



Historic Architectural Review Commission Staff Report for Item 12

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: May 24, 2022

Applicant: Shore Construction

Address: #1215 Georgia Street

Description of Work:

Demolition of an existing shed and carport at rear.

Site Facts:

This property on the northeast corner of Georgia and Duncan Streets contains a one-story masonry vernacular structure, which is listed on our survey as non-contributing. Property appraiser's records show that the structure was built in 1968, which makes it historic. There is an existing shed and a carport at the rear of the structure, both of which are not historic.

The applicant initially submitted the proposed plans under a building permit, which has been approved by both Planning and Urban Forestry. HARC staff review of the permit was postponed to allow for HARC Commission review of the proposed addition.

Ordinances Cited on Review:

- Section 102-217 (3), demolition for non-historic or non-contributing structures of the Land Development Regulations.

Staff Analysis:

The Certificate of Appropriateness under review proposes the demolition of an existing shed and carport at the rear of the house at 1215 Georgia Street. The shed and carport are not historic. A proposal for an addition to the rear of the house is also under review as part of this application.

It is staff's opinion that the request for the demolition of the existing non-historic shed and carport shall be based on the demolition criteria of Chapter 102 Section 218(b) of the LDR's. The criteria state the following;

b) *The historic architectural review commission shall not issue a certificate of appropriateness that would result in:*

- (1) *Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished;*

It is staff's opinion that the removal of the existing non-historic shed and carport will not have a negative effect on the character of the surrounding neighborhood.

- (2) *Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space;*

The shed and carport are non-historic.

- (3) *Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood;*

The existing non-historic shed and carport under review have not acquired historic significance that is important to the site or surrounding district.

- (4) *Removing buildings or structures that would otherwise qualify as contributing, as set forth in section 102-62(3).*

It is staff's opinion that the existing non-historic shed and carport in question will not qualify as contributing elements to the site or to the historic district in the near future.

It is staff's opinion that the Commission can review the request for demolition. If approved, this will be the only required reading for demolition.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$441 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 09/27/2021 ET



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT # 2022-0370

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1215 Georgia Street	
NAME ON DEED:	Jeffery Warren Dean	PHONE NUMBER 305-5871663
OWNER'S MAILING ADDRESS:	1215 Georgia Street	EMAIL
	Key West, FL 33040	
APPLICANT NAME:	Shore Construction LLC	PHONE NUMBER 3057971066
APPLICANT'S ADDRESS:	PO Box 2391	EMAIL shorekwconstructic
	Key West, FL 33045	
APPLICANT'S SIGNATURE:		DATE 4/21/2022

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☐ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐
PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☐ NO ☒ INVOLVES A HISTORIC STRUCTURE: YES ☐ NO ☒
PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: Construction of bedroom addition, 330 sf on rear of structure including demolition of existing shed and carport; install new metal roof.
MAIN BUILDING: Addition of new bedroom and bath on rear of structure.
Match exist CBS structure, exterior finishes and roof line. Install new metal 5V Crimp roof.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):
Demolition of existing carport and metal shed.

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): na	
PAVERS: na	FENCES: na
DECKS: na	PAINTING: Exterior painting of building.
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
na	na
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:	1215 Georgia St
PROPERTY OWNER'S NAME:	Jeffery W Dean
APPLICANT NAME:	Shore Construction LLC

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR** to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.***

PROPERTY OWNER'S SIGNATURE <div style="text-align: center; margin-top: 10px;"> </div>	Jeff Dean, 4/21/2022 DATE AND PRINT NAME
---	--

DETAILED PROJECT DESCRIPTION OF DEMOLITION
Demolition of carport and detached metal shed.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:
Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):
(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.
The structure is not contributing or a historic structure and the condition is irrevocably deteriorated. See photos
(2) Or explain how the building or structure meets the criteria below:
(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.
No distinctive characteristics of historical value or significance.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

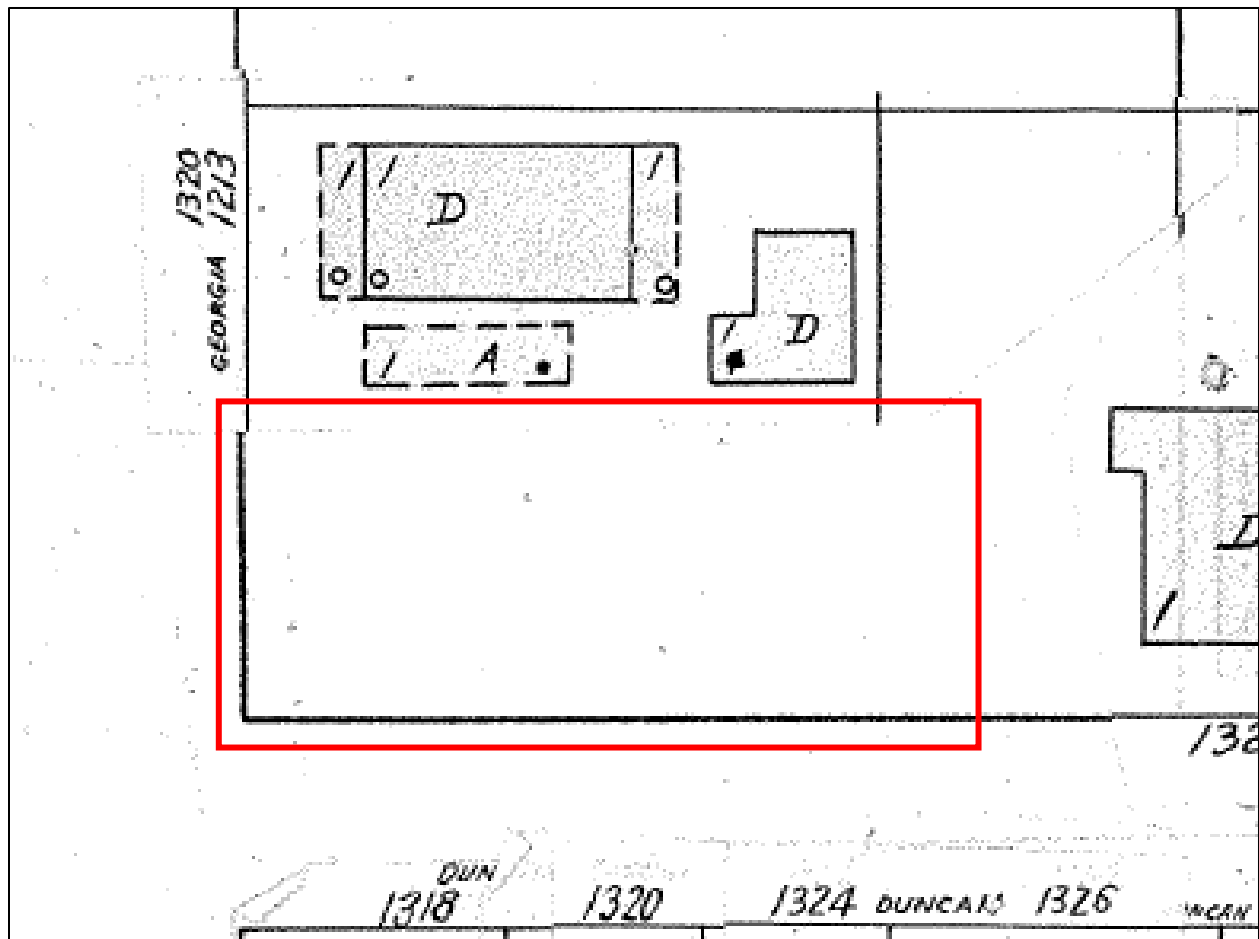
(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
The carport structure to be removed has no significant historical contribution value to the local, state or national history.
(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
No distinctive cultural characteristics of the City or any individual.
(d) Is not the site of a historic event with significant effect upon society.
Not a historic site.
(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
No.
(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
No distinctive historical architectural style.
(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
No architectural features of significance.
(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.
Typical of the neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history,
Not likely to yield any information important to history.

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
Not applicable
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
Not applicable
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.
Not applicable
(4) Removing buildings or structures that would otherwise qualify as contributing.
Not applicable

SANBORN MAPS



1962 Sanborn map with the property at 1215 Georgia Street indicated in red. Existing structure was not constructed yet.

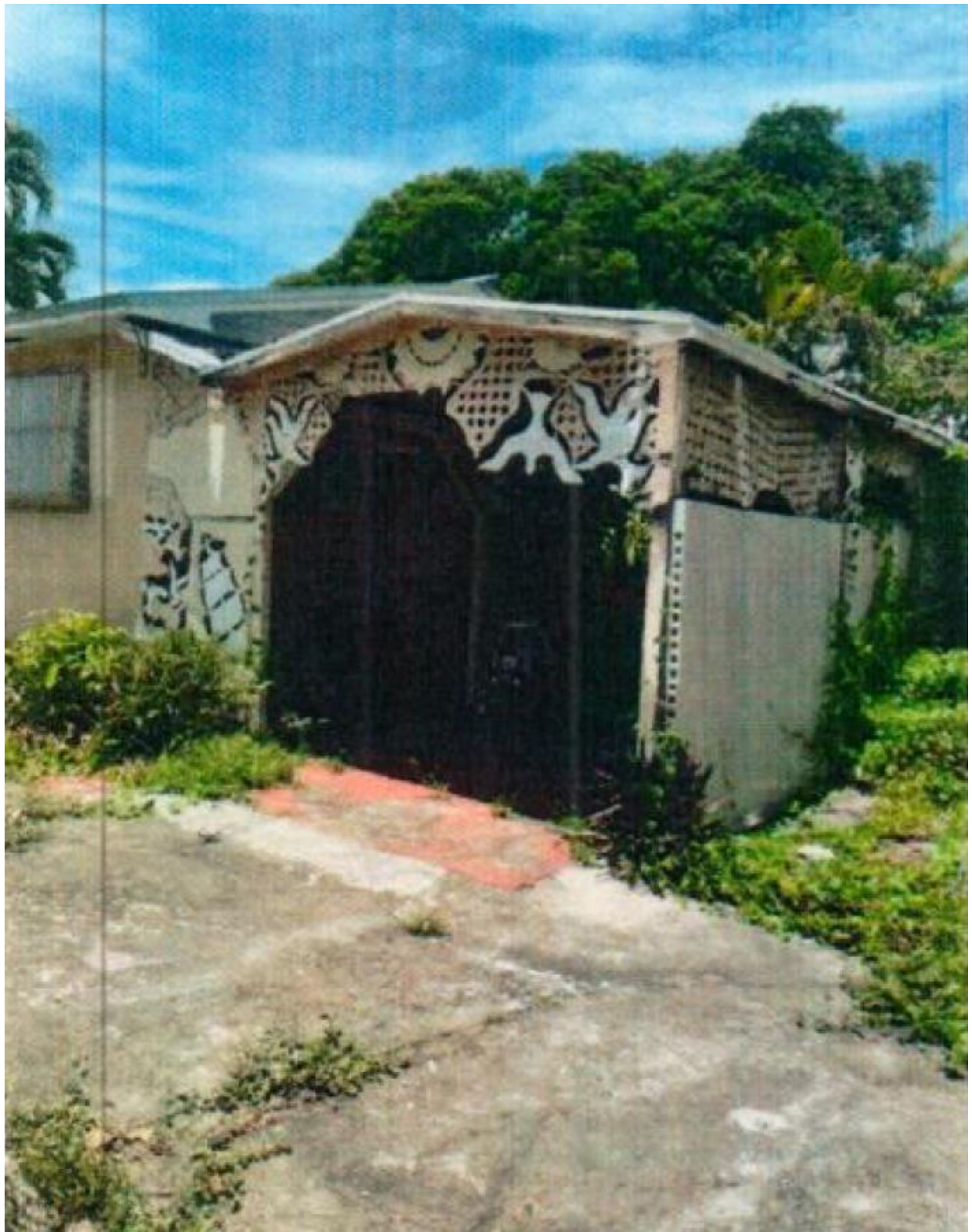
PROJECT PHOTOS



1968 photo showing the house at 1215 Georgia Street.



