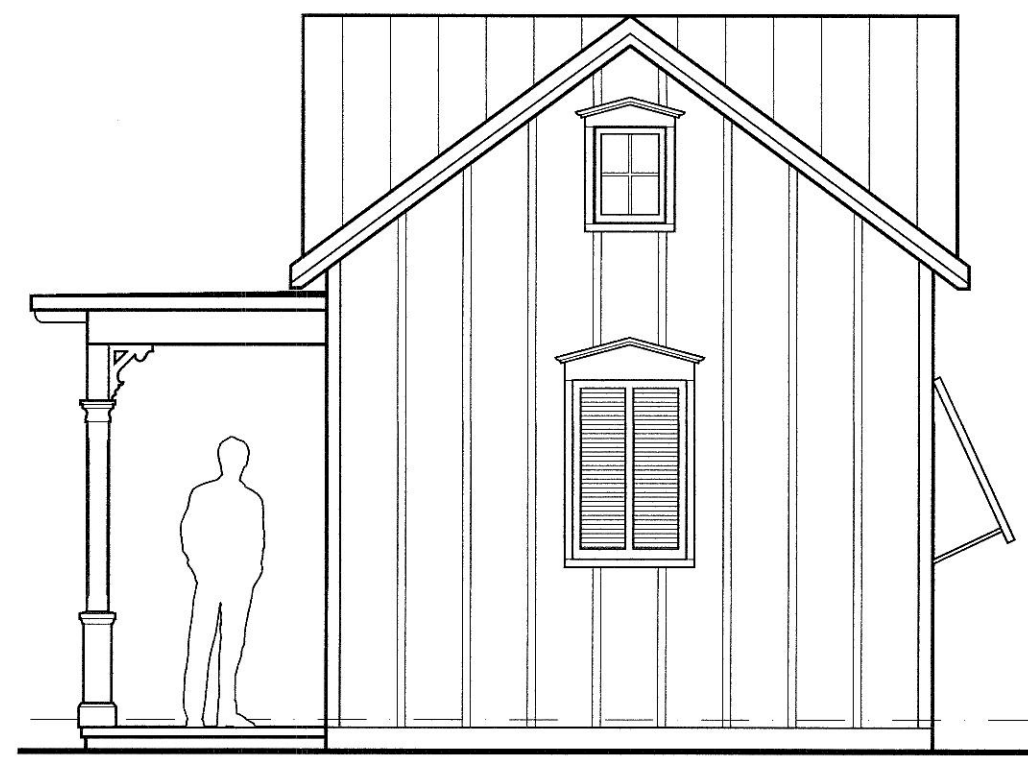


SIDE ELEVATION w/o SHUTTERS (SOUTHEAST)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION w/o SHUTTERS (SOUTHWEST)
SCALE: 1/4" = 1'-0"

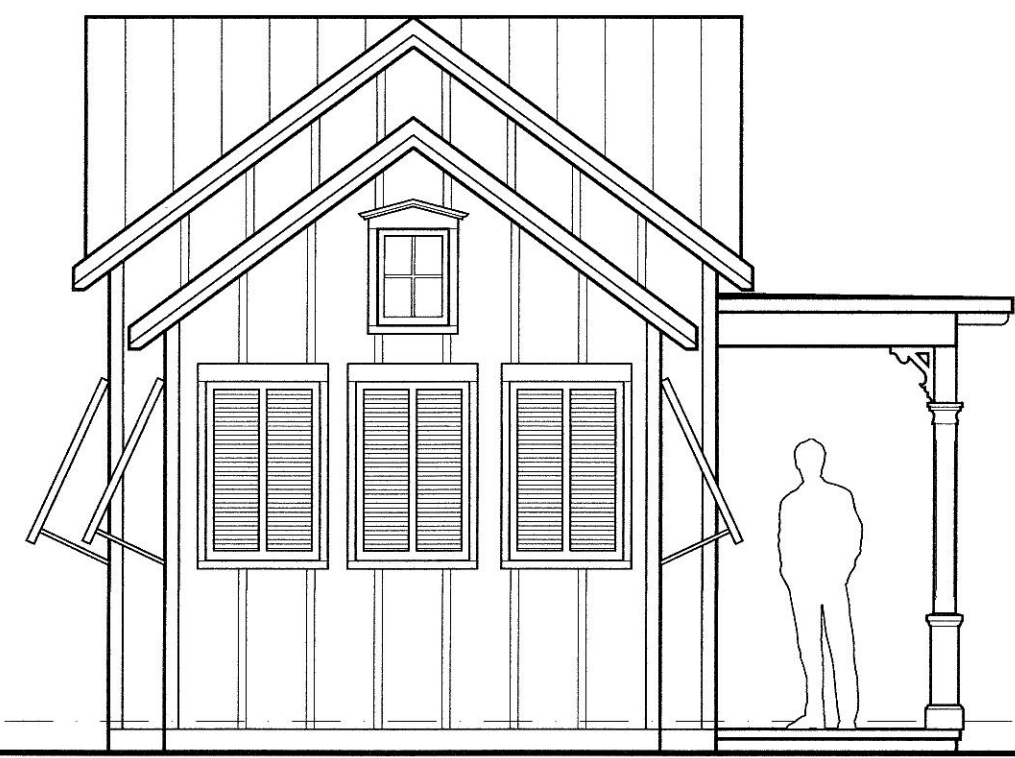
- REFERENCE DATUM
MAN HOUSE FIRST FLOOR
FFE. + 5'-0"
- GUEST COTTAGE
TO FINISH FLOOR
FFE. + 10'-0"
- PORCH ELEVATION
EL. + 10'-0"
- PATH ELEVATION
EL. + 10'-0"



SIDE ELEVATION (NORTHWEST)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (NORTHEAST)
SCALE: 1/4" = 1'-0"



