

STAFF REPORT

DATE: December 21, 2021

RE: 1221 Packer Street (permit application # T2021-0392)

FROM: Karen DeMaria, City of Key West Urban Forestry Manager

An application was received requesting the removal of (1) Gumbo Limbo tree. A site inspection was done and documented the following:

Tree Species: Gumbo Limbo (*Bursera simaruba*)



Photo showing tree location.



Photo of whole tree.



Photo showing base of tree and trunk, view 1.

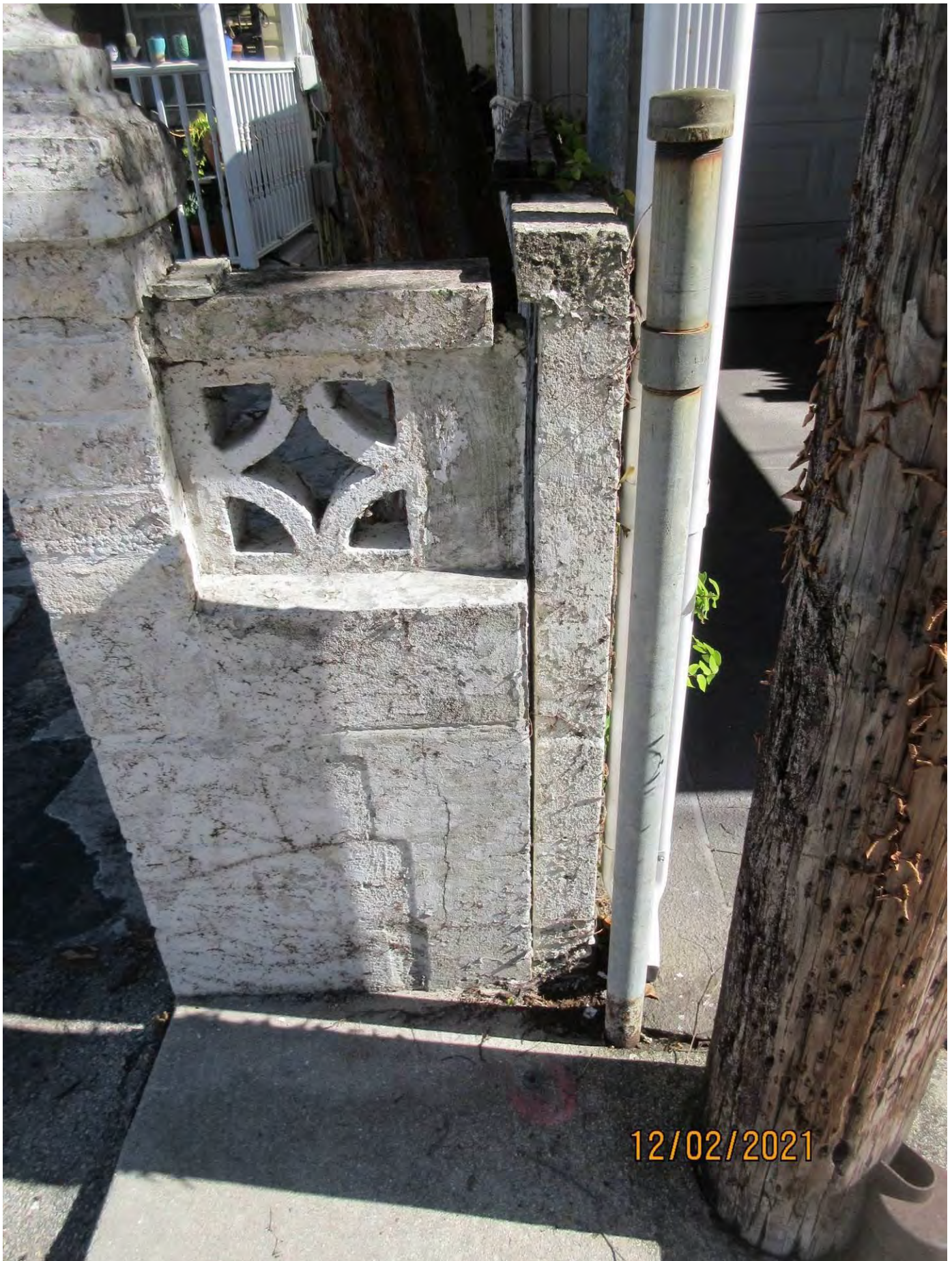


Photo showing survey pin and fence/wall in relation to tree trunk. Tree wholly on 1221 Packer Street.



Photo showing base and trunk of tree and fence/wall, view 2



Two photos showing base of tree in relation to cracked fence/wall.





Photo of base and trunk of tree, view 3.



Photo of tree canopy, view 1.



Two
photos of
tree
canopy,
views 2
and 3.





Photo of tree canopy, view 4.



Photo of cracked fence/wall from neighboring property.

Diameter: 13.3"

Location: 40% (growing in front yard very close to property line and canopy in utility lines)