South Elevation



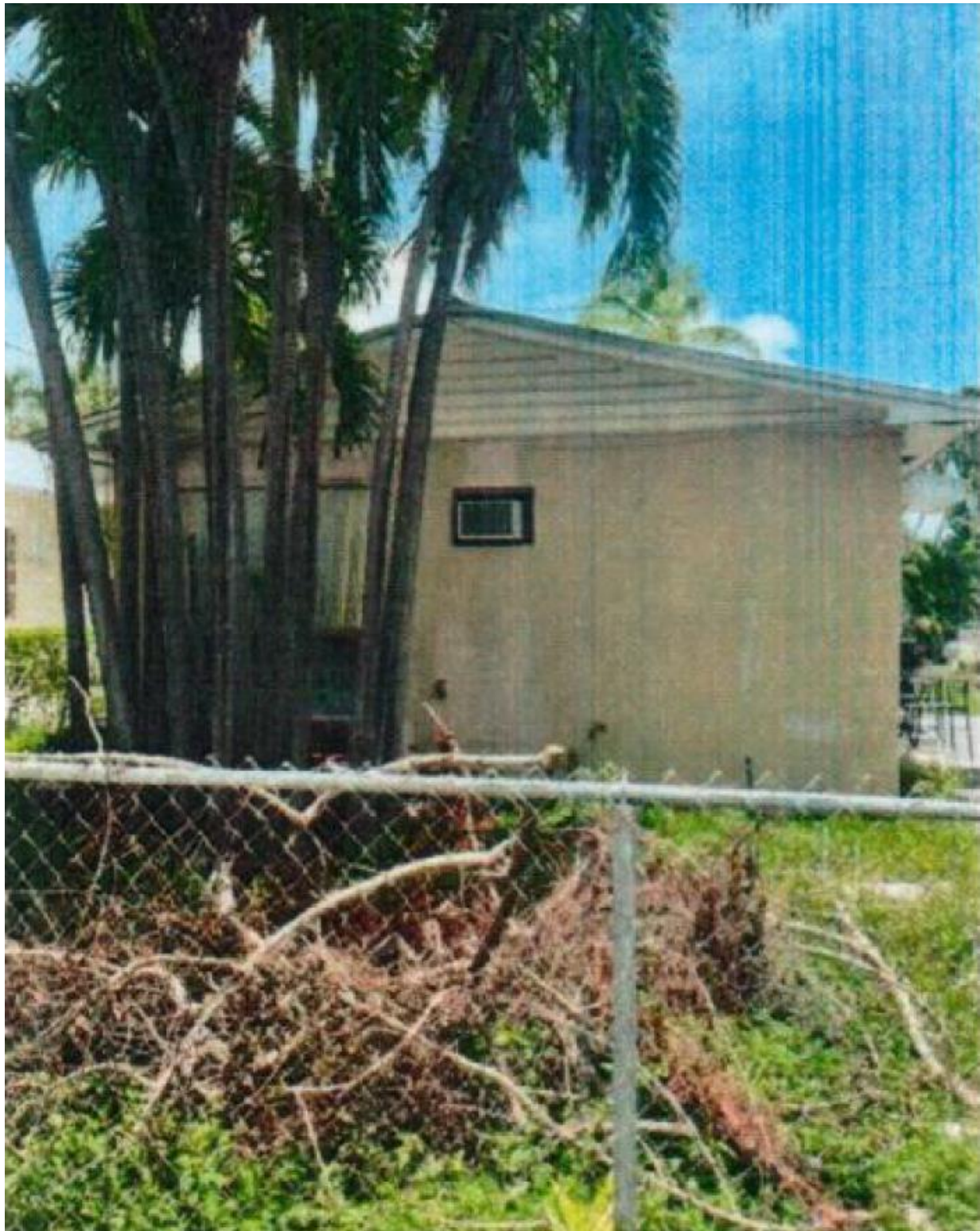
Existing Carport, South Elevation



East Elevation



North Elevation



West Elevation



South Elevation, Carport

SURVEY

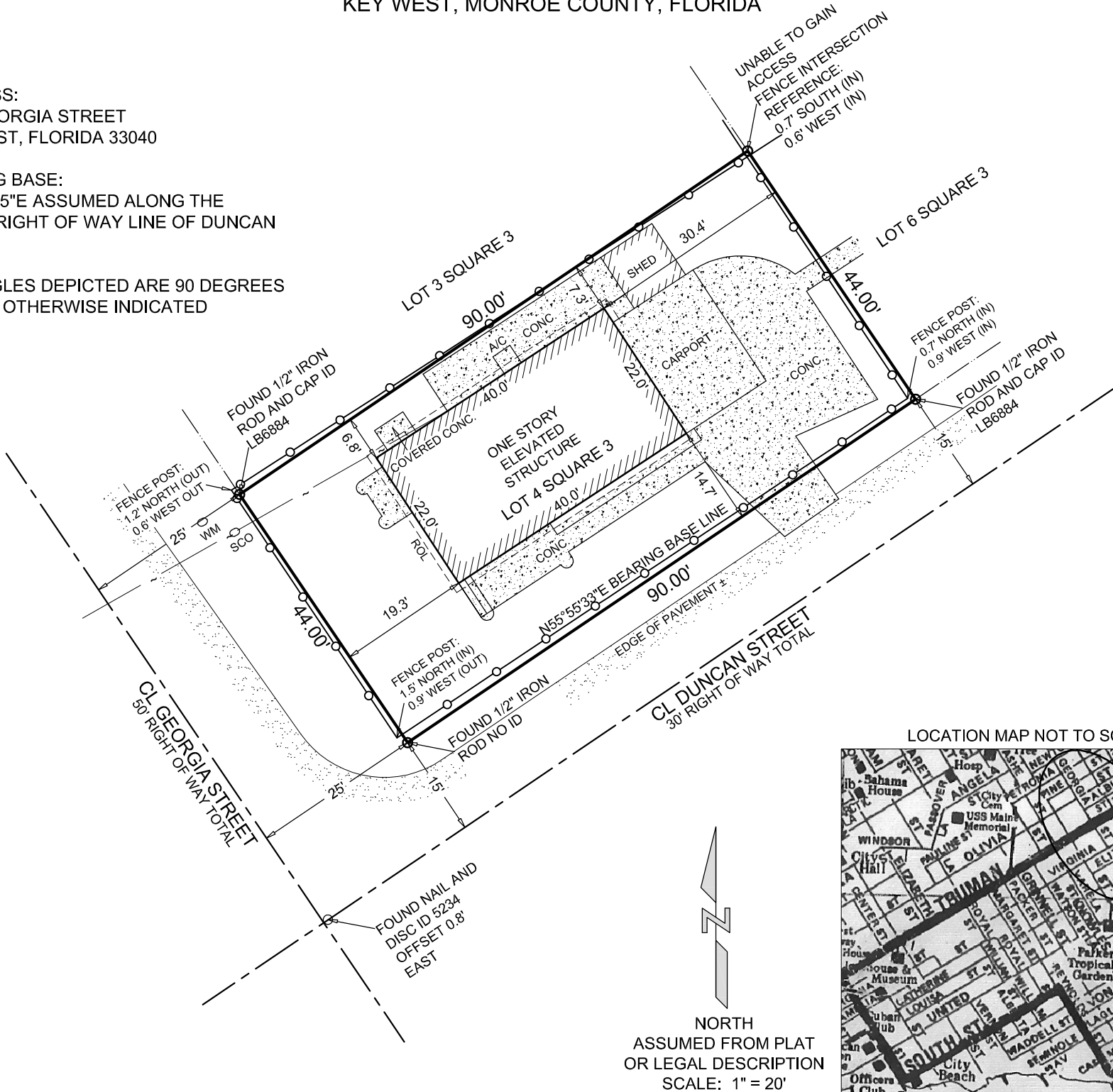
MAP OF BOUNDARY SURVEY

LOT 4 SQUARE 3
DIAGRAM OF LAND
S.E. 1/3RD
TRACT NO. 14
BELONG TO THE ESTATE OF D. MOFFAT
PLAT BOOK 1, PAGE 12
KEY WEST, MONROE COUNTY, FLORIDA

ADDRESS:
1215 GEORGIA STREET
KEY WEST, FLORIDA 33040

BEARING BASE:
N55°55'35"E ASSUMED ALONG THE
NORTH RIGHT OF WAY LINE OF DUNCAN
STREET

ALL ANGLES DEPICTED ARE 90 DEGREES
UNLESS OTHERWISE INDICATED



LEGAL DESCRIPTION:
On the Island of Key West and know as Lot 4 in Square 3 of Tract 14,
MOFFAT'S DIAGRAM of the Subdivision according to the plat thereof recorded
in Plat Book 1 at Page 12 of the public Records of Monroe County, Florida

CERTIFIED TO:
- Jeffery Warren Dean Jr.
- Plaza Home Mortgage, Inc., its successors and/or assigns as their interest
may appear
- Kelly & Grant, P.A.
- Westcor Land Title Insurance Company

GENERAL NOTES
1.) THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.
2.) LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS.
3.) THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.
4.) ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5.) FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN.
6.) MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.
7.) UNITS OF MEASUREMENT ARE U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
8.) THE EXPECTED USE OF THE PROPERTY IS RESIDENTIAL WITH AN ACCURACY STANDARD OF ONE FOOT IN 7,500 FEET. ACCURACY WAS VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS TO MEET OR EXCEED CLOSURE.
9.) SYMBOLS SHOWN HEREON AND IN THE LEGEND MAY HAVE BEEN ENLARGED FOR CLARITY, THESE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE

ABBREVIATIONS:
(C) = CALCULATED
CA = CENTRAL ANGLE
CL = CENTERLINE
CLF = CHAINLINK FENCE
CONC. = CONCRETE
(D) = DEED
EB = ELECTRIC BOX
EM = ELECTRIC METER
(F) = FIELD
FI = FENCE INSIDE
FO = FENCE OUTSIDE
FOL = FENCE ON LINE
GL = GROUND LEVEL
L = ARC LENGTH
(M) = MEASURED
NAVD = NORTH AMERICAN VERTICAL DATUM 1988
NGS = NATIONAL GEODETIC SURVEY
NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)
P = PLAT
PID = PERMANENT IDENTIFIER
R = RADIUS
ROL = ROOF OVERHANG LINE
SCO = SANITARY CLEAN-OUT
SMH = SANITARY MANHOLE
SV = SEWER VALVE
WM = WATER METER
WV = WATER VALVE

LINE NOT TO SCALE
PLATTED LOT LINES
PLASTIC FENCE
WOOD FENCE
CHAIN LINK FENCE
OVERHEAD WIRES
PROPERTY LINE
FIRE HYDRANT
UTILITY POLE CONC.
UTILITY POLE METAL
UTILITY POLE WOOD

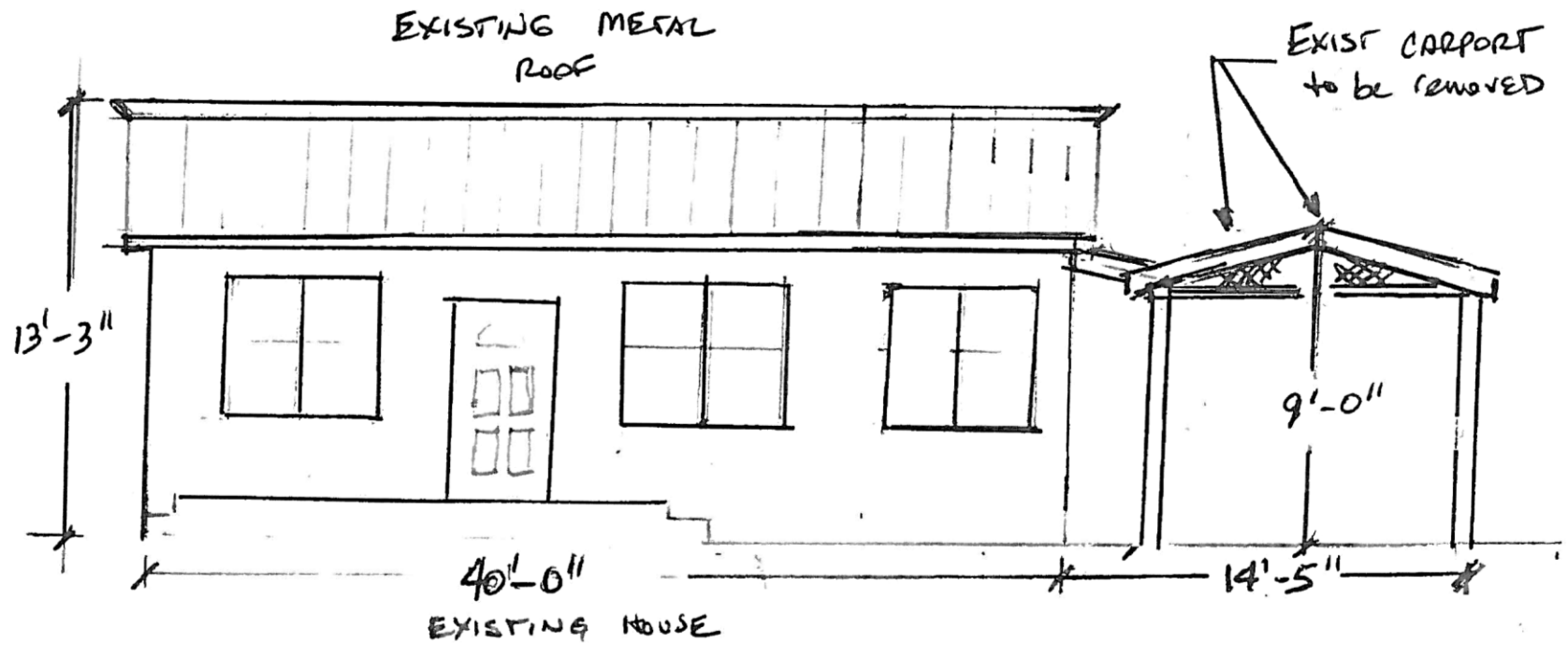
SCALE:	1"=20'
FIELD WORK DATE:	05/20/2021
REVISION DATE:	--/--/--
SHEETS:	1 OF 1
DRAWN BY:	GF/MV
CHECKED BY:	RER
INVOICE NO.:	21042109

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 9, SUBPARAGRAPH 1(B) 1(SETBACKS), 1(B)3(ENCROACHMENTS), & 1(B)4(EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

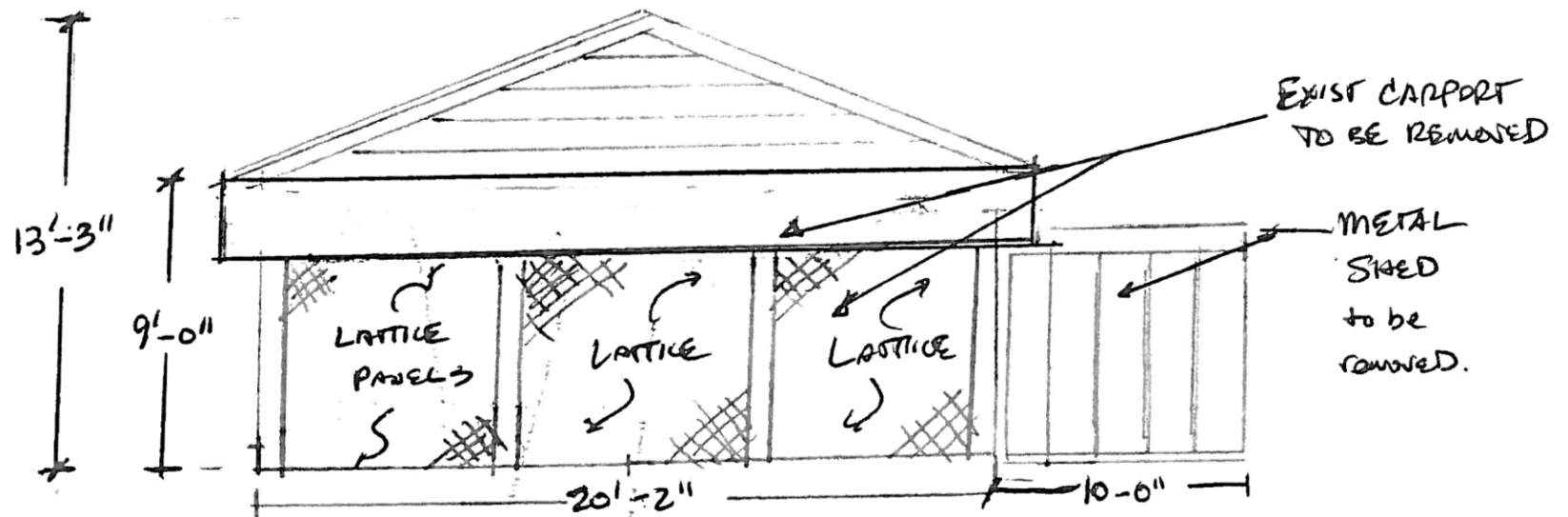
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER
SIGNED
ROBERT E. REECE, PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS 5632