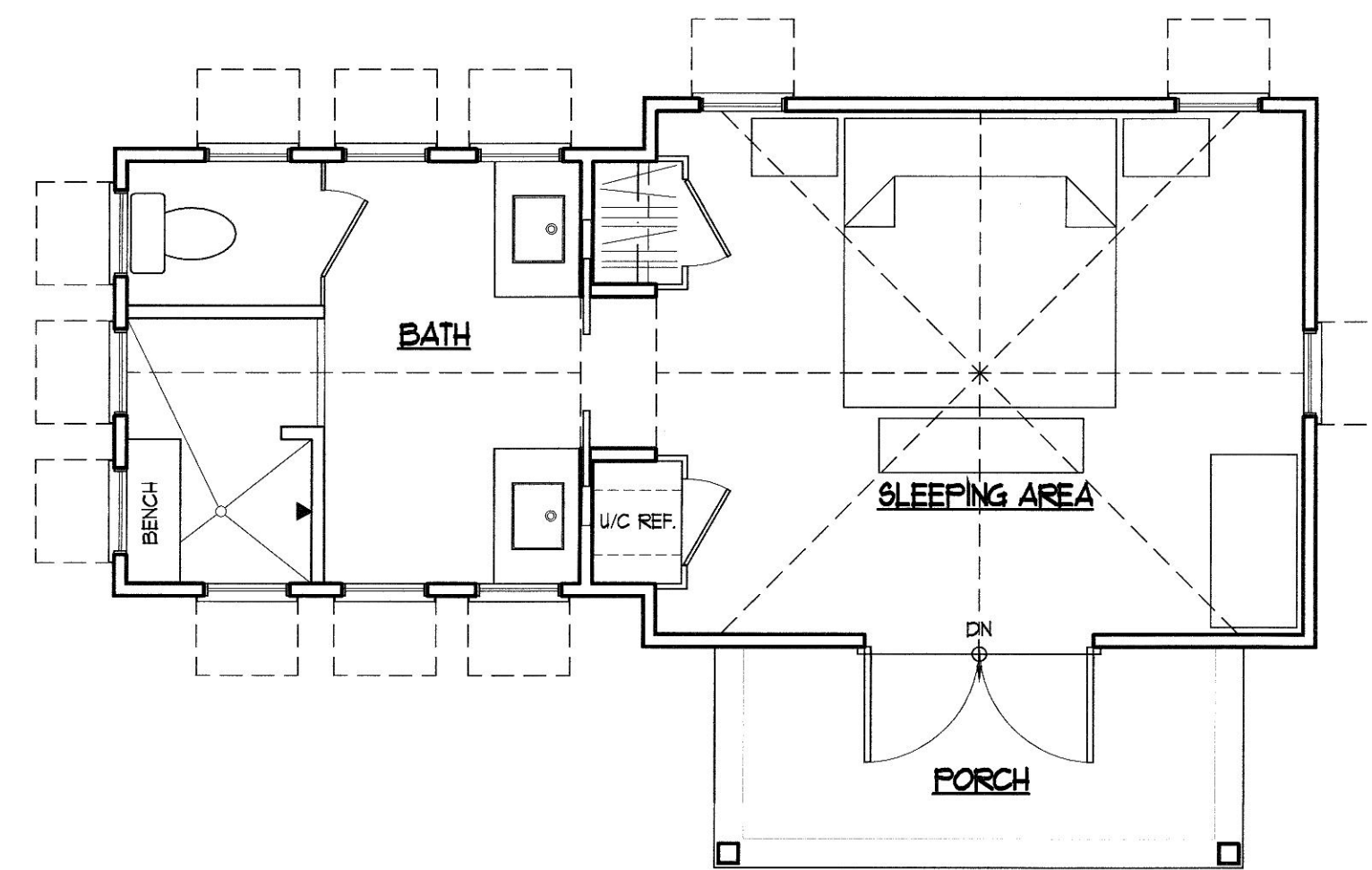
SIDE ELEVATION (SOUTHEAST)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (SOUTHWEST)
SCALE: 1/4" = 1'-0"

LOUVERED PAINTED
MAHOGANY BAHAMA
SHUTTERS PAINTED
WOOD DOUBLE HUNG
WINDOWS, TYP.

- V-CRIMP METAL ROOF
- FIXED PAINTED WOOD
GABLE WINDOW
- NEW 6" COLUMN
w/8" PEDESTAL
PAINTED WOOD
w/PAINTED WOOD
BRACKETS, TYP.
- BUILDING HEIGHT
9'-3"
- RUNNING TRIM PAINTED
WESTERN RED CEDAR
SIDING - BOARD + BATTEN
- REFERENCE DATUM
MAN HOUSE FIRST FLOOR
FFE. + 5'-0"
- GUEST COTTAGE
TO FINISH FLOOR
FFE. + 10'-0"
- PORCH ELEVATION
EL. + 10'-0"
- PATH ELEVATION
EL. + 10'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Marraccini Residence
Key West, FL
6 Pinder Ln

THOMAS E. POPE, P.A. ARCHITECT
610 White Street, Key West FL
(305) 296 3611
TEPopePA@aol.com

date:
07/24/15
revision:

sheet:
A1.0



SIDE ELEVATION (SOUTHEAST)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (SOUTHWEST)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (NORTHEAST)
SCALE: 1/4" = 1'-0"



SIDE ELEVATION (NORTHWEST)
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE 2010 FLORIDA BUILDING CODE, MONROE COUNTY AND CITY OF KEY WEST STANDARDS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS OF THE ASCE 7-10. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE PLANS, CODES, AND ORDINANCES, MANUFACTURER'S RECOMMENDATIONS, THE ENGINEERING REQUIREMENTS, AND ACCEPTABLE TRADE PRACTICES. IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL LIFE SAFETY CODES. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THESE CODES AND SHALL BUILD ACCORDINGLY. IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
- WHERE A CONFLICT OR AMBIGUITY EXISTS BETWEEN A CONTRACTOR'S UNDERSTANDING OF A CODE AND THE DRAWINGS AND SPECIFICATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CEASE WORK ON THE ITEM IN QUESTION AND NOTIFY THE LANDSCAPE ARCHITECT IN A MANNER THAT WILL ALLOW A TIMELY RESOLUTION.
- PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOBSITE.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, MONROE COUNTY CODE, AND CITY OF KEY WEST CODE SUPPLEMENT (AS APPLICABLE).
- ALL WORK SHALL BE PERFORMED TO THE BEST TRADE STANDARDS. ALL CONSTRUCTION IS TO BE PLUMB, SQUARE, LEVEL, AND FREE OF DEFECTS OR OBSTRUCTIONS UNLESS OTHERWISE NOTED ON THE PLANS. ALL MATERIAL IS TO BE NEW; ALL WOOD IS TO BE PRESSURE TREATED UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO DIGGING.
- ALL DEBRIS FROM CONSTRUCTION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A SAFE MANNER IN ADHERENCE TO ALL APPLICABLE LAWS. RESTORE SITE TO ORIGINAL CONDITION.
- FURNISH A RECEIPT ON SITE TO CONTAIN CONSTRUCTION DEBRIS AND MAINTAIN THE SITE IN AN ORDERLY MANNER TO ENSURE PUBLIC SAFETY AND PREVENT BLOWING DEBRIS.
- COMPLY WITH ALL REQUIREMENTS FOR SELECTIVE DEMOLITION AS SPECIFIED, CALLED FOR, OR REVIEWED ON SITE WITH LANDSCAPE ARCHITECT.
- WHERE A CONFLICT OR AMBIGUITY EXISTS ON THE DRAWINGS DURING BIDDING, LAYOUT, AND/OR IMPLEMENTATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CEASE WORK ON THE ITEM IN QUESTION AND NOTIFY THE LANDSCAPE ARCHITECT IN A MANNER THAT WILL ALLOW A TIMELY RESOLUTION. NO EXCEPTIONS.
- DRAWINGS AND SPECIFICATIONS ARE TO BE USED TOGETHER. CONTRACTORS AND WORKERS SHALL CONSULT EACH WHEN QUESTIONS CONCERNING THE LETTER AND/OR INTENT OF THE DESIGN ARISE.
- DRAWING SHALL NOT BE SCALED WITHOUT PERMISSION OF THE LANDSCAPE ARCHITECT. WHERE ERRORS OR INCONSISTENCIES EXIST REGARDING DIMENSIONS ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FOR A RESOLUTION BEFORE PROCEEDING. CONTRACTORS SHALL NOT DEVIATE FROM THESE PLANS WITHOUT THE PERMISSION OF THE LANDSCAPE ARCHITECT. ANY INFORMATION THAT CANNOT BE OBTAINED FROM DIMENSIONS, DETAILS, OR SCHEDULES SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
- CONTRACTOR RESPONSIBLE FOR INSTALLING/CREATING SWALES AS SHOWN ON PLANS AND INCLUDE IN REVIEW WITH BUILDING INSPECTORS AS PART OF FINAL INSPECTION AND/OR INSPECTION FOR CERTIFICATE OF OCCUPANCY.