Species: 100% (on protected tree list)

Condition: 60% (fair to poor, root system appears to be constricted)

Total Average Value = 66%

Value x Diameter = 8.7 replacement caliper inches

Application



T2021-0392

Tree Permit Application

Please Clearly Print All Information unless indicated otherwise. Date: _____

Tree Address 1221 Packer St.
Cross/Corner Street United St.
List Tree Name(s) and Quantity 1 Gumbo Limbo tree
Species Type(s) check all that apply () Palm () Flowering () Fruit (X) Shade () Unsure
Reason(s) for Application:
(X) Remove () Tree Health () Safety (X) Other/Explain below
() Transplant () New Location () Same Property () Other/Explain below
() Heavy Maintenance Trim () Branch Removal () Crown Cleaning/Thinning () Crown Reduction

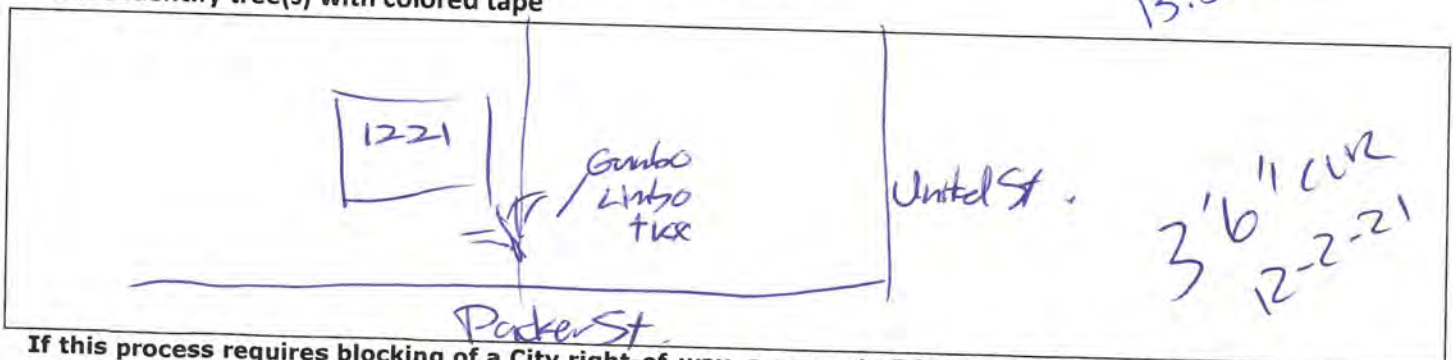
Additional Information and Explanation This tree is in conflict with everything and has already caused costly damage to the concrete wall and floor slabs. Its also been repeatedly turned from around the utility lines.