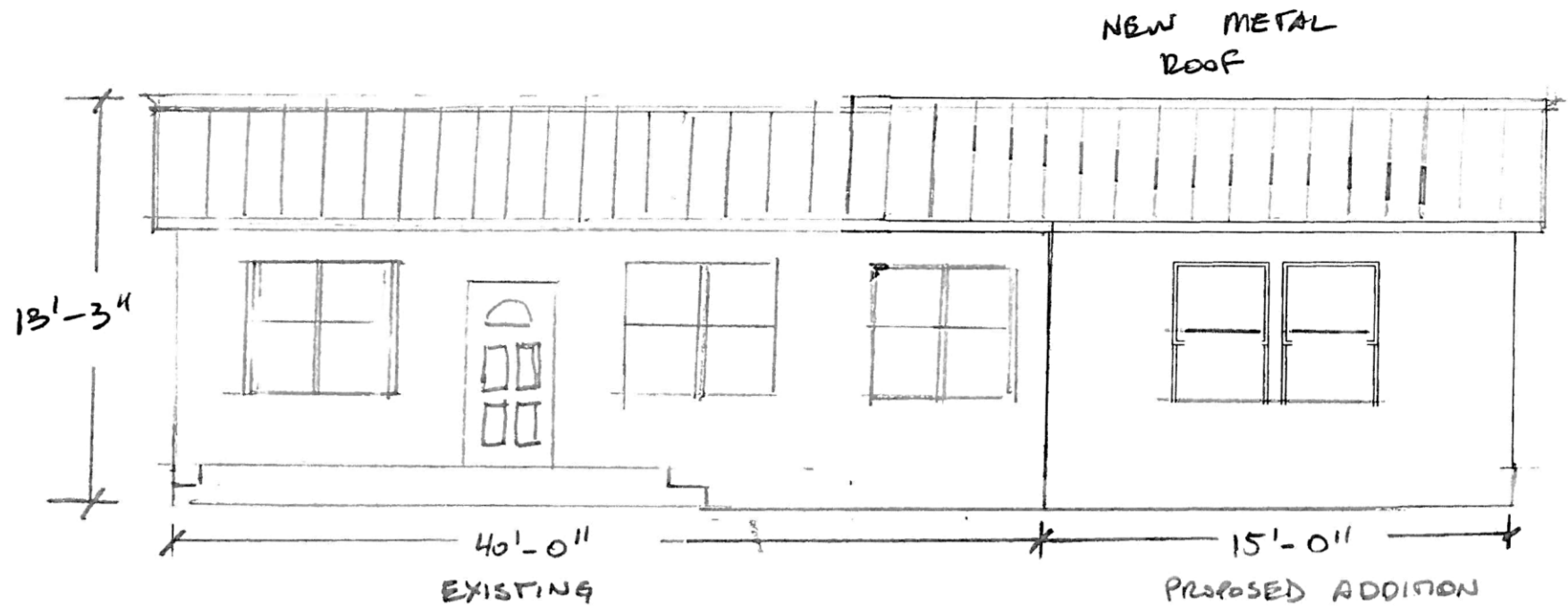
REECE & ASSOCIATES
PROFESSIONAL SURVEYORS AND MAPPERS
LICENSED BUSINESS (LB) NO. 7846
127 INDUSTRIAL ROAD, BIG PINE KEY, FL. 33043
OFFICE (305) 872 - 1348
EMAIL: INFO@REECESURVEYING.COM

PROPOSED DESIGN

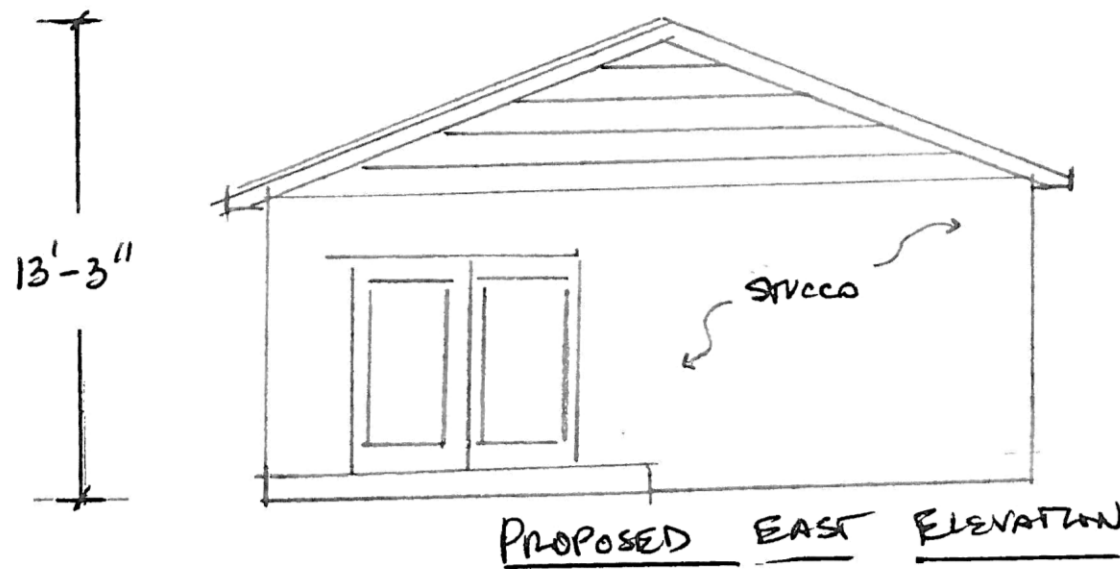


EXISTING SOUTH ELEVATION





PROPOSED SOUTH ELEVATION



ALTERATION PLANS FOR 1215 GEORGIA ST.

CONTRACTOR TO BE DETERMINED

GENERAL NOTES:

- G1 ALL DETAILS, SECTIONS, AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OR SHOWN OTHERWISE.
- G2 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE BEFORE START OF WORK.
- G3 THE DETAILS ON THESE DRAWINGS SHALL BE USED WHEREVER APPLICABLE UNLESS NOTED OR SHOWN OTHERWISE ON THE DRAWINGS. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- G4 ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 SEVENTH EDITION.
- G5 ALL ASTM DESIGNATIONS SHALL BE AS AMENDED TO DATE UNLESS NOTED OTHERWISE.
- G6 ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
- G7 CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION IN AND AROUND JOB SITE AND/OR ADJACENT PROPERTIES.
- G8 OBSERVATION VISITS TO THE SITE BY A AN ENGINEERING FIELD REPRESENTATIVE SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION UNLESS WRITTEN CONFIRMATION IS PROVIDED.
- G9 DURING AND AFTER CONSTRUCTION, BUILDER AND/OR OWNER SHALL KEEP LOADS ON STRUCTURE WITHIN THE LIMITS OF DESIGN LOADS.
- G10 U.N.O.S. MEANS UNLESS NOTED OR SHOWN OTHERWISE.
- G11 DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES. ANY DEVIATION MUST BE APPROVED PRIOR TO ERECTION.
- G12 ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA PRIOR TO ERECTION.
- G13 THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.
- G14 PROVIDE OPENINGS AND SUPPORTS, AS REQUIRED FOR HEATERS, MECHANICAL EQUIPMENT, VENTS, DUCTS, PIPING, ETC. STRUCTURAL MEMBERS SHALL NOT BE MODIFIED WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER. ALL SUSPENDED MECHANICAL EQUIPMENT SHALL BE SWAY OR Laterally BRACED.
- G15 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- G16 CONTRACTOR TO BE SOLELY RESPONSIBLE FOR SHORING DURING CONSTRUCTION. ALL SHORING DESIGN'S SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT.
- G17 FASTENER OR SIMPSON CONNECTORS SUBSTITUTION SHALL EQUAL OR EXCEED CAPACITY OF SPECIFIED FASTENER OR SIMPSON CONNECTORS.
- G18 ALL COMPONENTS AND CLADDING AS DEPICTED ON THIS PLAN SHALL BE DESIGNED, TESTED AND APPROVED FOR USE AS REQUIRED BY THE FLORIDA BUILDING CODE 2020 SEVENTH EDITION. INCLUDING ALL ASSEMBLY AND CONNECTION DEVICES AND PROCEDURES. ALL MANUFACTURER'S OF ANY EXTERIOR COMPONENT OR CLADDING MUST HAVE THEIR PRODUCTS APPROVED, CERTIFIED AND ON FILE WITH THE RESPECTIVE PERMITTING AGENCY. THE ENGINEER OF RECORD FOR THIS PLAN TAKES NO RESPONSIBILITY FOR THE ATTACHMENT OF SAID MANUFACTURED DEVICES TO THE HOME.
- G19 ALL ELECTRICAL CONSTRUCTION MUST BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
- G20 ALL PLUMBING CONSTRUCTION MUST BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR.
- G21 ALL MECHANICAL CONSTRUCTION MUST BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR.
- G22 CODES: THESE PLANS COMPLY WITH THE LATEST FBC 2020 SEVENTH EDITION.
- G23 BUILDING DESIGNED FOR ULTIMATE DESIGN WIND SPEED 180 MPH, NOMINAL WIND DESIGN SPEED 108 MPH. RISK CATEGORY II, EXPOSURE C. INTERNAL

- 245 BUILDING LOADS: WIND, COMPONENTS & CLADDING.
- DEAD LOAD: ROOF 7 PSF
ATTIC 10 PSF
DECK 7 PSF(IF APPLICABLE)
ROOF 20 PSF
2ND FLOOR 40 PSF(IF APPLICABLE)
DECK 40 PSF(IF APPLICABLE)
- LIVE LOAD:
- C&C ASD 180
ZONES: 1: 26.1 PSF, -64.6 PSF
1E: 26.1 PSF, -64.6 PSF
2N: 26.1 PSF, -94.2 PSF
2R: 26.1 PSF, -94.2 PSF
3E: 26.1 PSF, -94.2 PSF
3R: 26.1 PSF, -112.0 PSF
4: 35.0 PSF, -37.9 PSF
5: 35.0 PSF, -46.8 PSF

MULTIPLY VALUES ABOVE BY 1.21 FOR EXPOSURE C OR 1.47 FOR EXPOSURE D.

BUILDING OCCUPANCY: R3

CONCRETE NOTES:

- C1 CONCRETE AND GROUT SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.
- C2 BILLET STEEL BARS FOR REINFORCING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, GRADE 40.
- C3 ALL REINFORCING SHOWN CONTINUOUS SHALL BE LAP SPLICED AS SHOWN BELOW:
#3, 15"
#4, 20"
#5, 25"
- C4 COVER OVER REINFORCEMENT SHALL BE:
3" - CONCRETE CAST AGAINST EARTH
1-1/2" - CONCRETE EXPOSED TO WEATHER
1-1/2" - BOND BEAM
- C5 ALL REINFORCING BARS SHALL EXTEND CONTINUOUSLY (LAPPED W/ CORNER BARS OR DOWELS.) INTO FRAMING MEMBERS.
- C6 ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 318, LATEST EDITION.

FOUNDATION NOTES:

- F1 ALL CONCRETE TO BE 3000 P.S.I. AT 28 DAY STRENGTH.
- F2 BILLET STEEL BARS FOR REINFORCING SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, GRADE 40.
- F3 CONCRETE FOOTINGS AND SLAB ON GRADE: SUB-GRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OF THE MODIFIED PROCTOR, FOR A DEPTH OF 24 INCHES BELOW FOOTINGS AND 12 INCHES BELOW SLABS ON GRADE.
- F4 SOIL SHALL BE TREATED FOR TERMITES BY A LICENSED EXTERMINATOR.
- F5 A 6 MIL VAPOR BARRIER SHALL BE PLACED UNDER ALL SLABS ON GRADE.
- F6 FOUNDATION IS DESIGNED FOR A MINIMUM ASSUMED BEARING VALUE OF 2000 P.S.F.
- F7 IF UNSUITABLE SOIL (MORE THAN 10% PASSING A # 200 SIEVE) IS ENCOUNTERED, UNSUITABLE MATERIAL SHALL BE REMOVED NO LESS THAN 2 FEET BELOW THE BOTTOM OF THE FOOTER AND REPLACED WITH CLEAN FILL.
- F8 SAW CUT SLAB MAX. 10'x10' 1/3 DEPTH OF SLAB.
- F9 PROVIDE RAILING IF FINISH FLOOR ELEVATION IS 30" OR MORE ABOVE FINISH LOT GRADE. RAILING IS TO BE CONSTRUCTED IN ACCORDANCE TO FLORIDA BUILDING CODE 2020 SEVENTH EDITION.

WOOD CONSTRUCTION NOTES:

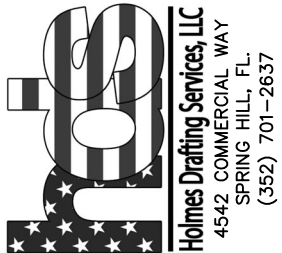
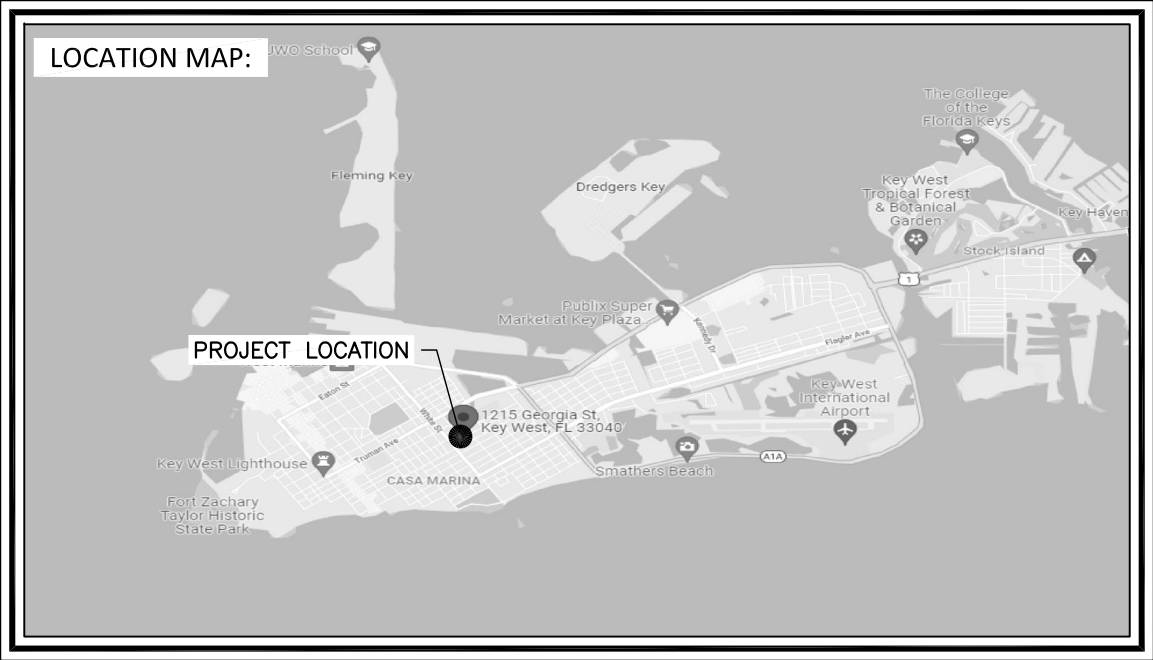
- W1 ALTHOUGH A SPECIFIC SPECIES AND GRADE IS GIVEN, A SPECIES AND GRADE WITH EQUIVALENT OR GREATER DESIGN VALUES SHALL BE PERMITTED. THE DESIGN VALUES CONTAINED IN DESIGN VALUES FOR WOOD CONSTRUCTION, AISC, SHALL BE USED TO DETERMINE EQUIVALENCY OF SUBSTITUTED MATERIAL. STUD GRADE OF A SPECIES CAN BE SUBSTITUTED FOR #3 GRADE OF SAME SPECIES.
- W2 ALL WOOD EXPOSED OR IN CONTACT WITH EARTH OR WEATHER SHALL BE PRESSURE TREATED.
- W3 DIRECT WOOD TERMITE TREATMENT IS REQUIRED IF SOIL TERMITE TREATMENT HAS NOT BEEN PROVIDED.
- W4 METAL PLATES, CONNECTORS, SCREWS, BOLTS AND NAILS EXPOSED DIRECTLY TO THE WEATHER OR SUBJECT TO SALT CORROSION IN COASTAL AREAS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED, AFTER THE FASTENER OR CONNECTOR IS FABRICATED, TO FORM A ZINC COATING NOT LESS THAN 1 OZ. PER SQ. FT..
- W5 FRAMING LUMBER SHALL BE GRADE-MARKED SOUTHERN PINE PER ATTIC SPECIFICATIONS AS GRADE NO. 1 MINIMUM EXCEPT AS NOTED BELOW.
A. BEAM, HEADERS, PURLINS NO. 2
B. LEDGERS NO. 2
C. STUDS, PLATES AND SILLS STUD OR NO. 3
D. BLOCKING STUD OR NO. 3
- W6 NAILING SHALL CONFORM TO TABLE R602.3(1) OF THE FLORIDA BUILDING CODE RESIDENTIAL UNLESS NOTED OTHERWISE. COMMON NAILS SHALL BE USED.
- W7 NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED OR APPROVED BY THE STRUCTURAL ENGINEER.
- W8 MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 19% FOR ALL STRUCTURAL MEMBERS.
- W9 SILLS OR PLATES BEARING ON CONCRETE OR MASONRY WHICH IS WITHIN 48" OF EARTH SHALL BE PRESSURE TREATED WOOD, OR EQUAL, UNLESS NOTED OTHERWISE.
- W10 ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE STANDARD CUT WASHERS. ALL BOLT HOLES IN WOOD SHALL BE DRILLED 1/32" TO 1/16" DIA. LARGER THAN THE NOMINAL BOLT DIAMETER.
- W11 LAG BOLTS AND SCREWS SHALL BE PRE DRILLED TO SHANK DIAMETER AND FULL DEPTH AND SCREWED INTO PLACE.
- W12 TOP PLATES OF ALL WOOD STUD WALLS TO BE DOUBLE 2x'S WITH SAME WIDTH AS STUDS UNLESS NOTED OTHERWISE. LAP 48" MINIMUM WITH NOT LESS THAN 8-16d NAILS AT EACH LAP AND NOT MORE THAN 12" BETWEEN NAILS.
- W13 ALL UNSUPPORTED EDGE OF ROOF SHEETING SHALL HAVE CLIPS.
- W14 TRUSS MANUFACTURE SHALL SPECIFY TRUSS BRACING.
- W15 ALL TRUSS TO TRUSS CONNECTORS ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER IN ADDITION, THE CONNECTORS SHALL BE PROVIDED BY THE TRUSS MANUFACTURER.