END

GENERAL CONCRETE NOTES:

- CONCRETE CONTRACTOR TO INCLUDE PERMITTING, PERMIT FEES, NOTICE OF COMMENCEMENT, INSPECTIONS, ETC. AS PART OF BID.
- ALL CONCRETE WORK TO COMPLY WITH THE 2010 FLORIDA BUILDING CODE AND ALL APPLICABLE SECTIONS OF ASCE 7-10.
- CONTRACTOR TO QUALIFY SUB-GRADE CONDITIONS FOR ALL SLABS AND WALLS TO ENSURE NO FUTURE SUBSIDENCE. TEST BORES OR EXPLORATORY EXCAVATION MAY BE NECESSARY. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR EXISTING CONDITIONS BELOW GRADE.
- ALL CONCRETE WORK TO WITHSTAND 150 MPH WIND LOAD.
- ALL CONCRETE SLABS ON GRADE SHALL BE 3000 PSI IN 28 DAYS.
- CONCRETE SLABS SHALL BE 4" MINIMUM THICKNESS WHERE DESIGNATED AS PARKING AREAS OR AREAS ADJACENT TO PARKING AREAS, E.G. WALKWAYS, TRASH AREA SLABS, ETC., THAT COULD POSSIBLY BE IMPACTED BY AUTOMOBILES. ALL OTHER SLABS ARE TO BE 4" MINIMUM THICKNESS.
- ALL SLABS ARE TO HAVE 6" THICKENED EDGES ON ALL SIDES WITH ONE #5 REBAR CONTINUOUS. **SEE DETAIL BELOW**
- ALL SLABS, REGARDLESS OF THICKNESS, ARE TO HAVE COMPLETE MAT OF #66 W/W.
- ALL REBAR AND WIRE MESH TO HAVE MINIMUM OF 2" CONCRETE COVER.
- CONCRETE CONTRACTOR RESPONSIBLE FOR ALL SUB BASE PREPARATION. ANY EXCAVATION IS THE RESPONSIBILITY OF THE CONCRETE CONTRACTOR AND ALL FILL IS TO BE REMOVED FROM SITE AT EXPENSE OF CONTRACTOR.
- LAYOUT OF ALL CONCRETE SLABS SHALL BE APPROVED PRIOR TO IMPLEMENTATION BY PROJECT LANDSCAPE ARCHITECT.
- ALL CONCRETE SLABS TO SLOPE AT A MINIMUM OF 1/8" PER FOOT FOR PROPER DRAINAGE.
- CURB RAMPS ARE TO COMPLY WITH APPLICABLE CHAPTERS OF THE 2010 FLORIDA BUILDING CODE AND THE ADA CODES THEREIN.
- ALL CONCRETE WORK, APRONS, DRIVEWAY APPROACHES, SIDEWALKS, ETC. TO BE CONSTRUCTED ON CITY OR COUNTY PROPERTY ARE TO COMPLY WITH APPLICABLE CITY AND/OR COUNTY CODES AND ALL ADA REGULATIONS.

END

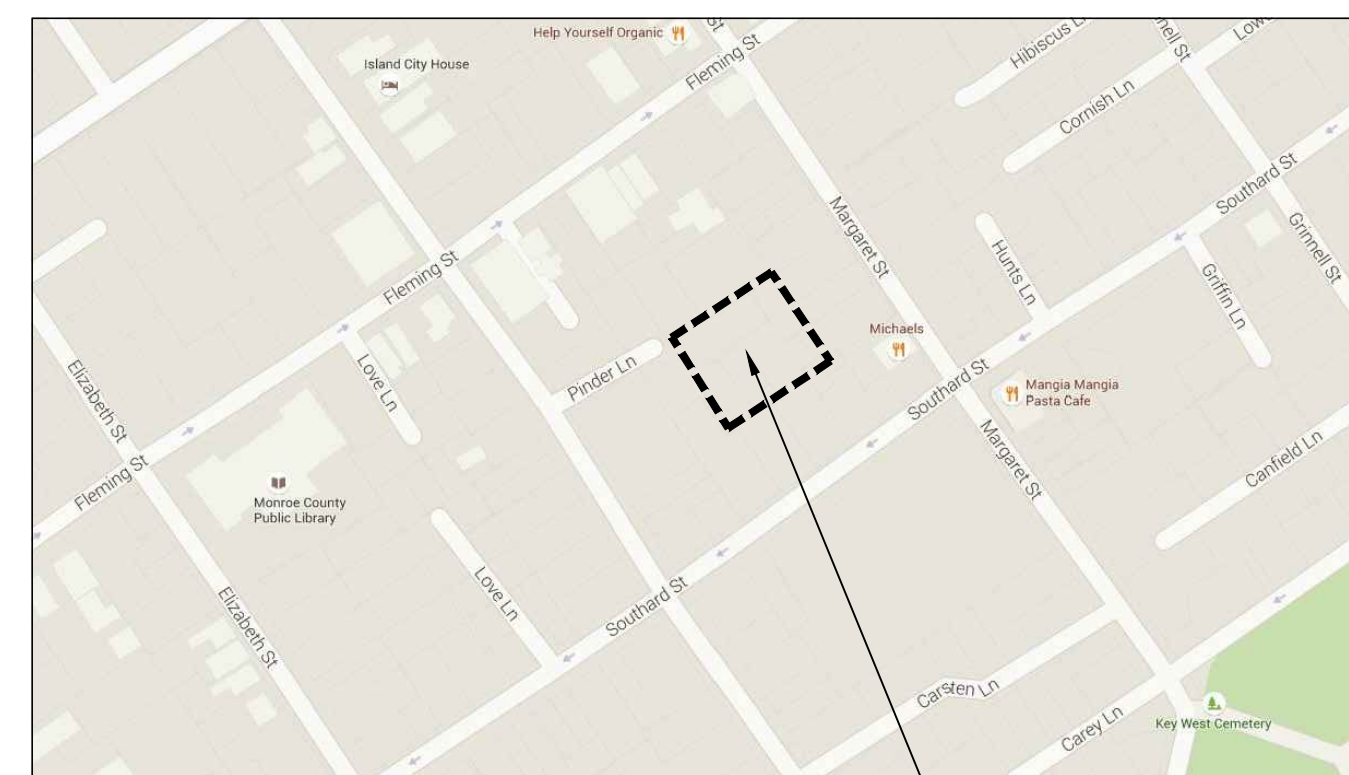
SWIMMING POOL GENERAL NOTES:

GENERAL NOTES FOR SWIMMING POOL AND SPA (WHEN APPLICABLE):

- POOL CONTRACTOR TO INCLUDE REQUIRED ENGINEERING DRAWINGS, PERMITTING, PERMIT FEES, NOTICE(S) OF COMMENCEMENT, INSPECTIONS, AS PART OF BID.
- POOL ENGINEER'S DRAWINGS ARE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR REVIEW AND COMPLIANCE WITH DESIGN INTENT PRIOR TO PERMITTING AND/OR IMPLEMENTATION. NO EXCEPTIONS.
- POOL CONSTRUCTION TO BE IN ACCORDANCE WITH 2010 RESIDENTIAL FLORIDA BUILDING CODE AND ANS/NSP-8 AND ANS/NSP-5. ALL APPLICABLE CODES AND STANDARDS OF THE CITY OF KEY WEST BUILDING DEPARTMENT, AND NATIONAL ELECTRIC CODE.
- THE FINAL POOL INSTALLATION MUST MEET ALL SAFETY CODES AS OUTLINED IN THE 2010 RESIDENTIAL FLORIDA BUILDING CODE R4101.17.1 THROUGH R4101.17.3.
- WHERE A CONFLICT OR AMBIGUITY EXISTS ON THE DRAWINGS OR DURING BIDDING, LAYOUT, AND/OR IMPLEMENTATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CEASE WORK ON THE ITEM IN QUESTION AND NOTIFY THE LANDSCAPE ARCHITECT IN A MANNER THAT WILL ALLOW A TIMELY RESOLUTION. NO EXCEPTIONS.
- POOL CONTRACTOR TO INCLUDE AND BE RESPONSIBLE FOR HIRING ELECTRICIAN AS NEEDED FOR ELECTRICAL PERMITTING AND HOOKUP. LAYOUT OF POOL PIPING SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION. NO EXCEPTIONS.
- NO DIVING BOARD AND NO DIVING IS ALLOWED. THIS POOL IS NOT DESIGNED FOR DIVING.

- THIS POOL IS BASED ON SOIL CONDITIONS CONSISTING OF WELL-COMPACTED STRUCTURAL FILL OR CORAL ROCK. IF OTHER SOIL CONDITIONS ARE ENCOUNTERED, SUCH AS MUCK, MARL, ORGANICS, ETC., CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER OR ENGINEER.
- THE POOL CONTRACTOR SHALL ALWAYS TAKE PRECAUTIONS TO PROTECT EXISTING STRUCTURES FROM FAILURE BY SHEETING AND SHORING OR OTHER ACCEPTABLE METHOD. THE LANDSCAPE ARCHITECT AND/OR ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE SAFETY OF EXISTING STRUCTURES.
- THE POOL CONTRACTOR SHALL ESTABLISH LOCATIONS OF ALL UTILITIES AT THE SITE. MINIMUM CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES SHALL BE PER THE 2010 FLORIDA BUILDING CODE AND ANY OTHER LOCAL REQUIREMENTS.
- THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR POOL CONSTRUCTION WITHIN EASEMENTS OR REQUIRED SETBACK AREAS. THE PLOT PLAN FOR THE POOL LOCATION MAY NOT BE BASED ON AN UPDATED, LEGAL SURVEY OF THE PROPERTY. THE POOL CONTRACTOR SHALL VERIFY WITH A FLORIDA REGISTERED LAND SURVEYOR ALL DIMENSIONS IN THE FIELD AND ESTABLISHED LOT LINES.
- THE CONTRACTOR SHALL BACKFILL THE POOL SHELL WITH CAUTION. THE PLUMBING SHALL BE SECURED AND PROTECTED DURING BACKFILL AND SHALL NOT BE DISTURBED. BACKFILL SHALL BE CLEAN SAND, FREE OF ROCKS AND DEBRIS PRODUCED DURING EXCAVATION OF THE POOL AND ANY ORGANIC MATERIAL, MUCK OR MARL. BACKFILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" AND COMPACTED TO 90% OF THE MATERIALS' MAXIMUM DENSITY.
- WARNING: TO EMPTY THE POOL AFTER CONSTRUCTION FOR REPAIRS, OR ANY OTHER REASON, THE HYDROSTATIC UPLIFT PRESSURE FROM BENEATH THE POOL MUST BE ELIMINATED TO PREVENT THE POOL FROM FLOATING UPWARD. THE OWNER SHOULD CONSULT A POOL CONSTRUCTION OF REPAIR CONTRACTOR EXPERIENCED IN ELIMINATING HYDROSTATIC UPLIFT PRESSURES.
- THE ENGINEER AND/OR LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SITE AND CONSTRUCTION SAFETY AND/OR THE SAFETY OF THE WORKERS.
- THE THERMOSTAT FOR THE WATER SHALL BE SET SUCH THAT THE MAXIMUM WATER TEMPERATURE CANNOT EXCEED 102 DEGREES FAHRENHEIT.
- WHEN USING A POOL FINISH SUCH AS DIAMOND BRITE OR EQUIVALENT THAT REQUIRES ACID WASHING, ENSURE COMPLETE AND EVEN COVERAGE OF ACID. STREAKS IN THE FINISH WILL NOT BE ACCEPTED. IF STREAKS OCCUR, POOL CONTRACTOR WILL BE RESPONSIBLE FOR DRAINING POOL AND REAPPLYING ACID WASH TO ELIMINATE STREAKING OR CHIPPING OUT AND REINSTALLING NEW FINISH IF NEEDED.
- POOL CONTRACTOR IS TO CONFIRM AND GET APPROVAL FOR FINISHED ELEVATION OF POOL COPING, NOT POOL BEAM, WITH PROJECT LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
- POOL DECK TO SLOPE AWAY FROM COPING AT A MINIMUM OF 1/8" PER FOOT.
- IN POOL AREA, GROUND ALL BOXES, RAILS, LIGHTS, MOTORS, ETC. WITH #8 WIRE.
- POOL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL FILL FROM POOL EXCAVATION FROM THE SITE IN A TIMELY MANNER. STORING FILL ON SITE AFTER EXCAVATION IS NOT ACCEPTABLE UNLESS PREVIOUSLY APPROVED AND COORDINATED.
- POOL BID TO INCLUDE COPING MATERIAL AND INSTALLATION UNLESS OTHERWISE SPECIFIED.

