

# STAFF REPORT

DATE: March 29, 2023

RE: 2402 Fogarty Avenue (permit application # T2023-0098)

FROM: Karen DeMaria, City of Key West Urban Forestry Manager

An application was received requesting the removal of (1) Strangler Fig tree. A site inspection was done and documented the following:

Tree Species: Strangler Fig (*Ficus aurea*)



Photo of whole tree.





Photo showing location of tree.





Two photos of  
tree canopy,  
views 1 & 2.







Two photos of trunk and canopy branches, views 1 & 2.







Close up photo of tree trunk.





Closeup photo of trunk and base of tree.





Two photos  
of the base of  
the tree,  
views 1 & 2.







Photo of  
tree  
canopy,  
view 3.



Two  
photos of  
trunk and  
canopy  
branches,  
view 3.



Diameter: 11.7"

Location: 60% (growing in the back yard, not very visible)

Species: 100% (on protected tree list)

Condition: 50% (overall condition is fair to poor, structure is poor-tree is leaning toward structure, base of tree primarily aerial root growth.)

Total Average Value = 70%

Value x Diameter = 8.1 replacement caliper inches



# Application





T2023-0098

## Tree Permit Application

Please Clearly Print All Information unless indicated otherwise. Date: 20 MAR 2023

Tree Address 2402 FOGARTY AVE.  
Cross/Corner Street 6TH STREET  
List Tree Name(s) and Quantity STRANGLER FIG x 1

### Reason(s) for Application:

- (☒) Remove (☐ Tree Health (☒ Safety (☐ Other/Explain below  
(☐ Transplant (☐ New Location (☐ Same Property (☐ Other/Explain below  
(☐ Heavy Maintenance Trim (☐ Branch Removal (☐ Crown Cleaning/Thinning (☐ Crown Reduction

Additional Information and  
Explanation

Property Owner Name DANIEL DANGIOZILLO  
Property Owner email Address QUACKY8403@GMAIL.COM  
Property Owner Mailing Address 2402 FOGARTY AVE.  
Property Owner Phone Number 585-285-6100  
Property Owner Signature

\*Representative Name  
Representative email Address  
Representative Mailing Address  
Representative Phone Number

\*NOTE: A Tree Representation Authorization form must accompany this application if someone other than the owner will be representing the owner at a Tree Commission meeting or picking up an issued Tree Permit.

As of August 1, 2022, application fees are required. See back of application for fee amounts.

Sketch location of tree (aerial view) including cross/corner street. Please identify tree(s) on the property regarding this application with colored tape or ribbon.



\$70 paid





### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00048800-000100  
**Account#** 9053804  
**Property ID** 9053804  
**Millage Group** 10KW  
**Location** 2402 FOGARTY Ave, KEY WEST  
**Address**  
**Legal** PT LOT 17 KW KW REALTY COS FIRST SUB PB 1-43 S'LY SQR 29 TR 21 G71-349/350 OR439-741 OR767-665  
**Description** OR1787-1898/1900 OR1964-2174/75 OR1964-2176/77 OR1964-2178/79 OR 2719-779/81 OR2763-2219/20 OR3127-1691  
*(Note: Not to be used on legal documents.)*  
**Neighborhood** 6183  
**Property Class** SINGLE FAMILY RESID (0100)  
**Subdivision** Key West Realty Co's First Sub  
**Sec/Twp/Rng** 04/68/25  
**Affordable** No  
**Housing**



### Owner

DANGIOLILLO DANIEL WAYNE  
 2402 Fogarty Ave  
 Key West FL 33040

### Valuation

	2022 Certified Values	2021 Certified Values	2020 Certified Values	2019 Certified Values
+ Market Improvement Value	\$263,710	\$212,718	\$215,673	\$203,855
+ Market Misc Value	\$4,755	\$4,755	\$4,755	\$4,755
+ Market Land Value	\$266,666	\$175,680	\$174,203	\$171,251
= Just Market Value	\$535,131	\$393,153	\$394,631	\$379,861
= Total Assessed Value	\$535,131	\$393,153	\$394,631	\$379,861
- School Exempt Value	(\$25,000)	\$0	\$0	\$0
= School Taxable Value	\$510,131	\$393,153	\$394,631	\$379,861

### Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2021	\$175,680	\$212,718	\$4,755	\$393,153	\$393,153	\$0	\$393,153	\$0
2020	\$174,203	\$215,673	\$4,755	\$394,631	\$394,631	\$0	\$394,631	\$0
2019	\$171,251	\$203,855	\$4,755	\$379,861	\$379,861	\$0	\$379,861	\$0
2018	\$147,630	\$206,609	\$4,918	\$359,357	\$359,357	\$0	\$359,357	\$0

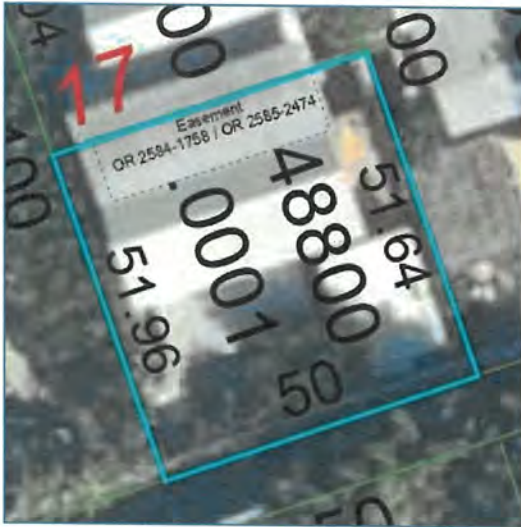
The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,590.00	Square Foot	50	51.7



## Map



## TRIM Notice

[2022 TRIM Notice \(PDF\)](#)

## 2022 Notices Only

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#)  
[GDPR Privacy Notice](#)

Last Data Upload: 3/20/2023, 4:03:47 AM

Developed by  
 **Schneider**  
GEOSPATIAL

Version 2.3.253





11/09/2022





# Cash Register Receipt

City of Key West

**Receipt Number**  
**R66823**

DESCRIPTION	ACCOUNT	QTY	PAID
PermitTRAK			\$70.00
TREE2023-0098 Address: 2402 FOGARTY AVE APN: 00048800-000100			\$70.00
TREE			\$70.00
DICOT REMOVAL-TC FEE		0	\$50.00
RESIDENTIAL APPLICATION FEE		0	\$20.00
TOTAL FEES PAID BY RECEIPT: R66823			\$70.00

Date Paid: Monday, March 20, 2023

Paid By: DANGIOLILLO DANIEL WAYNE

Cashier: TK

Pay Method: CASH