TRUSS CONSTRUCTION NOTES:

- T1 TRUSS LOADING DESIGN
LL: 20 psf
DL: TOP CHORD 7 psf
BOTTOM CHORD 10 psf
SPACING 2'-0" O.C.
- T2 TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE TPI DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES.
- T3 CONTRACTOR TO SUPPLY ROOF TRUSS SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA. DRAWINGS TO BE SENT TO ENGINEERS OFFICE FOR REVIEW AND APPROVAL BEFORE CONSTRUCTION OF TRUSSES IS STARTED.
- T4 TRUSSES TO BE HANDLED WITH REASONABLE CARE DURING FABRICATION, SHIPPING AND ERECTION TO PREVENT EXCESSIVE DAMAGE. DAMAGED TRUSSES WILL BE REJECTED.
- T5 ALL METAL CONNECTORS TO BE STANDARD GALVANIZED.
- T6 TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S "BRACING WOOD TRUSSES, BWI-76".
- T7 TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED UNLESS ENGINEER APPROVED. NO ADDITIONAL LOADING OF ANY MEMBER SHALL BE PERMITTED WITHOUT ADDITIONAL LOAD BEARING INCORPORATED INTO THE ENGINEERING DESIGN

STRUCTURE SQ.FT. AREAS	
SPACE	SQ. FT.
EXISTING STRUCTURE	880
ADDITION	330
TOTAL	1210

SHEET INDEX	
1	COVER SHEET
2	AS BUILT
3	DEMOLITION PLAN
4	FOUNDATION PLAN
5	FLOOR PLAN
6	ELEVATIONS
7	TRUSS LAYOUT PLAN
8	UTILITY PLAN
9	DETAILS
10	DETAILS



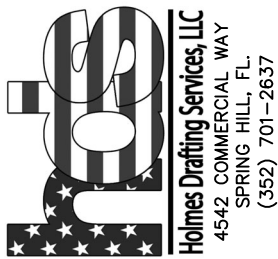
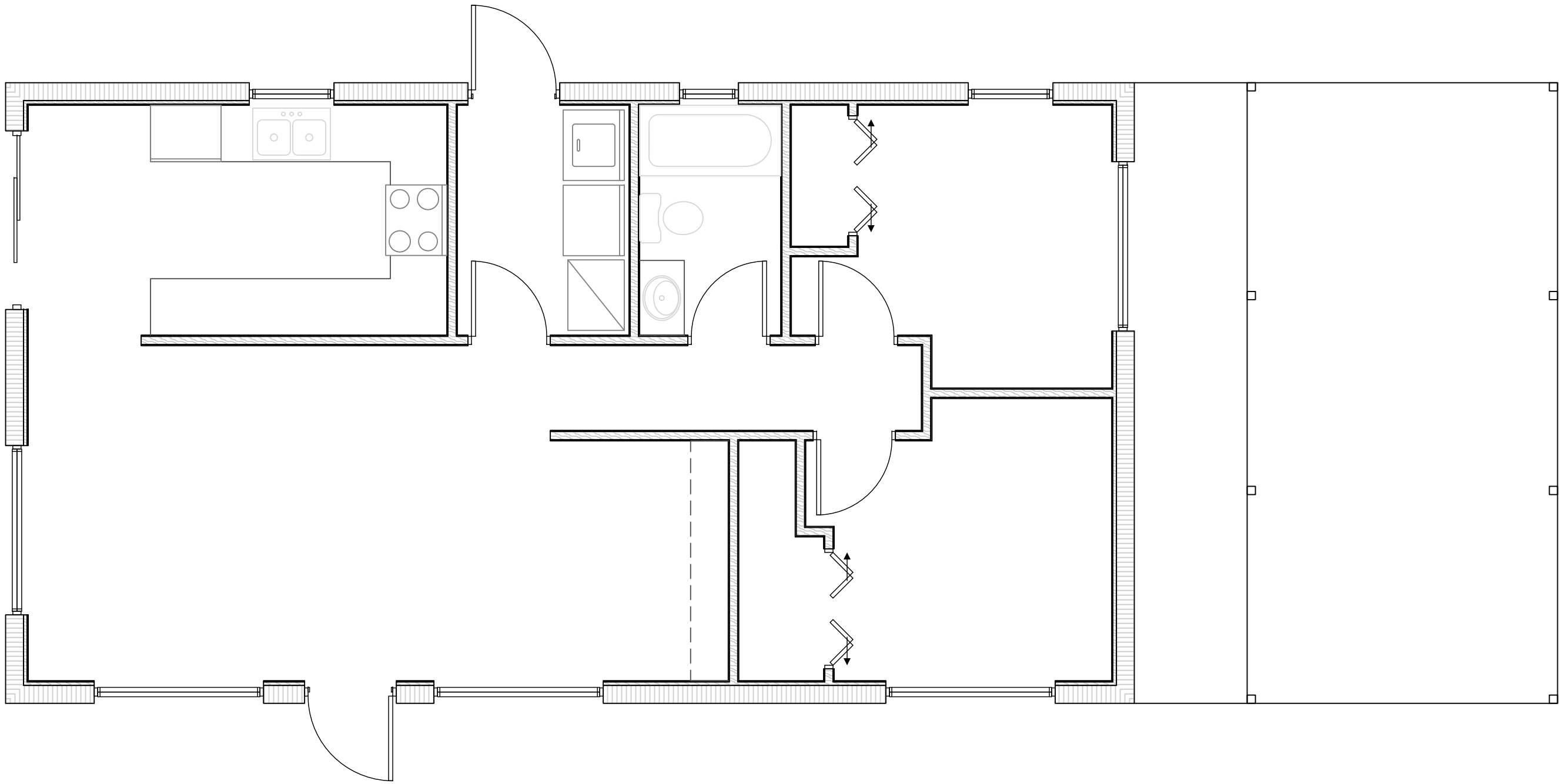
CUSTOMER: GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS: 1215 GEORGIA ST
KEY WEST, 33040

COVER

PAGE

01 OF 11

DRAWN BY: DHK
CHECKED BY: NRH
SCALE: N.T.S.
SAVED DATE: 4/22/2022 05:05



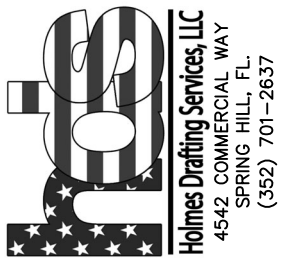
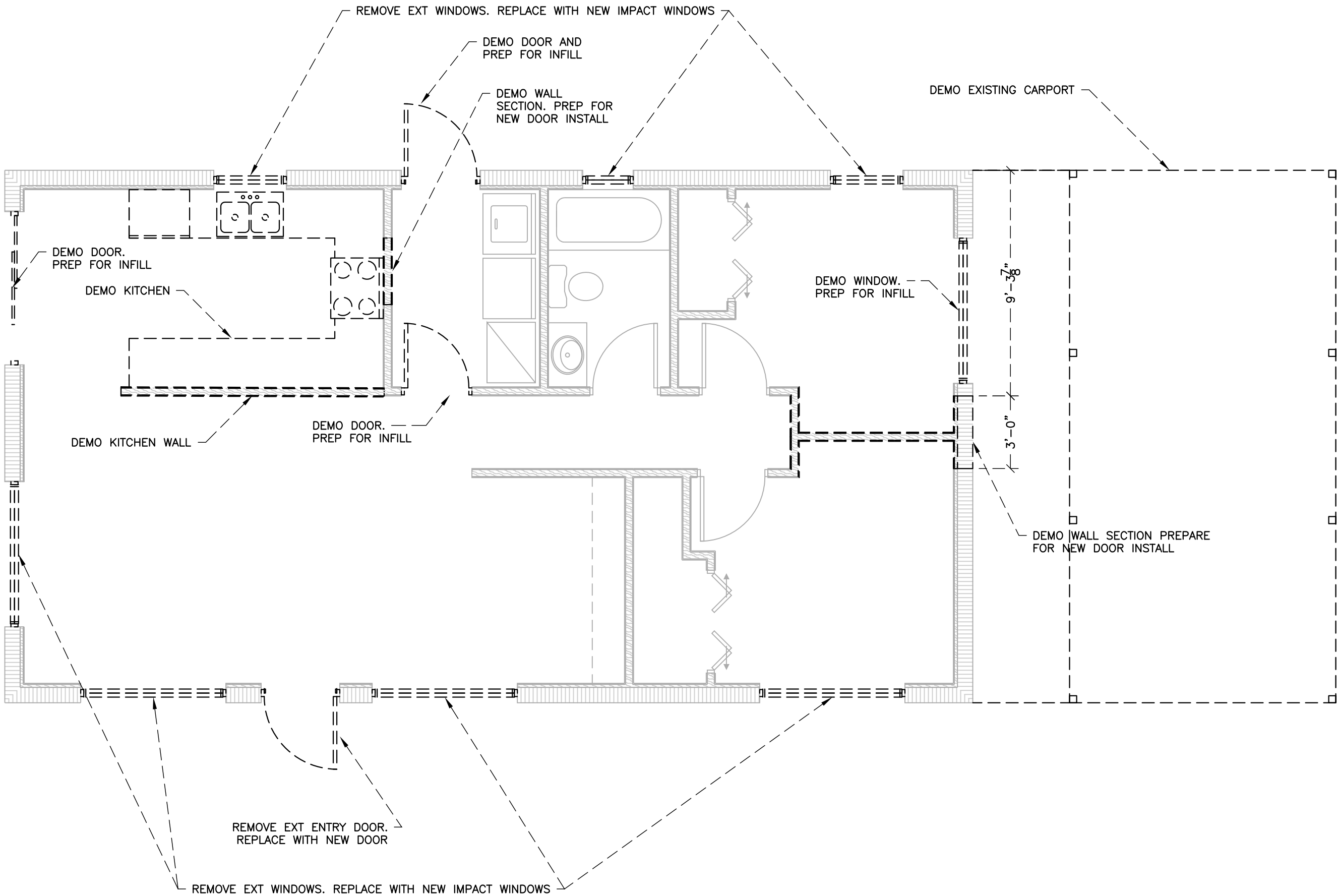
CUSTOMER:
GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS:
1215 GEORGIA ST
KEY WEST, 33040

AS BUILT

PAGE
02 / 11

DRAWN BY:
DHK
CHECKED BY:
NRH
SCALE:
1/4" = 1'-0"
SAVED DATE:
4/22/2022 05:05

CONTRACTOR TO BE DETERMINED



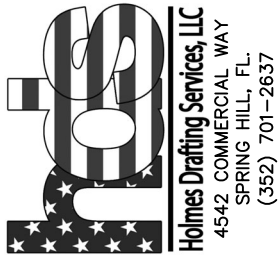
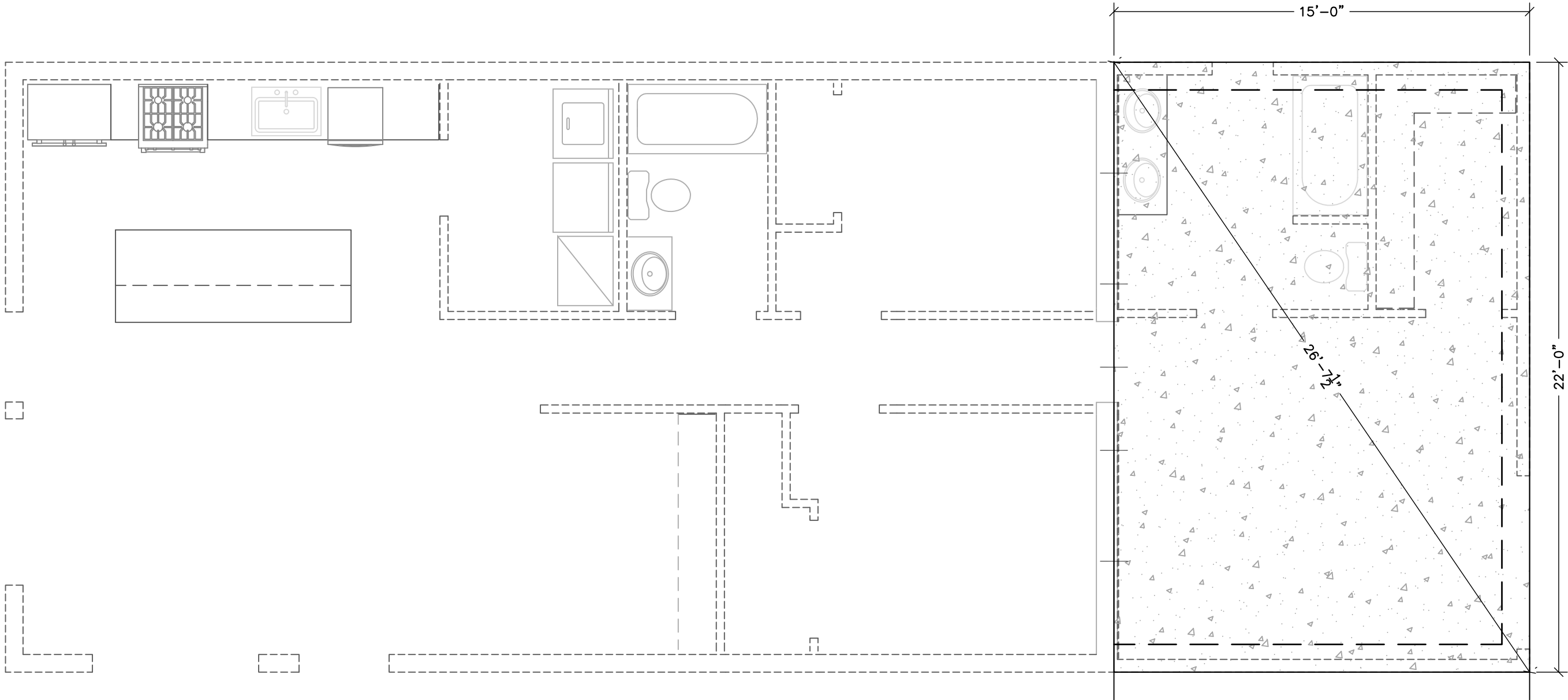
CUSTOMER:
GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS: 1215 GEORGIA ST
KEY WEST, 33040