END



LOCATION MAP

NOT TO SCALE

PROJECT LOCATION

MARRACCINI RESIDENCE

6 Pinder Lane
Key West, 33040

Date: 10 / 23 / 2015

REVISIONS

No.	Date	Remarks

DRAWING LIST

A. COVER SHEET

- Project Location
- Existing Site Survey
- General Notes
- Concrete Finish Notes
- General Pool & Spa Notes
- List of Abbreviations
- Site Data & Calculations

B. LC-1

Site Plan

C. LC-2

Layout Plan

D. LC-3

Swimming Pool Specifications
Swimming Pool Enlargement

D. LC-4

Swimming Pool Sections

D. LC-5

Outdoor Shower Sections & Details

D. LC-6

Sections & Details
Materials

OPEN SPACE CALCULATIONS

EXISTING OPEN SPACE AREA BREAKDOWN (IN SQUARE FEET)

LOT AREA	7,461 FT ²
BUILDINGS & STRUCTURES	1,993 FT ²
HARDSCAPE (CONC. SLABS, PAVING, ETC.)	796 FT ²
POOL & SPA	245 FT ²
WOOD DECKING	888 FT ²
NON OPEN SPACE (TOTAL)	(51.7%) 3,862 FT ²
EXISTING OPEN SPACE (TOTAL - 35% MIN)	(48.3%) 3,599 FT²

PROPOSED OPEN SPACE AREA BREAKDOWN (IN SQUARE FEET)

LOT AREA	7,461 FT ²
BUILDINGS & STRUCTURES	2,400 FT ²
HARDSCAPE (CONC. SLABS, PAVING, ETC.)	1,552 FT ²
POOL	195 FT ²
WOOD DECKING	0 FT ²
NON OPEN SPACE (TOTAL)	(55.6%) 4,147 FT ²
PROPOSED OPEN SPACE (TOTAL - 35% MIN)	(44.4%) 3,314 FT²
NET REDUCTION	(3.8%) 285 FT²

IMPERVIOUS AREA CALCULATIONS

EXISTING IMPERVIOUS AREA BREAKDOWN (IN SQUARE FEET)

LOT AREA	7,461 FT ²
BUILDINGS & STRUCTURES	1,993 FT ²
HARDSCAPE (CONC. SLABS, PAVING, ETC.)	796 FT ²
POOL & SPA	245 FT ²
EXISTING IMPERVIOUS AREA (TOTAL - 60% MAX)	(39.8%) 2,974 FT²

PROPOSED IMPERVIOUS AREA BREAKDOWN (IN SQUARE FEET)

LOT AREA	7,461 FT ²
BUILDINGS & STRUCTURES	2,400 FT ²
HARDSCAPE (CONC. SLABS, PAVING, ETC.)	1,552 FT ²
POOL	195 FT ²
PROPOSED IMPERVIOUS AREA (TOTAL - 60% MAX)	(55.6%) 4,147 FT²
NET ADDITION	(15.8%) 1,173 FT²

STORMWATER RETENTION CALCULATIONS

LOT AREA	7,461 FT ²
RAINFALL	1.00"

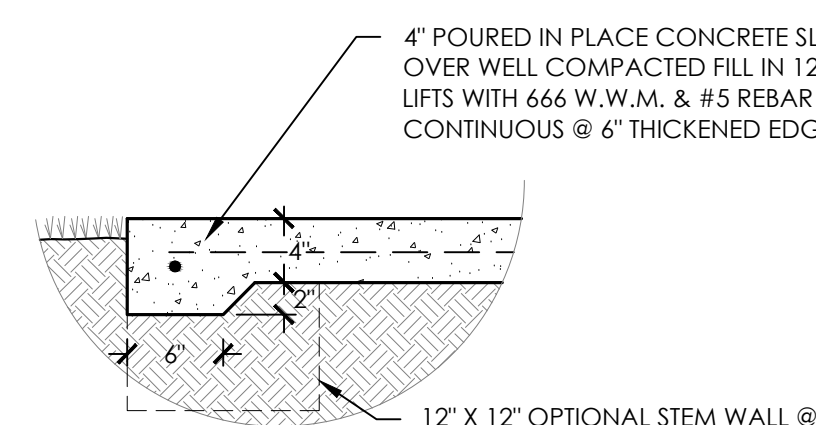
NEW IMPERVIOUS AREA BREAKDOWN (IN SQUARE FEET)

BUILDINGS & STRUCTURES	407 FT ²
POOL	195 FT ²
HARDSCAPE (CONC. PADS, PAVING, ETC.)	1,552 FT ²
TOTAL NEW IMPERVIOUS AREA	2,154 FT ²