Property Owner Name Michael J. Dalsin
Property Owner email Address mike.dalsin@comcast.net
Property Owner Mailing Address Sioux Falls, SD 57104
Property Owner Phone Number 605-321-8120
Property Owner Signature _____

Representative Name Kenneth Khoy
Representative email Address _____
Representative Mailing Address 1602 Laurel St.
Representative Phone Number 305-296-8101

NOTE: A Tree Representation Authorization form must accompany this application if someone other than the owner will be representing the owner at a Tree Commission meeting or picking up an issued Tree Permit. Tree Representation Authorization form attached ()

Sketch location of tree in this area including cross/corner Street
Please identify tree(s) with colored tape



If this process requires blocking of a City right-of-way, a separate ROW Permit is required. Please contact 305-809-3740.

neighbor



Tree Representation Authorization

Attendance at the Tree Commission meeting on the date when your request will be discussed is necessary in order to expedite the resolution of your application. This Tree Representation Authorization form must accompany the application if the property owner is unable to attend or will have someone else pick up the Tree Permit once issued.

Please Clearly Print All Information unless indicated otherwise.

Date 11-29-2021
Tree Address 1221 Packer St
Property Owner Name Michael J Dalsin Turtle Cove Condo Assoc.
Property Owner Mailing Address 1008 W. Delaware St.
Property Owner Mailing City, State, Zip Sioux Falls, SD 57104
Property Owner Phone Number 605-321-8120
Property Owner email Address mike.dalsin@comcast.net
Property Owner Signature _____

Representative Name Kenneth King
Representative Mailing Address 1602 Laurel St.
Representative Mailing City, State, Zip Key West FL 33040
Representative Phone Number 305-296-8101
Representative email Address _____

I, Michael J. Dalsin hereby authorize the above listed agent(s) to represent me in the matter of obtaining a Tree Permit from the City of Key West for my property at the tree address above listed. You may contact me at the telephone listed above if there is any questions or need access to my property.

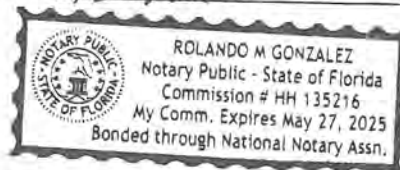
Property Owner Signature [Signature]

The forgoing instrument was acknowledged before me on this 27 day 11/2021.
By (Print name of Affiant) x MJD who is personally known to me or has produced
NL 00960642 as identification and who did take an oath.

Notary Public

Sign name: [Signature]
Print name: ROLANDO GONZALEZ

My Commission expires: MAY 27, 2025 Notary Public-State of Florida (Seal)



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00032031-000000
 Account# 9088731
 Property ID 9088731
 Millage Group 10KW
 Location Address 1221 PACKER St 1-5, KEY WEST
 Legal Description TURTLE COVE CONDOMINIUM OF KEY WEST (F/K/A RE 00032030-000000 AK 1032816 AND RE 00032140-000000 AK 1032921) OR2294-1195 OR2826-2491
 (Note: Not to be used on legal documents)
 Neighborhood 8171
 Property Class CONDO HEADER (4H00)
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable Housing No

**Owner**

TURTLE COVE CONDOMINIUM

Valuation

	2021	2020	2019	2018
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$0	\$0	\$0	\$0
= Just Market Value	\$0	\$0	\$0	\$0
= Total Assessed Value	\$0	\$0	\$0	\$0
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$0	\$0	\$0	\$0