DEMO PLAN

PAGE
03 / **11**

DRAWN BY: DHK
CHECKED BY: NRH
SCALE: 1/4" = 1'-0"
SAVED DATE: 4/22/2022 05:05

CONTRACTOR TO BE DETERMINED



CUSTOMER:
GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS:
1215 GEORGIA ST
KEY WEST, 33040

FOUNDATION PLAN

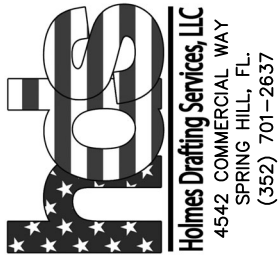
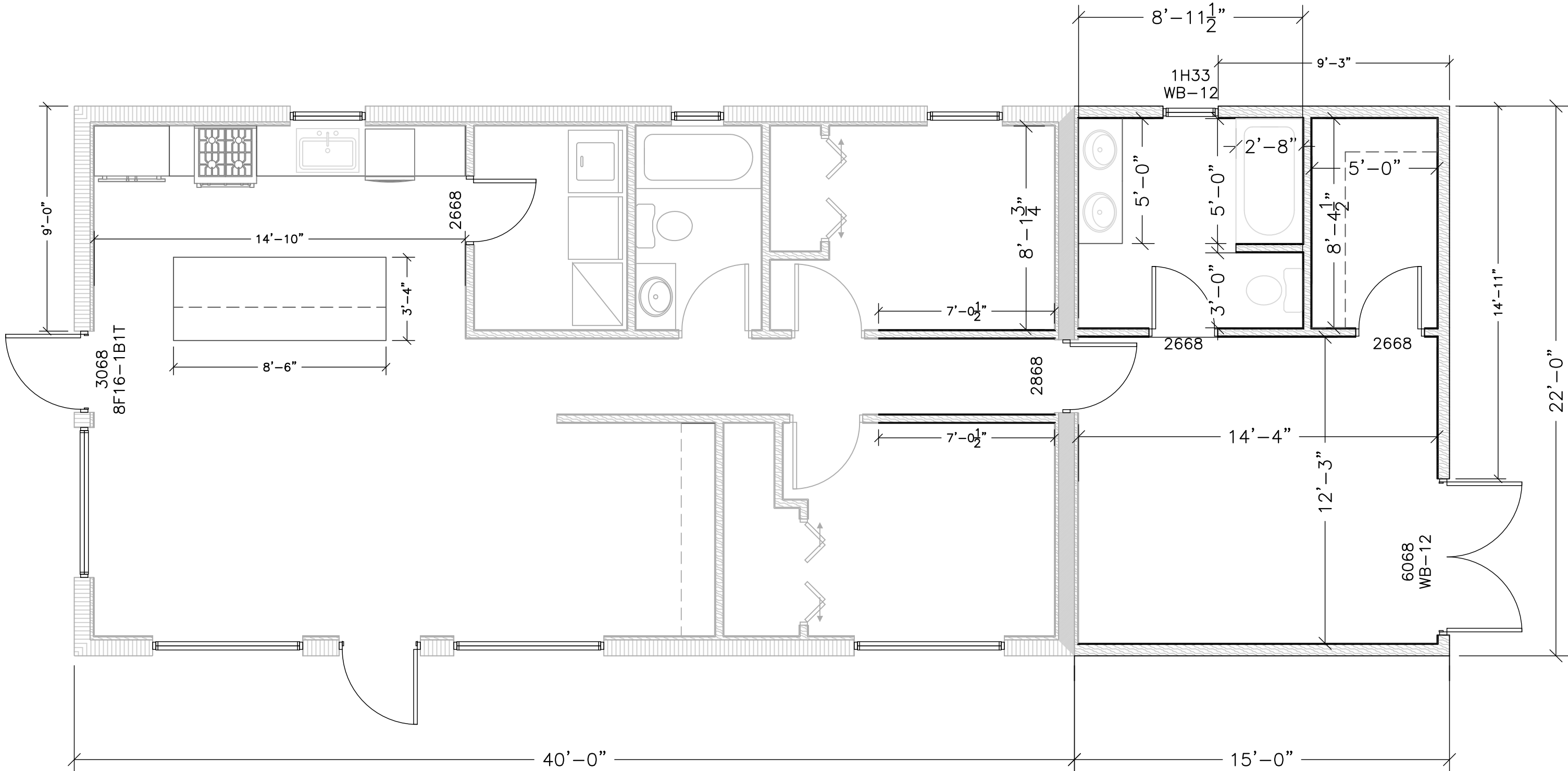
PAGE
04 / 11

DRAWN BY: DHK
CHECKED BY: NRH
SCALE: 1/4" = 1'-0"
SAVED DATE: 4/22/2022 05:05

CONTRACTOR TO BE DETERMINED

HOLMES DRAFTING SERVICES

352-701-2637 • WWW.HOLMESDRAFTINGSERVICES.COM

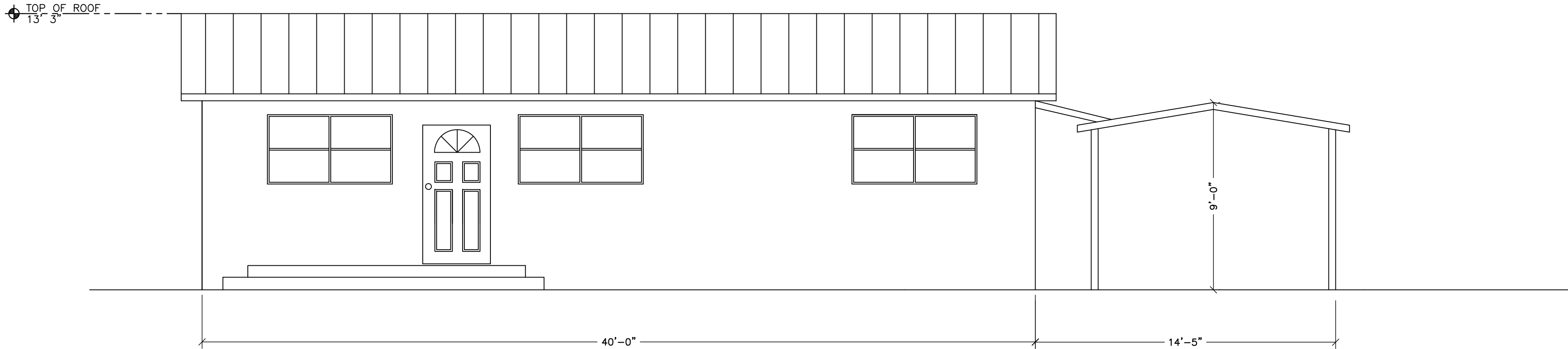


CUSTOMER:
GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS: 1215 GEORGIA ST
KEY WEST, 33040

FLOOR PLAN

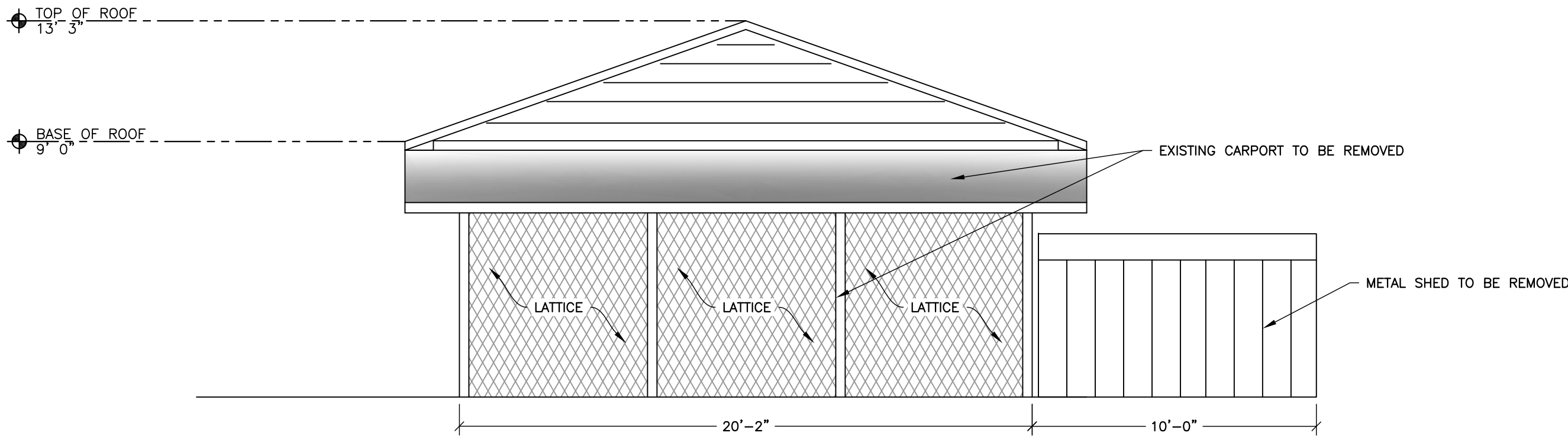
PAGE
05 / **11**
DRAWN BY: DHK
CHECKED BY: NRH
SCALE: 1/4" = 1'-0"
SAVED DATE: 4/22/2022 05:05

CONTRACTOR TO BE DETERMINED



EXISTING SOUTH ELEVATION

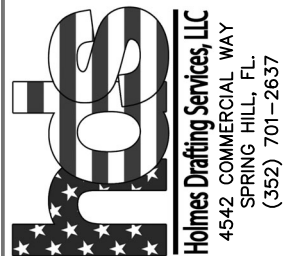
ViewportScale 1/4" = 1' 0"



EXISTING EAST ELEVATION

ViewportScale1" 0"

CONTRACTOR TO BE DETERMINED

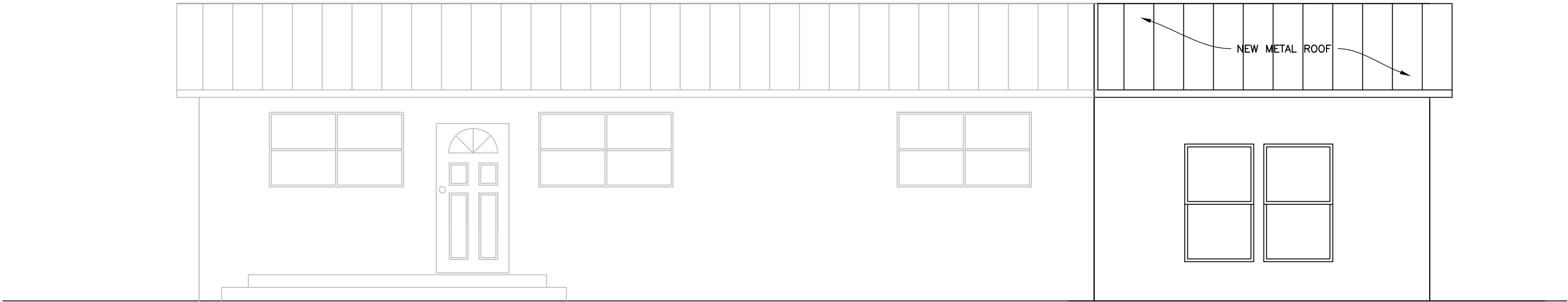


CUSTOMER:
GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS: 1215 GEORGIA ST
KEY WEST, 33040

ELEVATIONS

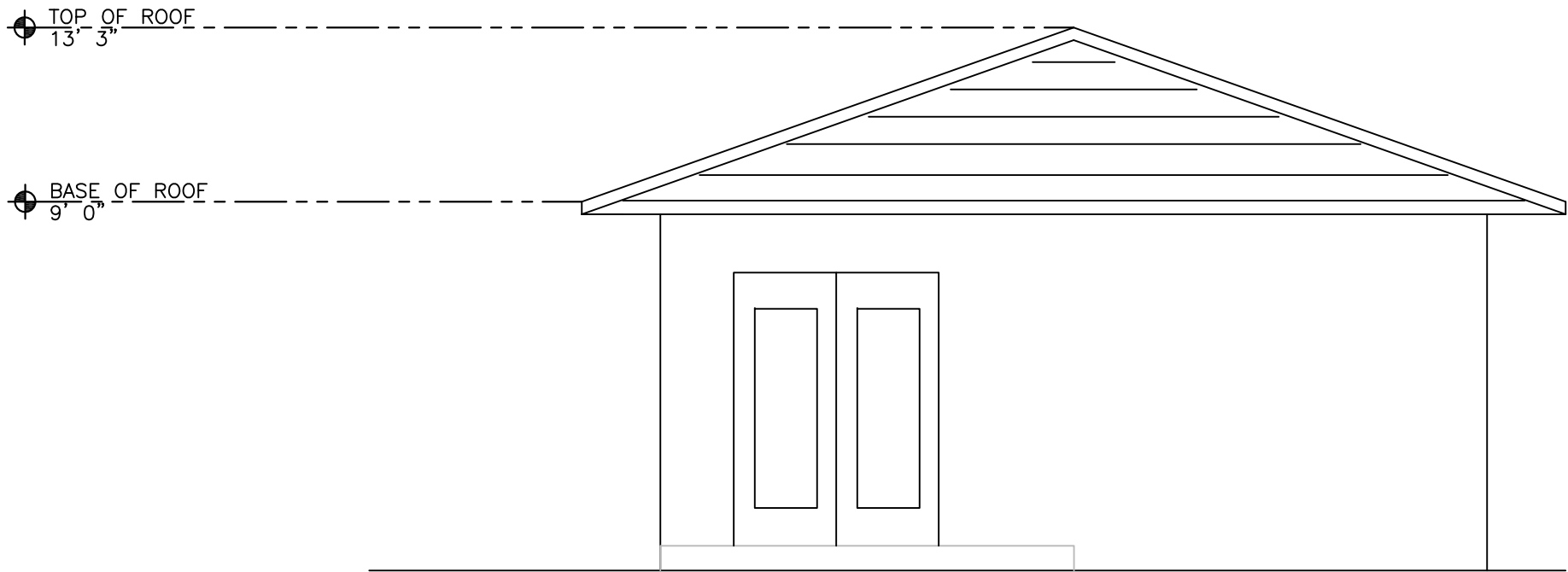
PAGE
06 OF 11

DRAWN BY: DHK
CHECKED BY: NRH
SCALE: AS SHOWN
SAVED DATE: 4/22/2022 05:05



PROPOSED SOUTH ELEVATION

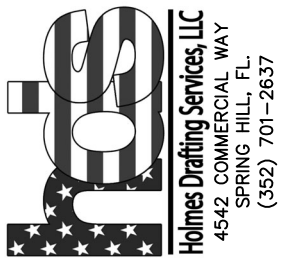
ViewportScale 1/4" = 1' 0"