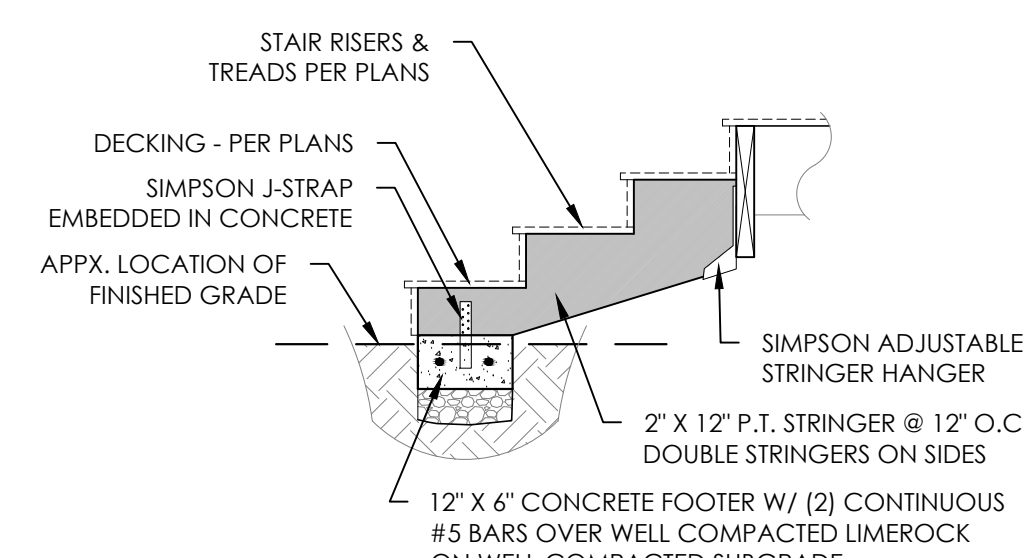
CUBIC FEET REQUIRED = ((IMPERVIOUS AREA X RAINFALL)/12) 180 FT³

CUBIC FEET SUPPLIED = (FT² RETENTION - LAND DISPLACEMENT X AVG DEPTH IN FEET) 180 FT³

GROSS SQUARE FEET OF RETENTION AREA	360 FT²
DISPLACEMENT OF TREE AND PALM TRUNKS	0 FT ²
DISPLACEMENT OF SHRUBS AND GROUNDCOVERS	0
NET SQUARE FEET OF RETENTION AREA	70 FT ²
AVERAGE DEPTH OF RETENTION AREA	0.5 FEET = 6"



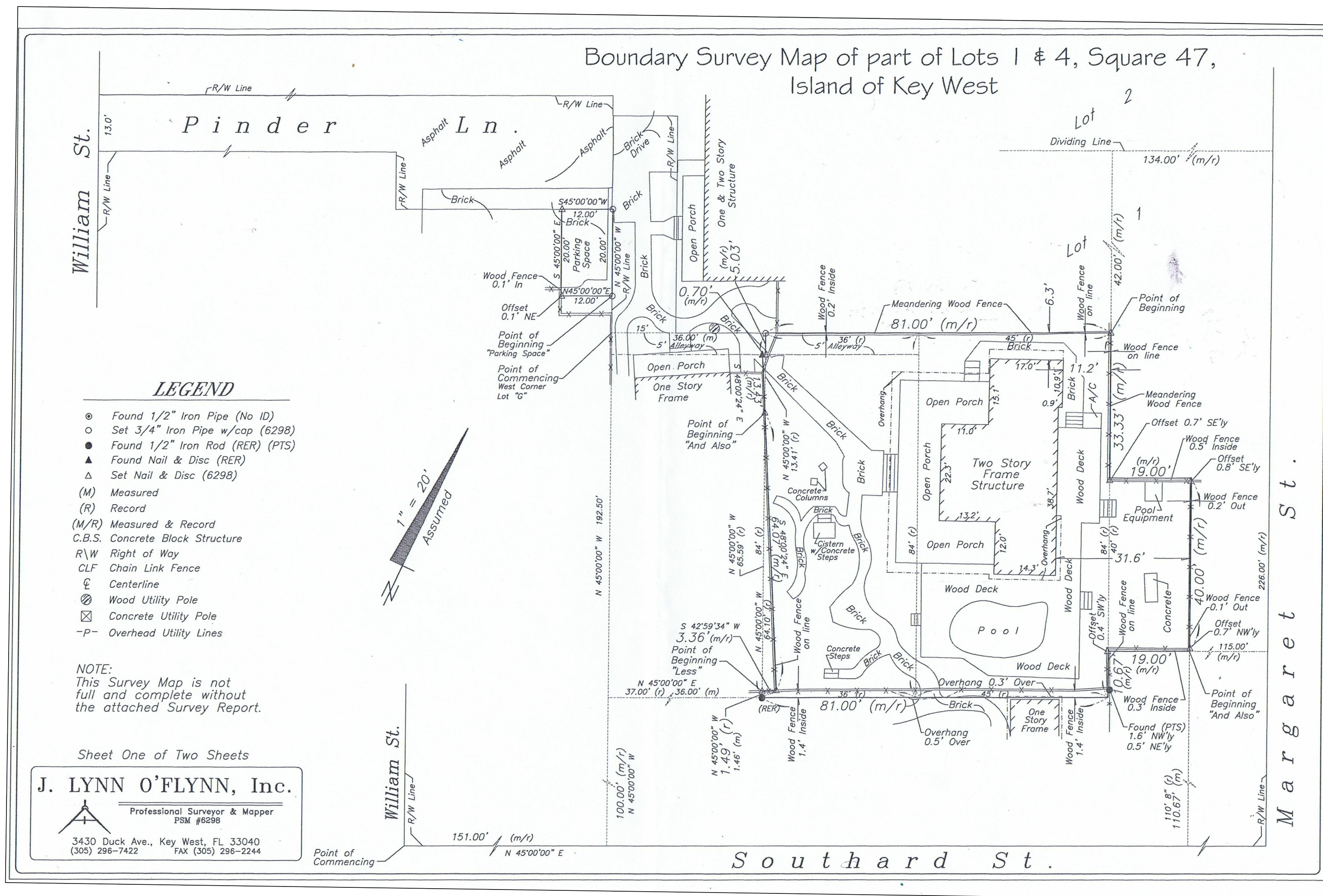
THICKENED EDGE DETAIL - NOT TO SCALE



STAIR STRINGER - NOT TO SCALE

LIST OF ABBREVIATIONS

A.E.G.	ABOVE EXISTING GRADE
APPX.	APPROXIMATELY
C.L.	CENTER LINE
CONC.	CONCRETE
ELEV.	ELEVATION
EQ.	EQUAL
F.F.E.	FINISH FLOOR ELEV.
HT.	HEIGHT
MAX.	MAXIMUM
MIN.	MINIMUM
O.C.	ON CENTER
P.L.	PROPERTY LINE
P.T.	PRESSURE TREATED
TYP.	TYPICAL
W.W.M.	WELDED WIRE MESH



EXISTING SITE SURVEY

NOT TO SCALE

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craigreynolds.net 305.292.7243
517 Duval Street, Suite 204 Key West, Florida 33040

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., November 16, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW ONE-STORY ACCESSORY STRUCTURE. NEW SWIMMING POOL AND SITE IMPROVEMENTS.