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
15-2850	7/14/2015		\$500	Residential	
15-2858	7/14/2015		\$200	Residential	ELECTRICAL FOR HALF BATH
15-2849	7/13/2015		\$10,000	Residential	ATF 3X6 HALF BATH FRAMING
11-	2/16/2012		\$34,018		PIER AND FRAMING UNDER HOUSE
00004177					install 5x8 wood french doors and A E150 SF Deck to rear of structure add 7 LF of cabinetry & counter tops
12-	2/14/2012		\$0		add 5 can lights in kitchen are, add 1 outlet for microwave, 1 switch & outlet for garbage disposal, 1 switch, 1 ceiling fan in front bedroom, 1 outlet for dryer and 1 for w. machine
00000283					
12-	1/31/2012		\$0		rough set 1 bathroom 1 toilet 1 LAV 1 shower 1 WH 1 Kitchen sink... tie sewer and water to existing NOC
00000360					
11-	11/16/2011		\$31,618		remove ~SOLF interior walls, kitchen cabinetry and bath, frame new bath, install new cabinets (=12LF) and 24 sf counter tops, replace trim as needed, Drywall & tile new bath& new walls patch floors as needed
00004177					
09-3998	12/7/2009	12/31/2009	\$24,000		INSTALL ONE 3 TON SPLIT SYSTEM AND ONE 1 TON DUCTLESS UNIT EIGHT DUCTWORK OPENINGS AND ONE EXHAUST FAN DUCTING, CURRY REFRIGERATION 305-294-1161.
09-3880	11/16/2009	12/31/2009	\$1,000		INSTALL 5 PHONE JACKS AND 5 TV JACKS, 1ST AND 2ND FLOOR. JC ELECTRIC OF THE FLORIDA KEYS 305-797-0291.
09-3881	11/16/2009	12/31/2009	\$13,000		WIRE EXISTING HOUSE. JC ELECTRIC OF THE FLORIDA KEYS 305-797-0291.
09-2998	9/11/2009	12/31/2009	\$41,735		COMPLETE APPROX. 900 SF OF EXTERIOR SIDING, COMPLETE INTERIOR OF SF RES. MATTINGLY CONSTR. 305-797-6435.

View Tax Info
[View Taxes for this Parcel](#)
Photos

No data available for the following modules: Land, Buildings, Commercial Buildings, Mobile Home Buildings, Yard Items, Exemptions, Sales, Sketches (click to enlarge), TRIM Notice.

<u>NAME</u>	<u>ADDRESS</u>
MICHAEL J. DALSIN	6308 Oscar Howe Circle, Sioux Falls SD 57106
JULIE DALSIN	6308 Oscar Howe Circle, Sioux Falls SD 57106
FRED MULLINS	951 Lagoon Drive, Summerland Key FL 33042

The Administrators named above shall serve until the first election of Administrators, as determined by the By-Laws and any vacancies in their number occurring before the first election of Administrators shall be filled by act of the remaining Administrators.

ARTICLE V OFFICERS

The affairs of the Association shall be administered by the officers designated in the By-Laws. After the first election of Administrators, the Officers shall be elected by the Board at the first Board meeting following the annual meeting. Administrators shall serve at the pleasure of the Board. The names and addresses of the officers who shall serve until their successors are designated by the Board are as follows:

President:	MICHAEL J. DALSIN
Vice President	JULIE DALSIN
Secretary:	JULIE DALSIN
Treasurer:	MICHAEL J. DALSIN

ARTICLE VI INDEMNIFICATION

- A. Indemnitees. The Association shall indemnify any person who was or is a party to any proceeding (other than an action by, or in the right of, the Association) by reason of the fact that Indemnatee is or was a director, officer, employee or agent (each, an "Indemnatee") of the Association, against liability incurred in connection with such proceeding, including any appeal thereof, if Indemnatee acted in good faith and in a manner Indemnatee reasonably believed to be in, or not opposed to, the best interests of the Association and, with respect to any criminal action or proceeding, had no reasonable cause to believe his/her conduct was unlawful. The termination of any proceeding by judgment, order, settlement, or conviction or upon a plea of *nolo contendere* or its equivalent shall not, of itself, create a presumption that the person did not act in good faith and in a manner which Indemnatee reasonably believed to be in, or not opposed to, the best interests of the Association or, with respect to any criminal action or proceeding, had reasonable cause to believe that his/her conduct was unlawful.
- B. Indemnification. The Association shall indemnify any person, who was or is a party to any proceeding by or in the right of the Association to procure a judgment in its favor by reason