PROPOSED EAST ELEVATION

ViewportScale 1/4" = 1' 0"

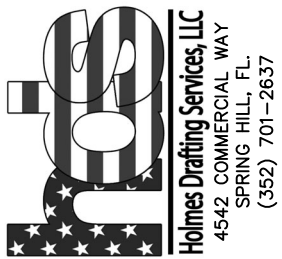
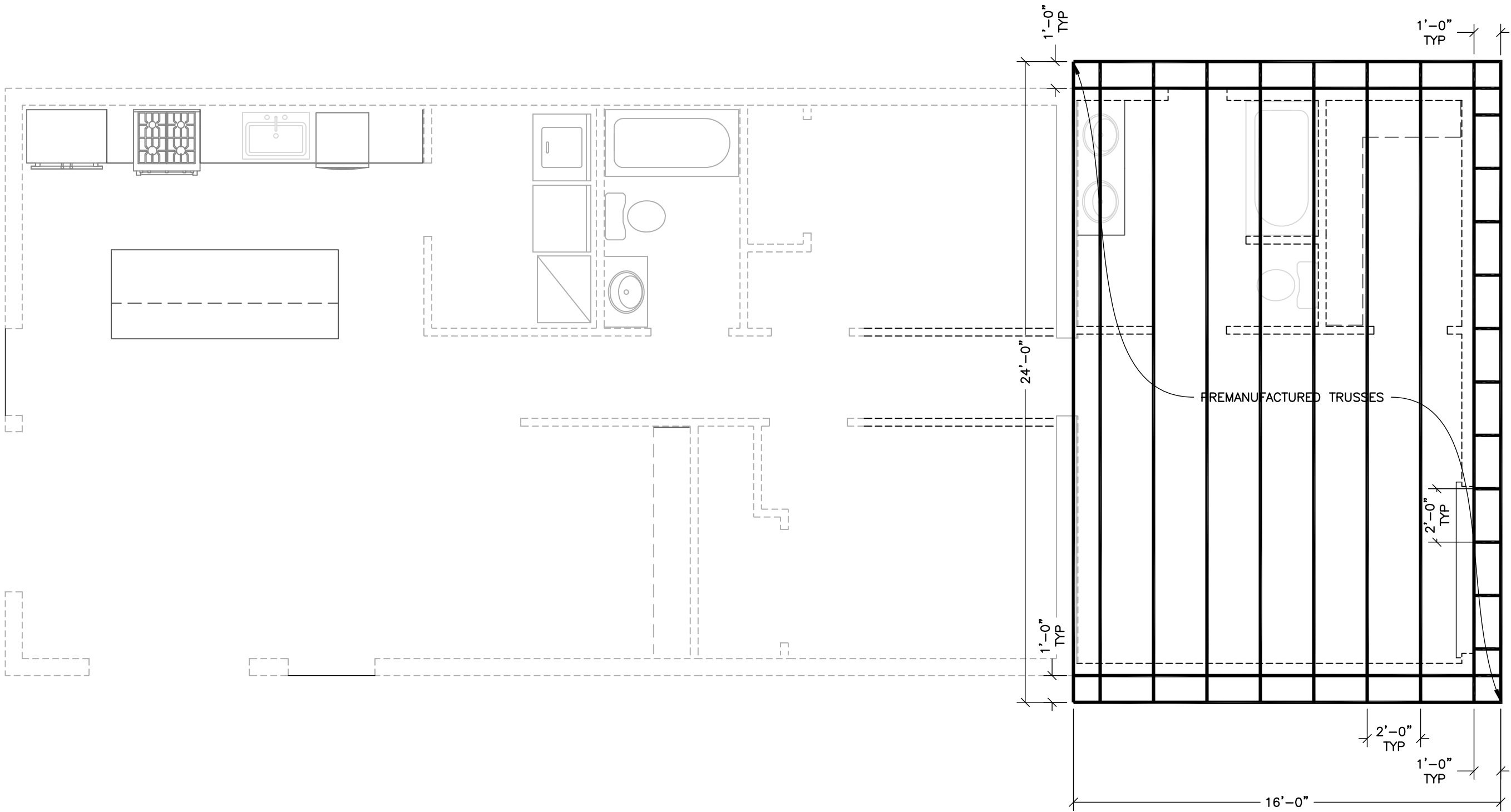
CONTRACTOR TO BE DETERMINED



CUSTOMER:
GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS:
1215 GEORGIA ST
KEY WEST, 33040

ELEVATIONS

PAGE
07 / 11
DRAWN BY: DHK
SCALE: AS SHOWN
CHECKED BY: NRH
SAVED DATE: 4/22/2022 05:05



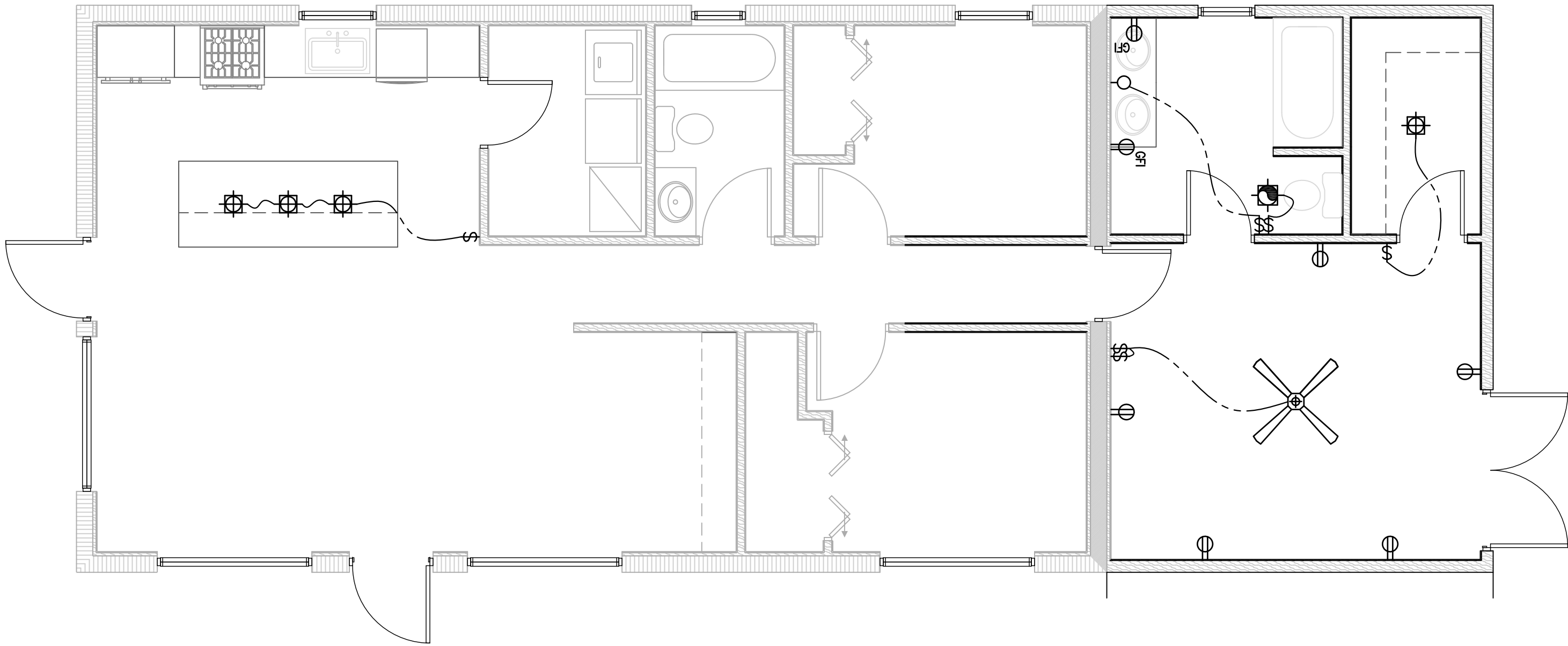
CUSTOMER:
GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS: 1215 GEORGIA ST
KEY WEST, 33040

TRUSS PLAN

PAGE
08 / 11

DRAWN BY: DHK
CHECKED BY: NRH
SCALE: 1/4" = 1'-0"
SAVED DATE: 4/22/2022 05:05

CONTRACTOR TO BE DETERMINED



DUPLEX OUTLET

HALF-SWITCHED DUPLEX OUTLET

FULL-SWITCHED DUPLEX OUTLET

GFI DUPLEX OUTLET

QUAD OUTLET

FLOOR OUTLET

SWITCHED FLOOR OUTLET

220 VOLT OUTLET

TELEVISION/CABLE

DATA/NETWORK

TELEPHONE

DATA/TELEPHONE COMBO

EXIT SIGN

EMERGENCY LIGHT

MUSIC SYS. SPEAKER (OPTIONAL)

SWITCH

3-WAY SWITCH

DIMMER SWITCH

CEILING MOUNTED LIGHT FIXTURE

RECESSED LIGHT FIXTURE

FLUORESCENT LIGHT

CEILING FAN OUTLET

EXHAUST FAN/LIGHT COMBINATION 50 CFM

LED LIGHT

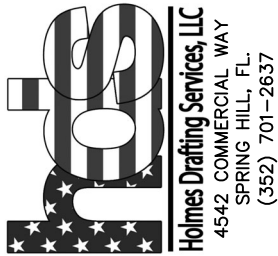
WALL MOUNTED LIGHT

FLOOD LIGHT

CHIMES (12" FROM CEILING)

PUSH-BUTTON SWITCH

SMOKE DETECTOR (12" FROM CEILING)



CUSTOMER: GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS: 1215 GEORGIA ST
KEY WEST, 33040

UTILITY PLAN

PAGE

09 / 11

DRAWN BY:
DHK

CHECKED BY:
NRH

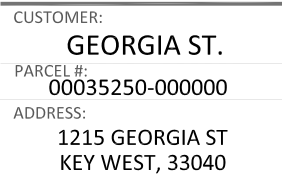
SCALE:
1/4" = 1'-0"

SAVED DATE:
4/22/2022 05:05

NOTE:

- THIS INFORMATION IS PROVIDED FOR THE GENERAL CONCEPT AND LOCATION OF ELECTRICAL ITEMS. ALL ELECTRICAL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (LATEST EDITION) AND THE NEC (LATEST EDITION).
- THIS INFORMATION IS PROVIDED FOR THE GENERAL CONCEPT AND LOCATION OF ELECTRICAL ITEMS. ALL ELECTRICAL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (LATEST EDITION).

CONTRACTOR TO BE DETERMINED

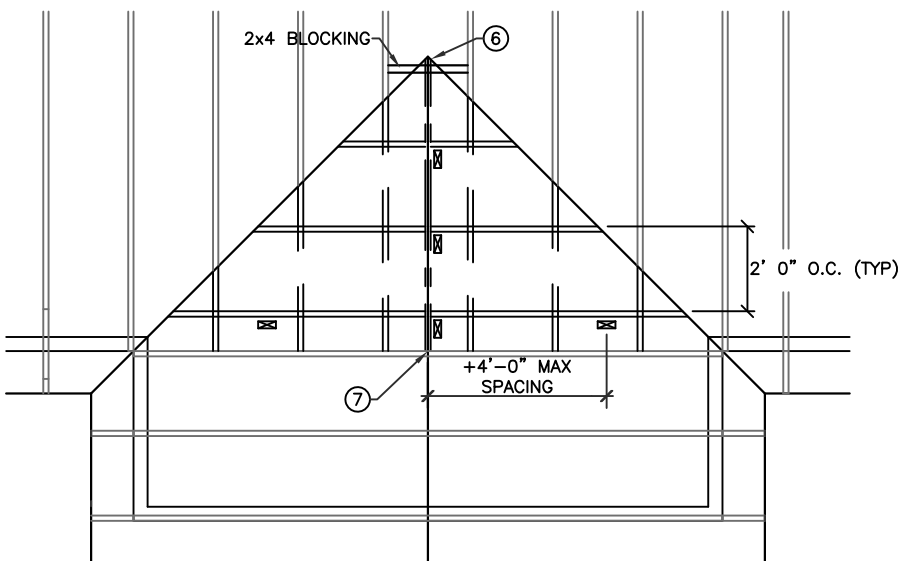
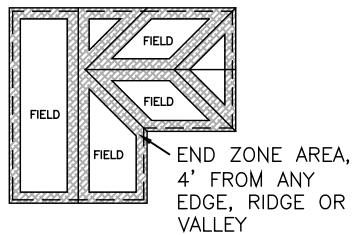


	ROOF SHEATHING NAILING SCHEDULE:
	SHEATHING TO BE MIN. OF 1/2" PLYWOOD OR 7/16" OSB
END ZONES:	0.113"x2'-3/8" @ 4" O.C.
FIELD ZONES:	0.113"x2'-3/8" @ 6" O.C.
GABLE ENDS:	0.113"x2'-3/8" @ 4" O.C.
PANEL EDGES:	0.113"x2'-3/8" @ 6" O.C.