FOR- #6 PINDER LANE

Applicant – Thomas E. Pope

Application #H15-01-1676

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

The Offices of the Property Appraiser will be closed **Wednesday the 11th** for Veterans Day.

Website tested on IE8, IE9, & Firefox
Requires Adobe Flash 10.3 or higher

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1008443 Parcel ID: 00008180-000000

Ownership Details

Mailing Address:

MARRACCINI WILLIAM J
111 BOWNE RD
RUMSON, NJ 07760-2364

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 10KW

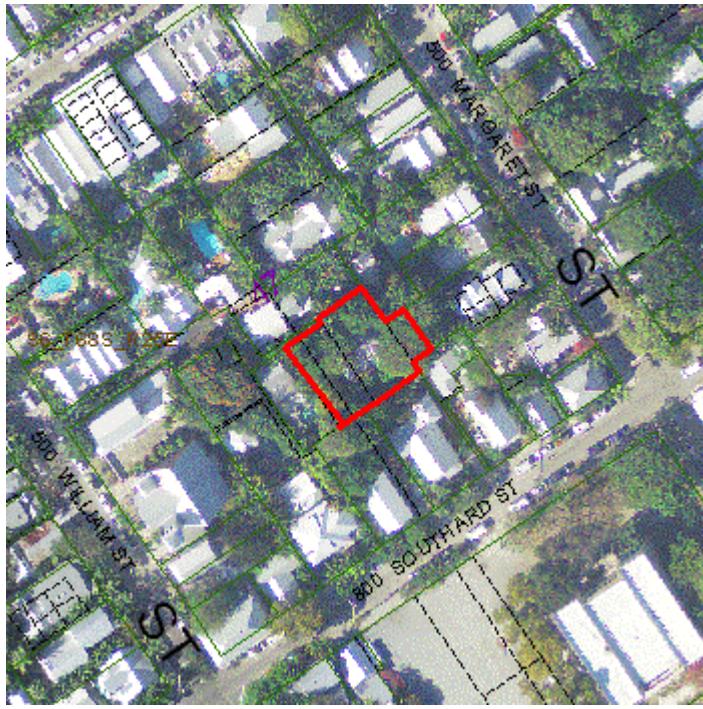
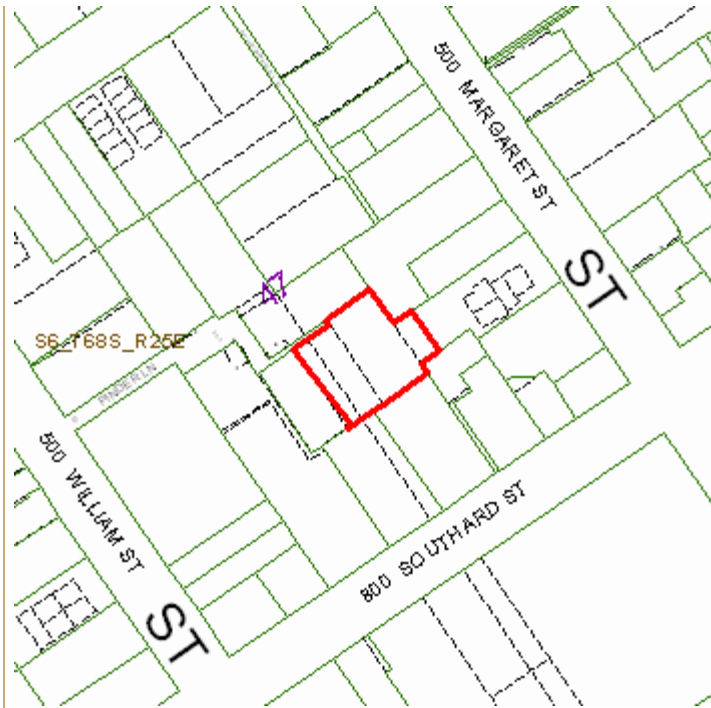
Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 6 PINDER LN KEY WEST

Legal Description: KW PT LTS 1 AND 4 SQR 47 OR477-423 OR477-424 OR944-1043/44 OR975-1695 OR1101-1471/73 OR1109-6/7 OR1123-2463/64 OR1123-2465/68 OR2393-1229 OR2393-1234/35 OR2521-1502/04 OR2609-283/85 OR2741-419/21

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
01SD - RES SUPERIOR DRY	0	0	7,281.00 SF

Building Summary

Number of Buildings: 1
Number of Commercial Buildings: 0
Total Living Area: 1444
Year Built: 1930

Building 1 Details

Building Type R1
Effective Age 14
Year Built 1930
Functional Obs 0

Condition A
Perimeter 272
Special Arch 0
Economic Obs 0

Quality Grade 550
Depreciation % 15
Grnd Floor Area 1,444

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP
Heat 1 NONE
Heat Src 1 NONE

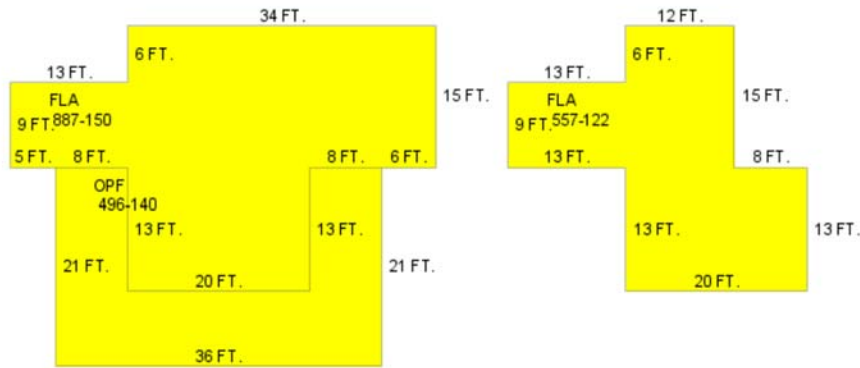
Roof Cover METAL
Heat 2 NONE
Heat Src 2 NONE

Foundation WD CONC PADS
Bedrooms 3

Extra Features:

2 Fix Bath 0
3 Fix Bath 1
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 0

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	12:ABOVE AVERAGE WOOD	1	1985	N Y	0.00	0.00	887
2	OPF	12:ABOVE AVERAGE WOOD	1	1985	N Y	0.00	0.00	496
3	FLA	12:ABOVE AVERAGE WOOD	1	1985	N Y	0.00	0.00	557