Diagram illustrating a typical fascia detail. The components shown include:

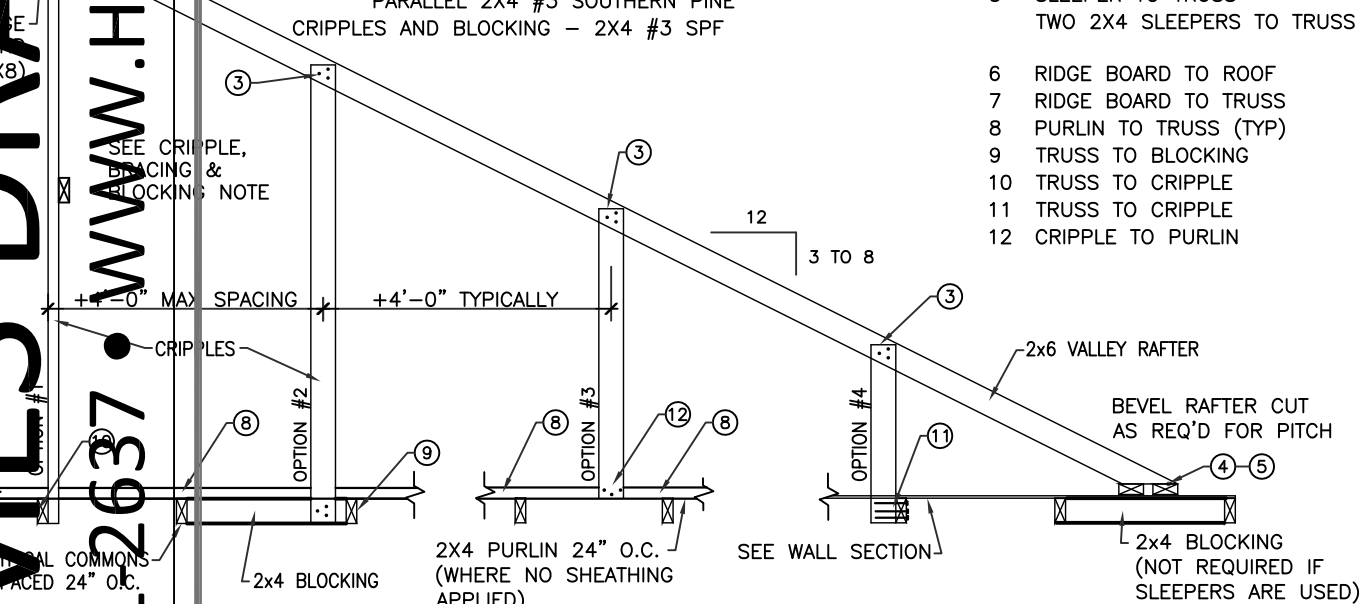
- ROOF SHEATHING
- TRUSS
- J-CHANNEL
- VENTED ALUM. SOFFIT
- 2x4 SUB-FASCIA
- W/ (2) - 16d NAILS AT EACH TRUSS
- 1/4" GAP
- PC ALUM. FASCIA
- EAVE DRIP

TYPICAL FASCIA DETAIL
SCALE: N.T.S.



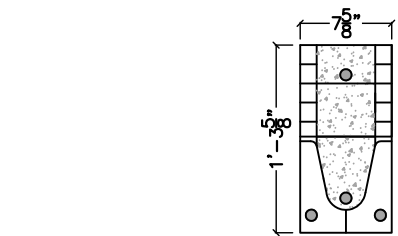
VALLEY ROOF PLAN

* ATTACHMENT CAN BE MADE DIRECTLY OR
THROUGH PLYWOOD SHEATHING

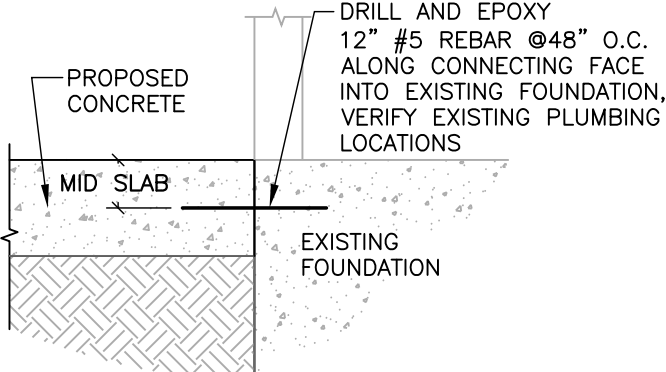


LUMBER SIZE AND GRADE MINIMUM REQUIREMENTS

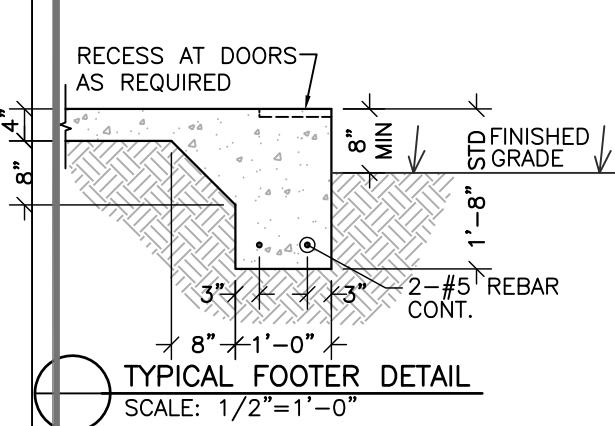
RIDGE BOARD - 2X6 (MIN)#2 SOUTHERN PINE
RAFTER SPANS 20'-0" OR LESS - 2X6 #2 SOUTHERN PINE
PURLINS / LATERAL BRACING - 2X4 #3 SPF
SLEEPERS - 2X(WIDTH OF RAFTER SEAT CUT) #3 SPF OR 2
PARALLEL 2X4 #3 SOUTHERN PINE
CRIPPLES AND BLOCKING - 2X4 #3 SPF



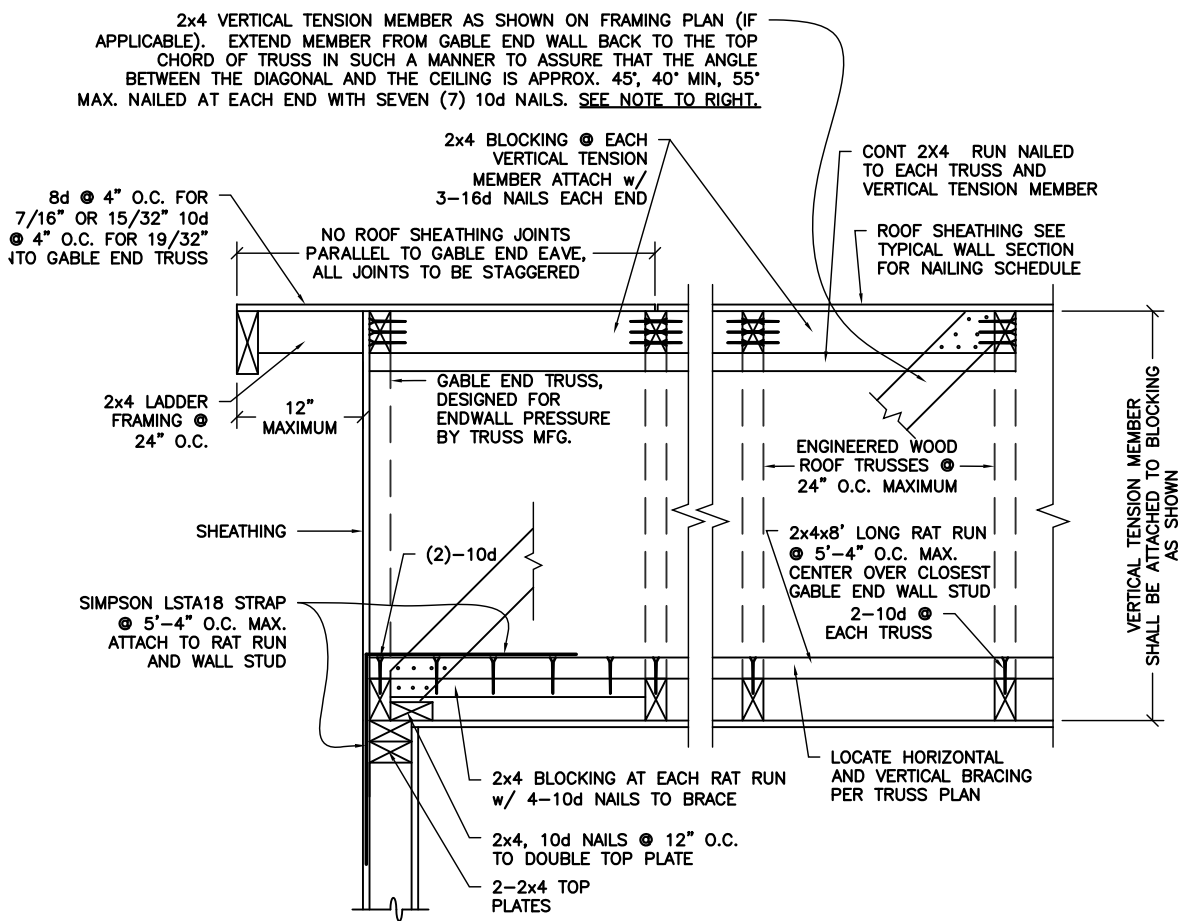
CONNECTION REQUIREMENT		NOTES
1	2X4 RAFTERS TO RIDGE	(3) 8d-3 TOE-NAILS
2	CRIPPLE TO RIDGE	(3) 8d-3 FACE NAILS
3	CRIPPLE TO RAFTER	(3) 8d-3 FACE NAILS
4	RAFTER TO SLEEPER OR BLOCKING	(3) 8d-3 TOE-NAILS
	RAFTER TO TWO 2X4 SLEEPERS	(3) 8d-3 FACE NAILS
5	SLEEPER TO TRUSS	(3) 8d-3 FACE NAILS
	TWO 2X4 SLEEPERS TO TRUSS	(3) 8d-3 TOE-NAILS EACH SLEEPER & TRUSS
6	RIDGE BOARD TO ROOF	(3) 8d-3 TOE-NAILS
7	RIDGE BOARD TO TRUSS	(3) 8d-3 TOE-NAILS
8	PURLIN TO TRUSS (TYP)	(3) 8d-3 NAILS
9	TRUSS TO BLOCKING	(3) 8d-3 END NAILS
10	TRUSS TO CRIPPLE	(3) 8d-3 FACE NAILS
11	TRUSS TO CRIPPLE	(3) 8d-3 FACE NAILS
12	CRIPPLE TO PURLIN	(3) 8d-3 FACE NAILS



TYPICAL SLAB CONNECTION DETAIL
SCALE: 3/4"=1'-0"



TYPICAL FOOTER DETAIL
SCALE: 1/2"=1'-0"

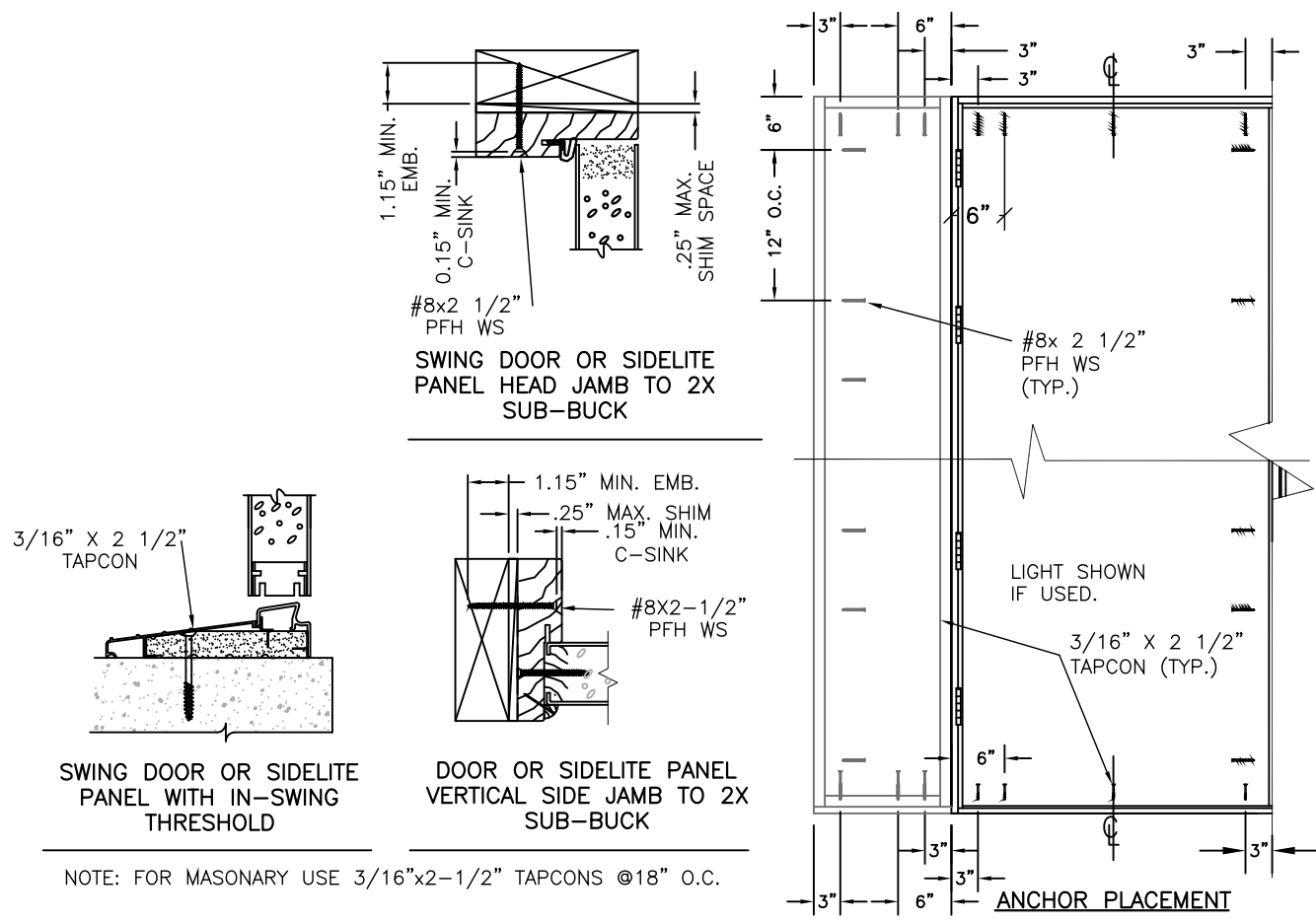


FRAME GABLE END DETAIL
SCALE: N.T.S.

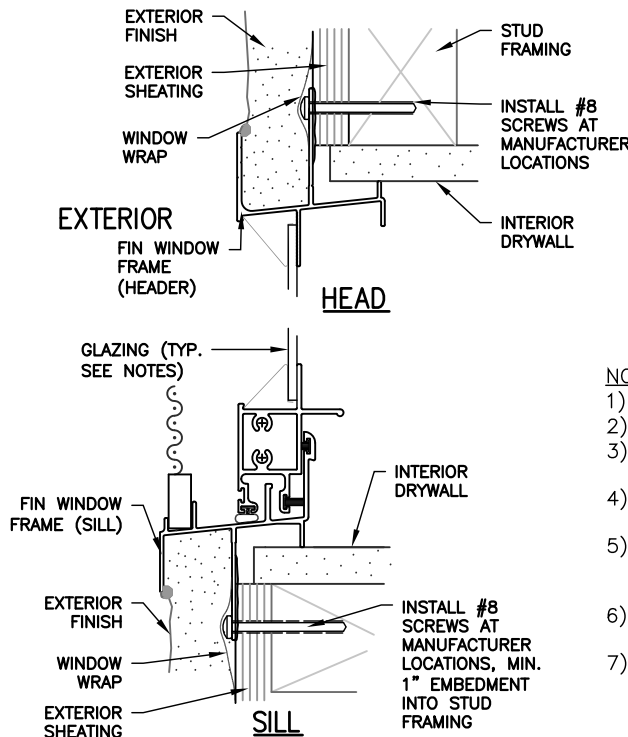
HOLMES DRAFTING SERVICES
 501-263-7437 • WWW.HOLMESDRAFTINGSERVICES.COM

IF THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL W. SPRINGSTEAD P.E., FL REG. No. 47820, ON THE DATE SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FILE LOCATION: C:\USERS\OFFICE PC 2\SYNOLOGY PROJECTS\SHORECONSTRUCTION\2108 021 GEORGIA-ST\2108 021 GEORGIA-ST

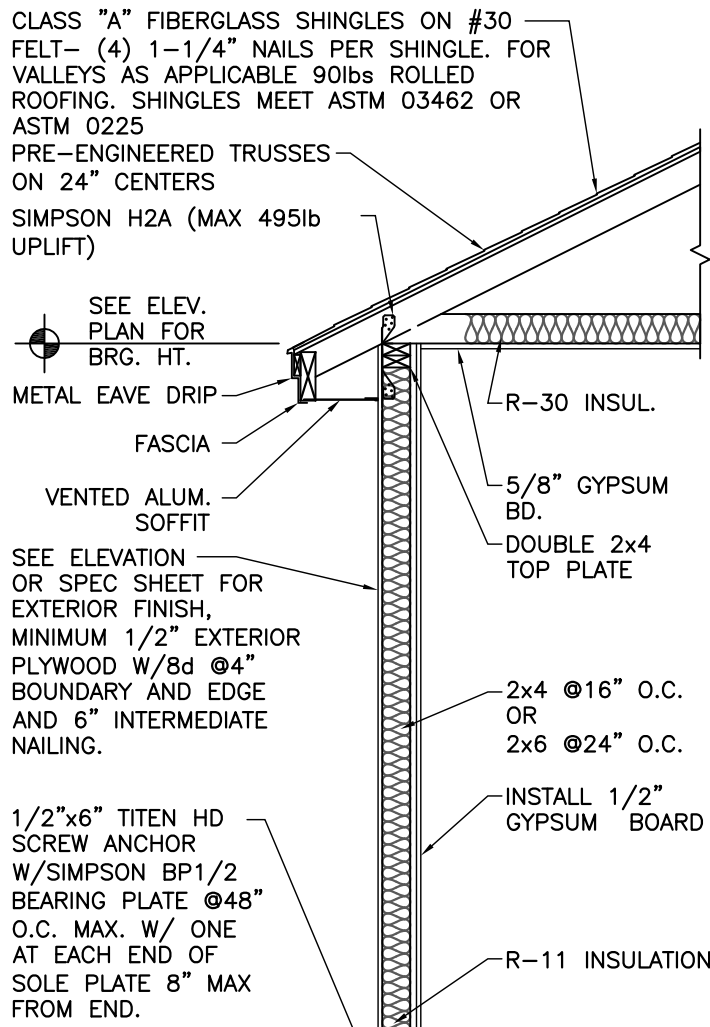


TYPICAL DOOR INSTALLATION FOR THERMA TRU DOOR
SCALE: N.T.S.

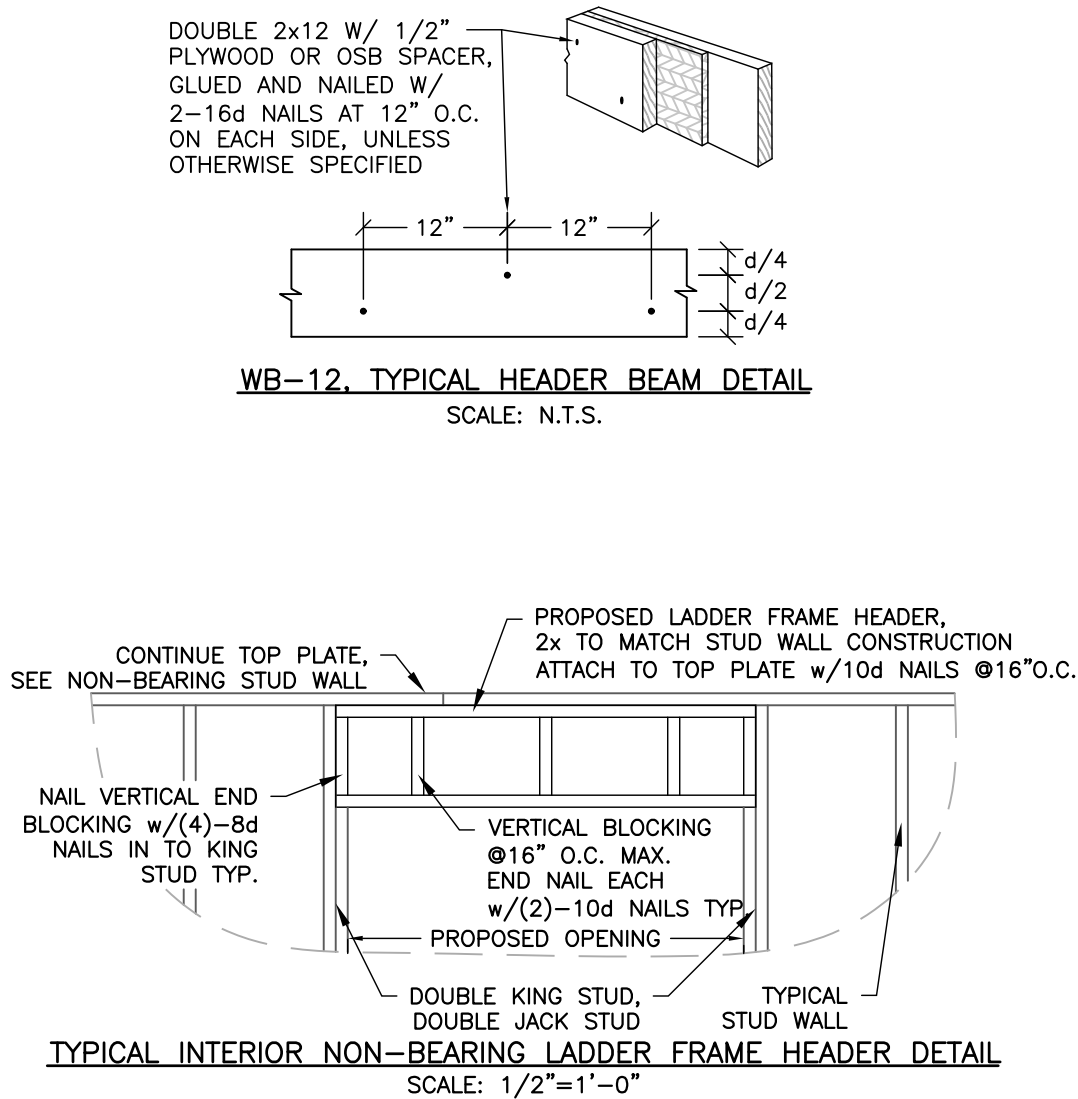


TYPICAL WINDOW INSTALLATION TO FRAME OPENING DETAIL
SCALE: NTS

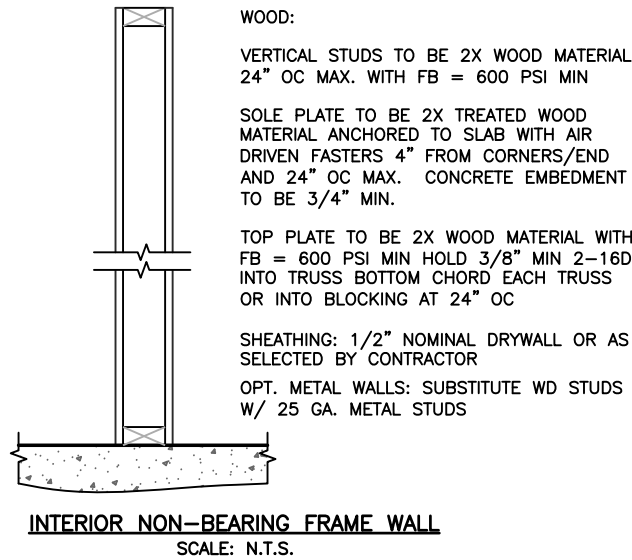
- NOTES:
- 1) WINDOW FRAME MATERIAL: ALUMINUM ALLOY 6063.
 - 2) USE LATEX CAULK BEHIND WINDOW FLANGE AT HEAD, JAMBS & SILL.
 - 3) USE LATEX CAULK FOR PERIMETER SEAL AROUND EXTERIOR OF WINDOW FLANGE.
 - 4) IF EXACT WINDOW SIZE IS NOT LISTED IN ANCHOR CHART, USE ANCHOR QUANTITY LISTED WITH NEXT LARGER SIZE.
 - 5) GLASS THICKNESS MAY VARY PER THE REQUIREMENTS OF ASTM E1300 GLASS CHARTS. SINGLE GLAZING IS SHOWN, INSULATING GLASS ALSO QUALIFIED.
 - 6) #8 INSTALLATION SCREWS MUST BE OF SUFFICIENT LENGTH TO ACHIEVE 1 IN. MIN. EMBEDMENT INTO WOOD FRAMING.
 - 7) DESIGN PRESSURE UP TO 35 PSF PLACE #8 SCREW ANCHORS 3" FROM END OF FIN MAX. & 24" O.C MAX. FOR DESIGN PRESSURES FROM 36 PSF TO 45 PSF PLACE # 8 SCREW ANCHORS 3" FROM END OF FIN MAX. & 18" O.C. MAX.



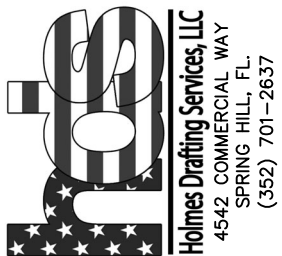
TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"



TYPICAL INTERIOR NON-BEARING LADDER FRAME HEADER DETAIL
SCALE: 1/2"=1'-0"



INTERIOR NON-BEARING FRAME WALL
SCALE: N.T.S.



CUSTOMER:
GEORGIA ST.
PARCEL #: 00035250-000000
ADDRESS:
1215 GEORGIA ST
KEY WEST, 33040

DETAILS

PAGE
11 OF 11
DRAWN BY:
DHK
SCALE:
AS SHOWN
CHECKED BY:
NRH
SAVED DATE:
4/22/2022 05:05

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., May 24, 2022 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1 If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

CONSTRUCTION OF A NEW 330 SQUARE-FOOT ADDITION AT REAR. DEMOLITION OF AN EXISTING SHED AND CARPORT AT REAR.

#1215 GEORGIA STREET

Applicant – Shore Construction Application #H2022-0019

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION

**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00035250-000000
 Account# 1036102
 Property ID 1036102
 Millage Group 10KW
 Location Address 1215 GEORGIA ST, KEY WEST
 Neighborhood 6149
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision Moffat's Sub
 Sec/Twp/Rng 05/68/25
 Affordable Housing No

**Valuation**

	2021	2020	2019	2018
+ Market Improvement Value	\$98,944	\$98,944	\$98,944	\$100,467
+ Market Misc Value	\$4,521	\$4,521	\$4,521	\$4,521
+ Market Land Value	\$380,160	\$380,160	\$448,589	\$551,232
= Just Market Value	\$483,625	\$483,625	\$552,054	\$656,220
= Total Assessed Value	\$483,625	\$483,625	\$552,054	\$656,220
- School Exempt Value	(\$25,000)	\$0	\$0	\$0
= School Taxable Value	\$458,625	\$483,625	\$552,054	\$656,220

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (0100)	3,960.00	Square Foot	44	90

Buildings

Building ID	2801	Exterior Walls	C.B.S.	
Style	GROUND LEVEL	Year Built	1968	
Building Type	S.F.R. - R1/R1	Effective Year Built	1989	
Gross Sq Ft	1217	Foundation	CONCR FTR	
Finished Sq Ft	880	Roof Type	GABLE/HIP	
Stories	1 Floor	Roof Coverage	METAL	
Condition	AVERAGE	Flooring Type	CONC ABOVE GRD	
Perimeter	124	Heating Type	NONE with 0% NONE	
Functional Obs	0	Bedrooms	2	
Economic Obs	0	Full Bathrooms	1	
Depreciation %	36	Half Bathrooms	0	
Interior Walls	PLYWOOD PANEL	Grade	300	
		Number of Fire Pl	0	
Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	220	0	0
FLA	FLOOR LIV AREA	880	880	0
OPF	OP PRCH FIN LL	90	0	0
SBF	UTIL FIN BLK	27	0	0
TOTAL		1,217	880	0

Yard Items

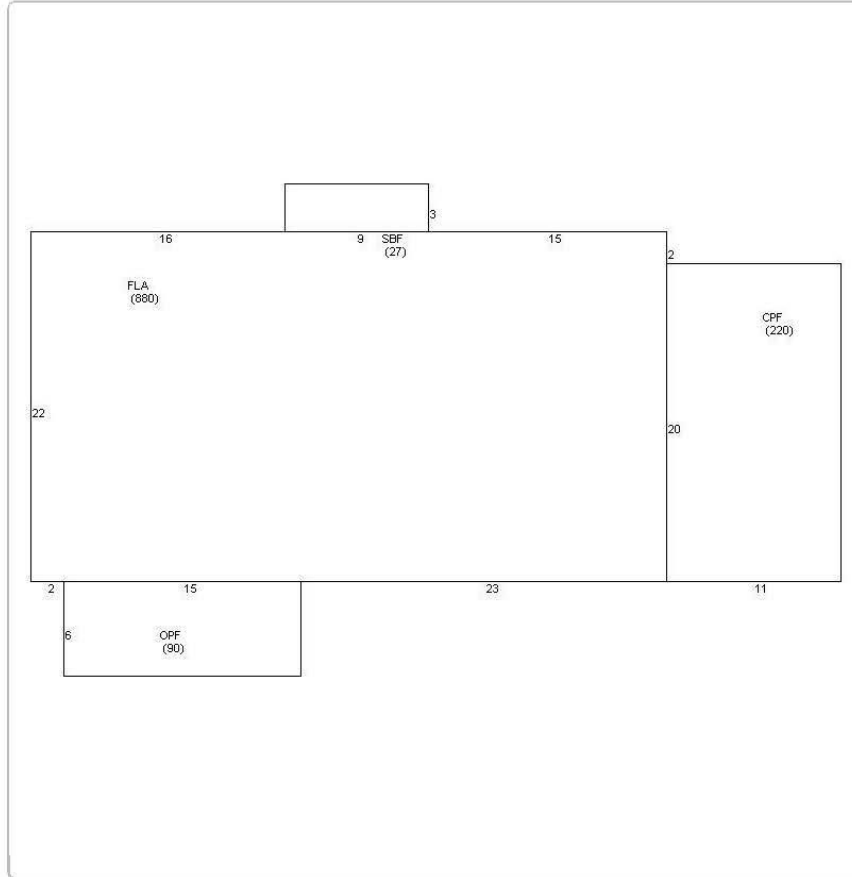
Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1977	1978	1	1489 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
6/6/2020	\$100	Warranty Deed				30 - Unqualified	Improved
9/14/2019	\$100	Warranty Deed				30 - Unqualified	Improved
11/17/2013	\$100	Quit Claim Deed				14 - Unqualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
M941873	6/1/1994	7/1/1994	\$4,100		1/3 TON A/C W/7 DROPS

Sketches (click to enlarge)**Photos**



Map



No data available for the following modules: Owner, View Tax Info, TRIM Notice

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 5/12/2022, 5:14:53 AM

Developed by
 **Schneider**
 GEOSPATIAL

Version 2.3.194