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	HT2:HOT TUB	1 UT	0	0	1984	1985	1	50
2	PO4:RES POOL	280 SF	0	0	1984	1985	4	50
3	WD2:WOOD DECK	96 SF	0	0	1984	1985	2	40
4	PT2:BRICK PATIO	280 SF	0	0	1979	1980	2	50

Appraiser Notes

OR2741-422 EASEMENT AGREEMENT BETWEEN GRANTOR AK 1008729 (811 SOUTHARD ST) AND GRANTEE AK 1008443 (6 PINDER LANE) - GRANTS AN EASEMENT FOR VEHICLE PARKING AND LOADING AND UNLOADING PURPOSES

2011-03-23 MLS \$2,900,000 8/6 THIS IS A REMARKABLE PRIME OLD TOWN PROPERTY WITH OVER 21,000 SQUARE FEET OF LAND FOUR LARGE LOTS AND THREE HOMES. 6 PINDER LANE IS A 1500 SQUARE FOOT THREE BEDROOM, TWO BATH HOME WITH WRAP-AROUND PORCH, POOL AND EXPANSIVE GARDENS SECLUDED IN THE MIDDLE OF THE BLOCK AT THE END OF A LANE. 0 PINDER LANE IS A VACANT 3350 SQUARE FOOT LOT IDEAL FOR PARKING. 821 SOUTHARD STREET IS A LOVELY 1500 SQUARE FOOT, THREE BEDROOM, TWO BATH HOME WITH SITTING PORCH IN THE FRONT AND LARGE REAR DECK WITH LUSH GARDENS. 815 SOUTHARD STREET IS A DUPLEX CONSISTING OF TWO, ONE BEDROOM, ONE BATH APARTMENTS ON A HUGE LOT WITH MATURE TREES. PURCHASE ALL TOGETHER OR ONLY A PORTION - YOUR CHOICE

LOFT UNDER FLA03 602 SQUARE FEET #6 PINDER LANE

AK1008770 (RE 00008510-000000) HAS BEEN COMBINED WITH THIS PARCEL DONE FOR ASSESSMENT PURPOSES FOR THE 2011 TAX ROLL (3/28/2011 SCJ).

2011-12-27 MLS \$1.5M 3/2 THIS ENCHANTING PROPERTY IS LOCATED IN THE HEART OF OLD TOWN IN THE MIDDLE OF A VERY DESIRABLE BLOCK ADJACENT TO WILLIAM AND SOUTHARD STREETS. THE ONE AND A HALF STORY HOME IS VERY PRIVATE AND HAS THREE BEDROOMS AND TWO BATHS INCLUDING A TREETOP MASTER SUITE. THE HOME HAS MANY SETS OF FRENCH DOORS, LOTS OF WINDOWS, WOOD FLOORS, HIGH CEILINGS AND A HUGE WRAP-A-ROUND PORCH. THE OVERSIZED LOT, 7564 SQUARE FEET, IS A MAGICAL SETTING WITH MEANDERING PATHS AND AN IN-GROUND POOL AND SPA. OFF-STREET PARKING IS INCLUDED. THIS IS A VERY SPECIAL AND UNIQUE PROPERTY REMINISCENT OF OLD KEY WEST AND HAS INCREDIBLE POTENTIAL.

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	208,007	14,308	969,095	1,191,410	1,191,410	0	1,191,410
2014	209,091	13,590	973,582	1,196,263	1,196,263	0	1,196,263
2013	213,843	14,174	812,166	1,040,183	1,040,183	0	1,040,183
2012	218,595	14,757	753,940	987,292	987,292	0	987,292
2011	209,537	15,341	838,327	1,063,205	1,022,841	0	1,063,205
2010	212,061	15,924	457,187	685,172	685,172	0	685,172
2009	238,583	16,549	541,851	796,983	796,983	0	796,983
2008	219,416	17,213	631,060	867,689	867,689	0	867,689
2007	355,100	14,296	794,500	1,163,896	1,163,896	0	1,163,896
2006	492,594	14,831	431,300	938,725	938,725	0	938,725
2005	492,594	15,354	345,040	852,988	852,988	0	852,988
2004	289,132	15,889	322,340	627,361	627,361	0	627,361
2003	278,424	16,412	172,520	467,356	467,356	0	467,356

2002	239,472	16,948	158,900	415,320	415,320	0	415,320
2001	198,412	17,471	132,300	348,183	348,183	0	348,183
2000	200,102	17,892	76,545	294,539	294,539	0	294,539
1999	190,532	17,531	76,545	284,608	284,608	0	284,608
1998	160,952	15,231	76,545	252,728	252,728	0	252,728
1997	147,902	14,379	68,985	231,265	231,265	0	231,265
1996	117,451	11,726	68,985	198,162	198,162	0	198,162
1995	113,101	11,586	68,985	193,672	193,672	0	193,672
1994	95,701	10,055	68,985	174,741	174,741	0	174,741
1993	90,503	9,777	68,985	169,264	169,264	0	169,264
1992	90,503	10,016	68,985	169,503	169,503	0	169,503
1991	90,503	10,248	68,985	169,735	169,735	0	169,735
1990	58,957	10,485	57,645	127,087	127,087	0	127,087
1989	53,597	9,745	56,700	120,042	120,042	25,000	95,042
1988	47,094	7,703	56,700	111,497	111,497	25,000	86,497
1987	46,542	7,867	28,161	82,570	82,570	25,000	57,570
1986	46,806	8,035	27,216	82,057	82,057	25,000	57,057
1985	18,660	2,000	11,282	31,942	31,942	25,000	6,942
1984	17,634	2,000	11,282	30,916	30,916	25,000	5,916
1983	17,634	2,000	11,282	30,916	30,916	25,000	5,916
1982	17,913	2,000	9,924	29,837	29,837	25,000	4,837

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.

Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
4/3/2015	2741 / 419	1,549,000	<u>WD</u>	<u>01</u>
1/4/2013	2609 / 283	100	<u>WD</u>	<u>11</u>
5/24/2011	2521 / 1502	950,000	<u>WD</u>	<u>05</u>
3/1/1990	1123 / 2463	275,000	<u>WD</u>	<u>M</u>
10/1/1989	1109 / 6	240,000	<u>WD</u>	<u>M</u>
2/1/1969	477 / 423	2,500	00	<u>Q</u>

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Monroe County Property Appraiser
 Scott P. Russell, CFA
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